

August 24, 2018

Matt Tucker, Zoning Administrator City of Madison 126 S. Hamilton St Madison, WI 53703

Re:

Letter of Intent

Dryhootch: First Floor user @ Valor on Washington, 1326 East Washington Avenue

### **Project Intent:**

Valor on Washington is the result of a unique public-private partnership with the goal of providing quality affordable housing, services, and support targeted to Veteran families. Dryhootch will be located on the first floor of this proposed mixed-use building.

Dryhootch is a nonprofit organization, formed with the mission of creating safe, comfortable places where Veterans can gather informally in a drug- and alcohol-free environment. Dryhootch was founded by Robert Curry, a Vietnam veteran who was recognized by the White House in 2012 as a Champion of Change in the veterans' community. The Dryhootch name originates from "hootch," a military word for sleeping places during combat and "dry," meaning no alcohol or drugs. The mission of Dryhootch is "helping our veterans & their families who survived the war, survive the peace." Dryhootch will provide a variety of veteran services and support for both residents and non-residents at Valor on Washington.

Specific services provided by Dryhootch include transportation for Veterans, support groups for Vets and families, employment programs, community outreach/volunteering, music therapy, pet therapy, housing services, and legal assistance. An important component of the programming is a small coffee shop where Veterans can gather, talk, and learn more about available services and support.

Peer Support is the cornerstone of Dryhootch's operations and mission. Dryhootch provides individual and group peer support services on various topics such as Post Traumatic Stress (PTS), addiction, family support, suicide, financial readiness, and legal support. We work closely with VA Hospitals, government agencies, the court system, health-care providers, and other non-profit organizations to assist Veterans and families in obtaining the support they need to improve the quality of their lives. We walk alongside veterans during their transition home in order to help ease their journey.

### **Project Team:**

Gorman & Company, LLC Contact: Ted Matkom tmatkom@gormanusa.com

Dryhootch

Contact: Robert Curry bob@dryhootch.org



### **Hours of Operation:**

Dryhootch is open to the public and will be generally open 8:00am – 5:00pm Monday – Sunday, with occasional extended evening hours until 8:00pm for additional classes/programming.

### **Employees:**

Dryhootch will have approximately 5 staff employees and 6 primary volunteers.

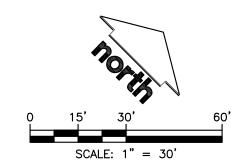
Sincerely,

Robert Curry
Dryhootch Founder

### SECTION CORNER MONUMENTS CORNER NORTHING 485,568.62 823,852,16 CENTER 13-7-9 IN BUILDING B WITNESS CORNER 485,775.48 | 823,854.39 C WITNESS CORNER BRASS CAP 488.355.29 823.883.37 **D** N 1/4 13-7-9 NO MONUMENT 487,727.95 823,876.33 +853.16 N46'00'18"E 65.98' +852.25 +852.09 OWNER: TENNEY NURSERY AND PARENT CENTER INC. +852.66 OWNER: JULIE T. WIDHOLM & DAVIN L. LOPEZ LOT 5 LOT 4 BLOCK 217 FARWELL'S REPLAT OF A PART +852.32 PIPE IS 0.17 FEET SW OF PROPERTY OWNER: 1998 JEROME J. AND CAROL M. MULLINS JOINT REVOCABLE TRUST N46°03'00"E 172.79'\\\//\/1 BM No. 2 TOP OF LOT 7 ~850 +852.36 EXISTING BUILDING ONE-STORY BUILDING +852.27 1326 AND 1328 EAST WASHINGTON AVENUE BUILDING AREA AT EXTERIOR FOOTPRINT $\neq$ 17.118 S.F. PARCEL A <u>LOT 12</u> +851.71 42,984 SIF. 0.987 ACRE +850.84 PARCEL C +851.61 +851.44 51.12 - 851.89 - 223.19° 851.95 - 551.76 - 551.89 \*S46\*02\*17\*Wg 238.90'2 849.32 **EAST WASHINGTON AVENUE (U.S.H. 151)**

SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	849.41	NW	840.19	4"	PVC
		NE	840.05	10"	PVC
SAN-2	850.01	SW	839.51	10"	PVC
		NW	842.25	4"	PVC
		NF	839.48	10"	PVC

	STORM SEWER INLETS						
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE		
INL-1	849.31	SE	845.61	12"	RCP		
INL-2	848.81	NW	845.61	12"	_		
		SE	845.61	12"	RCP		



### **EXISTING CONDITIONS MAP**

PART OF LOTS 3 AND 12 AND ALL OF LOTS 13, 14, 15, AND 16, BLOCK 217, FARWELL'S REPLAT OF A PART OF THE CITY OF MADISON, LOCATED IN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

### <u>LEGEND</u>

GOVERNMENT CORNER — · — · — EASEMENT LINE ¾" REBAR FOUND ---- GROUNDWATER USE RESTRICTION AREA 1" IRON PIPE FOUND —x——x— FENCE LINE 2" IRON PIPE FOUND ----- EDGE OF PAVEMENT CHISELED 'X' FOUND CONCRETE CURB & GUTTER 3/4" x 24" REBAR SET (1.50 LBS/LF) COTTON SPINDLE SET SIGN - st - STORM SEWER SANITARY MANHOLE ----G---- NATURAL GAS CURB INLET ----OE---- OVERHEAD ELECTRIC DISTRIBUTION GAS REGULATOR/METER — E — UNDERGROUND ELECTRIC ELECTRIC TRANSFORMER — T — UNDERGROUND TELEPHONE LIGHT POLE //////// BUILDING POWER POLE W/GUY -850 - INDEX CONTOUR TELEPHONE PEDESTAL ----851--- INTERMEDIATE CONTOUR SPOT ELEVATION DECIDUOUS TREE — - - - — SECTION LINE BITUMINOUS PAVEMENT CONCRETE PAVEMENT ——— PARCEL BOUNDARY END OF FLAGGED UTILITIES ---- PLATTED LOT LINE ( ) DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

### <u>NOTES</u>

- 1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON MAY 17 AND 18, 2018.
- 2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, (DANE COUNTY). THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 13-07-09, BEARS NO0\*38'30"E.
- 3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE WITNESSING THE CENTER OF SECTION 13, TO7N, R09E, ELEVATION = 849.79'.
- 4. CONTOUR INTERVAL IS ONE FOOT.

AT&T DISTRIBUTION

- 5. SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
- 6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET No.'s 20181904182, 20181904524 AND 20181904560, WITH A CLEAR DATE OF MAY 10, 2018.
- 7. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
- CITY OF MADISON ENGINEERING

  MADISON GAS AND ELECTRIC COMPANY (ELECTRIC AND GAS)

  AMERICAN TRANSMISSION COMPANT (ATC)

  WISCONSIN DEPARTMENT OF TTRANSPORTATION—ITS EQUIPMENT
  CENTURYLINK KMC
  CHARTER COMMUNICATIONS
  AT&T TRANSMISSION
- 8. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- 9. JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARKS ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.
- 10. PARCEL A IS ZONED TR-V (TRADITIONAL RESIDENTIAL-VARIED DISTRICT 1); PARCEL B IS ZONED CC-T (COMMERCIAL CORRIDOR-TRANSITIONAL DISTRICT); PARCEL C IS ZONED TE (TRADITIONAL EMPLOYMENT DISTRICT) PER THE CITY OF MADISON ZONING MAP DATED JANUARY 2013.
- 11. WATER MAIN WAS NOT MARKED BY DIGGERS HOTLINE TICKET No.'s 20181904182, 20181904524 AND 20181904560 AND IS SHOWN PER CITY RECORDS (GTWeb).
- 12. GAS MAIN AND UNDERGROUND ELECTRIC IS SHOWN PER A PLAT OF SURVEY BY WILLIAMSON SURVEYING & ASSOCIATES, LLC, DATED JANUARY 21, 2016, COUNTY MAP No. 2016-00305. GAS MAIN AND UNDERGROUND ELECTRIC WERE NOT MARKED BY DIGGERS HOTLINE TICKET No.'s 20181904182, 20181904524 AND 20181904560.

### LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT No.: NCS-907830-MAD, COMMITMENT DATE: MAY 24, 2018 AT 7:30 A.M.)

### PARCEL A:

THE SE 55 FEET OF LOT 3, THE NW 45 FEET OF LOT 16, AND THE NE 33 FEET OF THE SOUTHEAST 120 FEET OF LOT 16, ALL IN BLOCK 217, FARWELL'S REPLAT OF PART OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

TAX PARCEL No. 251/0709-131-0201-2

ADDRESS PER TAX ROLL: 1316 & 1318 E WASHINGTON AVE

### PARCEL B:

THE SW 33 FEET OF THE SE 120 FEET OF LOT 16, BLOCK 217, FARWELL'S REPLAT OF PART OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1314 E WASHINGTON AVE

TAX PARCEL No.: 251/0709-131-0209-5

### PARCEL C:

THE SOUTHWEST 41 FEET OF LOT 13, AND ALL OF LOTS 14 AND 15 OF BLOCK 217, IN THE CITY OF MADISON ACCORDING TO FARWELL'S REPLAT THEREOF, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1326 & 1328 E WASHINGTON AVE

TAX PARCEL No.: 251/0709-131-0211-0

### PARCEL D:

THE SOUTHWEST FIFTY-FIVE (55) FEET OF LOT TWELVE (12), IN BLOCK TWO-HUNDRED SEVENTEEN (217), ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1334 E WASHINGTON AVE

TAX PARCEL No.: 251/0709-131-0212-8

### PARCEL E:

THE NORTHEAST TWENTY-FIVE (25) FEET OF LOT THIRTEEN (13), IN BLOCK TWO-HUNDRED SEVENTEEN (217), ORIGNIAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1334 E WASHINGTON AVE

TAX PARCEL No.: 251/0709-131-0212-8



CREATE THE VISION TELL THE STORY

MADISON █ MILWAUKEE KENOSHA █ APPLETON █ WAUSAU

MADISON REGIONAL OFFICE

161 HORIZON DRIVE, SUITE 101

VERONA, WISCONSIN 53593

P. 608.848.5060

GORMAN & COMPANY,

CLIENT ADDRESS:

200 NORTH MAIN STREET

OREGON, WI 53575



Toll Free (800) 242-8511

OJECT:

VALOR ON WASHINGTON
DEVELOPMENT

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

#_	Date:	Description:	
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Approved: TJB

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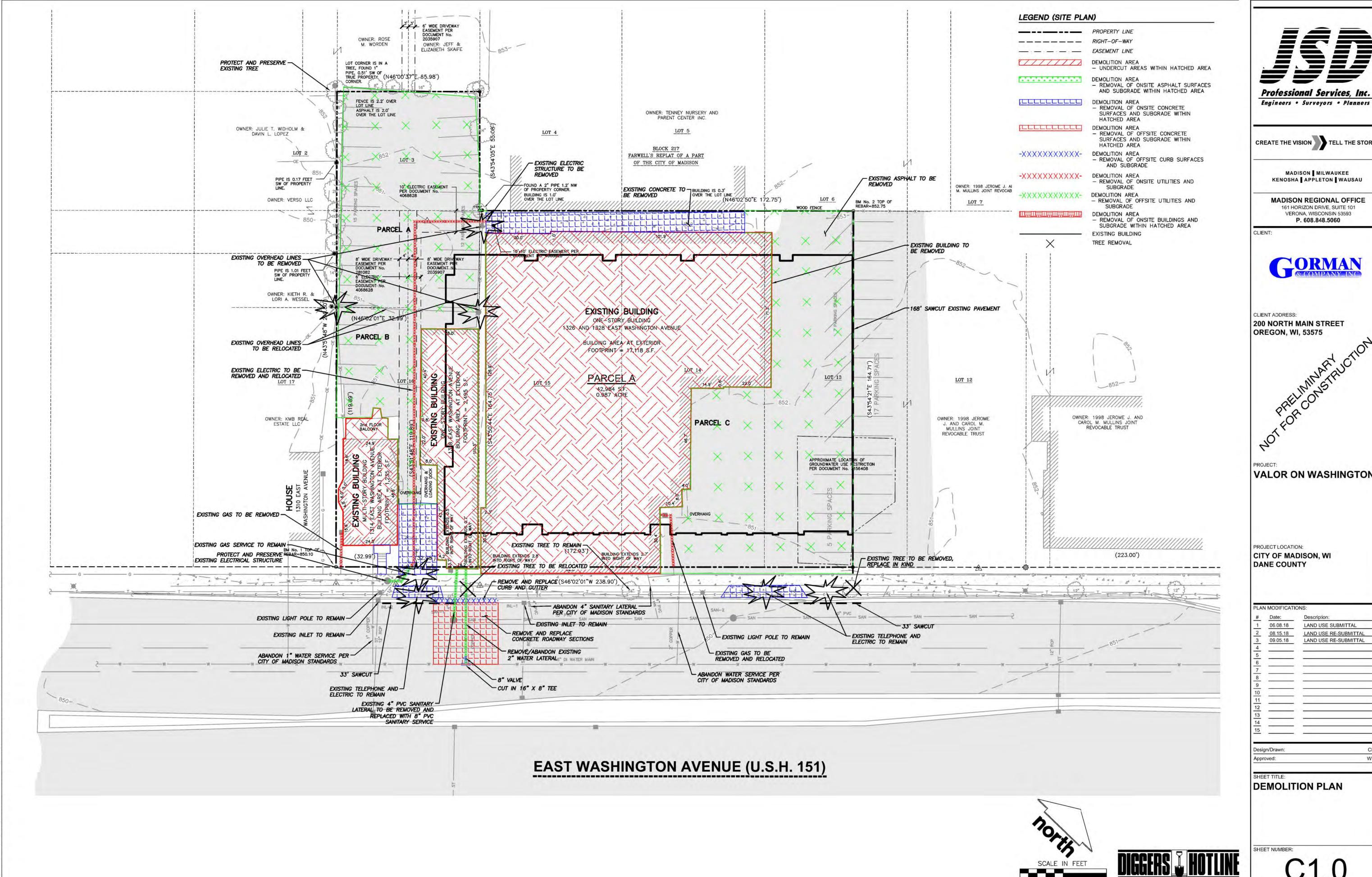
EXISTING CONDITIONS
MAP

SHEET NUMBER:

SD PROJECT NO:

1 OF 1

18-856



Professional Services, Inc.

