



dryhootchTM

dryhootch.org

August 24, 2018

Matt Tucker, Zoning Administrator
City of Madison
126 S. Hamilton St
Madison, WI 53703

Re: Letter of Intent
Dryhootch: First Floor user @ Valor on Washington, 1326 East Washington Avenue

Project Intent:

Valor on Washington is the result of a unique public-private partnership with the goal of providing quality affordable housing, services, and support targeted to Veteran families. Dryhootch will be located on the first floor of this proposed mixed-use building.

Dryhootch is a nonprofit organization, formed with the mission of creating safe, comfortable places where Veterans can gather informally in a drug- and alcohol-free environment. Dryhootch was founded by Robert Curry, a Vietnam veteran who was recognized by the White House in 2012 as a Champion of Change in the veterans' community. The Dryhootch name originates from "hootch," a military word for sleeping places during combat and "dry," meaning no alcohol or drugs. The mission of Dryhootch is "helping our veterans & their families who survived the war, survive the peace." Dryhootch will provide a variety of veteran services and support for both residents and non-residents at Valor on Washington.

Specific services provided by Dryhootch include transportation for Veterans, support groups for Vets and families, employment programs, community outreach/volunteering, music therapy, pet therapy, housing services, and legal assistance. An important component of the programming is a small coffee shop where Veterans can gather, talk, and learn more about available services and support.

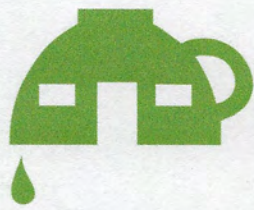
Peer Support is the cornerstone of Dryhootch's operations and mission. Dryhootch provides individual and group peer support services on various topics such as Post Traumatic Stress (PTS), addiction, family support, suicide, financial readiness, and legal support. We work closely with VA Hospitals, government agencies, the court system, health-care providers, and other non-profit organizations to assist Veterans and families in obtaining the support they need to improve the quality of their lives. We walk alongside veterans during their transition home in order to help ease their journey.

Project Team:

Gorman & Company, LLC
Contact: Ted Matkom
tmatkom@gormanusa.com

Dryhootch
Contact: Robert Curry
bob@dryhootch.org

"Helping the Veteran and Their Family Who Survived the War, Survive the Peace."
1030 E Brady St. Milwaukee WI 53202



dryhootchTM
dryhootch.org

Hours of Operation:

Dryhootch is open to the public and will be generally open 8:00am – 5:00pm Monday – Sunday, with occasional extended evening hours until 8:00pm for additional classes/programming.

Employees:

Dryhootch will have approximately 5 staff employees and 6 primary volunteers.

Sincerely,

Robert Curry
Dryhootch Founder

#	Date	Description
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EXISTING CONDITIONS MAP
PART OF LOTS 3 AND 12 AND ALL OF LOTS 13, 14, 15, AND 16, BLOCK 217, FARWELL'S REPLAT OF A PART OF THE CITY OF MADISON, LOCATED IN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

SECTION CORNER MONUMENTS				
LETTER	CORNER	FOUND	NORTHING	EASTING
A	CENTER 13-7-9	IN BUILDING	485,568.62	823,852.16
B	WITNESS CORNER	BRASS CAP	485,775.48	823,854.39
C	WITNESS CORNER	BRASS CAP	488,355.29	823,883.37
D	N 1/4 13-7-9	NO MONUMENT	487,727.95	823,876.33

