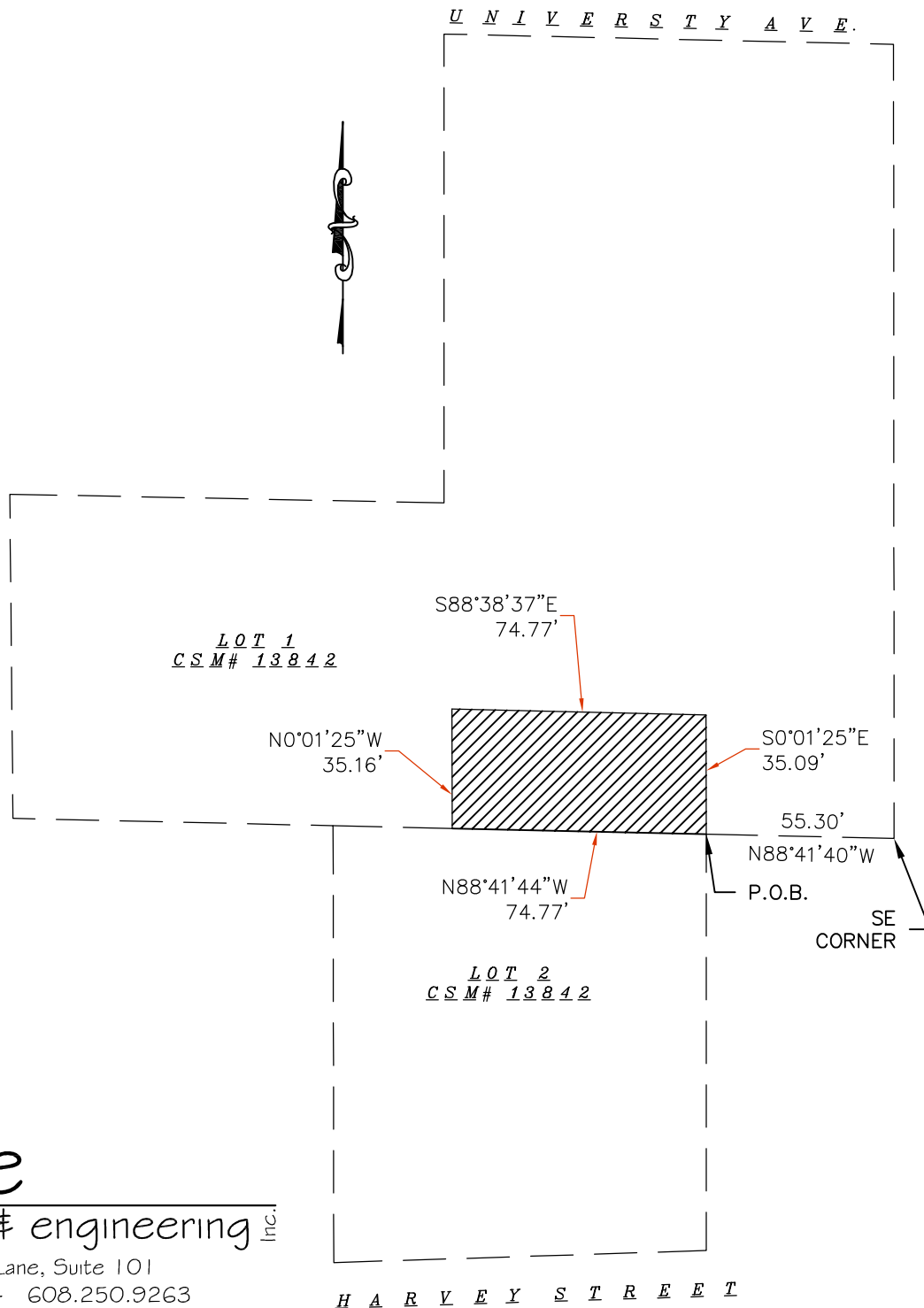


REZONE MAP



SCALE : ONE INCH = FIFTY FEET



Burse

surveying & engineering Inc.

2801 International Lane, Suite 101
Madison, WI 53704 608.250.9263

Fax: 608.250.9266

email: mburse@bse-inc.net

www.bursesurveyengr.com

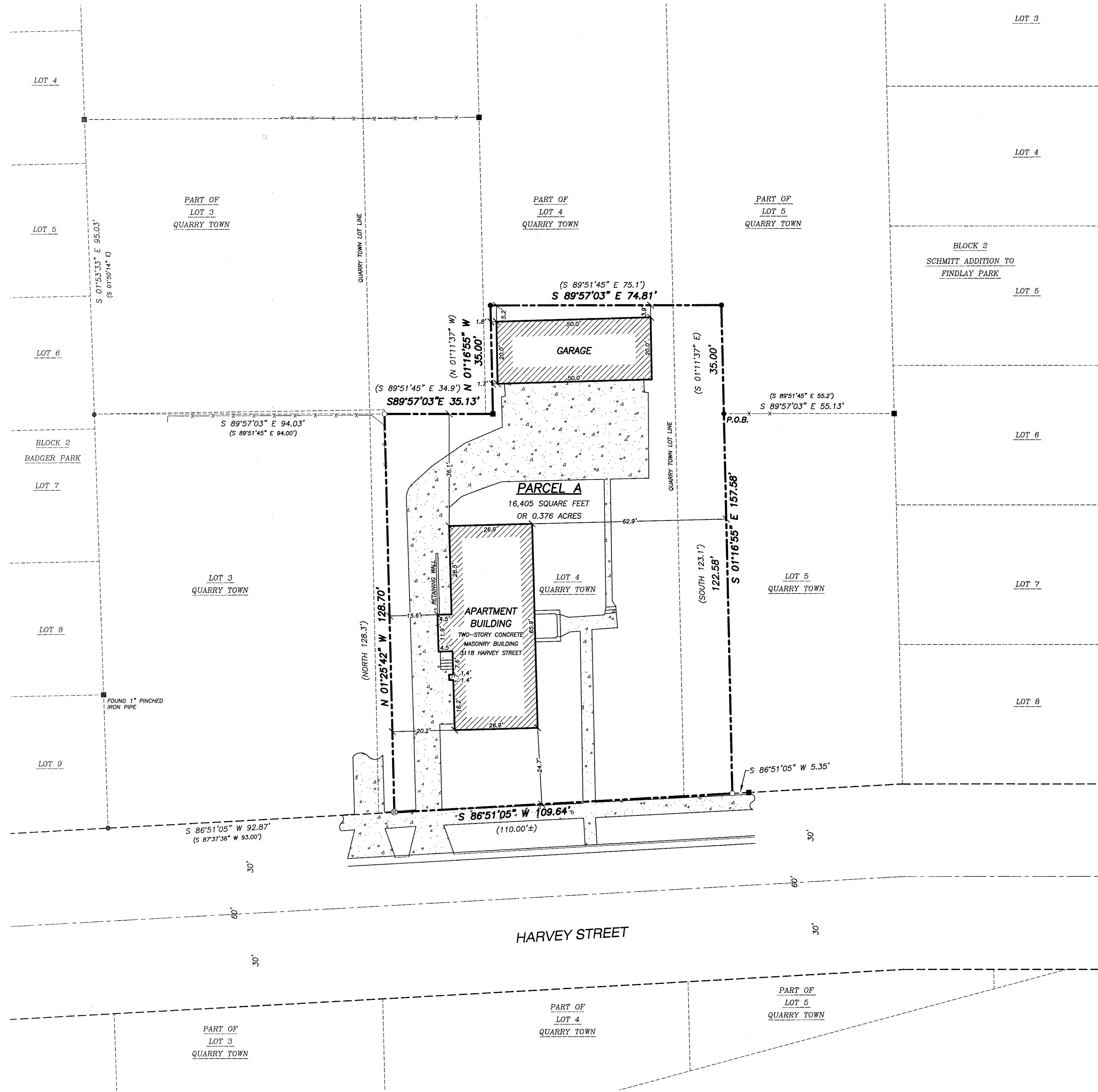
Date: December 18, 2018

Plot View: Layout1

\\BSE2140\\dwg\\Survey\\REZONE MAP.dwg

SHEET 1 OF 1

PLOT DATE: 6/14/2012 4:51:57 PM



LEGEND

- 1" IRON PIPE FOUND
- 3/4" REBAR FOUND
- CHISELED 'X' SET
- 3/4" x 24" REBAR SET (1.50 LBS/LF)
- PARCEL BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- PLATTED LOT LINE
- FENCE LINE
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- BUILDING
- CONCRETE PAVEMENT

NOTES

- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 5, 2012.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE NORTH LINE OF HARVEY STREET, ASSUMED TO BE SOUTH 86°51'05" WEST.
- THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER: 2283611, EFFECTIVE DATE: MAY 25, 2012 AT 7:00 A.M.)

PART OF LOTS THREE (3), FOUR (4), AND FIVE (5), QUARRY TOWN, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:
BEGINNING AT AN IRON STAKE 300 FEET SOUTH OF THE CENTERLINE OF UNIVERSITY AVENUE AND 55.2 FEET WEST OF WEST LINE OF SCHMITT ADDITION TO FINDLAY PARK; THENCE SOUTH 123.1 FEET PARALLEL TO SAID WEST LINE TO AN IRON STAKE IN THE NORTHERLY LINE OF HARVEY STREET; THENCE WESTERLY 110 FEET MORE OR LESS ALONG THE SAID NORTHERLY LINE TO AN IRON STAKE, WHICH IS 165.2 FEET WEST OF THE WEST LINE OF SAID SCHMITT ADDITION; THENCE NORTH 128.3 FEET PARALLEL TO SAID WEST LINE TO AN IRON STAKE 300 FEET SOUTH OF CENTER LINE OF UNIVERSITY AVENUE; THENCE EAST 34.9 FEET PARALLEL TO SAID CENTER LINE TO AN IRON STAKE; THENCE NORTH 35 FEET PARALLEL TO WEST LINE OF SCHMITT ADDITION TO AN IRON STAKE; THENCE EAST 75.1 FEET PARALLEL TO SAID CENTER LINE TO AN IRON STAKE; THENCE SOUTH 35 FEET PARALLEL TO SAID WEST LINE AND THE POINT OF BEGINNING.

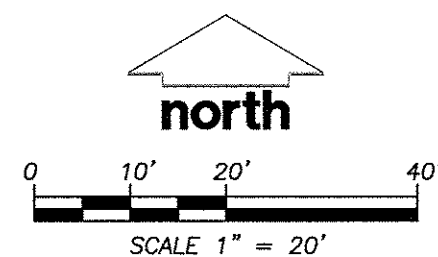
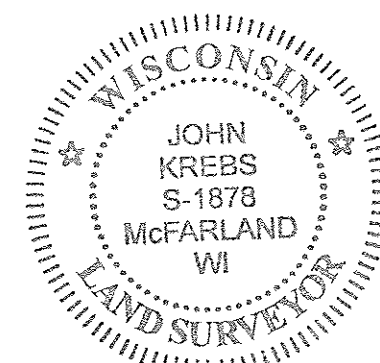
TAX KEY NO: 251/0709-212-0314-0
ADDRESS: 3118 HARVEY STREET
MADISON, WI 53705

SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN REGISTERED LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT THIS PLAT OF SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1878
REGISTERED LAND SURVEYOR

6/14/12
DATE



2012-00568

PREPARED FOR

MR. DUKE DYKSTRA
3009 UNIVERSITY AVENUE
MADISON, WI 53705

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

181 MORRIS DRIVE, SUITE 101
VERONA, WISCONSIN 53593
PHONE: (608)848-5060

PROJECT NO: 10-4352

FILE NO: C-323

SURVEYED: JK

F.B. NO/PG: 248/96

SHEET NO: 1 OF 1

PLAT OF SURVEY

PART OF LOTS 3, 4 AND 5, QUARRY TOWN, BEING A PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

DRAWN BY JK

CHECKED BY PRK

APPROVED BY DJW

DWGNAME: A:\2010A\104352.dwg

DATE: 05-30-2012

DATE: 6-13-2012

DATE: 6-14-2012

REVISION NO.

DESCRIPTION

DATE

BY

PLAT OF SURVEY

SHOREWOOD HOUSE
PART OF LOTS 3, 4 & 5, QUARRY TOWN

SCALE: ONE INCH = TWENTY FEET

UNIVERSITY AVE

NORTH BASED ON WEST LINE
SCHMITT ADDN. TO FINDLAY PARK
ASSUMED BEARING S 01°11'37" E

LEGEND AND NOTES

- 3/4" REBAR SET, UNLESS OTHERWISE NOTED.
 - MONUMENT FOUND, TYPE AS NOTED.
 - ⊙ 1" IRON PIPE FOUND.
 - () INDICATES RECORDED AS
- Dates of Survey: 05-05-05, 05-25-05, 06-14-05.
SOME FEATURES SHOWN TAKEN FROM PREVIOUS SURVEYS.

Description Furnished

PARCEL A: Part of Lots Four and Five, Quarry Town, in the City of Madison, Dane County, Wisconsin, described as follows: Beginning 231 feet North and 128.9 feet East of the Southwest corner of Lot 3, Quarry Town; thence North parallel to the West line of said Lot 3, 300 feet to the centerline of University Avenue; thence East along said centerline of University Avenue 132 feet; thence South parallel to the West line of said Lot 3, 300 feet; thence West to a point 55.2 feet West of the West line of Schmitt Addition to Findlay Park; thence North parallel to said Schmitt Plot 35 feet; thence West parallel to the centerline of University Avenue 75.1 feet; thence South parallel to the West line of Schmitt Addition 35 feet; thence West to the Point of Beginning, EXCEPT that part set forth in an award of damages dated November 27, 1970 and recorded November 27, 1970 in Volume 215 of Records, page 245, as Document No. 1278327. Subject to highway.

PARCEL B: Part of Lots three and four, Quarry Town, in the City of Madison, Dane County, Wisconsin, described as follows: Beginning 231 feet North of the Southwest corner of Lot 3, Quarry Town; thence North 01 degree 01 minute 44 seconds West, 94.92 feet; thence South 89 degrees 56 minutes 05 seconds East, 128.97 feet; thence South 00 degrees 58 minutes 52 seconds East, 95.96 feet; thence North 89 degrees 38 minutes 55 seconds West, 128.90 feet to the Point of Beginning.

SURVEYOR'S CERTIFICATE

I, Richard S. Lawrence, registered land surveyor, hereby certify that according to the information provided to me by the client, the foregoing survey was executed under my direction and control and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief.

Dated this 6TH day of JULY 2005.
Signed: *Richard S. Lawrence*
Richard S. Lawrence, R.L.S. 2364



SURVEYED FOR:

SHOREWOOD HOUSE
3009 UNIVERSITY AVE.
MADISON, WI 53705

PREPARED FOR:

MAYO corporation
ENGINEERS SURVEYORS ARCHITECTS PLANNERS
600 GRAND CANYON DRIVE, MADISON, WI 53719-1044
PHONE: (608) 833-0628 FAX: (608) 833-0746
E-MAIL: info@mayocorporation.com

SH0604
SHEET 1 OF 1

PLOT DATE: 070805
LAYOUT: LAYOUT1
M:\SH0604\Sur\PSH06-1.dwg DRAFTED BY: WFB REVIEWED BY: RSL

2005-00750



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 3009 University Avenue

Contact Name & Phone #: Duke Dykstra, 608-238-0501

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

Legal Descriptions

3009 University Avenue

Lot 1, Certified Survey Map Number 13842, recorded in Volume 92 of Certified Surveys on pages 4 through 8, as Document Number 5106910, Dane County Registry, Wisconsin.

3118 Harvey Street

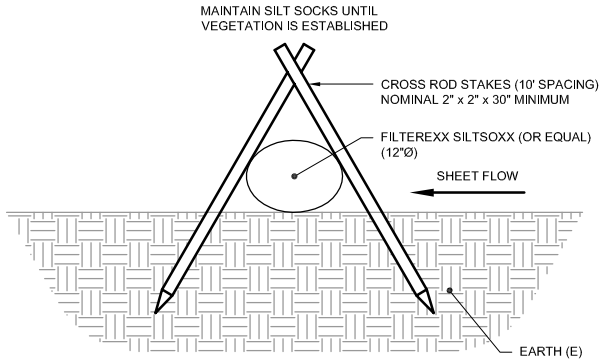
Lot 2, Certified Survey Map Number 13842, recorded in Volume 92 of Certified Surveys on pages 4 through 8, as Document Number 5106910, Dane County Registry, Wisconsin.

Rezone Description from CC-T to TR-U1

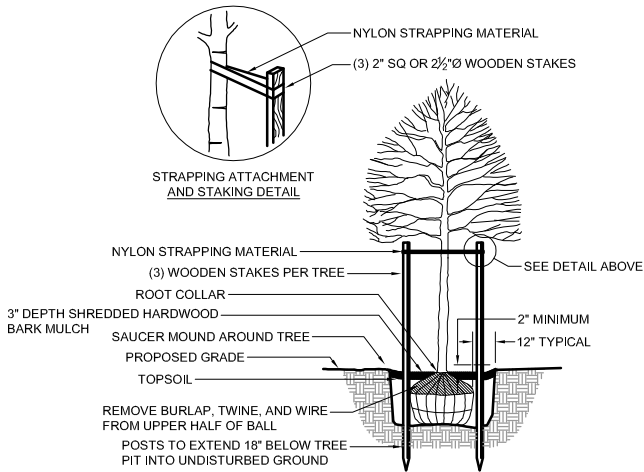
Part of Lot 1, Certified Survey Map Number 13842, recorded in Volume 92 of Certified Surveys on pages 4 through 8, as Document Number 5106910, Dane County Registry, Wisconsin, more fully describes as follows:

Commencing at the southeast corner of said Lot 1;
thence North 88 degrees 41 minutes 44 seconds West along the south line of said Lot 1, 55.30 feet to the northeast corner of Lot 2 , said CSM 13842 and to the Point of Beginning;
thence continuing North 88 degrees 41 minutes 44 seconds West along the south line of said Lot 1, 74.77 feet;
thence North 00 degrees 01 minute 25 seconds East, 35.16 feet;
thence South 88 degrees 38 minutes 37 seconds East, 74.77 feet;
thence South 00 degrees 01 minute 25 seconds East, 35.09 feet to the Point of Beginning.

This description contains 2,626 square feet



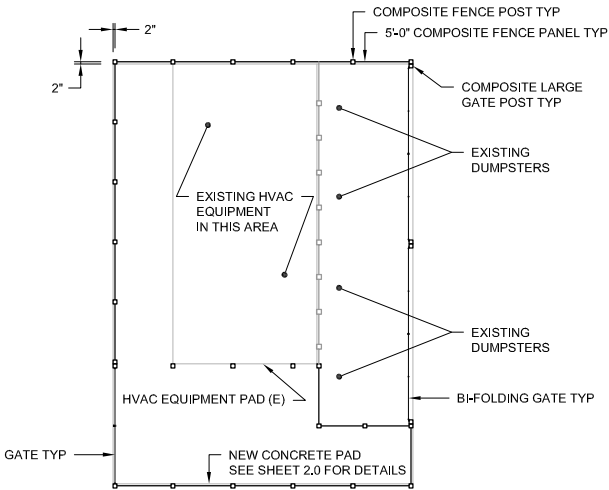
1 EROSION CONTROL DETAIL
C0.0 SCALE: NTS



5 DECIDUOUS TREE PLANTING DETAIL
C0.0 SCALE: NTS

GENERAL NOTES:

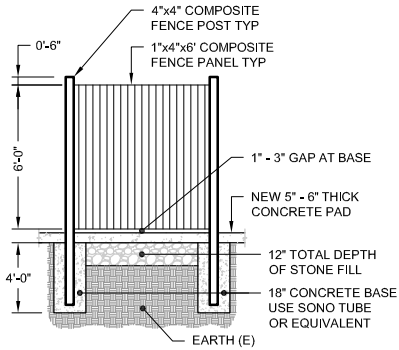
1. ROOT COLLAR TO BEAT GRADE.
2. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO COLLAR.



6 FENCE LAYOUT DETAIL
C0.0 SCALE: NTS

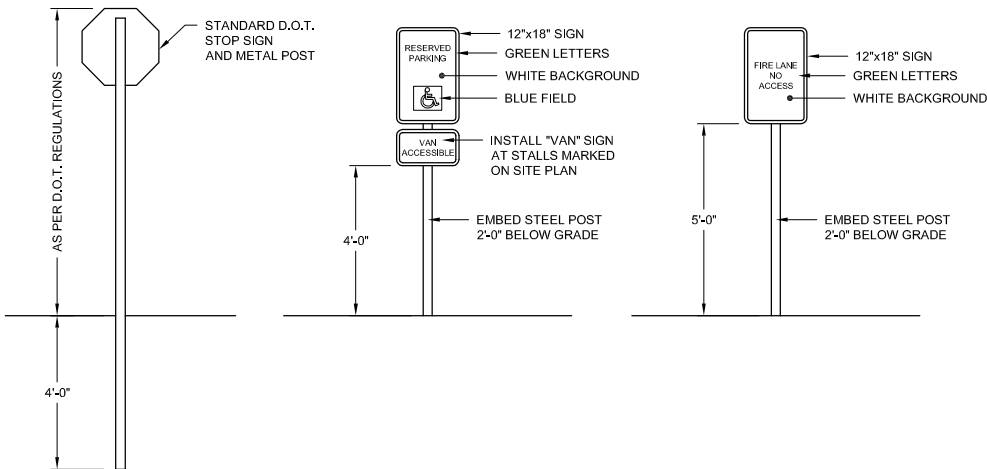
GENERAL NOTES:

1. FENCE MATERIAL WILL BE GREEN TREATED WOOD, WITH COMPOSITE SLEEVE, AND END CAPS ON POST. THE ABOVE SHOWN LAYOUT IS TO PROVIDE AN OVERALL PICTURE OF WHAT THE FENCE SHOULD LOOK LIKE.



