

4706 E. WASHINGTON AVE.  
MADISON, WI 53704

LOCATION: 4706 E. WASHINGTON AVE.  
MADISON, WI 53704

REGULATING MUNICIPALITIES:  
CITY OF MADISON  
DANE COUNTY  
STATE OF WISCONSIN

BUILDING CODE:  
CITY OF MADISON ZONING ORDINANCES  
WISCONSIN ADMINISTRATIVE CODE  
2015 INTERNATIONAL BUILDING CODE  
ACCESSIBILITY ANSI A117.1 - 2009

PROJECT DESCRIPTION:  
MULTI-TENANT COMMERCIAL BUILDING, SINGLE STORY

OCCUPANCY TYPE:  
PRIMARY : M

CONSTRUCTION TYPE:  
TYPE VB

ALLOWABLE AREA & HEIGHT:  
HEIGHT (IBC TABLE 504.3) = 40 FEET ABOVE GRADE PLANE  
# STORIES (IBC TABLE 504.4) = 1 STORY  
AREA (IBC TABLE 506.2) = 9,000 SF / FLOOR

BUILDING AREA & HEIGHT:  
HEIGHT = 22 FEET 6 INCHES ABOVE GRADE PLANE  
# STORIES = 1 STORIES  
TOTAL AREA = 5,500 SF

NUMBER OF OCCUPANTS: (TABLE 1004.1.2)  
M OCCUPANCY:  
M OCCUPANCY = 5,500 SF/ 60 SF = 92 OCC

PARKING REQUIREMENTS:  
1 STALLS / 400 SF/ OCCUPANTS = 14 STALLS  
1 VAN ACCESSIBLE STALLS REQUIRED  
1 ADA STALLS REQUIRED  
CROSS-PARKED WITH ADJACENT PROPERTY  
2 BIKE PARKING STALLS REQUIRED  
TOTAL BIKE PARKING STALLS PROVIDED = 4

PLUMBING:  
ALL FIXTURES TO COMPLY WITH ICC A117.1

FIRE CONTROL:  
NON-SPRINKLERED  
PORTABLE FIRE EXTINGUISHERS (IBC SECTION 906)  
MAX DISTANCE = 75 FEET

SEPARATION:  
NON-SEPERATED USE

EXIT TRAVEL DISTANCE:  
NON-SPRINKLERED:  
B = 200 FT MAX TRAVEL (TABLE 1017.2)  
B = 75 FT COMMON PATH OF TRAVEL (1006.2.1)

EXITS:  
TWO EXISTS FROM BUILDING REQUIRED, TWO PROVIDED FROM EACH TENANT

ACCESSIBILITY:  
ALL FLOORS SHALL BE ACCESSIBLE IF GREATER THAN 1,500 SF  
ALL EXITS SHALL BE ACCESSIBLE  
FOLLOW IBC AND ANSI 117

1. DIMENSIONS ARE TO FACE OF STUD OR TO COLUMN CENTERLINE UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
2. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPILE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
3. DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
4. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
5. CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
6. JOB SITE SHALL BE BROOM SWEEP AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
7. MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
8. ALL MECHANICAL (HVAC), ELECTRICAL, AND PLUMBING ("MEP") DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
9. ELECTRICIAN TO VERIFY NEW LIGHT FIXTURE LAYOUT AND SUBMIT LIGHTING ENERGY CALC'S AS REQUIRED PER CODE. REVIEW PLAN AND LIGHTING FIXTURE SELECTION WITH ARCHITECT.
10. HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
11. ENSURE A CLEAR PATHWAY TO ALL EXISTS IS MAINTAINED AND SUSTAINED.
12. WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND MAY NOT BE TRUE NORTH
13. ALL EXPOSED WOOD, OR IN CONTACT WITH CONC. OR MASONRY, SHALL BE PRESSURE TREATED
14. VERIFY ALL ROUND OPENINGS WITH RESPECTIVE MFG
15. PROVIDE SOUND BATT INSULATION AT ALL DEMISING WALLS, SEPARATION WALLS, AND AT BATHROOM, AND MECHANICAL ROOM WALLS
16. PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS
17. PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED BY CODE
18. PROVIDE 2X BLOCKING AT ALL GRAB BAR LOCATIONS PER ANSI A117.1 2009
19. FIELD VERIFY ALL CABINET LAYOUTS AND COORDINATE DIMENSIONS WITH SELECTED APPLIANCES AND FIXTURES, PROVIDE END PANELS AT ALL EXPOSED CABINET ENDS
20. PROVIDE FIRE BLOCKING THROUGHOUT ENTIRE BUILDING PER IRC T17.2
21. SUBMIT ALL FIXTURES, APPLIANCES, MATERIALS, SHOP DRAWINGS, PLAN MODIFICATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL

SHEET NUMBER	SHEET NAME	REVISIONS	
		MARK	DATE
GENERAL			
A0.1	COVER SHEET	UDC SUBMITTAL	19/03/28
G1.0	EXISTING SITE	UDC SUBMITTAL	19/03/28
G1.1	EXISTING CONDITIONS PHOTOS	UDC SUBMITTAL	19/03/28
CIVIL			
C1.0	EXISTING CONDITIONS		
C2.0	PROPOSED SITE PLAN		
C3.0	GRADING PLAN		
C4.0	EROSION CONTROL PLAN		
C4.0	UTILITY PLAN		
CIVIL - LANDSCAPE			
LS1.1	LANDSCAPE PLAN		
CIVIL - SITE LIGHTING			
ET1	SITE LIGHTING LAYOUT		
ARCHITECTURAL			
A2.1	FIRST FLOOR PLAN	UDC SUBMITTAL	19/03/28
A2.2	ROOF PLAN	UDC SUBMITTAL	19/03/28
A3.1	EXTERIOR ELEVATIONS	UDC SUBMITTAL	19/03/28
A3.2	EXTERIOR RENDERING	UDC SUBMITTAL	19/03/28
A3.3	EXTERIOR RENDERING	UDC SUBMITTAL	19/03/28

**OWNER:**  
**GALWAY COMPANIES, LLC**  
**6430 BRIDGE RD. SUITE 230**  
**MADISON, WI 53713**

**CONTACT:  
STEVE DORAN  
608-372-4006**

**ARCHITECT:**  
**SKETCHWORKS ARCHITECTURE, LLC**  
**7780 ELMWOOD AVE., STE 208**  
**MIDDLETON, WI 53562**

**CONTACT:**  
**BRAD KONING (ARCHITECT)**  
**608-836-7570**

**STRUCTURAL ENGINEER:**  
**MP<sup>2</sup> STRUCTURAL ENGINEERS, LLC**  
**583 D'ONOFRIO DR. SUITE 201**  
**MADISON, WI 53719**

**CONTACT:**  
**MARK LINDLOFF**  
**608-821-4770**

**CIVIL ENGINEER:**  
**PROFESSIONAL ENGINEERING, LLC**  
**818 N. MEADOWBROOK LANE**  
**WAUNAKEE, WI 53597**

**CONTACT:**  
**ROXANNE JOHNSON, P.E.**  
**608-849-9378**

# MULTI-TENANT BUILDING

## NEW COMMERCIAL BUILDING

**300 E. WASHINGTON AVE.  
MADISON, WI 53704**

# COVER SHEET

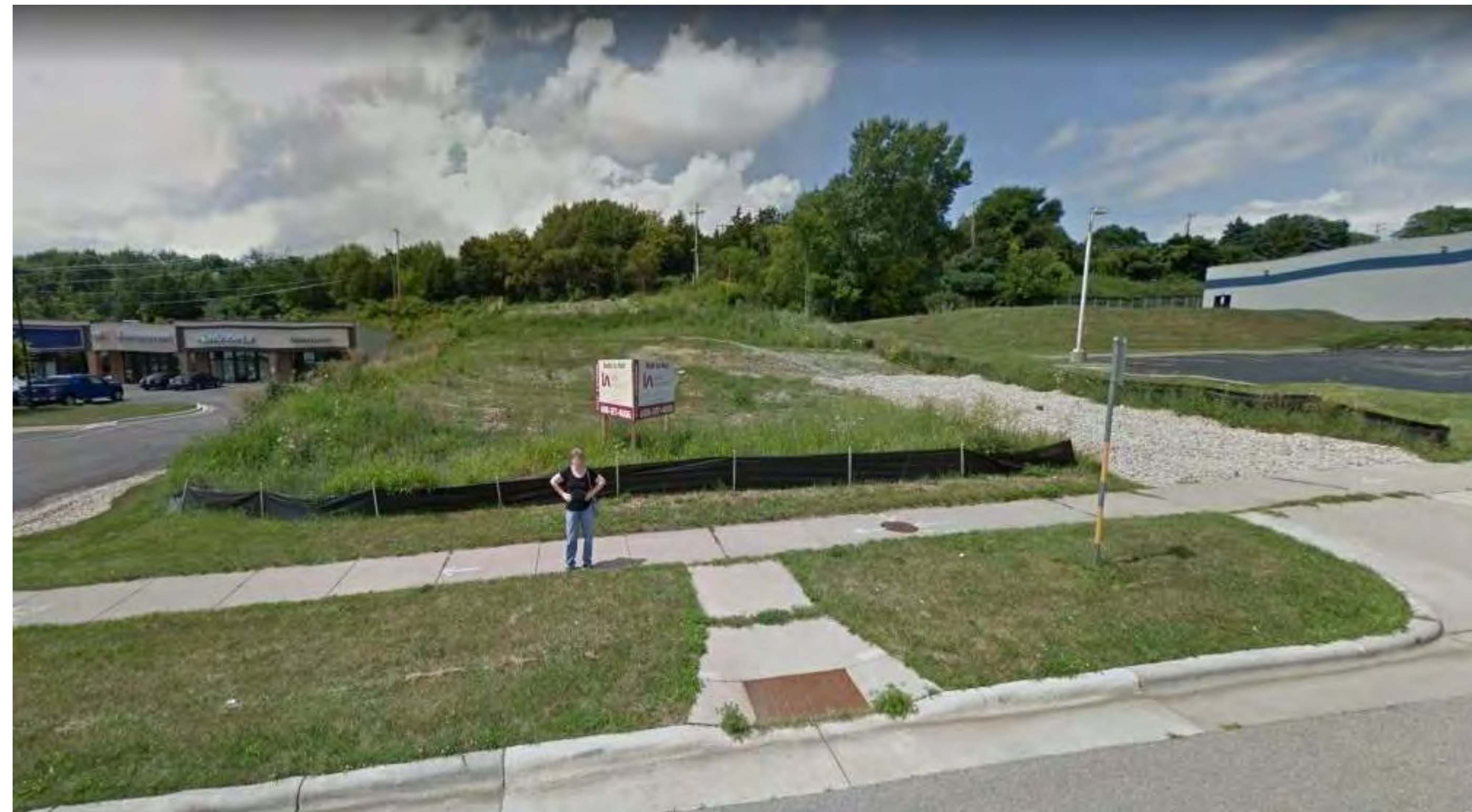
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# A0.1