- LEGEND**
- GOVERNMENT CORNER
 - 3/4" REBAR FOUND
 - 1" IRON PIPE FOUND
 - 2" IRON PIPE FOUND
 - CHISELED 'X' FOUND
 - 3/4" x 24" REBAR SET (1.50 LBS/LF)
 - COTTON SPINDLE SET
 - SIGN
 - SANITARY MANHOLE
 - CURB INLET
 - GAS REGULATOR/METER
 - ELECTRIC TRANSFORMER
 - LIGHT POLE
 - POWER POLE W/GUY
 - TELEPHONE PEDESTAL
 - DECIDUOUS TREE
 - SECTION LINE
 - PARCEL BOUNDARY
 - RIGHT-OF-WAY LINE
 - PLATTED LOT LINE
 - EASEMENT LINE
 - GROUNDWATER USE RESTRICTION AREA
 - FENCE LINE
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - NATURAL GAS
 - OVERHEAD ELECTRIC DISTRIBUTION
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE
 - BUILDING
 - 850 INDEX CONTOUR
 - 851 INTERMEDIATE CONTOUR
 - SPOT ELEVATION
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - END OF FLAGGED UTILITIES
 - DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON MAY 17 AND 18, 2018.
 - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, (DANE COUNTY). THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 13-07-09, BEARS N00°38'30"E.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE WITNESSING THE CENTER OF SECTION 13, T07N, R09E, ELEVATION = 849.79'.
 - CONTOUR INTERVAL IS ONE FOOT.
 - SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET No.'s 20181904182, 20181904524 AND 20181904560, WITH A CLEAR DATE OF MAY 10, 2018.
 - UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
CITY OF MADISON ENGINEERING
MADISON GAS AND ELECTRIC COMPANY (ELECTRIC AND GAS)
AMERICAN TRANSMISSION COMPANY (ATC)
WISCONSIN DEPARTMENT OF TRANSPORTATION-ITS EQUIPMENT
CENTURYLINK KMC
CHARTER COMMUNICATIONS
AT&T TRANSMISSION
AT&T DISTRIBUTION
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 - JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARKS ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.
 - PARCEL A IS ZONED TR-V (TRADITIONAL RESIDENTIAL-VARIED DISTRICT 1); PARCEL B IS ZONED CC-T (COMMERCIAL CORRIDOR-TRANSITIONAL DISTRICT); PARCEL C IS ZONED TE (TRADITIONAL EMPLOYMENT DISTRICT) PER THE CITY OF MADISON ZONING MAP DATED JANUARY 2013.
 - WATER MAIN WAS NOT MARKED BY DIGGERS HOTLINE TICKET No.'s 20181904182, 20181904524 AND 20181904560 AND IS SHOWN PER CITY RECORDS (GTWeb).
 - GAS MAIN AND UNDERGROUND ELECTRIC IS SHOWN PER A PLAT OF SURVEY BY WILLIAMSON SURVEYING & ASSOCIATES, LLC, DATED JANUARY 21, 2016, COUNTY MAP No. 2016-00305. GAS MAIN AND UNDERGROUND ELECTRIC WERE NOT MARKED BY DIGGERS HOTLINE TICKET No.'s 20181904182, 20181904524 AND 20181904560.

LEGAL DESCRIPTION (AS FURNISHED)
(FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT No.: NCS-907830-MAD, COMMITMENT DATE: MAY 24, 2018 AT 7:30 A.M.)

PARCEL A:
THE SE 55 FEET OF LOT 3, THE NW 45 FEET OF LOT 16, AND THE NE 33 FEET OF THE SOUTHEAST 120 FEET OF LOT 16, ALL IN BLOCK 217, FARWELL'S REPLAT OF PART OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1316 & 1318 E WASHINGTON AVE
TAX PARCEL No. 251/0709-131-0201-2

PARCEL B:
THE SW 33 FEET OF THE SE 120 FEET OF LOT 16, BLOCK 217, FARWELL'S REPLAT OF PART OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1314 E WASHINGTON AVE
TAX PARCEL No.: 251/0709-131-0209-5

PARCEL C:
THE SOUTHWEST 41 FEET OF LOT 13, AND ALL OF LOTS 14 AND 15 OF BLOCK 217, IN THE CITY OF MADISON ACCORDING TO FARWELL'S REPLAT THEREOF, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