FENCE SECTION DETAIL

2 ASPHALT BASE COURSE DETAIL
C0.0 SCALE: NTS



3 INSTRUCTIONAL SIGNAGE DETAIL
C0.0 SCALE: NTS

ABBREVIATIONS:

&	AND
*	ASTRICT FOR FOOT NOTE REFERENCE
@	AT
AB	ANCHOR BOLT
ABV	ABOVE
ACI	AMERICAN CONCRETE INSTITUTE
ADD	ADDITIONAL
ADJ	ADJACENT
AFG	ABOVE FINISHED GRADE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AISI	AMERICAN IRON AND STEEL INSTITUTE
AL	ALUMINUM
ALT	ALTERNATIVE
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS
AWS	AMERICAN WELDING SOCIETY
BM	BEAM
BEL	BELOW
BLDG	BUILDING(S)
BRG	BEARING
BRKT	BRACKET
BTM	BOTTOM

ℓ	CENTER LINE
CFG	CONFIGURATION(S)
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTED/CONNECTION(S)
CONT	CONTINUOUS
CONTR	CONTRACTOR
CRSI	CONCRETE REINFORCING STEEL INSTITUTE
CSM	CERTIFIED SURVEY MAP
CTR	CENTERED

°	DEGREE
Ø	DIAMETER
D	DIAGRAM
DEPT	DEPARTMENT
DGNL	DIAGONAL
DIM	DIMENSION
DIST	DISTANCE
DL	DEAD LOAD
DN	DOWN
DPT	DEPTH
DWG	DRAWING(S)
DWL	DOWEL(S)

(E)	EXISTING
EA	EACH
EE	EACH END
EF	EACH FACE
ELV	ELEVATION
ELEC	ELECTRICAL
EMB	EMBEDMENT
ENG	ENGINEER
EQ	EQUAL(=)
EQUIP	EQUIPMENT
ES	EACH SIDE

EW	EACH WAY
EXC	EXCAVATION
EXP	EXPANSION
EXT	EXTERIOR OR EXTERNAL
FAS	FASTENERS
FF	FINISHED FLOOR
FIG	FIGURE
FIN	FINISH
FL	FLOOR
FND	FOUNDATION
FR	FROST RESISTANT
ft	FOOT OR FEET (')
FTG	FOOTING
FV	FIELD VERIFY
FW	FOUNDATION WALL

GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GR	GRADE

HDG	HOT DIPPED GALVANIZED
HORZ	HORIZONTAL
HT	HEIGHT

IBC	INTERNATIONAL BUILDING CODE
ID	INSIDE DIAMETER
in	INCH (")
INFO	INFORMATION
INT	INTERIOR

JT	JOINT
JST	JOIST
klp	KILO POUND
ksi	KILO POUND PER SQUARE INCH

lb	POUND(S)
LL	LIVE LOAD
LLV	LONG LEG VERTICAL
LOC	LOCATION
LOE	LIMITS OF EXCAVATION
LVL	LEVEL(S)
LW	LONG WAY

MASN	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MFG	MANUFACTURER(S)
MH	MANHOLE
MIN	MINIMUM
MTD	MOUNTED
MWFRS	MAIN WIND-FORCE RESISTING SYSTEM

#	NUMBER
NDS	NATIONAL DESIGN SPECIFICATIONS
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE

OC	ON CENTER
OE	OVER EXCAVATION
OPNG	OPENING
OD	OUTSIDE DIAMETER

%	PERCENTAGE
ℓ	PLATE
PAR	PARALLEL
PERIM	PERIMETER
PERP	PERPENDICULAR
POC	POINT OF CONNECTION
PRELIM	PRELIMINARY
psf	POUNDS PER SQUARE FOOT
psi	POUNDS PER SQUARE INCH
pts	POINTS
PVC	POLYVINYL CHLORIDE
QTY	QUANTITY

REC	RECOMMENDATION(S)
REINF	REINFORCEMENT
RETG	RETAINING
REQ	REQUIRED/REQUIREMENT(S)

SB	STORM WATER BASIN
SCH	SCHEDULE
SDG	SPECIAL DESIGNED GIRDER
SDT	SPECIAL DESIGNED TRUSS
SEC	SECTION(S)
SG	SUB-GRADE
SWG	WELDED SERIES GRATING
SH	SHEATHING
SHT	SHEET
SIM	SIMILAR
SOG	SLAB-ON-GRADE
SOW	SIDE OF WALL
SPEC	SPECIFICATION(S)
sq ft (')	SQUARE FEET
sq in (")	SQUARE INCH
ST	STEEL
STD	STANDARD(S)
STR	STRUCTURAL
SUP	SUPPORT(S)
SST	STAINLESS STEEL
SW	SHORT WAY

-	TO OR RANGE OF NUMBERS
TEMP	TEMPORARY
THK	THICKNESS
THRU	THROUGH
TO	TOP OF
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL

UNEX	UNEXCAVATED
UNIF	UNIFORM
UNO	UNLESS NOTED OTHERWISE

VERT	VERTICAL
WD	WIDTH
W/	WITH
WT	WEIGHT
WWF	WELDED WIRE FABRIC

NOTE REGARDING EXISTING CONDITIONS:

INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE CIVIL DRAWINGS REPRESENTS, TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. TRUE BUSINESS LLC, MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THE NEW WORK. REPORT DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE ENGINEER OF RECORD FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE ENGINEER OF RECORD IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.

CIVIL SHEET INDEX

C0.0	ABBREVIATIONS, DETAILS, AND SYMBOLS
C1.0	EXISTING CONDITIONS/DEMOLITION PLAN - OVERALL SITE WORK
C1.1	EXISTING CONDITIONS/DEMOLITION PLAN - LANDSCAPING
C2.0	FIRE LANE NEW WORK PLAN - SITE WORK
C2.1	FIRE LANE NEW WORK PLAN - LANDSCAPING
C2.2	FIRE LANE NEW WORK PLAN - FINAL LAYOUT
C2.3	FIRE LANE GRADING PLAN
C5.0	SUPPLEMENTARY NEW WORK PLAN - CONCRETE WORK
C5.1	SUPPLEMENTARY NEW WORK PLAN - FENCE WORK

REVISION:
△ 6-19-18 CONSTRUCTION DRAWINGS
△ 9-10-18 CD PER TRAFFIC ENG.
△ 12-19-18 LAND USE APPLICATION

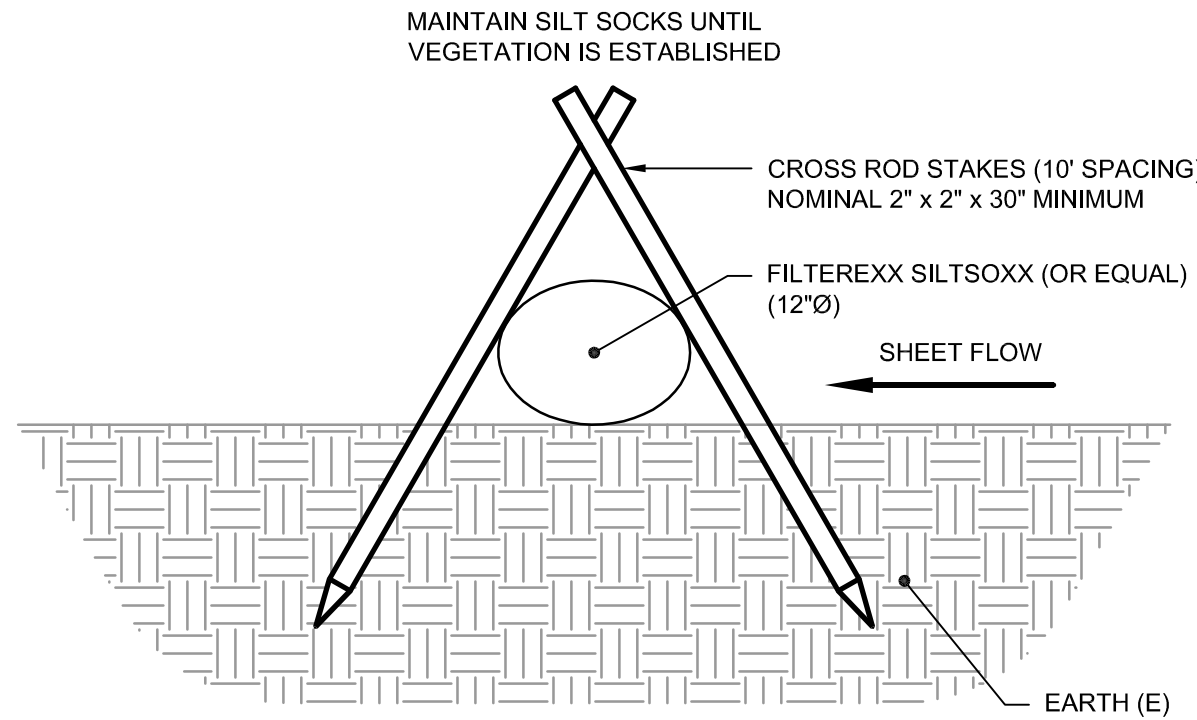
Shorewood House, LLP

SHOREWOOD HOUSE
3009 UNIVERSITY AVE - FIRE LANE PROPOSAL
MADISON WISCONSIN
ABBREVIATIONS, DETAILS, AND SYMBOLS

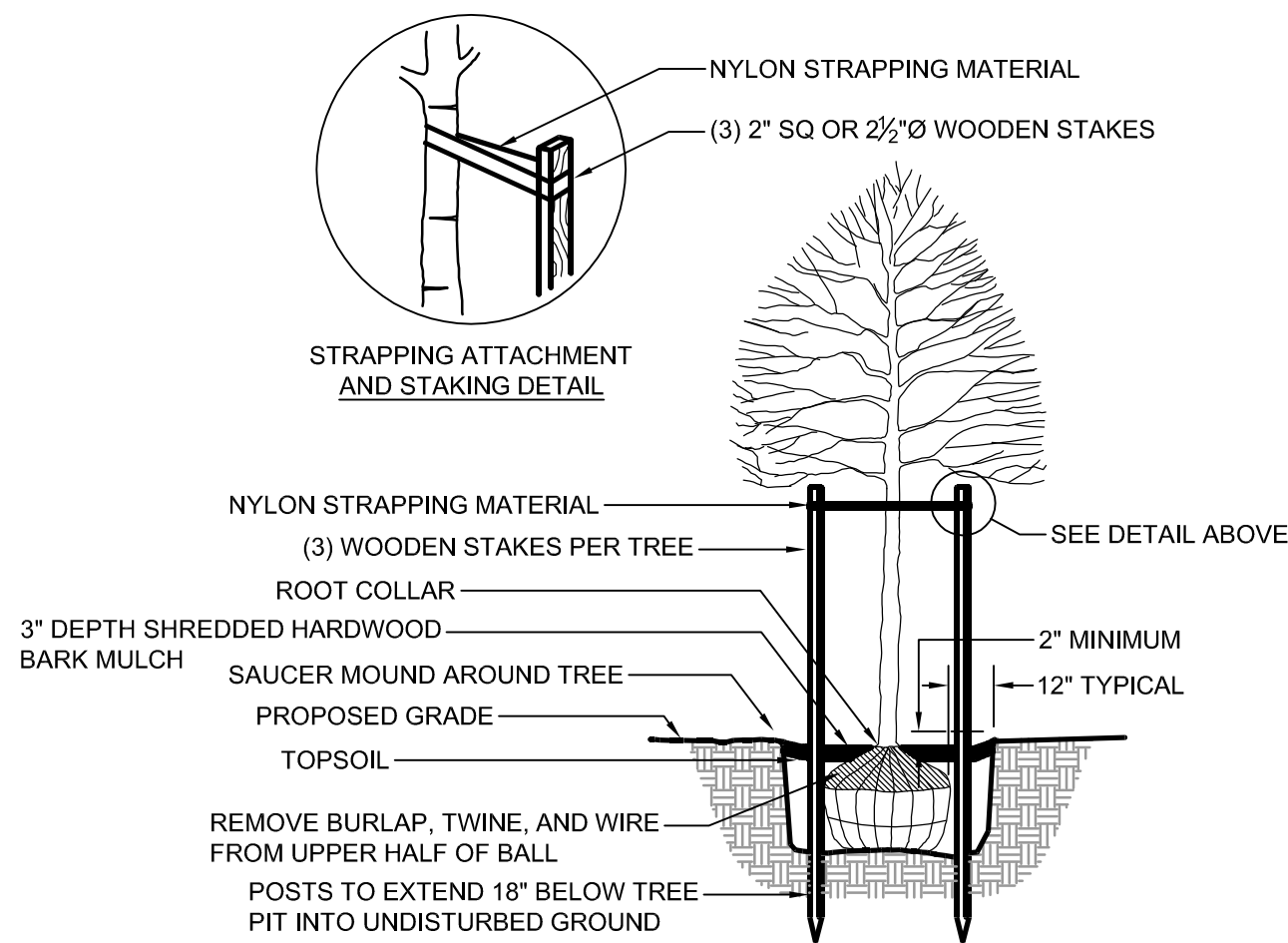
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Drawn By: AGM
Checked By: DND
Date: 06/18/18
Scale: AS NOTED
Job Number: 18-3009UN

SHEET NUMBER

C0.0



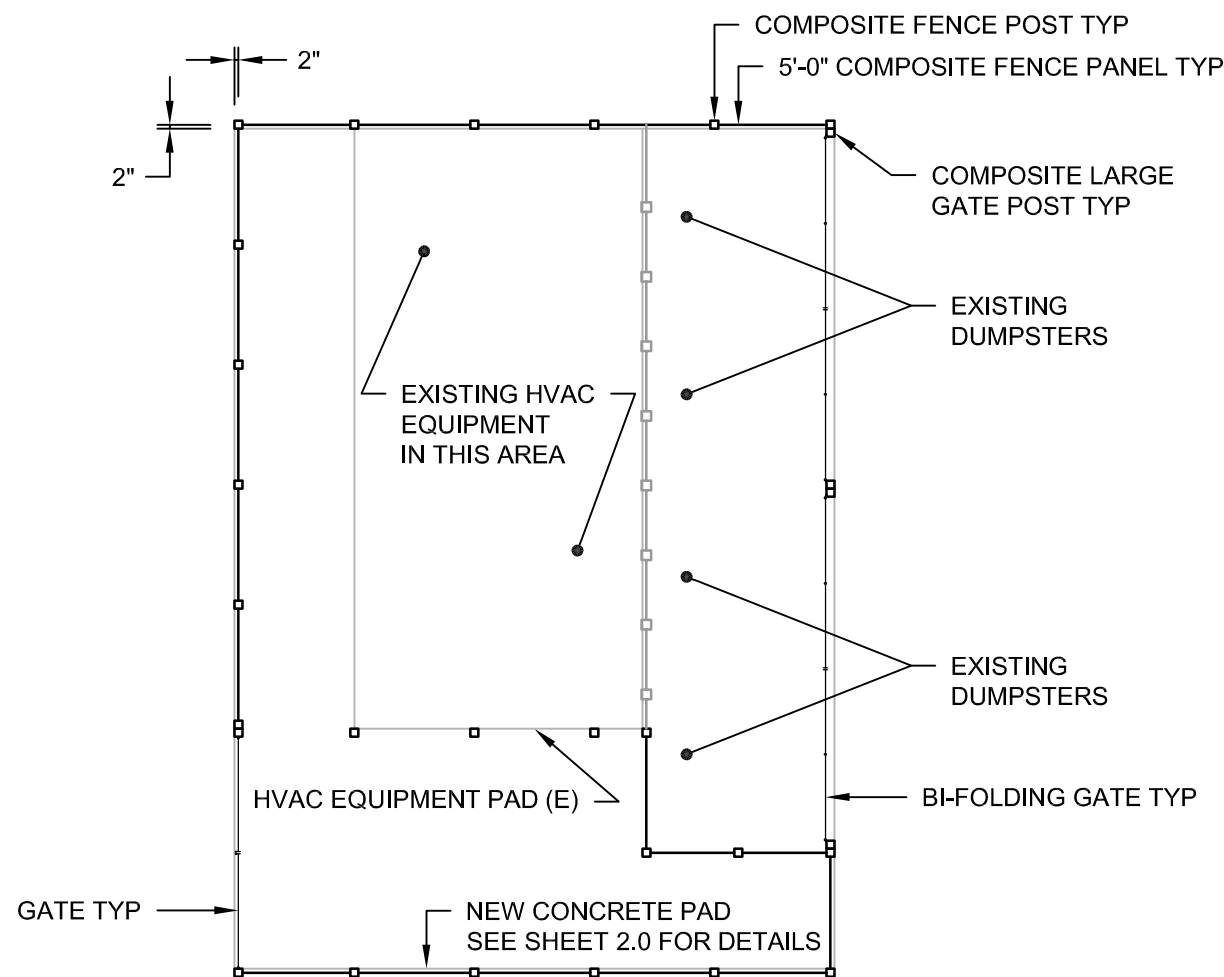
1 EROSION CONTROL DETAIL
C0.0 SCALE: NTS



5 DECIDUOUS TREE PLANTING DETAIL
C0.0 SCALE: NTS

GENERAL NOTES:

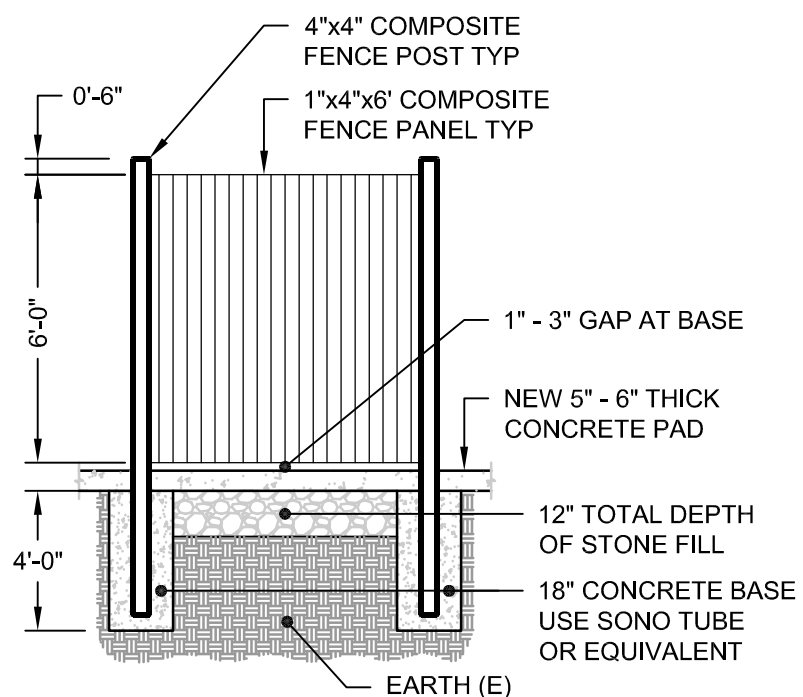
1. ROOT COLLAR TO BEAT GRADE.
2. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO COLLAR.



6 FENCE LAYOUT DETAIL
C0.0 SCALE: NTS

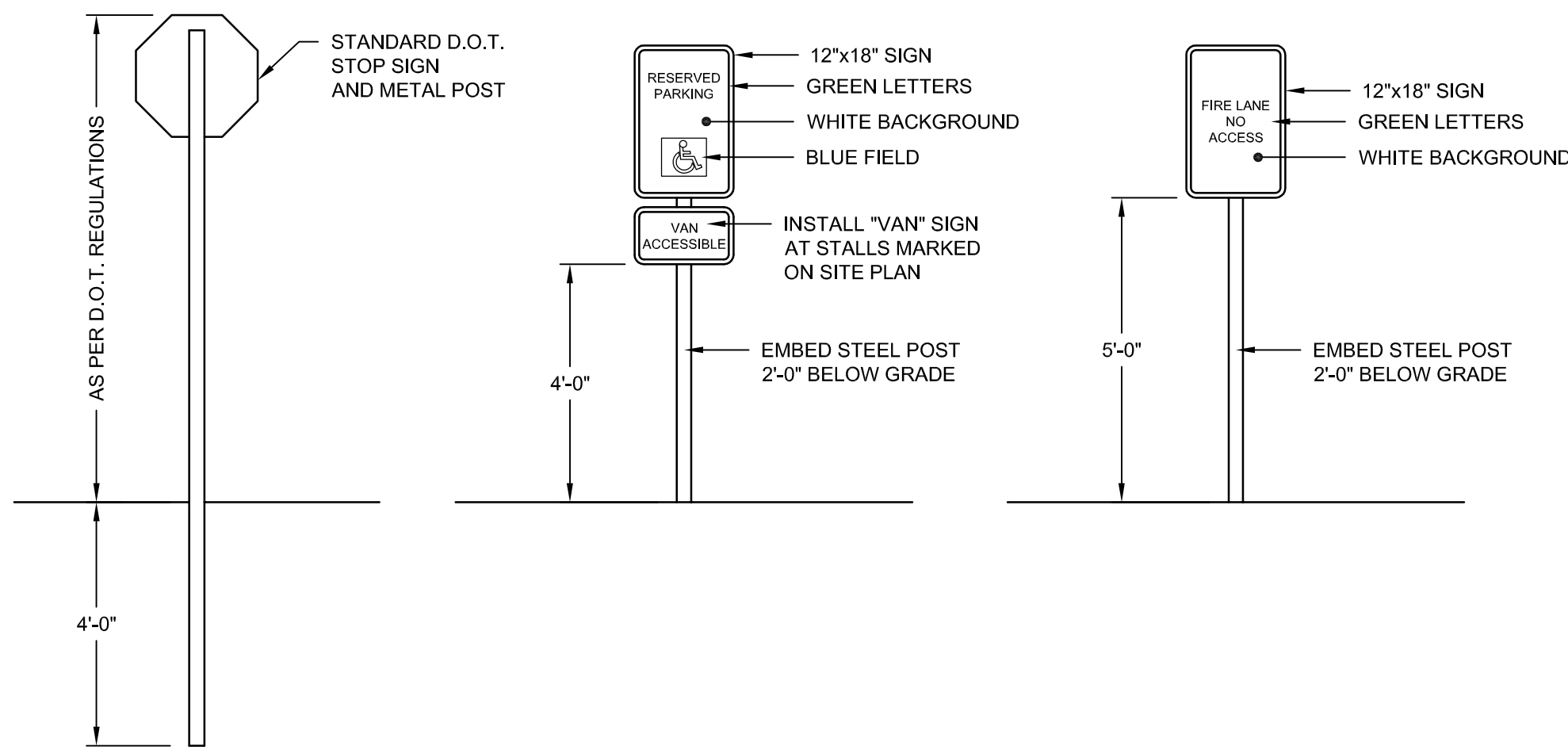
GENERAL NOTES:

1. FENCE MATERIAL WILL BE GREEN TREATED WOOD, WITH COMPOSITE SLEEVE, AND END CAPS ON POST. THE ABOVE SHOWN LAYOUT IS TO PROVIDE AN OVERALL PICTURE OF WHAT THE FENCE SHOULD LOOK LIKE.



