

2 S MILLS ST,  
MADISON, WI 53715

[illegible]

CIVIL ENGINEER:

ARCHITECT:

STRUCTURAL ENGINEER:

MECHANICAL ENGINEER:

ELECTRICAL ENGINEER:

<b>GENERAL</b>	
T001	COVER SHEET
T002	EXISTING SITE SURVEY AND CONDITIONS
T003	EXISTING INTERIOR CONDITIONS
<b>CIVIL</b>	
C100	EXISTING CONDITIONS
C201	SITE PLAN
C300	GRADING PLAN
C500	SITE DETAILS
C501	SITE DETAILS
C400	UTILITY PLAN
<b>LANDSCAPING</b>	
L101	LANDSCAPING PLAN
<b>DEMOLITION</b>	
D100	DEMOLITION SITE PLAN

ARCHITECTURAL	
A100	ARCHITECTURAL SITE PLAN
A101	SUMMER SITE PLAN
A102	GAME DAY SITE PLAN
A401	ELARGED PLANS, ELEVATIONS, AND DETAILS

## COVER SHEET

NOT FOR CONSTRUCTION	
Project number	HKC-18-01
Date	10/31/2018

T001



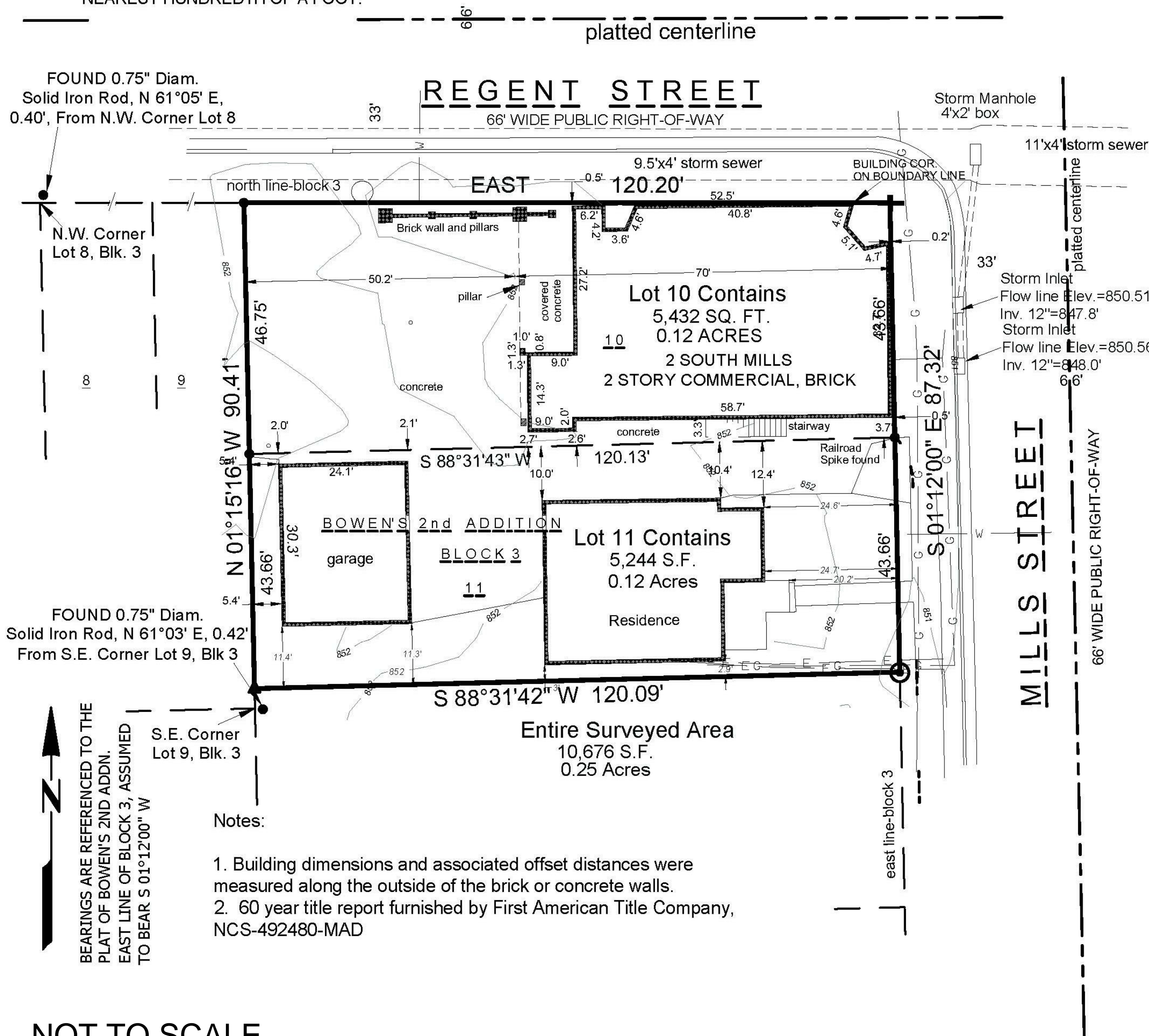
Plat of Survey

DESCRIPTION:

LOT 10, AND LOT 11, BLOCK 3, BOWEN'S SECOND ADDITION, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

LEGEND

- FOUND MAG NAIL
  - FOUND CHISELED CROSS
  - SOLID IRON ROD FOUND (0.75" Dia. unless noted)
  - IRON PIPE FOUND (1 3/8" Outside Diameter)
  - ( ) INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

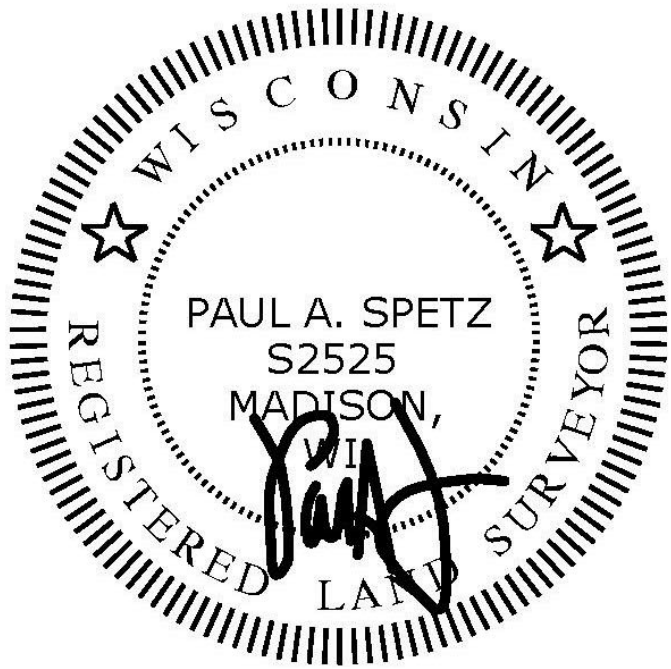


NOT TO SCALE

SURVEYOR'S CERTIFICATE

I, Paul A. Spetz, registered land surveyor for Isthmus Surveying LLC, hereby certify that we surveyed the property described above and that the map is a true representation thereof and shows the size and location of the property, it's exterior boundaries and any or all of the following if they exist: visible structures, apparent easements, roadways and visible encroachments. Said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief. This Survey is solely for the use of the present owners of the property at the date below.

Dated this 31st Day of August, 2018



SURVEYED FOR:  
NEW WORLD INVESTMENT LLC  
2 SOUTH MILLS STREET  
MADISON, WI 53715  
SURVEYED BY:  
ISTHMUS SURVEYING, LLC  
450 NORTH BALDWIN STREET  
MADISON, WI 53703  
(608) 244.1090  
www.isthmussurveying.com

C:\PROJECTS\2011\110709-NW\12018\110709-NW\_POS2018.DWG

EXISTING SITE CONDITIONS - 8 S MILL ST.



FRONT OF EXISTING HOUSE TO BE DEMOLISHED



REAR OF EXISTING HOUSE TO BE DEMOLISHED



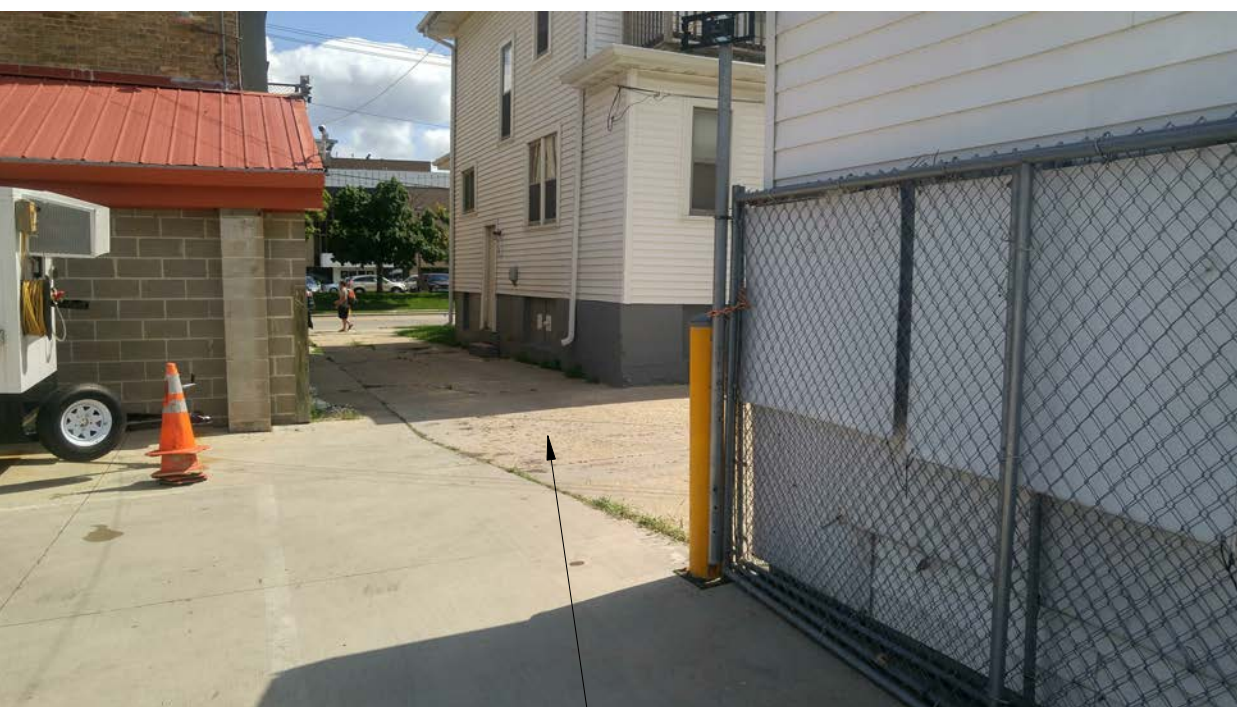
SOUTH SIDE OF EXISTING HOUSE TO BE DEMOLISHED



EXISTING GARAGE TO REMAIN



EXISTING GARAGE TO REMAIN



EXISTING DRIVE TO BE DEMOLISHED



116 King St, Suite 202  
Madison, WI 53703  
(608) 204-7464  
AroEberle.com

No.	Description	Date

HONG KONG CAFE  
CONDITIONAL USE  
ALTERATION

2 S MILLS ST,  
MADISON, WI 53715

EXISTING SITE  
SURVEY AND  
CONDITIONS

NOT FOR CONSTRUCTION	
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T002



EXISTING INTERIOR CONDITIONS - 8 S MILL ST.