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101



200 NORTH MAIN STREET

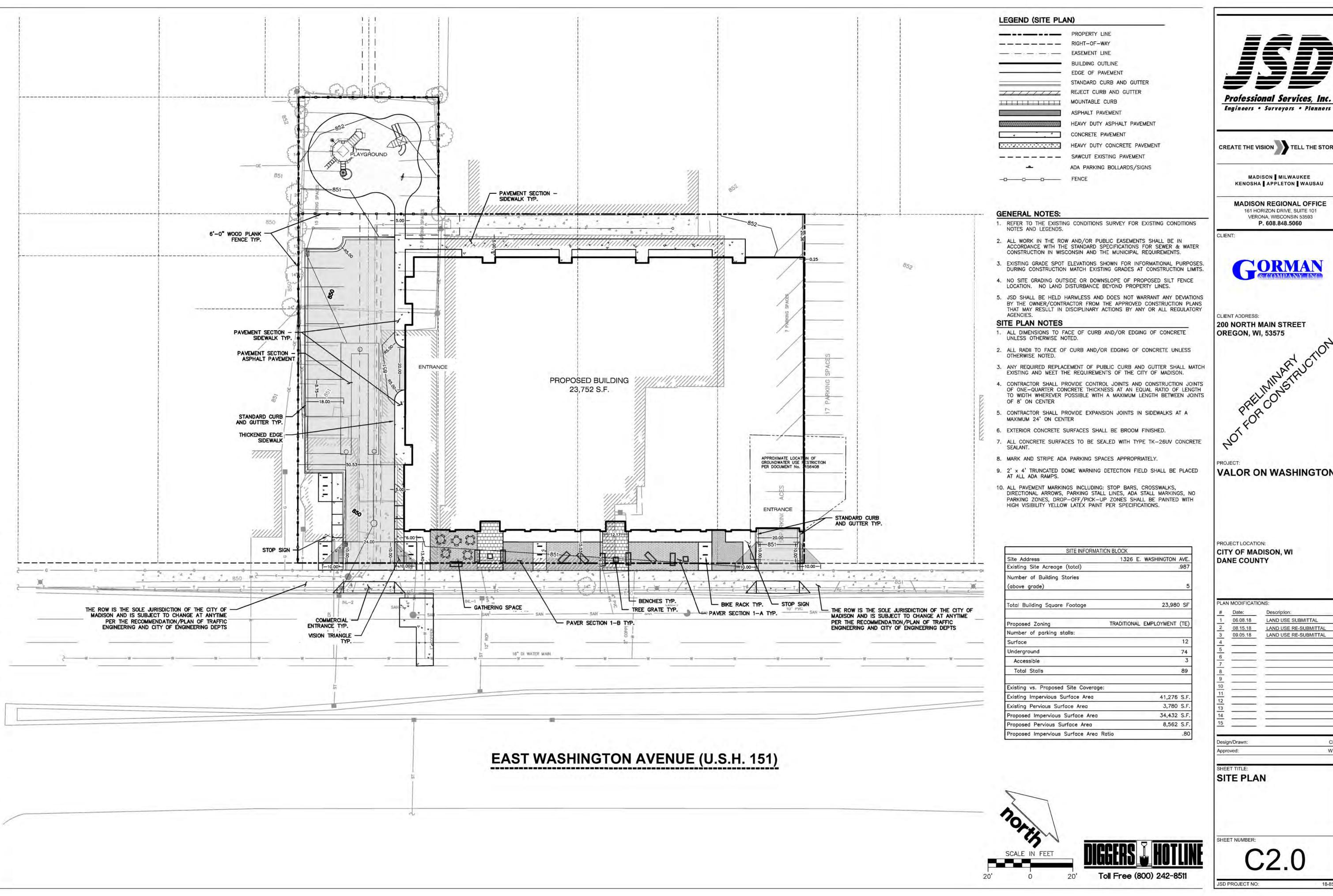
VALOR ON WASHINGTON

LAND USE SUBMITTAL LAND USE RE-SUBMITTAL LAND USE RE-SUBMITTAL

Toll Free (800) 242-8511

JSD PROJECT NO:

18-8568



Professional Services, Inc.

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MADISON | MILWAUKEE KENOSHA APPLETON WAUSAU

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060



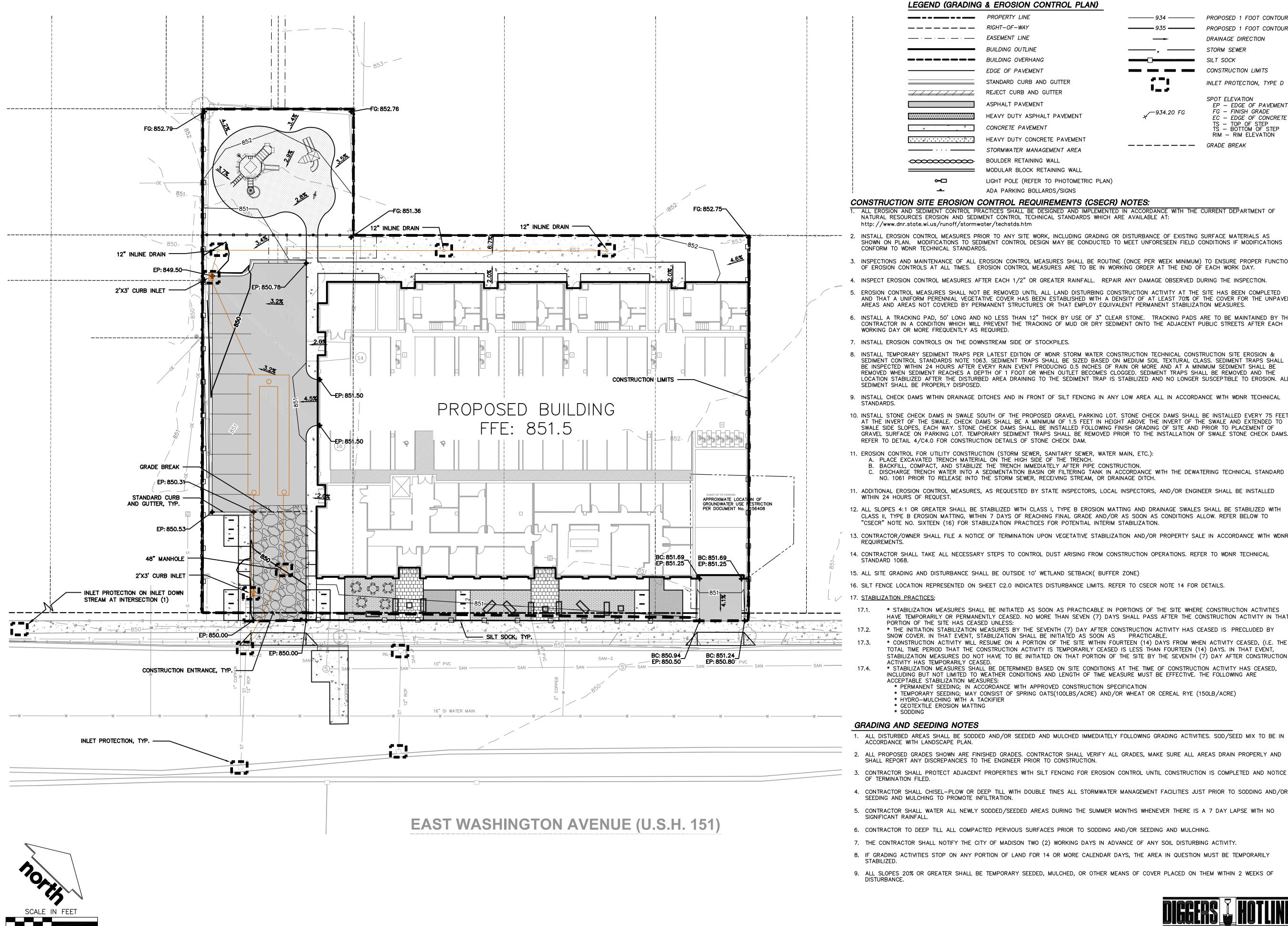
CLIENT ADDRESS:

VALOR ON WASHINGTON

PROJECT LOCATION: CITY OF MADISON, WI

LAN MODIFICATIONS: LAND USE SUBMITTAL LAND USE RE-SUBMITTAL LAND USE RE-SUBMITTAL

SITE PLAN



LEGEND (GRADING & EROSION CONTROL PLAN)

PROPERTY LINE ------ 934 ------ PROPOSED 1 FOOT CONTOUR RIGHT-OF-WAY PROPOSED 1 FOOT CONTOUR EASEMENT LINE DRAINAGE DIRECTION BUILDING OUTLINE STORM SEWER BUILDING OVERHANG SILT SOCK CONSTRUCTION LIMITS EDGE OF PAVEMENT STANDARD CURB AND GUTTER INLET PROTECTION, TYPE D REJECT CURB AND GUTTER SPOT ELEVATION ASPHALT PAVEMENT EP - EDGE OF PAVEMENT FG — FINISH GRADE ∕−934.20 FG HEAVY DUTY ASPHALT PAVEMENT EC - EDGE OF CONCRETE TS - TOP OF STEP TS - BOTTOM OF STEP CONCRETE PAVEMENT RIM - RIM ELEVATION HEAVY DUTY CONCRETE PAVEMENT — — — — — — GRADE BREAK STORMWATER MANAGEMENT AREA · BOULDER RETAINING WALL MODULAR BLOCK RETAINING WALL LIGHT POLE (REFER TO PHOTOMETRIC PLAN)

### CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:

ADA PARKING BOLLARDS/SIGNS

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm

- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- 3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- 4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- 5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- 6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- 7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- 8. INSTALL TEMPORARY SEDIMENT TRAPS PER LATEST EDITION OF WDNR STORM WATER CONSTRUCTION TECHNICAL CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS NOTE 1063. SEDIMENT TRAPS SHALL BE SIZED BASED ON MEDIUM SOIL TEXTURAL CLASS. SEDIMENT TRAPS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EVERY RAIN EVENT PRODUCING 0.5 INCHES OF RAIN OR MORE AND AT A MINIMUM SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 1 FOOT OR WHEN OUTLET BECOMES CLOGGED. SEDIMENT TRAPS SHALL BE REMOVED AND THE LOCATION STABILIZED AFTER THE DISTURBED AREA DRAINING TO THE SEDIMENT TRAP IS STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION. ALL SEDIMENT SHALL BE PROPERLY DISPOSED.
- 9. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL
- 10. INSTALL STONE CHECK DAMS IN SWALE SOUTH OF THE PROPOSED GRAVEL PARKING LOT. STONE CHECK DAMS SHALL BE INSTALLED EVERY 75 FEET, AT THE INVERT OF THE SWALE. CHECK DAMS SHALL BE A MINIMUM OF 1.5 FEET IN HEIGHT ABOVE THE INVERT OF THE SWALE AND EXTENDED TO SWALE SIDE SLOPES, EACH WAY. STONE CHECK DAMS SHALL BE INSTALLED FOLLOWING FINISH GRADING OF SITE AND PRIOR TO PLACEMENT OF GRAVEL SURFACE ON PARKING LOT. TEMPORARY SEDIMENT TRAPS SHALL BE REMOVED PRIOR TO THE INSTALLATION OF SWALE STONE CHECK DAMS. REFER TO DETAIL 4/C4.0 FOR CONSTRUCTION DETAILS OF STONE CHECK DAM.
- 11. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.): A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - . BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION. C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- 11. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED
- 12. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO
- 13. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR
- 14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL
- STANDARD 1068.
- 15. ALL SITE GRADING AND DISTURBANCE SHALL BE OUTSIDE 10' WETLAND SETBACK( BUFFER ZONE)
- 17. STABILIZATION PRACTICES:
- \* STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
- \* THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY
- SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE. \* CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT,
- ACTIVITY HAS TEMPORARILY CEASED. \* STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED. INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
  - \* PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION \* TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
  - \* HYDRO-MULCHING WITH A TACKIFIER

