

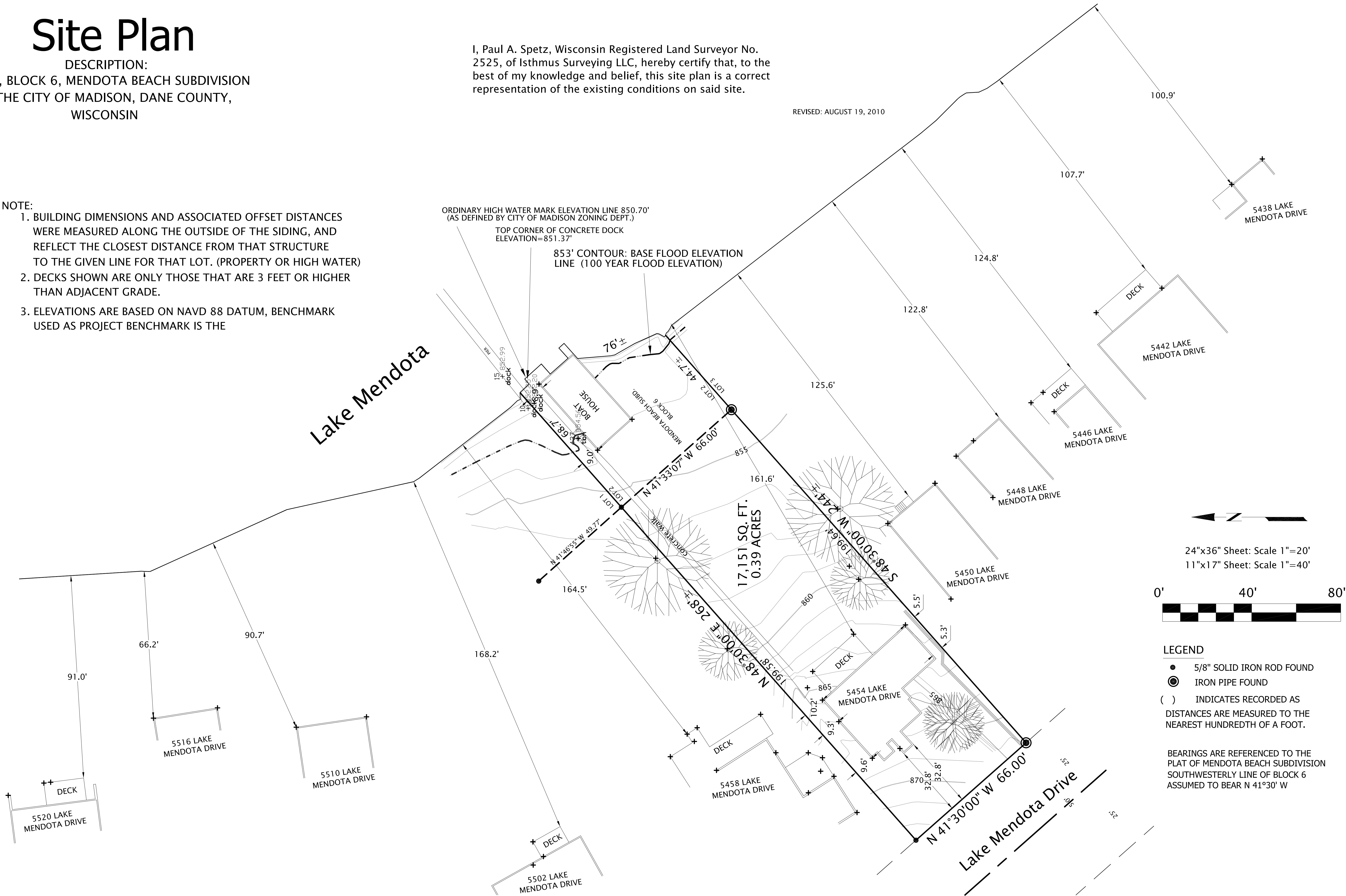
Site Plan

DESCRIPTION:
LOT 2, BLOCK 6, MENDOTA BEACH SUBDIVISION
IN THE CITY OF MADISON, DANE COUNTY,
WISCONSIN

I, Paul A. Spetz, Wisconsin Registered Land Surveyor No. 2525, of Isthmus Surveying LLC, hereby certify that, to the best of my knowledge and belief, this site plan is a correct representation of the existing conditions on said site.

REVISED: AUGUST 19, 2010

- NOTE:
1. BUILDING DIMENSIONS AND ASSOCIATED OFFSET DISTANCES WERE MEASURED ALONG THE OUTSIDE OF THE SIDING, AND REFLECT THE CLOSEST DISTANCE FROM THAT STRUCTURE TO THE GIVEN LINE FOR THAT LOT. (PROPERTY OR HIGH WATER)
 2. DECKS SHOWN ARE ONLY THOSE THAT ARE 3 FEET OR HIGHER THAN ADJACENT GRADE.
 3. ELEVATIONS ARE BASED ON NAVD 88 DATUM, BENCHMARK USED AS PROJECT BENCHMARK IS THE



F MADISON, DANE COUNTY, WI

KATHY COX RESIDENCE

PLAN INDEX	
1.0	SITE PLAN & EXISTING SITE CONDITIONS
C100	GRADING & EROSION CONTROL PLAN
3.1	ROOF FRAMING PLAN
4.1	GROUND FLOOR PLAN
4.2	FIRST FLOOR PLAN
4.3	SECOND FLOOR PLAN
6.0	ELEVATIONS
6.1	ELEVATIONS

<u>SQUARE FOOTAGE</u>	
LOT AREA	17,151 S.F.
LOT WIDTH	66'-0"
FRONT YARD SETBACK (20' REQ'D)	20'-6"
REAR YARD SETBACK (115'-3" REQ'D)	115'-9"
SIDE YARD SETBACK (7'-0" REQ'D)	7'-6"
2 STORY HEIGHT (35'-0" MAX.)	34'-3"
STRUCTURE FOOTPRINT	3,955 S.F.
DECK	505 S.F.
DRIVEWAY/STOOP	1,638 S.F.
BOATHOUSE	830 S.F.
TOTAL COVERAGE	6,928 S.F.
LOT COVERAGE (50% MAX.)	40.4%
USABLE OPEN SPACE (1,000 S.F. MIN.)	7,635 S.F.

