# CHILD & ADOLESCENT PSYCHIATRY EXPANSION

UNITYPOINT HEALTH - MERITER MADISON, WISCONSIN

LAND USE

FINAL APPROVAL APPLICATION AUGUST 1, 2018 (RESUBMITTED SEPTEMBER 28, 2018)



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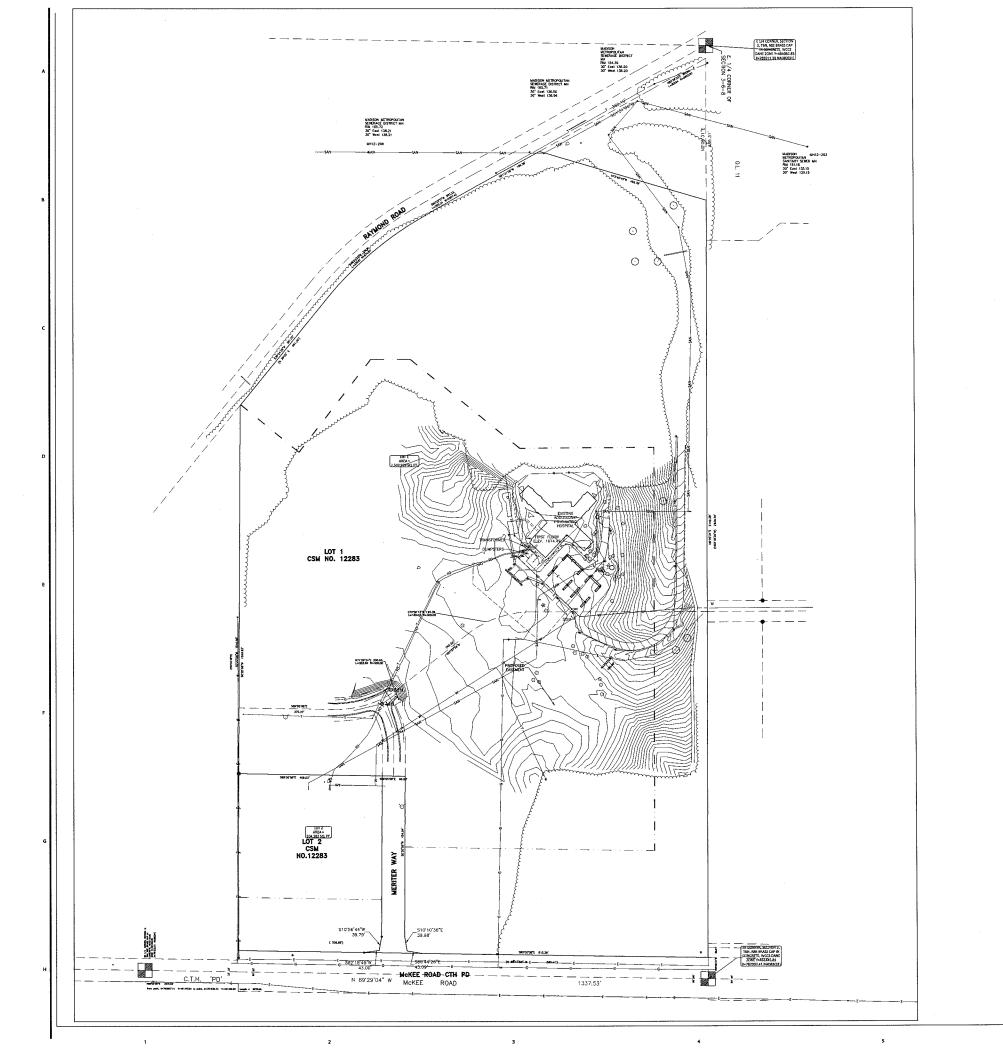
SITE LOCATION MAP

UnityPoint Health
Meriter

Child & Adolescent Psychiatry Facility Expansion



Sheet Title
TITLE SHEET



離職 UnityPoint Health 観報 Meriter ・ WHealth

Child & Adolescent Psychiatry

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LOT 1, CSM 12283, DOCUMENT NO. 4366425, VOLUME 25, PAGES 99-102

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UNDERGROUND
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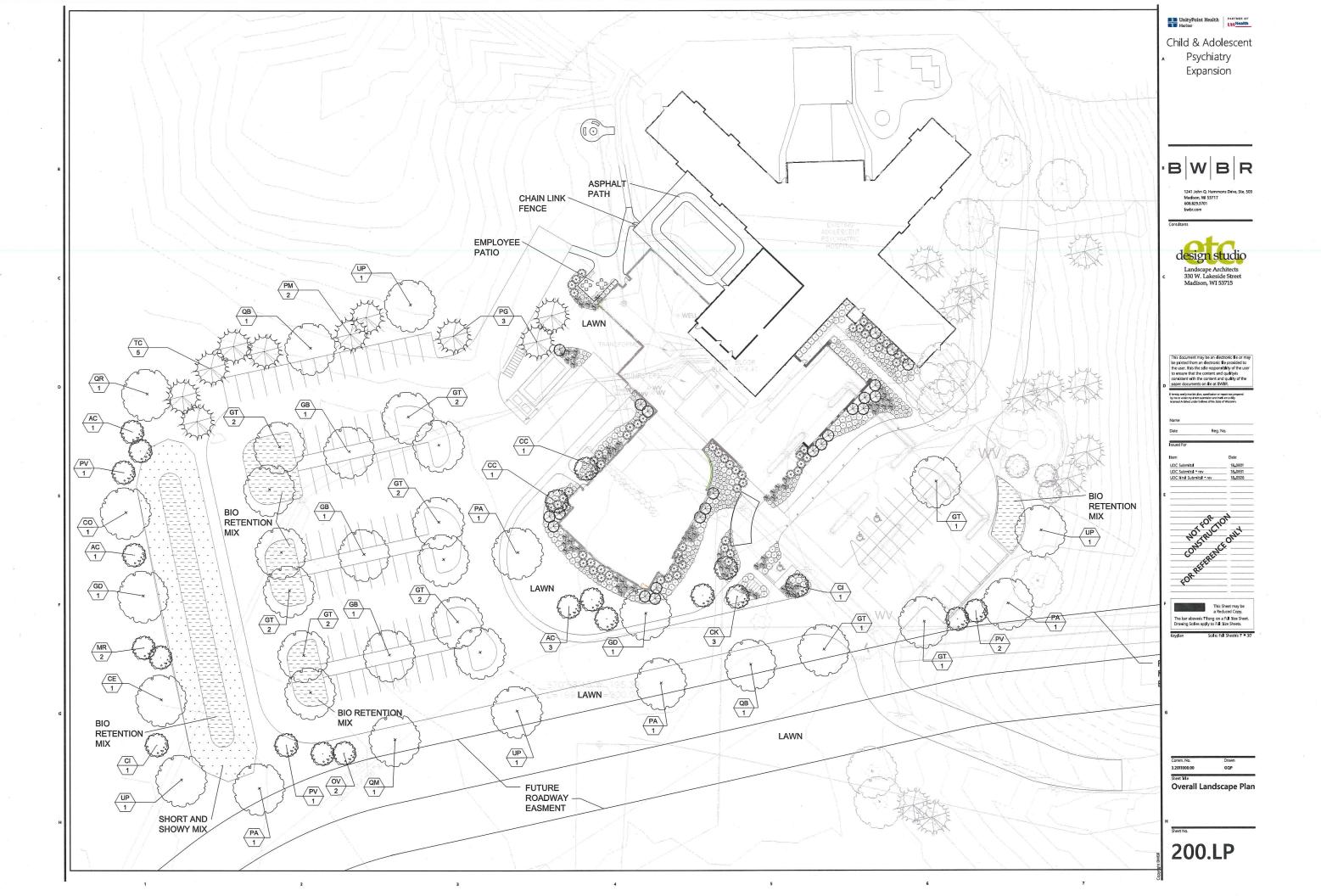


