


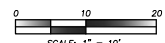
SITE PLAN KEYNOTES

- 1 EXISTING BUILDING / CANOPIES TO BE REMOVED. REMOVE STRUCTURE AND BASEMENT, FOOTINGS AND ASSOCIATED WALKS AND PAVEMENT. DISCONNECT EXISTING UTILITY SERVICE LINES PER CITY, COUNTY AND STATE SPECIFICATIONS.
- 2 EXISTING GRAVEL, CONCRETE AND BITUMINOUS TO BE REMOVED.
- 3 EXISTING UTILITY SERVICE LINES TO BE REMOVED: ELECTRIC, GAS, SANITARY, WATER. STUB TO PROPERTY LINE OR MAIN SERVICE LINE AS SPECIFIED BY CITY AND UTILITY SERVICE PROVIDER.
- 4 EXISTING SIGNS, POLES, BASES, FOUNDATIONS AND ELECTRICAL TO BE REMOVED IN ITS ENTIRETY.
- 5 EXISTING CURB TO BE REMOVED.
- 6 EXISTING SITE AMENITIES TO BE REMOVED: BOLLARDS, LIGHTING, ETC.
- 7 EXISTING TREES/STUMPS TO BE REMOVED.
- 8 EXISTING LANDSCAPING FENCE TO BE REMOVED.
- 9 EXISTING STONE WALL TO BE REMOVED, BOULDERS WILL BE REUSED IN FUTURE LANDSCAPING AREAS
- 10 EXISTING CONCRETE DRIVEWAYS TO BE REMOVED WITH CURB AND GUTTERS REPLACED AS NECESSARY.
- 11 SAWCUT AT NEAREST JOINT OF EXISTING SIDEWALK AS NECESSARY FOR UTILITY REMOVAL, ABANDONMENT OR INSTALLATION. ANY DAMAGED SIDEWALK TO BE REPLACED IN KIND BY CONTRACTOR PER CITY STANDARDS.
- 12 EXISTING TRANSFORMER TO BE RELOCATED AND REUSED IF POSSIBLE.
- 13 SAWCUT EXISTING ASPHALT, CURB AND GUTTER FOR CLEAN MATCH IN WITH EXISTING PAVEMENT. SAWCUT SHALL BE AT EXISTING JOINT LINES WHENEVER POSSIBLE. ACTUAL REMOVALS AND SAWCUT LINES MAY BE ADJUSTED TO MATCH EXISTING FIELD CONDITIONS AS WARRANTED.
- 14 CONTRACTOR SHALL PROVIDE TREE PROTECTION FOR TREES TO REMAIN.
- 15 EXISTING FLUME TO BE RETROFITTED TO PROPOSED STORM SEWER MANHOLE.

NOTES

1. EXISTING UTILITY SERVICE LINES TO BE ABANDONED IN PLACE OR REMOVED IF POSSIBLE. ELECTRIC, GAS, SANITARY, WATER, STUB TO PROPERTY LINE OR MAIN SERVICE LINE AS SPECIFIED BY CITY AND UTILITY SERVICE PROVIDER.
2. WHENEVER SAWCUTTING, CONTRACTOR SHALL SAWCUT THE ASPHALT OR CONCRETE AS THE NEAREST JOINTLINE AS NEEDED TO BLEND THE NEW AND EXISTING ASPHALT PAVEMENT AND CONCRETE AS NEEDED.
3. ALL FOUNDATIONS SHALL BE REMOVED IN THEIR ENTIRETY INCLUDING ANY FOR BUILDINGS, STOOPS, LIGHTPOLES, AND ANY OTHER STRUCTURES AS NOTED.
4. FOR ALL TREES IN THE TERRACE, THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (26-4816) PRIOR TO EXCAVATION TO ACCESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
5. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.


 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE


 NORTH

 SCALE: 1" = 10'

REVISION	DATE	BY	SCALE	NOTED	FIELD	DATE	BY	PROJECT	MADISON, WISCONSIN		
Engineer: SJA	Checked By: SJA	Scale: NOTED	Field No.:	Field No.:	Field No.:	Field No.:	Field No.:	Project No. 118.1077.30	5010 VOEGES ROAD MADISON, WISCONSIN 53718 608-838-0444 www.snyder-associates.com		
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 **Massing Concept**
Looking Southeast



 **Massing Concept**
Looking Southwest

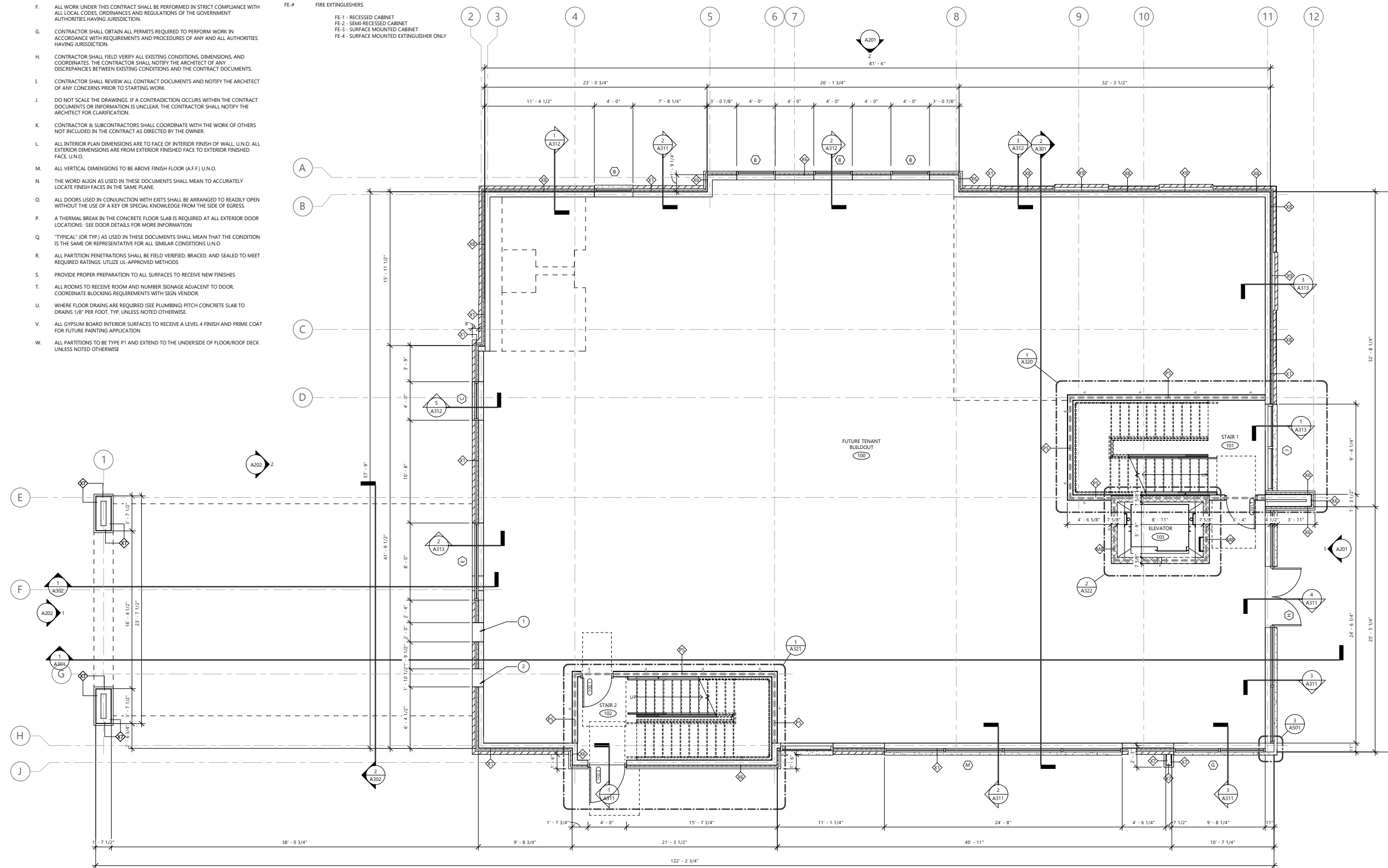
FLOOR PLAN GENERAL NOTES:

- A. SEE WALL SCHEDULE FOR WALL ASSEMBLY INFORMATION. NOTE: SEE SECTIONS AND ELEVATIONS FOR CHANGES IN MATERIALS/WALL TYPES/ACCENT-ELEMENTS THAT MAY NOT BE INDICATED AT PLAN CUT.
- B. SEE - / - FOR TYPICAL DIMENSIONS OF DOOR OPENING FROM ADJACENT WALL.
- C. PROVIDE BLOCKING AT ALL MILLWORK AND WALL HUNG ELEMENTS IN WALLS. CONTRACTOR TO COORDINATE W/ OWNER REPRESENTATIVE FOR FINAL LOCATIONS OF OWNER-FURNISHED EQUIPMENT. SEE DETAIL 6/7 A100. ALL WOOD BLOCKING TO BE FIRE-RETARDANT TREATED WOOD IN BUILDINGS OF NONCOMBUSTIBLE CONSTRUCTION (IBC TYPE I & II) AND IN RATED WALLS IN BUILDINGS OF COMBUSTIBLE CONSTRUCTION (IBC TYPE III, IV, & V).
- D. PROVIDE CORNER GUARDS AS SHOWN GRAPHICALLY. SEE FINISH PLAN FOR COLORS & TYPES. ALL OUTSIDE CORNERS NOT SHOWN RECEIVING CORNER GUARDS ARE TO BE VERIFIED WITH ARCHITECT DURING BIDDING.
- E. PROVIDE GALVANIZED METAL STUDS AT ALL WET LOCATIONS.
- F. ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF THE GOVERNMENT AUTHORITIES HAVING JURISDICTION.
- G. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS AND PROCEDURES OF ANY AND ALL AUTHORITIES HAVING JURISDICTION.
- H. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND COORDINATES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
- I. CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY CONCERNS PRIOR TO STARTING WORK.
- J. DO NOT SCALE THE DRAWINGS. IF A CONTRADICTION OCCURS WITHIN THE CONTRACT DOCUMENTS OR INFORMATION IS UNCLEAR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION.
- K. CONTRACTOR & SUBCONTRACTORS SHALL COORDINATE WITH THE WORK OF OTHERS NOT INCLUDED IN THE CONTRACT AS DIRECTED BY THE OWNER.
- L. ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF INTERIOR FINISH OF WALL, U.N.O. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FINISHED FACE TO EXTERIOR FINISHED FACE, U.N.O.
- M. ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.
- N. THE WORD ALIGN AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- O. ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED TO READILY OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE OF EGRESS.
- P. A THERMAL BREAK IN THE CONCRETE FLOOR SLAB IS REQUIRED AT ALL EXTERIOR DOOR LOCATIONS. SEE DOOR DETAILS FOR MORE INFORMATION.
- Q. "TYPICAL" (OR TYP) AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS U.N.O.
- R. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED, BRACED, AND SEALED TO MEET REQUIRED RATINGS. UTILIZE UL-APPROVED METHODS.
- S. PROVIDE PROPER PREPARATION TO ALL SURFACES TO RECEIVE NEW FINISHES.
- T. ALL ROOMS TO RECEIVE ROOM AND NUMBER SIGNAGE ADJACENT TO DOOR. COORDINATE BLOCKING REQUIREMENTS WITH SIGN VENDOR.
- U. WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP, UNLESS NOTED OTHERWISE.
- V. ALL GYPSUM BOARD INTERIOR SURFACES TO RECEIVE A LEVEL 4 FINISH AND PRIME COAT FOR FUTURE PAINTING APPLICATION.
- W. ALL PARTITIONS TO BE TYPE P1 AND EXTEND TO THE UNDERSIDE OF FLOOR/ROOF DECK UNLESS NOTED OTHERWISE.