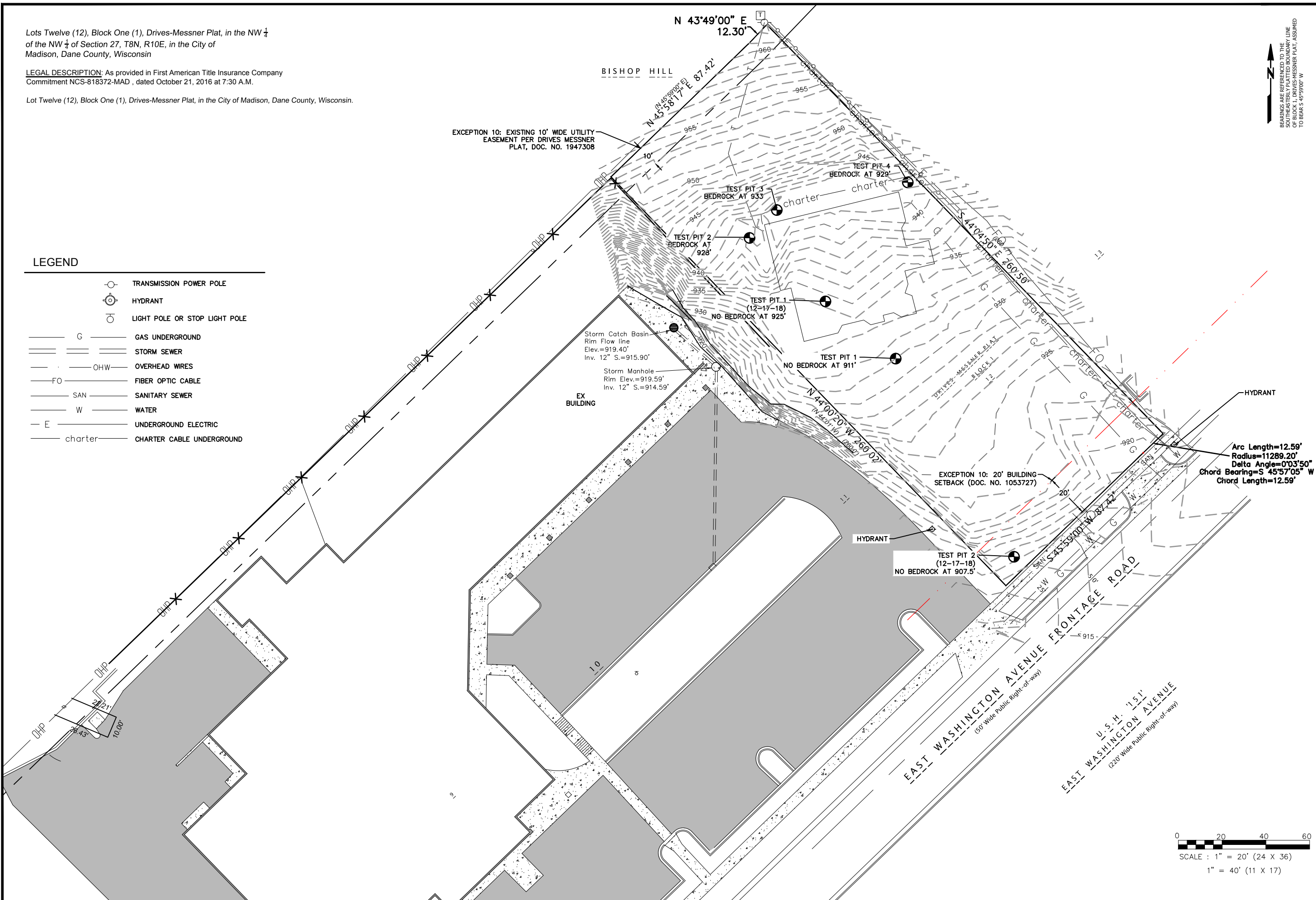
Lots Twelve (12), Block One (1), Drives-Messner Plat, in the NW 1/4 of the NW 1/4 of Section 27, T8N, R10E, in the City of Madison, Dane County, Wisconsin

LEGAL DESCRIPTION: As provided in First American Title Insurance Company Commitment NCS-818372-MAD , dated October 21, 2016 at 7:30 A.M.

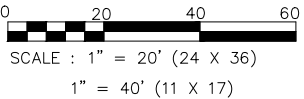
Lot Twelve (12), Block One (1), Drives-Messner Plat, in the City of Madison, Dane County, Wisconsin.

LEGEND

- TRANSMISSION POWER POLE
- HYDRANT
- LIGHT POLE OR STOP LIGHT POLE
- GAS UNDERGROUND
- STORM SEWER
- OVERHEAD WIRES
- FIBER OPTIC CABLE
- SANITARY SEWER
- WATER
- UNDERGROUND ELECTRIC
- CHARTER CABLE UNDERGROUND



BEARINGS ARE REFERENCED TO THE  
SOUTHEASTERN PLATTED BOUNDARY LINE  
OF BLOCK 1, DRIVES-MESSNER PLAT, ASSUMED  
TO BEAR S 45°59'00" W



ISSUANCE/REVISION	DATE
UDC	03-27-19

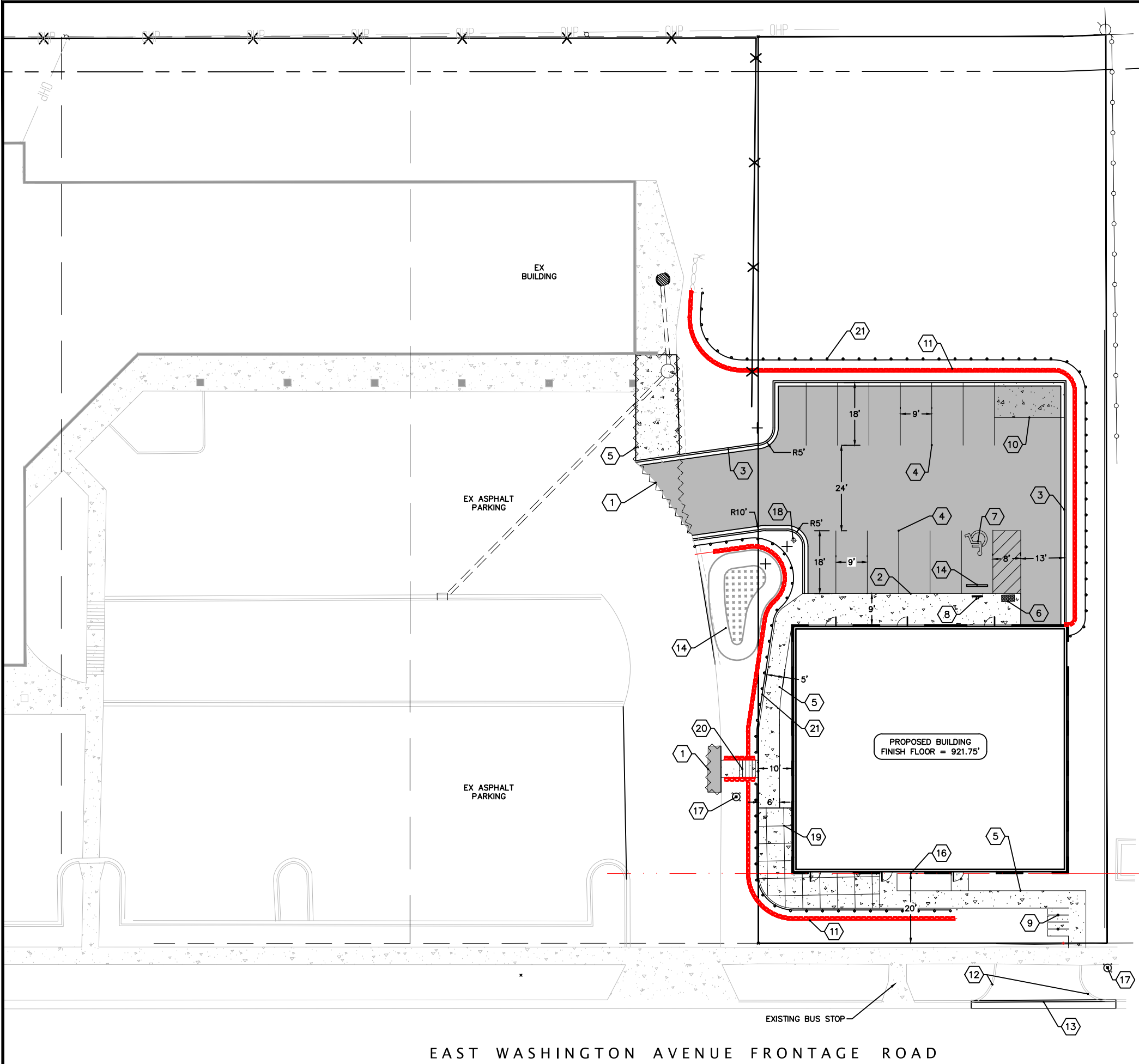
818 N Meadowbrook Ln  
Waukegan, WI 53597  
phone (608) 849-9378  
www.pe-wi.com

**PROFESSIONAL  
ENGINEERING**  
LLC

4706 E WASHINGTON AVENUE  
EXISTING CONDITIONS  
MADISON, WISCONSIN

C1.0





- PLAN KEY
- 1

CUT AND REMOVE EXISTING SIDEWALK/ASPHALT
- 2

THICKENED EDGE SIDEWALK
- 3

18" CURB AND GUTTER
- 4

4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP
- 5

SIDEWALK
- 6

DETECTABLE WARNING FIELD, TYP.
- 7

VAN ACCESSIBLE STALL, TYP.
- 8

VAN ACCESSIBLE PARKING SIGN, TYP.
- 9

BIKE RACK TO BE DERO PART# BH-FT-EPX BIKE RACKS SURFACE MOUNT POWDER COAT FINISH
- 10

TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS
- 11

SEGMENTAL RETAINING WALL
- 12

REMOVE EXISTING CONCRETE APRON
- 13

30" CURB AND GUTTER
- 14

6' CONCRETE WHEEL STOP
- 15

BIORETENTION DEVICE
- 16

EXCEPTION 10: 20' BUILDING SETBACK DOC. NO. 1053727
- 17

EX HYDRANT
- 18

LIGHT POLE WITH CONCRETE BASE
- 19

OUTDOOR PATIO
- 20

STAIRS WITH HANDRAILS, SEE ARCHITECTURAL PLANS
- 21

GUARDRAIL, SEE ARCHITECTURAL PLANS

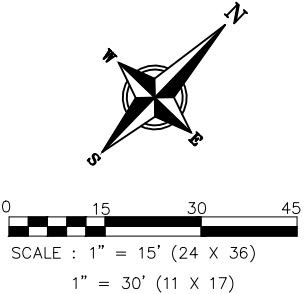
- PLAN KEY
- PAVEMENT
- CONCRETE
- EX CONCRETE
- BIORETENTION POND
- SAW CUT

LEGAL DESCRIPTION: AS PROVIDED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NCS-818372-MAD , DATED OCTOBER 21, 2016 AT 7:30 A.M.