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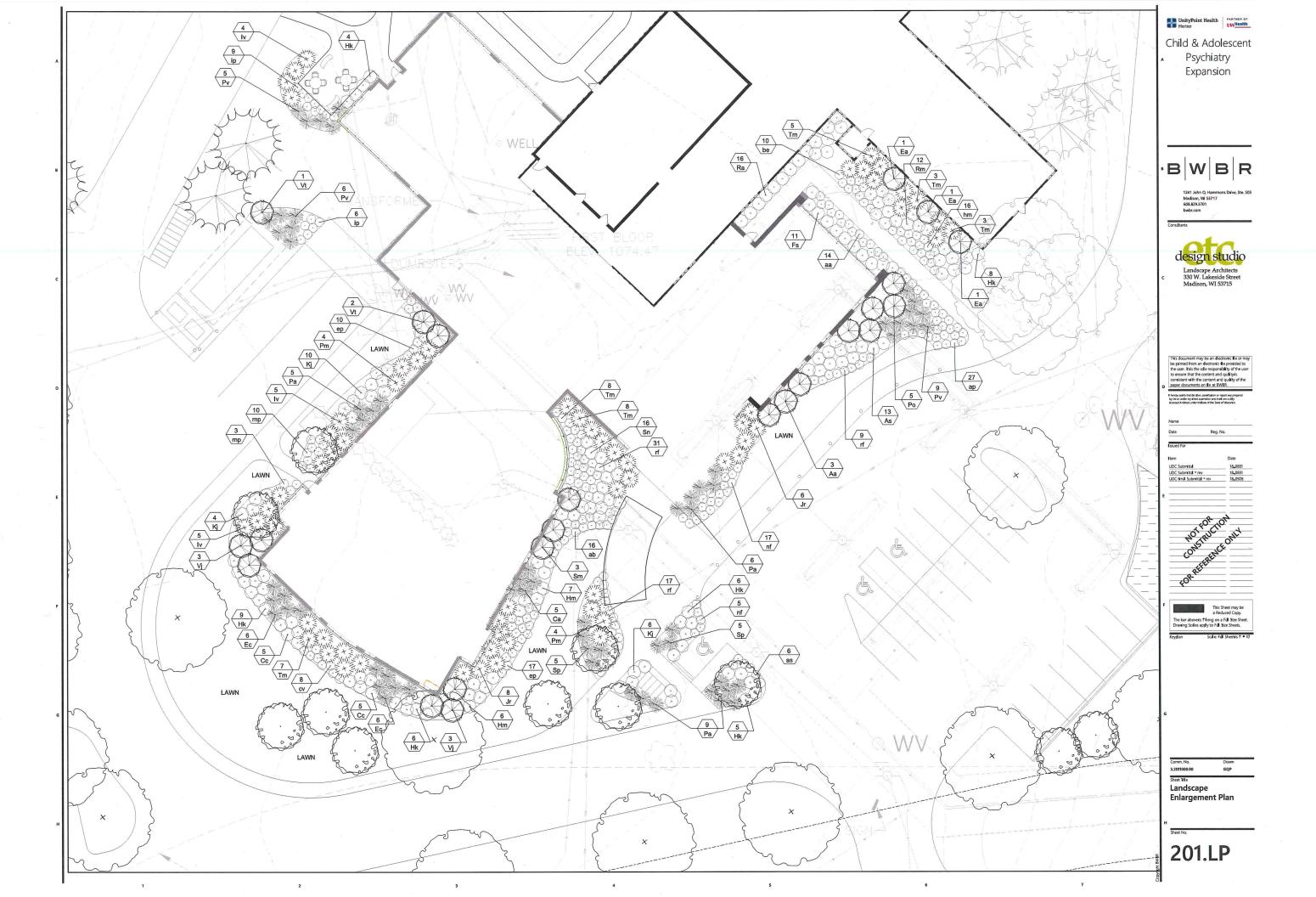
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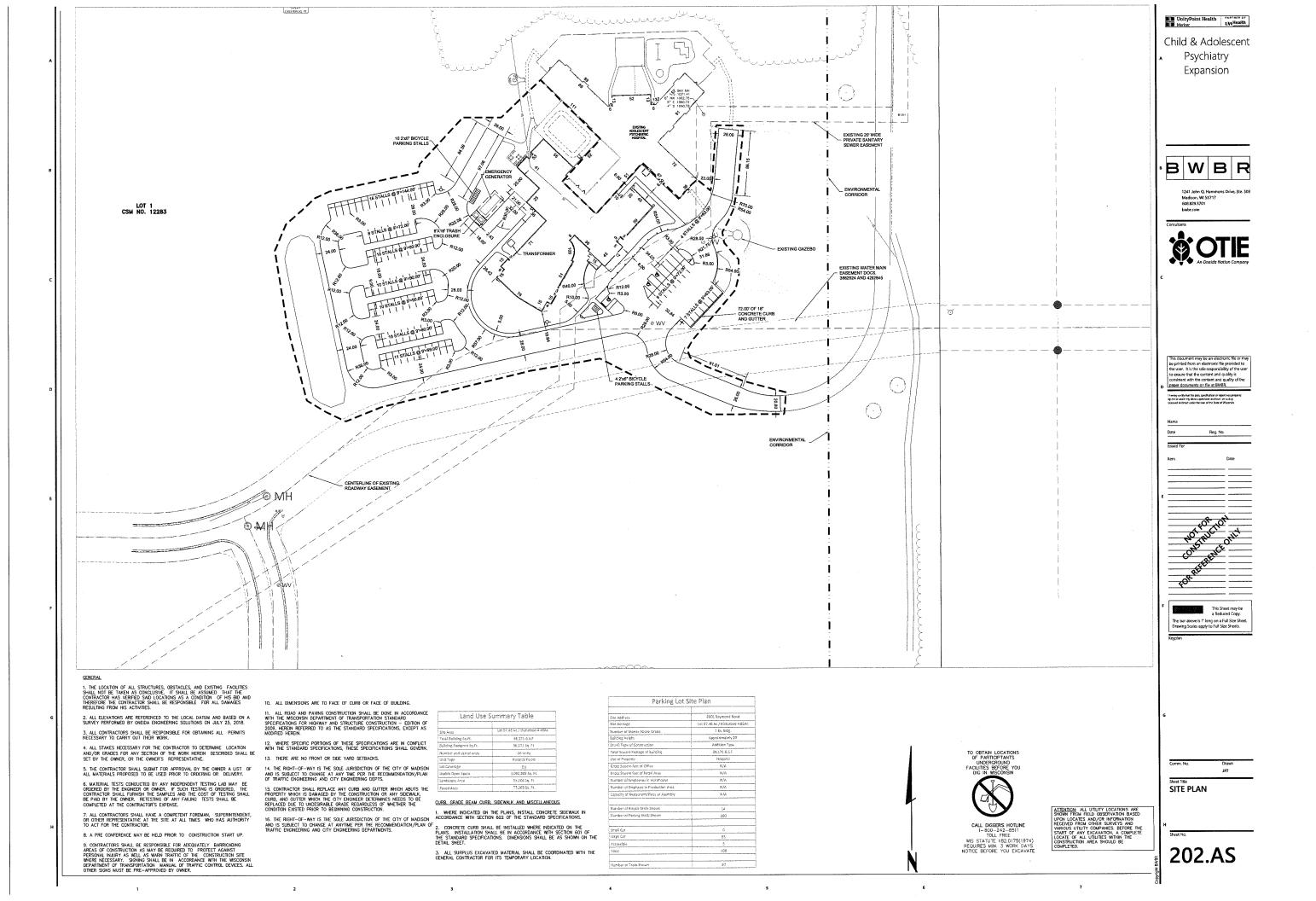
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PLAN

Sheet No.