SITE PLAN

DOCUMENT
RELEASE DATES:

01.08.2019	PRELIMINARY

1.0



udvari
solner
design
company

PROPOSED NEW RESIDENCE FOR KATHY COX

5454 LAKE MENDOTA DRIVE
CITY OF MADISON

DANE COUNTY, WISCONSIN

udvari-solner design company

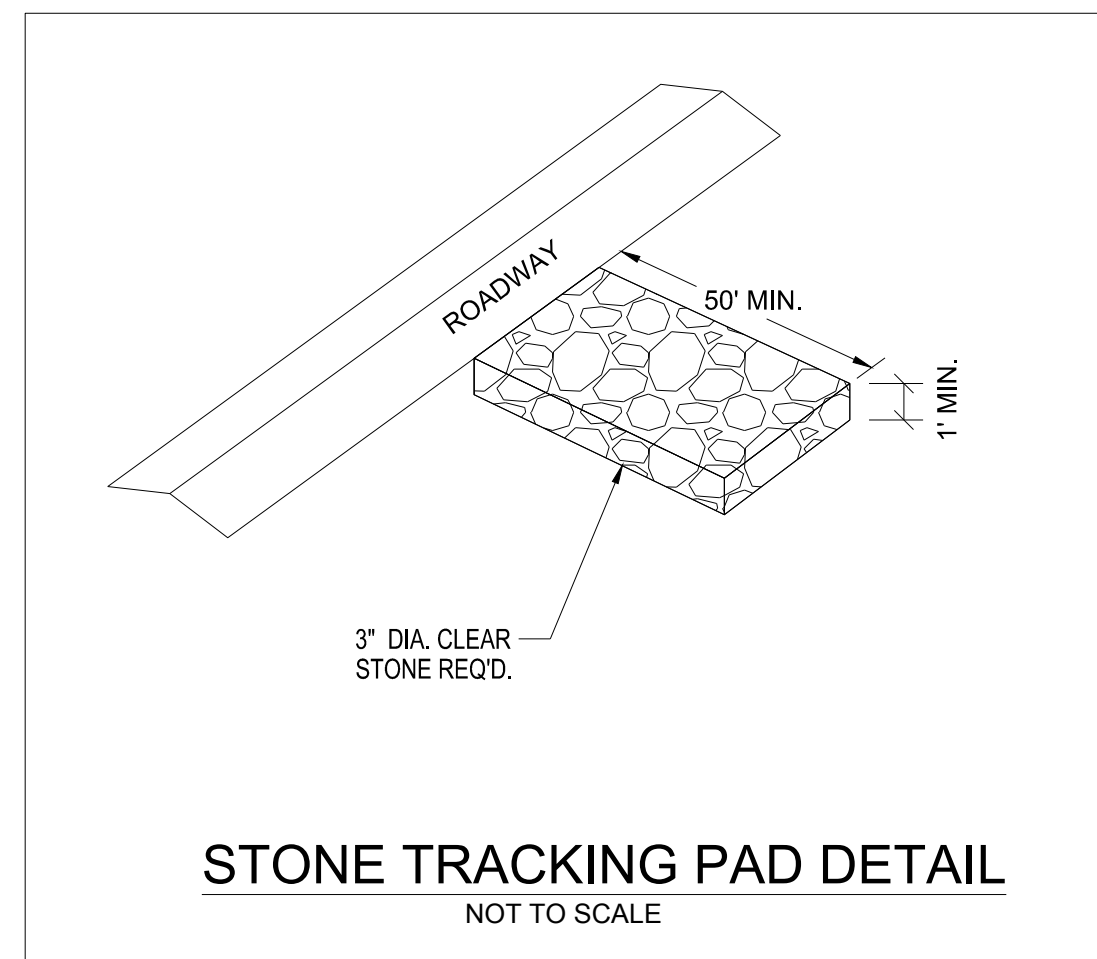
PLAN APPROVAL SIGNATURES

CLIENT NAME _____ DATE _____

CLIENT NAME _____ DATE _____

IMPORTANT NOTES:
THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF THE OWNER AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM THE OWNER. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECTS THE USER TO LIABILITY FOR DAMAGES.

1. CONSTRUCTION SCHEDULE:
 - INSTALL EROSION CONTROL = 04/01/2019
 - GRADE AND CONSTRUCT DRIVEWAY = 04/01/2019 - 06/21/19
 - CONSTRUCT BUILDING = 04/01/19 - 04/01/20
 - PERMANENT RESTORATION (GRASS SEED) OF ALL DISTURBED AREAS = 04/01/20
2. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED PER CITY SPECIFICATIONS.
3. ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN ARE TO BE MAINTAINED UNLESS NOTED.
4. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL, FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1,000 SQ. FT. ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1½ POUNDS PER 1,000 SQ. FT. SHALL BE ADDED TO THE MIXTURE.
5. ANY SOIL STOCKPILE ON SITE FOR MORE THAN 7 DAYS SHALL BE STABILIZED WITH MULCH, VEGETATIVE COVER, TARP, OR OTHER MEANS APPROVED BY THE CITY INSPECTOR.
6. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THE PROJECT. EROSION CONTROL MEASURES SHOWN ON THE APPROVED PLAN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING EROSION CONTROL PROBLEMS THAT OCCUR AS A RESULT OF CONSTRUCTION ACTIVITIES.
7. INSPECTION & MAINTENANCE SCHEDULE:
 - ALL EROSION CONTROL MEASURES MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED.
 - ALL MAINTENANCE WILL FOLLOW THE INSPECTIONS WITHIN 24 HOURS.
8. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE CITY INSPECTOR, SHALL BE INSTALLED WITHIN 24 HOURS.



COX RESIDENCE

5454 LAKE MENDOTA DRIVE
MADISON, WI 53705



SCALE: 1"= 20
(PAGE SIZE: 22x34)



DATE: 01-03-19
REVISED:

DRAWN BY: NGC

FN: 18-05-179

Sheet Number:

C100

THIS SHEET PLOTTED ON: 1/7/2019 7:07:20 PM BY: titor2



2 PRELIMINARY SE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 PRELIMINARY STREET ELEVATION
SCALE: 1/4" = 1'-0"

IMPORTANT NOTE:
THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES

udvari solner design company	
2631 university ave. madison, wi 53713-1483 udvari@solner.com	
COX RESIDENCE	
5454 LAKE MENOMONIE DRIVE MADISON, WISCONSIN	
ELEVATIONS	
THIS DOCUMENT IS THE PROPERTY OF UDVARI SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.	
PROJECT NO:	13-17
CAD TECH:	AAC
PLAN REVIEWER:	MUS
DOCUMENT RELEASE DATES:	
PRELIMINARY	
01.09.2019	
6.0	

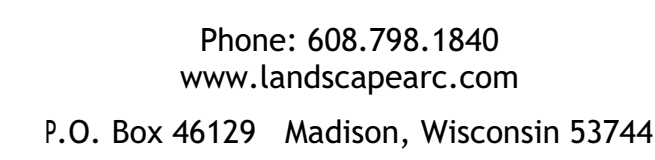
IMPORTANT NOTE:
THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.