KITCHEN 1 OF HOUSE TO BE DEMOLISHED



KITCHEN 2 OF HOUSE TO BE DEMOLISHED



STAIRWELL OF HOUSE TO BE DEMOLISHED



LIVING ROOM OF HOUSE TO BE DEMOLISHED



BATH OF HOUSE TO BE DEMOLISHED



ATTIC OF HOUSE TO BE DEMOLISHED

No.	Description	Date

HONG KONG CAFE  
CONDITIONAL USE  
ALTERATION

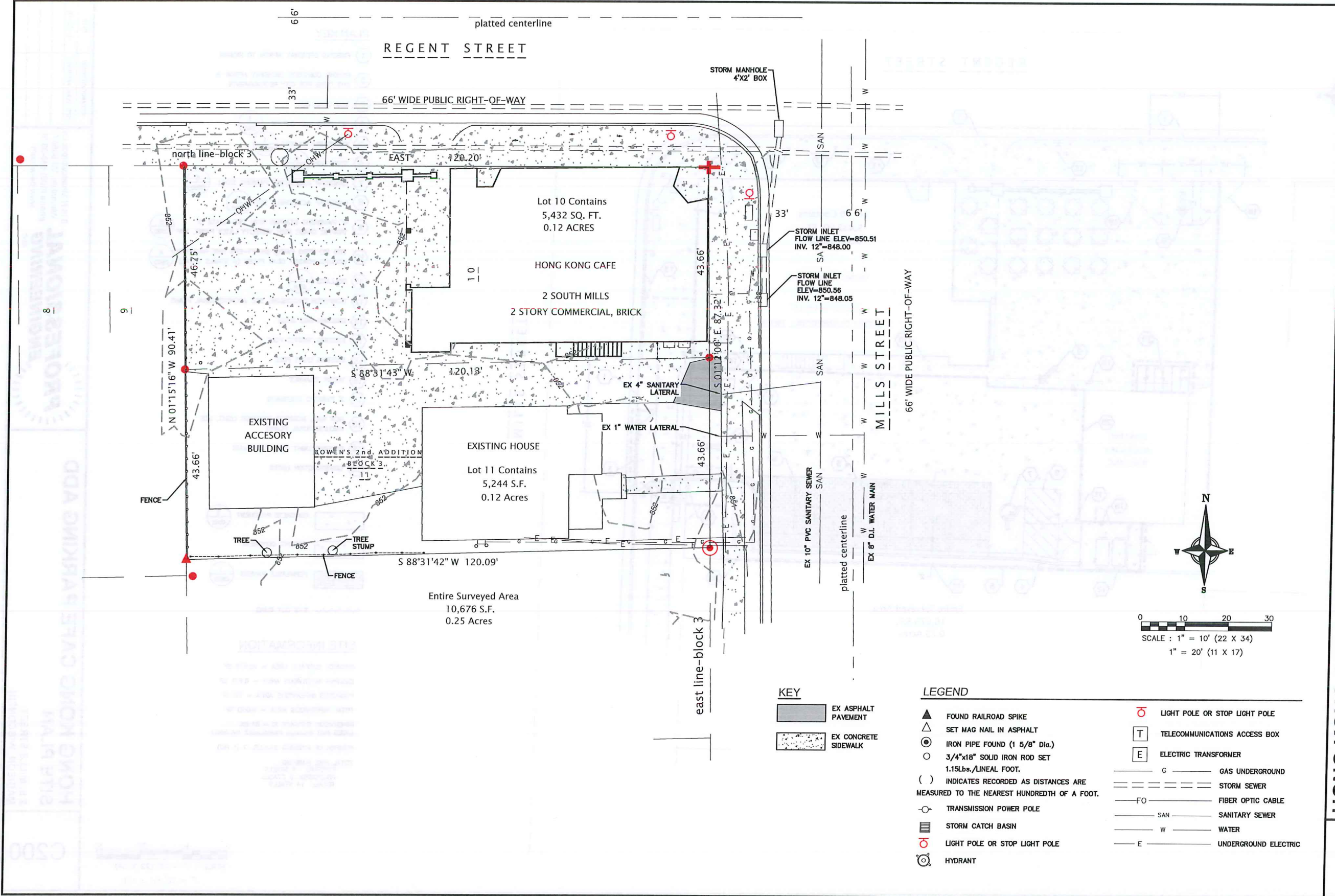
2 S MILLS ST,  
MADISON, WI 53715

EXISTING INTERIOR  
CONDITIONS

NOT FOR CONSTRUCTION	
Project number	HKC-18-01
Date	10/31/2018

T003





ISSUANCE/REVISION

DATE

SITE PLAN APPROVAL

10-30-18

818 N Meadowbrook Ln  
Waunakee, WI 53597  
phone (608) 849-9378  
www.pe-wi.com

**PROFESSIONAL  
ENGINEERING**  
LLC

**HONG KONG CAFE PARKING ADD  
EXISTING CONDITIONS**

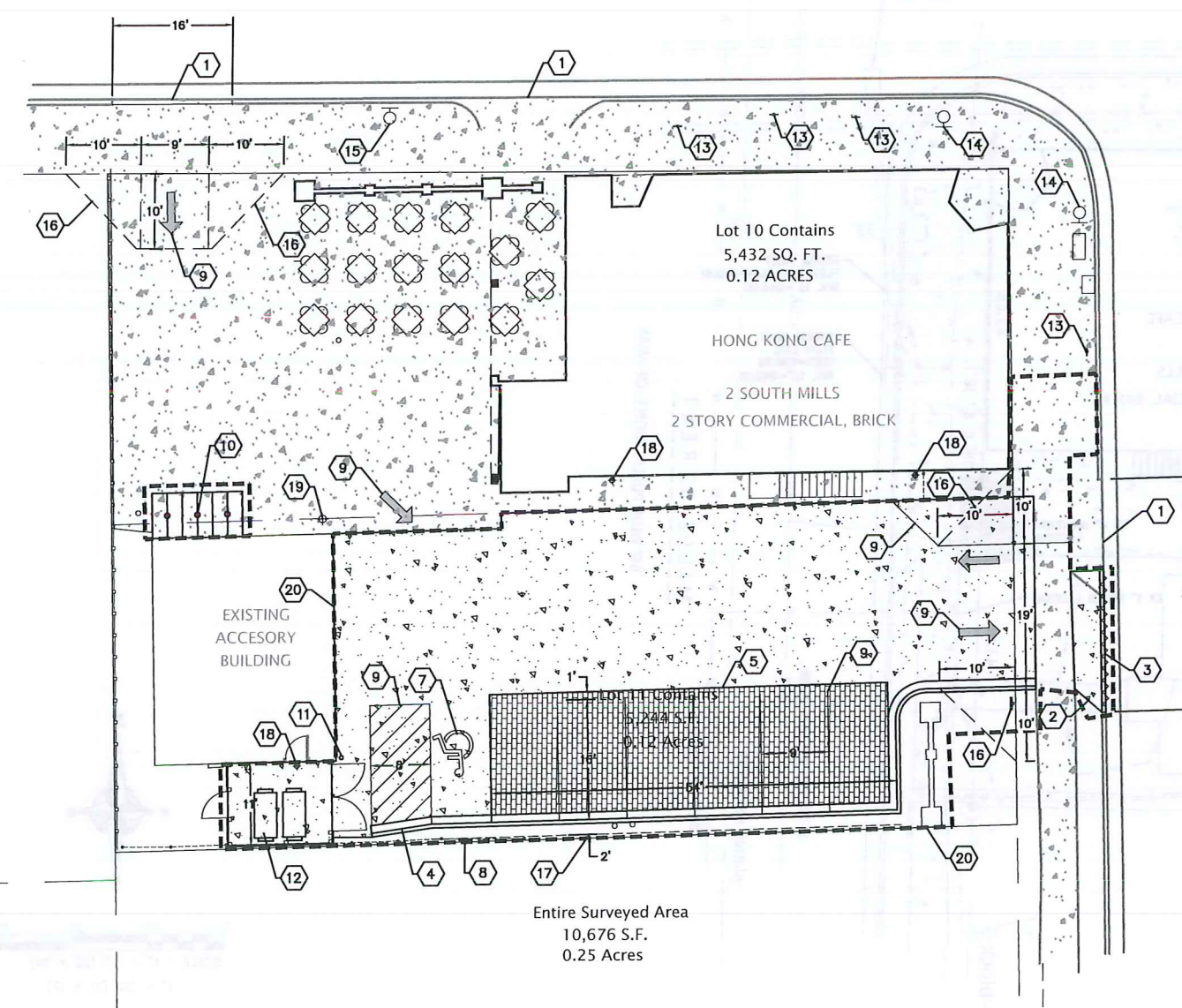
2 S. MILLS STREET  
MADISON, WISCONSIN

C100





REGENT STREET



Entire Surveyed Area  
10,676 S.F.  
0.25 Acres

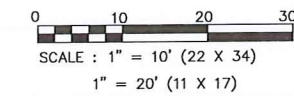
PLAN KEY

- 1 EXISTING DRIVEWAY APRON TO REMAIN
- 2 EXTEND CONCRETE DRIVEWAY APRON & CUT CURB PER CITY REQUIREMENTS
- 3 SAW CURB CUT
- 4 18" CURB AND GUTTER
- 5 PERMEABLE PAVERS
- 6 STOP SIGN
- 7 HANDICAP ACCESSIBLE PARKING STALL
- 8 HANDICAP ACCESSIBLE SIGN
- 9 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE HIGH VISIBILITY LATEX PAINT, TYP
- 10 TWO (2) DERO PART# BH-FT-EPX BIKE RACKS IN GROUND POWDER COAT FINISH (6 STALLS TOTAL)
- 11 BOLLARD
- 12 DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS
- 13 EXISTING BIKE RACK
- 14 EXISTING TRAFFIC POLE
- 15 EXISTING LIGHT POLE
- 16 VISION TRIANGLE
- 17 2' PARKING OVERHANG
- 18 NEW WALL MOUNTED EXTERIOR LIGHT, SEE ARCHITECTURAL PLANS
- 19 EXISTING LIGHT POLE TO REMAIN
- 20 CONSTRUCTION LIMITS

- CONCRETE PAVEMENT
- EXISTING CONCRETE
- PERMEABLE PAVERS
- SAW CUT CURB

SITE INFORMATION

PROJECT SURFACE AREA = 10,676 SF  
EXISTING IMPERVIOUS AREA = 8,971 SF  
PROPOSED IMPERVIOUS AREA = 79 SF  
TOTAL IMPERVIOUS AREA = 9,050 SF  
IMPERVIOUS SURFACE % = 84.8%  
(DOES NOT INCLUDE PERMEABLE PAVERS)  
NUMBER OF PARKING STALLS: 7 (1 HC)  
TOTAL BIKE PARKING:  
EXISTING: 6 STALLS  
PROPOSED: 6 STALLS  
TOTAL: 14 STALLS



ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	10-30-18

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HONG KONG CAFE PARKING ADD

SITE PLAN

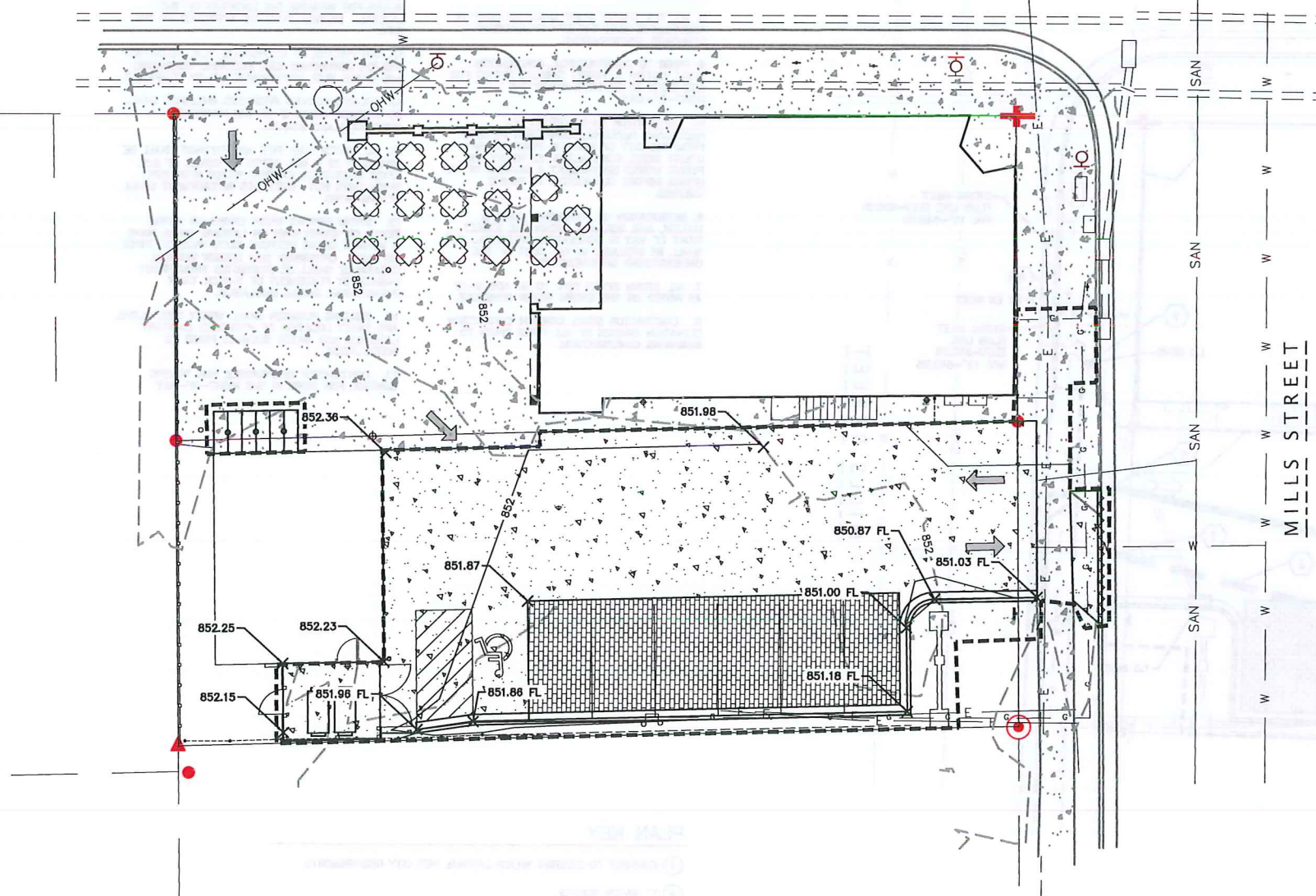
2 S. MILLS STREET  
MADISON, WISCONSIN

C200





REGENT STREET



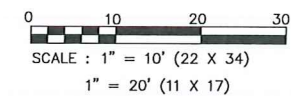
#### PLAN KEY

- 1 EXISTING DRIVEWAY APRON TO REMAIN
- 2 EXTEND CONCRETE DRIVEWAY APRON & CUT CURB PER CITY REQUIREMENTS
- 3 SAW CURB CUT
- 4 18" CURB AND GUTTER
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- 8 HANDICAP ACCESSIBLE SIGN
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- 11 2' PARKING OVERHANG
- 12 DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS
- 13 EXISTING BIKE RACK
- 14 EXISTING TRAFFIC POLE
- 15 EXISTING LIGHT POLE
- 16 CONSTRUCTION LIMITS

- EXISTING ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- EXISTING CONCRETE
- PERMEABLE PAVERS
- SAW CUT CURB

#### SITE INFORMATION

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PROPOSED IMPERVIOUS AREA = 79 SF  
TOTAL IMPERVIOUS AREA = 9,050 SF  
IMPERVIOUS SURFACE % = 84.8%  
(DOES NOT INCLUDE PERMEABLE PAVERS)  
NUMBER OF PARKING STALLS: 7 (1 HC)  
TOTAL BIKE PARKING:  
EXISTING: 8 STALLS  
PROPOSED: 4 STALLS



HONG KONG CAFE PARKING ADD  
GRADING PLAN

2 S. MILLS STREET  
MADISON, WISCONSIN

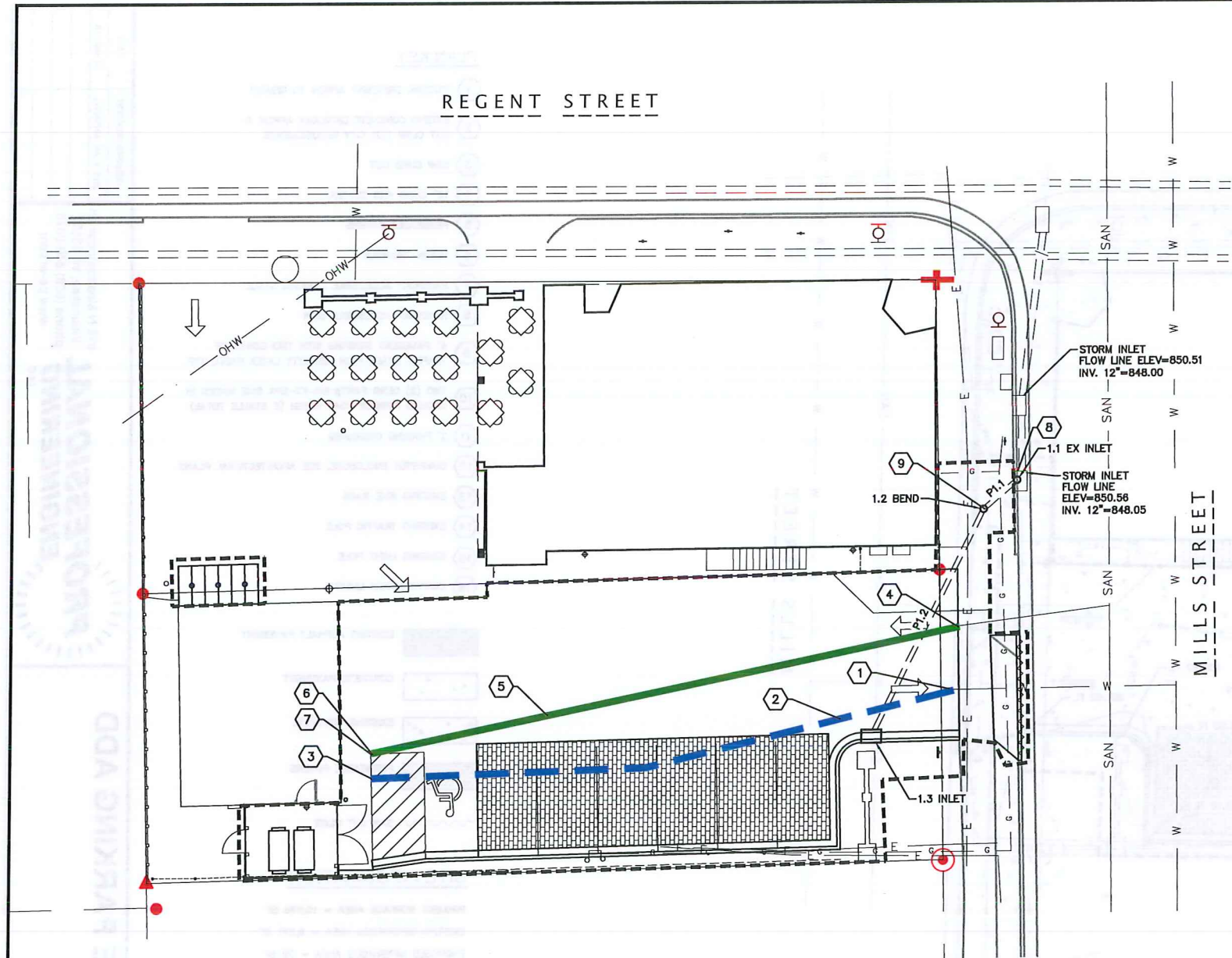
C300

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ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	10-30-18





STRUCTURE TABLE					
STRUCTURE NAME	SIZE	TOP OF CASTING	PIPES IN	PIPES OUT	CASTING
1.1 EX INLET		850.60	P1.1, 8" INV IN =848.05		
1.2 BEND		851.23	P1.2, 8" INV IN =848.11	P1.1, 8" INV OUT =848.10	
1.3 INLET	2X3-FT	851.35		P1.2, 8" INV OUT =848.38	NEENAH R-3067

PIPE TABLE						
NAME	SIZE	LENGTH	SLOPE	MATERIAL	START INVERT ELEVATION	END INVERT ELEVATION
P1.1	8"	7'	0.70%	ADS N-12	848.10'	848.05'
P1.2	8"	38'	0.70%	ADS N-12	848.38'	848.11'

UTILITY NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF PREVIOUS PLANS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS.
4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY OF MADISON PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
6. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
7. ALL STORM SEWER PIPE TO BE ADS N-12 AS NOTED ON THE STORM SEWER SCHEDULE.
8. CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
9. PRIVATE WATER MAIN 4" AND LARGER SHALL BE DUCTILE IRON OR C900 PVC. WATER SERVICES 2" AND SMALLER SHALL BE TYPE K, COPPER.
10. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
11. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
12. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
13. UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED WITHIN 5' OF THE PROPOSED BUILDING(S) AND STAKED.
14. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
15. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
16. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.
17. CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY

PLAN KEY

1. CONNECT TO EXISTING WATER LATERAL PER CITY REQUIREMENTS
2. 1" WATER SERVICE
3. CONNECT TO BUILDING WATER SERVICE
4. CONNECT TO EXISTING 4" SANITARY LATERAL PER CITY REQUIREMENTS
5. 4" SANITARY SEWER AT 1.04% SLOPE MINIMUM
6. CONNECT TO SANITARY BUILDING SEWER, SEE PLUMBING PLANS
7. CLEANOUT
8. CONNECT TO EXISTING STORM INLET PER CITY REQUIREMENTS
9. BEND



0 10 20 30  
SCALE : 1" = 10' (22 X 34)  
1" = 20' (11 X 17)

HONG KONG CAFE PARKING ADD  
UTILITY PLAN

2 S. MILLS STREET  
MADISON, WISCONSIN

C400

818 N Meadowbrook Ln  
Waunakee, WI 53597  
phone (608) 849-9378  
www.pe-wi.com

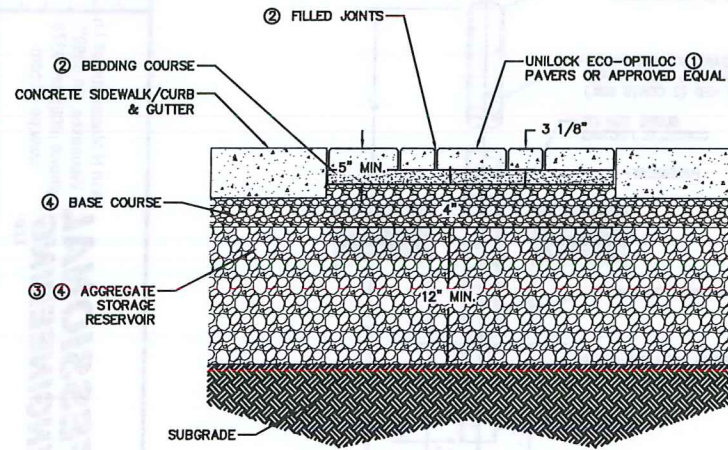
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ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	10-30-18



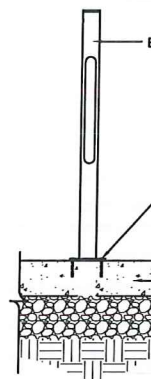
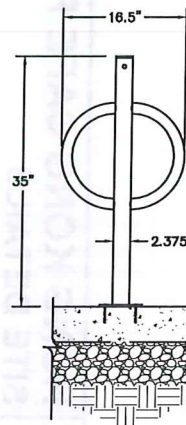
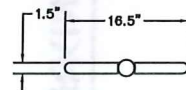
GENERAL NOTES

- ALL PERMEABLE PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1008 (PERMEABLE PAVEMENT) AND MANUFACTURERS RECOMMENDATION
- PAVEMENT SURFACE PERCENT VOIDS SHALL BE LESS THAN 25%.
  - JOINT STONE AND BEDDING COURSE SHALL CONSIST OF ASTM C-33, 8, 9, 89 OR 57 AGGREGATE
  - AGGREGATE STORAGE RESERVOIR DEPTH SHALL BE A MINIMUM OF 12 INCHES.
  - BASE AND/OR SUBBASE COURSES WITH MINIMUM POROSITY OF 30% CAN BE CONSIDERED AGGREGATE STORAGE RESERVOIR. BASE COURSE FOR PERMEABLE INTERLOCKING PAVERS SHALL BE 4.0" DEPTH OF ASTM C-33, 57 AGGREGATE AND CAN BE CONSIDERED PART OF THE AGGREGATE STORAGE DEPTH.