### GRADING AND SEEDING NOTES

- 1. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- 2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE
- 4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR
- SEEDING AND MULCHING TO PROMOTE INFILTRATION. 5. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO
- 6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- 7. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- 8. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY
- 9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF





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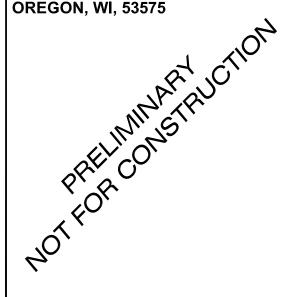
MADISON MILWAUKEE KENOSHA APPLETON WAUSAU

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060

CLIENT:



CLIENT ADDRESS: 200 NORTH MAIN STREET



VALOR ON WASHINGTON

PROJECT LOCATION: CITY OF MADISON. WI

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PLAN	MODIFICATIONS

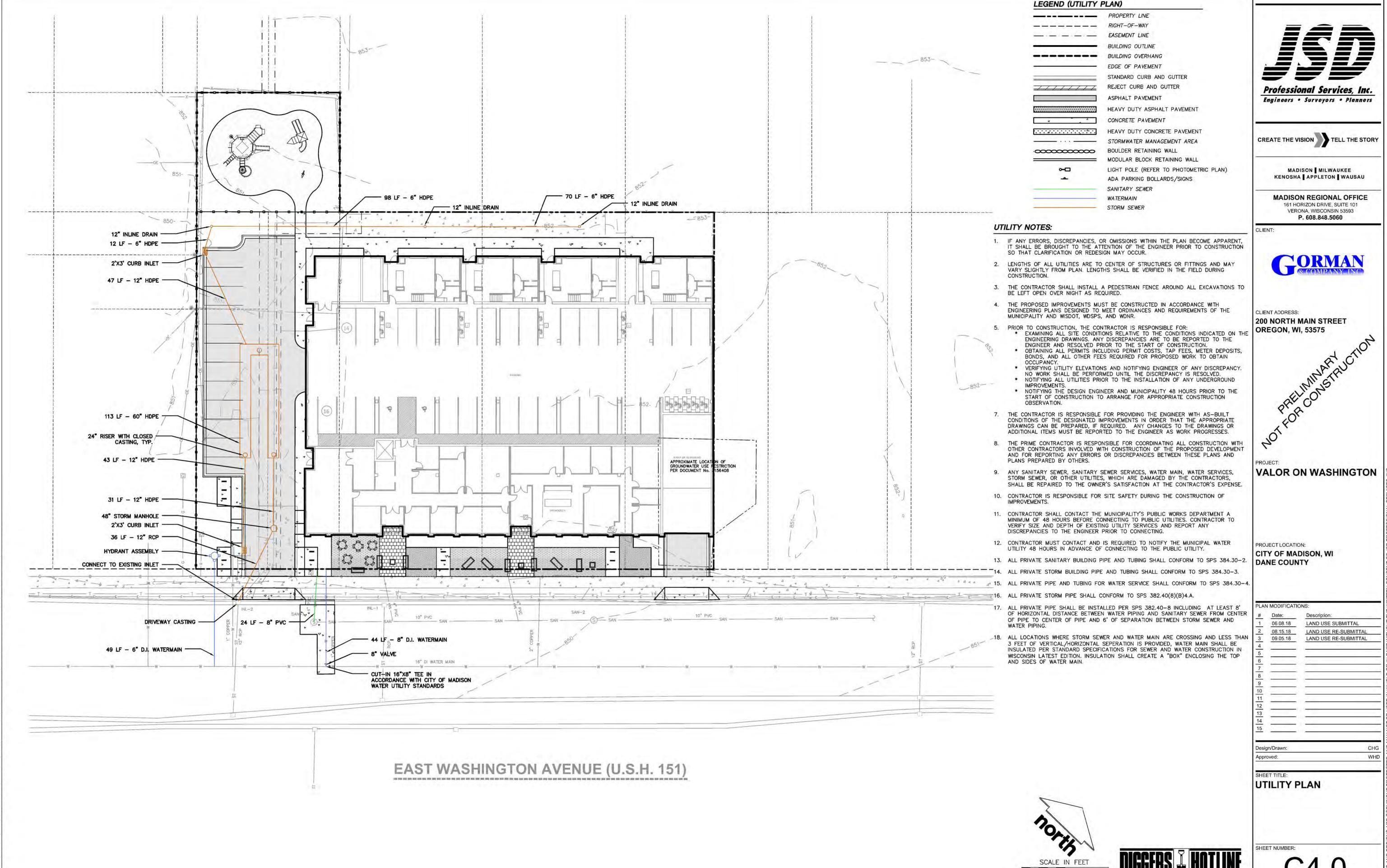
**DANE COUNTY** 

LAND USE SUBMITTAL LAND USE RE-SUBMITTAL LAND USE RE-SUBMITTAL

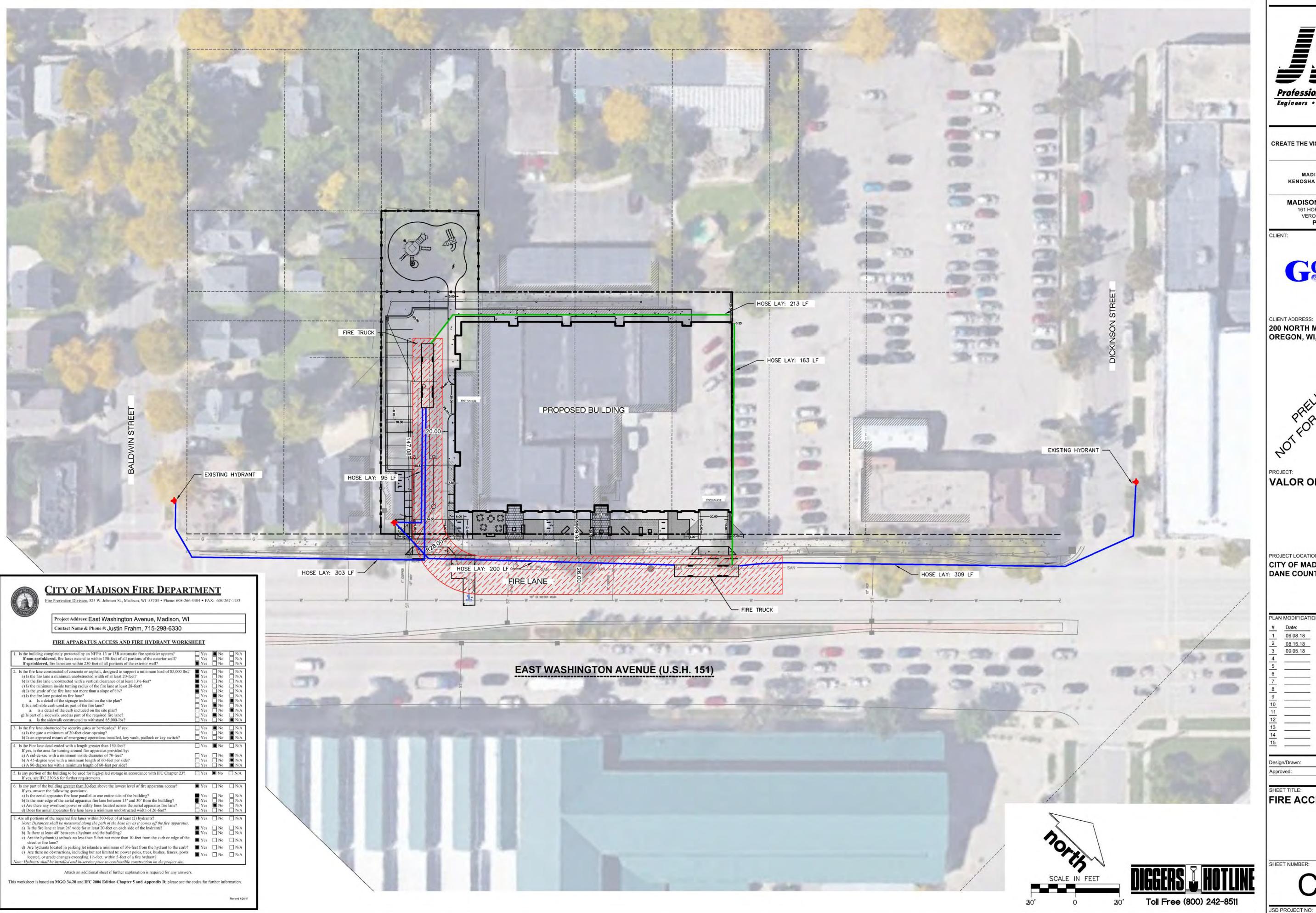
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**GRADING & EROSION CONTROL PLAN** 

SD PROJECT NO:



JSD PROJECT NO:





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MADISON MILWAUKEE
KENOSHA APPLETON WAUSAU

MADISON REGIONAL OFFICE

161 HORIZON DRIVE, SUITE 101

VERONA, WISCONSIN 53593

P. 608.848.5060



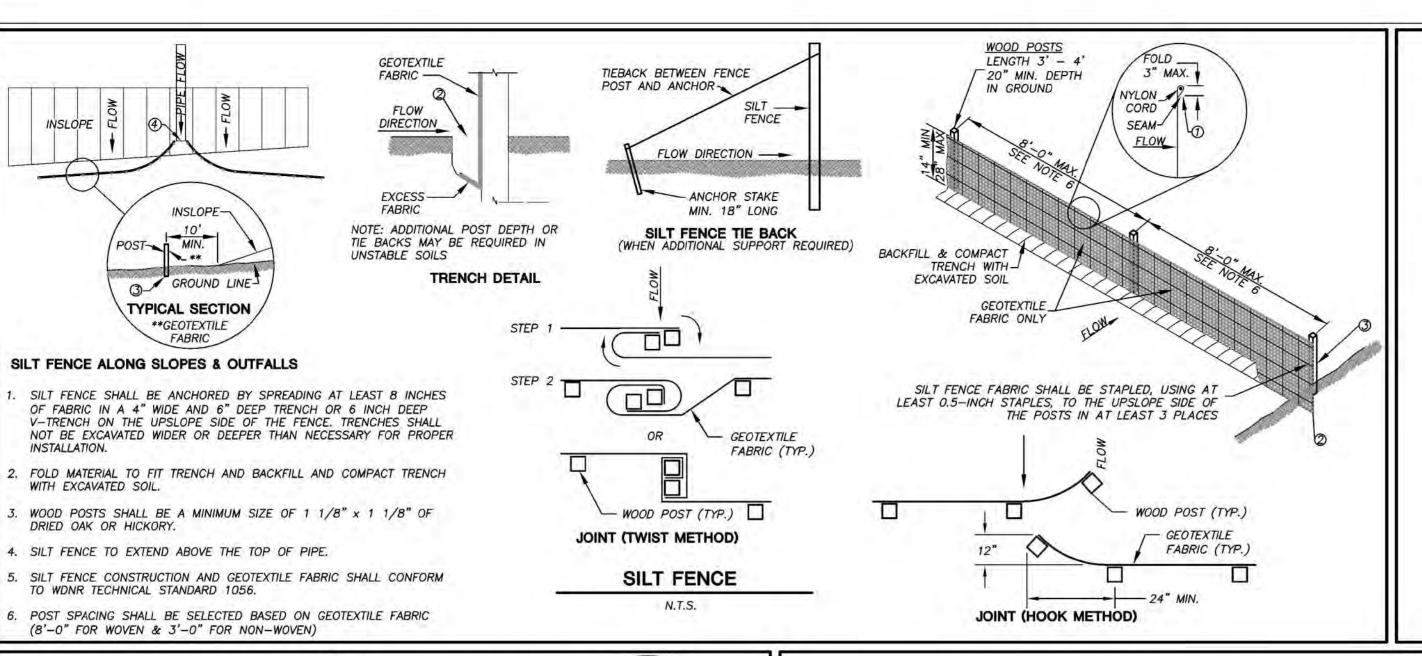
CLIENT ADDRESS: 200 NORTH MAIN STREET **OREGON, WI, 53575** 