**2 PRELIMINARY
NW SIDE ELEVATION**
SCALE: 1/4" = 1'-0"



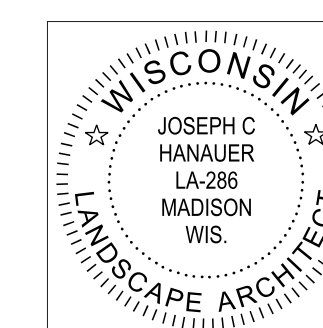
**1 PRELIMINARY
LAKESIDE ELEVATION**
SCALE: 1/4" = 1'-0"



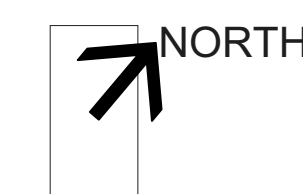
5454 LAKE MENDOTA DRIVE
MADISON, WISCONSIN

LOT COVERAGE - NON PERMEABLE		
Area Name		Area
Structure Footprint	3,954	Sq Ft
Shower Area	207	Sq Ft
Retaining Wall West Side	157	Sq Ft
Patio Below Deck (area outside of deck)	405	Sq Ft
Outdoor Kitchen	30	Sq Ft
Front Walk Steps to Lake Side	156	Sq Ft
Front Stoop	50	Sq Ft
Front Retaining Wall	102	Sq Ft
Driveway	1,440	Sq Ft
Deck	618	Sq Ft
Boathouse	830	Sq Ft
Total	7,949	Sq Ft

LOT COVERAGE - PERMEABLE	
Area Name	Area
Walk to Boathouse	906 Sq Ft
Lakeside Patio	1,130 Sq Ft
Existing Permeable Walk West of Boathouse	234 Sq Ft
Total	2,270 Sq Ft



Preliminary
not for construction



SCALE

$$1'' = 10'-0''$$

DATE _____

JANUARY 3, 201

DESIGN

jc

REVISION

L-1

Important Note:
These drawings are for bidding purposes only. Final details and measurements may vary according to site conditions during construction. The Landscape Plan and associated drawings and/or details are the property of Landscape Architecture, LLC and may not be reproduced in whole or in part, nor may they be utilized in any manner without express written authorization from Landscape Architecture, LLC. Unauthorized use of these documents subjects the user to liability for damages.

IMPORTANT NOTE:
THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECTS THE USER TO LIABILITY FOR DAMAGES.

udvari
solner
design
company

2631 university ave.
madison, wi
608.233.1460
udvarisolner.com

Cox Residence
Madison, Wisconsin

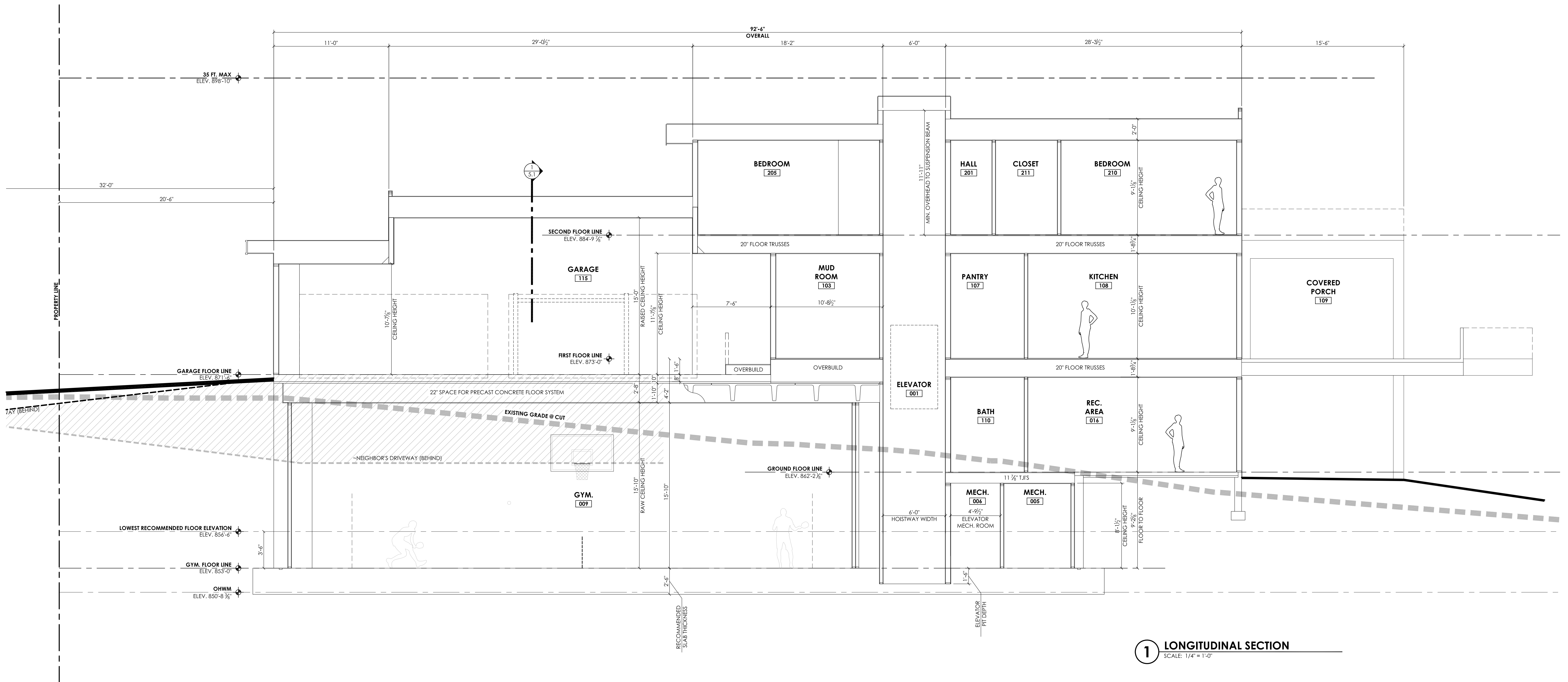
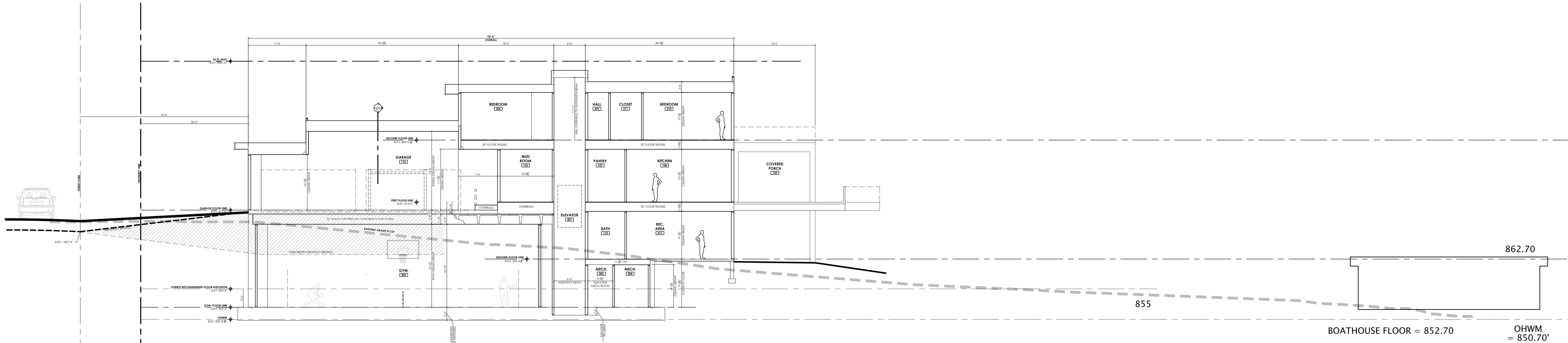
546 Lake Mendota Drive