LOT TWELVE (12), BLOCK ONE (1), DRIVES-MESSNER PLAT, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

SITE INFORMATION

- SITE ADDRESS = 4706 E. WASHINGTON AVENUE
- SITE ACREAGE = 0.67 ACRES (29,050 SF)
- TOTAL IMPERVIOUS AREA = 15,566 SF
- IMPERVIOUS SURFACE % = 53.6%
- NUMBER OF STORIES (ABOVE GRADE) = 1 STORY
- BUILDING HEIGHT = 22'-6"
- DILHR TYPE OF CONSTRUCTION = VB
- TOTAL SQUARE FOOTAGE OF BUILDING = 5,530 SF
- NUMBER OF PARKING STALLS: 13 (1 HC)
- TOTAL BIKE PARKING: 4 STALLS



DATE

03-27-19

ISSUANCE/REVISION

UDC

818 N Meadowbrook Ln  
Waukegan, WI 53597  
phone (608) 849-9378  
www.pe-wi.com

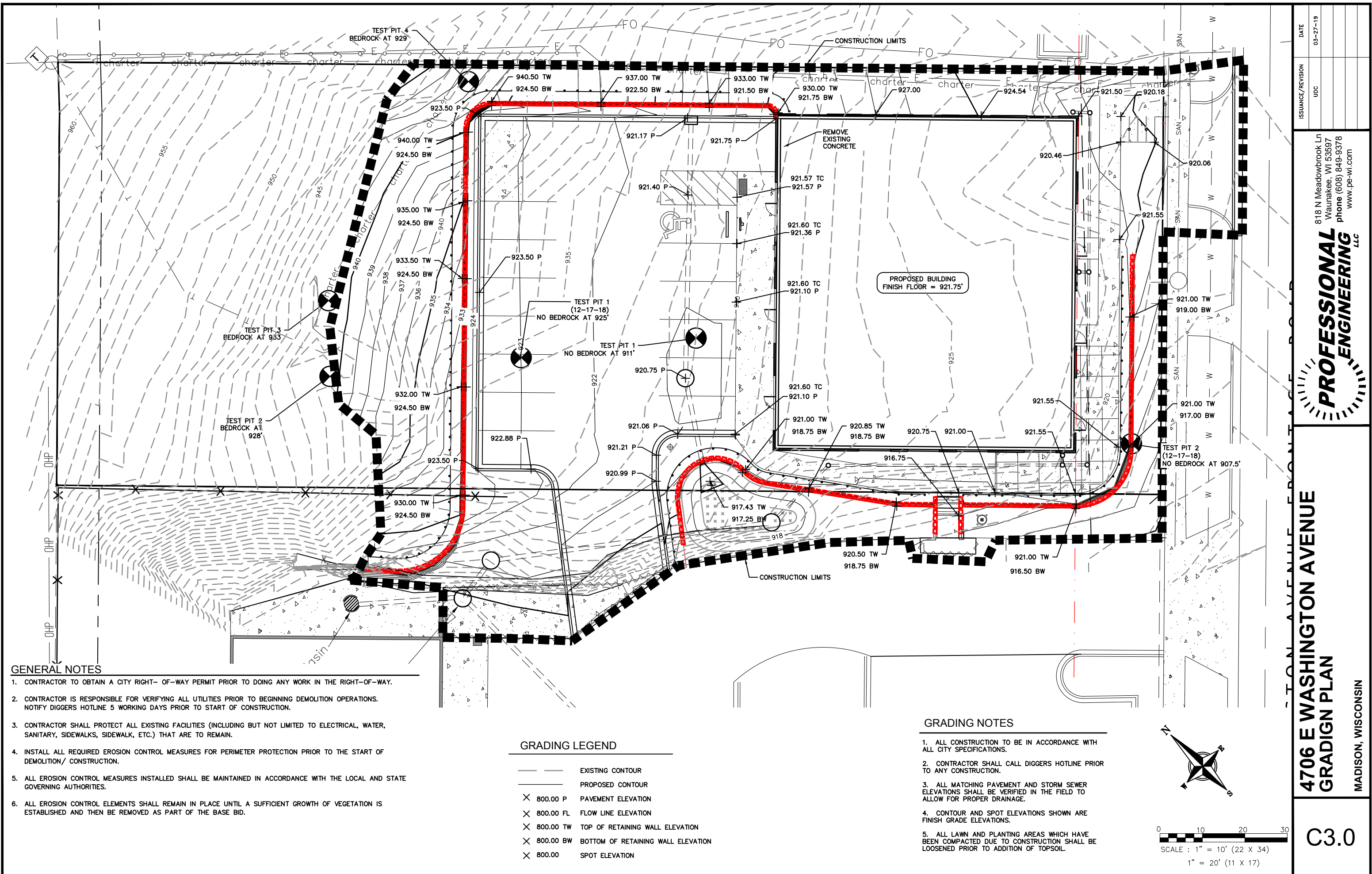
**PROFESSIONAL  
ENGINEERING**  
LLC

4706 E WASHINGTON AVENUE  
PROPOSED SITE PLAN

MADISON, WISCONSIN

C2.0

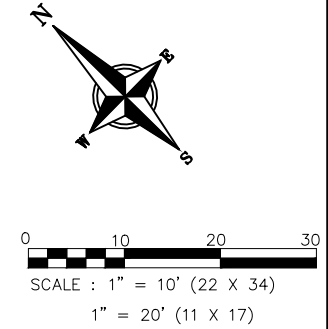




- GENERAL NOTES**
1. CONTRACTOR TO OBTAIN A CITY RIGHT- OF-WAY PERMIT PRIOR TO DOING ANY WORK IN THE RIGHT-OF-WAY.
  2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY DIGGERS HOTLINE 5 WORKING DAYS PRIOR TO START OF CONSTRUCTION.
  3. CONTRACTOR SHALL PROTECT ALL EXISTING FACILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, WATER, SANITARY, SIDEWALKS, SIDEWALK, ETC.) THAT ARE TO REMAIN.
  4. INSTALL ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/ CONSTRUCTION.
  5. ALL EROSION CONTROL MEASURES INSTALLED SHALL BE MAINTAINED IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
  6. ALL EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.

GRADING LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	800.00 P PAVEMENT ELEVATION
	800.00 FL FLOW LINE ELEVATION
	800.00 TW TOP OF RETAINING WALL ELEVATION
	800.00 BW BOTTOM OF RETAINING WALL ELEVATION
	800.00 SPOT ELEVATION

- GRADING NOTES**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY SPECIFICATIONS.
  2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
  3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
  4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
  5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.