VALOR ON WASHINGTON

PROJECT LOCATION: CITY OF MADISON, WI DANE COUNTY

#	Date:	Description:
1	06.08.18	LAND USE SUBMITTAL
1 2 3 4 5 6	08.15.18	LAND USE RE-SUBMITTAL
3	09.05.18	LAND USE RE-SUBMITTAL
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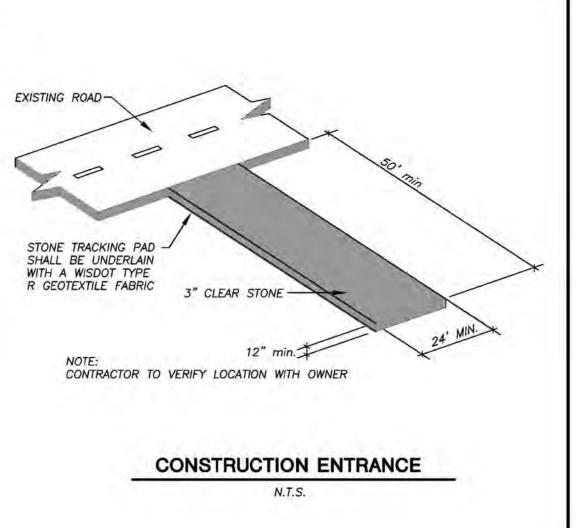
FIRE ACCESS PLAN



GRADE

SET FRAME IN

6" MIN. 1-1/2" STONE



SIGNAGE - COMPLY WITH TRANS 200.07 HANDICAPPED

REQUIRED @ VAN ACCESSIBLE

2" x 2" x 12 GA. GALVANIZED

BREAKAWAY TYPE SIGN POST

TO BE PAINTED RAL7012,

12 GA. GALVANIZED SQUARE

STEEL TUBE ANCHOR POST

SLEEVE (ONE SIZE LARGER

ANCHOR POST SLEEVE.

- 10" CONCRETE FILLED POST HOLE

OPTION: DRIVEN POST SYSTEM MAY

BE UTILIZED IN LIEU OF CONCRETE BASE. PROVIDE MIN. 3'-0" LONG

THAN SIGN POST)

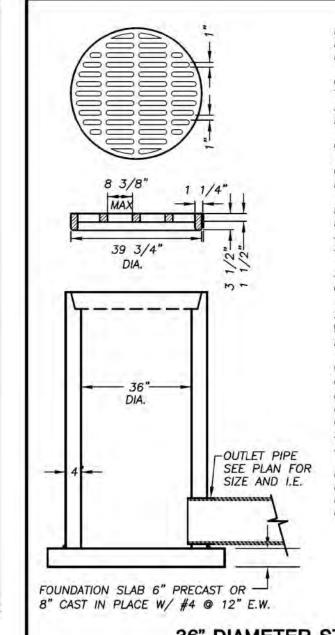
SQUARE STEEL TUBE

PARKING SIGNS

STALL ONLY

BASALT GREY

THIS SPACE



IN BELL GRATE IS CUSTOM MANUFACTURED BY THE NEENAH FOUNDRY COMPANY TO MADISON CONCRETE PIPE SPECIFICATIONS

GRATE IS CAST GRAY IRON MANUFACTURED TO MEET ASTM A-48 CLASS 35 B AND AASHTO M105 SPECIFICATIONS - GRATE

HYDRAULICS ARE AVAILABLE UPON REQUEST GRATES ARE AASHTO H20 LOAD RATED

GRATE SETS FLUSH WITH TOP OF CATCH BASIN BELL

PRECAST REINFORCED CONCRETE CATCH BASIN IS MANUFACTURED TO MEET ASTM C-478 AND AASHTO M199 SPECIFICATIONS

STANDARD CATCH BASIN BARREL HEIGHTS: 0'-6", 1'-0", 2'-0", 3'-0" AND 4'-0"

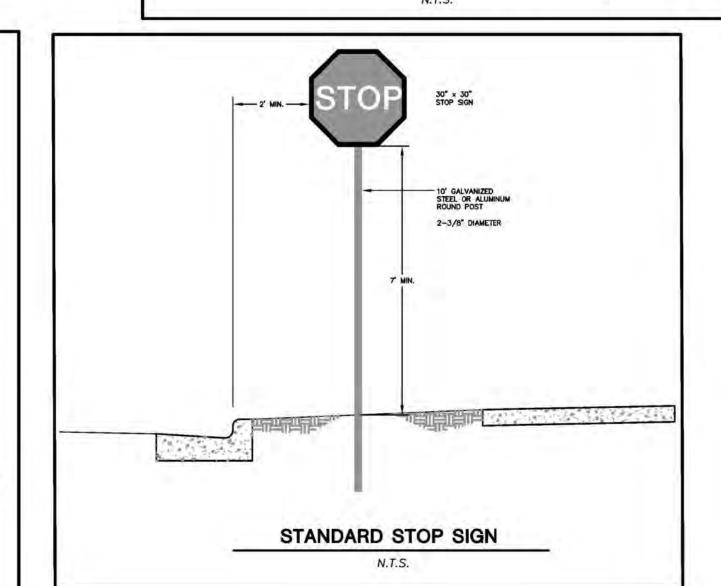
STOCK 36" DIA. CATCH BASINS AVAILABLE WITH OR WITHOUT A 6" THICK INTEGRAL BASE OR AS SPECIFIED

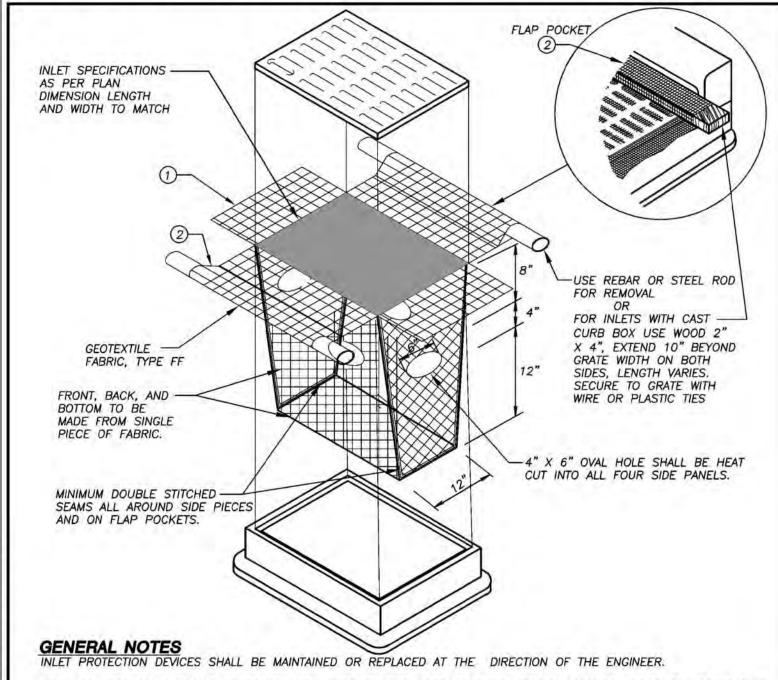
CATCH BASIN JOINT MATERIAL: CONSEAL CS-102 AND/OR CS-202 AS MANUFACTURED BY CONCRETE SEALANTS INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF FEDERAL SPECIFICATION SS-S-210 (210A), AASHTO M-198B AND ASTM C-990

PIPE TO CATCH BASIN CONNECTORS: KOR-N-SEAL AS MANUFACTURED BY NPC INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF ASTM C-923

36" DIAMETER STORM INLET

N.T.S.





MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT

FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1) FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

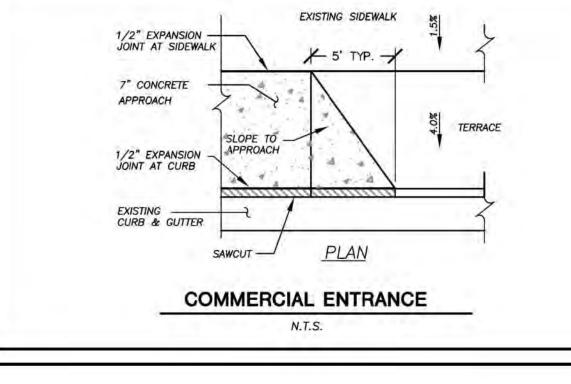
INSTALLATION NOTES
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

### INLET PROTECTION, TYPE D

N.T.S.



STORM MANHOLE

N.T.S.

— 2" MIN.

R-1550 FRAME W/SOLID LID (TYP.) OR AS INDICATED ON PLANS

1. MANHOLE CONSTRUCTION TO

CONCRETE 2. JOINTS SHALL BE WATERTIGHT.

CONNECTIONS.

3. USE MORTAR FOR PIPE

MEET REQUIREMENTS OF ASTM

USE BUTYL RUBBER GASKET.

- RIM ELEV.

SEE PLANS

GRADE RINGS

PRECAST

MANHOLF.

SECTION

O RING OR

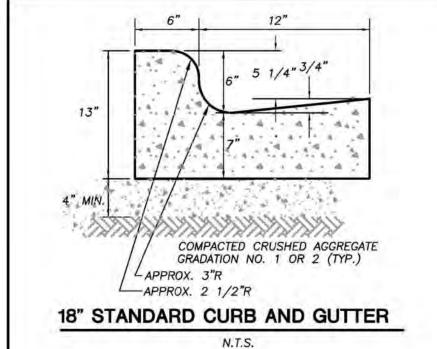
CHANNEL

MASTIC JOINTS

CONCRETE

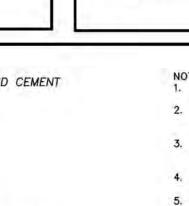
ADJUST TO FINISH

GRADE WITH CONCRETE



ADA PARKING STALL SIGN

N.T.S.



REFER TO GEOTECHNICAL REPORT TO BE PREFORMED TO DETERMINE PROPER THICKNESS. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND GEOTECHNICAL REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN. WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL

SPECIFICATIONS, BUT EXCLUDING LIMITATIONS IN SECTION 460.3.2 RESTRICTING LAYER THICKNESS BY COMPACTION REQUIREMENTS:

- BITUMINOUS CONCRETE: REFER TO SECTION 460-3.

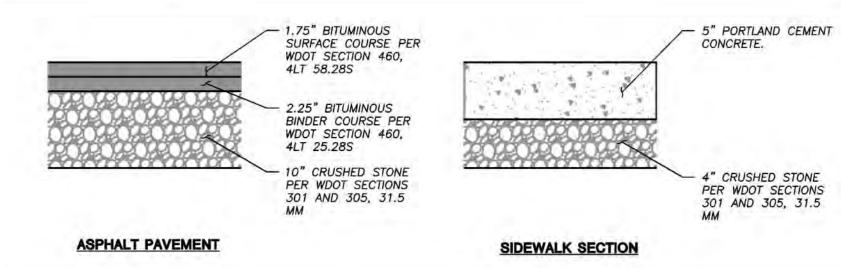
- BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION
MIXTURE TYPE E-0.3 BITUMINOUS PAVEMENT IS RECOMMENDED; REFER TO SECTION 460, TABLE 460-2 OF THE

5. CONCRETE PADS SHALL HAVE A WIRE REINFORCEMENT MESH (W6X6, 2.9X2.9) FOR CRACK CONTROL.

**PAVEMENT SECTIONS** 

N.T.S.