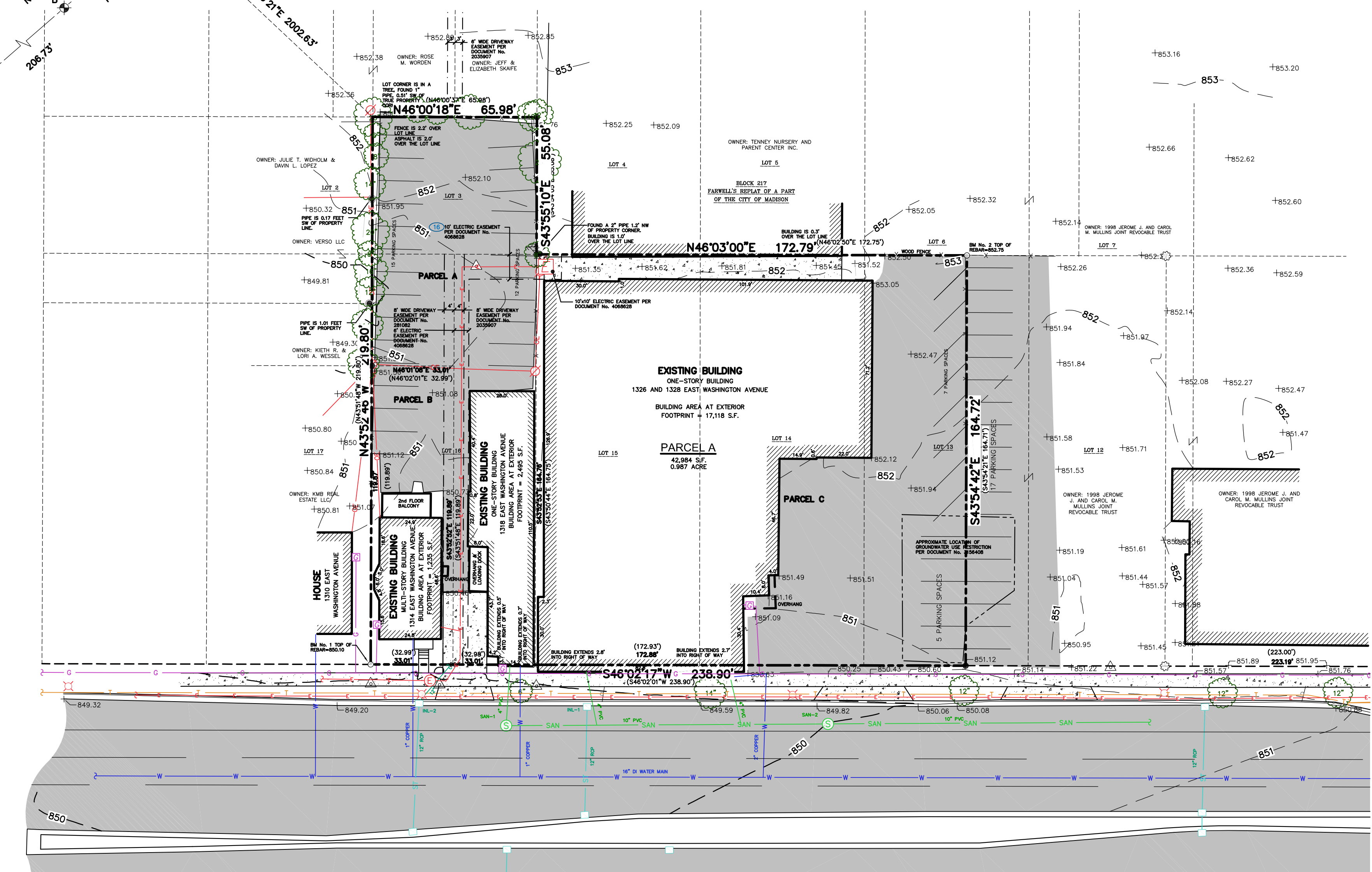
ADDRESS PER TAX ROLL: 1326 & 1328 E WASHINGTON AVE
TAX PARCEL No.: 251/0709-131-0211-0

PARCEL D:
THE SOUTHWEST FIFTY-FIVE (55) FEET OF LOT TWELVE (12), IN BLOCK TWO-HUNDRED SEVENTEEN (217), ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1334 E WASHINGTON AVE
TAX PARCEL No.: 251/0709-131-0212-8

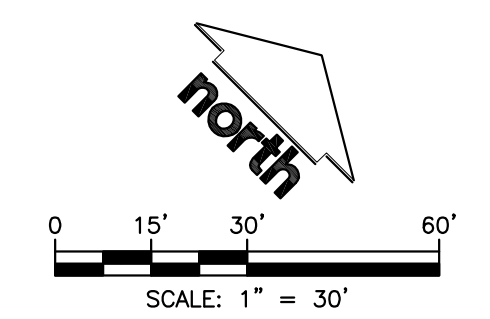
PARCEL E:
THE NORTHEAST TWENTY-FIVE (25) FEET OF LOT THIRTEEN (13), IN BLOCK TWO-HUNDRED SEVENTEEN (217), ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1334 E WASHINGTON AVE
TAX PARCEL No.: 251/0709-131-0212-8