FENCE SECTION DETAIL

2 ASPHALT BASE COURSE DETAIL
C0.0 SCALE: NTS



3 INSTRUCTIONAL SIGNAGE DETAIL
C0.0 SCALE: NTS

ABBREVIATIONS:

&	AND
@	ASTRICT FOR FOOT NOTE REFERENCE
AB	ANCHOR BOLT
ABV	ABOVE
ACI	AMERICAN CONCRETE INSTITUTE
ADD	ADDITIONAL
ADJ	ADJACENT
AFG	ABOVE FINISHED GRADE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AISI	AMERICAN IRON AND STEEL INSTITUTE
AL	ALUMINUM
ALT	ALTERNATIVE
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS
AWS	AMERICAN WELDING SOCIETY

BM	BEAM
BEL	BELOW
BLDG	BUILDING(S)
BRG	BEARING
BRKT	BRACKET
BTM	BOTTOM

CL	CENTER LINE
CFG	CONFIGURATION(S)
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTED/CONNECTION(S)
CONT	CONTINUOUS
CONTR	CONTRACTOR
CRSI	CONCRETE REINFORCING STEEL INSTITUTE
CSM	CERTIFIED SURVEY MAP
CTR	CENTERED

°	DEGREE
Ø	DIAMETER
D	DIAGRAM
DEPT	DEPARTMENT
DGNL	DIAGONAL
DIM	DIMENSION
DIST	DISTANCE
DL	DEAD LOAD
DN	DOWN
DPT	DEPTH
DWG	DRAWING(S)
DWL	DOWEL(S)

(E)	EXISTING
EA	EACH
EE	EACH END
EF	EACH FACE
ELV	ELEVATION
ELEC	ELECTRICAL
EMB	EMBEDMENT
ENG	ENGINEER
EQ	EQUAL(=)
EQUIP	EQUIPMENT
ES	EACH SIDE

EW	EACH WAY
EXC	EXCAVATION
EXP	EXPANSION
EXT	EXTERIOR OR EXTERNAL

FAS	FASTENERS
FF	FINISHED FLOOR
FIG	FIGURE
FIN	FINISH
FL	FLOOR
FND	FOUNDATION
FR	FROST RESISTANT
ft	FOOT OR FEET (')
FTG	FOOTING
FV	FIELD VERIFY
FW	FOUNDATION WALL

GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GR	GRADE

HDG	HOT DIPPED GALVANIZED
HORZ	HORIZONTAL
HT	HEIGHT

IBC	INTERNATIONAL BUILDING CODE
ID	INSIDE DIAMETER
in	INCH (")
INFO	INFORMATION
INT	INTERIOR

JT	JOINT
JST	JOIST

kip	KILO POUND
ksi	KILO POUND PER SQUARE INCH

lb	POUND(S)
LL	LIVE LOAD
LLV	LONG LEG VERTICAL
LOC	LOCATION
LOE	LIMITS OF EXCAVATION
LVL	LEVEL(S)
LW	LONG WAY

MASN	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MFG	MANUFACTURER(S)
MH	MANHOLE
MIN	MINIMUM
MTD	MOUNTED
MWFRS	MAIN WIND-FORCE RESISTING SYSTEM

#	NUMBER
NDS	NATIONAL DESIGN SPECIFICATIONS
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE

OC	ON CENTER
OE	OVER EXCAVATION
OPNG	OPENING
OD	OUTSIDE DIAMETER

%	PERCENTAGE
---	------------

PLATE	PLATE
PAR	PARALLEL
PERIM	PERIMETER
PERP	PERPENDICULAR
POC	POINT OF CONNECTION
PRELIM	PRELIMINARY
psf	POUNDS PER SQUARE FOOT
psi	POUNDS PER SQUARE INCH
pts	POINTS
PVC	POLYVINYL CHLORIDE

QTY	QUANTITY
-----	----------

REC	RECOMMENDATION(S)
REINF	REINFORCEMENT
RETG	RETAINING
REQ	REQUIRED/REQUIREMENT(S)

SB	STORM WATER BASIN
SCH	SCHEDULE
SDG	SPECIAL DESIGNED GIRDER
SDT	SPECIAL DESIGNED TRUSS
SEC	SECTION(S)
SG	SUB-GRADE
SGW	WELDED SERIES GRATING
SH	SHEATHING
SHT	SHEET
SIM	SIMILAR
SOG	SLAB-ON-GRADE
SOW	SIDE OF WALL
SPEC	SPECIFICATION(S)
sq ft (')	SQUARE FEET
sq in (")	SQUARE INCH
ST	STEEL
STD	STANDARD(S)
STR	STRUCTURAL
SUP	SUPPORT(S)
SST	STAINLESS STEEL
SW	SHORT WAY

-	TO OR RANGE OF NUMBERS
TEMP	TEMPORARY
THK	THICKNESS
THRU	THROUGH
TO	TOP OF
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL

UNEX	UNEXCAVATED
UNIF	UNIFORM
UNO	UNLESS NOTED OTHERWISE

VERT	VERTICAL
------	----------

WD	WIDTH
W/	WITH
WT	WEIGHT
WWF	WELDED WIRE FABRIC

NOTE REGARDING EXISTING CONDITIONS:

INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE CIVIL DRAWINGS REPRESENTS, TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. TRUE BUSINESS LLC, MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THE NEW WORK. REPORT DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE ENGINEER OF RECORD FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE ENGINEER OF RECORD IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.

CIVIL SHEET INDEX

C0.0	ABBREVIATIONS, DETAILS, AND SYMBOLS
C1.0	EXISTING CONDITIONS/DEMOLITION PLAN - OVERALL SITE WORK
C1.1	EXISTING CONDITIONS/DEMOLITION PLAN - LANDSCAPING
C2.0	FIRE LANE NEW WORK PLAN - SITE WORK
C2.1	FIRE LANE NEW WORK PLAN - LANDSCAPING
C2.2	FIRE LANE NEW WORK PLAN - FINAL LAYOUT
C2.3	FIRE LANE GRADING PLAN
C5.0	SUPPLEMENTARY NEW WORK PLAN - CONCRETE WORK
C5.1	SUPPLEMENTARY NEW WORK PLAN - FENCE WORK

REVISION:
Δ 6-19-18 CONSTRUCTION DRAWINGS
Δ 9-10-18 CD PER TRAFFIC ENG.
Δ 12-19-18 LAND USE APPLICATION

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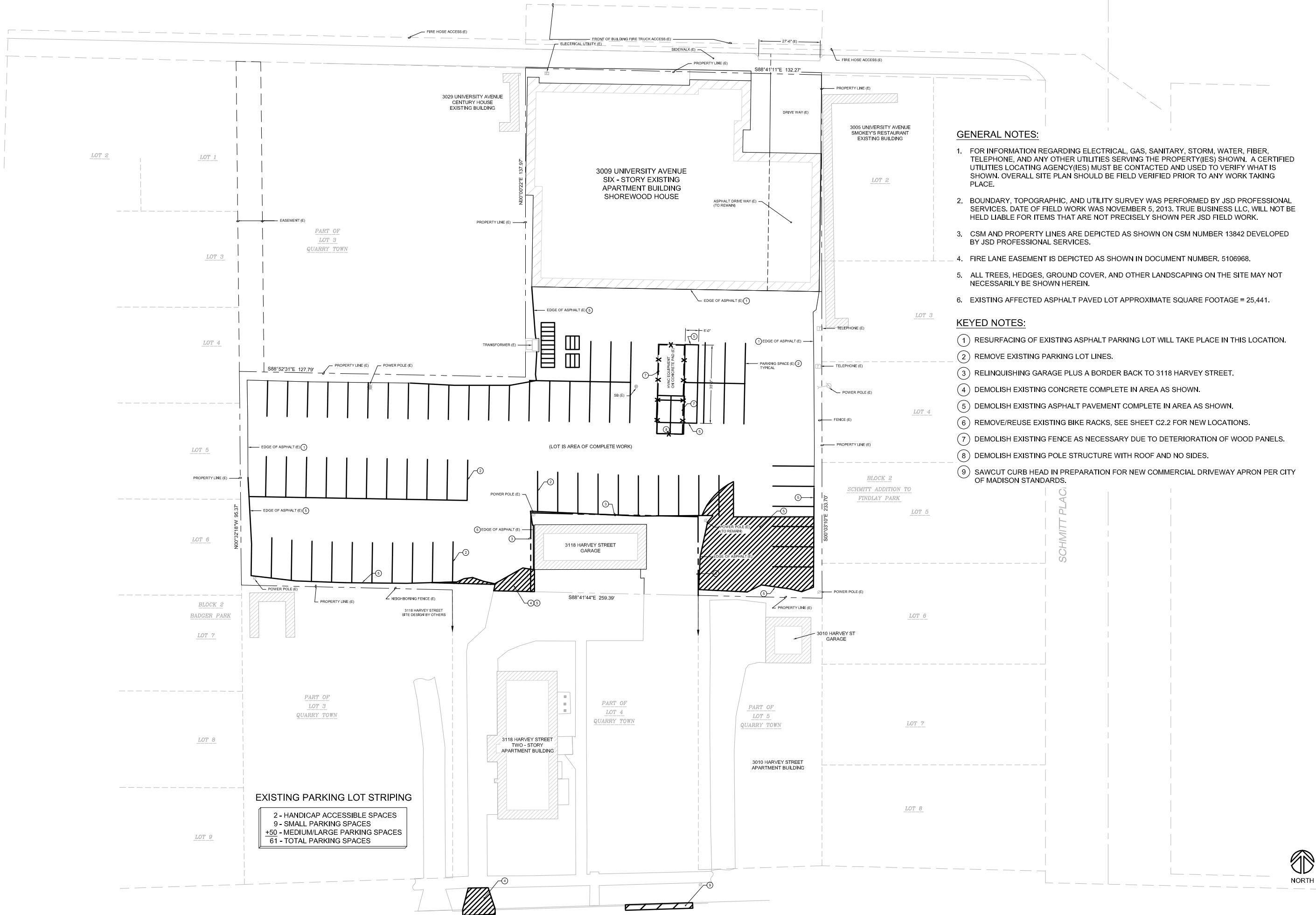
SHOREWOOD HOUSE
3009 UNIVERSITY AVE - FIRE LANE PROPOSAL
MADISON WISCONSIN

ABBREVIATIONS, DETAILS, AND SYMBOLS

Phase: CD
Drawn By: AGM
Checked By:DND
Date: 06/18/18
Scale: AS NOTED
Job Number:8-3009UN

SHEET NUMBER
C0.0

HILL ST.



GENERAL NOTES:

1. FOR INFORMATION REGARDING ELECTRICAL, GAS, SANITARY, STORM, WATER, FIBER, TELEPHONE, AND ANY OTHER UTILITIES SERVING THE PROPERTY(IES) SHOWN, A CERTIFIED UTILITIES LOCATING AGENCY(IES) MUST BE CONTACTED AND USED TO VERIFY WHAT IS SHOWN. OVERALL SITE PLAN SHOULD BE FIELD VERIFIED PRIOR TO ANY WORK TAKING PLACE.
2. BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY WAS PERFORMED BY JSD PROFESSIONAL SERVICES. DATE OF FIELD WORK WAS NOVEMBER 5, 2013. TRUE BUSINESS LLC, WILL NOT BE HELD LIABLE FOR ITEMS THAT ARE NOT PRECISELY SHOWN PER JSD FIELD WORK.
3. CSM AND PROPERTY LINES ARE DEPICTED AS SHOWN ON CSM NUMBER 13842 DEVELOPED BY JSD PROFESSIONAL SERVICES.
4. FIRE LANE EASEMENT IS DEPICTED AS SHOWN IN DOCUMENT NUMBER. 5106968.
5. ALL TREES, HEDGES, GROUND COVER, AND OTHER LANDSCAPING ON THE SITE MAY NOT NECESSARILY BE SHOWN HEREIN.
6. EXISTING AFFECTED ASPHALT PAVED LOT APPROXIMATE SQUARE FOOTAGE = 25,441.

KEYED NOTES:

- ① RESURFACING OF EXISTING ASPHALT PARKING LOT WILL TAKE PLACE IN THIS LOCATION.
- ② REMOVE EXISTING PARKING LOT LINES.
- ③ RELINQUISHING GARAGE PLUS A BORDER BACK TO 3118 HARVEY STREET.
- ④ DEMOLISH EXISTING CONCRETE COMPLETE IN AREA AS SHOWN.
- ⑤ DEMOLISH EXISTING ASPHALT PAVEMENT COMPLETE IN AREA AS SHOWN.
- ⑥ REMOVE/REUSE EXISTING BIKE RACKS, SEE SHEET C2.2 FOR NEW LOCATIONS.
- ⑦ DEMOLISH EXISTING FENCE AS NECESSARY DUE TO DETERIORATION OF WOOD PANELS.
- ⑧ DEMOLISH EXISTING POLE STRUCTURE WITH ROOF AND NO SIDES.
- ⑨ SAWCUT CURB HEAD IN PREPARATION FOR NEW COMMERCIAL DRIVEWAY APRON PER CITY OF MADISON STANDARDS.

EXISTING PARKING LOT STRIPING

2 - HANDICAP ACCESSIBLE SPACES
9 - SMALL PARKING SPACES
+50 - MEDIUM/LARGE PARKING SPACES
61 - TOTAL PARKING SPACES

HARVEY STREET

1
C1.0

EXISTING CONDITIONS / DEMOLITION PLAN - OVERALL SITE WORK

SCALE: 1"=20'



REVISION:	
△	6-19-18 CONSTRUCTION DRAWINGS
△	9-10-18 CD PER TRAFFIC ENG.
△	12-19-18 LAND USE APPLICATION
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MADISON WISCONSIN
EXISTING CONDITIONS / DEMOLITION PLAN
- OVERALL SITE WORK

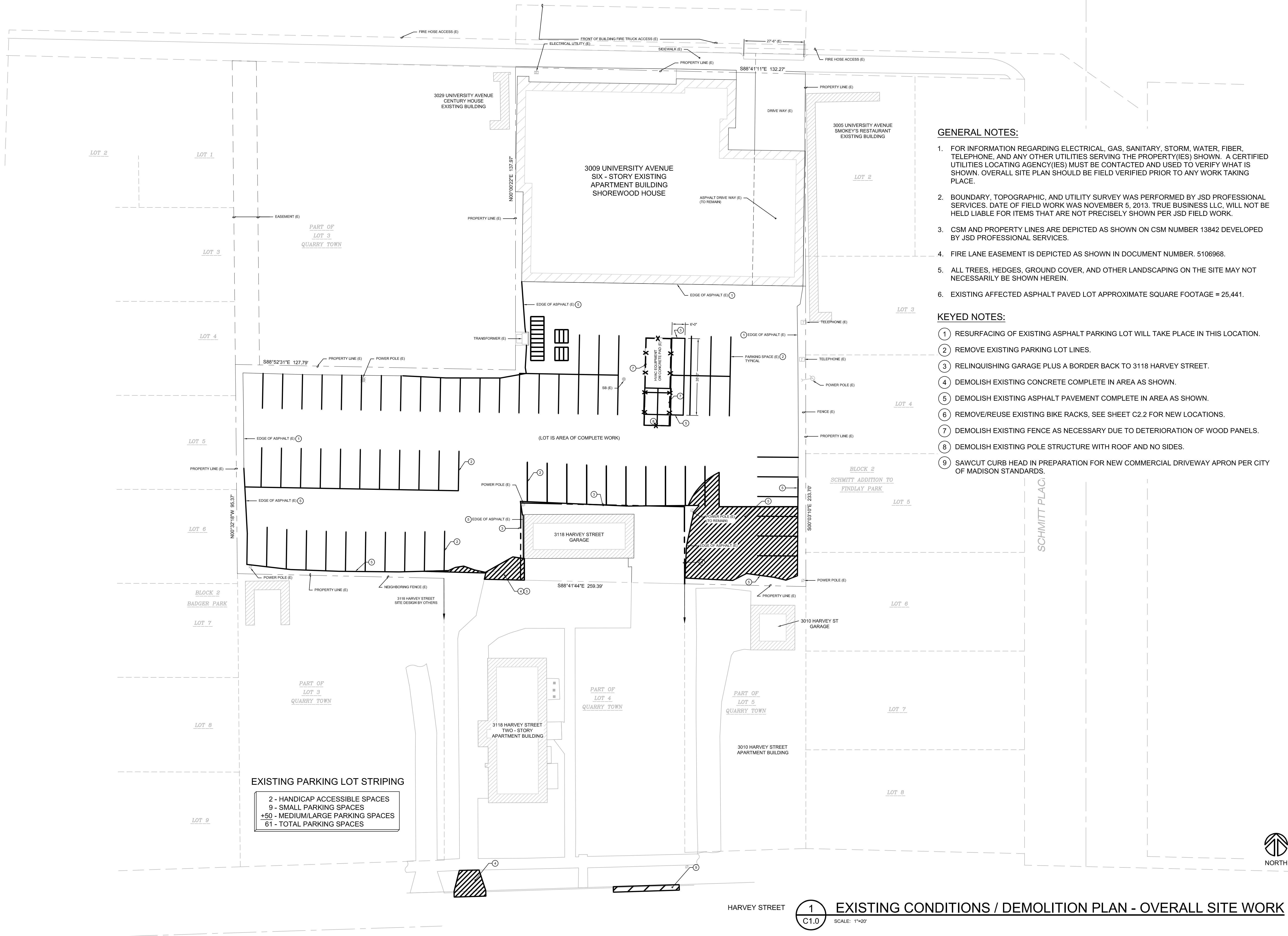
Phase: CD
Drawn By: AGM
Checked By: DND
Date: 06/18/18
Scale: AS NOTED
Job Number: 18-3009UN

SHEET NUMBER

C1.0

HILL ST.

UNIVERSITY AVENUE



GENERAL NOTES:

1. FOR INFORMATION REGARDING ELECTRICAL, GAS, SANITARY, STORM, WATER, FIBER, TELEPHONE, AND ANY OTHER UTILITIES SERVING THE PROPERTY(IES) SHOWN, A CERTIFIED UTILITIES LOCATING AGENCY(IES) MUST BE CONTACTED AND USED TO VERIFY WHAT IS SHOWN. OVERALL SITE PLAN SHOULD BE FIELD VERIFIED PRIOR TO ANY WORK TAKING PLACE.
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3. CSM AND PROPERTY LINES ARE DEPICTED AS SHOWN ON CSM NUMBER 13842 DEVELOPED BY JSD PROFESSIONAL SERVICES.
4. FIRE LANE EASEMENT IS DEPICTED AS SHOWN IN DOCUMENT NUMBER: 5108968.
5. ALL TREES, HEDGES, GROUND COVER, AND OTHER LANDSCAPING ON THE SITE MAY NOT NECESSARILY BE SHOWN HEREIN.
6. EXISTING AFFECTED ASPHALT PAVED LOT APPROXIMATE SQUARE FOOTAGE = 25,441.

KEYED NOTES:

- ① RESURFACING OF EXISTING ASPHALT PARKING LOT WILL TAKE PLACE IN THIS LOCATION.
- ② REMOVE EXISTING PARKING LOT LINES.
- ③ RELINQUISHING GARAGE PLUS A BORDER BACK TO 3118 HARVEY STREET.
- ④ DEMOLISH EXISTING CONCRETE COMPLETE IN AREA AS SHOWN.
- ⑤ DEMOLISH EXISTING ASPHALT PAVEMENT COMPLETE IN AREA AS SHOWN.
- ⑥ REMOVE/REUSE EXISTING BIKE RACKS, SEE SHEET C2.2 FOR NEW LOCATIONS.
- ⑦ DEMOLISH EXISTING FENCE AS NECESSARY DUE TO DETERIORATION OF WOOD PANELS.
- ⑧ DEMOLISH EXISTING POLE STRUCTURE WITH ROOF AND NO SIDES.
- ⑨ SAWCUT CURB HEAD IN PREPARATION FOR NEW COMMERCIAL DRIVEWAY APRON PER CITY OF MADISON STANDARDS.