FLOOR PLAN - SYMBOL KEY

- ==== REMOVED WALL ===== EXISTING WALL TO REMAIN ===== NEW WALL
- o--- REMOVED DOOR ---o--- EXISTING DOOR TO REMAIN ---o--- NEW DOOR
- ◇ WALL TYPE TAG. SEE WALL TYPES SHEET FOR ADDITIONAL INFORMATION
- DOOR TAG
- NEW MILLWORK. SEE INTERIOR ELEVATIONS AND DETAILS
- FE-# FIRE EXTINGUISHERS
 - FE-1 - RECESSED CABINET
 - FE-2 - SEMI-RECESSED CABINET
 - FE-3 - SURFACE MOUNTED CABINET
 - FE-4 - SURFACE MOUNTED EXTINGUISHER ONLY

KEYED FLOOR PLAN NOTES - LEVEL 1	
TAG #	DESCRIPTION
1	ATM ROUGH OPENING
2	NIGHT DROP ROUGH OPENING



GROTH
Design
Group

700 W VIRGINIA AVE
SUITE 8105
MILWAUKEE, WISCONSIN 53204
PH. (414) 810-7513

PROJECT

**NEW BUILDING
FOR:
BMO - HILLDALE**

**4501 VERNON
BOULEVARD
MADISON, WI
53705
ISSUE**

REV. DATE DESCRIPTION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFO

Date: 02.08.2019
Project No: 18.129

SHEET TITLE

FLOOR PLAN - LEVEL 1

A101

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OWNER REVIEW SET

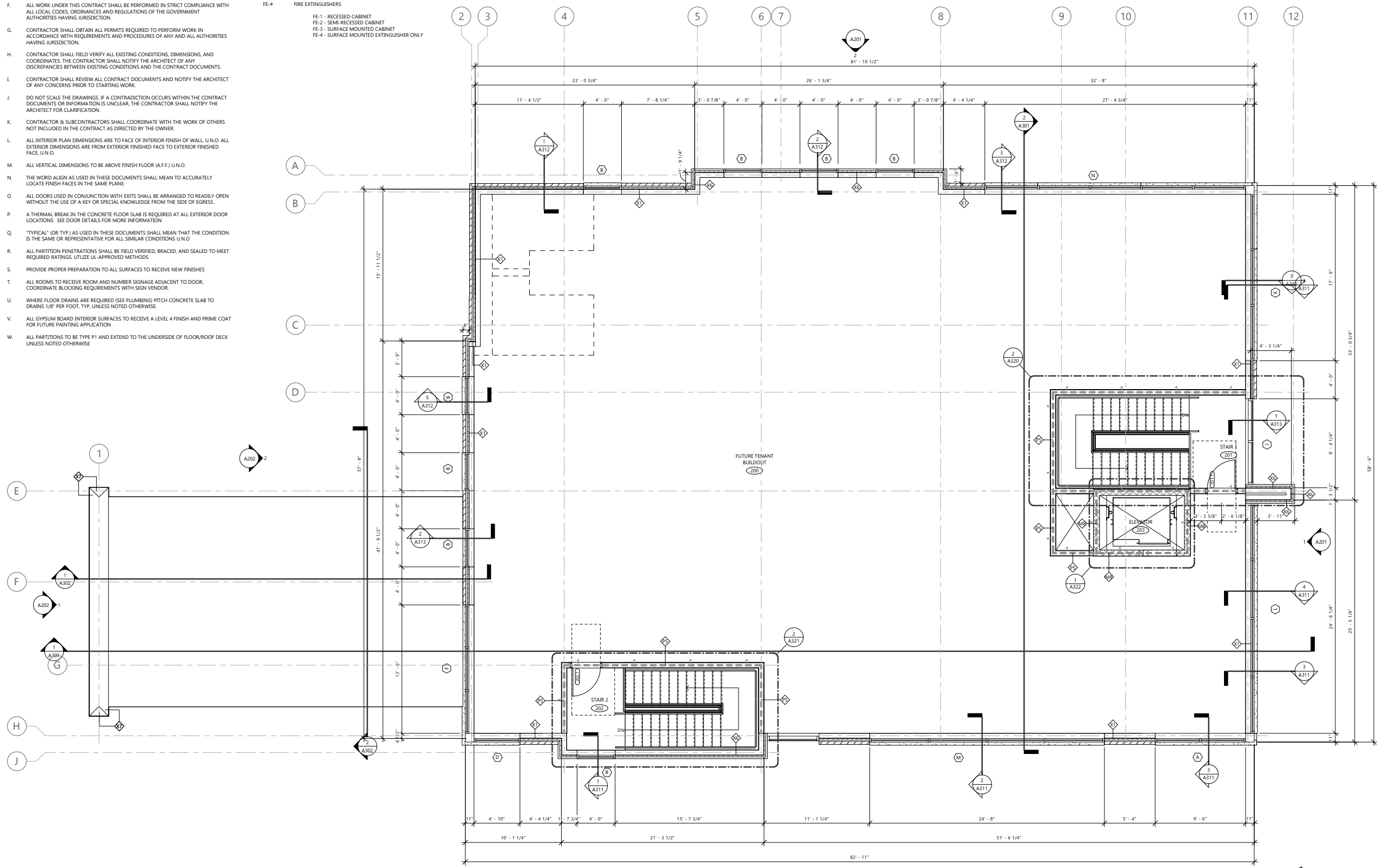
FLOOR PLAN GENERAL NOTES

- A. SEE WALL SCHEDULE FOR WALL ASSEMBLY INFORMATION. NOTE: SEE SECTIONS AND ELEVATIONS FOR CHANGES IN MATERIALS/WALL TYPES/ACCENT-ELEMENTS THAT MAY NOT BE INDICATED AT PLAN CUT.
- B. SEE - / - / - FOR TYPICAL DIMENSIONS OF DOOR OPENING FROM ADJACENT WALL.
- C. PROVIDE BLOCKING AT ALL MILLWORK AND WALL HUNG ELEMENTS IN WALLS. CONTRACTOR TO COORDINATE W/ OWNER REPRESENTATIVE FOR FINAL LOCATIONS OF OWNER-FURNISHED EQUIPMENT. SEE DETAIL 6 / A002. ALL WOOD BLOCKING TO BE FIRE-RETARDANT TREATED WOOD IN BUILDINGS OF NONCOMBUSTIBLE CONSTRUCTION (IBC TYPE I & II) AND IN RATED WALLS IN BUILDINGS OF COMBUSTIBLE CONSTRUCTION (IBC TYPE III, IV, & V).
- D. PROVIDE CORNER GUARDS AS SHOWN GRAPHICALLY. SEE FINISH PLAN FOR COLORS & TYPES. ALL OUTSIDE CORNERS NOT SHOWN RECEIVING CORNER GUARDS ARE TO BE VERIFIED WITH ARCHITECT DURING BIDDING.
- E. PROVIDE GALVANIZED METAL STUDS AT ALL WET LOCATIONS.
- F. ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF THE GOVERNMENT AUTHORITIES HAVING JURISDICTION.
- G. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS AND PROCEDURES OF ANY AND ALL AUTHORITIES HAVING JURISDICTION.
- H. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND COORDINATES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
- I. CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY CONCERNS PRIOR TO STARTING WORK.
- J. DO NOT SCALE THE DRAWINGS. IF A CONTRADICTION OCCURS WITHIN THE CONTRACT DOCUMENTS OR INFORMATION IS UNCLEAR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION.
- K. CONTRACTOR & SUBCONTRACTORS SHALL COORDINATE WITH THE WORK OF OTHERS NOT INCLUDED IN THE CONTRACT AS DIRECTED BY THE OWNER.
- L. ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF INTERIOR FINISH OF WALL, U.N.O. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FINISHED FACE TO EXTERIOR FINISHED FACE, U.N.O.
- M. ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.
- N. THE WORD ALIGN AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- O. ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED TO READILY OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE OF EGRESS.
- P. A THERMAL BREAK IN THE CONCRETE FLOOR SLAB IS REQUIRED AT ALL EXTERIOR DOOR LOCATIONS. SEE DOOR DETAILS FOR MORE INFORMATION.
- Q. "TYPICAL" (OR TYP) AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS U.N.O.
- R. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED, BRACED, AND SEALED TO MEET REQUIRED RATINGS. UTILIZE UL-APPROVED METHODS.
- S. PROVIDE PROPER PREPARATION TO ALL SURFACES TO RECEIVE NEW FINISHES.
- T. ALL ROOMS TO RECEIVE ROOM AND NUMBER SIGNAGE ADJACENT TO DOOR. COORDINATE BLOCKING REQUIREMENTS WITH SIGN VENDOR.
- U. WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP, UNLESS NOTED OTHERWISE.
- V. ALL GYPSUM BOARD INTERIOR SURFACES TO RECEIVE A LEVEL 4 FINISH AND PRIME COAT FOR FUTURE PAINTING APPLICATION.
- W. ALL PARTITIONS TO BE TYPE P1 AND EXTEND TO THE UNDERSIDE OF FLOOR/ROOF DECK UNLESS NOTED OTHERWISE.