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# LANDSCAPE PLANT LEGEND

Sporobolus heterolepis

Prairie Dropseed

2 Gal.

CG

	Botanical name	Common Name	Size	Root	Remarks
SHA	ADE TREES		1		-
CE	Celtis occidentalis	Common Hackberry	3" Cal.	B&B	
СО	Carya ovata	Shagbark Hickory	3" Cal.	B&B	
GB	Ginko biloba	Ginko Tree	3" Cal.	B&B	
GT	Gleditsia tricanthos 'Skyline'	Skyline Honeylocust	3" Cal.	B&B	n e
GD	Gymnodadus dioicus	Kentucky Coffeetree	3" Cal.	B&B	
PA	Platanus x acerfolia	American Sycamore	3" Cal.	B&B	
QB	Quercus bicolor	Swamp White Oak	3" Cal.	B&B	
QM	Quercus macrocarpa	Bur Oak	3" Cal.	B&B	,
QR	Quercus rubra	Red Oak	3" Cal.	B&B	
П	Tilia tomentosa	Silver Linden	3" Cal.	B&B	
UP	Ulmus x 'Pioneer'	Pioneer Elm	3" Cal.	B&B	
EVER	RGREEN TREES		J Ca.	Dub	
PG	Picea glauca	White Spruce	6' - 8' HT.	B&B	
PM	Pseudotsuga menziensii	Douglas Fir	6' - 8' HT.	B&B	
PN	Pinus nigra	Austrian Pine	6' -8' HT.	B&B	įs.
PS	Pinus strobus	Eastern White Pine	6' -8' HT.		
		Canadian Hemlock	100 100 100 100 100 100 100 100 100 100	B&B	
TC	Tsuga canadensis RNAMENTAL TREES	Canadian Henrick	4' -6' HT.	B&B	
	Amelanchier x grandiflora	Autumn Brilliance Serviceberry	5-6' HT.	B&B	
AC	'Autmn Brilliance' Carpinus caroliniana	American Hombeam	2"-3"Cal.	B&B	
CC	*	(Musdewood) Kousa Dogwood			
CK	Comus kousa Crataegus crus-galli	1.5	5-6' HT.	B&B	
a	varinemis	Thomless Cockspur Hawthom	2" Cal.	B&B	
MR	Malus 'Red Jewel'	Red Jewel Crabapple	2" Cal.	B&B	
ov	Ostrya virginiana	American Hophombean	2"-3" Cal.	B&B	
PV	Prunus virginiana 'Schubert'	Canada Red Chokecherry	2" Cal.	B&B	
SHRI					
Aa	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	3 gal	B&B	
As	Amelanchier stoleniffera  Caryopteris x dandonensis	Running Serviceberry	1 gal	B&B	
Сс	Arthur Simmonds	Arthur Simmonds Caryopteris	3 gal	Pot	
Fs	Forsythia x 'Sunrise'	Sunrise Forsythia	3 gal	Pot	
Ea	Euonymus alatus 'Compactus'	Dwarf Burning Bush	3 gal	Pot	
Hm	Hydrangea macropylla 'Ballmer'	Endless Summer Hydrangea	3 gal	Pot	
Hk	Hypericum kalmianum	St. Johns Wort	2 gal	Pot	
Kj	Kerria Japonica	Japenese Kerria	2 gal.	Pot	
Po	Physocarpus opulifolius ' Nanus'	Dwarf Ninebark	3 gal.	CG	
Ra	Rhus aromatica 'Grow Low'	'Gro low' Sumac	2 gal	CG	
Rg	Rhus glabara	Smooth Sumac	5 gal	Pot	
Rm	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	2 gal	Pot	
Sn	Spirea nipponica 'Snowmound'	Snowmound spirea	2 gal	Pot	
Sm	Syringa patula 'Miss Kim"	Miss Kim Lilac	3 gal	Pot	
Vj	Vibumum x juddi	Judd Vibumum	5 gal	B&B	
Vt	Vibumum trillobum 'Spring Green'	Spring Green American Cranberrybush Viburnum	5 gal	B&B	
CDA	SSES		1		
GRA	T	Karl Foerster's Feather Reed Grass		00	
Ca	Calamagrostis x acutifolia	Feather Reed Grass	1 Gal.	CG	1
	Calamagrostis x acutifolia "Karl Foerster"  Bymus canadensis	Feather Reed Grass Canadian Wild Rye	1 Gal.	200	
Ca				CG CG	,