HARVEY STREET

1
C1.0

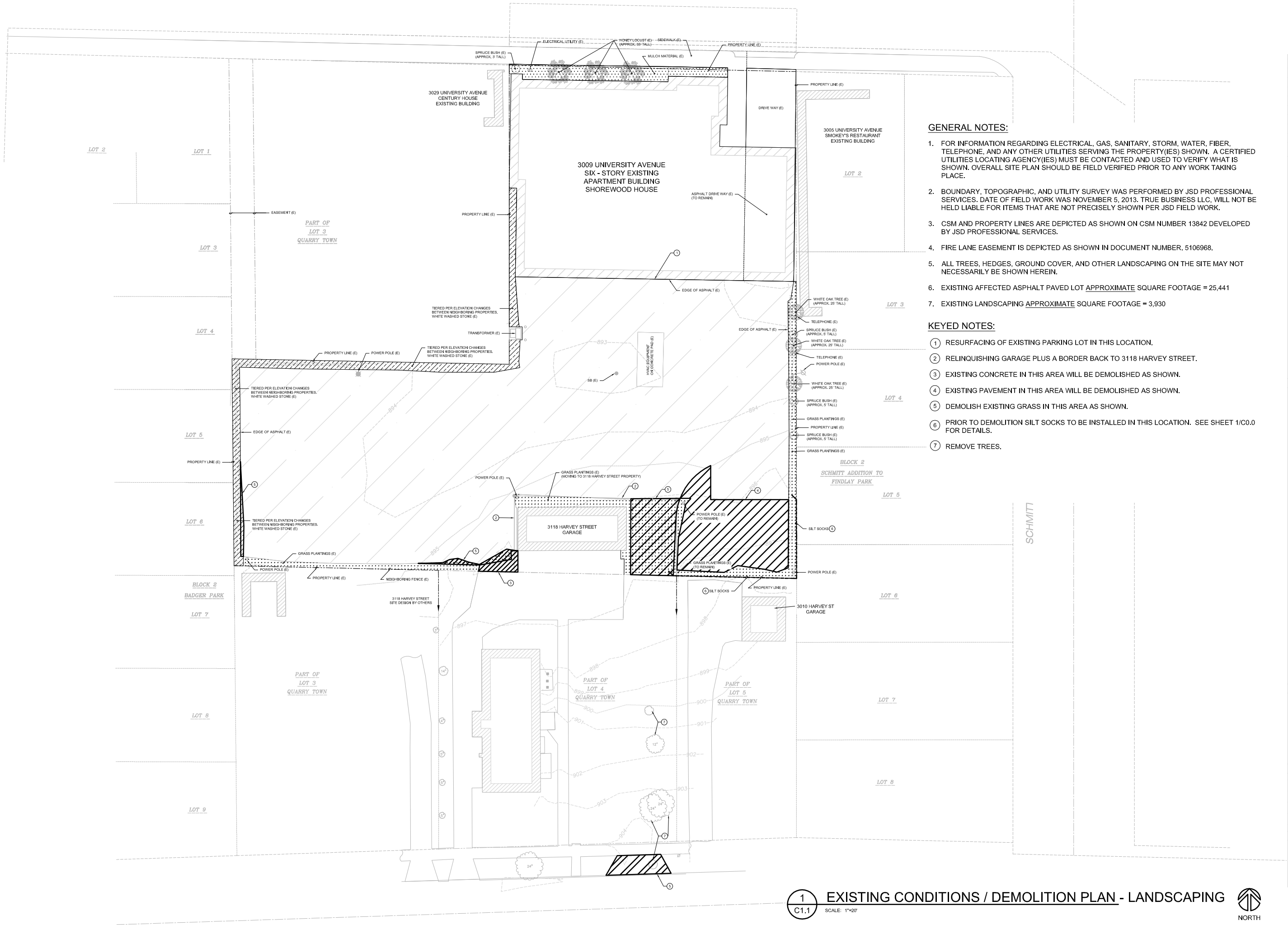
EXISTING CONDITIONS / DEMOLITION PLAN - OVERALL SITE WORK

SCALE: 1"=20'



REVISION:	
Δ 6-19-18	CONSTRUCTION DRAWINGS
Δ 9-10-18	CD PER TRAFFIC ENG.
Δ 12-19-18	LAND USE APPLICATION
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3009 UNIVERSITY AVE - FIRE LANE PROPOSAL	WISCONSIN
MADISON	EXISTING CONDITIONS / DEMOLITION PLAN
- OVERALL SITE WORK	
Phase: CD	
Drawn By: AGM	
Checked By: DND	
Date: 06/18/18	
Scale: AS NOTED	
Job Number: 18-3009UN	
SHEET NUMBER	
C1.0	

HILL ST.



GENERAL NOTES:

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6. EXISTING AFFECTED ASPHALT PAVED LOT APPROXIMATE SQUARE FOOTAGE = 25,441
7. EXISTING LANDSCAPING APPROXIMATE SQUARE FOOTAGE = 3,930

KEYED NOTES:

- ① RESURFACING OF EXISTING PARKING LOT IN THIS LOCATION.
- ② RELINQUISHING GARAGE PLUS A BORDER BACK TO 3118 HARVEY STREET.
- ③ EXISTING CONCRETE IN THIS AREA WILL BE DEMOLISHED AS SHOWN.
- ④ EXISTING PAVEMENT IN THIS AREA WILL BE DEMOLISHED AS SHOWN.
- ⑤ DEMOLISH EXISTING GRASS IN THIS AREA AS SHOWN.
- ⑥ PRIOR TO DEMOLITION SILT SOCKS TO BE INSTALLED IN THIS LOCATION. SEE SHEET 1/C0.0 FOR DETAILS.
- ⑦ REMOVE TREES.

REVISION:
△ 6-19-18 CONSTRUCTION DRAWINGS
△ 9-10-18 CD PER TRAFFIC ENG.
△ 12-19-18 LAND USE APPLICATION
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MADISON WISCONSIN
EXISTING CONDITIONS / DEMOLITION PLAN -
LANDSCAPING

Phase: CD
Drawn By: AGM
Checked By: DND
Date: 06/18/18
Scale: AS NOTED
Job Number: 18-3009UN

SHEET NUMBER

C1.1

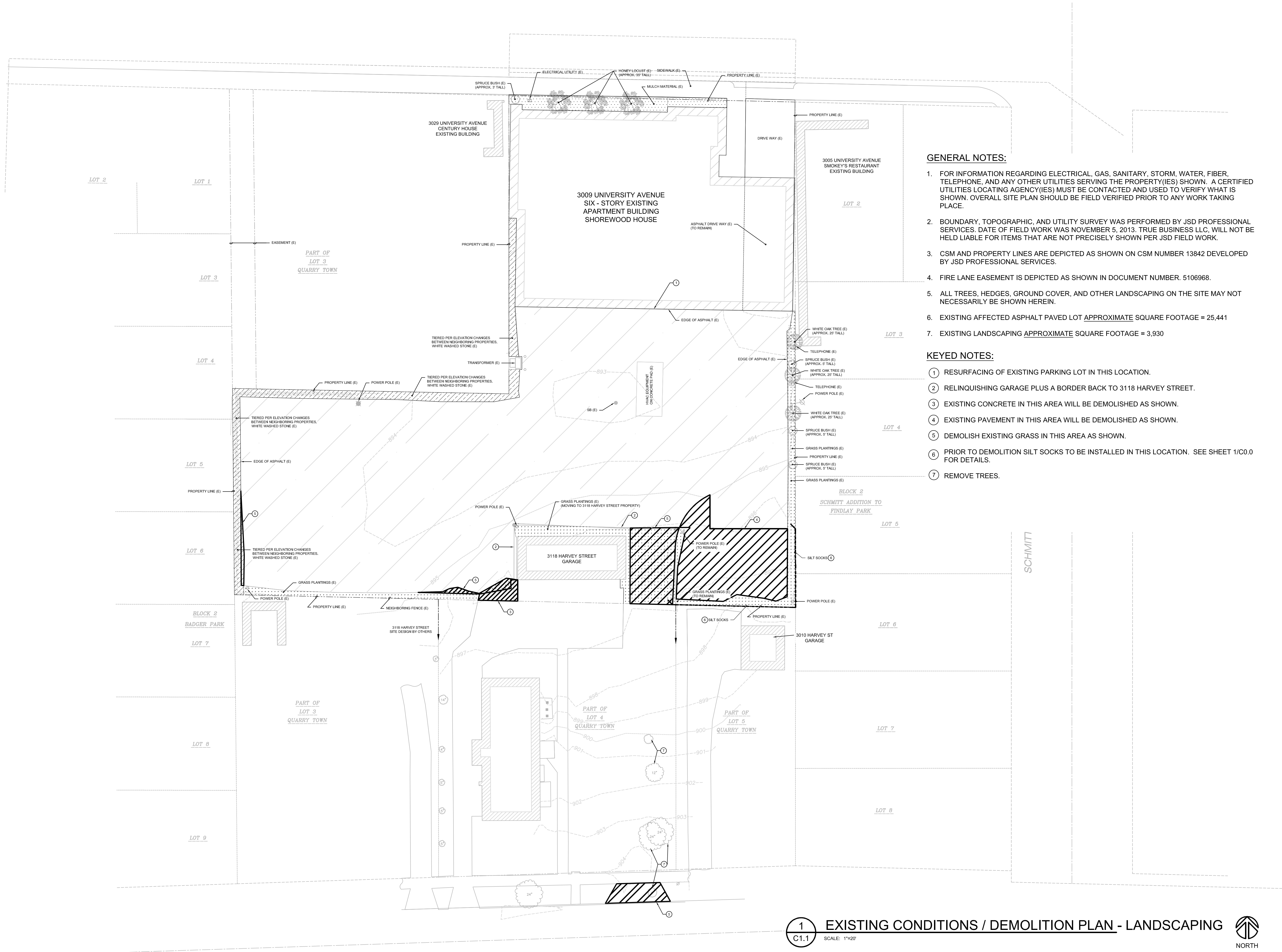
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C1.1

EXISTING CONDITIONS / DEMOLITION PLAN - LANDSCAPING

SCALE: 1"=20'



HILL ST.



GENERAL NOTES:

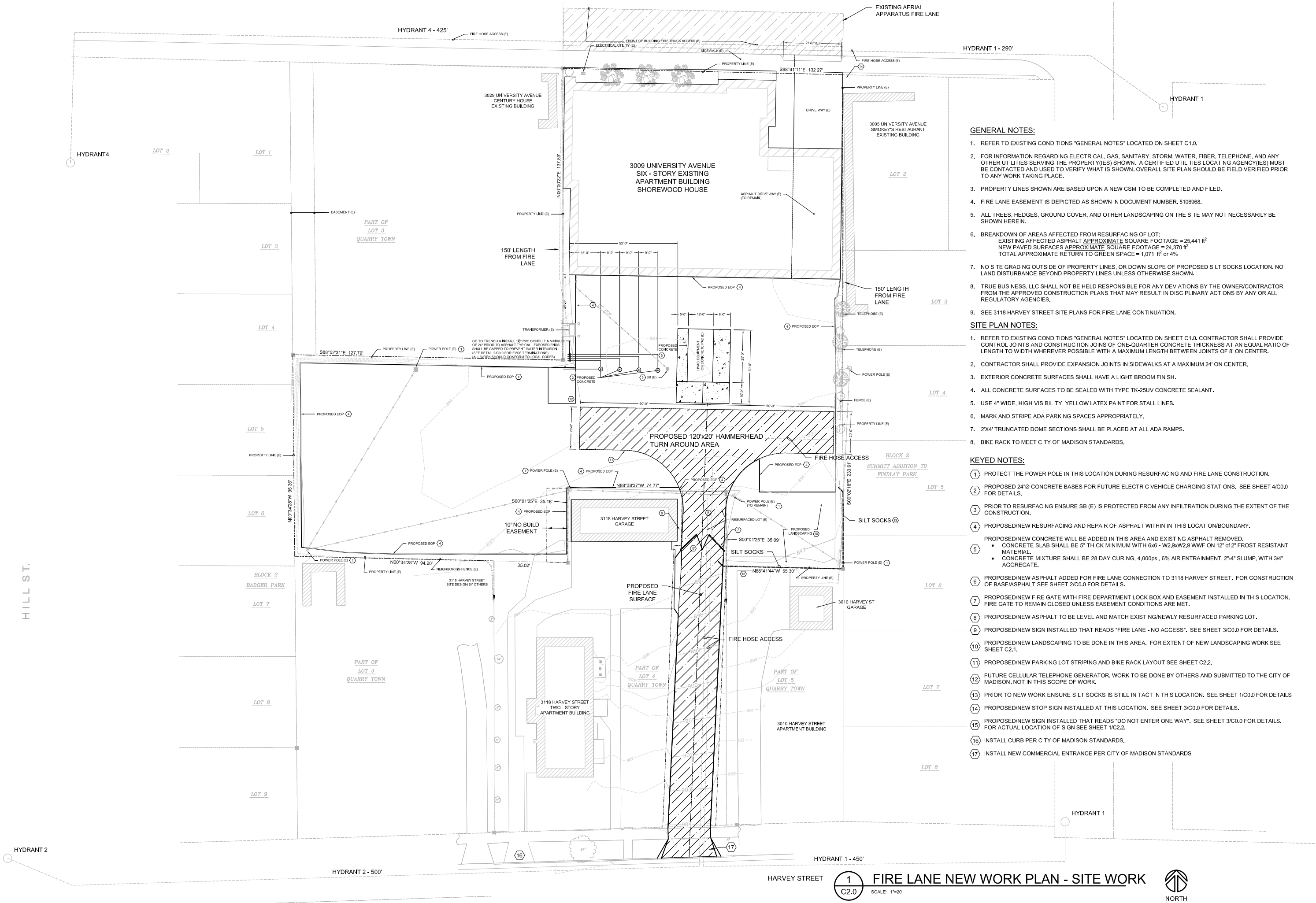
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3. CSM AND PROPERTY LINES ARE DEPICTED AS SHOWN ON CSM NUMBER 13842 DEVELOPED BY JSD PROFESSIONAL SERVICES.
4. FIRE LANE EASEMENT IS DEPICTED AS SHOWN IN DOCUMENT NUMBER. 5106968.
5. ALL TREES, HEDGES, GROUND COVER, AND OTHER LANDSCAPING ON THE SITE MAY NOT NECESSARILY BE SHOWN HEREIN.
6. EXISTING AFFECTED ASPHALT PAVED LOT APPROXIMATE SQUARE FOOTAGE = 25,441
7. EXISTING LANDSCAPING APPROXIMATE SQUARE FOOTAGE = 3,930

KEYED NOTES:

- ① RESURFACING OF EXISTING PARKING LOT IN THIS LOCATION.
- ② RELINQUISHING GARAGE PLUS A BORDER BACK TO 3118 HARVEY STREET.
- ③ EXISTING CONCRETE IN THIS AREA WILL BE DEMOLISHED AS SHOWN.
- ④ EXISTING PAVEMENT IN THIS AREA WILL BE DEMOLISHED AS SHOWN.
- ⑤ DEMOLISH EXISTING GRASS IN THIS AREA AS SHOWN.
- ⑥ PRIOR TO DEMOLITION SILT SOCKS TO BE INSTALLED IN THIS LOCATION. SEE SHEET 1/C0.0 FOR DETAILS.
- ⑦ REMOVE TREES.



REVISION:	
Δ	6-19-18 CONSTRUCTION DRAWINGS
Δ	9-10-18 CD PER TRAFFIC ENG.
Δ	12-19-18 LAND USE APPLICATION
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WISCONSIN	
EXISTING CONDITIONS / DEMOLITION PLAN - LANDSCAPING	
MADISON	
Phase: CD	
Drawn By: AGM	
Checked By: DND	
Date: 06/18/18	
Scale: AS NOTED	
Job Number: 18-3009UN	
SHEET NUMBER	
C1.1	



GENERAL NOTES:

- REFER TO EXISTING CONDITIONS "GENERAL NOTES" LOCATED ON SHEET C1.0.
- FOR INFORMATION REGARDING ELECTRICAL, GAS, SANITARY, STORM, WATER, FIBER, TELEPHONE, AND ANY OTHER UTILITIES SERVING THE PROPERTY(IES) SHOWN, A CERTIFIED UTILITIES LOCATING AGENCY(IES) MUST BE CONTACTED AND USED TO VERIFY WHAT IS SHOWN. OVERALL SITE PLAN SHOULD BE FIELD VERIFIED PRIOR TO ANY WORK TAKING PLACE.
- PROPERTY LINES SHOWN ARE BASED UPON A NEW CSM TO BE COMPLETED AND FILED.
- FIRE LANE EASEMENT IS DEPICTED AS SHOWN IN DOCUMENT NUMBER. 5106968.
- ALL TREES, HEDGES, GROUND COVER, AND OTHER LANDSCAPING ON THE SITE MAY NOT NECESSARILY BE SHOWN HEREIN.
- BREAKDOWN OF AREAS AFFECTED FROM RESURFACING OF LOT:
EXISTING AFFECTED ASPHALT APPROXIMATE SQUARE FOOTAGE = 25,441 ft²
NEW PAVED SURFACES APPROXIMATE SQUARE FOOTAGE = 24,370 ft²
TOTAL APPROXIMATE RETURN TO GREEN SPACE = 1,071 ft² or 4%
- NO SITE GRADING OUTSIDE OF PROPERTY LINES, OR DOWN SLOPE OF PROPOSED SILT SOCKS LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
- TRUE BUSINESS, LLC SHALL NOT BE HELD RESPONSIBLE FOR ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- SEE 3118 HARVEY STREET SITE PLANS FOR FIRE LANE CONTINUATION.

SITE PLAN NOTES:

- REFER TO EXISTING CONDITIONS "GENERAL NOTES" LOCATED ON SHEET C1.0. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
- EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH.
- ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-25UV CONCRETE SEALANT.
- USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
- MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 2'X4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
- BIKE RACK TO MEET CITY OF MADISON STANDARDS.

KEYED NOTES:

- PROTECT THE POWER POLE IN THIS LOCATION DURING RESURFACING AND FIRE LANE CONSTRUCTION.
- PROPOSED 24"x24" CONCRETE BASES FOR FUTURE ELECTRIC VEHICLE CHARGING STATIONS. SEE SHEET 4/C0.0 FOR DETAILS.
- PRIOR TO RESURFACING ENSURE SB (E) IS PROTECTED FROM ANY INFILTRATION DURING THE EXTENT OF THE CONSTRUCTION.
- PROPOSED/NEW RESURFACING AND REPAIR OF ASPHALT WITHIN IN THIS LOCATION/BOUNDARY.
- PROPOSED/NEW CONCRETE WILL BE ADDED IN THIS AREA AND EXISTING ASPHALT REMOVED.
 - CONCRETE SLAB SHALL BE 5" THICK MINIMUM WITH 6x6 - W2.9xW2.9 WWF ON 12" of 2" FROST RESISTANT MATERIAL.
 - CONCRETE MIXTURE SHALL BE 28 DAY CURING, 4,000psi, 6% AIR ENTRAINMENT, 2"-4" SLUMP, WITH 3/4" AGGREGATE.
- PROPOSED/NEW ASPHALT ADDED FOR FIRE LANE CONNECTION TO 3118 HARVEY STREET. FOR CONSTRUCTION OF BASE/ASPHALT SEE SHEET 2/C0.0 FOR DETAILS.
- PROPOSED/NEW FIRE GATE WITH FIRE DEPARTMENT LOCK BOX AND EASEMENT INSTALLED IN THIS LOCATION. FIRE GATE TO REMAIN CLOSED UNLESS EASEMENT CONDITIONS ARE MET.
- PROPOSED/NEW ASPHALT TO BE LEVEL AND MATCH EXISTING/NEWLY RESURFACED PARKING LOT.
- PROPOSED/NEW SIGN INSTALLED THAT READS "FIRE LANE - NO ACCESS". SEE SHEET 3/C0.0 FOR DETAILS.
- PROPOSED/NEW LANDSCAPING TO BE DONE IN THIS AREA. FOR EXTENT OF NEW LANDSCAPING WORK SEE SHEET C2.1.
- PROPOSED/NEW PARKING LOT STRIPING AND BIKE RACK LAYOUT SEE SHEET C2.2.
- FUTURE CELLULAR TELEPHONE GENERATOR. WORK TO BE DONE BY OTHERS AND SUBMITTED TO THE CITY OF MADISON. NOT IN THIS SCOPE OF WORK.
- PRIOR TO NEW WORK ENSURE SILT SOCKS IS STILL IN TACT IN THIS LOCATION. SEE SHEET 1/C0.0 FOR DETAILS.
- PROPOSED/NEW STOP SIGN INSTALLED AT THIS LOCATION. SEE SHEET 3/C0.0 FOR DETAILS.
- PROPOSED/NEW SIGN INSTALLED THAT READS "DO NOT ENTER ONE WAY". SEE SHEET 3/C0.0 FOR DETAILS. FOR ACTUAL LOCATION OF SIGN SEE SHEET 1/C2.2.
- INSTALL CURB PER CITY OF MADISON STANDARDS.
- INSTALL NEW COMMERCIAL ENTRANCE PER CITY OF MADISON STANDARDS

REVISION:	
1	6-19-18 CONSTRUCTION DRAWINGS
2	9-10-18 CD PER TRAFFIC ENG.
3	12-19-18 LAND USE APPLICATION
4	
5	
6	
7	
8	
9	
10	

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3009 UNIVERSITY AVE - FIRE LANE PROPOSAL

MADISON

WISCONSIN

FIRE LANE NEW WORK PLAN - SITE WORK

Phase: CD
Drawn By: AGM
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Date: 06/18/18
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Job Number: 18-3009UN