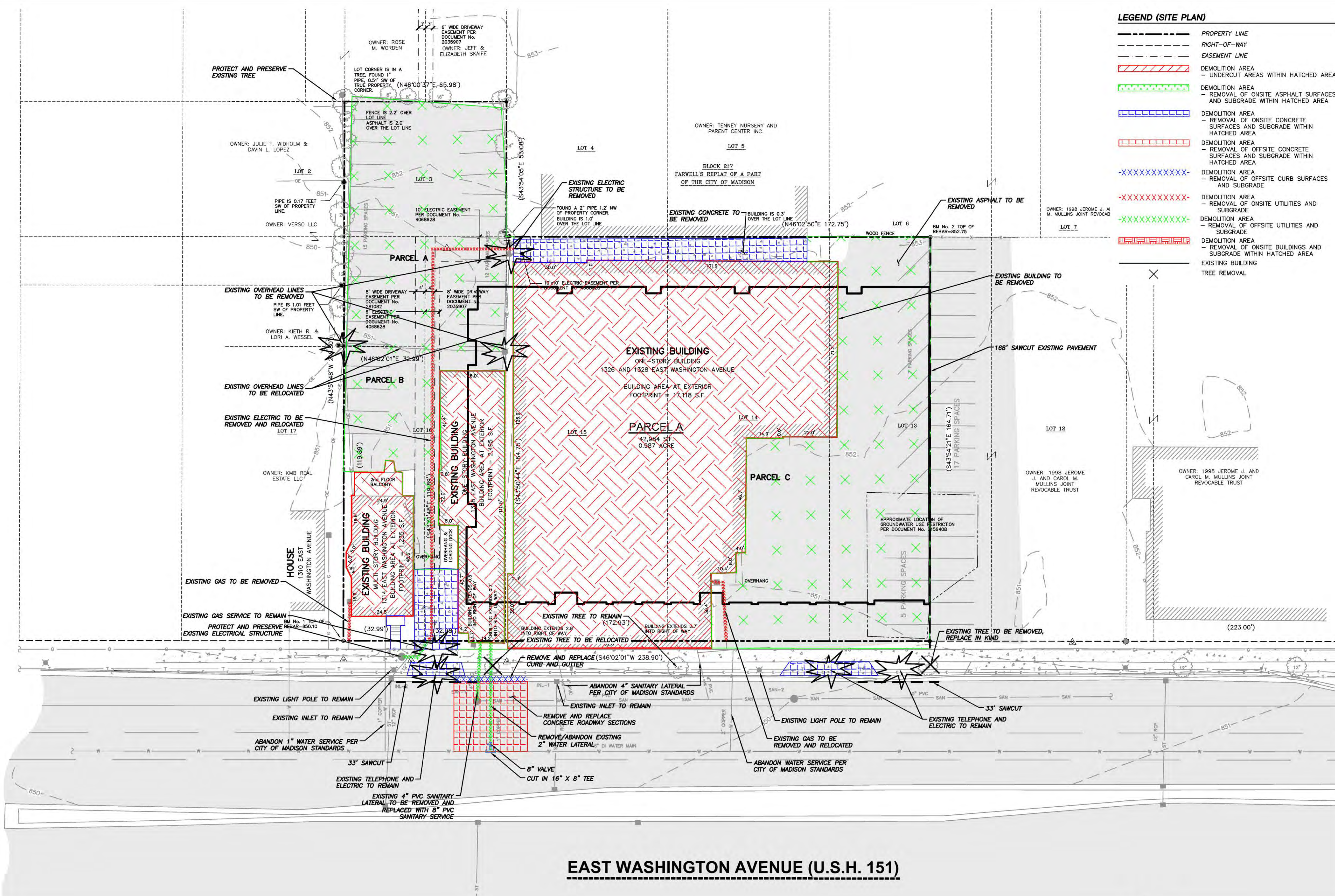


SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	849.41	NW	840.19	4"	PVC
		NE	840.05	10"	PVC
SAN-2	850.01	SW	839.51	10"	PVC
		NW	842.25	4"	PVC
		NE	839.48	10"	PVC

STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	849.31	SE	845.61	12"	RCP
INL-2	848.81	NW	845.61	12"	-
		SE	845.61	12"	RCP



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LEGEND (SITE PLAN)