818 N Meadowbrook Ln  
Waukegan, WI 53597  
phone (608) 849-9378  
www.pe-wi.com

**PROFESSIONAL  
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4706 E WASHINGTON AVENUE  
GRADIGN PLAN

MADISON, WISCONSIN

C3.0

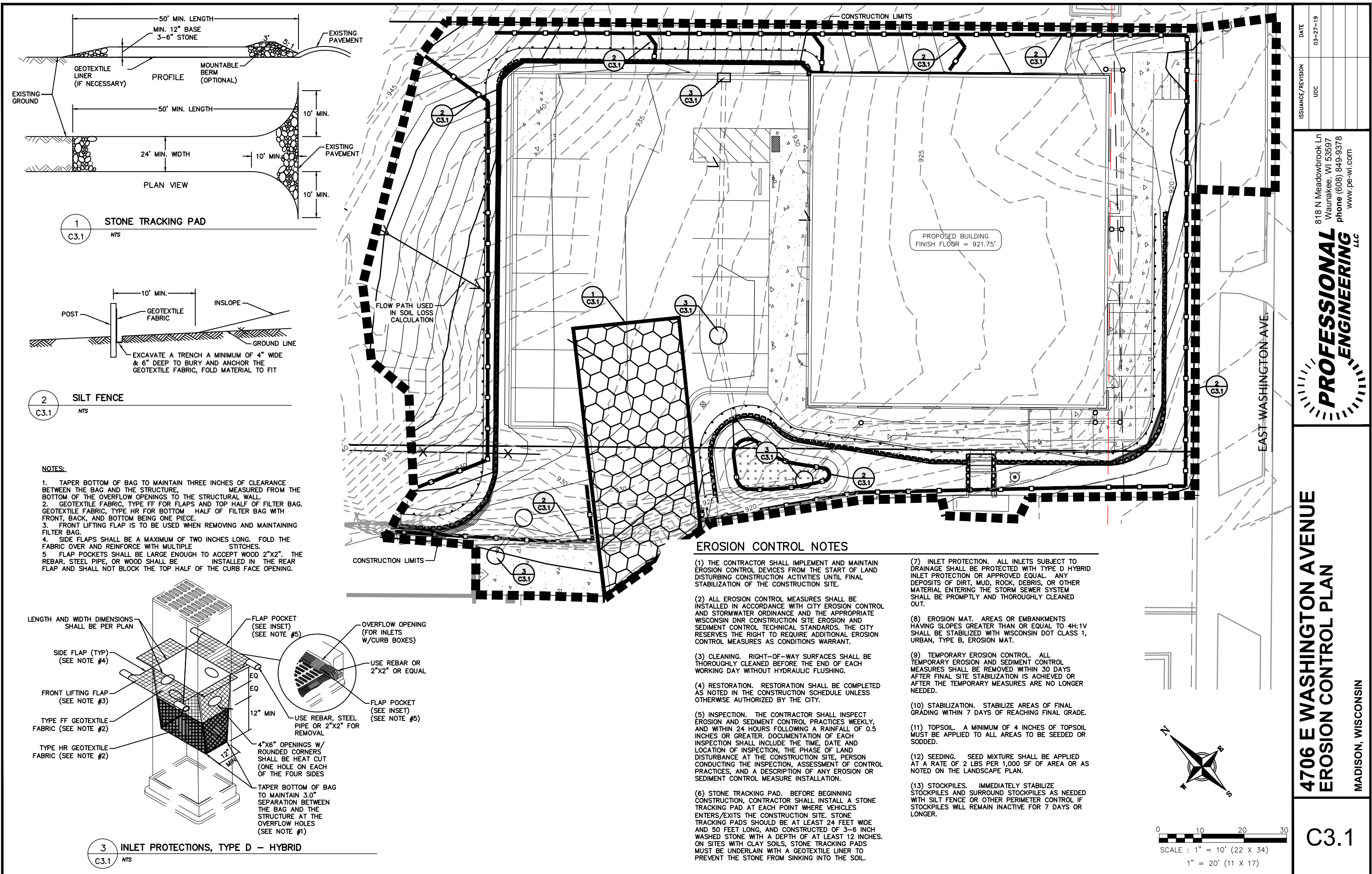
ISSUANCE/REVISION

UDC	03-27-19
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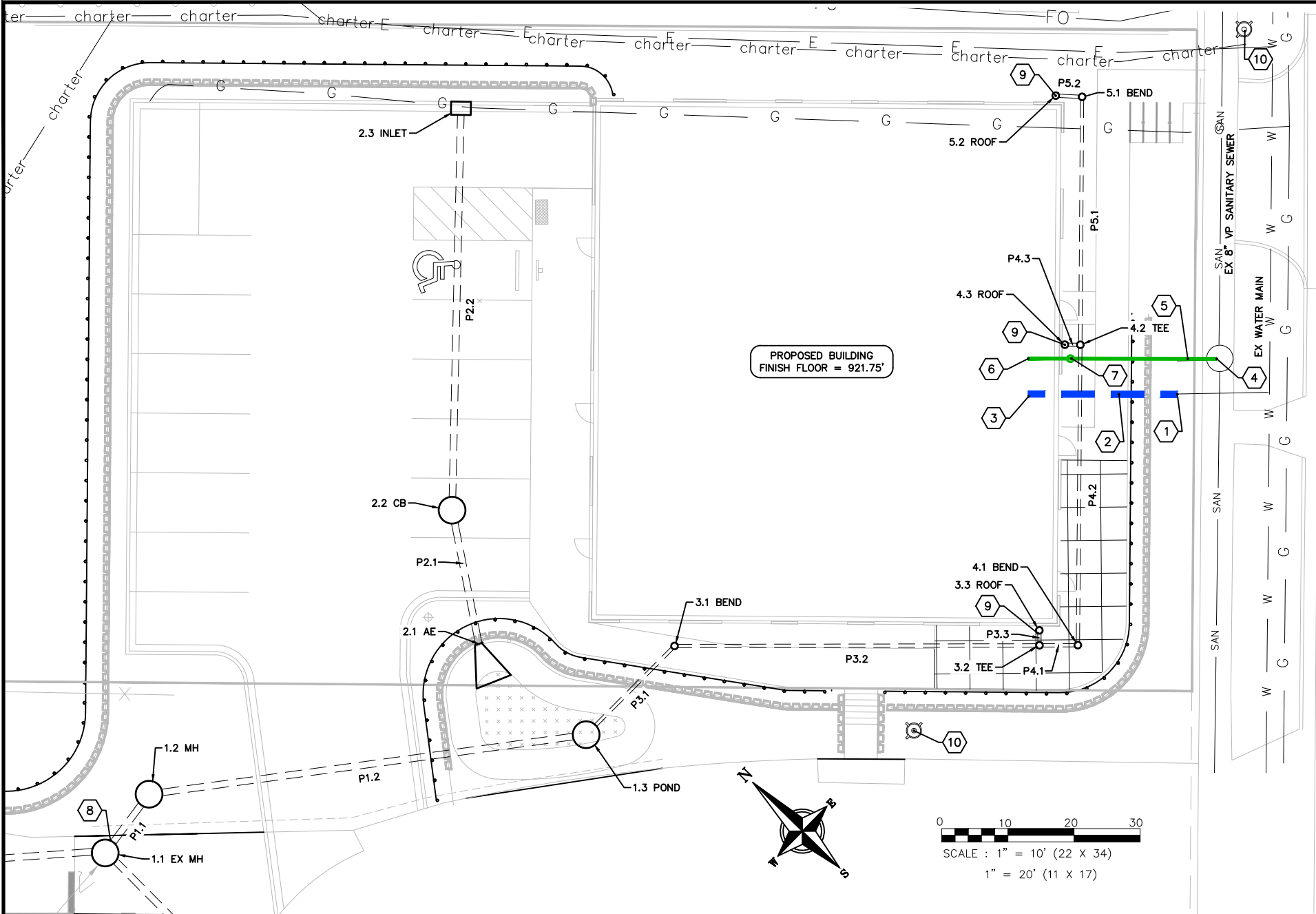
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03-27-19











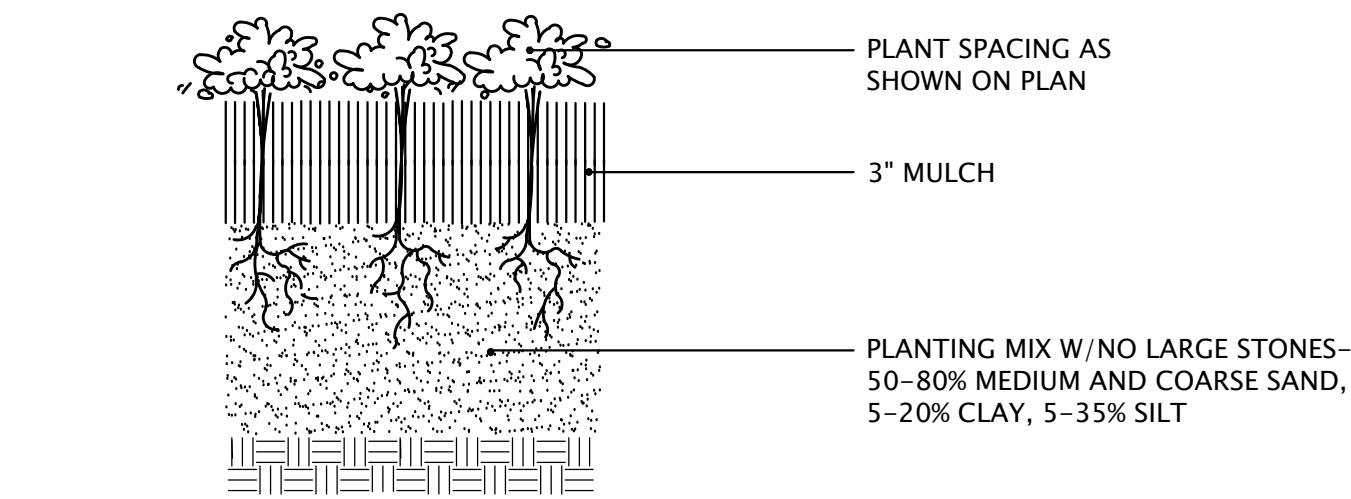
1 LANDSCAPE PLAN

1/16"=1'-0"

Landscape Plan Notes:

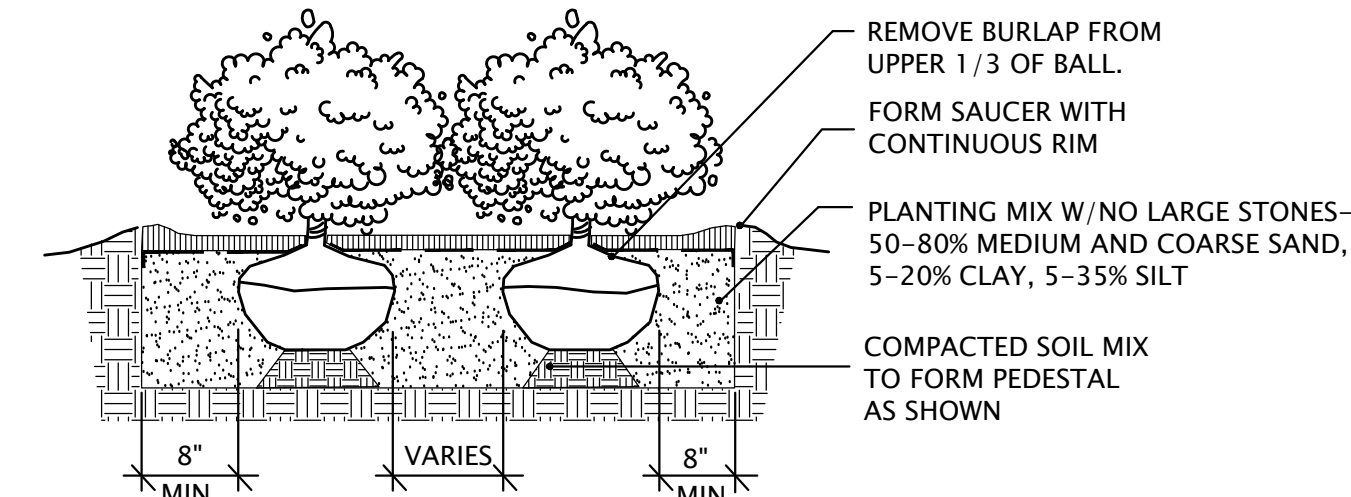
1. New tree, shrub, and perennial plantings are to receive wood mulch consisting of recycled, shredded brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
2. "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix.
3. Contractor is responsible for repairing any and all damage to the adj. properties. Planted areas shall be replanted, damaged lawn areas shall be repaired with seed and adjacent curbs and pavement shall be re-paved.
4. Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

Overstory Deciduous & Ornamental Trees		
Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	2 1/2" cal.
Autumn Spire Maple	Acer rubrum 'Autumn Spire'	2 1/2" cal.
Adirondack Crab	Malus 'Adirondack'	2 1/2" cal.
Shrubs		
Black Chokeberry	Aronia melanocarpa	24" ht.
Kelsey's Dwarf Red Dogwood	Cornus sericea 'Kelsey'	24" ht.
Rugosa Rose	Rosa rugosa	18" ht.
Cranberry Cotoneaster	Cotoneaster apiculatus	18" ht.
Little Lime Hydrangea	Hydrangea paniculata 'Little Lime'	24" ht.
Tor Birchleaf Spirea	Spiraea betulifolia 'Tor'	18" ht.
Sunrise Forsythia	Forsythia x intermedia 'Sunrise'	18" ht.
Little Devil Ninebark	Physocarpus opulifolius 'Donna May'	18" ht.
Wine and Roses Weigela	Weigela florida 'Alexandra'	18" ht.
Perennials		
Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 gal.
Dwarf Fountaingrass	Pennisetum alopecuroides 'Hameln'	1 gal.
Autumn Joy Sedum	Sedum 'Autumn Joy'	1 gal.
Black Eyed Susan	Rudbeckia hirta	1 gal.
Northwind Switchgrass	Panicum virgatum 'Northwind'	1 gal.