SHEET NUMBER
C2.0

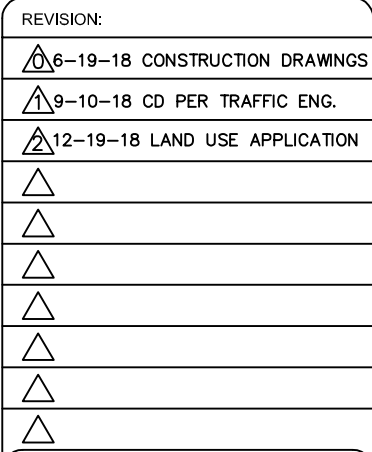
HARVEY STREET

1
C2.0

FIRE LANE NEW WORK PLAN - SITE WORK

SCALE: 1"=20'



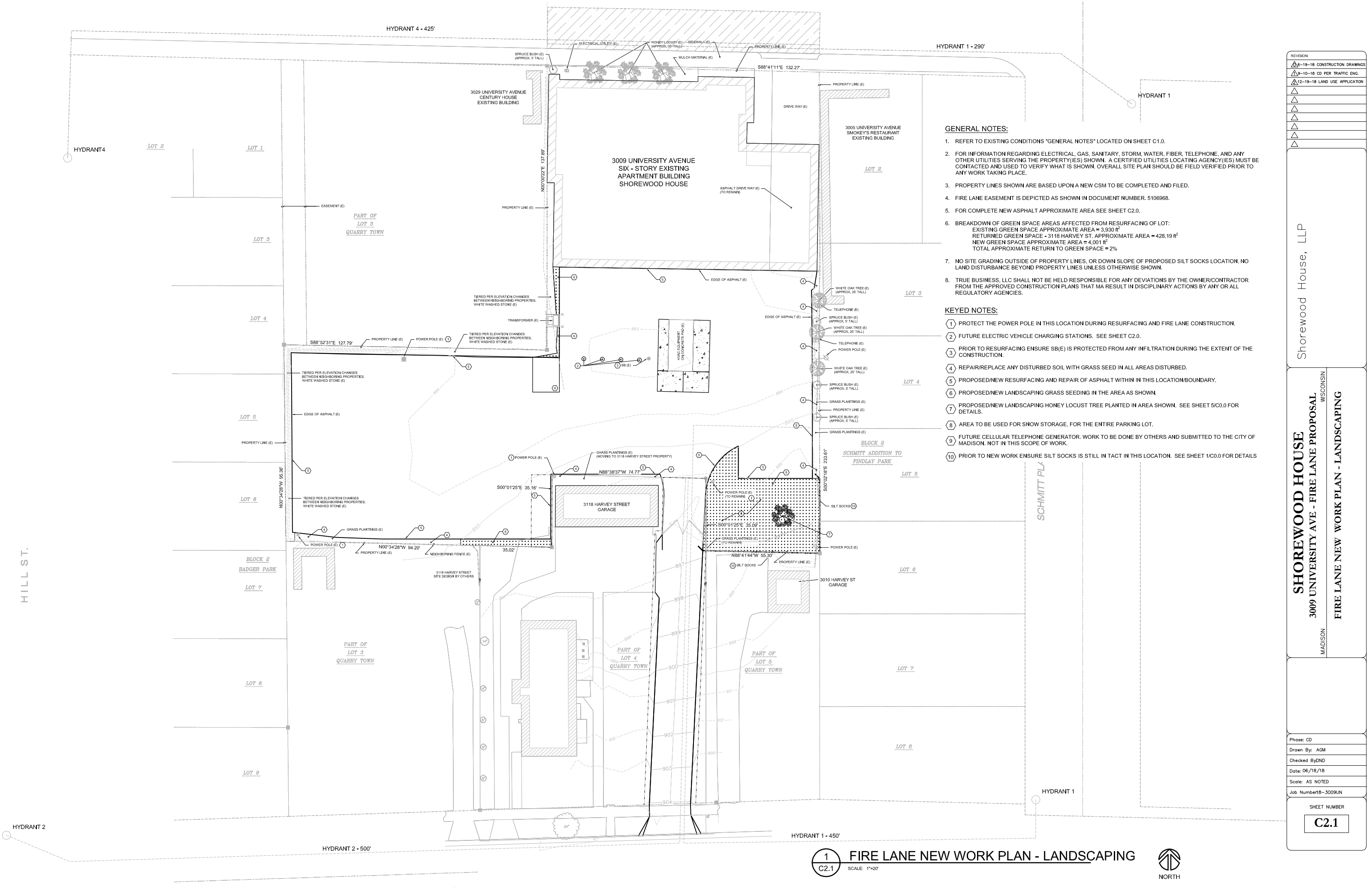


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3009 UNIVERSITY AVE - FIRE LANE PROPOSAL
MADISON WISCONSIN
FIRE LANE NEW WORK PLAN - SITE WORK

Phase: CD
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Checked By:DND
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SHEET NUMBER

C2.0



GENERAL NOTES:

- REFER TO EXISTING CONDITIONS "GENERAL NOTES" LOCATED ON SHEET C1.0.
- FOR INFORMATION REGARDING ELECTRICAL, GAS, SANITARY, STORM, WATER, FIBER, TELEPHONE, AND ANY OTHER UTILITIES SERVING THE PROPERTY(IES) SHOWN. A CERTIFIED UTILITIES LOCATING AGENCY(IES) MUST BE CONTACTED AND USED TO VERIFY WHAT IS SHOWN. OVERALL SITE PLAN SHOULD BE FIELD VERIFIED PRIOR TO ANY WORK TAKING PLACE.
- PROPERTY LINES SHOWN ARE BASED UPON A NEW CSM TO BE COMPLETED AND FILED.
- FIRE LANE EASEMENT IS DEPICTED AS SHOWN IN DOCUMENT NUMBER. 5106968.
- FOR COMPLETE NEW ASPHALT APPROXIMATE AREA SEE SHEET C2.0.
- BREAKDOWN OF GREEN SPACE AREAS AFFECTED FROM RESURFACING OF LOT:
EXISTING GREEN SPACE APPROXIMATE AREA = 3,930 ft²
RETURNED GREEN SPACE - 3118 HARVEY ST. APPROXIMATE AREA = 428.19 ft²
NEW GREEN SPACE APPROXIMATE AREA = 4,001 ft²
TOTAL APPROXIMATE RETURN TO GREEN SPACE = 2%
- NO SITE GRADING OUTSIDE OF PROPERTY LINES, OR DOWN SLOPE OF PROPOSED SILT SOCKS LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
- TRUE BUSINESS, LLC SHALL NOT BE HELD RESPONSIBLE FOR ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MA RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

KEYED NOTES:

- PROTECT THE POWER POLE IN THIS LOCATION DURING RESURFACING AND FIRE LANE CONSTRUCTION.
- FUTURE ELECTRIC VEHICLE CHARGING STATIONS. SEE SHEET C2.0.
- PRIOR TO RESURFACING ENSURE SB(E) IS PROTECTED FROM ANY INFILTRATION DURING THE EXTENT OF THE CONSTRUCTION.
- REPAIR/REPLACE ANY DISTURBED SOIL WITH GRASS SEED IN ALL AREAS DISTURBED.
- PROPOSED/NEW RESURFACING AND REPAIR OF ASPHALT WITHIN IN THIS LOCATION/BOUNDARY.
- PROPOSED/NEW LANDSCAPING GRASS SEEDING IN THE AREA AS SHOWN.
- PROPOSED/NEW LANDSCAPING HONEY LOCUST TREE PLANTED IN AREA SHOWN. SEE SHEET 5/C0.0 FOR DETAILS.
- AREA TO BE USED FOR SNOW STORAGE, FOR THE ENTIRE PARKING LOT.
- FUTURE CELLULAR TELEPHONE GENERATOR. WORK TO BE DONE BY OTHERS AND SUBMITTED TO THE CITY OF MADISON. NOT IN THIS SCOPE OF WORK.
- PRIOR TO NEW WORK ENSURE SILT SOCKS IS STILL IN TACT IN THIS LOCATION. SEE SHEET 1/C0.0 FOR DETAILS

REVISION:	
1	6-19-18 CONSTRUCTION DRAWINGS
2	9-10-18 CD PER TRAFFIC ENG.
3	12-19-18 LAND USE APPLICATION
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Shorewood House, LLP

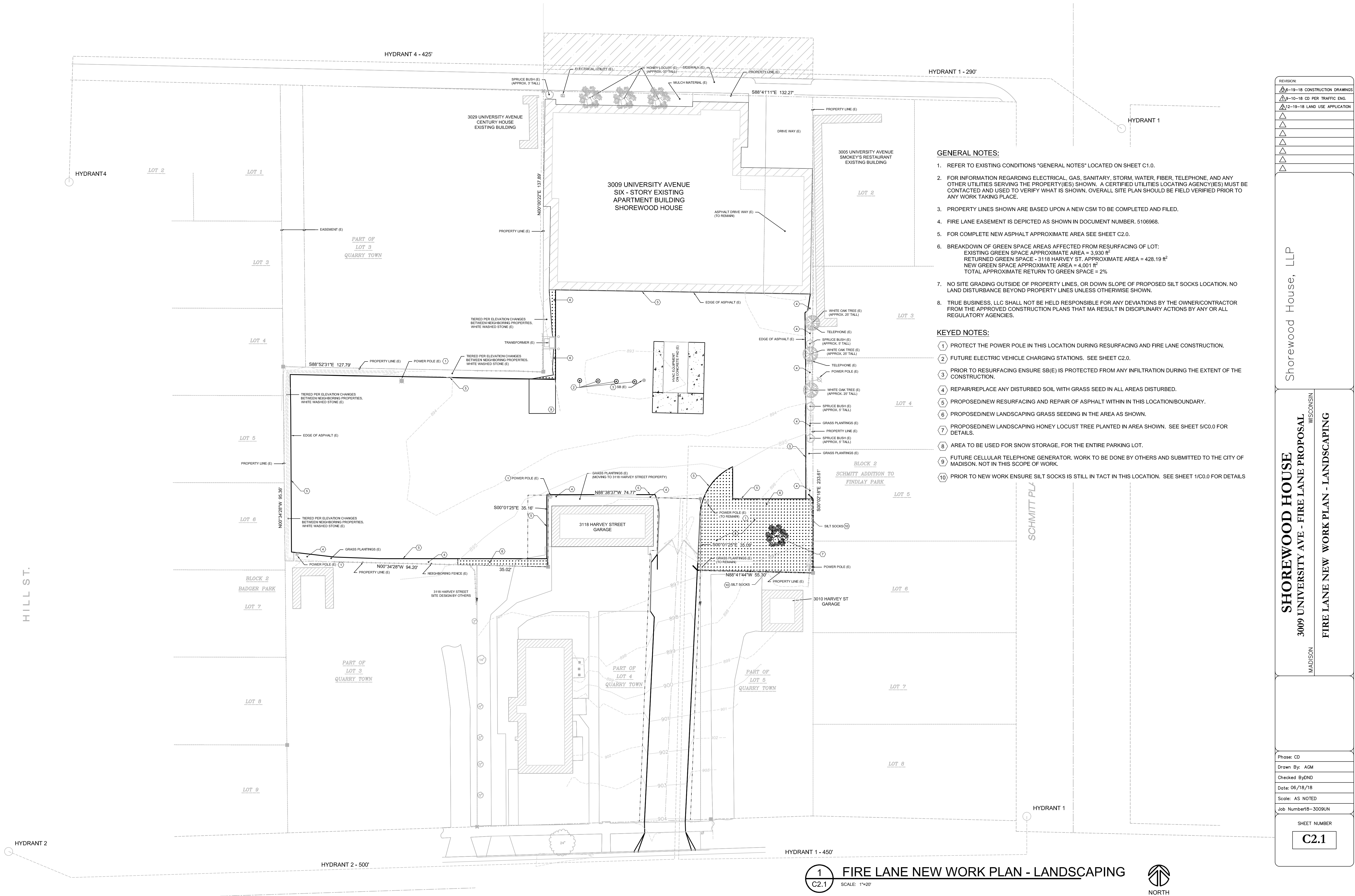
SHOREWOOD HOUSE
3009 UNIVERSITY AVE - FIRE LANE PROPOSAL
MADISON WISCONSIN
FIRE LANE NEW WORK PLAN - LANDSCAPING

Phase: CD
Drawn By: AGM
Checked By:DND
Date: 06/18/18
Scale: AS NOTED
Job Number18-3009UN

SHEET NUMBER

C2.1





GENERAL NOTES:

1. REFER TO EXISTING CONDITIONS "GENERAL NOTES" LOCATED ON SHEET C1.0.
2. FOR INFORMATION REGARDING ELECTRICAL, GAS, SANITARY, STORM, WATER, FIBER, TELEPHONE, AND ANY OTHER UTILITIES SERVING THE PROPERTY(IES) SHOWN. A CERTIFIED UTILITIES LOCATING AGENCY(IES) MUST BE CONTACTED AND USED TO VERIFY WHAT IS SHOWN. OVERALL SITE PLAN SHOULD BE FIELD VERIFIED PRIOR TO ANY WORK TAKING PLACE.
3. PROPERTY LINES SHOWN ARE BASED UPON A NEW CSM TO BE COMPLETED AND FILED.
4. FIRE LANE EASEMENT IS DEPICTED AS SHOWN IN DOCUMENT NUMBER. 5106968.
5. FOR COMPLETE NEW ASPHALT APPROXIMATE AREA SEE SHEET C2.0.
6. BREAKDOWN OF GREEN SPACE AREAS AFFECTED FROM RESURFACING OF LOT:
EXISTING GREEN SPACE APPROXIMATE AREA = 3,930 ft^2
RETURNED GREEN SPACE - 3118 HARVEY ST. APPROXIMATE AREA = 428.19 ft^2
NEW GREEN SPACE APPROXIMATE AREA = 4,001 ft^2
TOTAL APPROXIMATE RETURN TO GREEN SPACE = 2%
7. NO SITE GRADING OUTSIDE OF PROPERTY LINES, OR DOWN SLOPE OF PROPOSED SILT SOCKS LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
8. TRUE BUSINESS, LLC SHALL NOT BE HELD RESPONSIBLE FOR ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MA RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

KEYED NOTES:

1. PROTECT THE POWER POLE IN THIS LOCATION DURING RESURFACING AND FIRE LANE CONSTRUCTION.
2. FUTURE ELECTRIC VEHICLE CHARGING STATIONS. SEE SHEET C2.0.
3. PRIOR TO RESURFACING ENSURE SB(E) IS PROTECTED FROM ANY INFILTRATION DURING THE EXTENT OF THE CONSTRUCTION.
4. REPAIR/REPLACE ANY DISTURBED SOIL WITH GRASS SEED IN ALL AREAS DISTURBED.
5. PROPOSED/NEW RESURFACING AND REPAIR OF ASPHALT WITHIN IN THIS LOCATION/BOUNDARY.
6. PROPOSED/NEW LANDSCAPING GRASS SEEDING IN THE AREA AS SHOWN.
7. PROPOSED/NEW LANDSCAPING HONEY LOCUST TREE PLANTED IN AREA SHOWN. SEE SHEET 5/C0.0 FOR DETAILS.
8. AREA TO BE USED FOR SNOW STORAGE, FOR THE ENTIRE PARKING LOT.
9. FUTURE CELLULAR TELEPHONE GENERATOR. WORK TO BE DONE BY OTHERS AND SUBMITTED TO THE CITY OF MADISON. NOT IN THIS SCOPE OF WORK.
10. PRIOR TO NEW WORK ENSURE SILT SOCKS IS STILL IN TACT IN THIS LOCATION. SEE SHEET 1/C0.0 FOR DETAILS

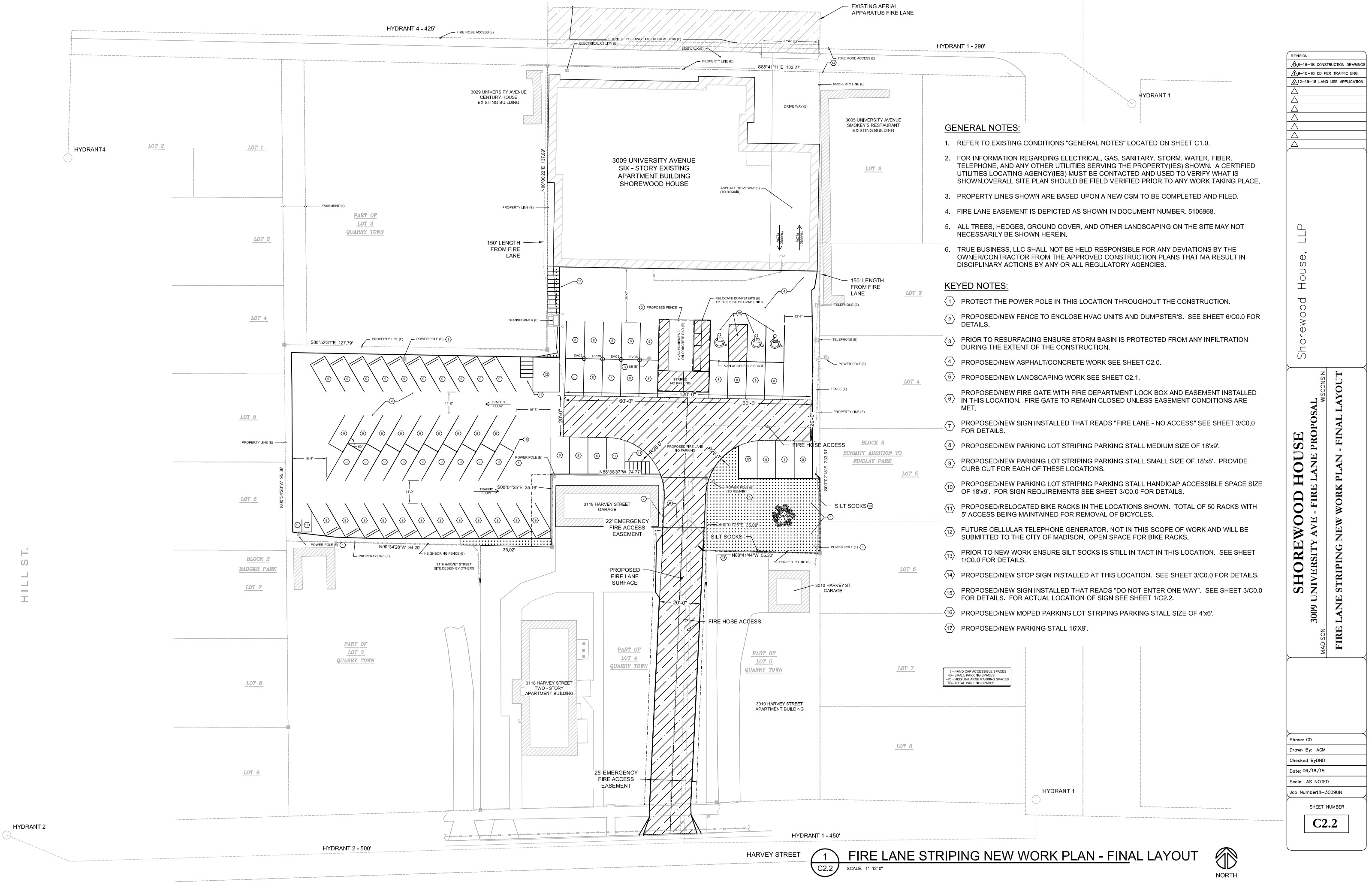
REVISION:	
1	6-19-18 CONSTRUCTION DRAWINGS
2	9-10-18 CD PER TRAFFIC ENL.
3	12-19-18 LAND USE APPLICATION
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Shorewood House, LLP

SHOREWOOD HOUSE
3009 UNIVERSITY AVE - FIRE LANE PROPOSAL
WISCONSIN
MADISON
FIRE LANE NEW WORK PLAN - LANDSCAPING

Phase: CD
Drawn By: AGM
Checked By: DND
Date: 06/18/18
Scale: AS NOTED
Job Number: 18-3009UN

SHEET NUMBER
C2.1



GENERAL NOTES:

- 1. REFER TO EXISTING CONDITIONS "GENERAL NOTES" LOCATED ON SHEET C1.0.
- 2. FOR INFORMATION REGARDING ELECTRICAL, GAS, SANITARY, STORM, WATER, FIBER, TELEPHONE, AND ANY OTHER UTILITIES SERVING THE PROPERTY(IES) SHOWN. A CERTIFIED UTILITIES LOCATING AGENCY(IES) MUST BE CONTACTED AND USED TO VERIFY WHAT IS SHOWN.OVERALL SITE PLAN SHOULD BE FIELD VERIFIED PRIOR TO ANY WORK TAKING PLACE.
- 3. PROPERTY LINES SHOWN ARE BASED UPON A NEW CSM TO BE COMPLETED AND FILED.
- 4. FIRE LANE EASEMENT IS DEPICTED AS SHOWN IN DOCUMENT NUMBER. 5106968.
- 5. ALL TREES, HEDGES, GROUND COVER, AND OTHER LANDSCAPING ON THE SITE MAY NOT NECESSARILY BE SHOWN HEREIN.
- 6. TRUE BUSINESS, LLC SHALL NOT BE HELD RESPONSIBLE FOR ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MA RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

KEYED NOTES:

- 1 PROTECT THE POWER POLE IN THIS LOCATION THROUGHOUT THE CONSTRUCTION.
- 2 PROPOSED/NEW FENCE TO ENCLOSE HVAC UNITS AND DUMPSTER'S. SEE SHEET 6/C0.0 FOR DETAILS.
- 3 PRIOR TO RESURFACING ENSURE STORM BASIN IS PROTECTED FROM ANY INFILTRATION DURING THE EXTENT OF THE CONSTRUCTION.
- 4 PROPOSED/NEW ASPHALT/CONCRETE WORK SEE SHEET C2.0.
- 5 PROPOSED/NEW LANDSCAPING WORK SEE SHEET C2.1.
- 6 PROPOSED/NEW FIRE GATE WITH FIRE DEPARTMENT LOCK BOX AND EASEMENT INSTALLED IN THIS LOCATION. FIRE GATE TO REMAIN CLOSED UNLESS EASEMENT CONDITIONS ARE MET.
- 7 PROPOSED/NEW SIGN INSTALLED THAT READS "FIRE LANE - NO ACCESS" SEE SHEET 3/C0.0 FOR DETAILS.
- 8 PROPOSED/NEW PARKING LOT STRIPING PARKING STALL MEDIUM SIZE OF 18'x9'.
- 9 PROPOSED/NEW PARKING LOT STRIPING PARKING STALL SMALL SIZE OF 18'x8'. PROVIDE CURB CUT FOR EACH OF THESE LOCATIONS.
- 10 PROPOSED/NEW PARKING LOT STRIPING PARKING STALL HANDICAP ACCESSIBLE SPACE SIZE OF 18'x9'. FOR SIGN REQUIREMENTS SEE SHEET 3/C0.0 FOR DETAILS.
- 11 PROPOSED/RELOCATED BIKE RACKS IN THE LOCATIONS SHOWN. TOTAL OF 50 RACKS WITH 5' ACCESS BEING MAINTAINED FOR REMOVAL OF BICYCLES.
- 12 FUTURE CELLULAR TELEPHONE GENERATOR. NOT IN THIS SCOPE OF WORK AND WILL BE SUBMITTED TO THE CITY OF MADISON. OPEN SPACE FOR BIKE RACKS.
- 13 PRIOR TO NEW WORK ENSURE SILT SOCKS IS STILL IN TACT IN THIS LOCATION. SEE SHEET 1/C0.0 FOR DETAILS.
- 14 PROPOSED/NEW STOP SIGN INSTALLED AT THIS LOCATION. SEE SHEET 3/C0.0 FOR DETAILS.
- 15 PROPOSED/NEW SIGN INSTALLED THAT READS "DO NOT ENTER ONE WAY". SEE SHEET 3/C0.0 FOR DETAILS. FOR ACTUAL LOCATION OF SIGN SEE SHEET 1/C2.2.
- 16 PROPOSED/NEW MOPED PARKING LOT STRIPING PARKING STALL SIZE OF 4'x6'.
- 17 PROPOSED/NEW PARKING STALL 16'X9'.