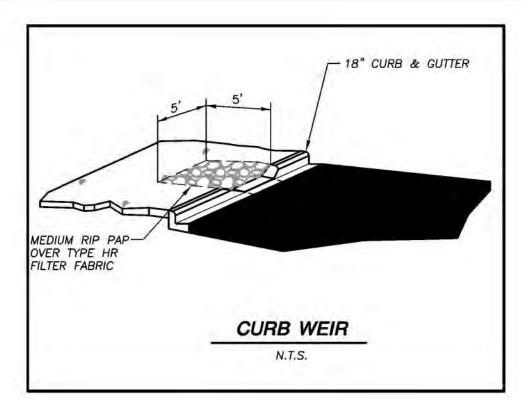
SIDEWALK FLUSH — 18" CURB HEAD TAPER (TYP.) WITH PAVEMENT 2' X 4' TRUNCATED - 18" CURB & GUTTER DOME WARNING DETECTION FIELD ADA RAMP

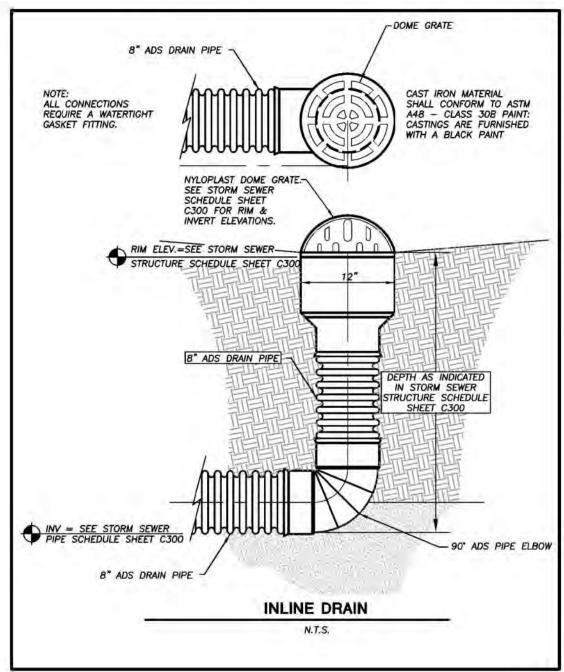


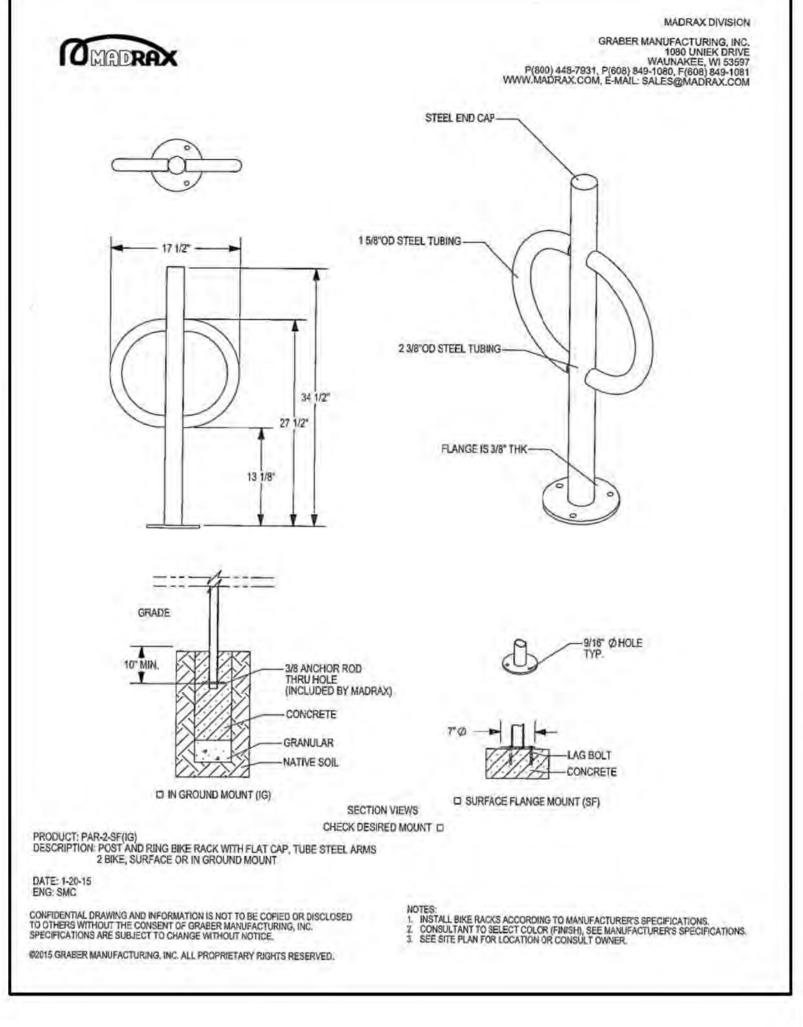
Toll Free (800) 242-8511

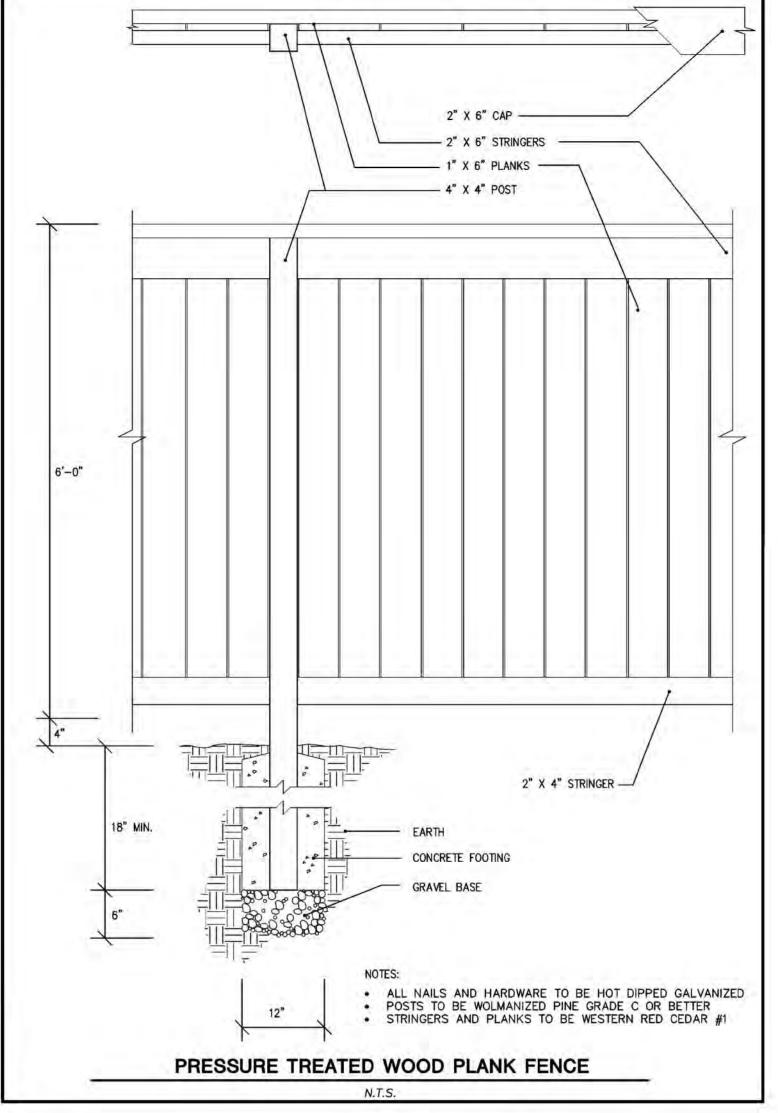
Professional Services, Inc. Engineers • Surveyors • Planners CREATE THE VISION TELL THE STORY MADISON | MILWAUKEE KENOSHA APPLETON WAUSAU MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060 CLIENT: CLIENT ADDRESS: 200 NORTH MAIN STREET OREGON, WI, 53575 VALOR ON WASHINGTON PROJECT LOCATION: CITY OF MADISON, WI DANE COUNTY LAN MODIFICATIONS: LAND USE SUBMITTAL 06.08.18 LAND USE RE-SUBMITTAL 09.05.18 LAND USE RE-SUBMITTAL esign/Drawn: WHD Approved: **DETAILS** 

JSD PROJECT NO:











CREATE THE VISION TELL THE STORY

MADISON MILWAUKEE
KENOSHA APPLETON WAUSAU

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060

CLIENT:



CLIENT ADDRESS: 200 NORTH MAIN STREET OREGON, WI, 53575

NOT FOR CONSTRUCTION

VALOR ON WASHINGTON

PROJECT LOCATION:
CITY OF MADISON, WI
DANE COUNTY

#	Date:	Description:
1	06.08.18	LAND USE SUBMITTAL
2	08.15.18	LAND USE RE-SUBMITTAL
	09.05.18	LAND USE RE-SUBMITTAL
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DETAILS

EET NUMBER:

C6.1

### **DEMOLITION NOTES**

- RESSTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF 1. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION 1. THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING
- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND
- 4. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENCROACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCHING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.
- 6. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- 8. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING
- 10. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS, ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
- 11. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
- 11.1. EXAMINGING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF
- 11.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
- 11.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
- NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- 12. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- 13. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- 14. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- 15. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED VILLAGE OF OREGON RECYCLING PLAN.
- 16. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED
- 17. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- 18. EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE
- 19. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND VILLAGE OF OREGON SPECIFICATIONS.
- 20. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- 21. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- 22. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES. OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS
- 23. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL"
- 24. THIS SITE IS A CLOSED ENVIRONMENTAL RECLAMATION SITE. THE CONTRACTOR SHALL COMPLY WITH THE APPROVED ENVIRONMENTAL RECLAMATION PLAN INCLUDING MAINTAINING AND PROVIDING ALL RECORDS TO THE OWNER OF DISPOSAL OF MATERIALS REMOVED FROM THE SITE IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. THE OWNER WILL PROVIDE THE MATERIAL MANAGEMENT PLAN.
- 25. IF THE CONTRACTOR ENCOUNTERS ANY POTENTIALLY HAZARDOUS MATERIAL, THEY SHALL STOP WORK AND NOTIFY THE OWNER'S CONSTRUCTION REPRESENTATIVE

### GENERAL NOTES:

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT
- CONSTRUCTION LIMITS. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- 5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. SITE PLAN NOTES
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- 3. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE VILLAGE OF OREGON.
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
- 5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
- 6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- 8. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 9. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.
- 10. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH HIGH VISIBILITY YELLOW LATEX PAINT PER SPECIFICATIONS.

### **UTILITY NOTES:**

- OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDNR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:

APPROPRIATE CONSTRUCTION OBSERVATION.

- \* EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY. \* VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL
  - THE DISCREPANCY IS RESOLVED. \* NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS. \* NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL
- ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH
- CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH
- ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

10. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.

- 11. CONTRACTOR SHALL CONTACT THE MUNICIPALITY'S PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO 10. INSTALL STONE CHECK DAMS IN SWALE SOUTH OF THE PROPOSED GRAVEL PARKING LOT. STONE CHECK DAMS SHALL BE
- 12. CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE MUNICIPAL WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
- 13. ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- 14. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3. 15. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4
- 16. ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(8)(B)4.A.
- 17. ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER 11. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND
- ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPERATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSING THE TOP AND SIDES OF WATER

### CONSTRUCTION SEQUENCING

THE ENGINEER PRIOR TO CONNECTING.

- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- 2. STRIP TOPSOIL
- 3. INSTALL ALL SWALES AND RAIN GARDENS
- 4. EXCAVATE BUILDING FOUNDATIONS.
- 5. COMPLETE ALL OTHER GRADING.
- 6. INSTALL STORM SEWER & INLET PROTECTION MEASURES.
- 7. INSTALL AGGREGATE BASE COURSE AND PAVING IN PARKING AREAS.
- 8. STABILIZE NEWLY GRADED SOILS. 9. COMPLETE EXTERIOR BUILDING WORK AND DOWNSPOUTS
- 10. REGRADE & STABILIZE TEMPORARY SEDIMENT BASIN.

### CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm
- 2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- 3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE

PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE

- END OF EACH WORK DAY. 4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE
- 5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- 6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- 7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- INSTALL TEMPORARY SEDIMENT TRAPS PER LATEST EDITION OF WDNR STORM WATER CONSTRUCTION TECHNICAL CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS NOTE 1063. SEDIMENT TRAPS SHALL BE SIZED BASED ON MEDIUM SOIL TEXTURAL CLASS. SEDIMENT TRAPS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EVERY RAIN EVENT PRODUCING 0.5 INCHES OF RAIN OR MORE AND AT A MINIMUM SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 1 FOOT OR WHEN OUTLET BECOMES CLOGGED. SEDIMENT TRAPS SHALL BE REMOVED AND THE LOCATION STABILIZED AFTER THE DISTURBED AREA DRAINING TO THE SEDIMENT TRAP IS STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION. ALL SEDIMENT SHALL BE PROPERLY DISPOSED.
- 9. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
- INSTALLED EVERY 75 FEET. AT THE INVERT OF THE SWALE. CHECK DAMS SHALL BE A MINIMUM OF 1.5 FEET IN HEIGHT ABOVE THE INVERT OF THE SWALE AND EXTENDED TO SWALE SIDE SLOPES, EACH WAY. STONE CHECK DAMS SHALL BE INSTALLED FOLLOWING FINISH GRADING OF SITE AND PRIOR TO PLACEMENT OF GRAVEL SURFACE ON PARKING LOT. TEMPORARY SEDIMENT TRAPS SHALL BE REMOVED PRIOR TO THE INSTALLATION OF SWALE STONE CHECK DAMS. REFER TO DETAIL 4/C4.0 FOR CONSTRUCTION DETAILS OF STONE CHECK DAM.
- 11. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION
  - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- 12. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. SIXTEEN (16) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM
- 13. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- 14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- 15. ALL SITE GRADING AND DISTURBANCE SHALL BE OUTSIDE 10' WETLAND SETBACK( BUFFER ZONE)
- 17. STABILIZATION PRACTICES:

16. SILT FENCE LOCATION REPRESENTED ON SHEET C2.0 INDICATES DISTURBANCE LIMITS. REFER TO CSECR NOTE 14 FOR DETAILS.

- \* STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
- \* THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
- \* CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF
- THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. \* STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
  - \* PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
  - \* TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
- \* HYDRO-MULCHING WITH A TACKIFIER \* GEOTEXTILE EROSION MATTING

### GRADING AND SEEDING NOTES

TEMPORARILY STABILIZED.

1. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES.

PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

- SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN. 2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES. MAKE SURE ALL AREAS DRAIN
- 3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- 4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- 5. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- 6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- 7. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON ENGINEERING DIVISION TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL

8. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE

9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN



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MADISON MILWAUKEE KENOSHA APPLETON WAUSAU

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060

CLIENT

CLIENT ADDRESS:



200 NORTH MAIN STREET **OREGON, WI, 53575** 

VALOR ON WASHINGTON

PROJECT LOCATION: CITY OF MADISON, WI DANE COUNTY

PLA	N MODIFICATION
#	Date:

LAND USE SUBMITTAL 08.15.18 LAND USE RE-SUBMITTAL 09.05.18 LAND USE RE-SUBMITTAL

> CHG WHD

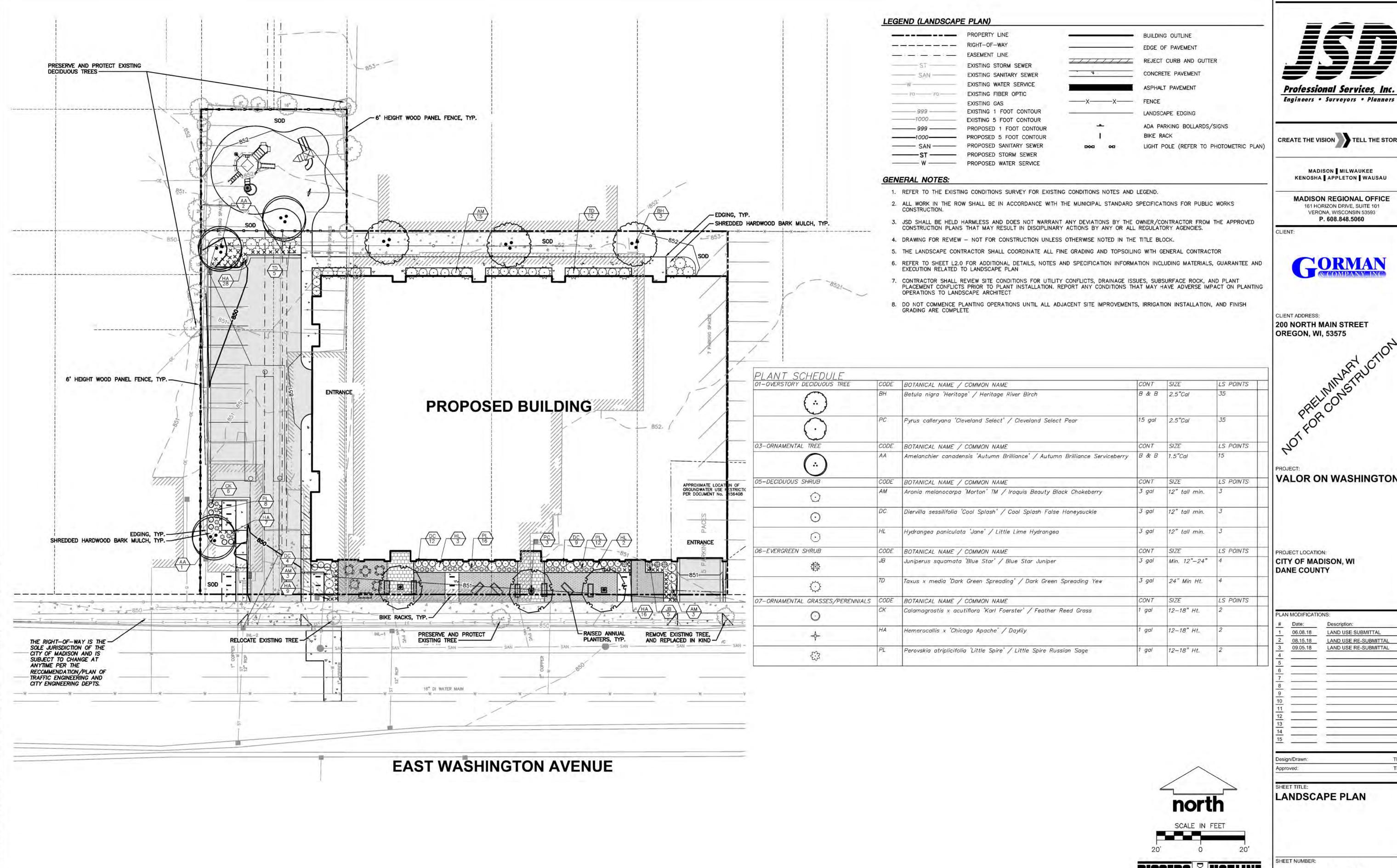
18-8568

pproved:

**NOTES** 

esign/Drawn:

SD PROJECT NO:



Professional Services, Inc.

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MADISON | MILWAUKEE KENOSHA APPLETON WAUSAU

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060



CLIENT ADDRESS: 200 NORTH MAIN STREET **OREGON, WI, 53575** 

**VALOR ON WASHINGTON** 

CITY OF MADISON, WI

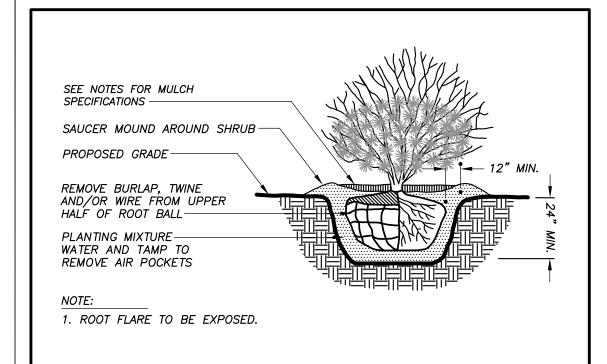
PLAN MODIFICATIONS:

LAND USE SUBMITTAL LAND USE RE-SUBMITTAL LAND USE RE-SUBMITTAL

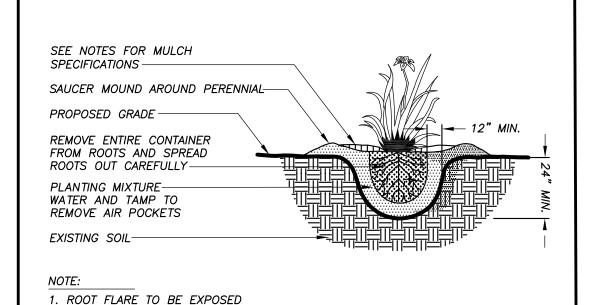
LANDSCAPE PLAN

JSD PROJECT NO:

**DECIDUOUS TREE PLANTING DETAIL** 



### DECIDUOUS/EVERGREEN SHRUB PLANTING DETAIL

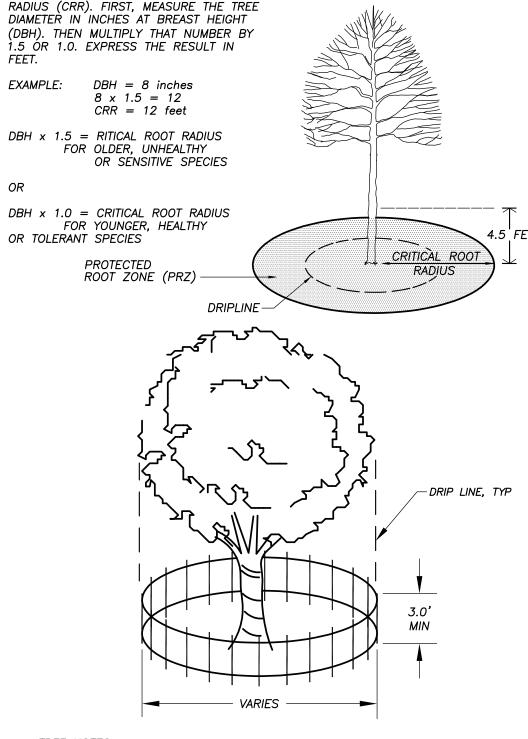


### PERENNIAL/ORNAMENTAL GRASS

APPROXIMATE A TREE'S PROTECTED ROOT

ZONE BY CALCULATING THE CRITICAL ROOT

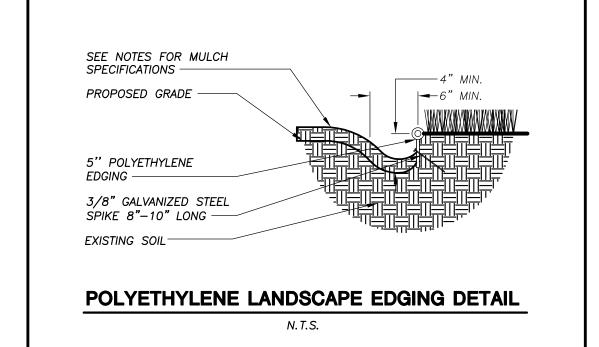
**PLANTING DETAIL** N.T.S.



### TREE NOTES:

- 1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
- 2. NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
- 3. IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

### TREE PROTECTION DETAIL



### **GENERAL NOTES**

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR
- 2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL
- 4. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300 PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- 6. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 7. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

### LANDSCAPE MATERIAL NOTES

- MATERIALS PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- 2. MATERIALS TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- 5. MATERIALS POLYETHYLENE EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

### **SEEDING & SODDING NOTES**

- MATERIALS TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS
- MATERIALS SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH, BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SÓD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

### **CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT. INCLUDING BUT NOT LIMITED TO BEDDING, EDGING. MULCH. ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)—YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



### **CITY OF MADISON** LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location /	Address	1328 EAST WASH	INGTON AVENUE	
Name of Project	VALOR	ON WASHINGTON	r	
Owner / Contact	JUSTIN	FRAHM		
Contact Phone	(608)	848-5060	Contact Email	JUSTIN.FRAHM@JSDINC.COM

\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\*

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10)
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved. (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

### **Landscape Calculations and Distribution**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 172		
170	Total square footage of developed area	10,290
Total landscape points required 1/2	Total landscape points required	172

(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional

Total square footage of developed area
Five (5) acres = $\underline{217,800}$ square feet
First five (5) developed acres = $3,630$ points
Remainder of developed area

Total landscape points required

(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Credits/ Existing New/ Proposed

Total square footage of developed area
Total landscape points required

### **Tabulation of Points and Credits**

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Dlant Towns/ Elamont	Minimum Size at	Points Landso				scaping	
Plant Type/ Element	Installation	Points	Quantity	Points Achieved	Quantity	Points Achieve	
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			6	210	
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35					
Ornamental tree	1 1/2 inch caliper	15			3	45	
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10					
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			51	153	
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			22	88	
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			102	204	
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.					
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200					
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"					
Sub Totals						700	

**Total Number of Points Provided** 700

\* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



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MADISON MILWAUKEE KENOSHA APPLETON WAUSAU

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060

CLIENT:

CLIENT ADDRESS:



200 NORTH MAIN STREET

**OREGON, WI, 53575** 

VALOR ON WASHINGTON

PROJECT LOCATION: CITY OF MADISON. WI

DANE COUNTY

_#_	Date:	Description:
_1_	06.08.18	LAND USE SUBMITTAL
2	08.15.18	LAND USE RE-SUBMITTAL
3	09.05.18	LAND USE RE-SUBMITTAL
4		
5		
6		
7		
8		
9		
10		
11		
12		-
<u>13</u>		
14		
<u>15</u>		

LANDSCAPE DETAILS. NOTES &

**SPECIFICATIONS** 

Approved:

ISD PROJECT NO:

1ST FLOOR PLAN - OVERALL

SCALE: 1/8" = 1'-0"



REAL ESTATE DEVELOPMENT & MANAGEMENT

200 N. MAIN STREET OREGON, WI 53575

### OR ON WASHINGTON

Project No.	Project Numbe
Plot Date:	9/20/2018 3:21:55 P
Drawn by:	GORMAN
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EAST WASHINGTON MADISON, WI

Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

1ST FLOOR PLAN -OVERALL

Sheet No.