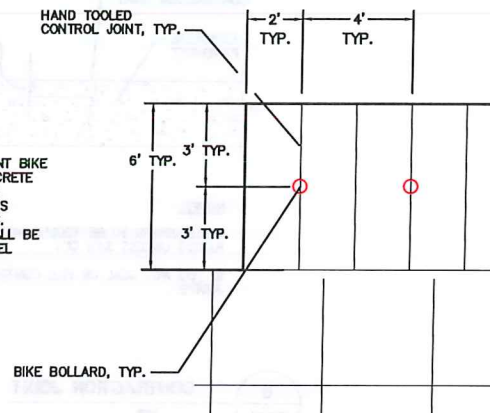


1 PERMEABLE PAVEMENT DETAIL  
C500 NTS

HITCH BIKE RACK  
DERO PART # BH-FT-EPX  
IN SURFACE MOUNT  
POWDER COAT FINISH, OR  
APPROVED EQUAL. COLOR  
BLUE. PROVIDE COLOR  
SAMPLES TO OWNER FOR  
REVIEW & APPROVAL.



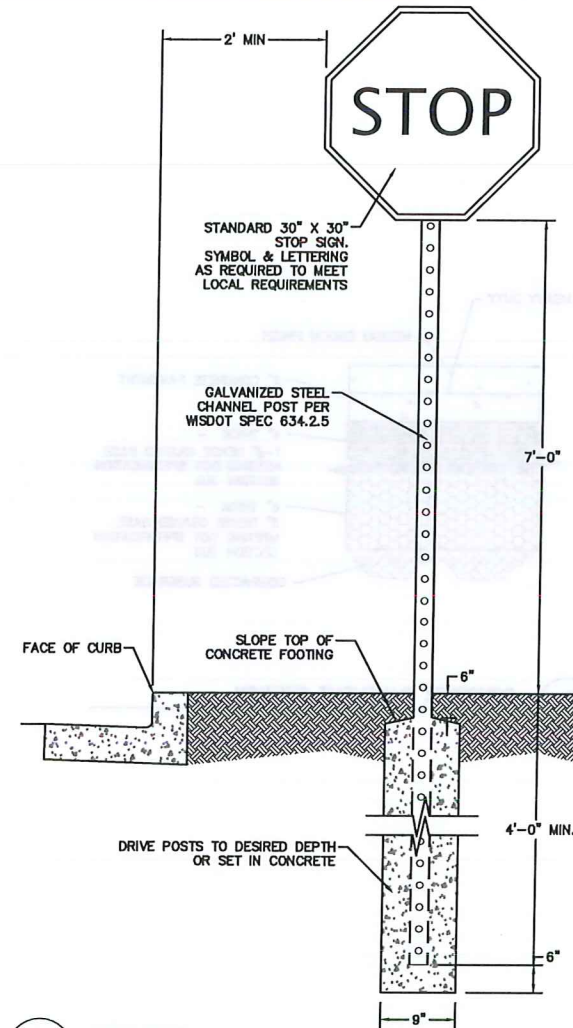
HAND TOOLED  
CONTROL JOINT, TYP.



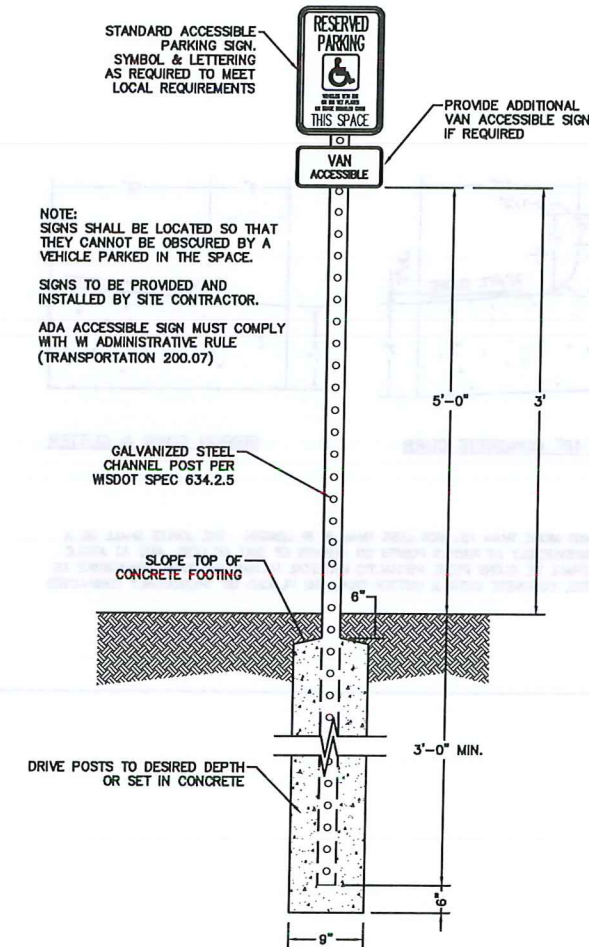
PLAN

4 BICYCLE RACK BOLLARD LAYOUT  
C500 NTS

2 STOP SIGN  
C500 NTS



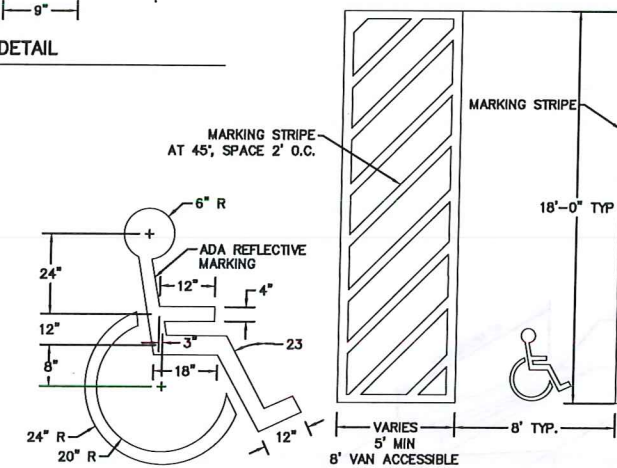
3 ADA SIGN POST DETAIL  
C500 NTS



NOTE:  
SIGNS SHALL BE LOCATED SO THAT  
THEY CANNOT BE OBTAINED BY A  
VEHICLE PARKED IN THE SPACE.

SIGNS TO BE PROVIDED AND  
INSTALLED BY SITE CONTRACTOR.

ADA ACCESSIBLE SIGN MUST COMPLY  
WITH W ADMINISTRATIVE RULE  
(TRANSPORTATION 200.07)



NOTES:

- PAINT MARKINGS TO BE 4" WIDE TYP.
- PAINT COLOR TO BE YELLOW
- MARKINGS SHALL BE THICK ENOUGH TO NOT ALLOW PAINTED MATERIAL TO SHOW THROUGH PAINT SURFACE
- PAINT TO BE TRAFFIC GRADE HIGH VISIBILITY (LATEX) PAINT
- ADA MARKINGS SHALL INCLUDE REFLECTIVE BEADS
- ALL MARKINGS SHALL RECEIVE 2 COATS OF PAINT

5 ACCESSIBLE STALL PAVEMENT MARKING  
C500 NTS

DATE	10-30-18
ISSUANCE/REVISION	
SITE PLAN APPROVAL	

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Waunakee, WI 53597  
phone (608) 849-9378  
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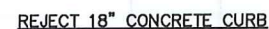
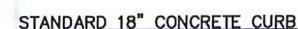
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**HONG KONG CAFE PARKING ADD  
SITE DETAILS**

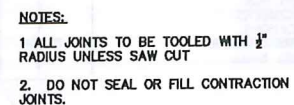
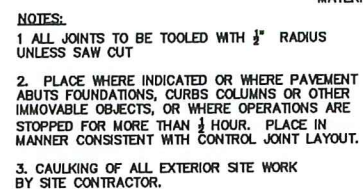
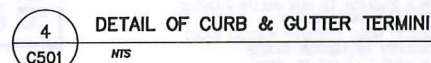
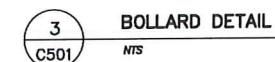
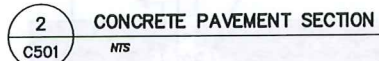
2 S. MILLS STREET  
MADISON, WISCONSIN

C500

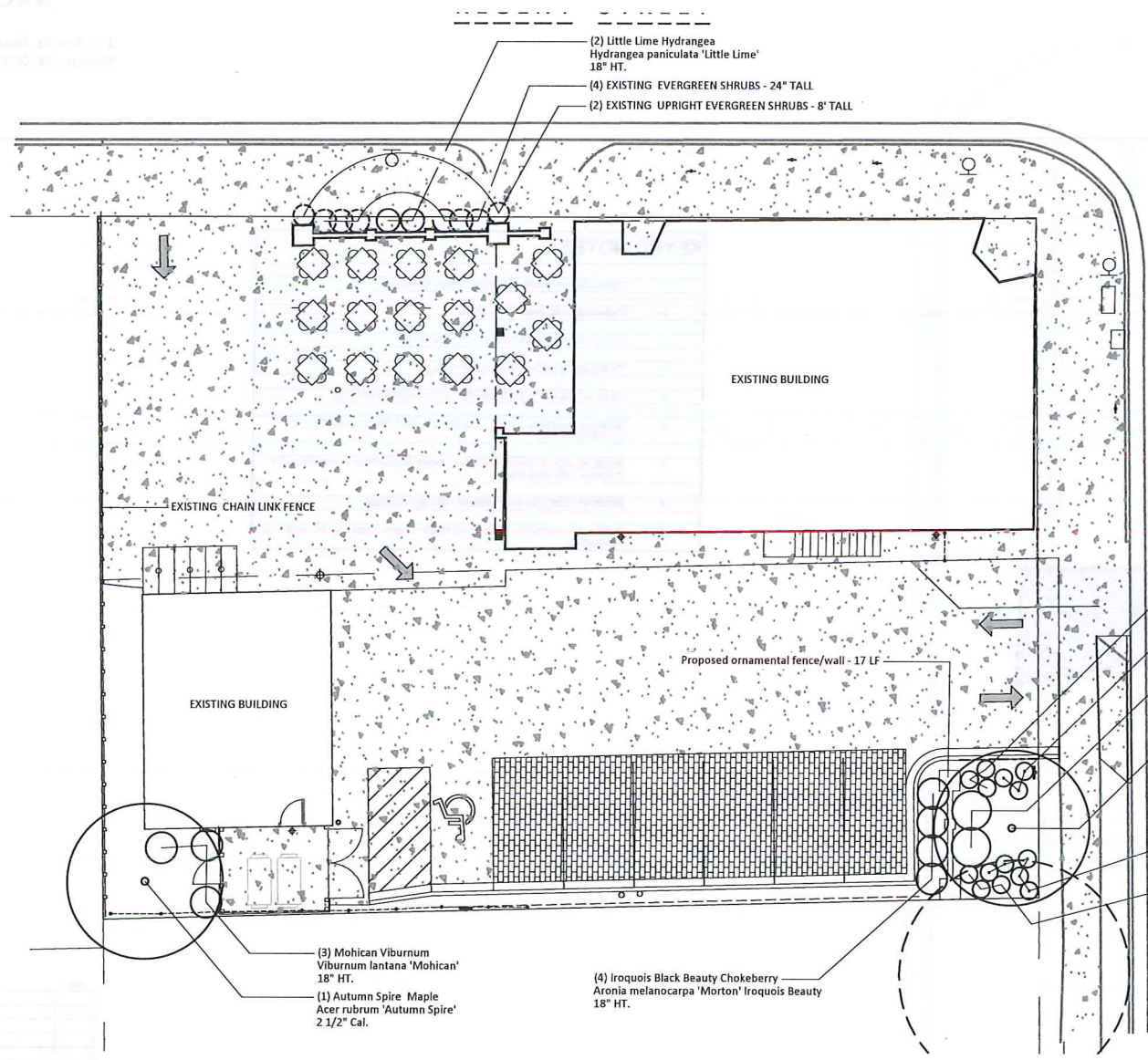




1 CURB & GUTTER  
C501 NTS







1 LANDSCAPE PLAN

- GENERAL NOTES:**
1. Trees and shrub groupings are to receive wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
  2. "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix, EarthCarpet Corporation. ([www.seedsolutions.com](http://www.seedsolutions.com))
  3. Landscape Contractor shall provide regular maintenance until a date 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.
  4. Landscape Contractor shall guarantee to replace once, without charge, any plant material that dies within one year of installation providing the Owner gives normal plant care (regular watering). The Owner must report plant losses within the guarantee period.