3 - HANDICAP ACCESSIBLE SPACES
40 - SMALL PARKING SPACES
220 - MEDIUM/LARGE PARKING SPACES
83 - TOTAL PARKING SPACES

REVISION:
12-19-18 CONSTRUCTION DRAWINGS
9-10-18 CD PER TRAFFIC ENG.
12-19-18 LAND USE APPLICATION

Shorewood House, LLP

SHOREWOOD HOUSE
3009 UNIVERSITY AVE - FIRE LANE PROPOSAL
MADISON WISCONSIN
FIRE LANE STRIPING NEW WORK PLAN - FINAL LAYOUT

Phase: CD
Drawn By: AGM
Checked By:OND
Date: 06/18/18
Scale: AS NOTED
Job Number18-3009UN

SHEET NUMBER

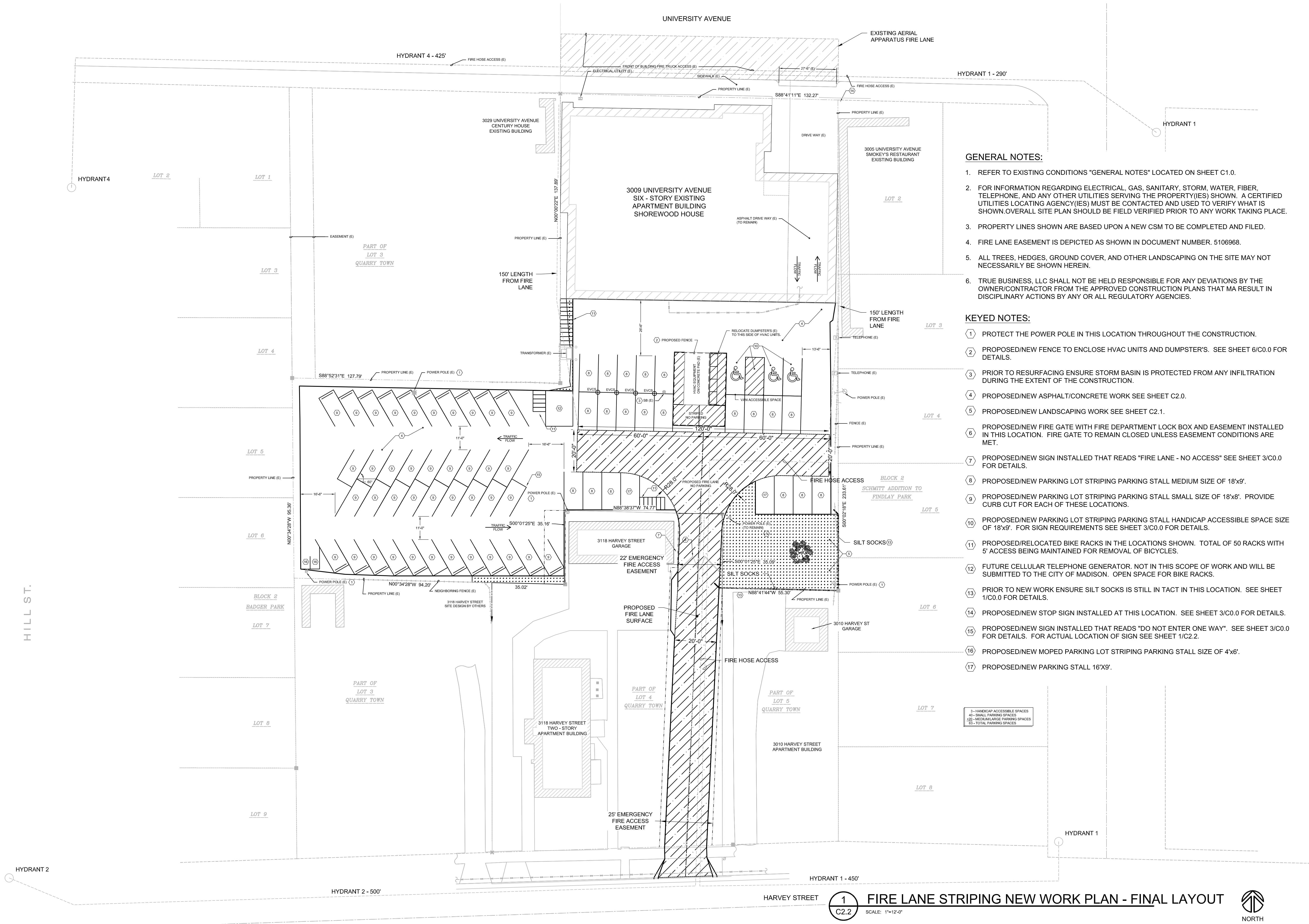
C2.2

1
C2.2

FIRE LANE STRIPING NEW WORK PLAN - FINAL LAYOUT

SCALE: 1"=12'-0"





GENERAL NOTES:

- REFER TO EXISTING CONDITIONS "GENERAL NOTES" LOCATED ON SHEET C1.0.
- FOR INFORMATION REGARDING ELECTRICAL, GAS, SANITARY, STORM, WATER, FIBER, TELEPHONE, AND ANY OTHER UTILITIES SERVING THE PROPERTY(IES) SHOWN. A CERTIFIED UTILITIES LOCATING AGENCY(IES) MUST BE CONTACTED AND USED TO VERIFY WHAT IS SHOWN. OVERALL SITE PLAN SHOULD BE FIELD VERIFIED PRIOR TO ANY WORK TAKING PLACE.
- PROPERTY LINES SHOWN ARE BASED UPON A NEW CSM TO BE COMPLETED AND FILED.
- FIRE LANE EASEMENT IS DEPICTED AS SHOWN IN DOCUMENT NUMBER. 5106968.
- ALL TREES, HEDGES, GROUND COVER, AND OTHER LANDSCAPING ON THE SITE MAY NOT NECESSARILY BE SHOWN HEREIN.
- TRUE BUSINESS, LLC SHALL NOT BE HELD RESPONSIBLE FOR ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MA RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

KEYED NOTES:

- PROTECT THE POWER POLE IN THIS LOCATION THROUGHOUT THE CONSTRUCTION.
- PROPOSED/NEW FENCE TO ENCLOSE HVAC UNITS AND DUMPSTER'S. SEE SHEET 6/C0.0 FOR DETAILS.
- PRIOR TO RESURFACING ENSURE STORM BASIN IS PROTECTED FROM ANY INFILTRATION DURING THE EXTENT OF THE CONSTRUCTION.
- PROPOSED/NEW ASPHALT/CONCRETE WORK SEE SHEET C2.0.
- PROPOSED/NEW LANDSCAPING WORK SEE SHEET C2.1.
- PROPOSED/NEW FIRE GATE WITH FIRE DEPARTMENT LOCK BOX AND EASEMENT INSTALLED IN THIS LOCATION. FIRE GATE TO REMAIN CLOSED UNLESS EASEMENT CONDITIONS ARE MET.
- PROPOSED/NEW SIGN INSTALLED THAT READS "FIRE LANE - NO ACCESS" SEE SHEET 3/C0.0 FOR DETAILS.
- PROPOSED/NEW PARKING LOT STRIPING PARKING STALL MEDIUM SIZE OF 18'x9'.
- PROPOSED/NEW PARKING LOT STRIPING PARKING STALL SMALL SIZE OF 18'x8'. PROVIDE CURB CUT FOR EACH OF THESE LOCATIONS.
- PROPOSED/NEW PARKING LOT STRIPING PARKING STALL HANDICAP ACCESSIBLE SPACE SIZE OF 18'x9'. FOR SIGN REQUIREMENTS SEE SHEET 3/C0.0 FOR DETAILS.
- PROPOSED/RELOCATED BIKE RACKS IN THE LOCATIONS SHOWN. TOTAL OF 50 RACKS WITH 5' ACCESS BEING MAINTAINED FOR REMOVAL OF BICYCLES.
- FUTURE CELLULAR TELEPHONE GENERATOR. NOT IN THIS SCOPE OF WORK AND WILL BE SUBMITTED TO THE CITY OF MADISON. OPEN SPACE FOR BIKE RACKS.
- PRIOR TO NEW WORK ENSURE SILT SOCKS IS STILL IN TACT IN THIS LOCATION. SEE SHEET 1/C0.0 FOR DETAILS.
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- PROPOSED/NEW SIGN INSTALLED THAT READS "DO NOT ENTER ONE WAY". SEE SHEET 3/C0.0 FOR DETAILS. FOR ACTUAL LOCATION OF SIGN SEE SHEET 1/C2.2.
- PROPOSED/NEW MOPED PARKING LOT STRIPING PARKING STALL SIZE OF 4'x6'.
- PROPOSED/NEW PARKING STALL 16'x9'.

3 - HANDICAP ACCESSIBLE SPACES
40 - SMALL PARKING SPACES
20 - MEDIUM/LARGE PARKING SPACES
63 - TOTAL PARKING SPACES

REVISION:	
Δ	6-19-18 CONSTRUCTION DRAWINGS
Δ	9-10-18 CD PER TRAFFIC ENG.
Δ	12-19-18 LAND USE APPLICATION
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Shorewood House, LLP

SHOREWOOD HOUSE

3009 UNIVERSITY AVE - FIRE LANE PROPOSAL

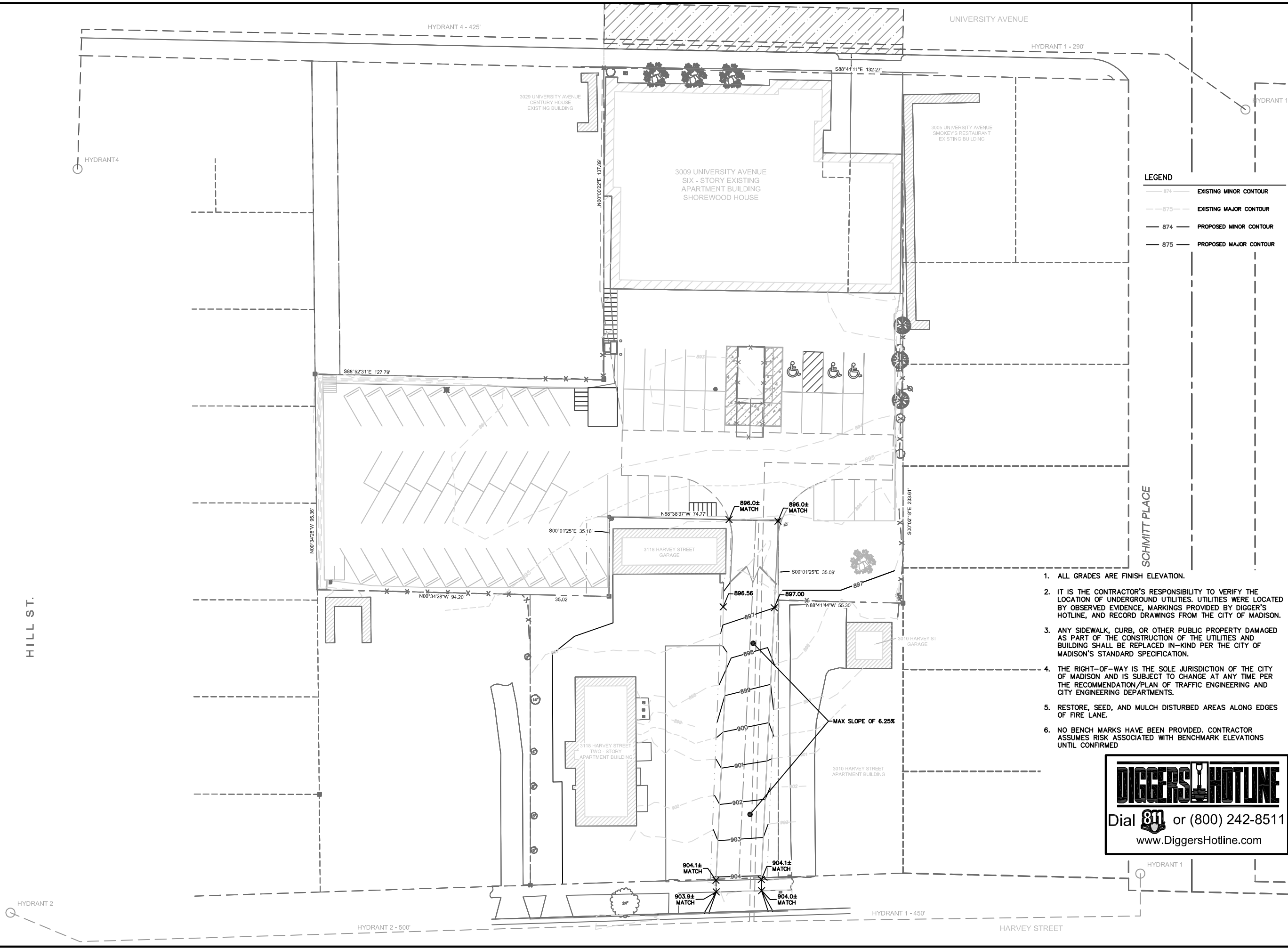
MADISON WISCONSIN

FIRE LANE STRIPING NEW WORK PLAN - FINAL LAYOUT

Phase: CD
Drawn By: AGM
Checked By: DND
Date: 06/18/18
Scale: AS NOTED
Job Number: 18-3009UN

SHEET NUMBER
C2.2

NOT FOR CONSTRUCTION



Burse
Surveying and Engineering, Inc.

2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9265
Fax: 608-250-9266
e-mail: Mourse@BSE-INC.net
www.bursesurveyengr.com

APPROVAL	PROJECT NO.	DATE	CRE	CRE	PDF	FILE

Shorewood House, LLP
3009 UNIVERSITY AVE
MADISON, WI, 53705

Duke Dykstra
3009 University Ave
Madison, WI, 53705

PROJECT #: BSE2140
PLOT DATE: 12/19/2018

REVISION DATES:

ISSUE DATES:
12/19/2018 LAND USE SUB

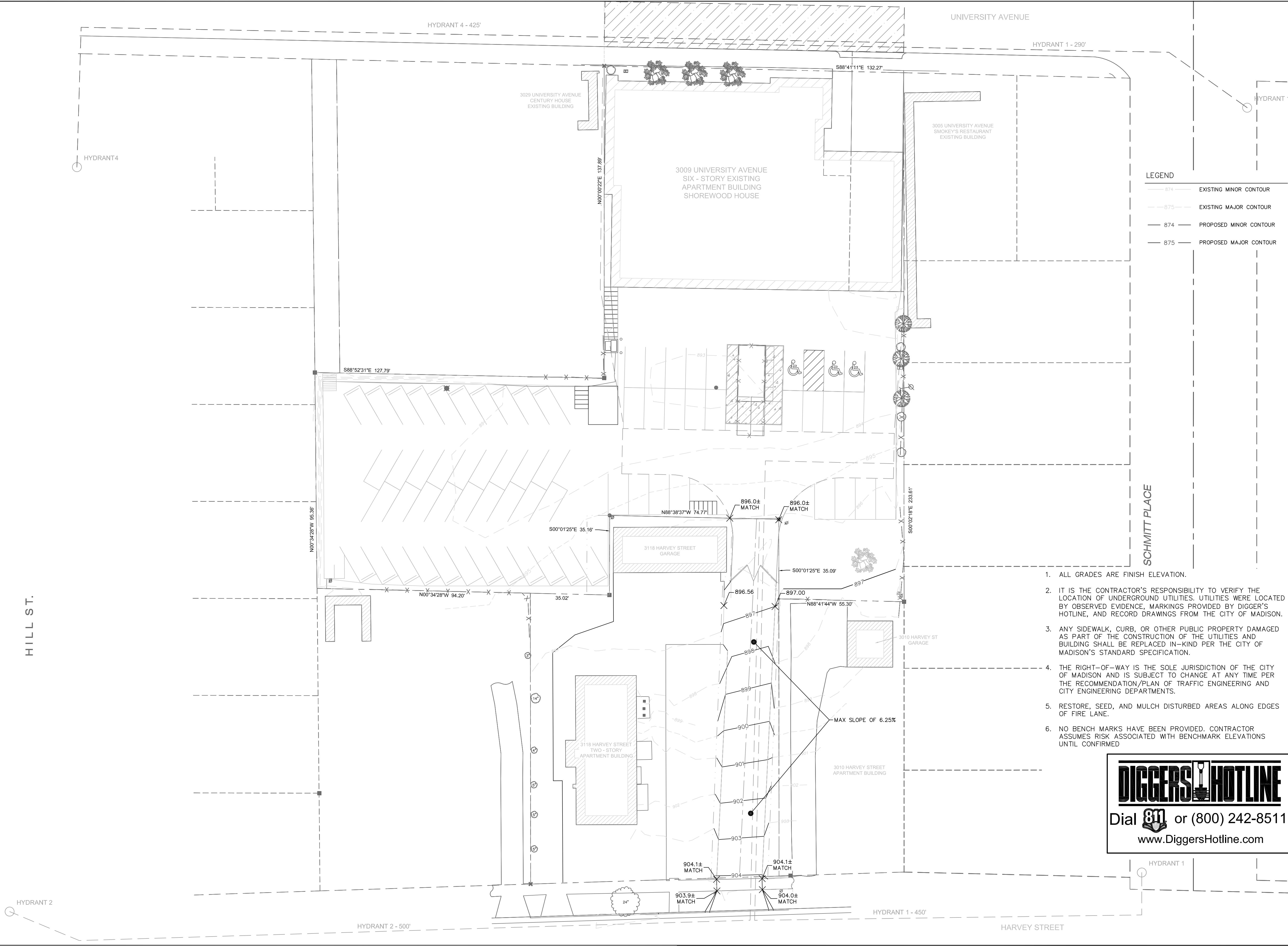
FIRE LANE
GRADING PLAN

Burse
Surveying and Engineering, Inc.