FLOOR PLAN - SYMBOL KEY

- ==== REMOVED WALL ———— EXISTING WALL TO REMAIN ———— NEW WALL
- ⌒ REMOVED DOOR ⌒ EXISTING DOOR TO REMAIN ⌒ NEW DOOR
- ◇ WALL TYPE TAG. SEE WALL TYPES SHEET FOR ADDITIONAL INFORMATION
- DOOR TAG
- NEW MILLWORK. SEE INTERIOR ELEVATIONS AND DETAILS
- FE-# FIRE EXTINGUISHERS
 FE-1 - RECESSED CABINET
 FE-2 - SEMI-RECESSED CABINET
 FE-3 - SURFACE MOUNTED CABINET
 FE-4 - SURFACE MOUNTED EXTINGUISHER ONLY

KEYED FLOOR PLAN NOTES - LEVEL 2	
TAG #	DESCRIPTION



1 LEVEL 2 - FLOOR PLAN
 A102 1/4" = 1'-0"



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730 W VIRGINIA AVE
 SUITE 8105
 MILWAUKEE, WISCONSIN 53204
 PH. (414) 810-7613

PROJECT

**NEW BUILDING
 FOR:
 BMO - HILLDALE**

**4501 VERNON
 BOULEVARD
 MADISON, WI
 53705
 ISSUE**

REV. DATE DESCRIPTION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFO

Date: 02.08.2019
 Project No: 18.129

SHEET TITLE

FLOOR PLAN - LEVEL 2

A102

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MADISON, WI
53705
ISSUE**

NO. REV. DATE DESCRIPTION

**PROGRESS
DOCUMENTS**

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PROJECT INFO

Date: 02.08.2019
Project No: 18.129

SHEET TITLE

BUILDING ELEVATIONS

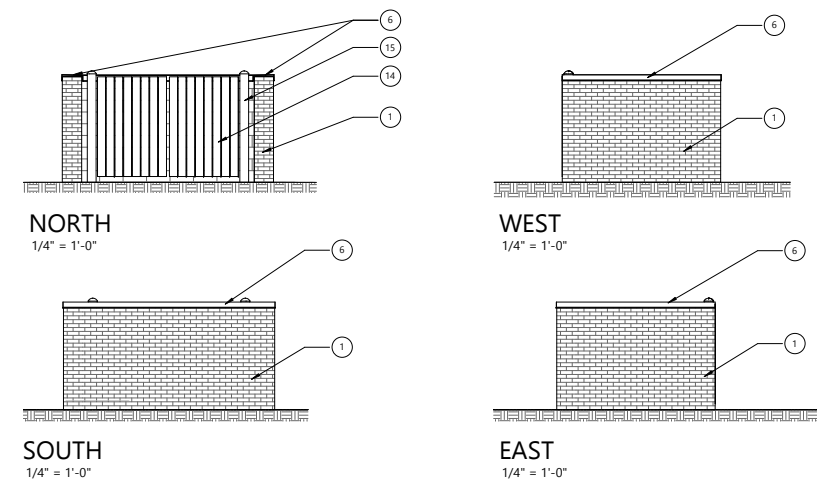
A201

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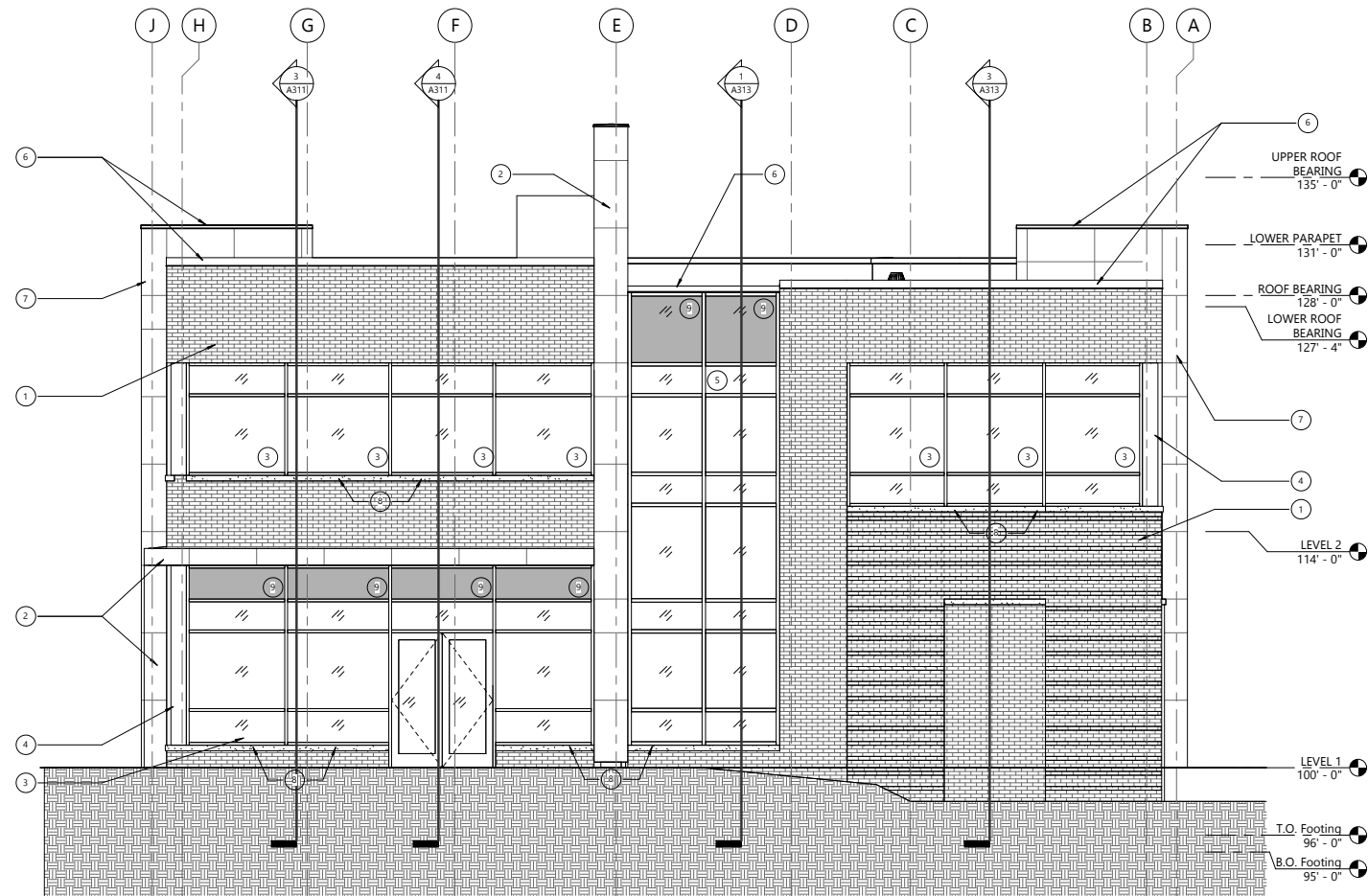
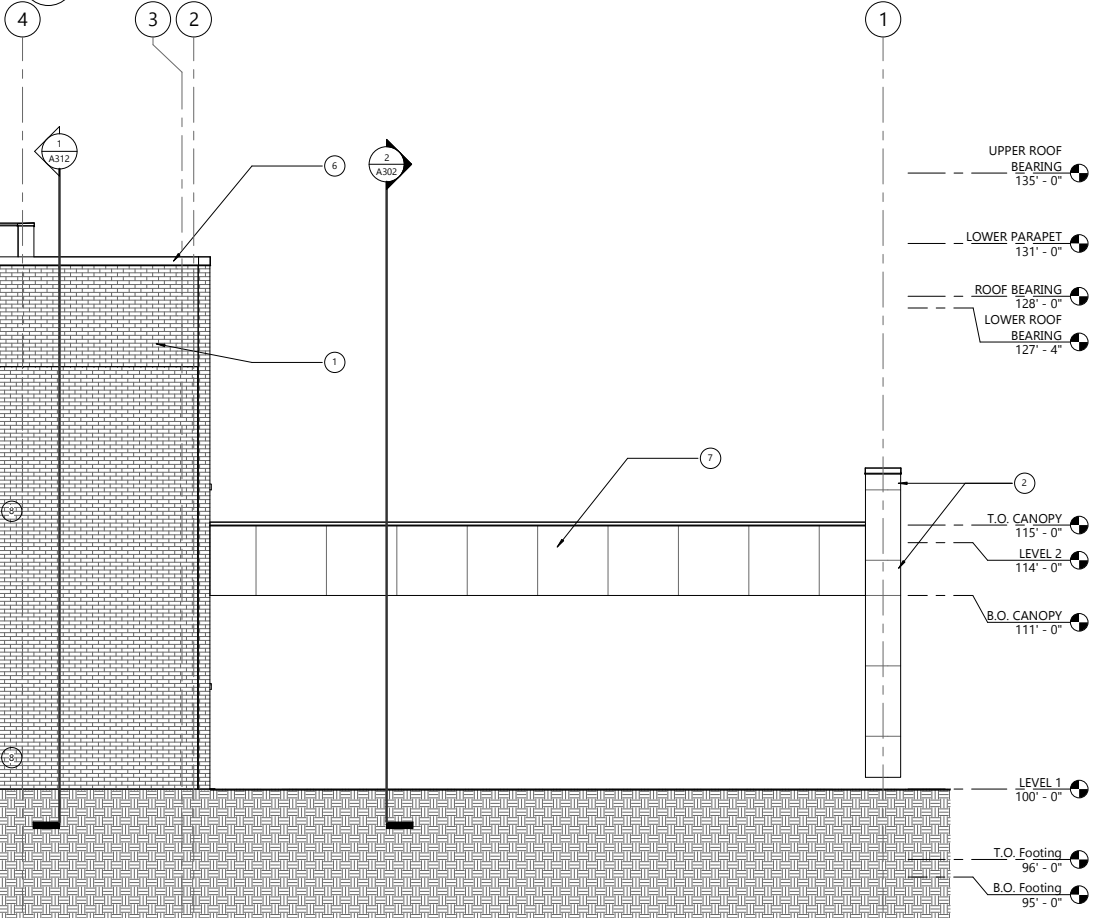
OWNER REVIEW SET

KEYED EXTERIOR ELEVATIONS	
TAG #	DESCRIPTION
1	BRICK VENEER, BRAMPTON BRICK - ARCHITECTURAL SERIES COLOR: GRAY - FINISH: VELOUR
2	MWP-1. BLUE ACM PANEL - COLOR: MATCH BMO STANDARDS
3	THERMALLY BROKEN ALUMINUM STOREFRONT WINDOW SYSTEM - COLOR/FINISH: CLEAR ANNOXIDIZED
4	PRE-FINISHED METAL WRAP COLUMN - COLOR: MATCH WINDOW SYSTEM
5	THERMALLY BROKEN ALUMINUM CURTAIN WALL SYSTEM - COLOR/FINISH: CLEAR ANNOXIDIZED
6	PRE-FINISHED METAL FLASHING - COLOR: MATCH BMO STANDARDS
7	MWP-2. GREY ACM PANEL - COLOR: MATCH BMO STANDARDS
8	PRECAST CONCRETE SILL - COLOR: MATCH BMO STANDARDS
9	SPANDREL GLAZING PANEL - COLOR: MATCH BMO STANDARDS; HARMONY SOLEX 2-743
10	ATM ROUGH OPENING
11	NIGHT DROP ROUGH OPENING
12	TRANSACTION DRAWER ROUGH OPENING
14	1x6 GATE
15	6" DIAMETER POST W/ COVER