**Landscape Calculations and Distribution (Site is TSS Zoning):**

Five (5) landscape points shall be provided per each (300) sf of developed area  
Total sf of developed area = 6,565 sf  
Developed area divided by (300) x 5 = 110 Points Required

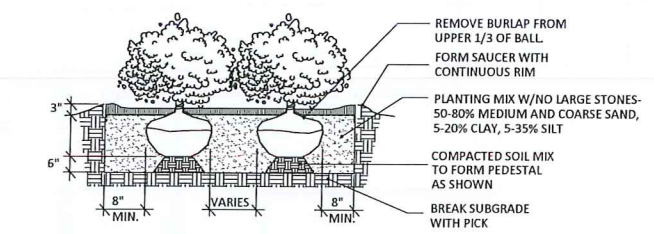
**Development Frontage Landscaping**  
Total lf of lot frontage = 210  
Required Trees = 7  
Required Shrubs = 35

Provided Trees = 1  
Provided Shrubs = 4 existing

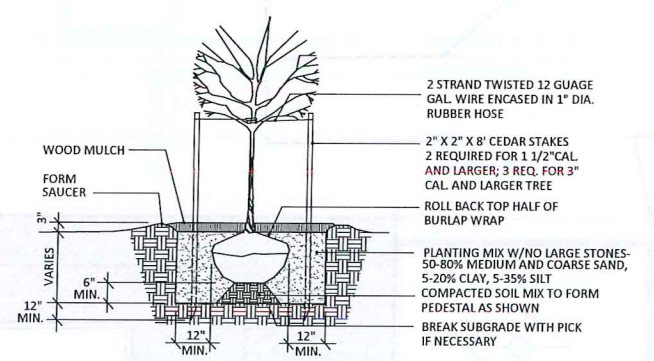
Note: Project Team requests zoning administrator waive the development frontage landscape requirements due to the building facade directly abutting the existing sidewalk as well as the existing conditions of the site being almost entirely concrete bounded to the frontage/property lines.

Tabulation of Points and Credits:					
Plant Type/Element	Min. size	Points	Existing Qty.	Pls.	Proposed Qty.
Overstory Deciduous Tree	2 1/2" cal.	35	-	-	2
Ornamental tree	1 1/2" cal.	15	-	-	-
Upright evergreen shrub	3-4 feet tall	10	2	20	-
Shrub, deciduous	18" or 3 gal.	3	-	-	11
Shrub, evergreen	18" or 3 gal.	4	4	16	-
Ornamental grasses	18" or 3 gal.	2	-	-	6
Ornamental fence or wall	na	4 per 10 lf	-	-	1.7
Total			36		121

157 Total Points Provided (110 Required)



2 SHRUB PLANTING



3 TREE PLANTING

ISSUANCE/REVISION

DATE

SITE PLAN APPROVAL

10-30-18

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Waukegan, WI 53597  
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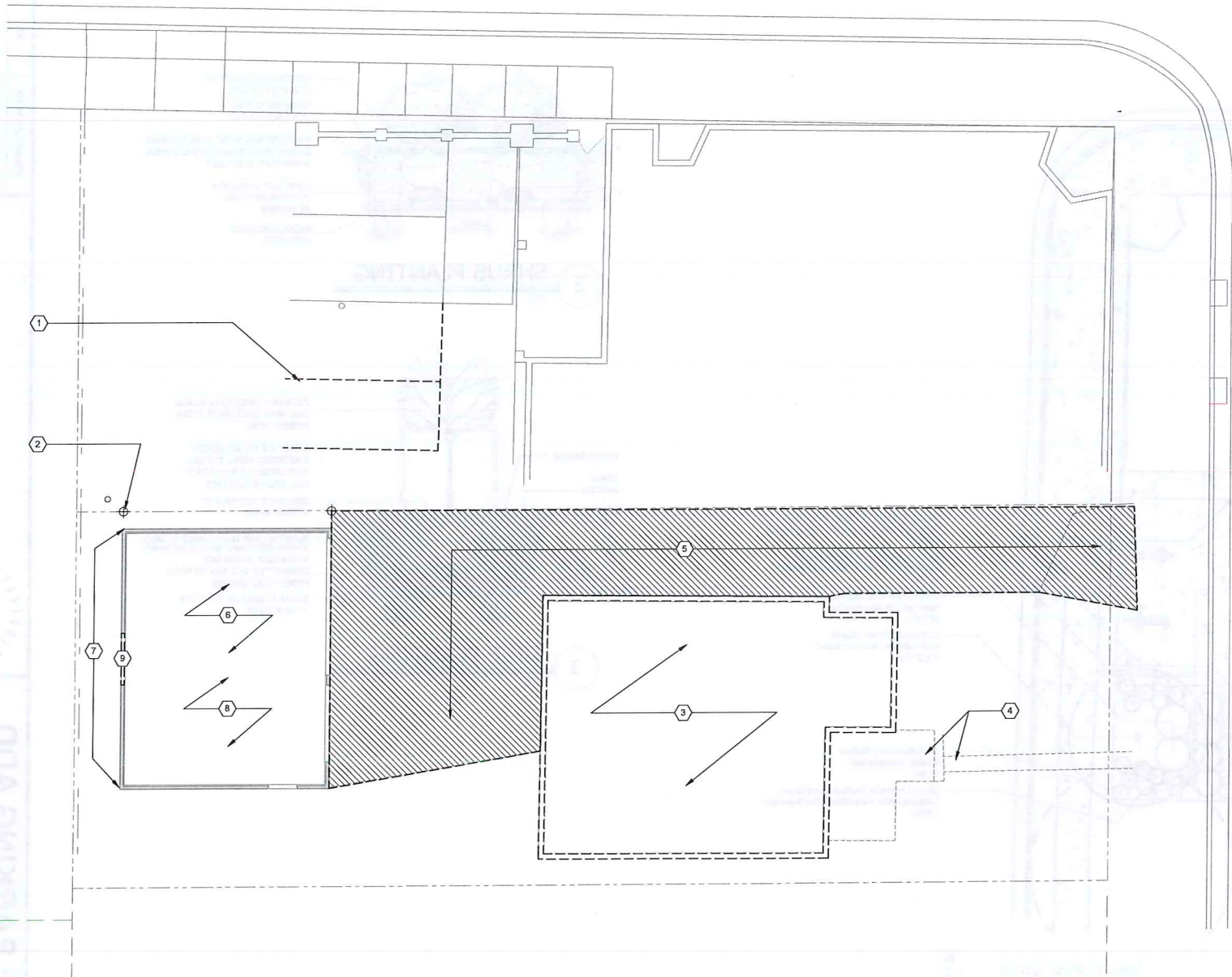
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HONG KONG CAFE PARKING ADD  
LANDSCAPE PLAN

2 S. MILLS STREET  
MADISON, WISCONSIN

L100





KEYED NOTES	
1	DEMOLISH PARKING STALLS SHOWN DASHED
2	DEMOLISH EXISTING LIGHT POLE
3	DEMOLISH EXISTING HOUSE IN ITS ENTIRETY
4	DEMOLISH EXISTING PORCH AND WALK
5	DEMOLISH EXISTING CONCRETE DRIVE SHOWN HATCHED
6	REMOVE EXISTING SOFFIT, FASCIA, GUTTERS AND DOWNSPOUTS - ENTIRE GARAGE
7	REMOVE SIDING, SHEATHING, AND RIGID INSULATION DOWN TO BARE STUDS - THIS SIDE ONLY
8	REMOVE EXISTING VINYL SIDING - ENTIRE GARAGE
9	DEMOLISH PORTION OF WALL TO ACCEPT NEW WINDOW - SUPPORT AS REQUIRED

No.	Description	Date

HONG KONG CAFE  
CONDITIONAL USE  
ALTERATION

2 S MILLS ST,  
MADISON, WI 53715

DEMOLITION SITE  
PLAN

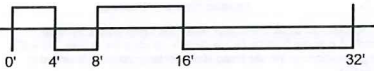
NOT FOR CONSTRUCTION	
Project number	HKC-18-01
Date	10/31/2018

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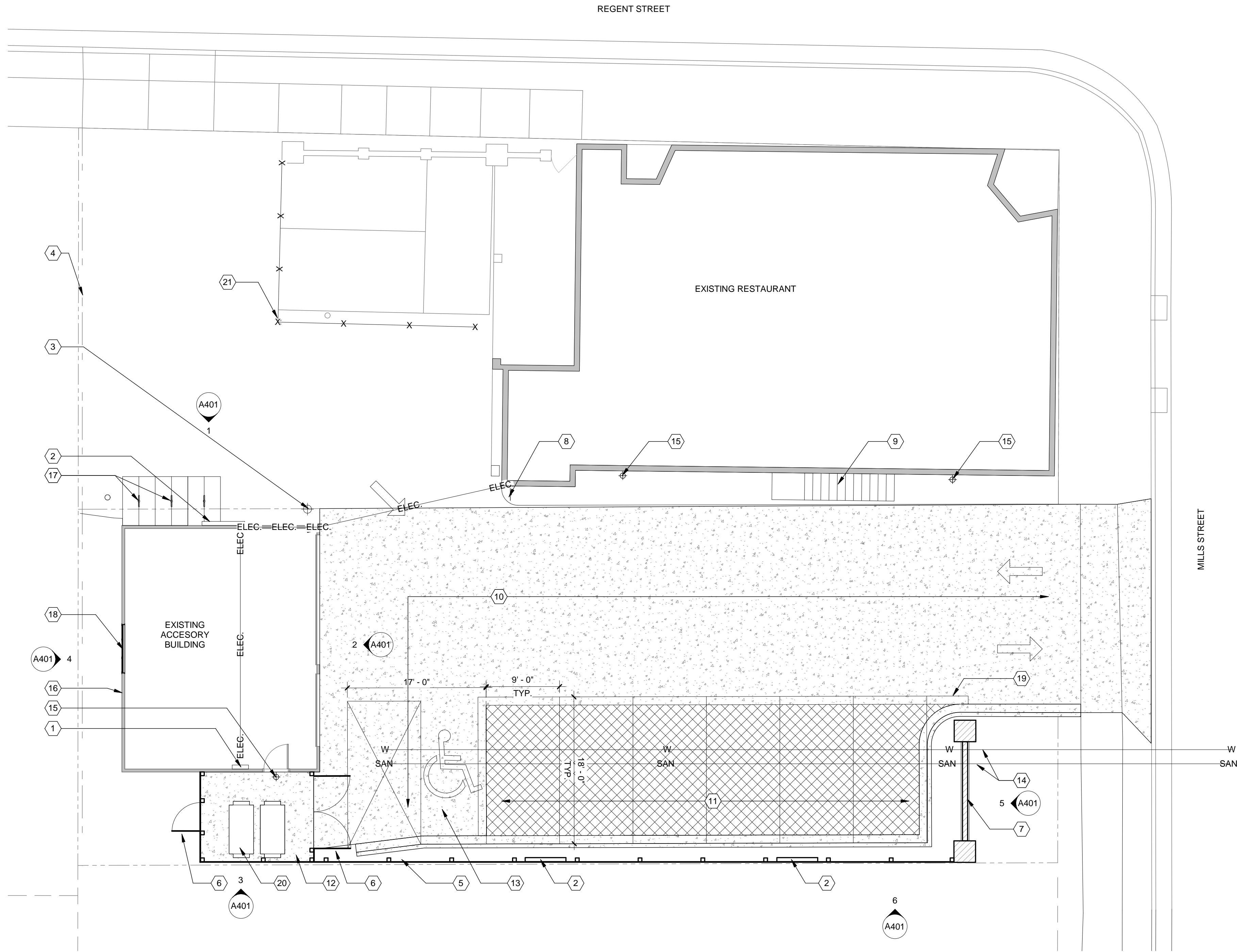