SECTIONS

PROJECT NO:
13-17
CAD TECH:
AAC
PLAN REVIEWER:
MUS
DOCUMENT
RELEASE DATES:

01.08.2019
PRELIMINARY

5.0



IMPORTANT NOTE:
THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

udvari
solner
design
company
2631 university ave.
madison, wi
608.233.1450
udvarisolner.com

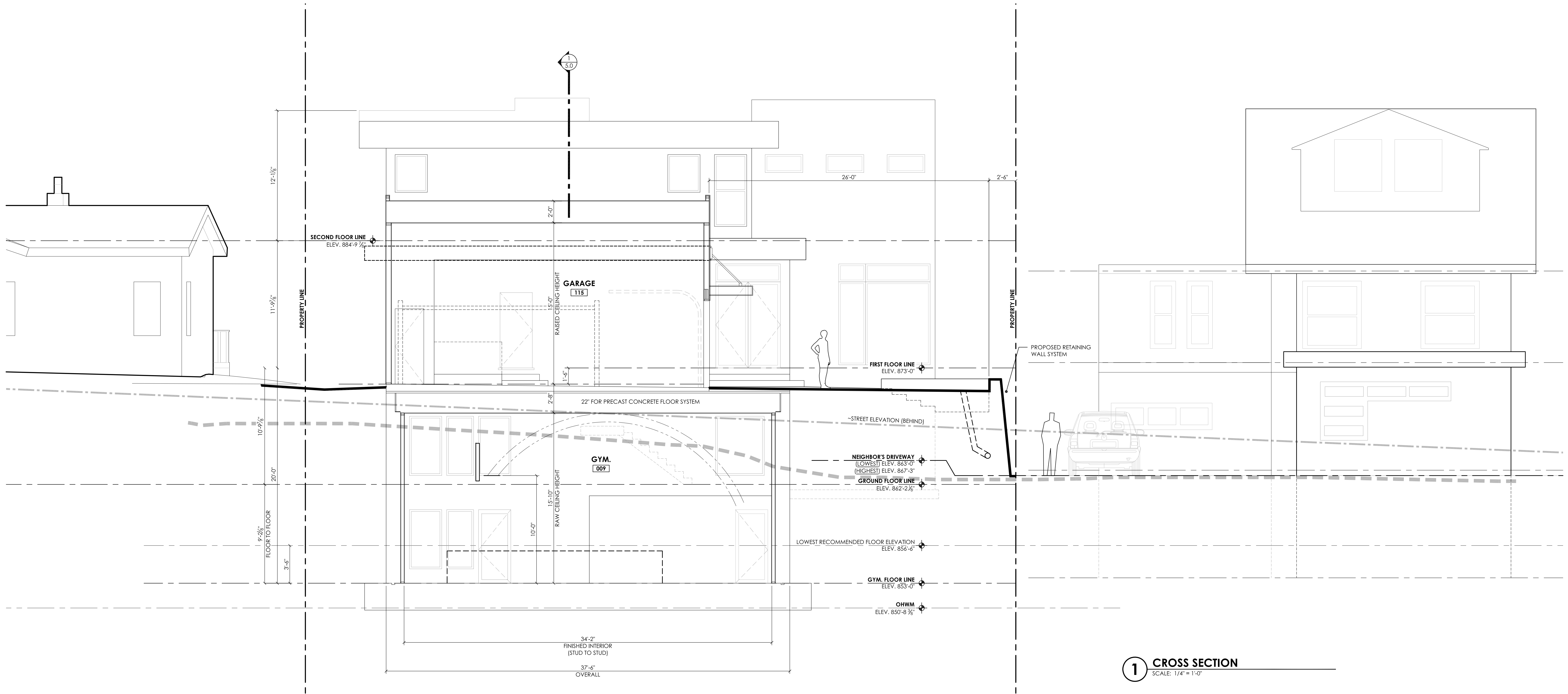
COX RESIDENCE
546 LAKE MENDOTA DRIVE
MADISON, WISCONSIN

SECTIONS
THE DOCUMENT IS THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART NOR BE UTILIZED IN ANY MANNER WITHOUT WRITTEN AUTHORIZATION AND ARE FOR BIDDING AND CONSTRUCTION PURPOSES ONLY. DESIGN IS CONDUCTED BY THE FIRM OF UDVARI-SOLNER DESIGN COMPANY.

PROJECT NO:
13-17
CAD TECH:
AAC
PLAN REVIEWER:
MUS
DOCUMENT
RELEASE DATES:

PRELIMINARY
01.08.2019

5.1



1 CROSS SECTION
SCALE: 1/4" = 1'-0"

IMPORTANT NOTE:

THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES

IMPORTANT NOTE:

WIND BRACING REQUIREMENTS PER WISCONSIN UNIFORM DWELLING CODE COMM 21.25(8) ARE THE RESPONSIBILITY OF THE BUILDER OR GENERAL CONTRACTOR. UDVARI-SOLNER DESIGN COMPANY TO REVIEW AND APPROVE FINAL WIND BRACING DESIGN.

ROOF JOIST SPECIFICATIONS

WEB STIFFENER REQUIREMENTS

WEB STIFFENERS ARE REQUIRED AT ALL HANGER AND BIRDSMOUTH CUT LOCATIONS. WEB STIFFENERS ARE ALSO REQUIRED AT ALL INTERMEDIATE BEARING LOCATIONS WHERE THE JOIST BEARING LENGTH IS LESS THAN 5'-2". TJ1/I SDF JOISTS DO NOT REQUIRE WEB STIFFENERS AT INTERMEDIATE BEARING LOCATIONS.

TJI/15DF JOISTS DO NOT REQUIRE WEB STIFFENERS AT INTERMEDIATE BEARING LOCATIONS

MINIMUM NAILING REQUIREMENTS

1. NAIL TJ JOISTS AT BEARINGS WITH 2-10D NAILS, 1-1/2" MIN. FROM END TO MINIMIZE SPLITTING.
2. NAIL TJ JOIST BLOCKING PANELS OR RIM JOIST TO BEARING PLATE WITH 10D BOX NAILS AT 6" O.C. TOE-NAIL SHEAR BLOCKING OR RIM BOARD TO BEARING PLATE WITH 10D BOX NAILS AT 6" O.C.

LATERAL SUPPORT TO PREVENT JOIST ROLLOVER

ALL ROOF JOISTS MUST BE Laterally supported at cantilever and end bearings to prevent joist rollover. Use TJI Joist blocking panels, shear blocking, rim board or hangers.