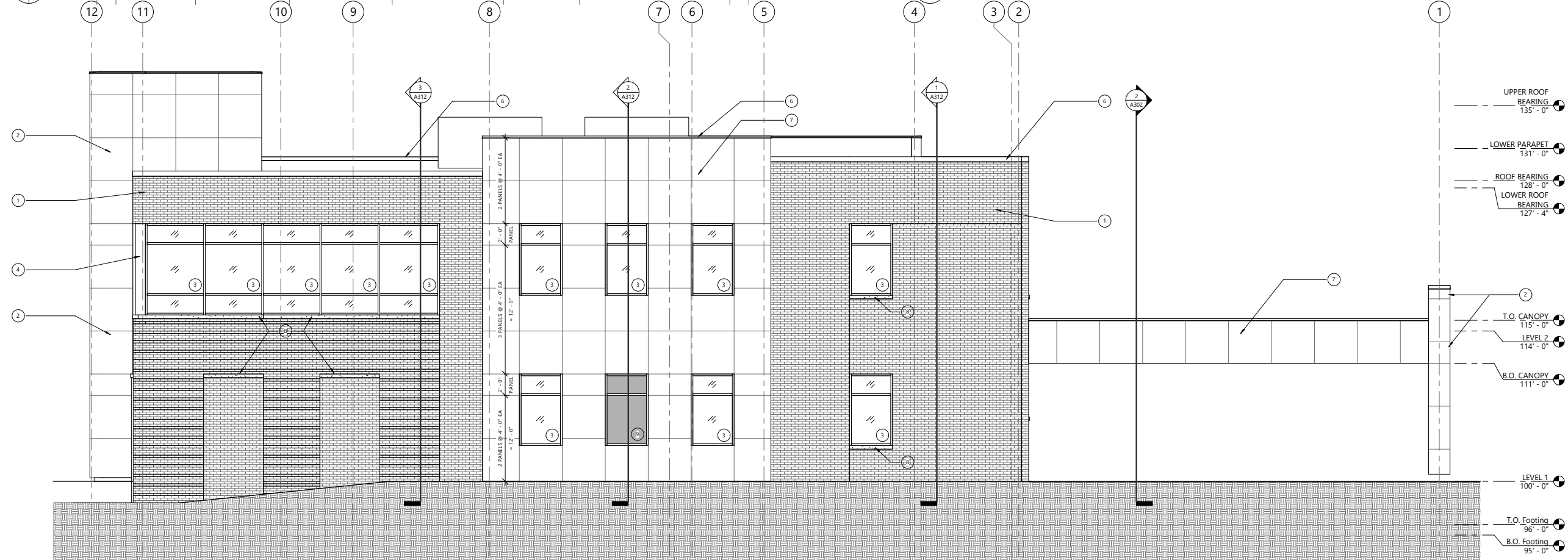
3 SITE PLAN-TRASH ENCLOSURE
1" = 80'-0"



4 TRASH ENCLOSURE ELEVATIONS
1/4" = 1'-0"

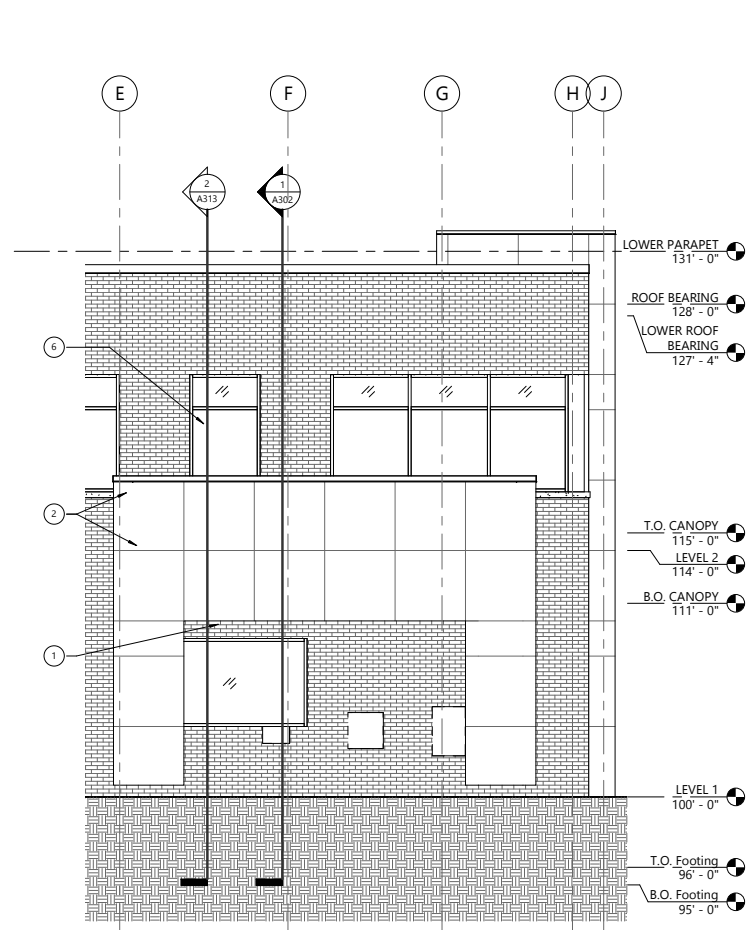


1 EAST
1/4" = 1'-0"

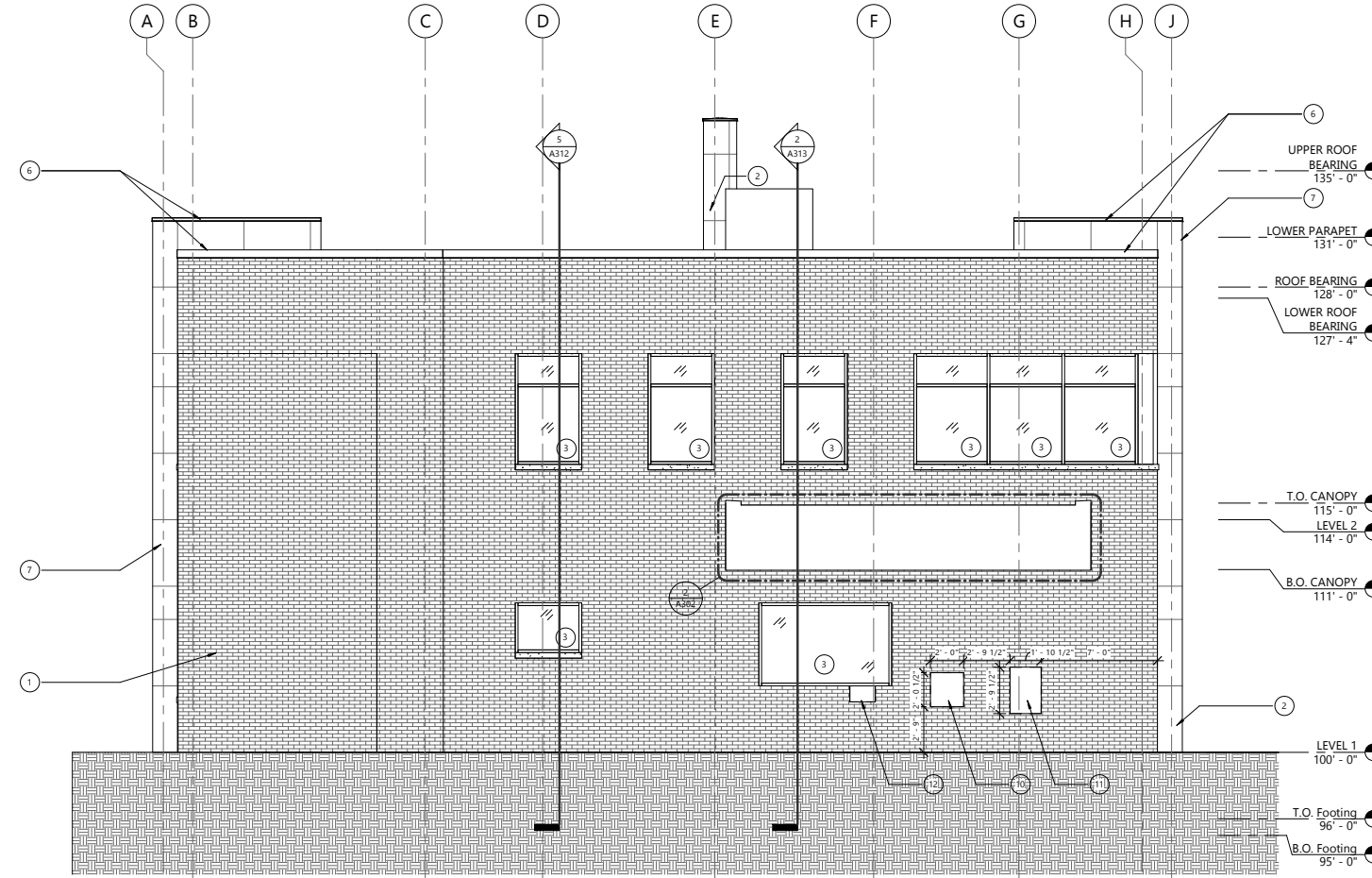


2 NORTH
1/4" = 1'-0"

4/22/2019 2:11:02 PM

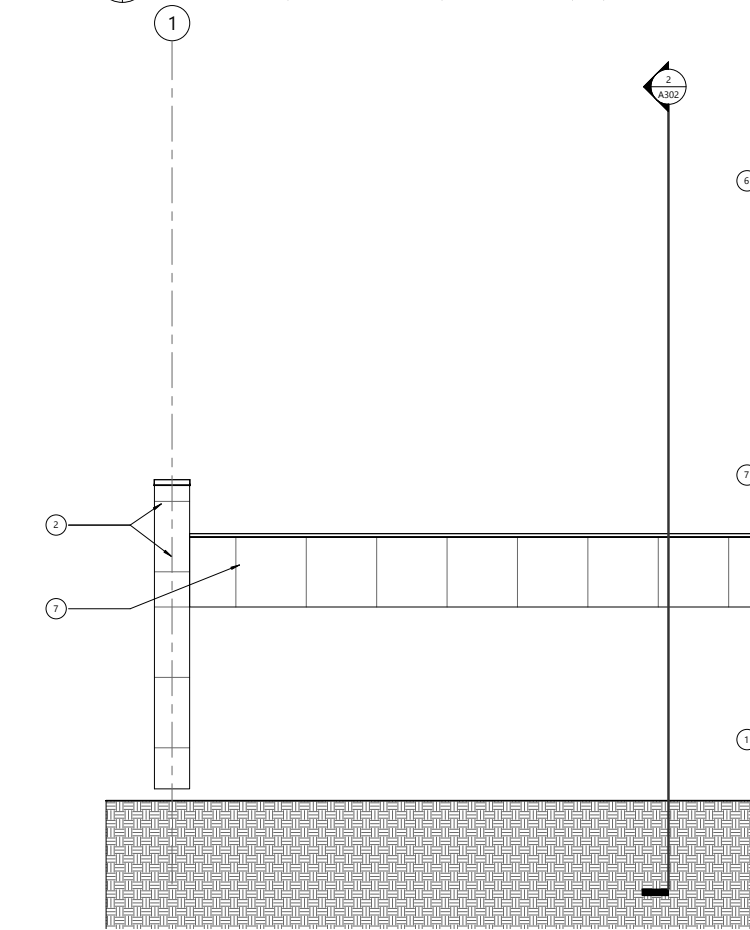


1 CANOPY ELEVATION
 A101/A202
 1/4" = 1'-0"



2 WEST
 A101/A202
 1/4" = 1'-0"

KEYED EXTERIOR ELEVATIONS	
TAG #	DESCRIPTION
1	BRICK VENEER, BRAMPTON BRICK - ARCHITECTURAL SERIES COLOR: GRAY - FINISH: VELOUR
2	MWP-1 BLUE ACM PANEL - COLOR: MATCH BMO STANDARDS
3	THERMALLY BROKEN ALUMINUM STOREFRONT WINDOW SYSTEM - COLOR/FINISH: CLEAR ANNOXIDIZED
4	PRE-FINISHED METAL WRAP COLUMN - COLOR: MATCH WINDOW SYSTEM
5	THERMALLY BROKEN ALUMINUM CURTAIN WALL SYSTEM - COLOR/FINISH: CLEAR ANNOXIDIZED
6	PRE-FINISHED METAL FLASHING - COLOR: MATCH BMO STANDARDS
7	MWP-2 GREY ACM PANEL - COLOR: MATCH BMO STANDARDS
8	PRECAST CONCRETE SILL - COLOR: MATCH BMO STANDARDS
9	SPANDREL GLAZING PANEL - COLOR: MATCH BMO STANDARDS: HARMONY SOLEX 2-743
10	ATM ROUGH OPENING
11	NIGHT DROP ROUGH OPENING
12	TRANSACTION DRAWER ROUGH OPENING
14	1 1/2" GATE
15	6" DIAMETER POST W/ COVER



3 SOUTH
 A101/A202
 1/4" = 1'-0"



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730 W VIRGINIA AVE
 SUITE B105
 MILWAUKEE, WISCONSIN 53204
 PH. (414) 810-7613

PROJECT

**NEW BUILDING FOR:
 BMO - HILLDALE**

**4501 VERNON BOULEVARD
 MADISON, WI 53705
 ISSUE**

NO. REV. DATE DESCRIPTION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFO

Date: 02.08.2019
 Project No: 18.129

SHEET TITLE

BUILDING ELEVATIONS

A202

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VERNON BLVD.