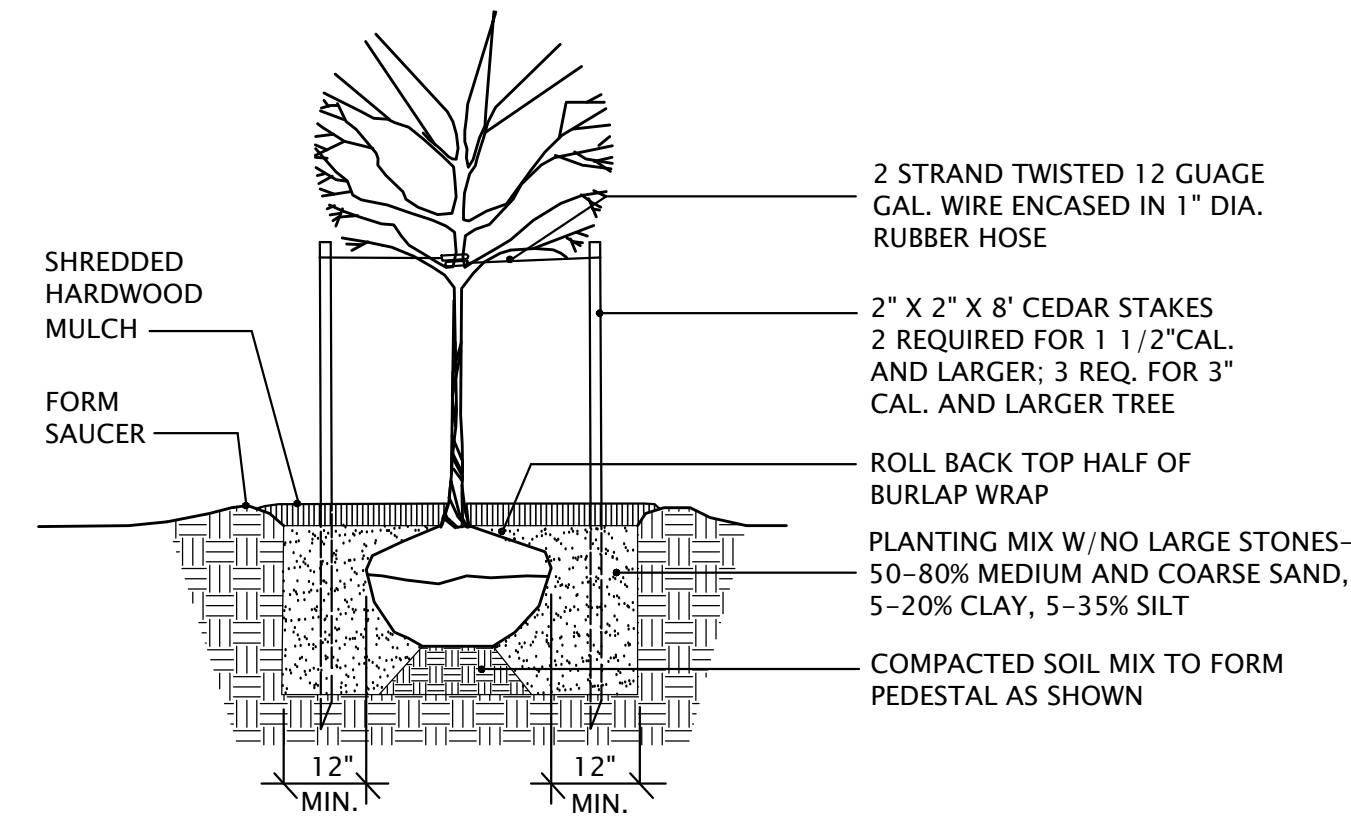
2 PERENNIAL PLANTING

NTS



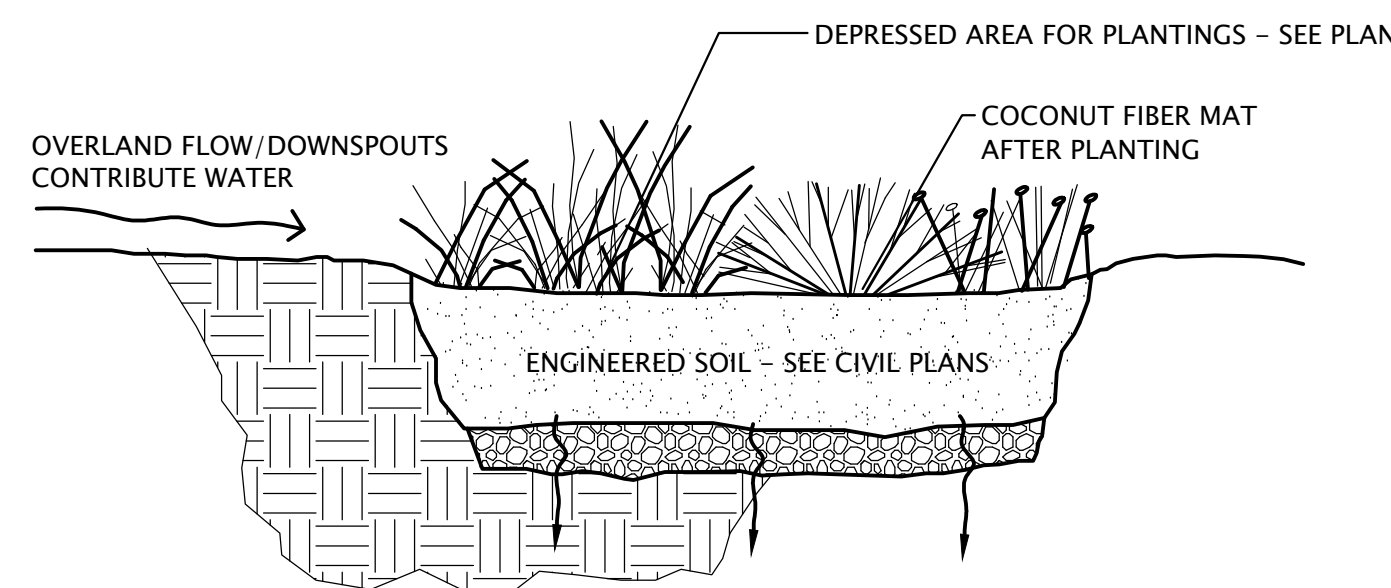
3 SHRUB PLANTING

NTS



4 TREE PLANTING

NTS



5 BIOINFILTRATION AREA

NTS

Landscape Calculations and Distribution:

Five (5) landscape points shall be provided per each (300) sf of developed area for first (5) acres  
Total sf of developed area = 6,767 sf (.16 acres)  
Developed area (6,767) divided by (300) x 5 = 113 Points Required

Development Frontage Landscaping

Total lf of lot frontage = 100  
Required Trees = 3  
Required Shrubs = 17  
Provided Trees = 3  
Provided Shrubs = 17

Tabulation of Points and Credits:

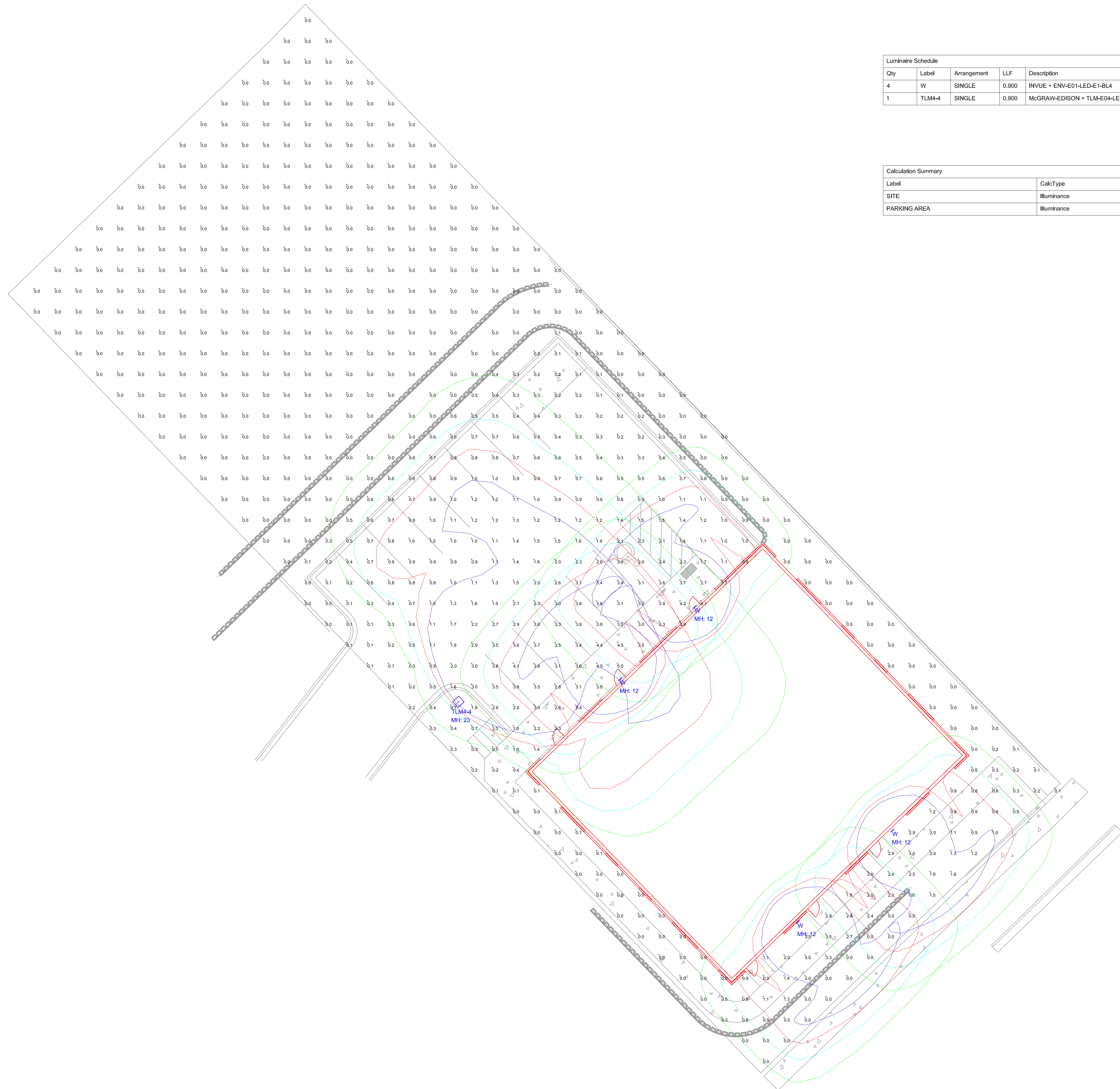
Plant Type/Element	Min. size	Points	Existing Qty.	Pts.	Proposed Qty.	Pts.
Overstory deciduous tree	2 1/2" cal.	35	-	-	5	175
Ornamental tree	1 1/2" cal.	15	-	-	2	30
Upright evergreen shrub	3-4 feet tall	10	-	-	-	-
Shrub, deciduous	18" or 3 gal.	3	-	-	52	156
Shrub, evergreen	18" or 3 gal.	4	-	-	-	-
Ornamental grasses	18" or 3 gal.	2	-	-	18	36
Ornamental fence or wall	na	4 per 10 lf	-	-	-	-
Total			-	-	-	397

397 Total Points Provided (113 Required)

Scale: 1/16"=1'-0"








Luminaire Schedule							
Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts	Lum. Lumens
4	W	SINGLE	0.900	INVUE + ENV-E01-LED-E1-BL4	24.7	98.8	2613
1	TLM-4	SINGLE	0.900	McGRAW-EDISON + TLM-E04-LED-E1-SL4-HSS ( 20' POLE 3; BA	97.2	97.2	8139

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.58	5.0	0.0	N.A.	N.A.
PARKING AREA	Illuminance	Fc	1.48	4.4	0.1	14.80	44.00