EVER	GREEN SHRI	JBS										
Iv	Illex veticillat	9	Winterbe	пу			5 Gal.	CG				
Jr	Juniperus ran	nlosa	Ramiosa	unipe	r		5 Gal.	CG				
Tm	Taxus taunto	nii	Taunton y	ew			5 Gal.	CG				
Pm	Pinus mugo v	rar. mugo	Mugo Pin	е			5 Gal.	CG				
PERE	NNIALS	***************************************										
ab	Amsonia 'Blu	ie Starflower	Blue Sta	rflowe	r		1 Gal.	Container				
aa	Astilbe x are	ndsii 'Fanal'	Fanal As	stilbe			1 Gal.	Container				
ар	Aster novae- 'Purple D	angliae	Purple D	ome			1 Gal.	Container				
as	Aster novae-	angliae	Septemi	ber Ru	by Aster		1 Gal.	Container				
be	Bergenia cor		Heartlea	f Berg	enia		1 Gal.	Container				
cv	Coreopsis ve		Zagreb 0	Coreor	osis		1 Gal.	Container				
ер	'Zagreb' Echinacea p	urpurea 'Magnus'	Magnus	Purpl	e Coneflov	ver	1 Gal.	Container		-		
hm	Heuchera mi 'Purple Pala		Purple F	alace	Coralbells		1 Gal.	Container				
hs	Hosta siebol	diana	Francis	Willian	ns Hosta		1 Gal.	Container				
Ip	'Francis Willi Liatrus pynce		Prairie E	lazino	star		1 Gal.	Container				
mp	Monarda 'Pet		-	_	Beebalm		1 Gal.	Container				
nf		ennii 'Walkers'	Walkers				1 Gal.	Container				
rf		Igida 'Goldstrum'	Galdstr	ım Bla	ck-eyed		1 Gal.	Container				-
	etentiion Seed		Su	san		Dio-E	Retentiion Seed M				_	
DIO-K	etenuion Seed	IVIIX				DIO-P	Ketenwion Seed IV	ıx .				
WILDFLOV Asclepias in		COMMON NAME Marsh (Red) Milkweed	COLOR	HEIGHT 3-5'	BLOOM	Alliur	DFLOWERS	COMMON NAI Nodding Onion	ME	COLOR Pink	HEIGHT 1-2'	BLOOM July-Aug
Aster ericol	des	Heath Aster	White	2-4'	Aug-Oct		rpha canescens egia canadensis	Leadplant Wild Columbine		Purple	1-3'	June-Aug Apr-June
Aster novae Baptisia leu	cantha (alba)	New England Aster White Wild Indigo	White	1-2' 3-5'	Sep-Oct May-June		pias incarnata	Marsh (Rec) Mil	kweed	Orange	3-5' 2-3'	June-Aug June-Sep
Campanula Cassia hebe	americana	Tall Bellflower Wild Senna	Yellow	2-5° 4-6°	July-Oct Aug-Sep		pias tuberosa pias verticilata	Butterfly Weed Whorled Milkwe	ed	Cream	1-2'	June-Sep July-Aug
Chamaecris	ta fasciculata	Partridge Pea	Yellow	1-3'	June-Aug		azureus	Sky Blue Aster		Bitte	1-3'	Aug-Oct
Echinacea p	ourpurea perfoliatum	Purple Coneflower Boneset	White	3-4'	July-Aug		laevis novae-angliae	Smooth Blue Ast New England As		Blue	3-5"	Aug-Oct Sep-Oct
Eupatorium Liatris pycn		Boneset Prairie Blazing Star	White	2-5'	July-Sep July-Sep		novae-anguae sia australis	New England As Blue Wild Indigo		Blue	3-5	May-July
Liatris spica	ta	Marsh Blazing Star	Aurple	3-4"	July-Sep	Bapti	sia leucantha (alba)	White Wild India	to:	White	3-5"	May-June
Lobelia care	dinals	Cardinal Flower Great Blue Locella	The second second	3-5'	July-Sep July-Sep	Bapti	sia leucophaea (bracteata) naecrista fasciculata	Cream Wild Indi Partridge Pea	go	Cream Yellow	1-2"	May-June June-Aug
Monarda fo		Wild Bergamet	Lavender	2-4"	June-Aug	Core	naecrista fasciculata opsis lanceolata	Lance-Leaf (San	1) Coreonsis	Yellow	1-3	May-July
Penstemon		Foxglove Beard Tongue	White	1-3'	May-July	Core	opsis palmata	Prairie Coreopsi		Yellow	1-2"	June-Aug
Physostegia Pycnanther	num virginiana	Obedient Plast Mountain Mist	White	2-3'	July-Sep July-Sep		candida	White Prairie Ck Purple Prairie Cl		White	1-2'	June-Oct June-Aug
Ratibida pir	nnata	Yellow Conefbwer	Yellow	4-5	July-Aug		a purpurea racea pallida	Purple Prairie Ci Pale Purple Con		Purple	3-5	June-Aug June-July
Rudbeckia I	hirta subtomentosa	Black-Eyed Susan Sweet Black-Eyed Susan	Yellow Yellow	1-3' 4-5'	June-Sep July-Sep	Echin	acea purpurea	Purple Coneflow	er	Purple	3-4"	July-Aug
Silphium la	ciniatum	Compass Plant	Yellow	4-9"	June-Sep		gium yuccifollum osis helianthoides	Rattlesnake Mas Early Sunflower	ter	White Yellow	3-4'	July-Aug June-Oct
Silphium te Solidago oh	rebinthinaceum	Praire Dock Ohio Goldenrad	Yellow	4-9' 1-3'	July-Sep July-Sep		nthus occidentalis	Western Sunflower	ver	Yellow	2-3	Aug-Sep
Thalictrum	dasycarpum	Purple Meadow Rue	Cream	3-6	June-July		s aspera	Rough Blazing St	ar	Purple	1-3"	Aug-Oct
Tradescant Verbena ha		Ohio Spiderwort Blue Vervain	Bline	2-4' 3-5'	May-July July-Sep		s pycnostachya lia cardinalis	Prairie Blazing S Cardinal Flower	tar	Pumple	2-4' 3-5'	July-Sep July-Sep
verbera na	stata	bibe vervain	0.00	3.3	Julysep	Lupir	us perennis	Wild Lupine		Bloc	1-3"	May-June
CRACCEC	SEDGES & RUSHES	COMMON NAME	COLOR	нт	BLOOM		arda fistulosa temon cobaea	Wild Bergamot		Lavender	2-4'	June-Aug
Bromus cili	atus	Fringed Brome	Green	2-4"	hane-luly		temon cobaea temon digitalis	Showy Beard To Foxglove Beard	Tongue	White	1-3'	May-July May-July
Calamagro: Carex bebb	stis canadensis	Blue Joint Grass Bebb's Oval Sedge	Green	3-6'	June-Aug June-July	Pens	temon grandiflorus	Large-Flowered Prairie Cinquefo	Beard Tongue	Lavender White	1-3' 1-2'	June-July June-July
Carex craw	fordi	Crawford's Sedge	Green Green	1-3"	June-July	Pote	ntilla arguta anthemum virginianum	Mountain Mint	4	White	1-2	July-Sep
Carex crinit Carex stipa		Fringed Sedge Common FaxSedge	Green Green	1-3'	June-July June-July	Ratib	iida pinnata	Yellow Coneflov		Yellow	4-5	July-Aug
Carex vulpi	noidea	Brown Fox Sedge	Green Green	1-3"	Apr-May	Rudb	eckia fulgida speciosa eckia hirta	Showy Black-Eye Black-Eyed Susa		Orange Yellow	2-4'	July-Aug June-Sep
Elymus can		Canada Wild tye Virsinia Wild tye	Green	3-S'	June-Oct July-Aug	Rudt	eckia subtomentosa	Sweet Black-Eye		Yellow	4-5"	July-Sep
Glyceria gra	andis	Reed Manna Grass	Green Green	3-5"	June-July		ia humilis	Wild Petunia Royal Catchfly		Lavender	1-2'	July-Aug
Glyceria str	iata	Fow! Manna Grass	Green	2-5"	June-July		e regia ago nemoralis	Old Field Golder	irod	Yellow	1-2'	July-Aug Aug-Oct
	SEDGES & RUSHES	COMMON NAME	COLOR	нт	BLOOM		ago ohioensis	Ohio Goldenrod		Yellow	1-3"	July-Sep
Juncus effu Panicum vi	reatum	Common Rush Switchgrass	Green	1-2' 4-6'	May-July May-Sep		DFLOWERS	COMMON NAI Stiff Goldenrod	ME	COLOR	HT 3-5'	BLOOM
Scirpus atri	ovirens	Dark-Green Bulrush	Green	3-5'	July-Aug	Solid	lago rigida lago sciaphila	Cliff Goldenrod		Yellow	1-2'	July-Sep July-Sep
Scirpus cyp	erinus	Wool Grass	Green	3-5"	July-Aug		lago speciosa	Shawy Goldenro		Yellow	3-5"	July-Oct
							escantia bracteata escantia ohiensis	Prairie Spiderwor		Purple	1-2'	May-July May-July
						Verb	ena stricta	Hoary Vervain		Furple	1-3"	July-Sep
							nicastrum virginicum	Culver's Root		White	3-5'	July-Aug
						Zizia	aptera	Heart-Leaved G	olden Alexanders	Yellow	1-5	May-July
							SSES, SEDGES & RUSHES			COLOR	нт	BLOOM
						Agro	pyron trachycaulum elcua curtipendula	Siender Wheatg		Green	2-3'	Apr-May July-Aug
						Bron	nus kalmii	Prairie Brome		Green	1-3"	June-July
							x bicknellii	Copper-Shoulds	red Oval Sedge	Green	1-3'	June-July Apr-May
							x brevior x vulpinoidea	Plains Oval Sedg Brown Fox Sedg		Green Green	1'	Apr-May Apr-May
						Dant	honia spicata	Poverty Oat Gra		Green	1'	June-July
							eria cristata (macrantha) rachyrium scoparium	June Grass Little Bluestem		Green	1-2° 2-3°	June-Sep June-Aug
							obolus heterolepis	Prairie Dropsee	1	Green	2-3	June-Aug July-Aug
						1						15 15