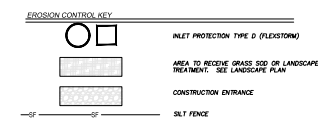
PRICE PLACE

PROPOSED BUILDING
FFE: 899.69'

BIO-RETENTION POND
BIORETENTION AREA TO BE USED AS A
SEDIMENT BASIN DURING
CONSTRUCTION. FINAL BIORETENTION
CONSTRUCTION SHALL NOT START
UNTIL WATERSHED AREA IS STABILIZED

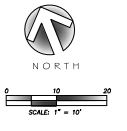
OFFSITE WATER TO BE DIRECTED
TO NEW STORM SEWER

- EROSION CONTROL NOTES**
1. BEFORE BUILDING EXCAVATION STARTS ALL PERIMETER EROSION CONTROL SHALL BE INSTALLED. ONCE BUILDING FOOTINGS AND FOUNDATIONS ARE REMOVED, SEDIMENT BASIN SHALL BE INSTALLED AND SITE ROUGH GRADING SHALL BE DIRECT ALL STORMWATER TO IT.
 2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WISCONSIN WRAP DISCHARGE PERMIT (IF APPLICABLE), COUNTY AND LOCAL EROSION CONTROL PERMIT. CONSTRUCTION IS RESPONSIBLE FOR ADDRESSING ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
 3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
 4. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARD, FOUND AT: http://dnr.wis.gov/Pages/Information/Announcements/erosion_control_standards.pdf OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
 5. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH ALL APPLICABLE PERMITS ISSUED FOR THE PROJECT.
 6. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRECIPITATES 0.25 INCHES OR MORE DURING A 24 HOUR PERIOD. REPAIRS SHALL BE MADE IMMEDIATELY TO EROSION CONTROL PRACTICES AS NECESSARY.
 7. TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED IN 10 DAYS. PERIMETER CONTROL ON THE DOWNHILL SIDE SHALL BE IN PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).
 8. TEMPORARY SEED MIXTURE SHALL CONFORM TO 833.21.51.4 OF THE WISCONSI STATUTES. SPECIFICATIONS USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
 9. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING AMORPHOUS POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WISCONSIN TECHNICAL STANDARD 1055.
 10. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASIN TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN IT REACHES HALF THE HEIGHT OF THE OVERFLOW CHANNEL. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BASE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
 11. ALL WATER FROM CONSTRUCTION DEMONSTRATION SHALL BE TREATED IN ACCORDANCE WITH WISCONSIN TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
 12. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH WISCONSIN TECHNICAL STANDARD 1063.
 13. TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE LOCAL MUNICIPALITY.
 14. DIRT CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WISCONSIN TECHNICAL STANDARD 1066.
 15. SEEDING SHALL BE COMPLETED BETWEEN APRIL 15 AND SEPTEMBER 15. ANY SEEDING NOT COMPLETED BY SEPTEMBER 15 MUST BE ACCOMPLISHED USING SOIL BY NOVEMBER 15.
 16. ALL SEEDING AREAS WILL BE FERTILIZED, RESEEDING AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.
 17. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE PROJECT SITE. THESE FACILITIES AND MEASURES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE DRAWINGS DOES NOT ALLEVIATE THE CONTRACTOR FROM PROVIDING THEM. ANY MEASURES AND FACILITIES SHOWN ON THE DRAWINGS ARE THE MINIMUM ACTIONS REQUIRED.
 18. ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.
 19. AFTER FINAL VEGETATION IS ESTABLISHED, REMOVE ALL EROSION CONTROL FACILITIES. RESTORE AREAS DISTURBED BY THE CONSTRUCTION.
 20. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
 21. COMPLETE AND STABILIZE SEDIMENT BASIN/TRAPS PRIOR TO MAINTAINING LAND DISTURBANCE TO CONTROL RUNOFF. DURING CONSTRUCTION, REMOVE SEDIMENT AS NECESSARY TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE. CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN FOR WISCONSIN TECHNICAL STANDARD 1055.
 22. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING MATERIALS OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
 23. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS 3 TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATTING IN WISCONSIN TECHNICAL STANDARD 1055.
 24. MAKE PROVISIONS FOR WEEDING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.



- GENERAL NOTES**
1. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION OF THE TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 2. THE PROPOSED CONSTRUCTION SHALL BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



BMO BANK - HILLDALE
GRADING & EROSION CONTROL PLAN
SNYDER & ASSOCIATES, INC.

MADISON, WISCONSIN
 6511 VOEGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

Project No: 118.1077.30
 C.3.0

VERNON BLVD.

PRICE PLACE

PROPOSED BUILDING
FFE: 899.69'

GRADING KEY NOTES

ALL SPOT ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE MARKED
 T = TOP OF WALL
 B = BOTTOM OF WALL
 S = START TRODE ELEVATION
 SUB = BOTTOM OF GRANULAR FILL FOR PERMEABLE PAVERS

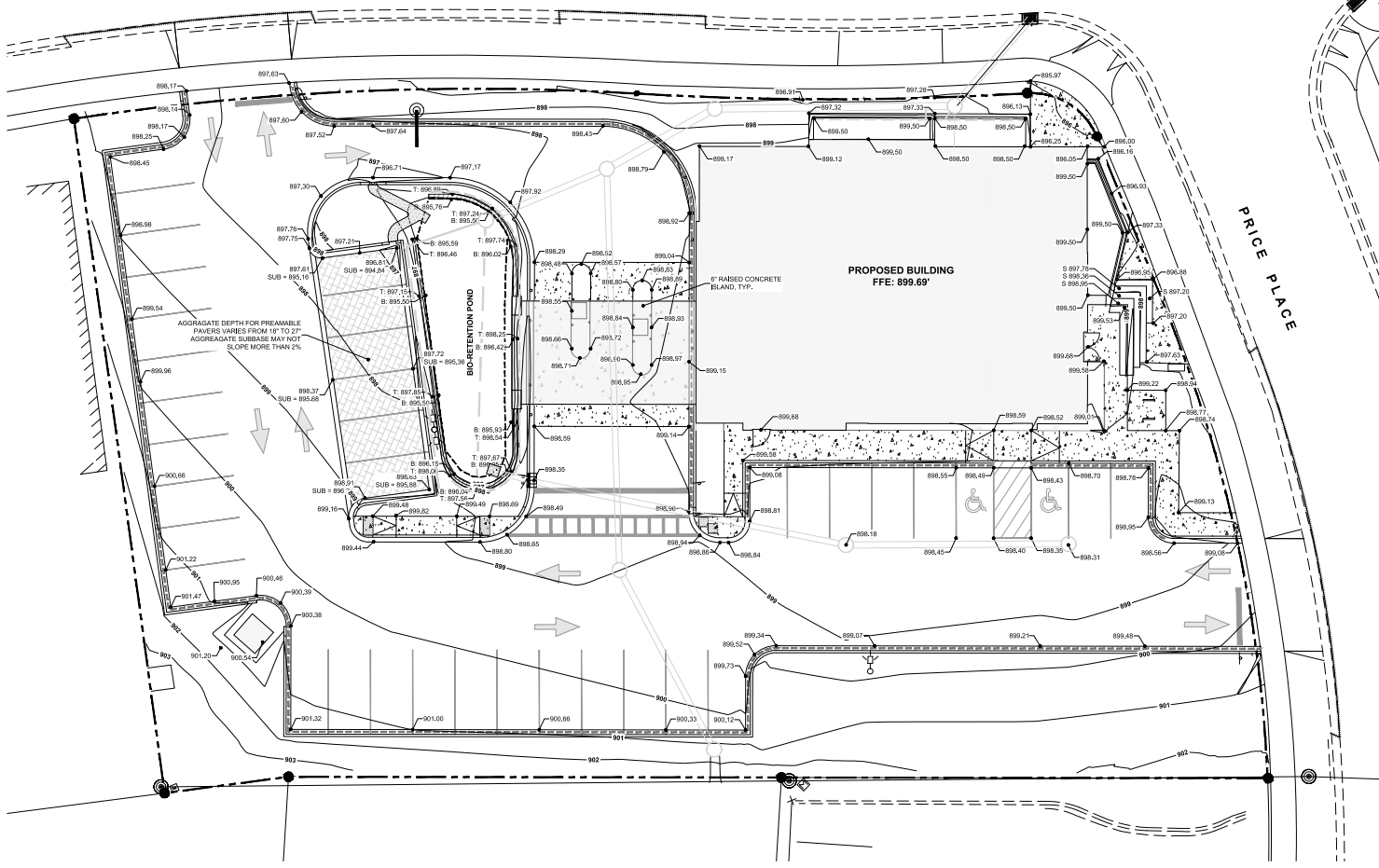
PROPOSED STAIRS IN FRONT OF BUILDING ARE ASSUMED 7" RISERS
 SEE LANDSCAPE PLAN FOR MORE DETAILS

AREAS WITH HATCH CURB

AGGREGATE DEPTH FOR PERMEABLE
 PAVERS VARIES FROM 16" TO 27"
 AGGREGATE SUBBASE MAY NOT
 SLOPE MORE THAN 2%

BIORETENTION POND
 T: 897.24
 B: 895.52

7" RAISED CONCRETE
 ISLAND, TYP.