DEMOLITION SITE PLAN

1/8" = 1'-0"







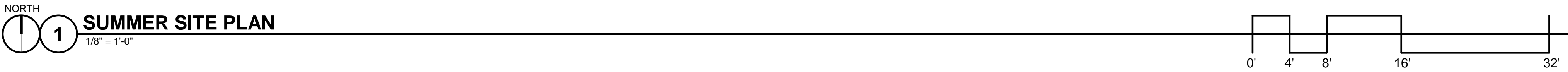
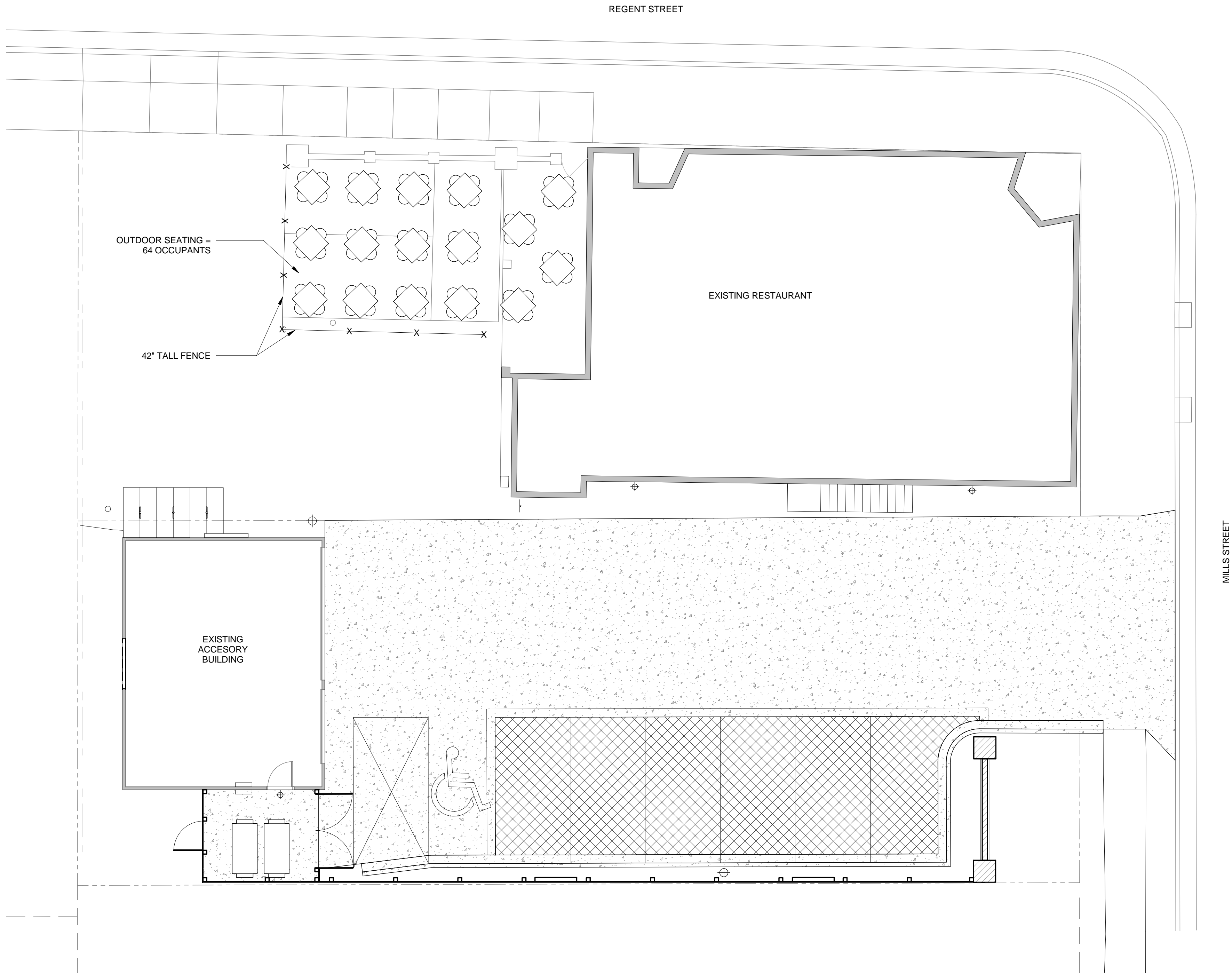
LAND USE SUMMARY	
(INCLUDES PROPERTIES OF 2 S MILLS ST. AND 8 S MILLS ST.)	
BUILDING AREA:	
RESTAURANT:	2,464 SF
APARTMENTS:	2,400 SF
ACCESSORY BUILDING:	679 SF

ALTERNATES	
ALT #1 - ASPHALT DRIVE IN LIEU OF CONCRETE - PROVIDE 1' CONCRETE BOARDER AROUND PERMEABLE PAVERS - TRASH ENCLOSURE PAD AND CURB TO REMAIN AS NEW CONCRETE	

KEYED NOTES	
1	NEW ELECTRICAL PANEL - EXTEND SERVICE FROM EXISTING BUILDING
2	OFCI OUTDOOR MONITOR
3	EXISTING LIGHT POLE TO REMAIN
4	EXISTING 6' TALL CHAIN LINK FENCE
5	6' HIGH CEDAR FENCE W/ HORIZONTAL FENCE BOARDS
6	6' HIGH CEDAR TRASH ENCLOSURE GATE W/ HORIZONTAL FENCE BOARDS
7	BRICK FENCE
8	SIGN "DO NOT ENTER"
9	EXISTING FIRE ESCAPE TO REMAIN
10	NEW CONCRETE DRIVE OR ALT #1
11	NEW PERMEABLE PAVER PARKING STALLS
12	NEW CONCRETE PAD FOR TRASH ENCLOSURE
13	VAN ACCESSIBLE PARKING STALL AND ACCESS ISLE
14	STUB IN SANITARY AND WATER SUPPLY LINES UNDER PARKING LOT AND CAP UNDER ACCESSIBLE PARKING STALL ACCESS ISLE
15	NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE
16	1 HOUR FIRE RATED EXTERIOR WALL
17	NEW BIKE RACK
18	NEW TRIPLE CASEMENT WINDOW WITH FIXED CENTER PANEL
19	ALT #1 CONCRETE BOARDER AROUND PERMEABLE PAVERS
20	TRASH/RECYCLING ENCLOSURE
21	42" TALL FENCE FOR SEASONAL EATING AREA

No.	Description	Date





No.	Description	Date

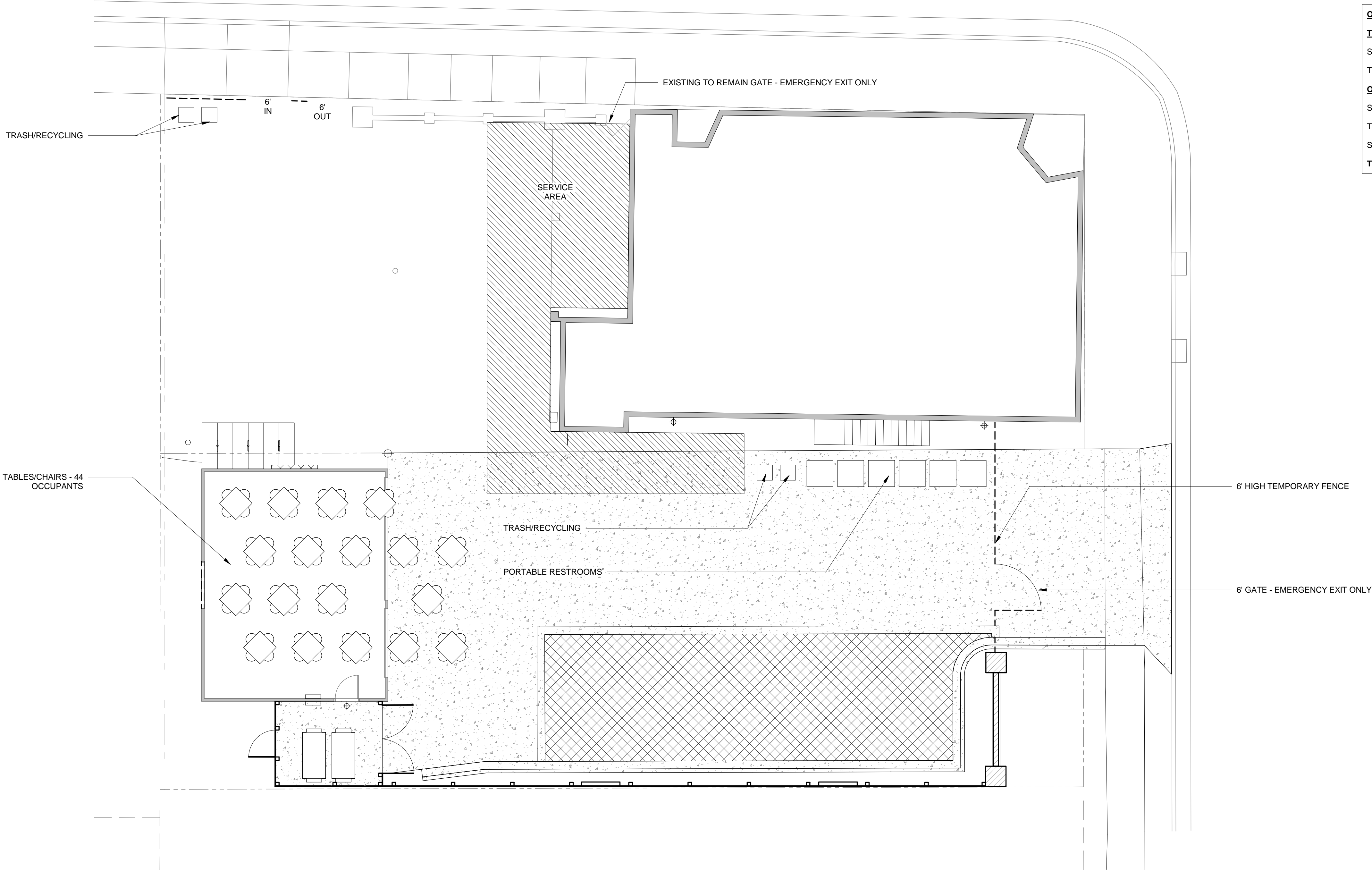
HONG KONG CAFE  
CONDITIONAL USE  
ALTERATION

2 S MILLS ST,  
MADISON, WI 53715

SUMMER SITE PLAN

NOT FOR CONSTRUCTION		
Project number	HKC-18-01	
Date	10/31/2018	





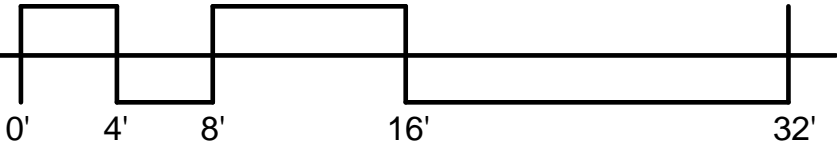
OUTDOOR AREA STATISTICS	
TOTAL AREA:	
STANDING ROOM:	4420 SF
TABLES/CHAIRS:	1086 SF
OCCUPANCY CALCULATIONS:	
STANDING ROOM:	4420 SF @ 1 PER 5 SF: 884 OCCUPANTS
TABLES/CHAIRS:	1086 SF @ 1 PER 25 SF: 44 OCCUPANTS
STAFF TOTAL (OPEN AND SERVICE AREAS):	10 OCCUPANTS
TOTAL OCCUPANTS:	884 + 44 + 10 = 938 OCCUPANTS

NORTH

1

GAME DAY FOOD GARDEN

1/8" = 1'-0"