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- [Red Hatched] DEMOLITION AREA - UNDERCUT AREAS WITHIN HATCHED AREA
- [Green Hatched] DEMOLITION AREA - REMOVAL OF ONSITE ASPHALT SURFACES AND SUBGRADE WITHIN HATCHED AREA
- [Blue Hatched] DEMOLITION AREA - REMOVAL OF ONSITE CONCRETE SURFACES AND SUBGRADE WITHIN HATCHED AREA
- [Red Hatched] DEMOLITION AREA - REMOVAL OF OFFSITE CONCRETE SURFACES AND SUBGRADE WITHIN HATCHED AREA
- XXXXXXX- DEMOLITION AREA - REMOVAL OF OFFSITE CURB SURFACES AND SUBGRADE
- XXXXXXX- DEMOLITION AREA - REMOVAL OF ONSITE UTILITIES AND SUBGRADE
- XXXXXXX- DEMOLITION AREA - REMOVAL OF OFFSITE UTILITIES AND SUBGRADE
- [Red Hatched] DEMOLITION AREA - REMOVAL OF ONSITE BUILDINGS AND SUBGRADE WITHIN HATCHED AREA
- X EXISTING BUILDING
- X TREE REMOVAL



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060



CLIENT ADDRESS:
**200 NORTH MAIN STREET
OREGON, WI, 53575**

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:
VALOR ON WASHINGTON

PROJECT LOCATION:
**CITY OF MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	06.08.18	LAND USE SUBMITTAL
2	08.15.18	LAND USE RE-SUBMITTAL
3	09.05.18	LAND USE RE-SUBMITTAL
4		
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Design/Drawn: CHG
Approved: WHD

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C1.0

JSD PROJECT NO: 18-8568

EAST WASHINGTON AVENUE (U.S.H. 151)

Scale in Feet: 0 20'

DIGGERS HOTLINE
Toll Free (800) 242-8511

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

#	Date:	Description:
1	06.08.18	LAND USE SUBMITTAL
2	08.15.18	LAND USE RE-SUBMITTAL
3	09.05.18	LAND USE RE-SUBMITTAL
4		
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Design/Drawn: CHG
Approved: WHD

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C2.0

JSD PROJECT NO: 18-8568

LEGEND (SITE PLAN)

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- MOUNTABLE CURB
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- SAWCUT EXISTING PAVEMENT
- ADA PARKING BOLLARDS/SIGNS
- FENCE

GENERAL NOTES:

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

SITE PLAN NOTES

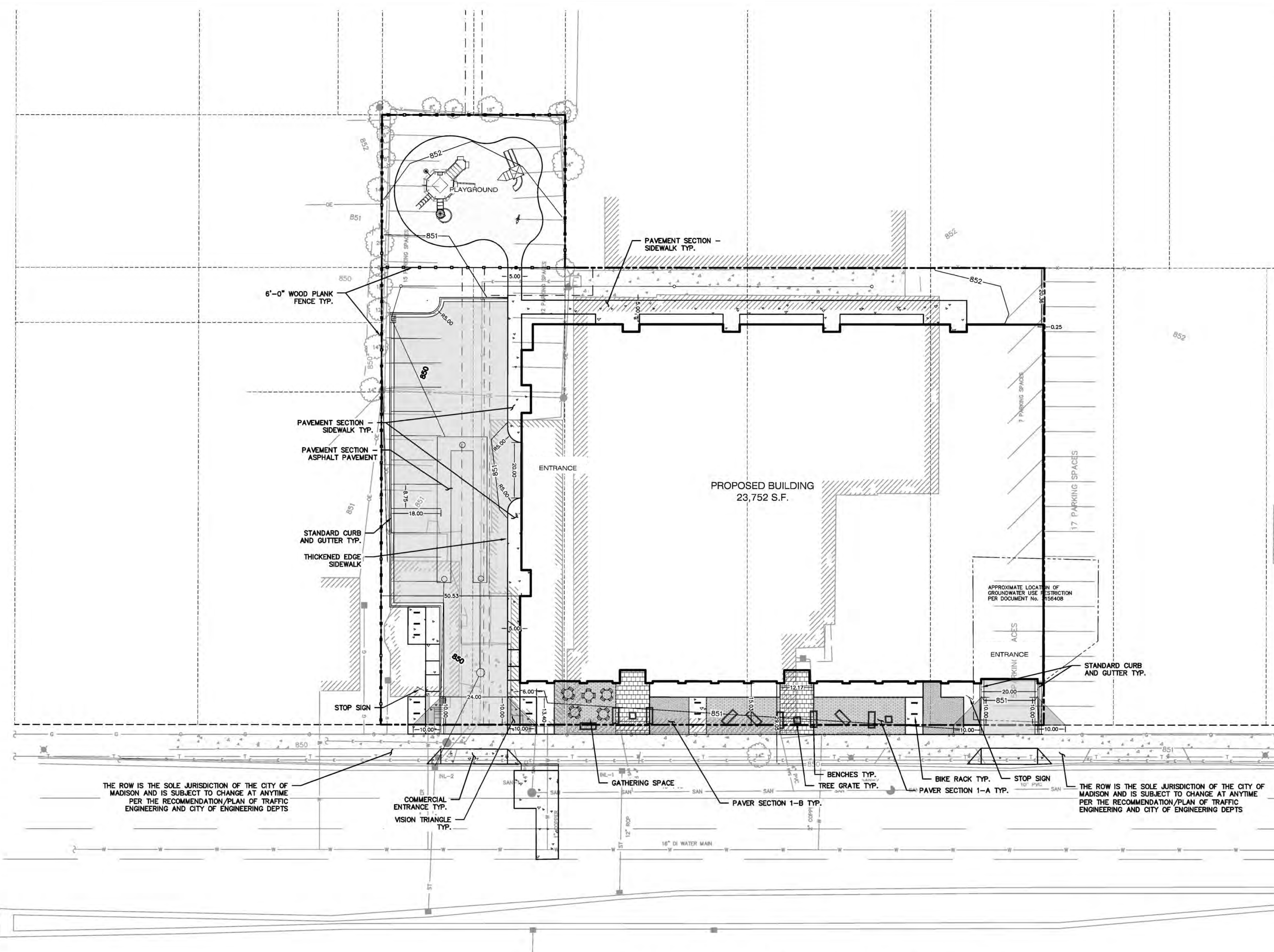
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF MADISON.
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
- EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.
- ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH HIGH VISIBILITY YELLOW LATEX PAINT PER SPECIFICATIONS.

SITE INFORMATION BLOCK	
Site Address	1326 E. WASHINGTON AVE.
Existing Site Acreage (total)	.987
Number of Building Stories (above grade)	5
Total Building Square Footage	23,980 SF
Proposed Zoning	TRADITIONAL EMPLOYMENT (TE)
Number of parking stalls:	
Surface	12
Underground	74
Accessible	3
Total Stalls	89
Existing vs. Proposed Site Coverage:	
Existing Impervious Surface Area	41,276 S.F.
Existing Pervious Surface Area	3,780 S.F.
Proposed Impervious Surface Area	34,432 S.F.
Proposed Pervious Surface Area	8,562 S.F.
Proposed Impervious Surface Area Ratio	.80

EAST WASHINGTON AVENUE (U.S.H. 151)

Scale in Feet: 20' 0 20'