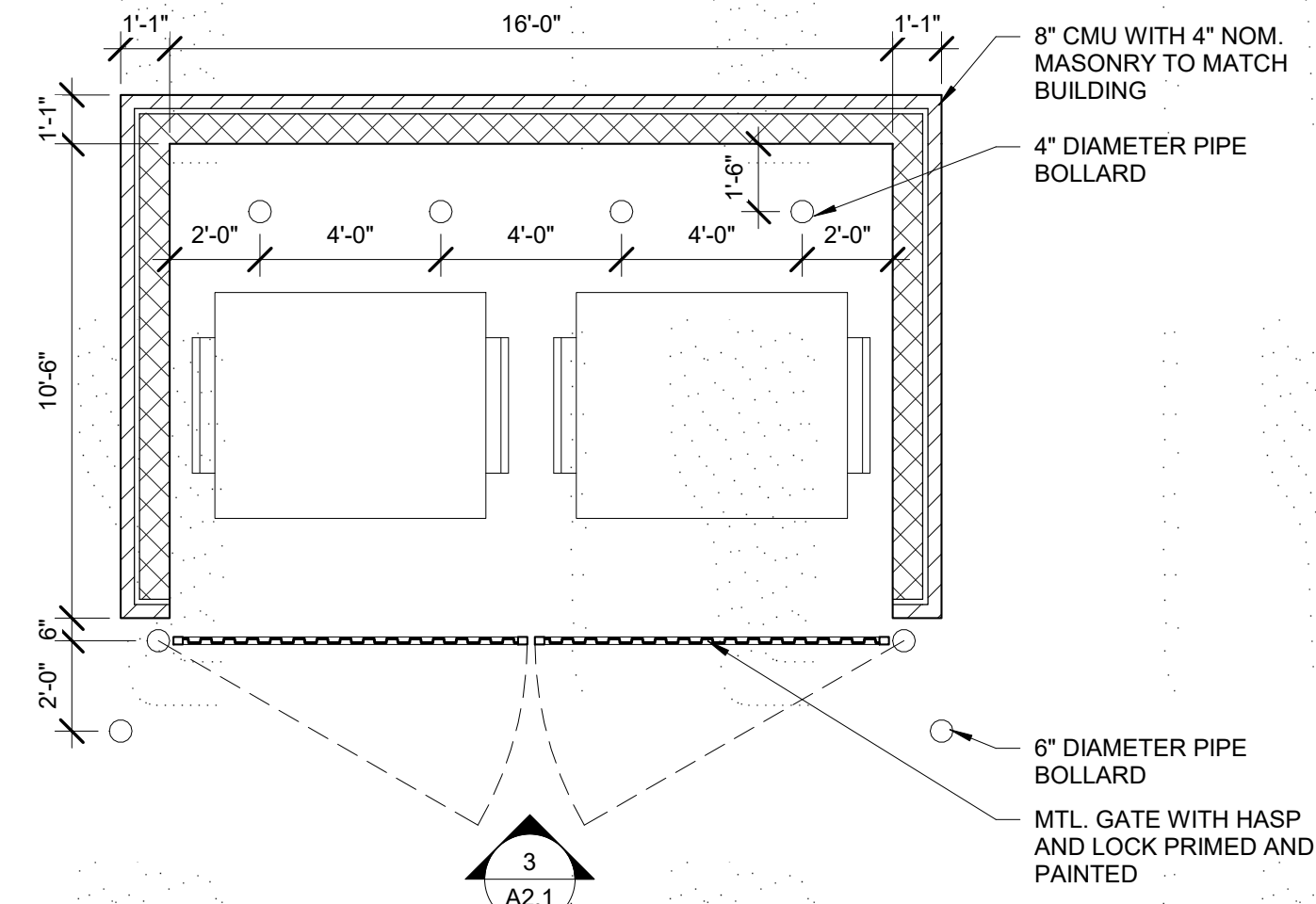
Enterprise Lighting LTD

MULTI-TENANT BUILDING  
4706 E WASHINGTON AVE  
MADISON, WISCONSIN

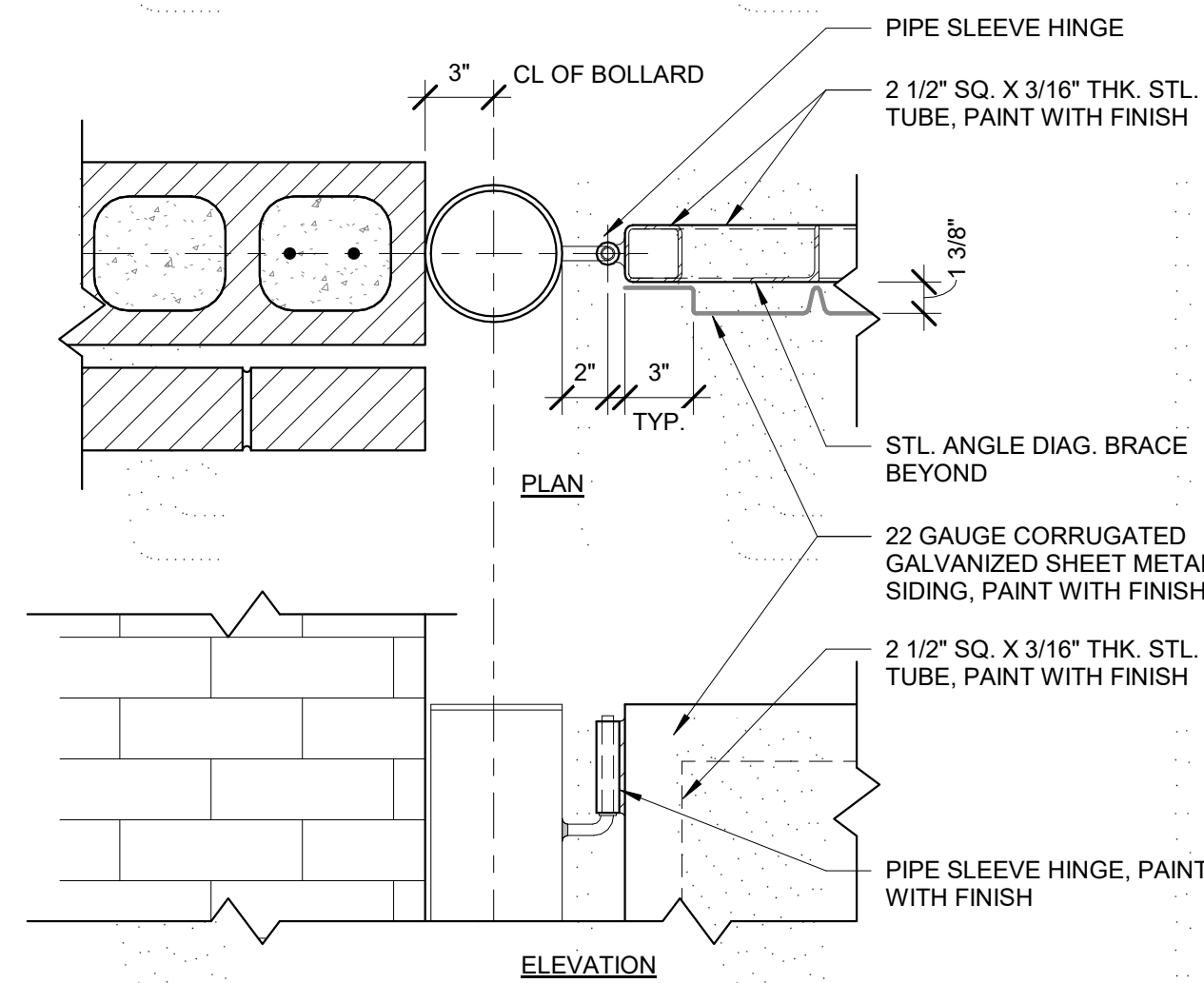
SITE  
LIGHTING LAYOUT

DATE JAN 8, 2019	SCALE 1/32" = 1'- 0"	SHEET NUMBER E1
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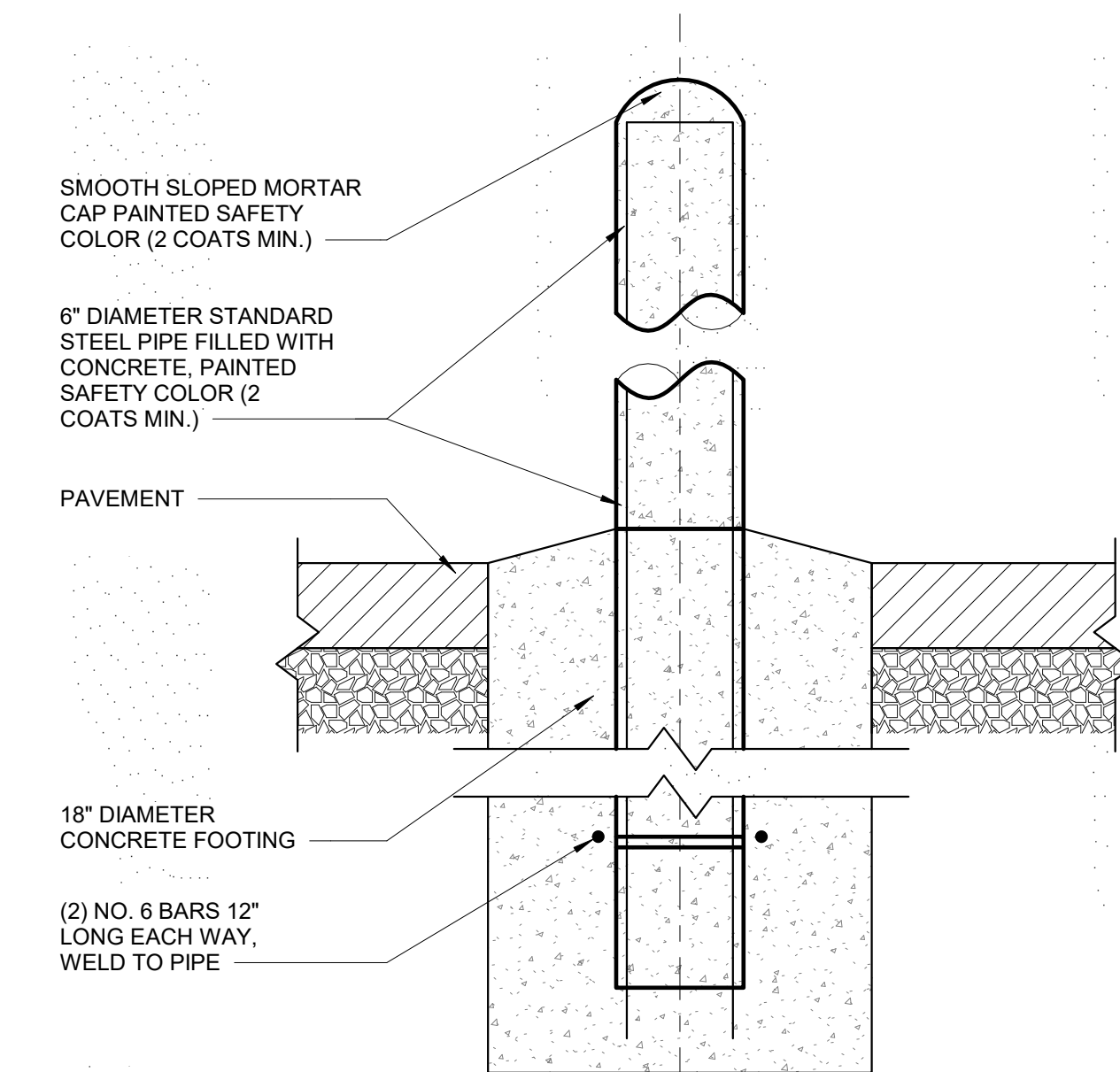




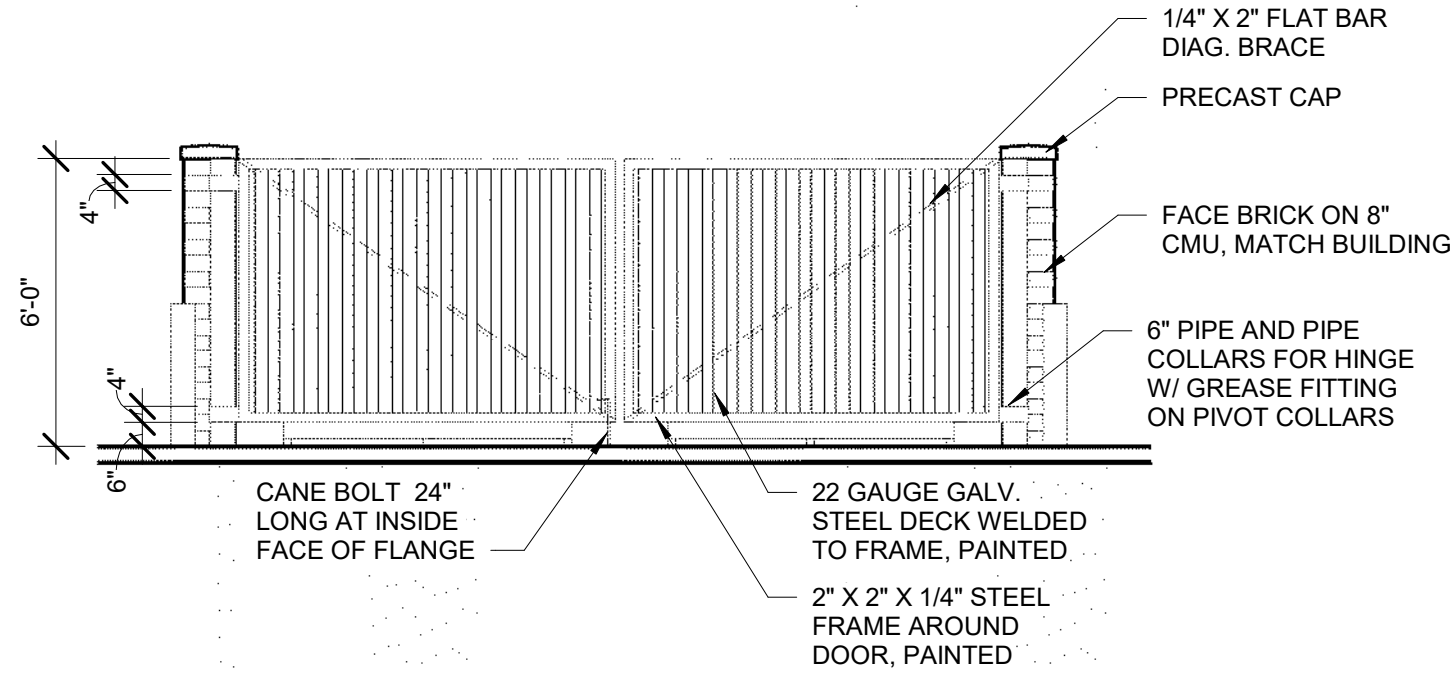
2 TRASH ENCLOSURE PLAN  
1/4" = 1'-0"