No.	Description	Date

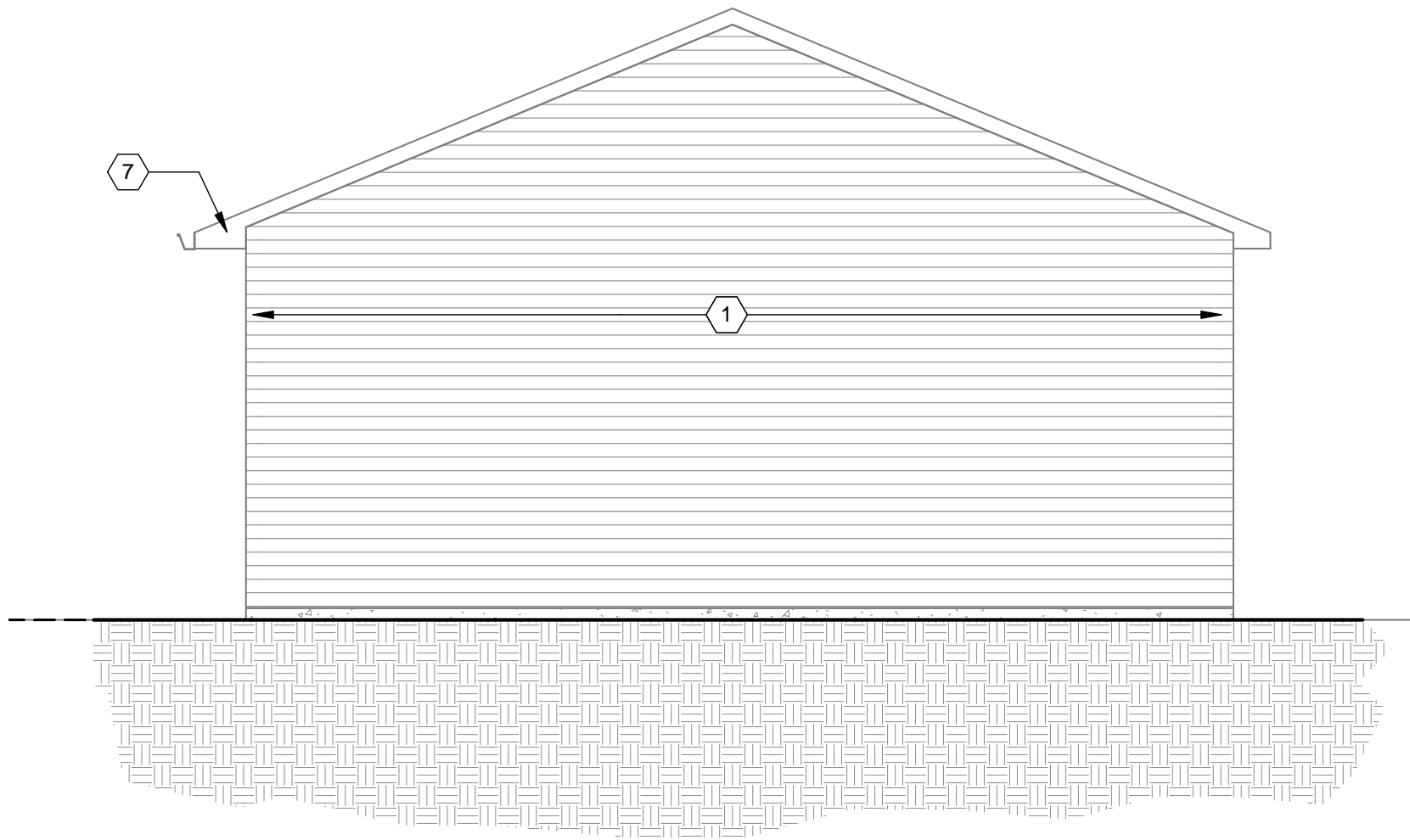
HONG KONG CAFE  
CONDITIONAL USE  
ALTERATION