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DRAWING NUMBER
C2.3

NOT FOR CONSTRUCTION



Burse
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APPROVALS	PROJECT FILE	MLB	CRB	CB	PDF	MLB

Shorewood House, LLP
3009 UNIVERSITY AVE
MADISON, WI, 53705
Duke Dykstra
3009 University Ave
Madison, WI 53705

PROJECT #: BSE2140
PLOT DATE: 12/19/2018

REVISION DATES:

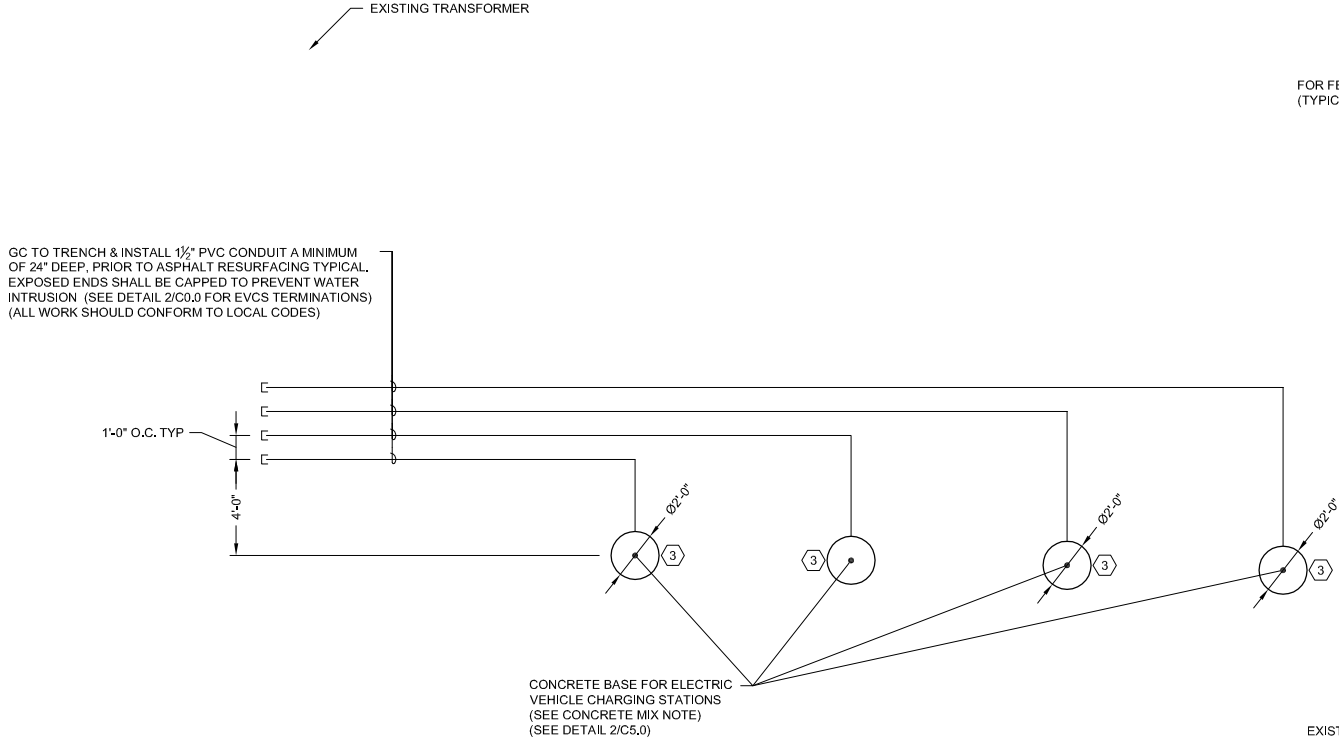
ISSUE DATES:
12/19/2018 LAND USE SUB

FIRE LANE
GRADING PLAN

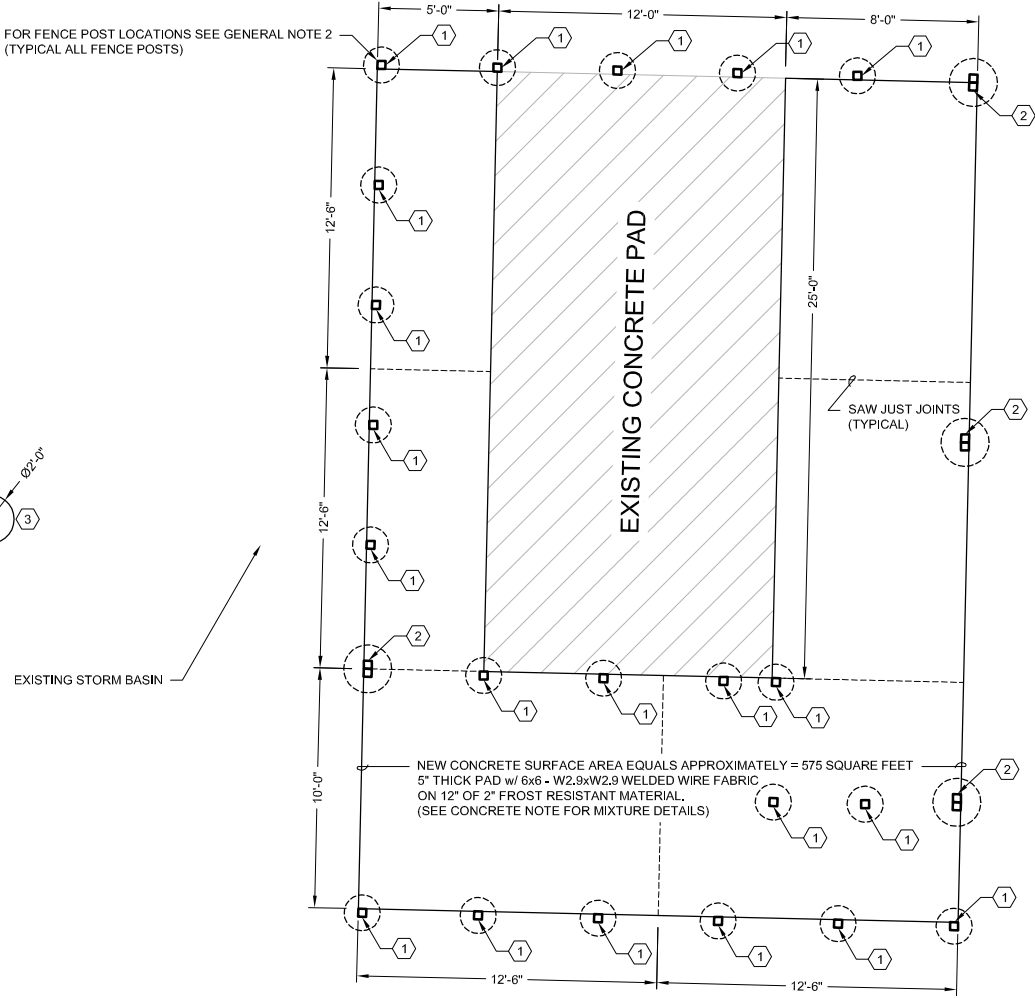
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DRAWING NUMBER
C2.3

3009 UNIVERSITY AVENUE BUILDING



CONCRETE MIX NOTE:
28 DAY CURING SHALL = 4,000 PSI
AGGREGATE STONE SIZE = ¾"
SLUMP SHALL EQUAL = 2" - 4"
AIR ENTRAINMENT SHALL = 6%



1
C5.0
SCALE: NOT TO SCALE

SUPPLEMENTARY NEW WORK PLAN - CONCRETE

GENERAL NOTES:

- THIS DOCUMENT IS SUPPLEMENTARY. FOR DIMENSIONS AND GENERAL SITE LAYOUT REFER TO THE C0.0 - C2.2 PLANS.
- FENCE POSTS ARE 5'-0" ON CENTER UNLESS NOTED OTHERWISE. SEE SHEET C5.1 FOR LOCATIONS AND DIMENSIONS.
- COORDINATE ALL WORK WITH THE OWNER PRIOR TO COMMENCEMENT.

KEYED NOTES:

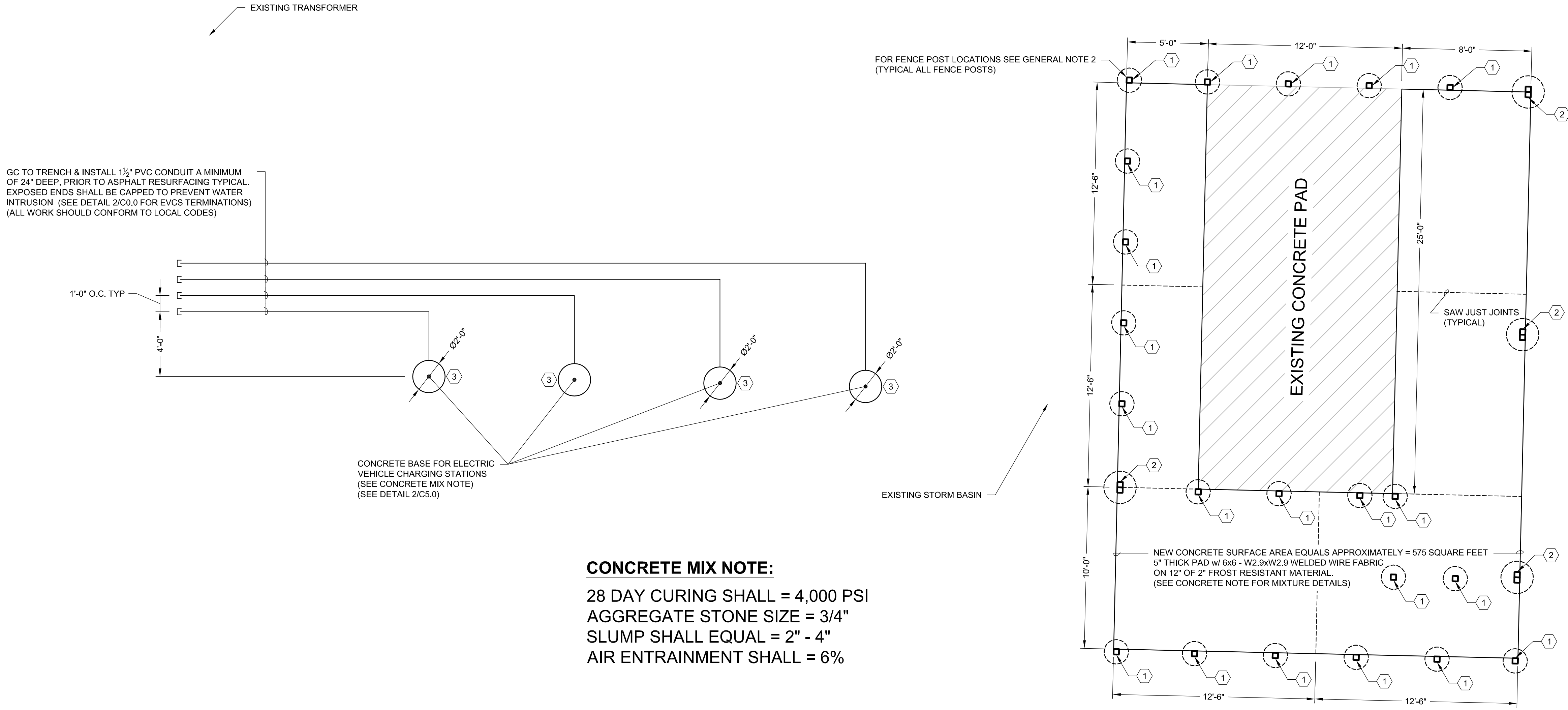
- (1) 4x4 TREATED FENCE POST WITH 18"Ø SONO TUBE, FILLED WITH CONCRETE AROUND 4x4 POSTS, AND LOCATED 5" - 6" BELOW FINISHED GRADE. SEE SHEET 6/C0.0 FOR DETAILS. (POSTS TO BE PERPENDICULAR TO FINISHED GRADE.)
- (2) 4x4 TREATED FENCE POST WITH 24"Ø SONO TUBE, FILLED WITH CONCRETE AROUND BOTH 4x4 POSTS, AND LOCATED 5" - 6" BELOW FINISHED GRADE. SEE SHEET 6/C0.0 FOR DETAILS. (POSTS TO BE PERPENDICULAR TO FINISHED GRADE.)
- (3) SEE SUPPLEMENTARY DRAWING DETAIL 6/C5.1 FOR ELECTRIC VEHICLE CHARGING STATION STEEL WORK.

NOTE REGARDING EXISTING CONDITIONS:

INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE CIVIL DRAWINGS REPRESENTS, TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. TRUE BUSINESS LLC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THE NEW WORK. REPORT DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE ENGINEER OF RECORD FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE ENGINEER OF RECORD IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.

REVISIONS:	
Δ 6-19-18	CONSTRUCTION DRAWINGS
Δ 9-10-18	CD PER TRAFFIC ENG.
Δ 12-19-18	LAND USE APPLICATION
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Shorewood House, LLP	
SHOREWOOD HOUSE 3009 UNIVERSITY AVE - CONSTRUCTION MADISON WISCONSIN	
SUPPLEMENTARY NEW WORK PLAN - CONCRETE WORK	
Phase: CD	
Drawn By: AGM	
Checked By: DND	
Date: 06/18/18	
Scale: AS NOTED	
Job Number: 18-3009UN	
SHEET NUMBER	
C5.0	

3009 UNIVERSITY AVENUE BUILDING



CONCRETE MIX NOTE:

28 DAY CURING SHALL = 4,000 PSI
AGGREGATE STONE SIZE = ¾"
SLUMP SHALL EQUAL = 2" - 4"
AIR ENTRAINMENT SHALL = 6%

1 SUPPLEMENTARY NEW WORK PLAN - CONCRETE
C5.0 SCALE: NOT TO SCALE

GENERAL NOTES:

- THIS DOCUMENT IS SUPPLEMENTARY, FOR DIMENSIONS AND GENERAL SITE LAYOUT REFER TO THE C0.0 - C2.2 PLANS.
- FENCE POSTS ARE 5'-0" ON CENTER UNLESS NOTED OTHERWISE. SEE SHEET C5.1 FOR LOCATIONS AND DIMENSIONS.
- COORDINATE ALL WORK WITH THE OWNER PRIOR TO COMMENCEMENT.

KEYED NOTES:

- (1) (1) 4x4 TREATED FENCE POST WITH 18"Ø SONO TUBE, FILLED WITH CONCRETE AROUND 4x4 POSTS, AND LOCATED 5" - 6" BELOW FINISHED GRADE. SEE SHEET 6/C0.0 FOR DETAILS. (POSTS TO BE PERPENDICULAR TO FINISHED GRADE.)
- (2) (2) 4x4 TREATED FENCE POST WITH 24"Ø SONO TUBE, FILLED WITH CONCRETE AROUND BOTH 4x4 POSTS, AND LOCATED 5" - 6" BELOW FINISHED GRADE. SEE SHEET 6/C0.0 FOR DETAILS. (POSTS TO BE PERPENDICULAR TO FINISHED GRADE.)
- (3) SEE SUPPLEMENTARY DRAWING DETAIL 6/C5.1 FOR ELECTRIC VEHICLE CHARGING STATION STEEL WORK.

NOTE REGARDING EXISTING CONDITIONS:

INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE CIVIL DRAWINGS REPRESENTS, TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. TRUE BUSINESS LLC, MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THE NEW WORK. REPORT DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE ENGINEER OF RECORD FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE ENGINEER OF RECORD IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.

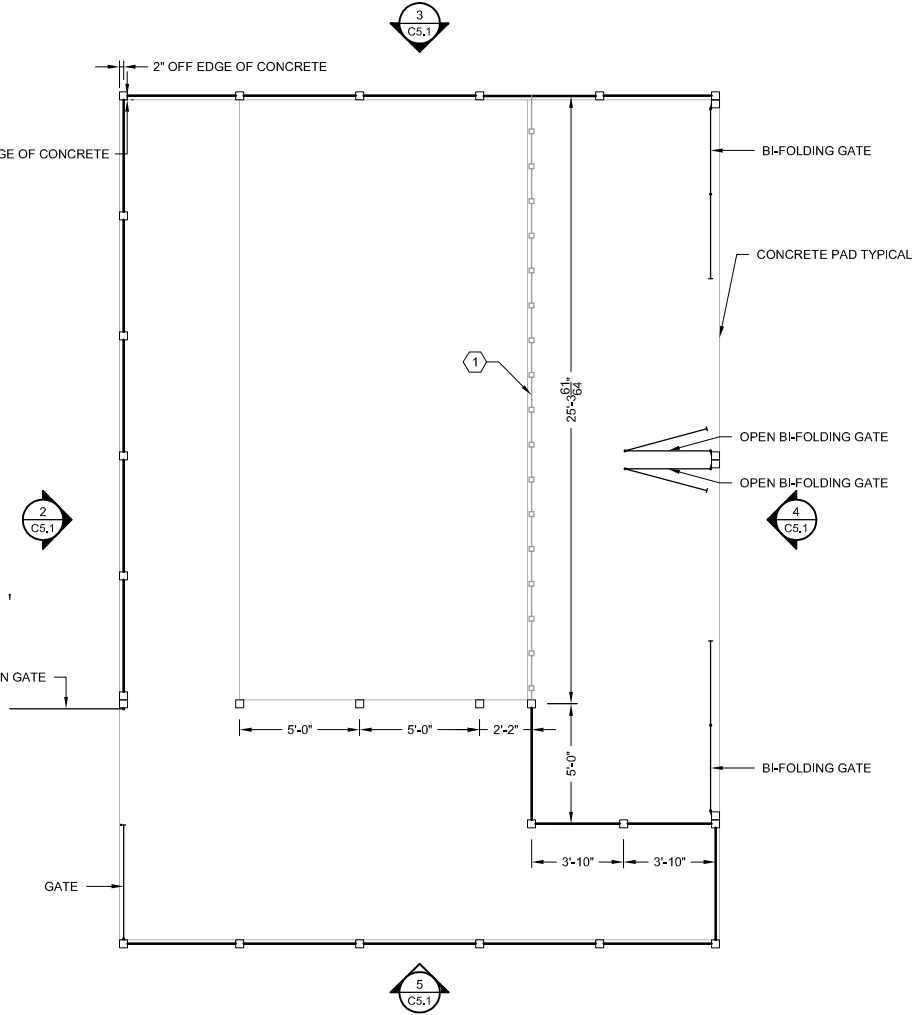
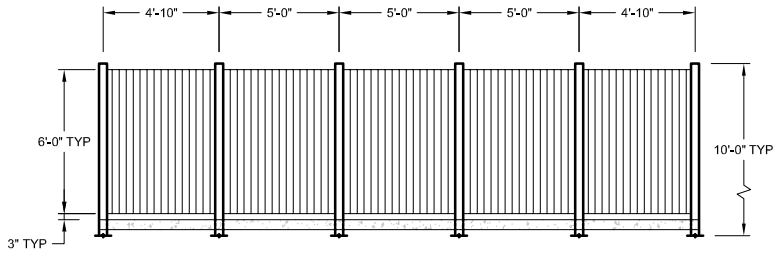
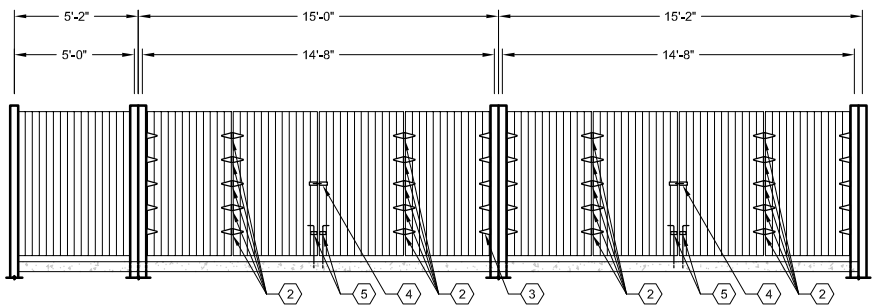
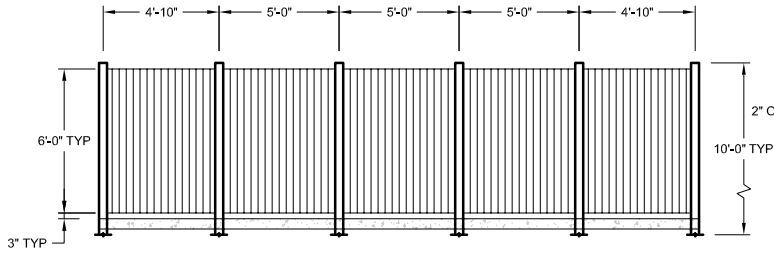
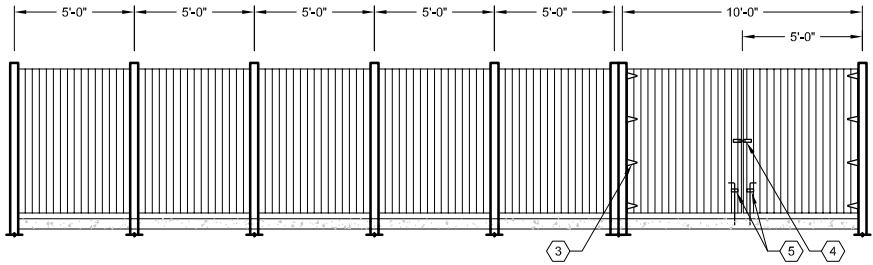
REVISION	
Δ	6-19-18 CONSTRUCTION DRAWINGS
Δ	9-10-18 CD PER TRAFFIC ENG.
Δ	12-19-18 LAND USE APPLICATION
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Shorewood House, LLP

SHOREWOOD HOUSE
3009 UNIVERSITY AVE - CONSTRUCTION
WISCONSIN
MADISON
SUPPLEMENTARY NEW WORK PLAN - CONCRETE WORK

Phase: CD
Drawn By: AGM
Checked By: DND
Date: 06/18/18
Scale: AS NOTED
Job Number: 8-3009UN

SHEET NUMBER
C5.0



1 SUPPLEMENTARY NEW WORK PLAN - FENCE

GENERAL NOTES:

- THIS DOCUMENT IS SUPPLEMENTARY. FOR GENERAL SITE LAYOUT REFER TO THE C0.0 - C2.2 PLANS. SEE ELEVATION VIEWS FOR SPECIFIC DETAILS IN REGARDS TO KEYED NOTES BELOW.
- FENCE POSTS ARE 4"x4"x10'-0" @ 5'-0" ON CENTER UNLESS NOTED OTHERWISE. COORDINATE WITH CONCRETE CONTRACTOR TO ENSURE FENCE POSTS ARE IN PLACE AT TIME OF CONCRETE WORK.
- COORDINATE ALL WORK WITH THE OWNER PRIOR TO COMMENCEMENT. OWNER TO SELECT COMPOSITE FENCE POST COLOR AS WELL AS ALL HARDWARE COLOR.