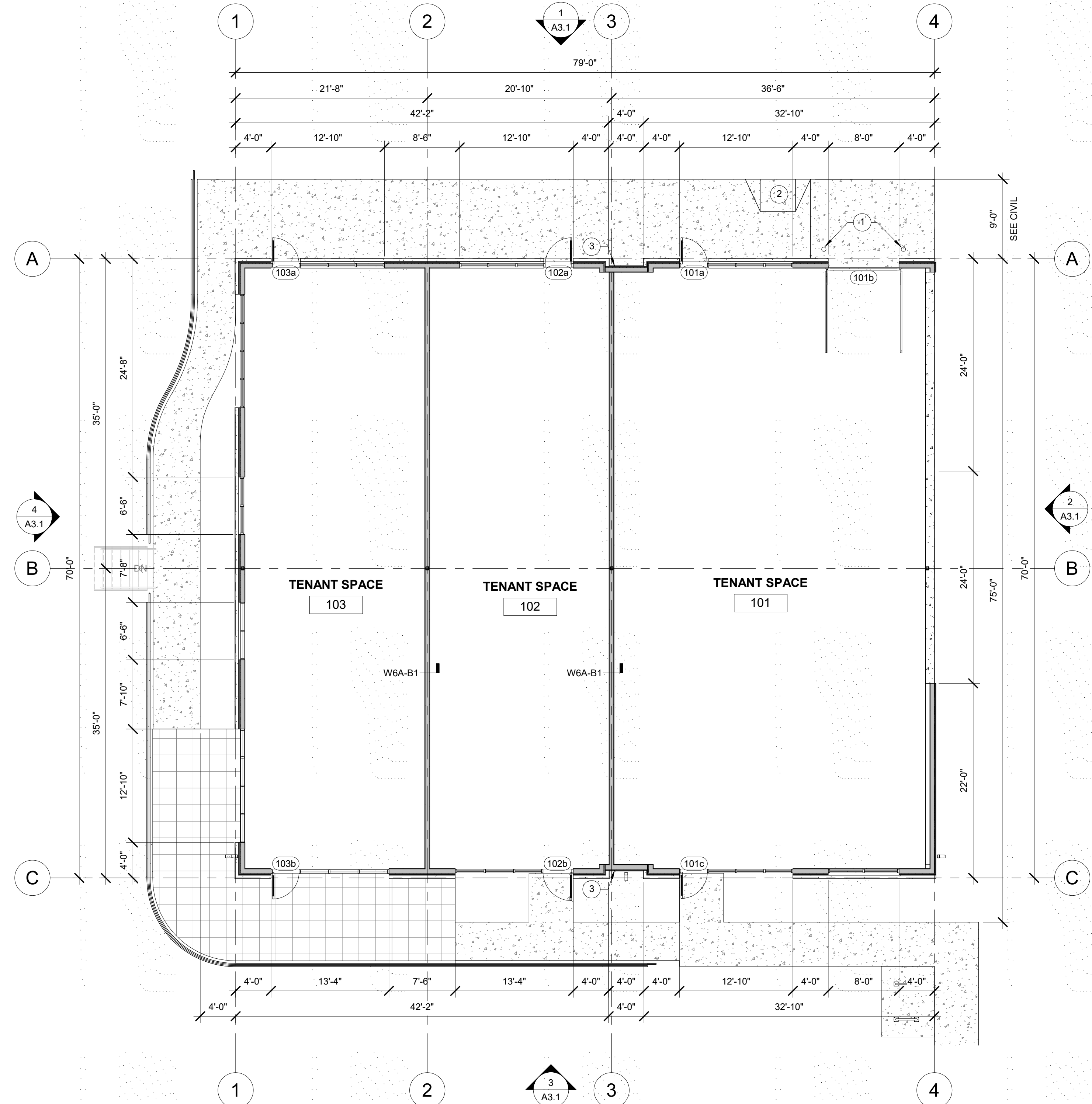
4 TRASH GATE DETAIL  
1 1/2" = 1'-0"



5 BOLLARD DETAIL  
N.T.S.



3 TRASH ENCLOSURE ELEVATION  
1/4" = 1'-0"



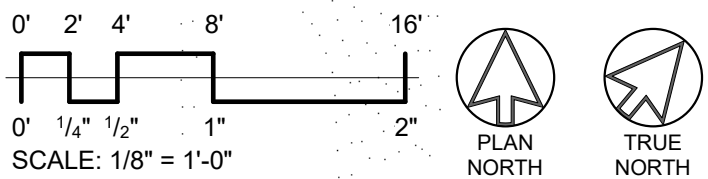
1 FLOOR PLAN  
1/8" = 1'-0"

GENERAL PLAN NOTES:

- A. MECHANICAL, ELECTRICAL AND PLUMBING IMPROVEMENTS TO BE DESIGN BUILD UNO. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN BUILD CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.
- B. PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A0.2
- C. PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS
- D. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNO. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- E. INTERIOR DIMENSIONS ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS OTHERWISE NOTED. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- F. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- G. PROVIDE SOUND INSULATION IN ALL DEMISING WALLS AND INTERIOR WALLS UNO
- H. FIRE EXTINGUISHER CABINETS: SIZE AND DISTRIBUTION PER TABLE 906.3(1) IN THE 2015 IBC. CABINETS TO BE PARTIALLY RECESSED AND RATED TO MEET THE ASSOCIATED WALL FIRE RATING
- I. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND
- J. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK
- K. GENERAL CONTRACTOR TO MAINTAIN A PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES
- L. SUBMIT ALL FINISHES TO THE ARCHITECT FOR APPROVAL

KEYED PLAN NOTES:

- 1 PIPE BOLLARDS
- 2 ADA RAMP - SEE CIVIL DRAWINGS
- 3 EXTERIOR HOSE BIB - ALIGN WITH DEMISING WALL



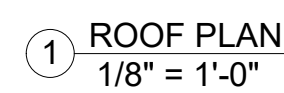
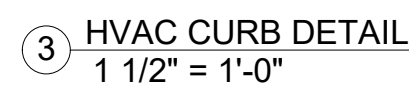
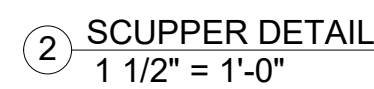
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FIRST FLOOR PLAN

Project Status

A	19/01/09	PC SUBMITTAL
C	19/03/28	UDC SUBMITTAL





- 1 PREFINISHED SCUPPER AND DOWNSPOUT, COLOR T.B.D
- 2 SLOPED INSULATION ROOF CRICKET
- 3 FULLY ADHERED EPDM ROOFING OVER R-25 MIN. RIGID INSULATION ON ROOF SHEATHING OVER TAPERED ROOF TRUSSES



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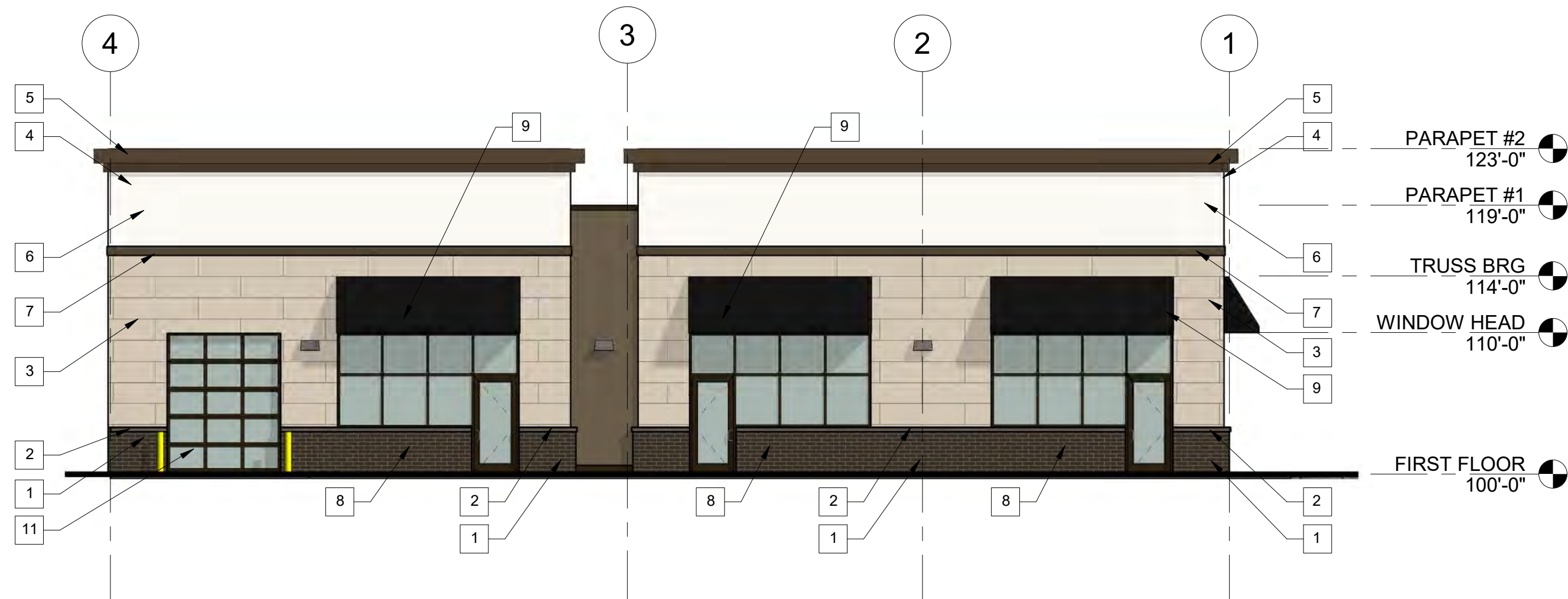
## ROOF PLAN