ROOF TRUSS DESIGN CRITERIA

LIVE LOAD

ROOF LOAD:	30.0 P.S.F.
SNOW LOAD:	30.0 P.S.F.

SNOW LOAD: 30.0 P.S.F.

DEAD LOAD

ROOF LOAD:	15.0 P.S.F.
TOTAL:	45.0 P.S.F.

ROOF LOAD: 15.0 P.S.F.
TOTAL: 45.0 P.S.F.

GENERAL NOTES

CROSS BRACING - 2x4s

ANCHOR TRUSS TO TOP PLATE WITH METAL
PLATE CONNECTORS

GABLE EXTENSIONS - 2x6 @ 16" O.C

ROOF TRUSS SPACING - 24" O.C.

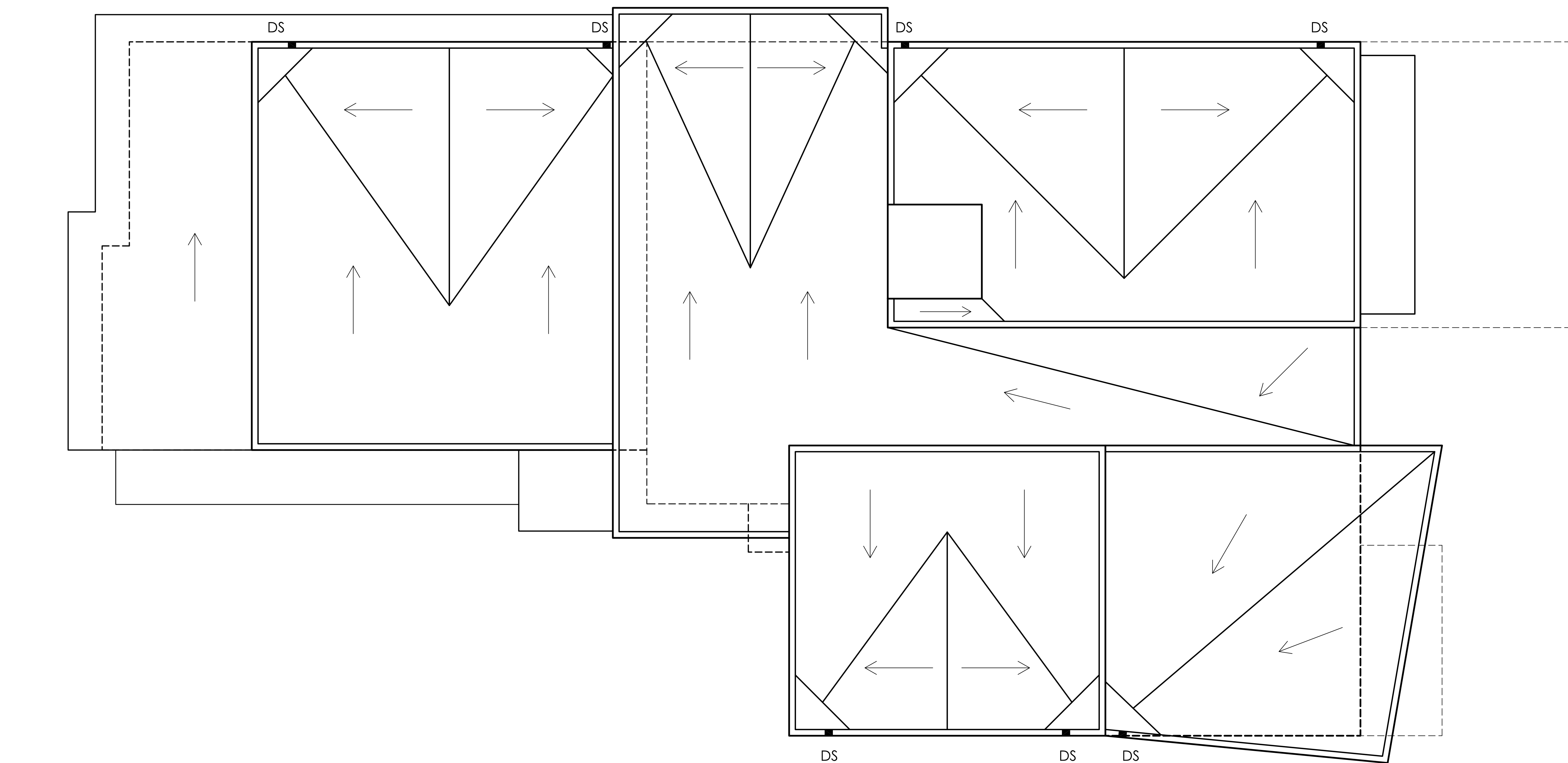
USE STRAP TYPE TRUSS HANGER @ GIRDER TO
SUPPORT COMMON TRUSSES

HOUSE ROOF PITCHES - SEE ROOF PLAN

VERIFY TRUSS DIMENSIONS WITH $\frac{1}{4}$ " PLANS

FIELD VERIFY ALL DIMENSIONS

PROVIDE ROOF CANT WHERE REQUIRED TO
PROVIDE PROPER DRAINAGE



1 PRELIMINARY ROOF PLAN

SCALE: 1/4" = 1'-0"



2631 university ave.
madison, wi
608.233.1480
udvari-solner.com

COX RESIDENCE

5454 LAKE MENDOTA DRIVE

ROOF PLAN

THIS DOCUMENT IS THE PROPERTY OF JUDVARI-SOLNER DESIGN COMPANY, AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART NOR IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION, AND ARE FOR BIDDING AND CONSTRUCTION PURPOSES ONLY. GENERAL CONTRACTOR RESPONSIBLE FOR ALL CONSTRUCTION. VENDOR NOT FOR ALL CONSTRUCTION.

PROJECT NO:	13-17
-------------	-------

CAD TECH:
AAC

PLAN REVIEW	
MUS	

DOCUMENT
RELEASE DATE

PRELIMINARY

01 09 2019

3.1

IMPORTANT NOTE:

THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

udvari
solner
design
company

2631 university ave.
madison, wi
609.233.1450
udvarisolner.com

COX RESIDENCE

MADISON, WISCONSIN

546 LAKE MENDOTA DRIVE

GYM. LEVEL FLOOR PLANS

THE DOCUMENT IS THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR BE UTILIZED IN ANY MANNER WITHOUT WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