### **CITY OF MADISON** LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location	Address 8001 Raymond Road, Madison, WI 53719
Name of Project	Unity Point Meriter Child Psych
Owner / Contact	Mike Brasser
Contact Phone	Contact Email mike.brasser@unitypoint.org

\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\*

#### Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as all parts of the site that are not left in a natural state within a single contiguous boundary, including building footprints, parking and loading areas, driveways, internal sidewalks, patios, and outdoor activity areas. Developed area does not include other land within required setbacks and natural areas on the same property that are left undisturbed.

(a) One (1) landscape unit shall be provided for each three hundred (300) square feet of developed area, with the exception of the IL and the IG districts as specified in (b) below.

Total square footage of developed area \_\_\_\_181,162 Developed area divided by three hundred (300) square feet = 603 Landscape Units (b) Within the Industrial – Limited (IL) and Industrial – General (IG) districts, one (1) landscape unit shall be provided for every six hundred (600) square feet of developed area. Total square footage of developed area \_\_\_\_ Developed area divided by six hundred (600) square feet = \_\_\_\_\_ Landscape Units (c) One landscape unit consists of five (5) landscape points. Landscape points are calculated as shown in the

Landscape units multiplied by five (5) landscape points = 3015 Total Points Required

## Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements. Calculations yielding a fraction up to one-half (1/2 or 0.5) shall be rounded down to the nearest whole number; fractions of more than one half (1/2) shall be rounded up.

Plant Town / Plant	Minimum Size at	Points		Existing caping	New/ Proposed Landscaping	
Plant Type/ Element	Installation		Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper	35	15	525	34	1190
Ornamental tree	1 1/2 inch caliper	15	4	60	22	330
Evergreen tree	3 feet tall	15	11	165	10	150
Shrub, deciduous	18" or 3 gallon container size	2	6	12	164	328
Shrub, evergreen	18" or 3 gallon container size	3	1	3	62	186
Ornamental grasses	18" or 3 gallon container size	2	8	16	50	100
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Sub Totals				781		2504

Total Number of Points Provided \_\_\_\_3065

3/2013

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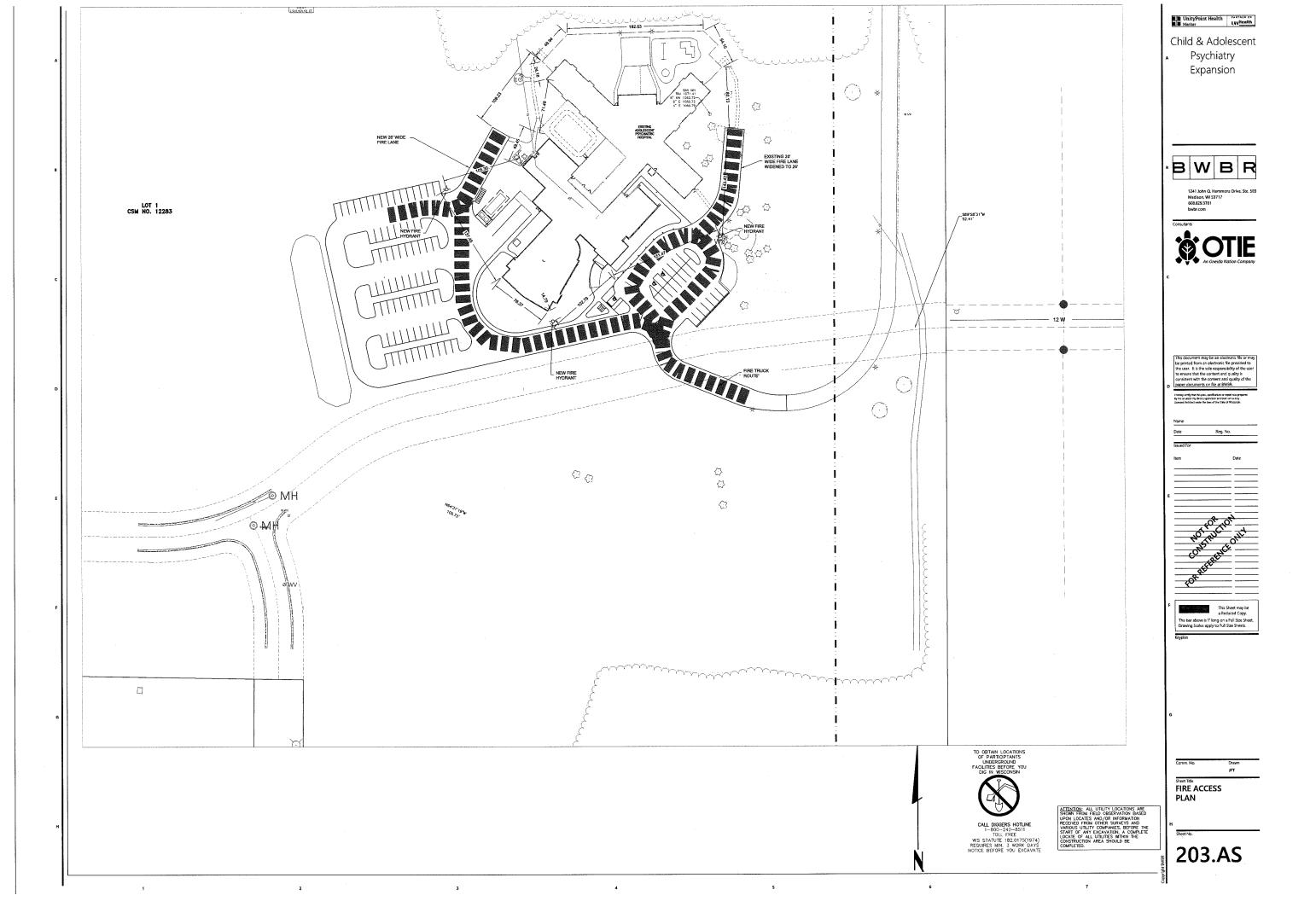
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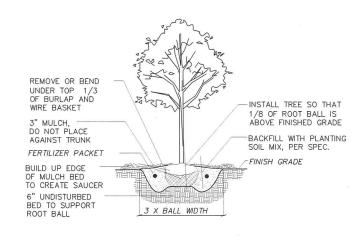
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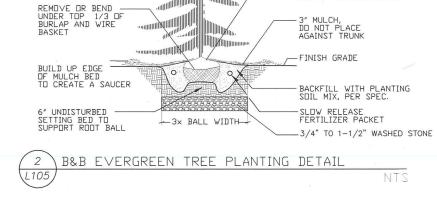
Planting Schedule Points Sheet