2 S MILLS ST,  
MADISON, WI 53715

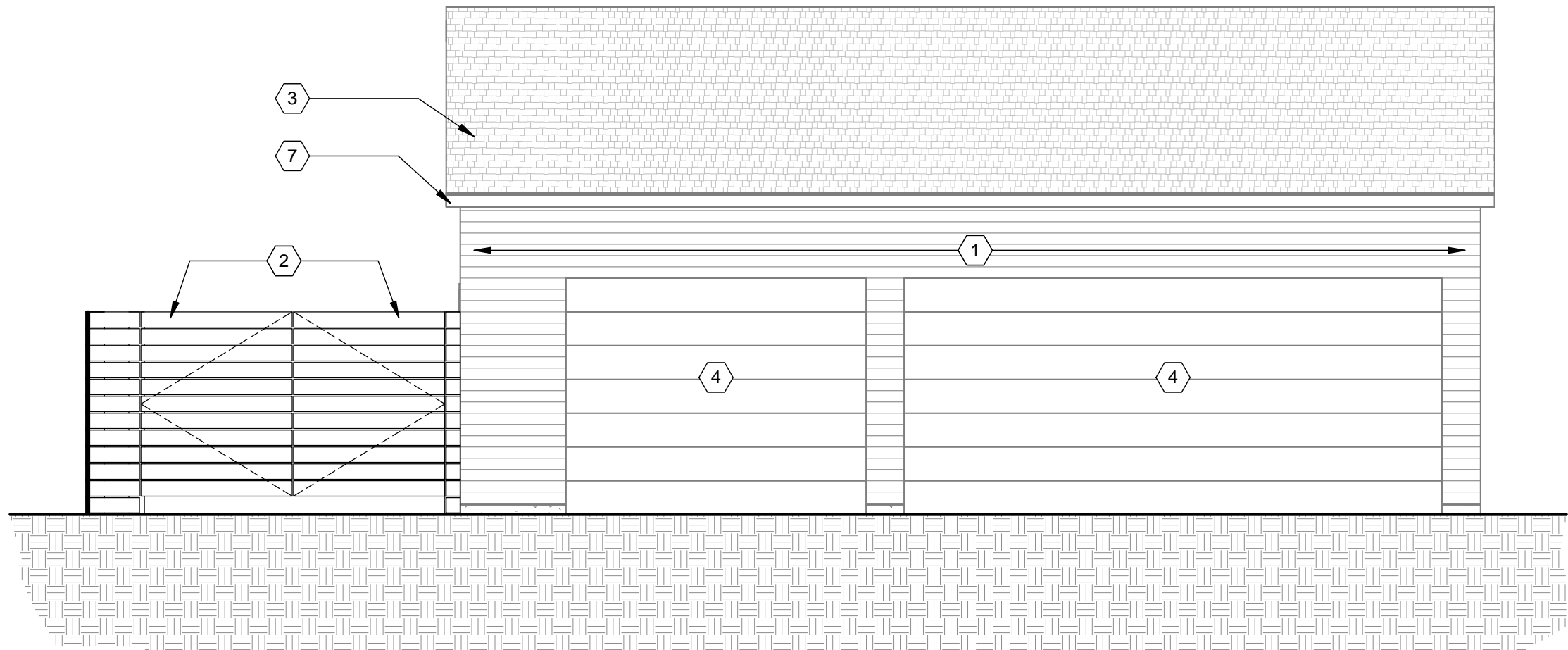
GAME DAY SITE  
PLAN

NOT FOR CONSTRUCTION	
Project number	HKC-18-01
Date	10/31/2018

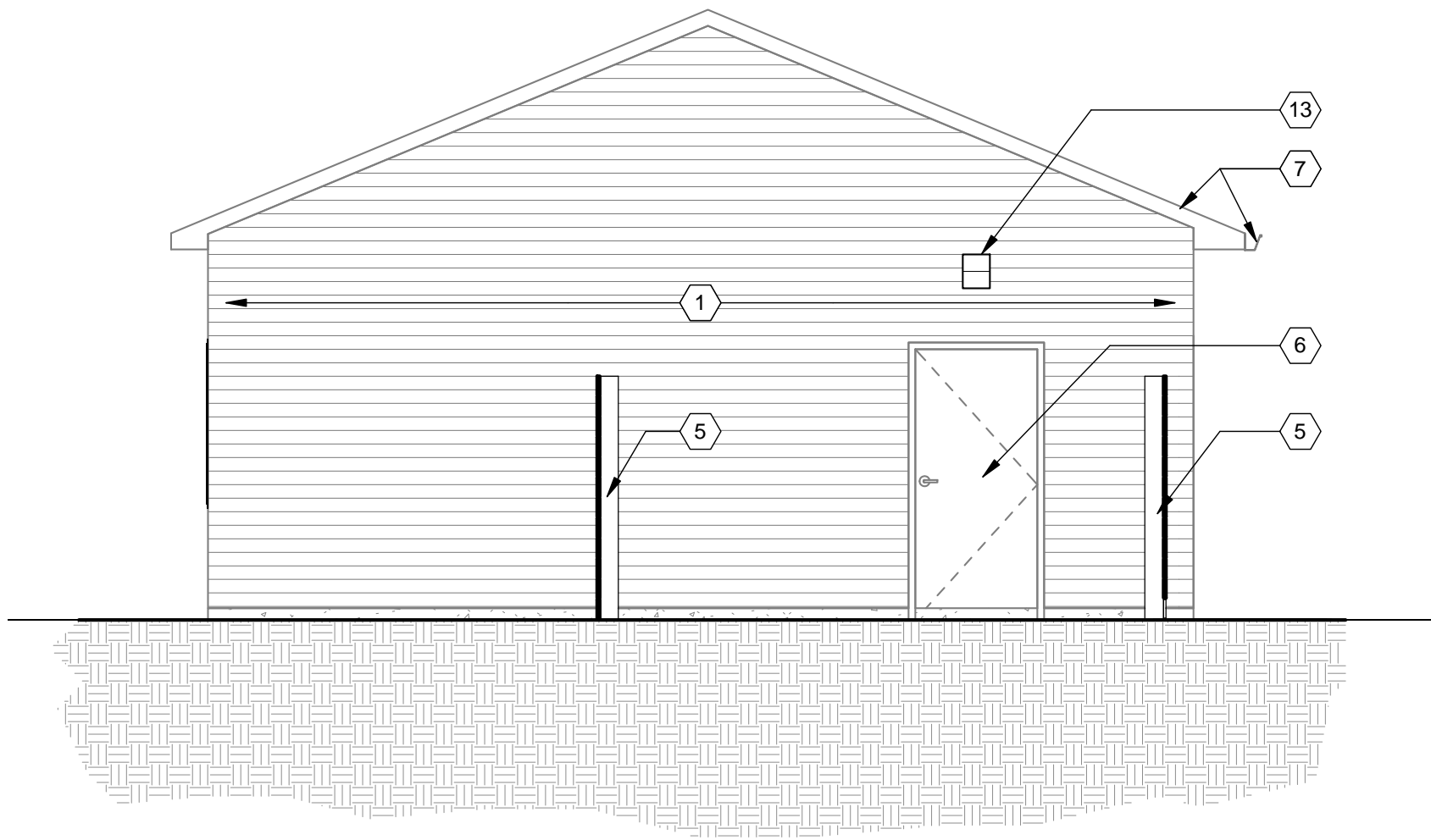




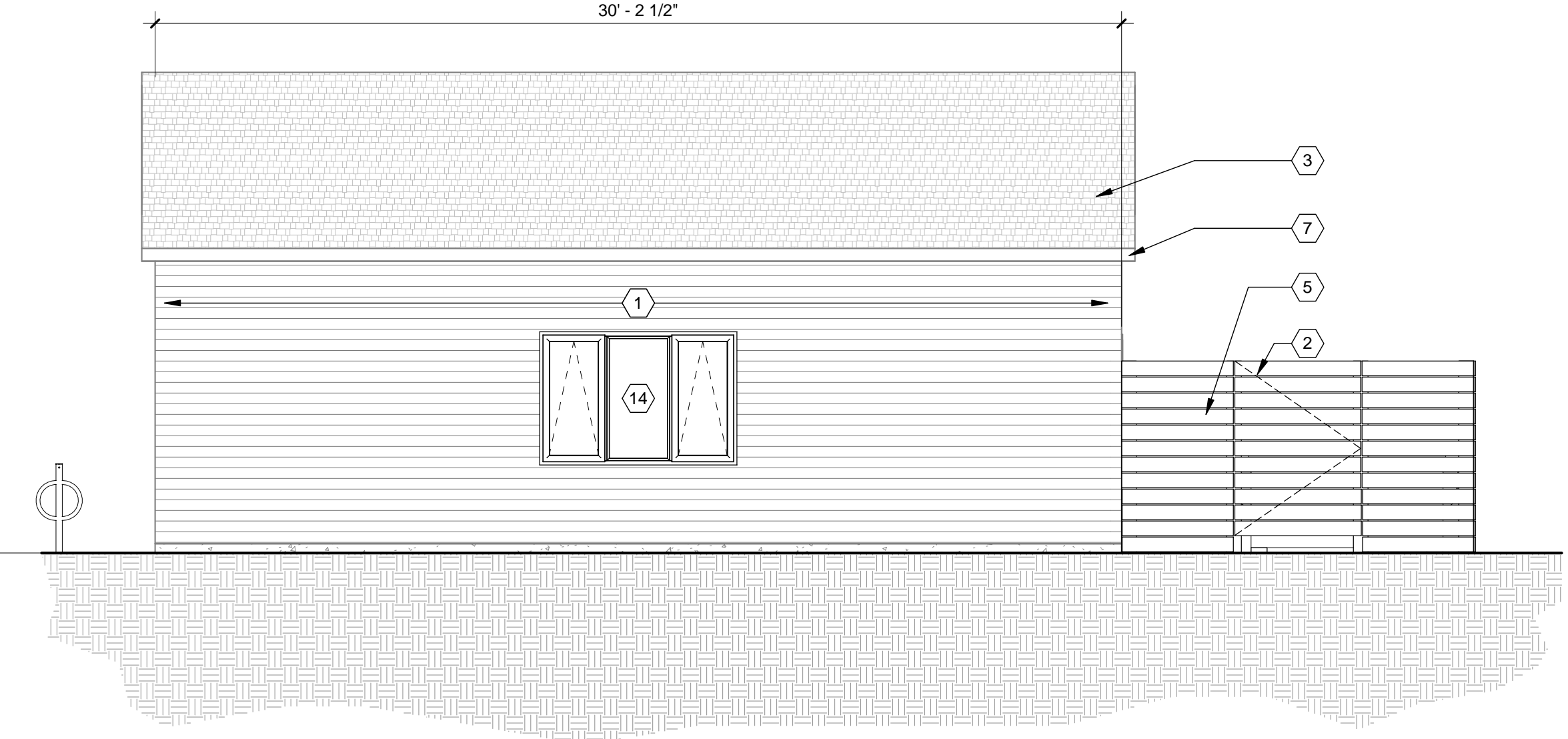
1 NORTH GARAGE ELEVATION  
1/4" = 1'-0"



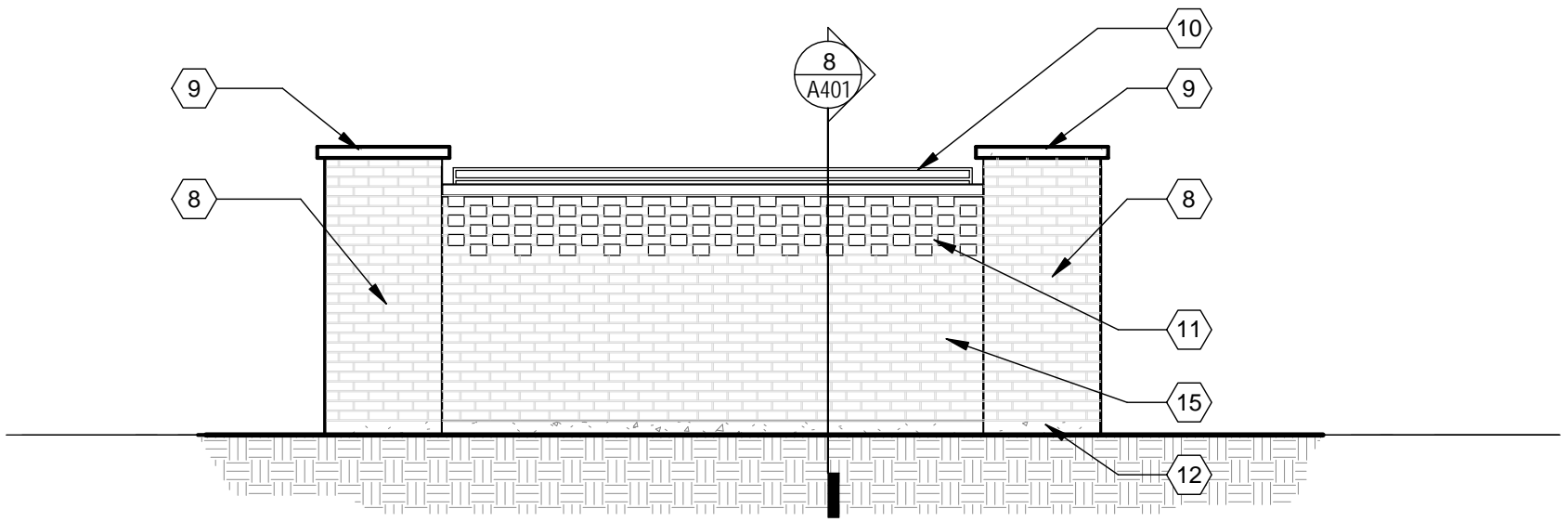
2 EAST GARAGE ELEVATION  
1/4" = 1'-0"



3 SOUTH GARAGE ELEVATION  
1/4" = 1'-0"



4 WEST GARAGE ELEVATION  
1/4" = 1'-0"



5 BRICK FENCE ELEVATION  
1/4" = 1'-0"

MATERIAL PALETTE

LIMESTONE TO MATCH EXISTING

BRICK TO MATCH EXISTING

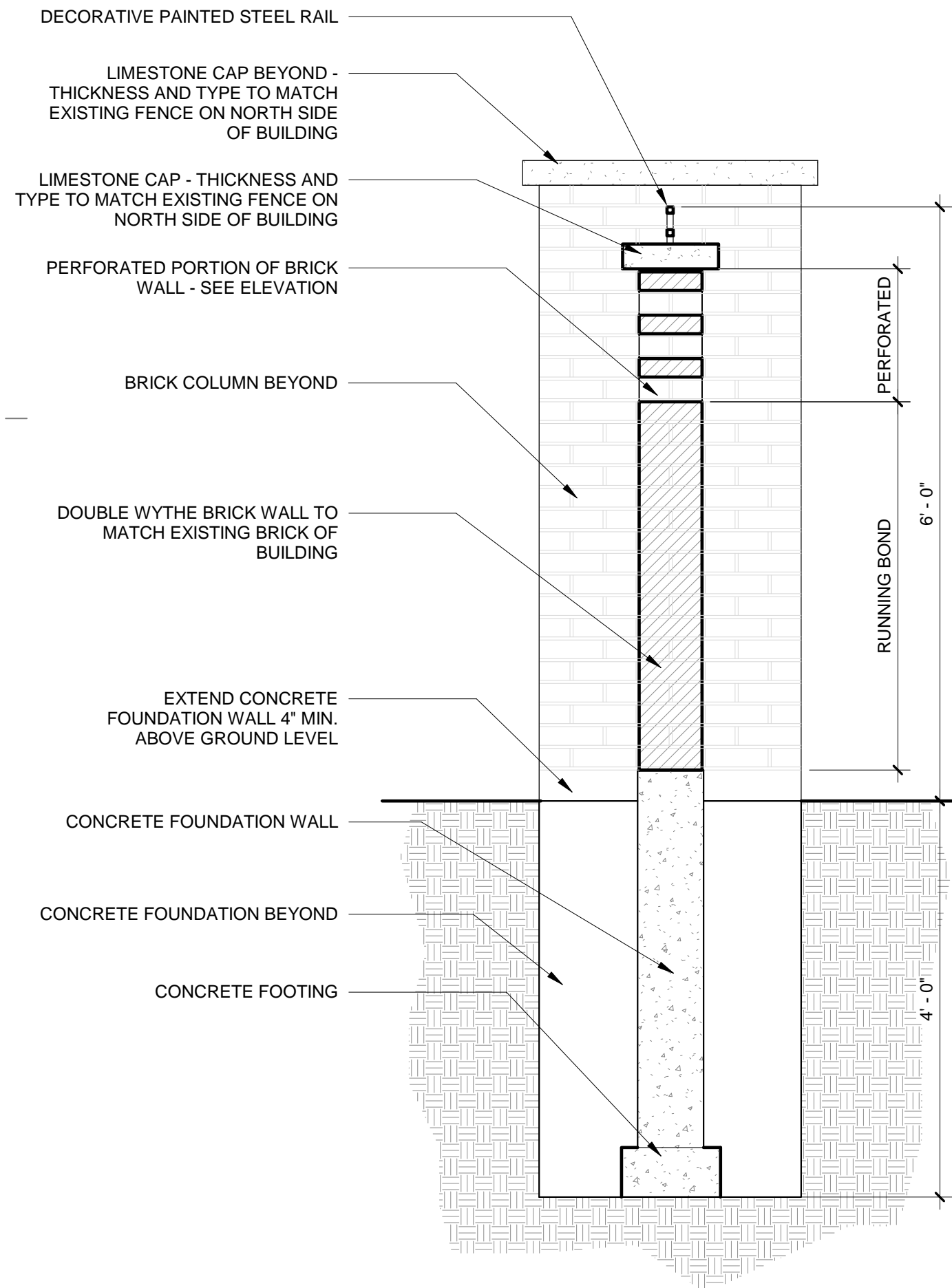
CEDAR FENCE

FIBERCEMENT SIDING

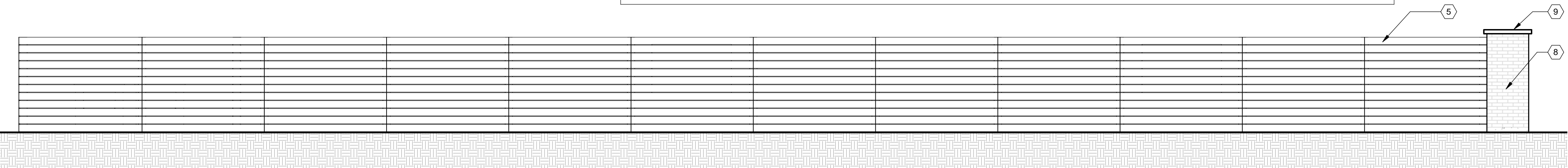
TRIM/DOOR/GUTTERS/ SOFFIT/FASCIA

EXISTING ASPHALT ROOFING

KEYED NOTES	
1	NEW CEMENT BOARD LAP SIDING
2	6' HIGH CEDAR TRASH ENCLOSURE GATE W/ HORIZONTAL FENCE BOARDS
3	EXISTING ASPHALT SHINGLES TO REMAIN
4	EXISTING OVERHEAD GARAGE DOORS TO REMAIN - PAINTED TO MATCH NEW SOFFIT AND FASCIA COLOR
5	6' HIGH CEDAR FENCE W/ HORIZONTAL FENCE BOARDS
6	EXISTING HOLLOW METAL DOOR TO REMAIN - PAINTED TO MATCH NEW SOFFIT AND FASCIA COLOR
7	NEW SOFFIT, FASCIA, GUTTER AND DOWNSPOUT
8	COLUMN - BRICK TO MATCH EXISTING BUILDING
9	LIMESTONE CAP
10	DECORATIVE PAINTED STEEL RAIL
11	PERFORATED BRICK WALL - LEAVE 4 1/2" GAP BETWEEN BRICKS - BRICK TO MATCH EXISTING BUILDING
12	TOP OF CONCRETE FOUNDATION WALL
13	NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE
14	NEW TRIPLE CASEMENT WINDOW - FIXED CENTER WINDOW
15	DOUBLE WYTHE BRICK WALL TO MATCH EXISTING BRICK OF BUILDING



8 BRICK FENCE SECTION  
3/4" = 1'-0"



6 SOUTH CEDAR FENCE ELEVATION  
1/4" = 1'-0"

No.	Description	Date

HONG KONG CAFE  
CONDITIONAL USE  
ALTERATION

2 S MILLS ST,  
MADISON, WI 53715

ELARGED PLANS,  
ELEVATIONS, AND  
DETAILS

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