## Project Status

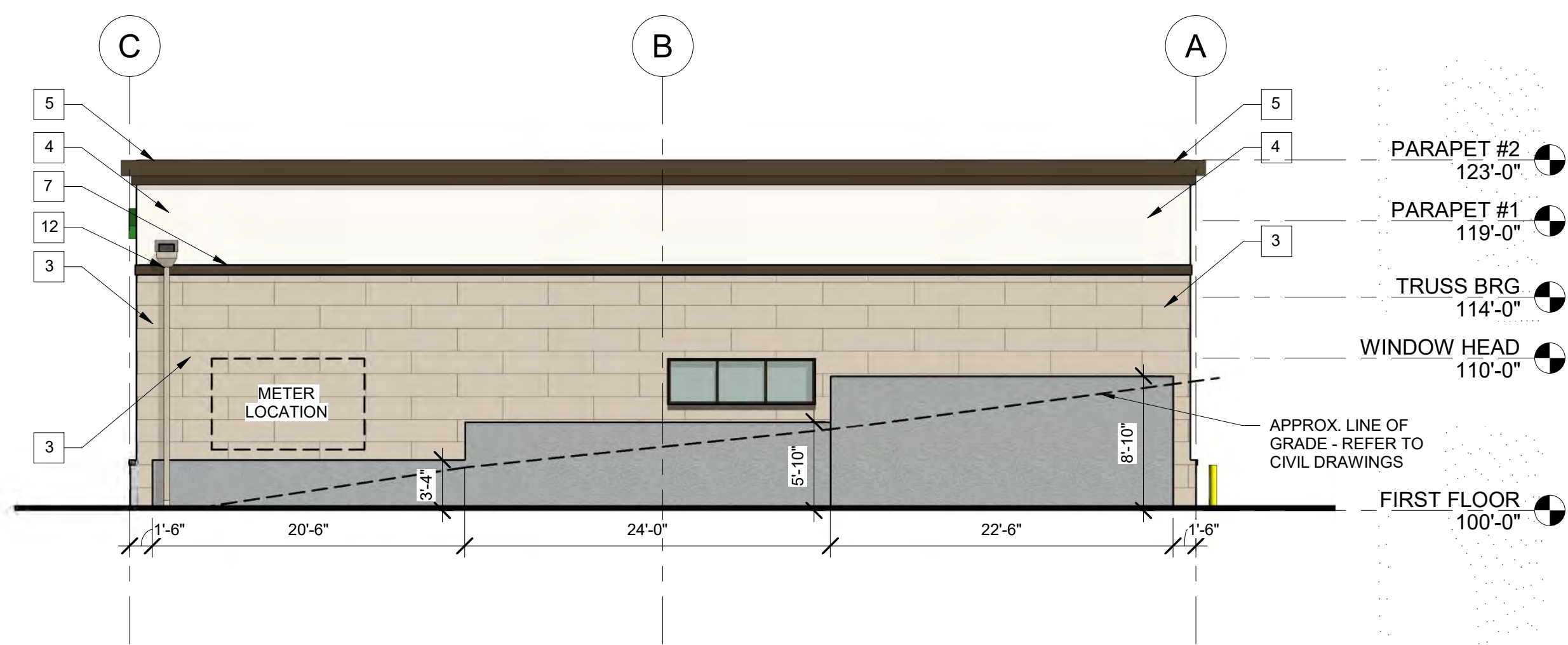
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## A2.2

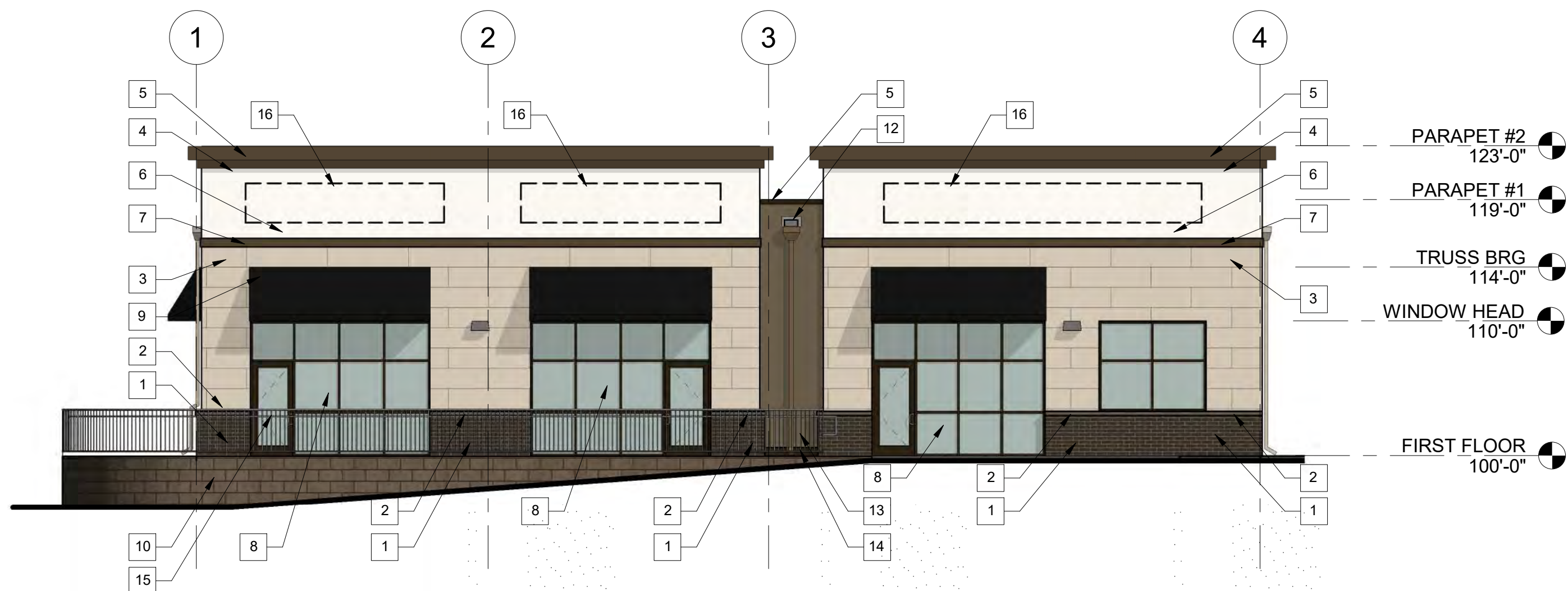




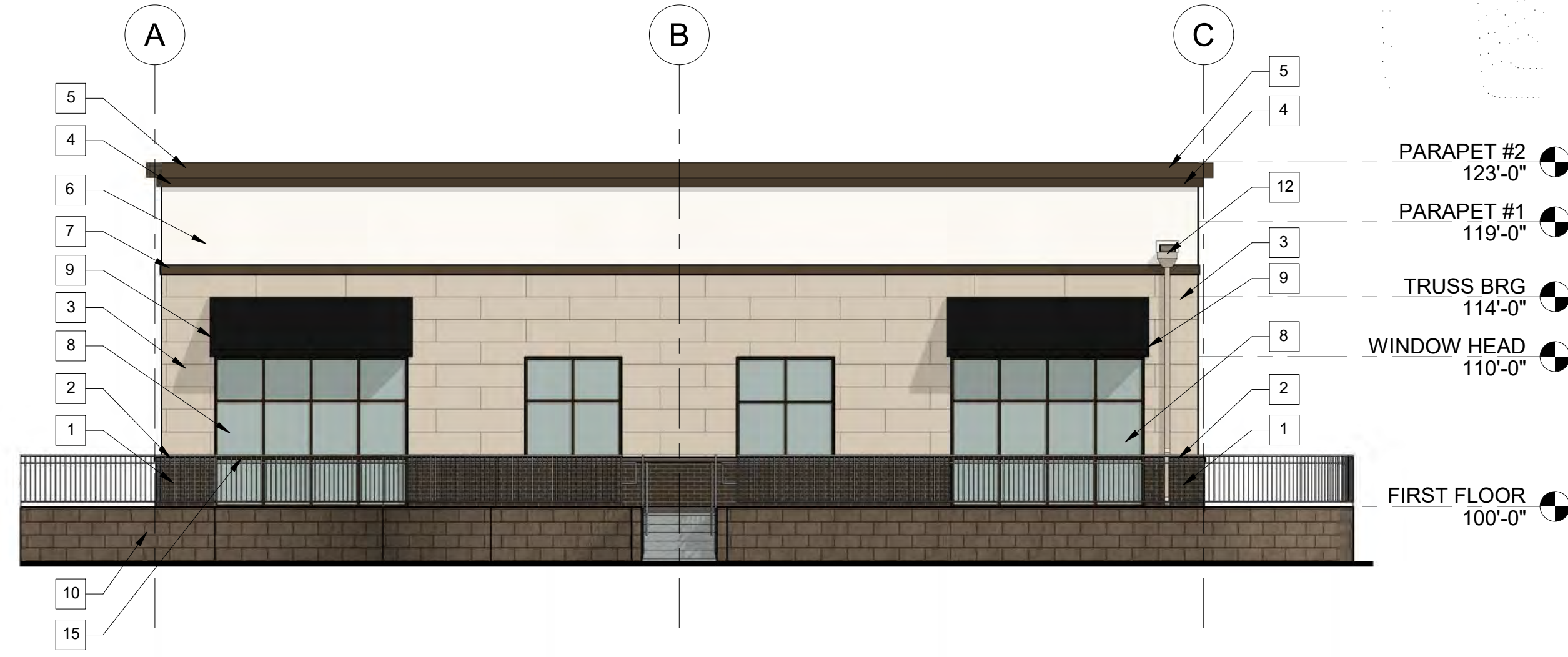
1 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



3 SOUTH ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"

28.060 GENERAL PROVISIONS FOR MIXED-USE COMMERCIAL DISTRICTS - DOOR AND WINDOW OPENING REQUIREMENTS

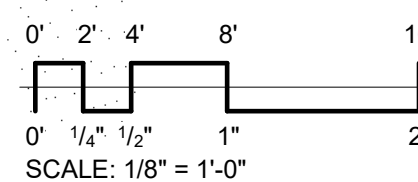
60% OF LENGTH AT GROUND FLOOR  
REQUIRED: 47'-5"  
PROVIDED: 47'-6"

40% OF AREA OF GROUND FLOOR STREET FACADE  
REQUIRED: 442.4 SF  
PROVIDED: 448.3 SF

50% OF WINDOW SILLS WITHIN 3'-0" OF GRADE  
REQUIRED: 23'-9"  
PROVIDED: 39'-6"

EXTERIOR MATERIAL LIST

#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	COMMENTS
1	BRICK VENEER	SIoux CITY BRICK	MODULAR	BLACK HILLS VELOUR	
2	PRECAST SILL	CUSTOM CAST STONE	SMOOTH FACE	OLIVE BUFF	
3	FIBER CEMENT PANEL	ALLURA OR EQUIVALENT	SMOOTH FACE PANEL	LINEN	
4	EIFS FASCIA	DRYVIT	SHOT BLAST FINE	WELL BRED BROWN	
5	PREFINISHED METAL COPING	DRYVIT	SHOT BLAST FINE	MEDIUM BRONZE	MATCH ALUMINUM STOREFRONT
6	EIFS SIGNAGE BAND	DRYVIT	SHOT BLAST FINE	NATURAL WHITE	
7	EIFS SIGNAGE TRIM	DRYVIT	SHOT BLAST FINE	WELL BRED BROWN	
8	ALUMINUM STOREFRONT			ANODIZED MEDIUM BRONZE	LOW-E GLAZING
9	FABRIC AWNING			BLACK	
10	CMU RETAINING WALL				
11	OVERHEAD DOOR			ANODIZED DARK BRONZE	COLOR TO MATCH BLACK HILLS VELOUR BRICK
12	PREFINISHED SCUPPER AND DOWNSPOUT				MATCH ALUMINUM STOREFRONT
13	FIBER CEMENT SIDING	JAMES HARDIE OR EQUIVALENT	SMOOTH TEXTURE	RICH ESPRESSO	COLOR TO MATCH ADJACENT FIBER CEMENT MATERIAL
14	CAST STONE	CUSTOM CAST STONE	SMOOTH FACE	OLIVE BUFF	
15	GUARDRAIL				
16	TENANT SIGNABLE AREA				PROVIDE ELECTRICAL CONNECTION FOR TENANT SIGNAGE







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## EXTERIOR RENDERING

### Project Status

[illegible]

### A3.2





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## EXTERIOR RENDERING

C	19/03/28	UDC SUBMITTA
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