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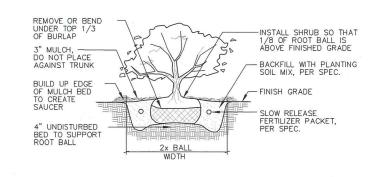




1 B&B TREE PLANTING DETAIL
NTS



-INSTALL TREE SO THAT 1/8 OF ROOT BALL IS ABOVE FINISHED GRADE



3 B&B SHRUB PLANTING DETAIL

NTS

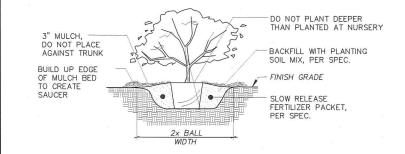
design studio

Landscape Architects
330 W. Lakeside Street
Madison, WI 53715

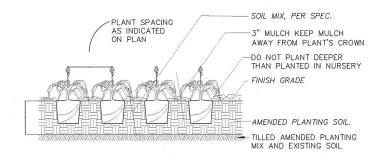
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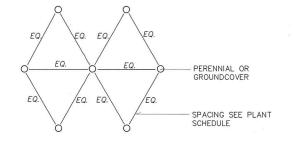
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4 CONTAINER PLANTING DETAIL
NTS



5 GROUNDCOVER / PERENNIAL PLANTING DETAIL
NTS



6 PERENNIAL/GROUNDCOVER SPACING DETAIL
NTS

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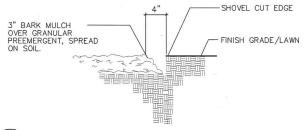
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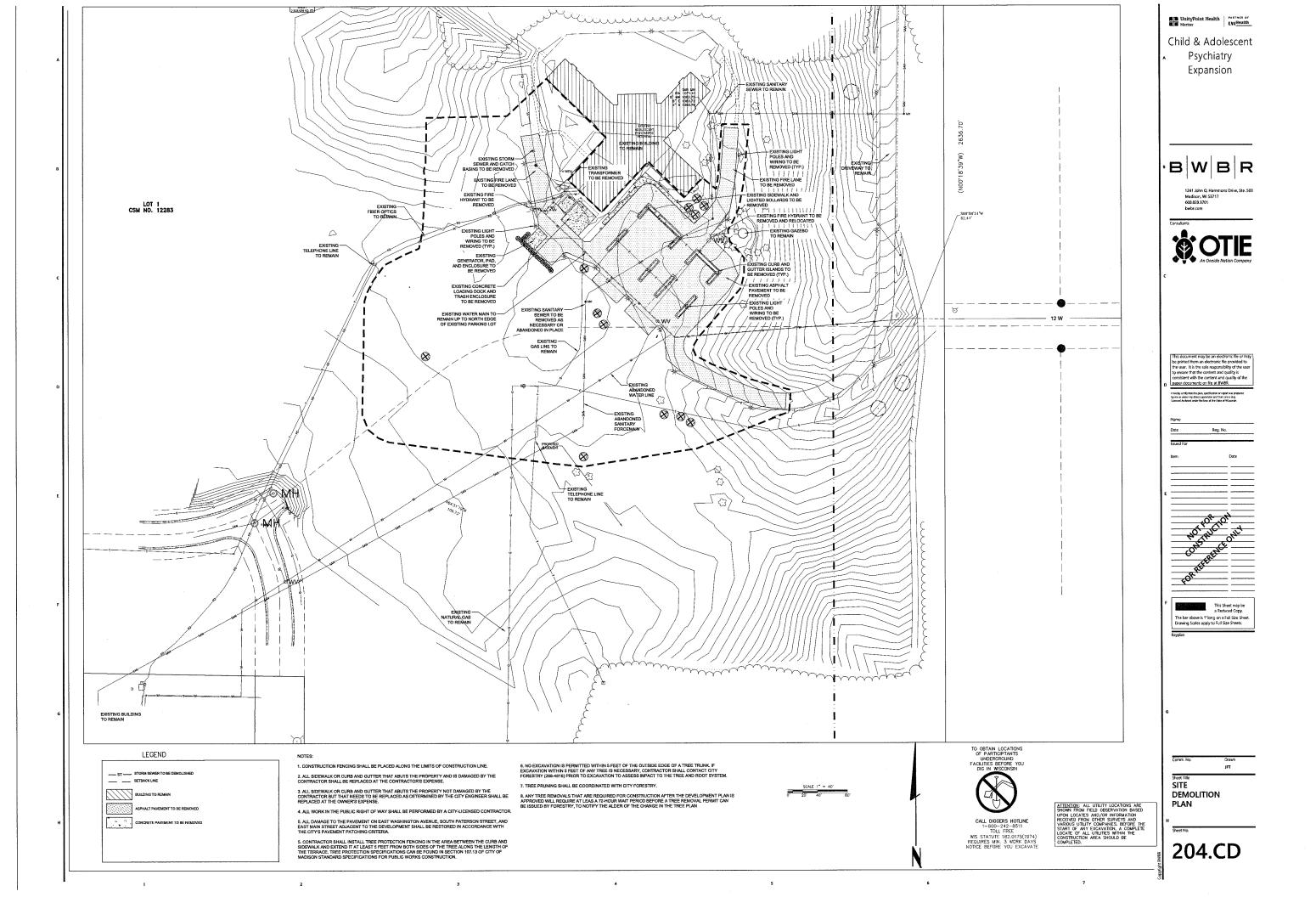
7 BARK MULCH/SHOVEL CUT EDGE DETAIL NTS