KEYED NOTES:

- EXISTING WOOD FENCING/PRIVACY SCREENING, SHALL BE SALVAGED AND USED TO FENCE OFF EXISTING AREA, IN COMBINATION WITH NEW AREA FENCING. SIMILAR TO WHAT IS SHOWN.
- GATE TO USE 3-1/2" HEAVY-DUTY TEE STYLE FENCE HINGE AS SHOWN AND ALLOW GATE DOOR TO OPEN IN A BI-FOLD MANNER BI-FOLD AS SHOWN.
- USE 3-1/2" HEAVY-DUTY TEE STYLE FENCE HINGE. TYPICAL ALL FENCE GATE/DOOR LOCATIONS.
- USE HEAVY-DUTY GATE LATCH WITH THE ABILITY TO RECEIVE A LOCK. TYPICAL ALL GATE LOCATIONS.
- USE 24" LONG HEAVY-DUTY FENCE DROP ROD. DRILL 3" DEEP HOLE IN CONCRETE TO ALLOW DROP ROD TO CATCH WHEN FENCE GATE IS CLOSED.

NOTE REGARDING EXISTING CONDITIONS:

INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE CIVIL DRAWINGS REPRESENTS, TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. TRUE BUSINESS LLC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THE NEW WORK. REPORT DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE ENGINEER OF RECORD FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE ENGINEER OF RECORD IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.

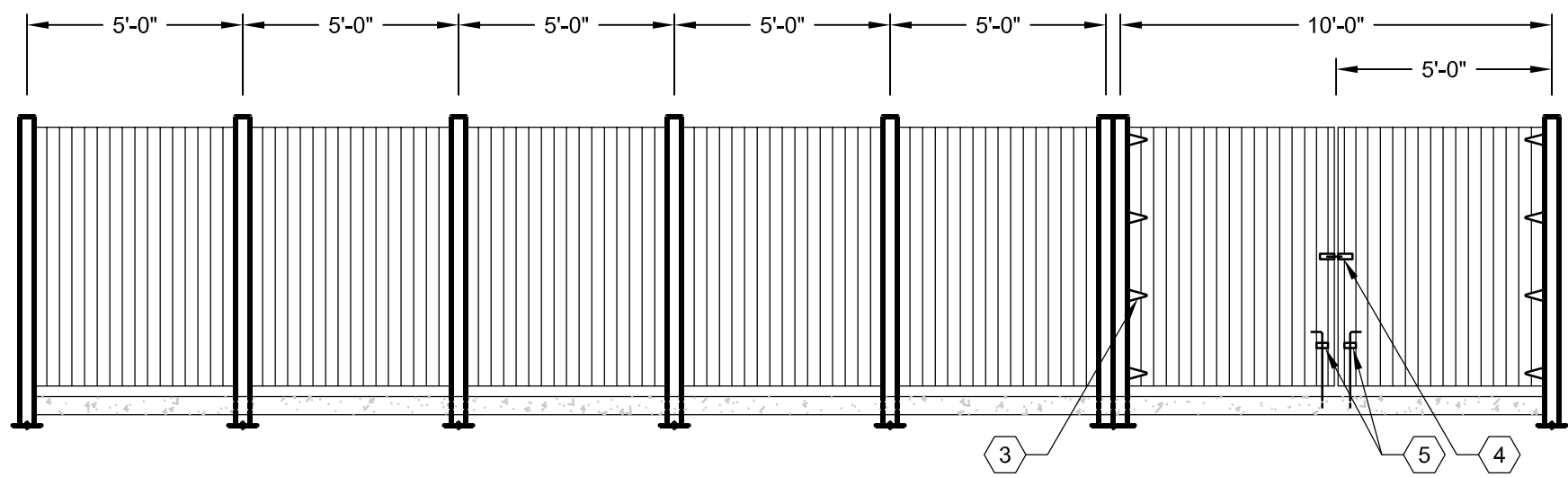
REVISIONS:	
6-19-18	CONSTRUCTION DRAWINGS
8-10-18	CD PER TRAFFIC ENG.
12-19-18	LAND USE APPLICATION

Shorewood House, LLP

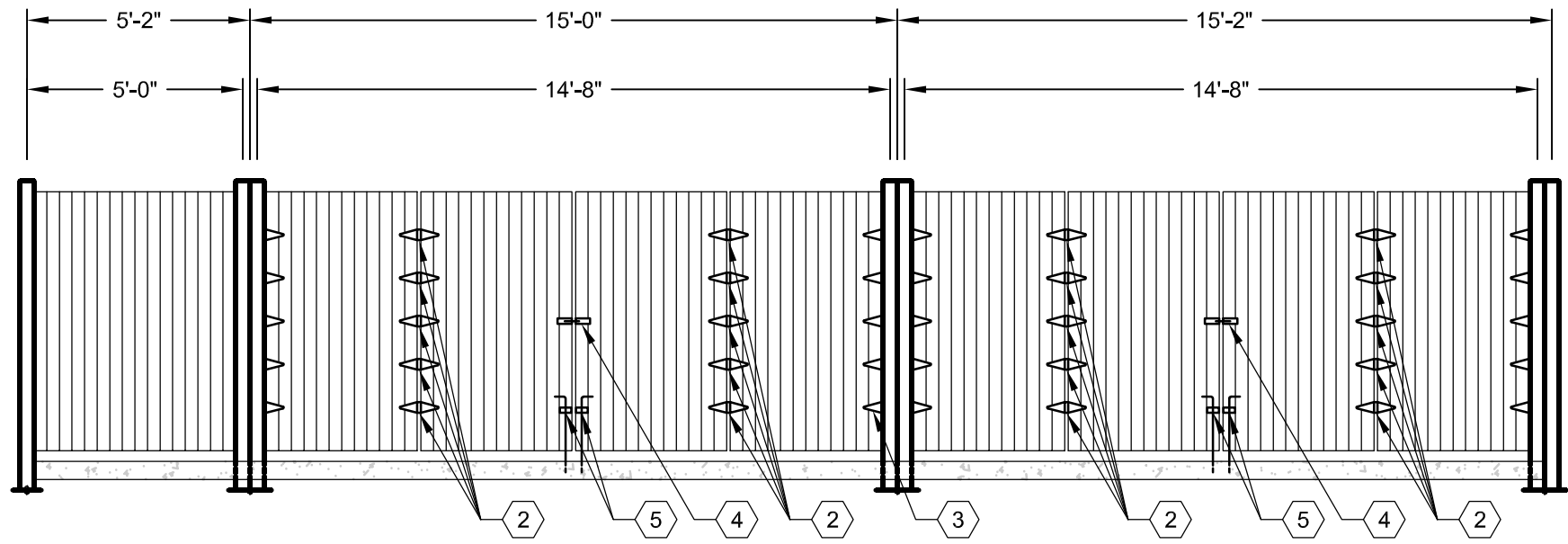
SHOREWOOD HOUSE	WISCONSIN	SUPPLEMENTARY NEW WORK PLAN - FENCE WORK
	MADISON	
3009 UNIVERSITY AVE - CONSTRUCTION		

Phase: CD
Drawn By: AGM
Checked By: DND
Date: 06/18/18
Scale: AS NOTED
Job Number: 18-3009UN

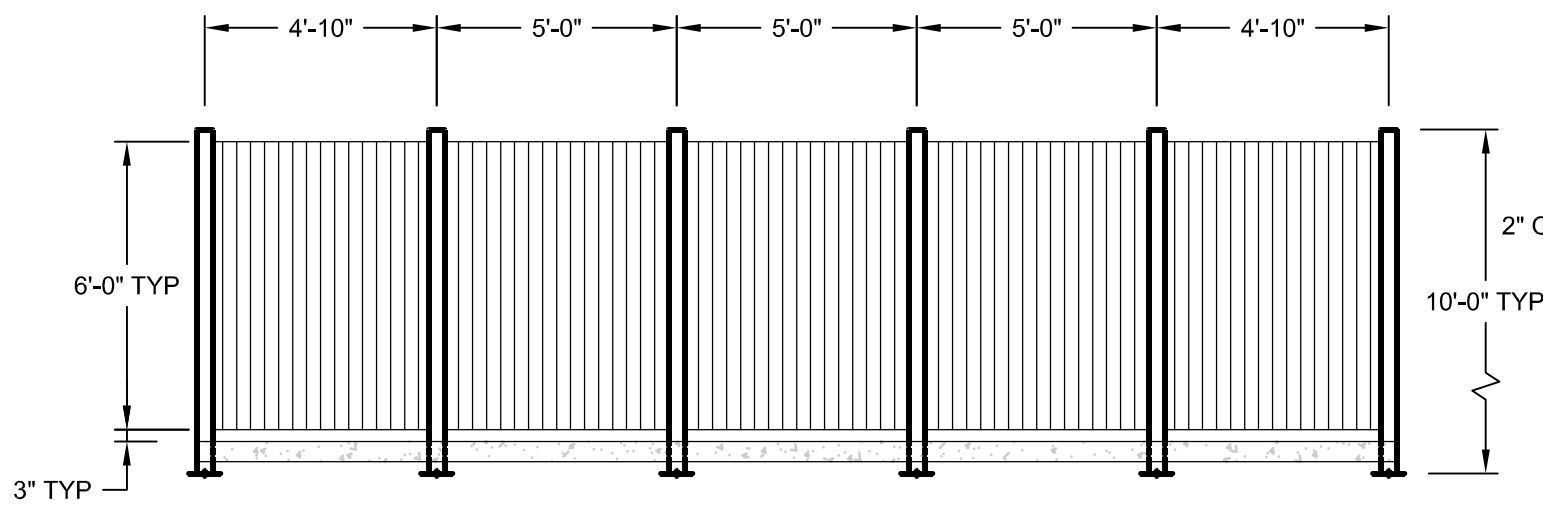
SHEET NUMBER
C5.1



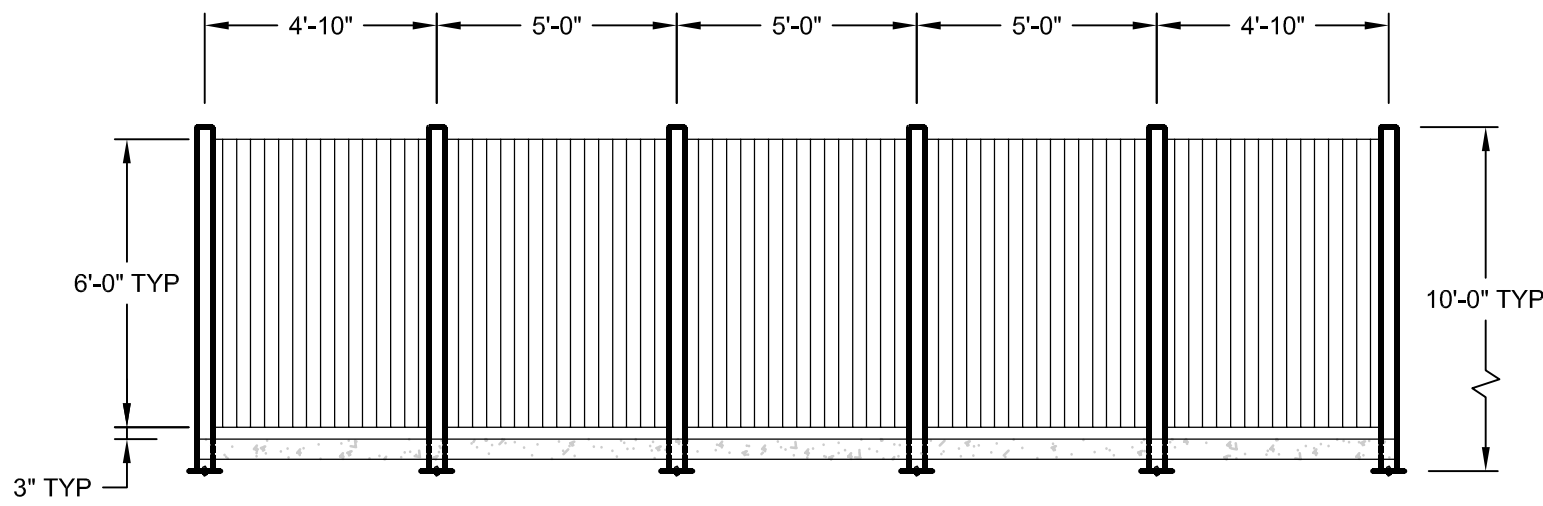
2 WEST FENCE ELEVATION AND LAYOUT
C5.1 SCALE: NOT TO SCALE



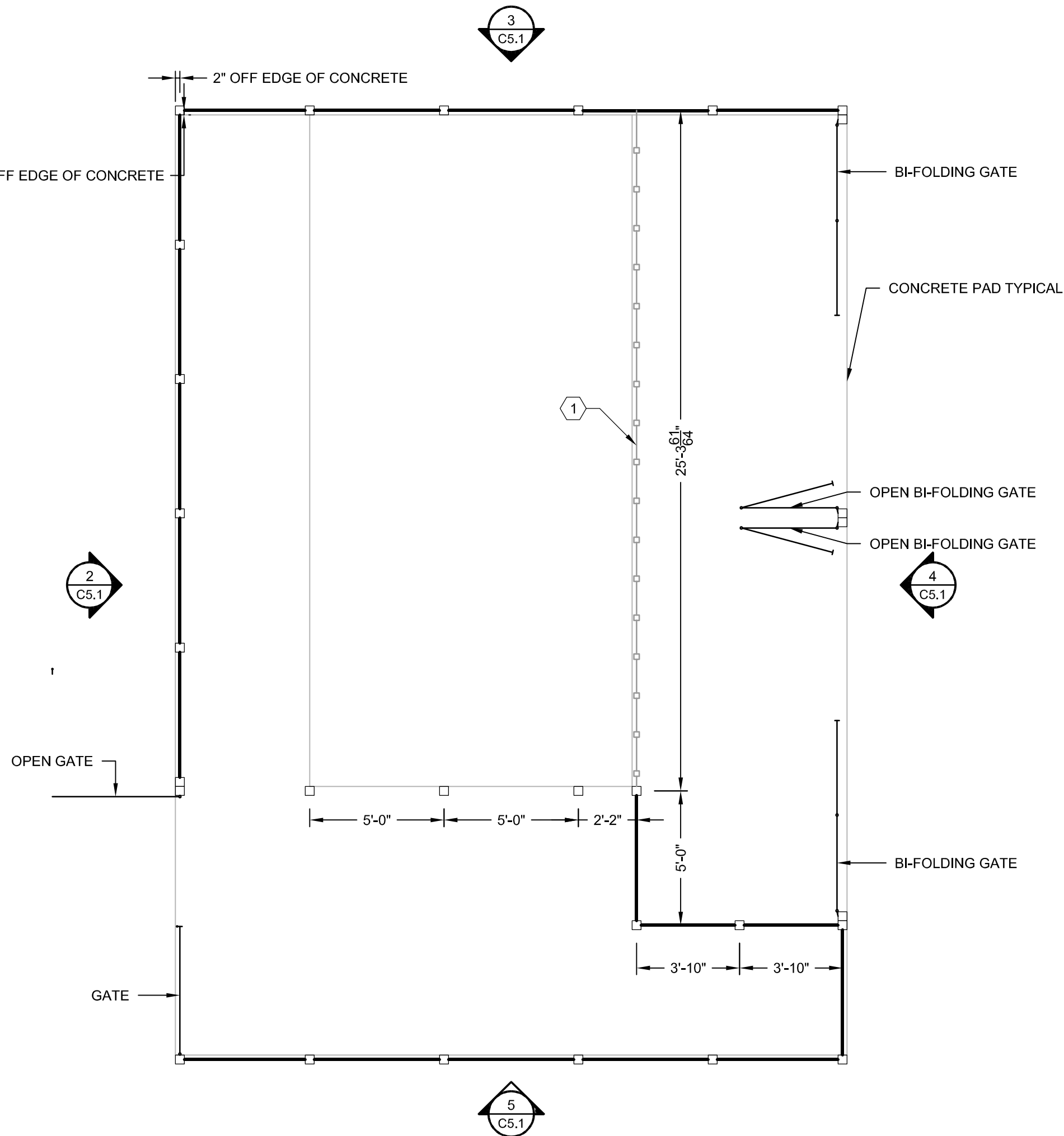
4 EAST FENCE ELEVATION AND LAYOUT
C5.1 SCALE: NOT TO SCALE



3 NORTH FENCE ELEVATION AND LAYOUT
C5.1 SCALE: NOT TO SCALE



5 SOUTH FENCE ELEVATION AND LAYOUT
C5.1 SCALE: NOT TO SCALE



1 SUPPLEMENTARY NEW WORK PLAN - FENCE
C5.1 SCALE: NOT TO SCALE

GENERAL NOTES:

- THIS DOCUMENT IS SUPPLEMENTARY. FOR GENERAL SITE LAYOUT REFER TO THE C0.0 - C2.2 PLANS. SEE ELEVATION VIEWS FOR SPECIFIC DETAILS IN REGARDS TO KEYED NOTES BELOW.
- FENCE POSTS ARE 4"x4"x10'-0" @ 5'-0" ON CENTER UNLESS NOTED OTHERWISE. COORDINATE WITH CONCRETE CONTRACTOR TO ENSURE FENCE POSTS ARE IN PLACE AT TIME OF CONCRETE WORK.
- COORDINATE ALL WORK WITH THE OWNER PRIOR TO COMMENCEMENT. OWNER TO SELECT COMPOSITE FENCE POST COLOR AS WELL AS ALL HARDWARE COLOR.

KEYED NOTES:

- EXISTING WOOD FENCING/PRIVACY SCREENING, SHALL BE SALVAGED AND USED TO FENCE OFF EXISTING AREA, IN COMBINATION WITH NEW AREA FENCING. SIMILAR TO WHAT IS SHOWN.
- GATE TO USE 3-1/2" HEAVY-DUTY TEE STYLE FENCE HINGE AS SHOWN AND ALLOW GATE DOOR TO OPEN IN A BI-FOLD MANNER BI-FOLD AS SHOWN.
- USE 3-1/2" HEAVY-DUTY TEE STYLE FENCE HINGE. TYPICAL ALL FENCE GATE/DOOR LOCATIONS.
- USE HEAVY-DUTY GATE LATCH WITH THE ABILITY TO RECEIVE A LOCK. TYPICAL ALL GATE LOCATIONS.
- USE 24" LONG HEAVY-DUTY FENCE DROP ROD. DRILL 3" DEEP HOLE IN CONCRETE TO ALLOW DROP ROD TO CATCH WHEN FENCE GATE IS CLOSED.

NOTE REGARDING EXISTING CONDITIONS:

INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE CIVIL DRAWINGS REPRESENTS, TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. TRUE BUSINESS LLC, MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THE NEW WORK. REPORT DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE ENGINEER OF RECORD FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE ENGINEER OF RECORD IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.

REVISION	
Δ	6-19-18 CONSTRUCTION DRAWINGS
Δ	9-10-18 CD PER TRAFFIC ENG.
Δ	12-19-18 LAND USE APPLICATION
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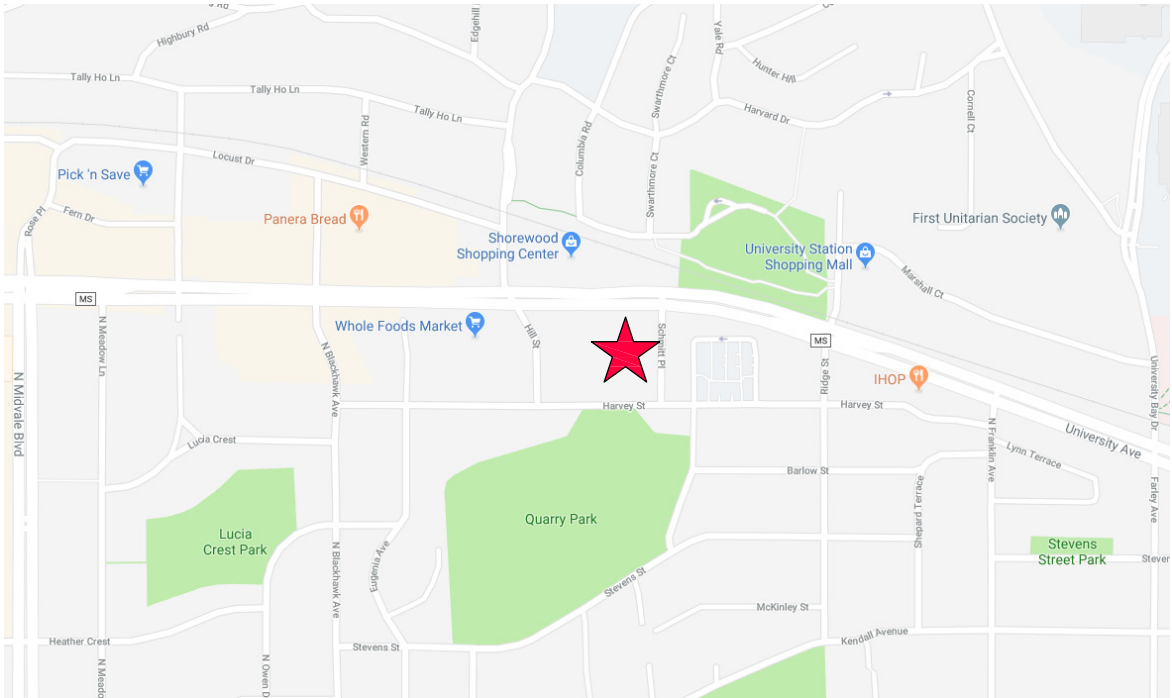
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SHOREWOOD HOUSE
3009 UNIVERSITY AVE - CONSTRUCTION
MADISON WISCONSIN
SUPPLEMENTARY NEW WORK PLAN - FENCE WORK

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VICINITY MAP