SCALE: 1/8" = 1'-0"



REAL ESTATE DEVELOPMENT & MANAGEMENT

200 N. MAIN STREET OREGON, WI 53575

# VALOR ON WASHINGTON

Project No.	Project Numbe
Plot Date:	9/20/2018 3:21:57 P
Drawn by:	GORMAN TEAM

Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

2ND FLOOR PLAN -OVERALL

Sheet No.



188'-8"



REAL ESTATE DEVELOPMENT & MANAGEMENT

200 N. MAIN STREET OREGON, WI 53575

# ALOR ON WASHINGTO

Project No.	Project Number
Plot Date:	9/20/2018 3:22:00 PM
Drawn by:	GORMAN

Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

3RD FLOOR PLAN -OVERALL

Sheet No.

200 N. MAIN STREET OREGON, WI 53575

# ALOR ON WASHINGTON

Project No.	Project Number
Plot Date:	9/20/2018 3:22:04 PN
Drawn by:	GORMAN
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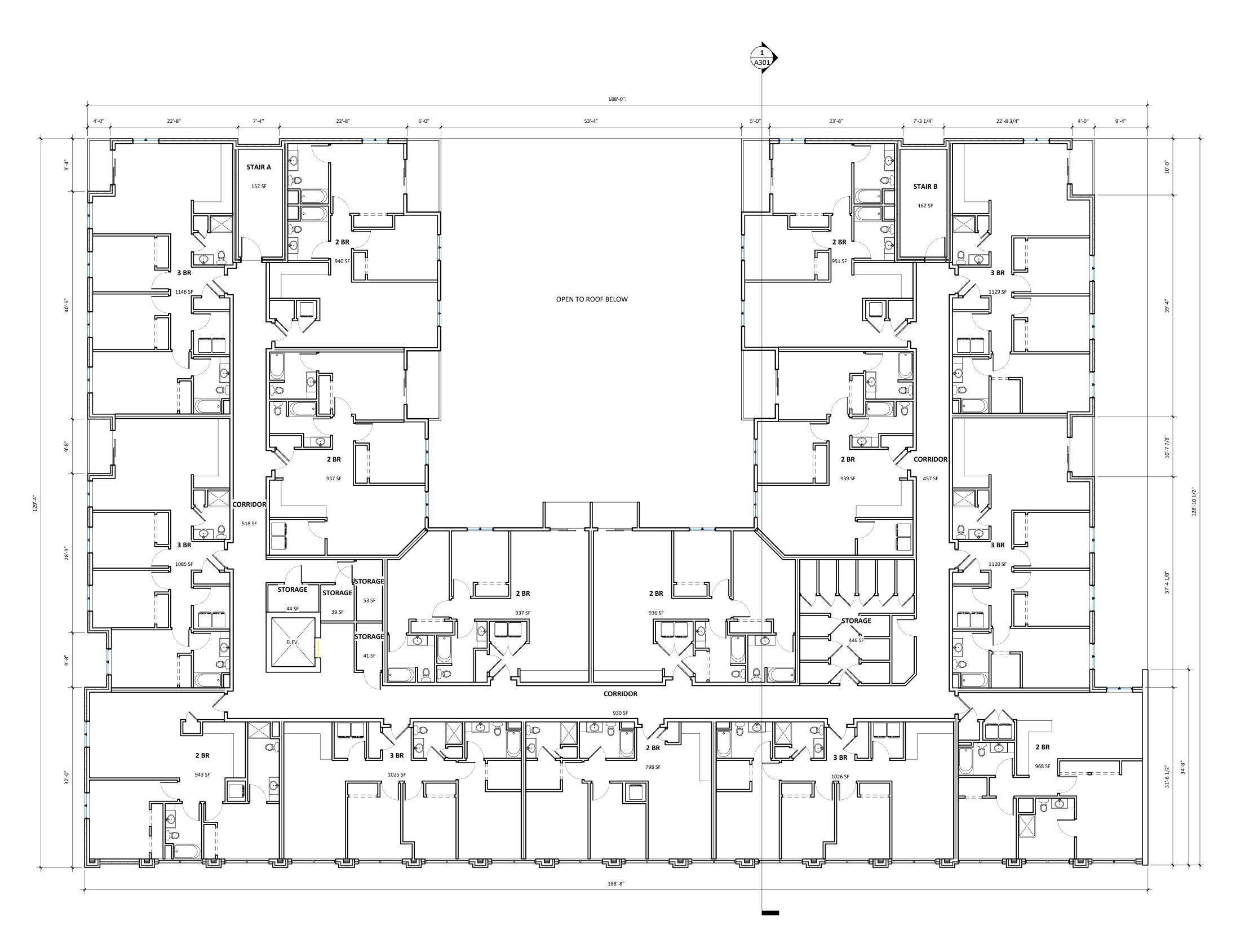
Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

4TH FLOOR PLAN -OVERALL

Sheet No.

A141



4TH FLOOR PLAN - OVERALL

SCALE: 1/8" = 1'-0"



200 N. MAIN STREET OREGON, WI 53575

# ALOR ON WASHINGTON

Project No.	Project Number
Plot Date:	9/20/2018 3:22:08 PM
Drawn by:	GORMAN

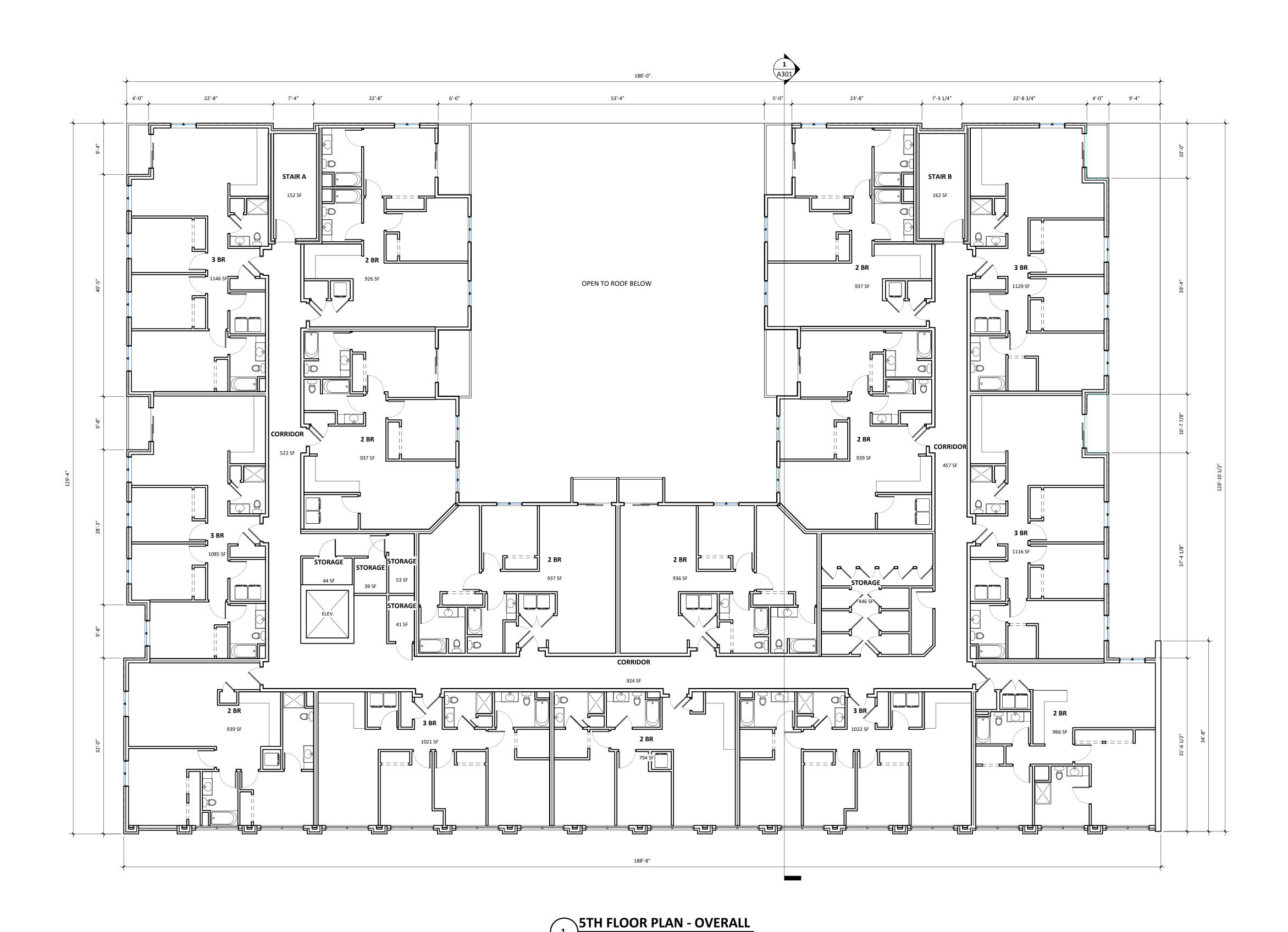
Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

5TH FLOOR PLAN -OVERALL

Sheet No.

A151



SCALE: 1/8" = 1'-0"





200 N. MAIN STREET OREGON, WI 53575

## LOR ON WASHINGTOR

Project No.	Project Numbe
Plot Date:	9/20/2018 3:22:10 F
Drawn by:	GORMAN

Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

6TH FLOOR PLAN -OVERALL

Sheet No.



200 N. MAIN STREET OREGON, WI 53575

# ALOR ON WASHINGTON

Project No.	Project Number
Plot Date:	9/20/2018 3:22:12 PM
Drawn by:	GORMAN

Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

ROOF PLAN - OVERALL

Sheet No.

200 N. MAIN STREET OREGON, WI 53575

VALOR ON WASHINGTON

Project No. Project Number
Plot Date: 9/20/2018 3:22:13 PM
Drawn by: GORMAN TEAM

EAST WASHINGTON MADISON, WI

Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

EXTERIOR BUILDING ELEVATIONS MATERIAL

Sheet No.

**A201** 



) SCALE : 1/8" = 1'-0"