PROJECT NO:
13-17

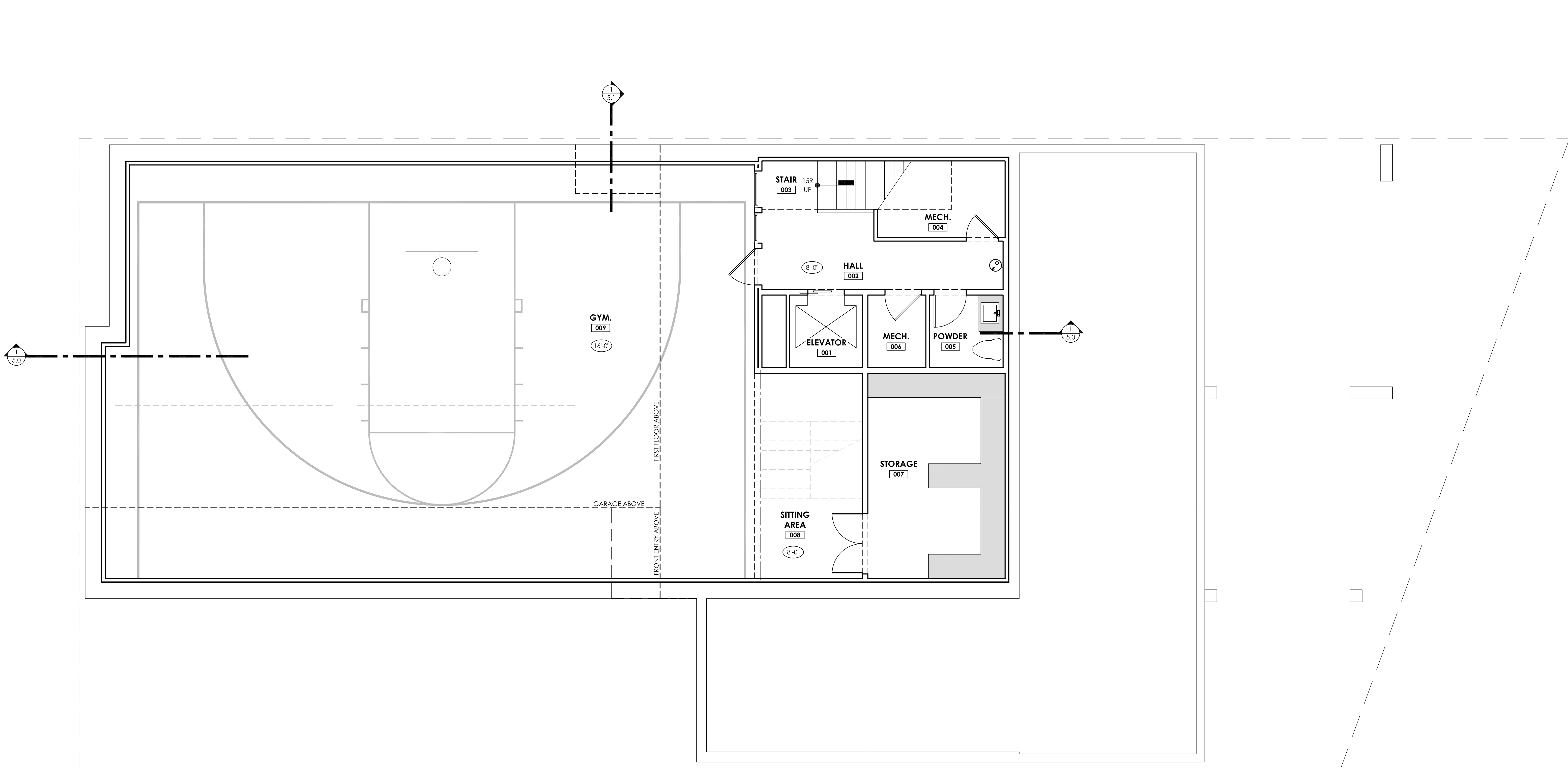
CAD TECH:
AAC

PLAN REVIEWER:
MUS

DOCUMENT
RELEASE DATES:

01.08.2019 PRELIMINARY

4.0



PLAN SYMBOLS

C.O. CASED OPENING
S SINK
DW DISH WASHER
U.C. UNDER COUNTER
REF REFRIGERATOR
W WASHING MACHINE
D DRYER
WC WATER CLOSET
FD FLOOR DRAIN

100/32 DOOR NUMBER AND WIDTH

100 WINDOW NUMBER

8'-0" CEILING HEIGHT

ROOM NAME AND NUMBER

100 ROOM NAME AND NUMBER

2/4 DETAIL NUMBER
SHEET NUMBER

KEY NOTES

- CABINETS AND COUNTERTOPS BY OTHERS. SEE CABINET SUPPLIER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
- 2 SOLID SHELVES AND POLES.
- 5 SOLID SHELVES.
- FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
- CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.

1 GYM. LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

ALL GYM. LEVEL SQUARE FEET

2,551.49



IMPORTANT NOTE:

THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

udvari
solner
design
company

2631 university ave.
madison, wi
609.233.1490
udvarisolner.com

COX RESIDENCE

546 LAKE MENDOTA DRIVE

THE DOCUMENT IS THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR BE UTILIZED IN ANY MANNER WITHOUT WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