TO OBTAIN LOCATION OF
 PARTICIPANTS' UNDERGROUND
 FACILITIES BEFORE YOU
 DIG IN WISCONSIN

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WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



BMO BANK - HILLDALE
 SPOT GRADING DETAIL

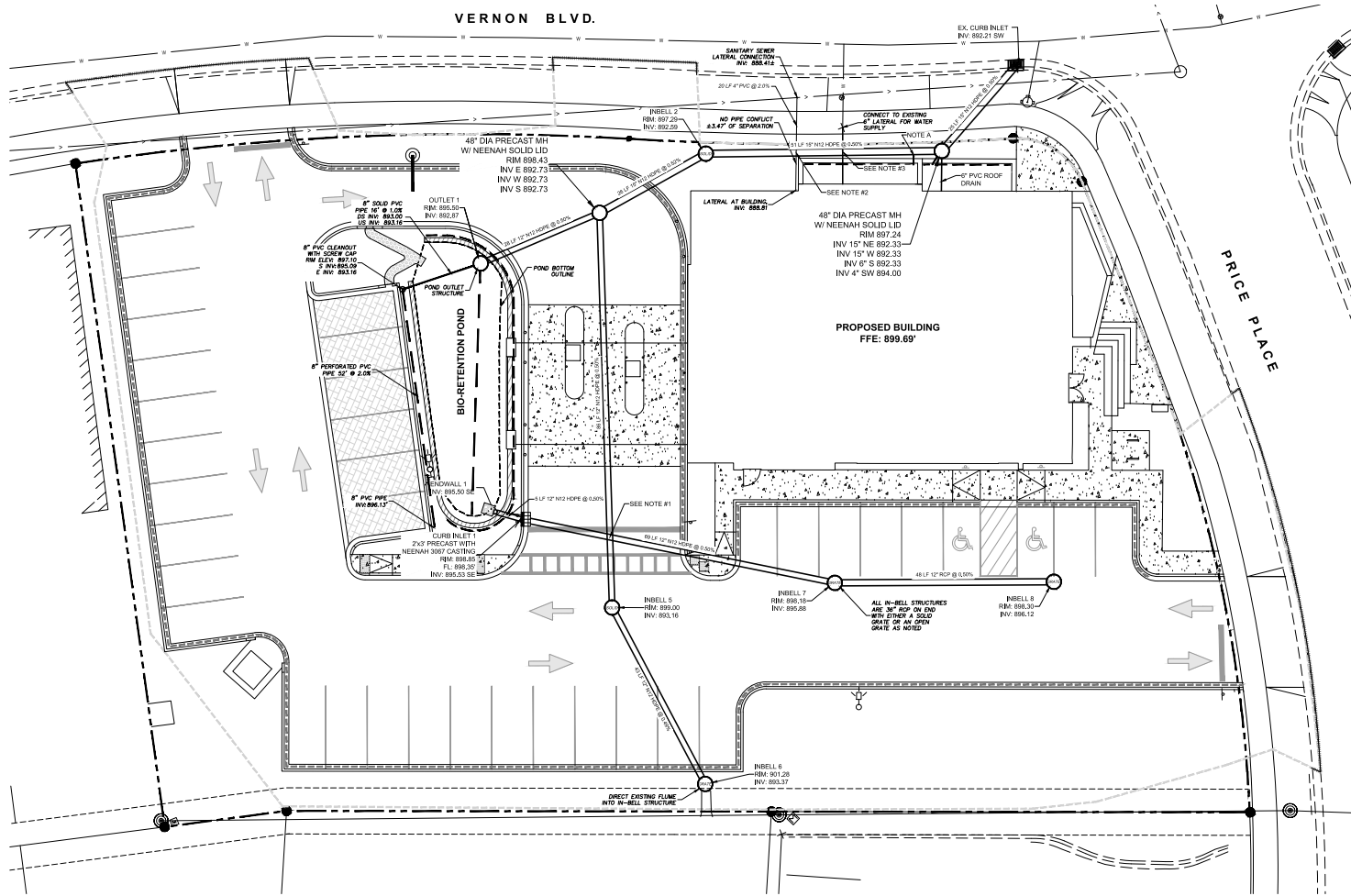


Project No: 118.1077.30
 C.3.1

DATE	BY
REVISED	NOTED
REVISION	CHECKED BY: SJA
ENGINEER: SJA	DATE: 4/24/2019
PROJECT: BMO	FILE NO: 118.1077.30

MADISON, WISCONSIN
 609.438.8645
 MADISON, WISCONSIN 53718
 609.838.0444 | www.snyder-associates.com

VERNON BLVD.



PIPE CROSSING CONFLICT CHECK

- #1 BOTTOM OF 12" HDPE STORM SEWER PIPE = 884.42'
TOP OF 12" HDPE STORM SEWER PIPE = 884.30'
- #2 BOTTOM OF 12" HDPE STORM SEWER PIPE = 882.45'
TOP OF 4" PVC SANITARY SEWER PIPE = 888.86'
- #3 BOTTOM OF 12" HDPE STORM SEWER PIPE = 882.45'
TOP OF 4" PVC SANITARY SEWER PIPE = 888.86'

GENERAL NOTES

- A. SEE IN 4" DRAIN TILE INTO PROPOSED 12" STORM PIPE.
- B. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIGNAL AND EXTEND IT 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TRUNK. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (361-4850) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE REMOVAL SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 101.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVAL THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
- C. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- D. PROPOSED 32' LONG 4" PERFORATED UNDERDRAIN SET AT ELEVATION 1048.5'. 4" PVC CLEANOUT AT DRAIN TILE END SHALL BE INSTALLED 18" ABOVE BOTTOM OF BASIN AT ELEVATION 1048.5' AND HAVE A SCREEN ON CAP.

DATE	BY
ISSUED	NOTED
REVISION	Checked By: SJA Engineer: SJA Date: 7/24/2019 Project No. 118.1077.30

MADISON, WISCONSIN
 609.838.0444
 MADISON, WISCONSIN 53718
 www.snyder-associates.com

BMO BANK - HILDALE
UTILITY PLAN
SNYDER & ASSOCIATES, INC.

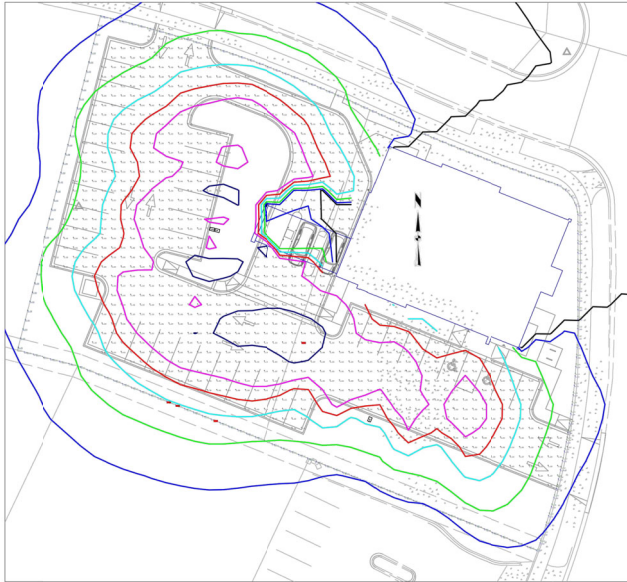
Project No: 118.1077.30
 C.3.2

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
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 TOLL FREE
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 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



**Parking Lot Lighting
BMO Bank - Hilldale
Madison, WI**

April 19, 2019



Assumptions:

Mounting Height - 25 ft (All Fixtures) - 2 poles with 3 fixtures.
Analysis does not include canopy fixtures at bank drive-up.
Red Highlighted values are max values for either parking lot or property line.

Symbol	Qty	Label	Lum. Waite	Lum. Lumens	ELP	Description
□	3	ec3p3s-8014k	92.9	13906	0.899	273935-8014K - Elm Lighting

Illumination Calculation Summary

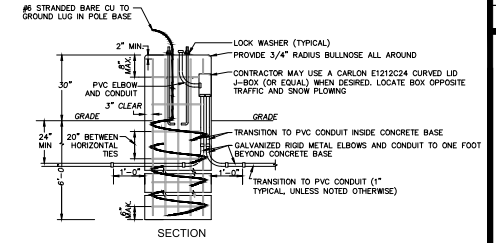
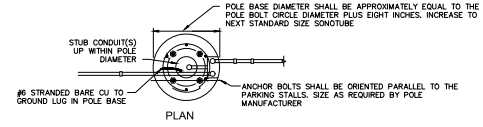
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Fc	0.44	1.42	0.00	N/A	N/A
Property Line = 4'	Fc	0.13	0.35	0.00	N/A	N/A
Property Line = Ground Level	Fc	0.14	0.44	0.00	N/A	N/A

Isoline Legend

Value (Fc)	Color	Value (Fc)	Color	Value (Fc)	Color
0.01	Black	0.75	Red	3	Green
0.1	Blue	1	Purple	4	Dark Green
0.25	Cyan	1.5	Dark Blue	5	Light Green
0.5	Magenta	2	Dark Green	10	Yellow



604 Product No. 118.1077.30



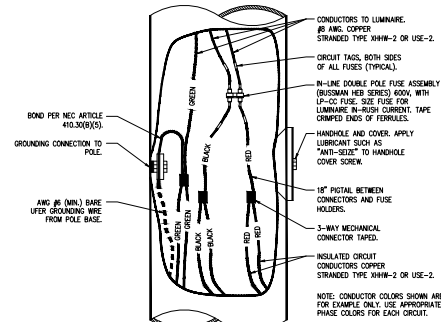
CONCRETE AND HARDWARE NOTES:

1. USE ANCHOR BOLTS FURNISHED BY POLE MANUFACTURER. VERIFY BOLT CIRCLE DIAMETER WITH MANUFACTURER.
2. APPLY "ANTI-SEIZ" LUBRICANT TO ALL ANCHOR BOLT THREADS.
3. USE #4 REBAR (TYPICAL).
4. THE EXPOSED SIDES OF THE CONCRETE BASE SHALL HAVE THE FORMS REMOVED AND THE CONCRETE RUBBED OUT TO A SMOOTH FINISH.
5. THE TOP OF THE CONCRETE BASE SHALL HAVE A BRUSH FINISH.
6. PROVIDE 3/4" RADIUS BULLNOSE ON TOP EDGE OF CONCRETE.

CONDUIT AND BOX NOTES:

1. AT CONTRACTOR'S OPTION, CONTRACTOR MAY USE A CURVED LID J-BOX RECESSED IN THE POLE BASE FOR ROUTING MULTIPLE CONDUITS TO/FROM A POLE. OTHERWISE CONDUITS SHALL BE STUBBED OUT THE TOP OF THE CONCRETE BASE WITHIN THE POLE DIAMETER.
 2. WHEN USED, JUNCTION BOX SHALL FACE OPPOSITE TRAFFIC AND SNOW PLOWING.
 3. PROVIDE A SPARE CONDUIT STUB AT EACH END-OF-LINE FIXTURE. SEE PLANS FOR ADDITIONAL SPARE STUBS.
 4. PROVIDE A BUSHING ON ALL EXPOSED CONDUIT ENDS.
- CONCRETE ENCASED (UNDER) GROUNDING SYSTEM NOTES:**
1. PROVIDE 120V 150V DIRECT BURY CLAMP (FOR LOCAL) AT TOP OF REBAR CAGE.
 2. PROVIDE 23' OF #6 BARE COPPER STRANDED GROUNDING ELECTRODE CONDUCTOR.
 3. EXTEND 3' OF CONDUCTOR OUT THE TOP OF POLE BASE FOR POLE GROUNDING.
 4. SPIRAL 10" MINIMUM OF CONDUCTOR AROUND OUTSIDE OF REBAR CAGE.
 5. LOOP REMAINING CONDUCTOR AROUND REBAR CAGE AT BOTTOM OF POLE BASE IN CONTACT WITH EARTH.