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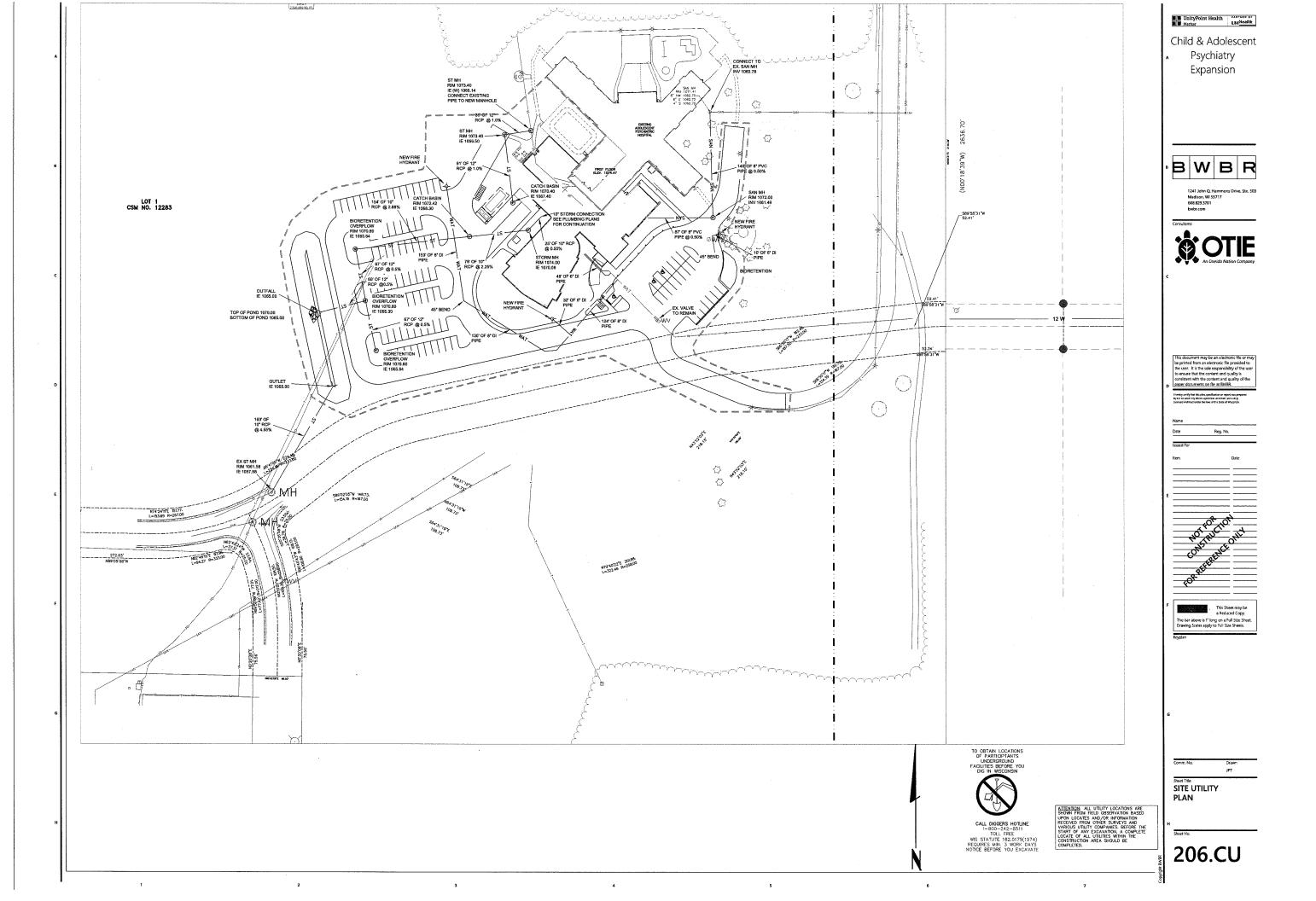
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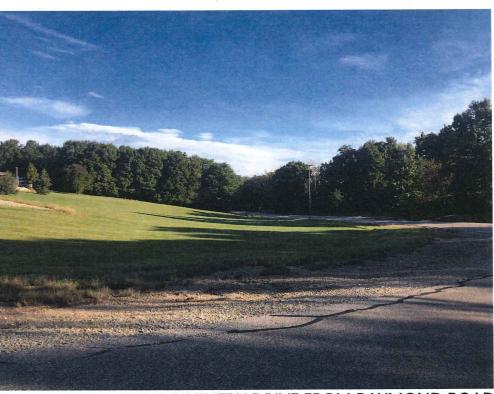




VIEW OF ENTRY LOOKING FROM THE SOUTH



EXISTING EXTERIOR MATERIALS



, VIEW OF ENTRY DRIVE FROM RAYMOND ROAD



, VIEW AT NORTHWEST, CORNER

UnityPoir Meriter	t Health PARTNER O
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1241 John Q. Hammons Drive, Ste. Madison, WI 53717 608.829.3701

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Sheet Title
EXISTING SITE
CONDITIONS

Sheet No.

207.SC



SYMBOLS LEGEND - FLOOR PLAN

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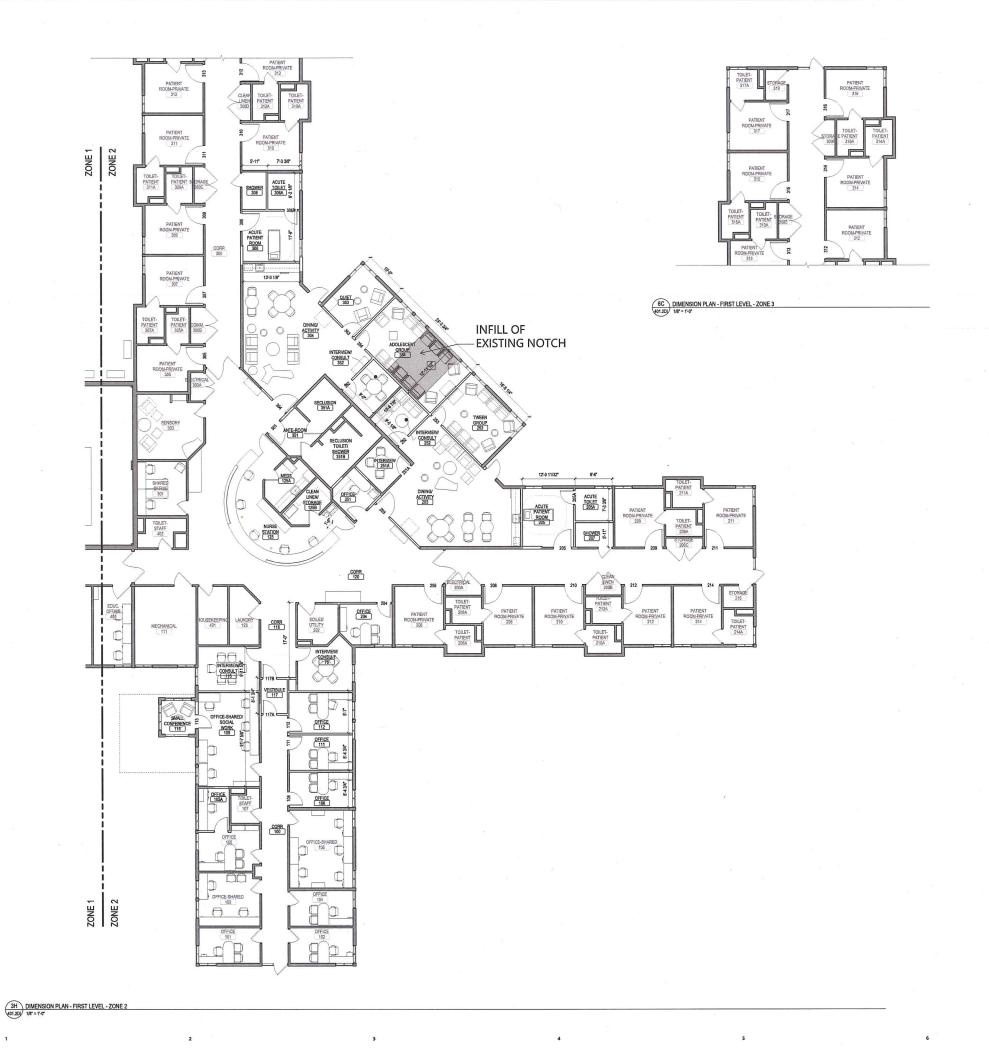
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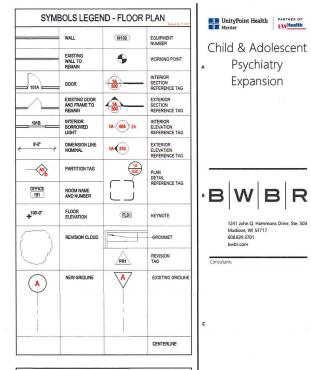
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Sheet Title
FIRST LEVEL ZONE 1 -DIMENSION PLAN

401.1DI





KEYNOTES - DIMENSION PLAN					
REV	⟨XX##	NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH PLAN			

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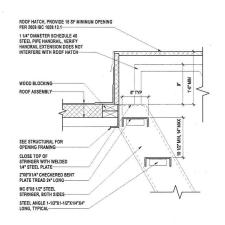
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FIRST LEVEL ZONES 2 AND 3 - DIMENSION PLAN