GROUND FLOOR PLAN

PROJECT NO:
13-17

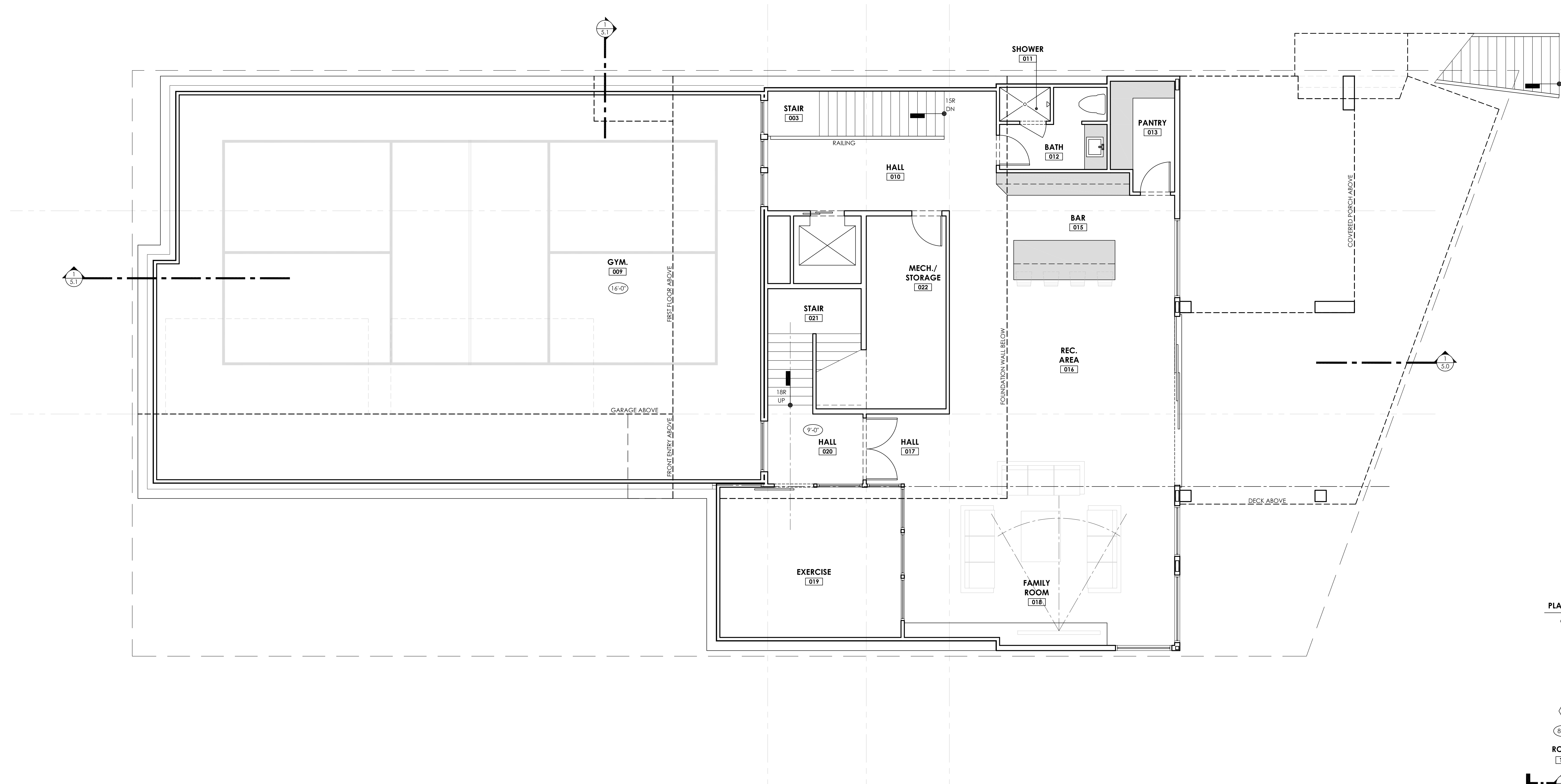
CAD TECH:
AAC

PLAN REVIEWER:
MUS

DOCUMENT
RELEASE DATES:

01.08.2019 PRELIMINARY

4.1



PLAN SYMBOLS

C.O. CASED OPENING
S SINK
DW DISH WASHER
U.C. UNDER COUNTER
REF REFRIGERATOR
W WASHING MACHINE
D DRYER
WC WATER CLOSET
FD FLOOR DRAIN

100 DOOR NUMBER AND WIDTH

100 WINDOW NUMBER

8'-0" CEILING HEIGHT

ROOM
100 ROOM NAME AND NUMBER

DETAIL NUMBER
2/4 SHEET NUMBER

KEY NOTES

- 1 CABINETS AND COUNTERTOPS BY OTHERS. SEE CABINET SUPPLIER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
- 2 2 SOLID SHELVES AND POLES.
- 5 5 SOLID SHELVES.
- 4 FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
- 4 CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.



1 GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FINISHED GROUND FLOOR LIVING SPACE SQUARE FEET
1,609.18 EXCLUDES GYM, MECH., STORAGE,
ELEVATOR & STAIR 003

IMPORTANT NOTE:

THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES

udvari
solner
design
company

2631 university ave.
madison, wi
608.233.1450
udvarisolner.com

COX RESIDENCE

MADISON, WISCONSIN

548 LAKE MENDOTA DRIVE

FIRST FLOOR PLAN

THE DOCUMENT IS THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART NOR BE UTILIZED IN ANY MANNER WITHOUT WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES

PROJECT NO:
13-17

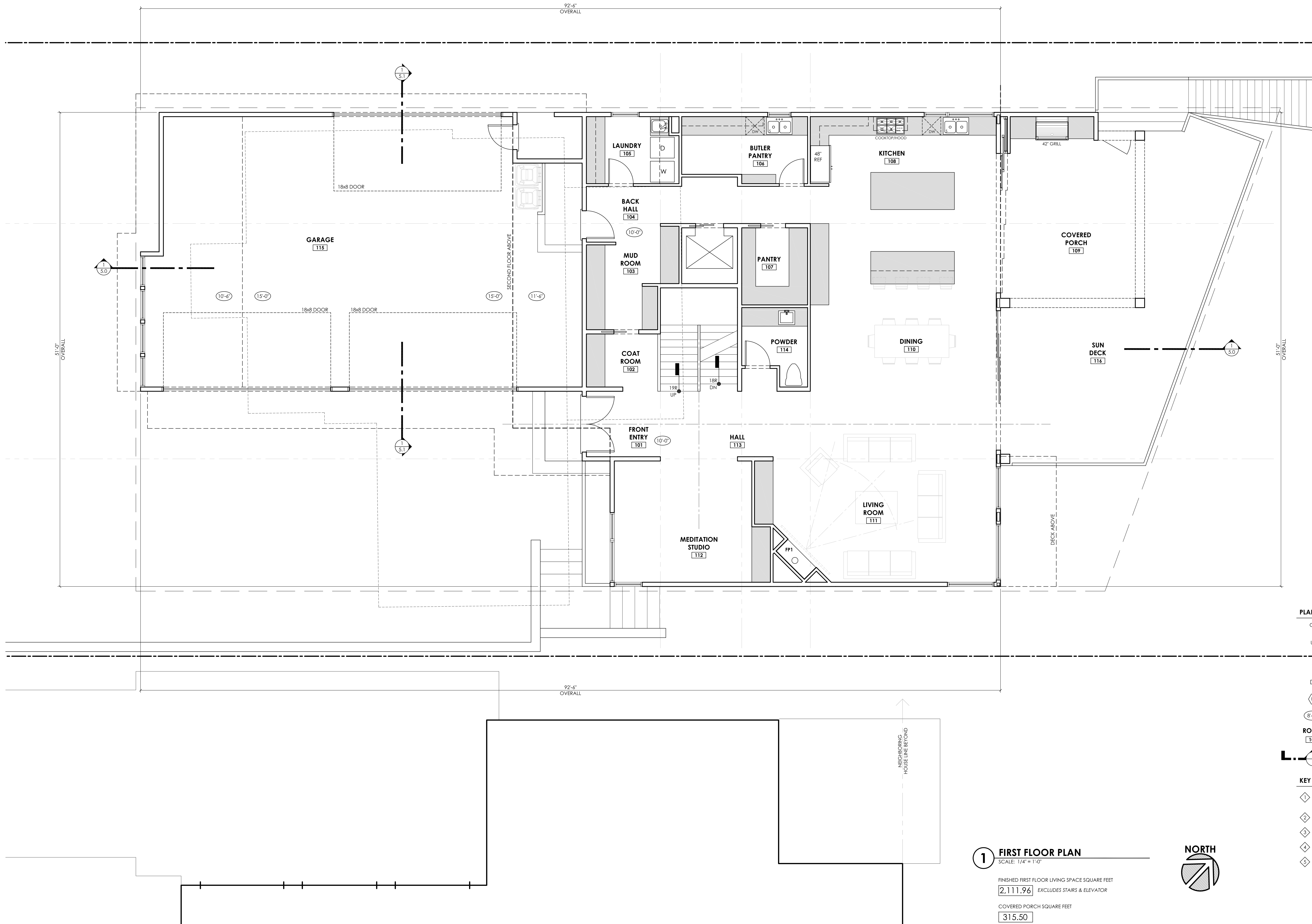
CAD TECH:
AAC

PLAN REVIEWER:
MUS

DOCUMENT
RELEASE DATES:

01.08.2019 PRELIMINARY

4.2



PLAN SYMBOLS

C.O. CASED OPENING
S SINK
DW DISH WASHER
U.C. UNDER COUNTER
REF. REFRIGERATOR
W. WASHING MACHINE
D DRYER
WC WATER CLOSET
FD FLOOR DRAIN
DOOR NUMBER AND WIDTH

WINDOW NUMBER
CEILING HEIGHT

ROOM
ROOM NAME AND NUMBER

DETAIL NUMBER
SHEET NUMBER

KEY NOTES

- CABINETS AND COUNTERTOPS BY OTHERS. SEE CABINET SUPPLIER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
- 2 SOLID SHELVES AND POLES.
- 5 SOLID SHELVES.
- FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
- CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FINISHED FIRST FLOOR LIVING SPACE SQUARE FEET
2,111.96 EXCLUDES STAIRS & ELEVATOR

COVERED PORCH SQUARE FEET
315.50



IMPORTANT NOTE:

THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. FINAL STRUCTURAL SYSTEMS AND DETAILS TO BE DETERMINED. THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART. NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

udvari
solner
design
company

2631 university ave.
madison, wi
609.233.1450
udvarisolner.com

COX RESIDENCE

MADISON, WISCONSIN

546 LAKE MENDOTA DRIVE

SECOND FLOOR PLAN

THIS DOCUMENT IS THE PROPERTY OF UDVARI-SOLNER DESIGN COMPANY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART NOR BE UTILIZED IN ANY MANNER WITHOUT WRITTEN AUTHORIZATION AND EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECT THE USER TO LIABILITY FOR DAMAGES.

PROJECT NO:
13-17

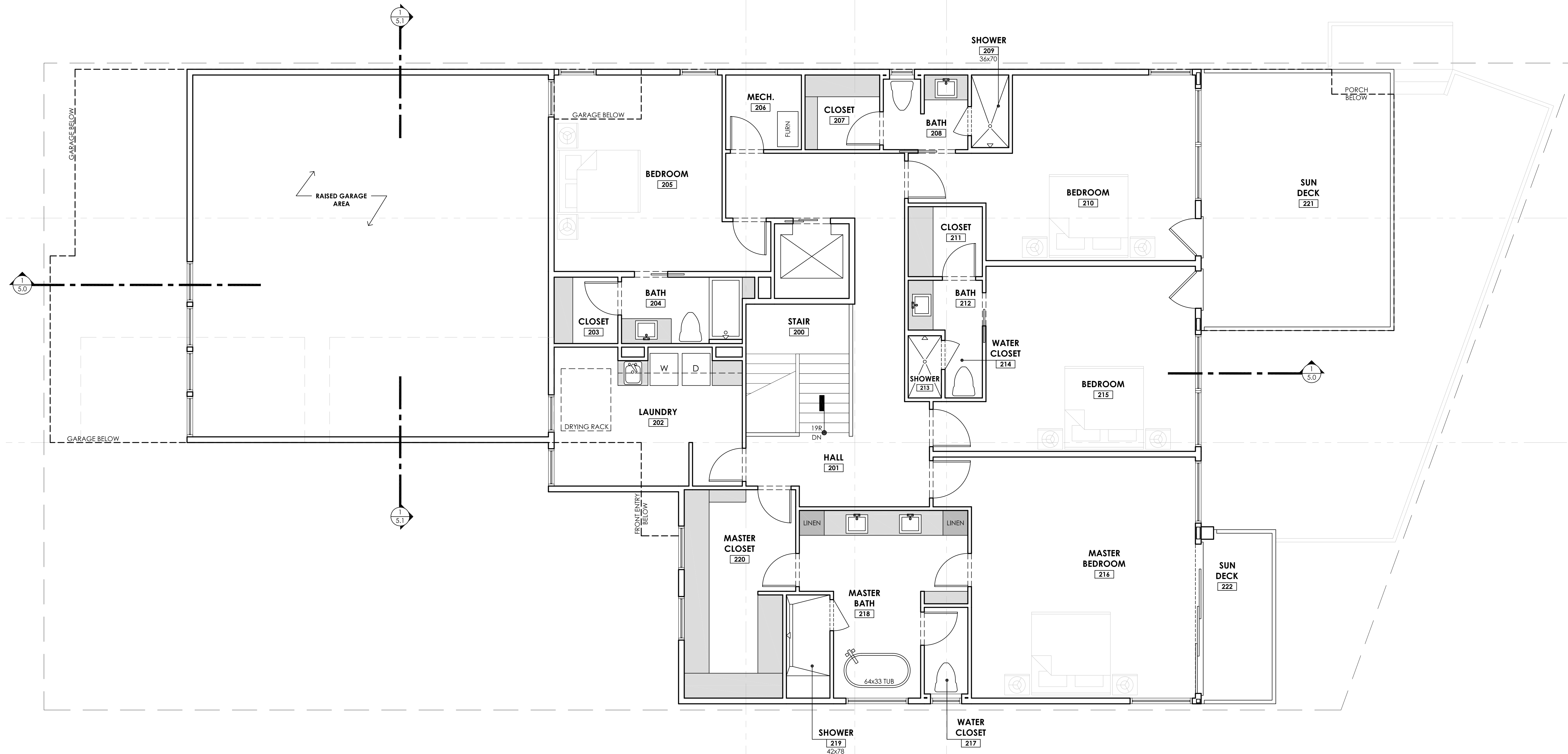
CAD TECH:
AAC

PLAN REVIEWER:
MUS

DOCUMENT
RELEASE DATES:

01.08.2019 PRELIMINARY

4.3



PLAN SYMBOLS

C.O. CASED OPENING
S SINK
DW DISH WASHER
U.C. UNDER COUNTER
REF REFRIGERATOR
W WASHING MACHINE
D DRYER
WC WATER CLOSET
FD FLOOR DRAIN

100/30 DOOR NUMBER AND WIDTH

100 WINDOW NUMBER

8'-0" CEILING HEIGHT

ROOM
100 ROOM NAME AND NUMBER

2/4 DETAIL NUMBER
SHEET NUMBER

KEY NOTES

- CABINETS AND COUNTERTOPS BY OTHERS. SEE CABINET SUPPLIER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
- 2 SOLID SHELVES AND POLES.
- 5 SOLID SHELVES.
- FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
- CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FINISHED SECOND FLOOR LIVING SPACE SQUARE FEET
2,439.63 EXCLUDES ELEVATOR & MECH.