1
C5.0 CONCRETE BASE DETAIL
SCALE: NTS



PARKING LOT LIGHTING NOTES:

1. ALL CONDUIT SHALL BE 1.5" DIA. AND EITHER RIGID PVC OR DIRECTIONAL BORED HOPE CONDUIT, UNLESS OTHERWISE SPECIFIED. CONDUIT MUST BE BORED INTO PLACE UNDERNEATH ALL EXISTING PAVEMENT. TRENCHING WILL BE ALLOWED IN ALL OTHER LOCATIONS. ALL CONDUIT SHALL BE INSTALLED AT LEAST 30" BELOW EXISTING OR FINAL GRADE. INSTALL SPARE CONDUIT STUB OUT OF EACH FOOTING.
2. SERVICE VOLTAGE TO THE POLES IS 208-VOLT. PROVIDE #8 A.W.G., XHHW OR USE, CABLE TO EACH POLE. INSTALL 2-#8 A.W.G. CABLES WITHIN EACH POLE FROM THE FIXTURE TO POLE BASE.
3. ALL SPLICING SHALL BE COMPLETED WITHIN AN IN-GRADE HANDHOLE OR POLE BASE. SPLICING WITHIN A PULL BOX MUST BE COMPLETED USING A WATER-TIGHT CONNECTION. SPLICE INTO LIGHTING CIRCUIT AT IN-GRADE HANDHOLE AT THE EXTERIOR OF THE BUILDING NEAR THE PHOTOCELL.
4. ALL HOLES RESULTING FROM CONSTRUCTION ACTIVITIES BY THE CONTRACTOR, INCLUDING UTILITY LOCATING, SHALL BE FILLED AND CONSOLIDATED TO FINISH GRADE AS APPROVED BY ENGINEER. THE HOLES SHALL BE FILLED AS SOON AS PRACTICAL, PREFERABLY THE DAY CREATED, BUT NO LATER THAN THE FOLLOWING DAY.
5. POLE SHALL BE ROUND, STRAIGHT, GALVANIZED STEEL. POLE SHALL BE 20' HEIGHT, 5" DIAMETER, AND 0.12" MINIMUM WALL THICKNESS.
6. FIXTURE SHALL BE A HUBBELL OUTDOOR LIGHTING, CIMARRON SERIES LED, TYPE II AND IV DISTRIBUTIONS.
7. IN-GRADE HANDHOLES SHALL BE 11"x18"x18" AND RATED TIER 15.

2
C5.0 POLE CUTAWAY DETAIL - (208 VOLTS, 1 PHASE)
SCALE: NTS

BMO BANK - HILLDALE
SITE LIGHTING



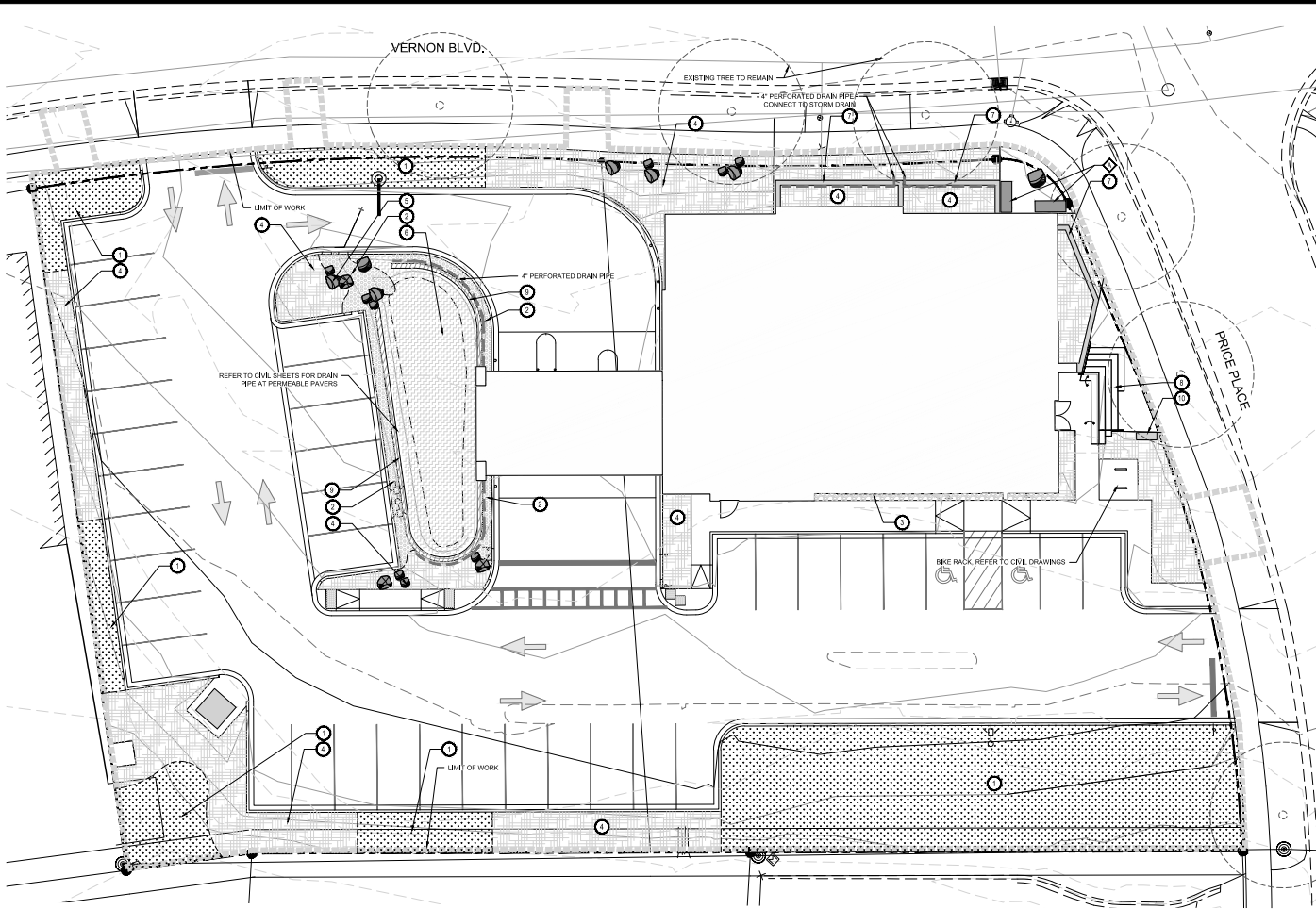
Project No. 118.1077.30

C5.0

MADISON, WISCONSIN
604 PRODUCT NO. 118.1077.30
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

DATE	BY	REVISION
11/24/2019	SAJ	Check By: SAJ
11/24/2019	SAJ	Engineer: SAJ
11/24/2019	SAJ	Drawn: SAJ
11/24/2019	SAJ	Checked: SAJ
11/24/2019	SAJ	Designed: SAJ

Project No. 118.1077.30
C5.0



LANDSCAPE CONSTRUCTION NOTES

- SOD SHALL BE TFK6 PROVIDED BY PAUL'S TURF AND TREE NURSERY SOD PRODUCTS (808.655.9800) OR APPROVED EQUAL. MIX OF TALL FESCUE AND KENTUCKY BLUEGRASS.
- ROCK MULCH TYPE 1: 2-4" COBBLE MULCH PROVIDED BY MILESTONE MATERIALS OVER GEOTEXTILE WEED CONTROL FABRIC OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
- ROCK MULCH TYPE 2: 3/4" DRESSER TRAP PROVIDED BY MILESTONE MATERIALS OVER GEOTEXTILE WEED CONTROL FABRIC OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
- PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A 4" SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB.
- BOULDERS RELOCATED FROM SITE. CONTACT LANDSCAPE ARCHITECT FOR BOULDER SELECTION AND PLACEMENT.
- ALL BIORETENTION PLANTS SHALL BE INSTALLED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD CODE 1004 (BIORETENTION FOR INFILTRATION).
- CMU RAISED PLANTER, REFER TO L3.0 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH.
- STONE STAIRS WITH HANDRAIL, REFER TO L3.0 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH.
- CAST IN PLACE WALL, REFER TO L3.0 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH.
- CMU SEAT WALL, REFER TO L3.1 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH.

MATERIAL & PLANTING LEGEND

- 4" PERFORATED DRAIN PIPE
- RELOCATED BOULDERS FROM SITE (39 TOTAL)
- OVERSTORY DECIDUOUS TREE
- EXISTING TREE TO REMAIN
- EVERGREEN TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- UPRIGHT EVERGREEN
- ORNAMENTAL GRASS

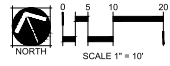
MATERIAL PLAN

WALL AND STAIR SCHEDULE (CONTRACTOR TO SUBMIT SAMPLES FOR ALL ITEMS IN MATERIAL SCHEDULE FOR OWNER / ARCHITECT REVIEW AND APPROVAL.)

DESCRIPTION	SIZE / DIMENSIONS	COLOR / FINISH	PROVIDER	NOTES
CAST IN PLACE CONCRETE WALL	REFER TO LANDSCAPE PLAN	STANDARD GRAY CONCRETE, PATTERN 18550	FITZGERALD FORMLINERS OR APPROVED EQUAL	CONTRACTOR TO PROVIDE MOCK UP FOR APPROVAL
CMU PLANTER BLOCK WALL & CMU SEAT WALL	5-5/8" X 7-5/8" X 15-5/8"	ECHELON VERNASTONE, SUPERIOR COLOR	ECHELON BLOCK BY NORTHFIELD 282-338-5700	CONTRACTOR TO PROVIDE MOCK UP FOR APPROVAL. FULLY GROUTED CELLS
PRECAST CAP FOR CMU PLANTER BLOCK WALL	2-1/2" X 12" X 24"	WESTERN GOLD 5844 BY DAVIS COLORS	DAVIS COLORS (OR APPROVED EQUAL)	CONTRACTOR TO PROVIDE MOCK UP FOR APPROVAL
STONE STAIRS	A: 20" TREAD, 7" RISER, 48" LENGTH B: 20" TREAD, 7" RISER, 38" LENGTH	NATURAL BLUESTONE STEP	MADISON BLOCK AND STONE 608-249-5633	CONTRACTOR TO PROVIDE MOCK UP FOR APPROVAL

AMENITY SCHEDULE (CONTRACTOR TO SUBMIT SAMPLES FOR ALL ITEMS IN MATERIAL SCHEDULE FOR OWNER / ARCHITECT REVIEW AND APPROVAL.)