401.2DI



1C SECTION DETAIL - SHIP'S LADDER AT ROOF HATCH



		The second secon
RP01	KEYNÔTE	ROOF PAVERS
RD OF RD	RD: ROOF DRAIN OFRD: OVERFLOW ROOF DRAIN (SET 2* MIN ABOVE RD)	
+4	INSULATION THICKNESS	
<b>→</b>	DIRECTION OF TAPERED SLOPE, 1/4* PER FOOT UNO	
<b>→</b>	DIRECTION OF STRUCTURAL SLOPE, 1/4" MINIMUM PER FOOT. 5" INSULATION THICKNESS.	NOTE: NOT ALL SYMBOLS MAY BE USED ON EACH PLAN

KEYNOTES - ROOF PLAN				
⟨XX##	NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH PLAN			
<b>P</b> 01	ROOF HATCH, SEE DETAIL 1C/500, SEE STRUCTURAL FOR OPENING LOCATION	١.	B	\A/
P02	APPROXIMATE LOCATION AND DIMENSIONS OF ROOFTOP MECHANICAL UNIT, SEE MECHANICAL DRAWINGS	"		VV
RP03	ROOFTOP UNIT SCREENING, PREFABRICATED ALUMINUM SYSTEM, ATTACHES DIRECTLY TO RTU	П		
RP04	EXISTING ROOF, INDICATED BY SOLID GREY	Ш		1241 John Q.



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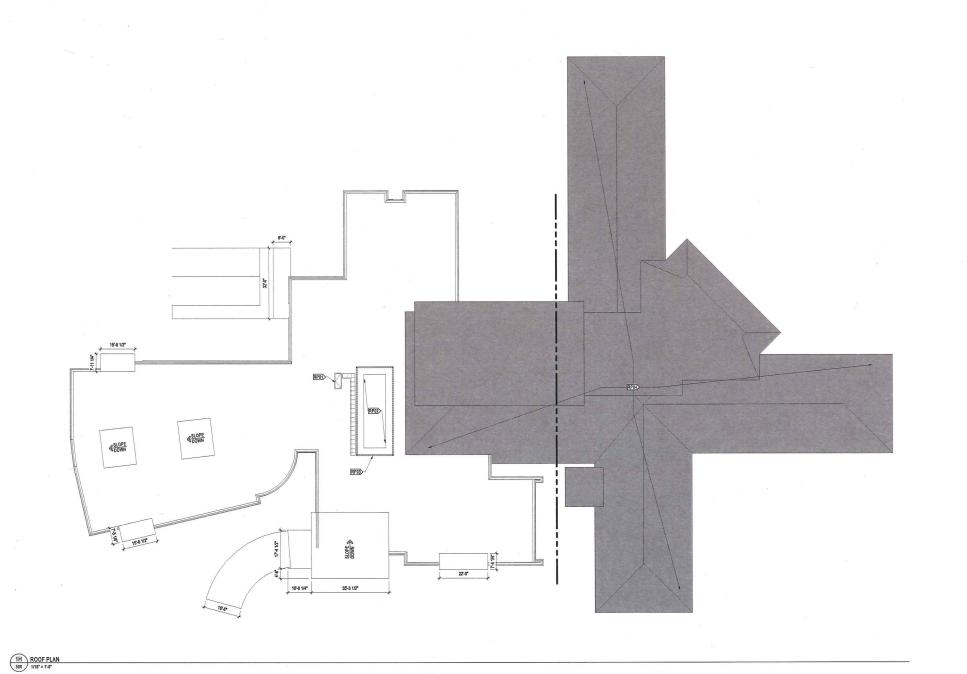
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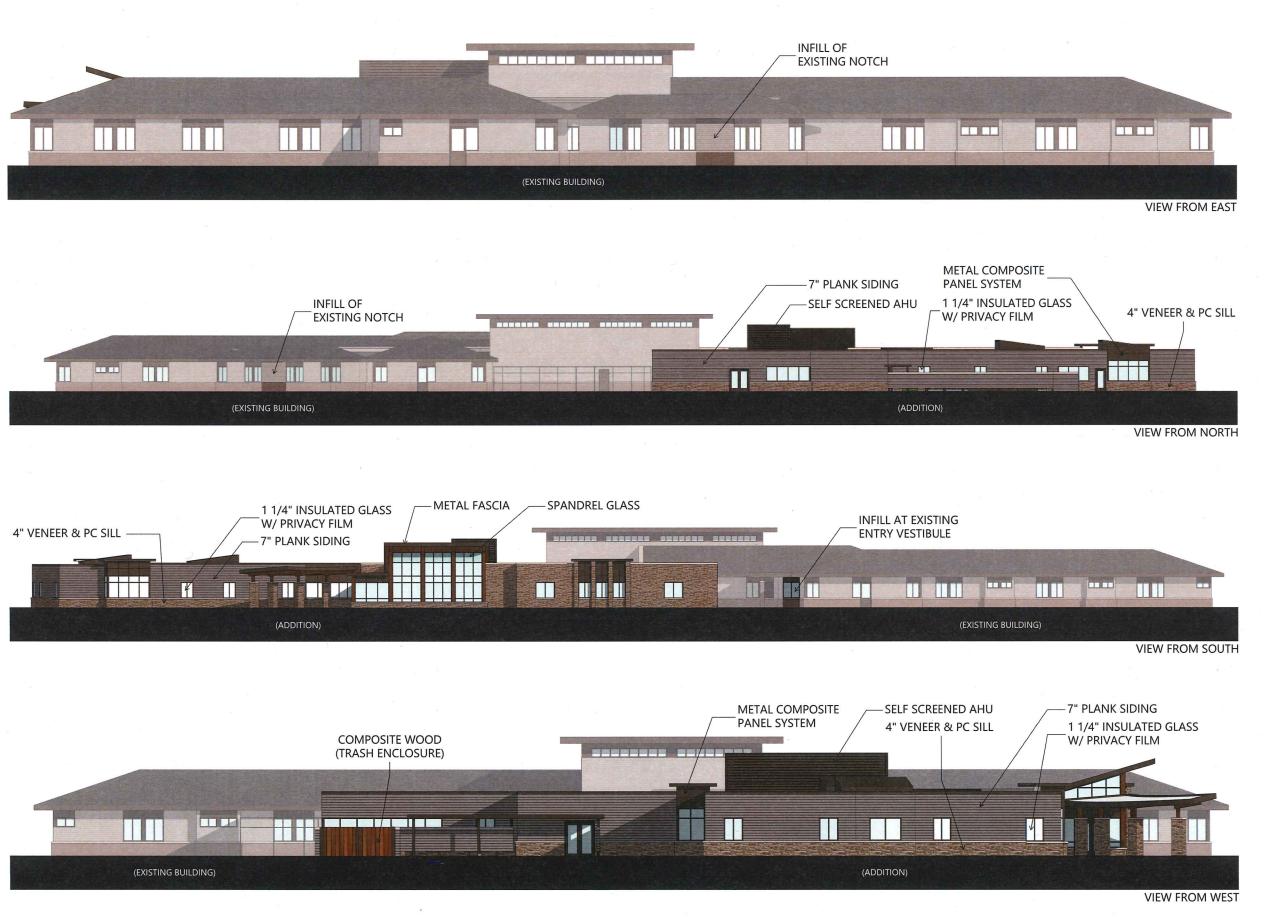
Keyplan

TRUE PLAN
NORTH NORTH



Sheet Title
ROOF PLAN





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