200 N. MAIN STREET OREGON, WI 53575

# LOR ON WASHINGTON

Project No.	Project Numbe
Plot Date:	9/20/2018 3:22:14 P
Drawn by:	GORMAN TEAM

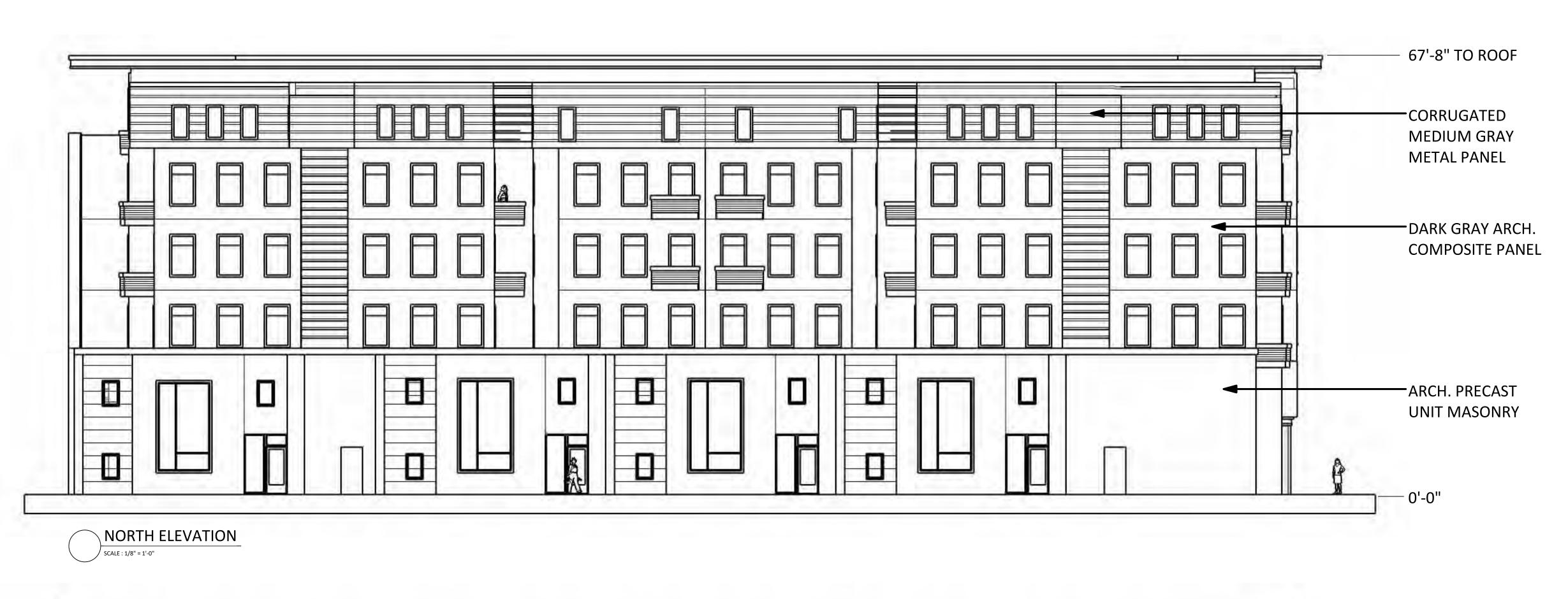
EAST WASHINGTON MADISON, WI

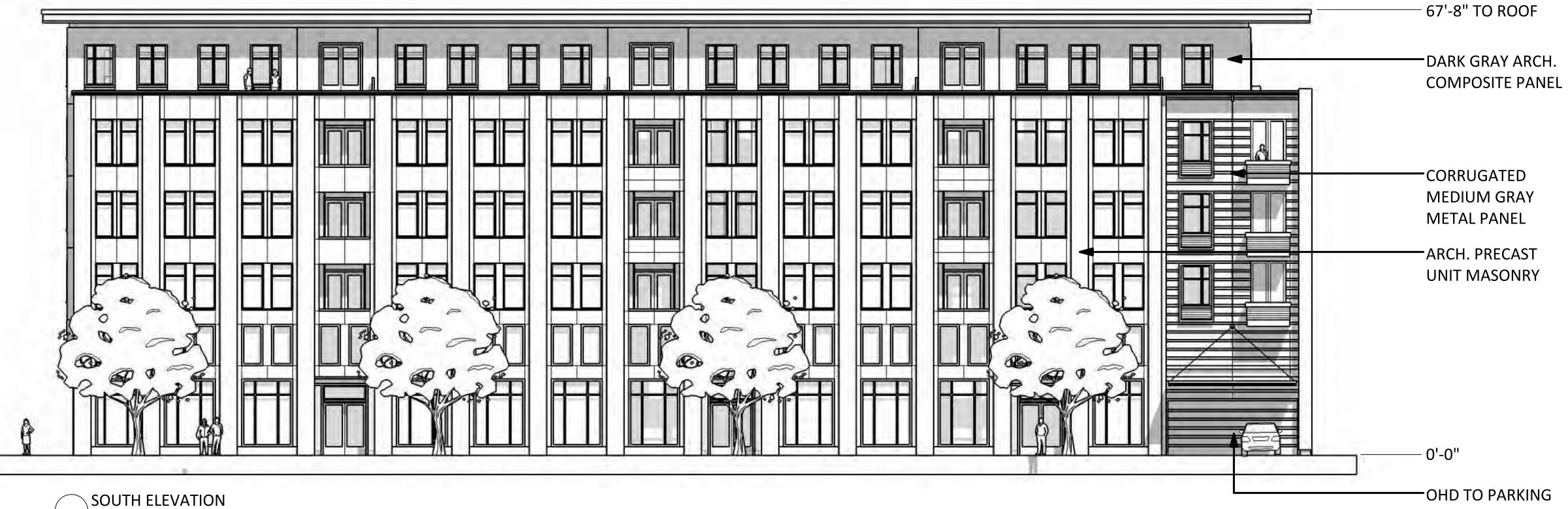
Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

EXTERIOR BUILDING ELEVATIONS MATERIAL

Sheet No.





SCALE : 1/8" = 1'-0"



REAL ESTATE DEVELOPMENT & MANAGEMENT

200 N. MAIN STREET OREGON, WI 53575

### ON WASHINGTON

Project No.	Project Number
Plot Date:	9/20/2018 3:22:15 PM
Drawn by:	GORMAN TEAM

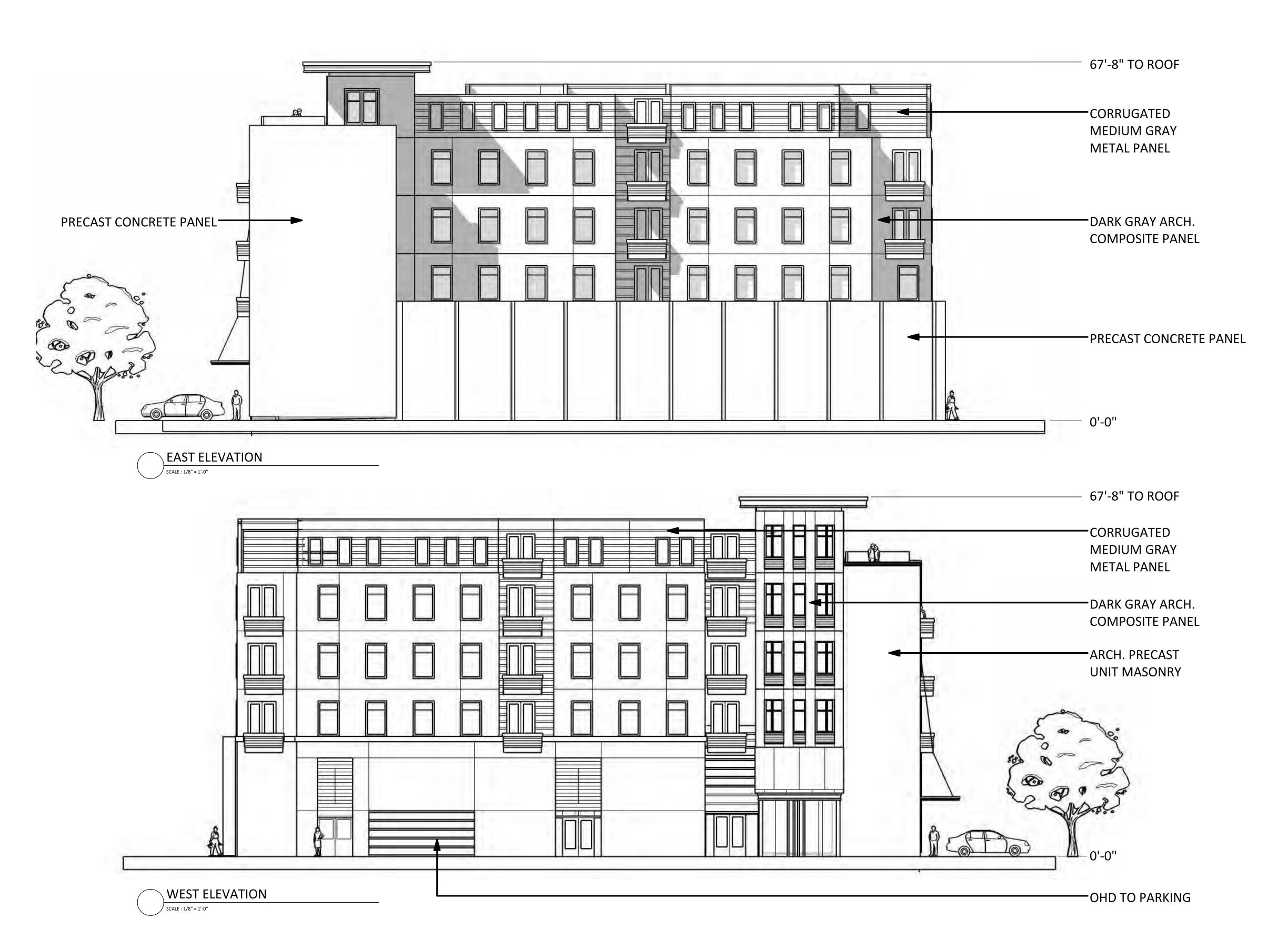
EAST WASHINGTON MADISON, WI

Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

EXTERIOR BUILDING ELEVATIONS B/W

Sheet No.





200 N. MAIN STREET OREGON, WI 53575

# LOR ON WASHINGTON

Project No.	Project Number
Plot Date:	9/20/2018 3:22:16 PM
Drawn by:	GORMAN TEAM

EAST WASHINGTON MADISON, WI

Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

EXTERIOR BUILDING ELEVATIONS B/W

Sheet No.



EAST PERSPECTIVE\_



REAL ESTATE DEVELOPMENT & MANAGEMENT

200 N. MAIN STREET OREGON, WI 53575

### **ON WASHINGTON** LOR

Project No.	Project Number
Plot Date:	9/20/2018 3:22:17 PM
Drawn by:	GORMAN TEAM

Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

PERSPECTIVES

Sheet No.



200 N. MAIN STREET OREGON, WI 53575

# **VALOR ON WASHINGTON**

Project No.	Project Number
Plot Date:	9/20/2018 3:22:18 PM
Drawn by:	GORMAN TEAM
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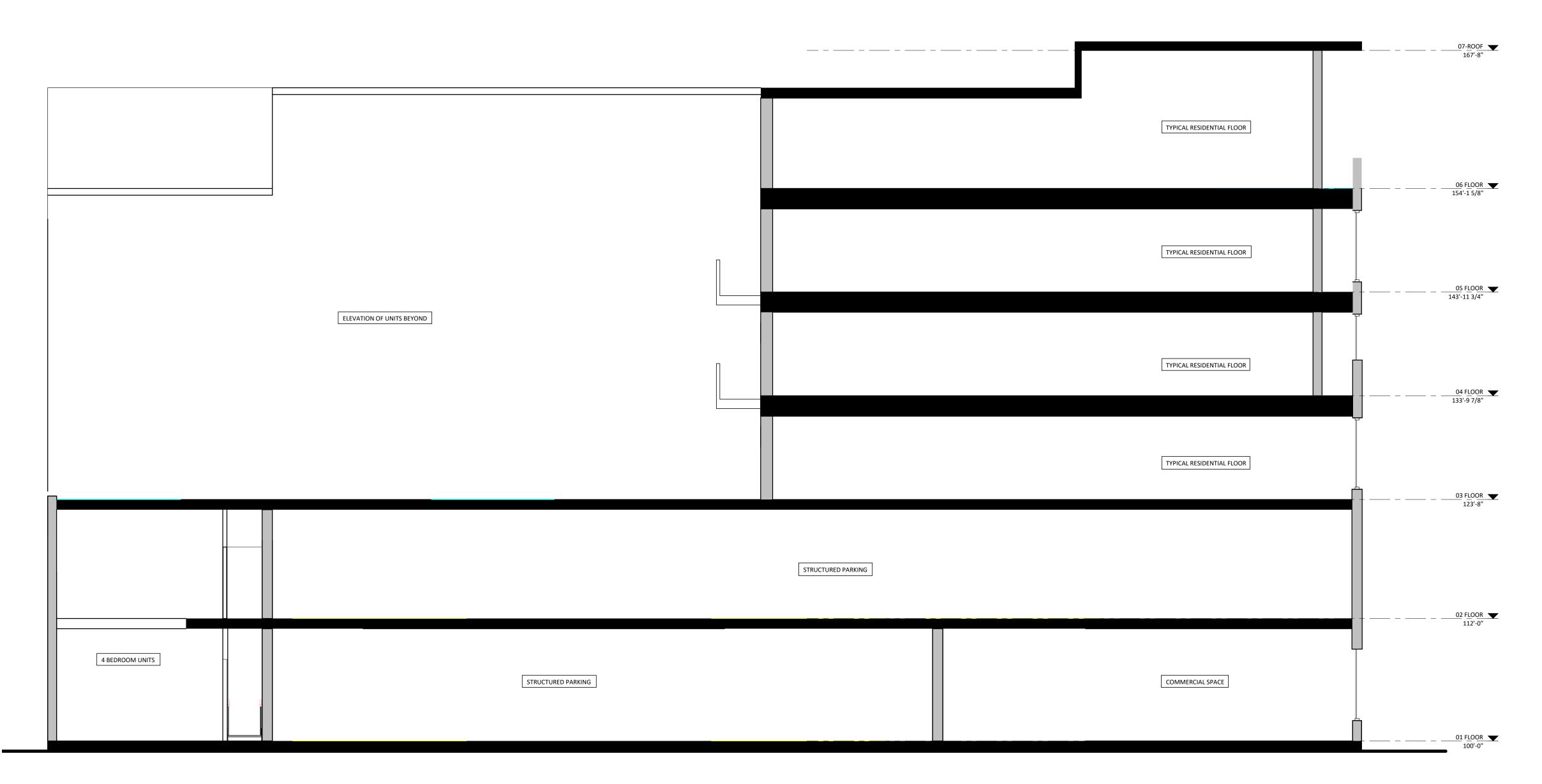
Date Issue Description
08.15.2018 LAND USE RESUBMITTAL
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

PERSPECTIVES

Sheet No.





VALOR ON WASHINGTON
EAST WASHINGTON
MADISON, WI

Schematic		
Project No.	Project Number	
Plot Date:	9/20/2018 3:22:19 PM	
Drawn by:	GORMAN TEAM	
Drawn by:	GORMAN TE	

Date Issue Description
09.05.2018 LAND USE RESUBMITTAL

Sheet Title

BUILDING SECTIONS

Sheet No.

A301

Section 1

SCALE: 1/4" = 1'-0"