ITEM	DESCRIPTION	SIZE / DIMENSIONS	COLOR / FINISH	PROVIDER	NOTES
◆	LEVIAT BENCH	72" BENCH	CAST POLISHED STONE - GREY	LANDSCAPE FORMS (269-381-0396)	SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS



DATE: 11-10-20	REVISION:
CHECKED BY: SAJ	DATE: 11-10-20
DESIGNED BY: ATN	DATE: 11-10-20
PROJECT: 118.1077.30	PROJECT: 118.1077.30

MADISON, WISCONSIN
 651A VOEGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

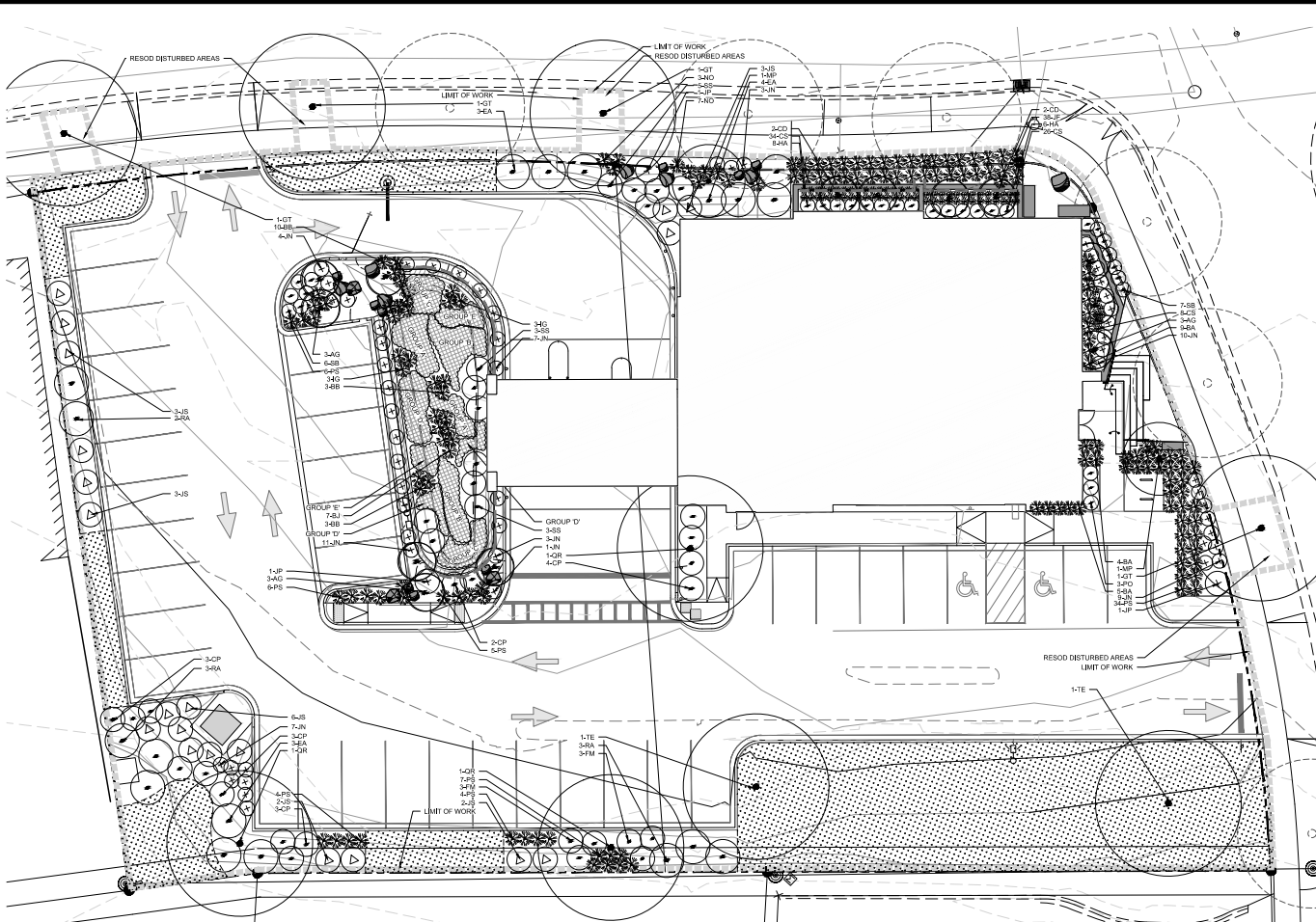
BMO BANK - HILLDALE
MATERIAL PLAN
SNYDER & ASSOCIATES, INC.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

WS. STATUTE 182.0175 (1974)
 REQUIRES M.I. OF 3' WORK SHITS
 NOTICE BEFORE YOU EXCAVATE

SNYDER & ASSOCIATES

Project No. 118.1077.30
 L2.0

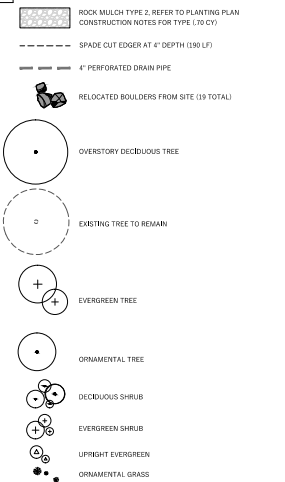


KEY	COMMON NAME
CANOPY TREES	
QR	NORTHERN RED OAK
GT	SKYLINE HONEYLOCUST
TE	TRIUMPH ELM
EVERGREEN TREES	
J	JAPANESE JUNIPER
ORNAMENTAL TREES	
MP	PRAIRIFIRE CRABAPPLE
DECIDUOUS SHRUBS	
2'-4" SPREAD	
PO	COLD-FINGER POTENTILLA
HA	BLUE ANGEL PLANTAIN LILY
SB	GLOW GIRL SPirea
5'-7" SPREAD	
CP	ROCK COTONEASTER
FM	SHOW OFF FORSYTHIA
SS	SUMMERSWEET
7' + SPREAD	
AK	ACTINORHIZAL JACK STRAWBERRY
EA	DWARF-ANGLED BURNING BUSH
RA	FRAGRANT SUMAC
CD	CORNELIAN-CHERRY DOGWOOD
EVERGREEN SHRUBS	
JN	DWARF JAPANESE GARDEN JUNIPER
2'-4" SPREAD	
J	JAPANESE JUNIPER
ORNAMENTAL GRASSES AND SEDGES	
BA	BLONDE ANTHONY BLUE GRASS
PS	SHELDONIA SWITCH GRASS
CS	CRICK GRASS
JF	JAPANESE FOREST GRASS
NO	NORTHERN SEA OATS
BB	BLUE STEM
BJ	BLUE-JOINT GRASS
IS	INDIAN GRASS

- ### LANDSCAPE CONSTRUCTION NOTES
- SOD SHALL BE TRIM PROVIDED BY PAUL'S TURF AND TREE NURSERY. SOD PRODUCTS (W665 360) OR APPROVED EQUAL. BANK OF TALL FESCUE AND KENTUCKY BLUEGRASS.
 - ROCK MULCH TYPE 1: 2" COBBLE MULCH PROVIDED BY MILESTONE MATERIALS OVER GEOTEXTILE WEED CONTROL FABRIC OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
 - ROCK MULCH TYPE 2: 3/4" DRESSER TRAP PROVIDED BY MILESTONE MATERIALS OVER GEOTEXTILE WEED CONTROL FABRIC OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
 - PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3'-0" PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN GROUND COVER OR PERENNIAL AREAS. MATCHED LANDSCAPE BEDS SHALL HAVE A 4" SPACED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB.
 - BOULDERS RELOCATED FROM SITE. CONTACT LANDSCAPE ARCHITECT FOR BOULDER SELECTION AND PLACEMENT.
 - ALL BIORETENTION PLANTS SHALL BE INSTALLED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD CODE 1004 (BIORETENTION FOR INFILTRATION).
 - CMU BASED PLANTER: REFER TO L3.0 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH.
 - STONE STAIRS WITH HANDRAIL: REFER TO L3.0 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH.
 - CAST IN PLACE WALL: REFER TO L3.0 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH.
 - CMU SEAT WALL: REFER TO L3.1 FOR DETAIL AND WALL AND STAIR SCHEDULE ON L2.0 FOR FINISH.

MATERIAL & PLANTING LEGEND

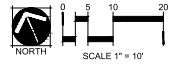
SO	SOD (4,393 SF), REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE
NP	NATIVE PLANT PLUGS AT 12" O.C.
WM	WOOD MULCH (34 CY - DOES NOT INCLUDE STAND-ALONE TREES OUTSIDE SHRUB BED AREAS). REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE.
BS	BIORETENTION SHREDDED HARDWOOD MULCH PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES. STANDARD CODE 1004
RM1	ROCK MULCH TYPE 1. REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE (1.50 CY)
RM2	ROCK MULCH TYPE 2. REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE (1.0 CY)
CE	SPADE CUT EDGER AT 4" DEPTH (150 LF)
DP	4" PERFORATED DRAIN PIPE
RL	RELOCATED BOULDERS FROM SITE (19 TON)



PLANTING PLAN

BIORETENTION PLANTING SCHEDULE

Group A	Common Name	Botanical Name	Percentage	Group D	Common Name	Botanical Name	Percentage
	Joe Pye Weed	Eupatorium maculatum	16		Mountain Mint	Pycnanthemum virginianum	15
	Dogtooth Daisy	Helenium autumnale	12		Smooth Aster	Aster laevis	15
	Culver's Root	Veronicastrum virginicum	10		Butterfly Weed	Asclepias tuberosa	20
	Cardinal Flower	Labelia cardinalis	16		Fox Sedge	Carex vulpinoidea	16
	Big Bluestem	Andropogon gerardii	16		Little Bluestem	Schizachyrium scoparium	20
	Indian Grass	Sorghastrum nutans	16		Dark Green Bulrush	Scirpus atrovirens	14
	Bluepoint Grass	Calamagrostis canadensis	14				100
			100				
Group B	Common Name	Botanical Name	Percentage	Group E	Common Name	Botanical Name	Percentage
	Iris, Blue Flag	Iris virginica ssp. rivae	15		Heath Aster	Aster ericoides	15
	Ohio Goldenrod	Solidago ohioensis	12		Black-eyed Susan	Rudbeckia hirta	16
	Marsh Milkweed	Asclepias incarnata	16		Common Spiderswort	Tradescantia virginiana	16
	Boneset	Eupatorium perfoliatum	11		June Grass	Koeleria macrantha	16
	Heavy Metal Switchgrass	Panicum virgatum 'Heavy Metal'	16		Side-Oats Grama	Bouteloua curtipendula	18
	Canada Wild Rye Grass	Elymus canadensis	14		Little Bluestem	Schizachyrium scoparium	19
	Fringed Brome Grass	Bromus ciliatus	14				100
			100				
Group C	Common Name	Botanical Name	Percentage	BIORETENTION PLANTS NOTES:			
	Fall Ironweed	Veronicastrum virginicum	16	PLANTING DENSITY AT 1 FOOT ON CENTER PER WISCONSIN DNR BIORETENTION FOR INFILTRATION SECTION 1004. PLUGS SHALL BE USED IN ESTABLISHING ALL BIORETENTION PLANTS.			
	Culver's Root	Veronicastrum virginicum	13	BIORETENTION AREAS - 580 SF			
	Compass Plant	Siphium laciniatum	17	BIORETENTION PLANTS - 580 SF			
	Prairie blazingstar	Liatris pycnostachya	14	GROUP A: 114 PLANTS			
	Wool Grass	Scirpus operinus	14	GROUP B: 168 PLANTS			
	Big Bluestem	Andropogon gerardii	12	GROUP C: 111 PLANTS			
	Heavy Metal Switchgrass	Panicum virgatum 'Heavy Metal'	14	GROUP D: 128 PLANTS			
			100	GROUP E: 69 PLANTS			



Project No. 118.1077.30
L2.1

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PLANTING PLAN
SNYDER & ASSOCIATES, INC.

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L2.1

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