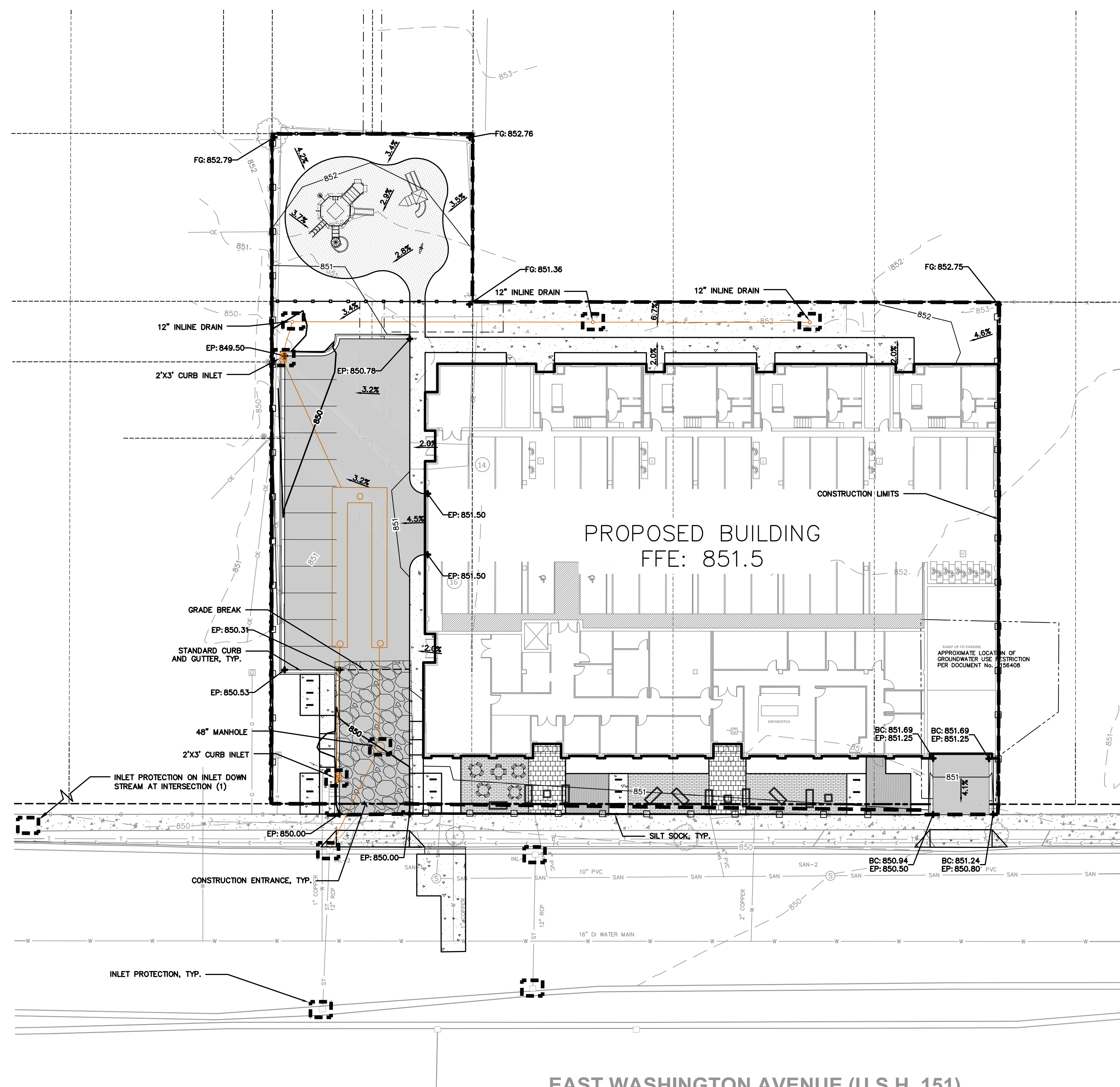
Toll Free (800) 242-8511



THE ROW IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY OF ENGINEERING DEPTS

THE ROW IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY OF ENGINEERING DEPTS

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LEGEND (GRADING & EROSION CONTROL PLAN)

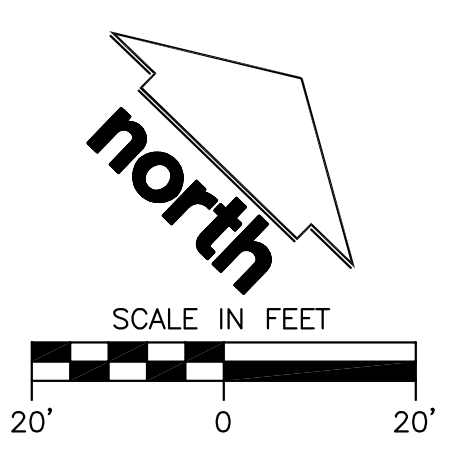
- | | | | | |
|-----|--|-----|-----|-------------------------|
| --- | PROPERTY LINE | --- | 934 | PROPOSED 1 FOOT CONTOUR |
| --- | RIGHT-OF-WAY | --- | 935 | PROPOSED 1 FOOT CONTOUR |
| --- | EASEMENT LINE | --- | --- | DRAINAGE DIRECTION |
| --- | BUILDING OUTLINE | --- | --- | STORM SEWER |
| --- | BUILDING OVERHANG | --- | --- | SILT SOCK |
| --- | EDGE OF PAVEMENT | --- | --- | CONSTRUCTION LIMITS |
| --- | STANDARD CURB AND GUTTER | --- | --- | SPOT ELEVATION |
| --- | REJECT CURB AND GUTTER | --- | --- | EP - EDGE OF PAVEMENT |
| --- | ASPHALT PAVEMENT | --- | --- | FG - FINISH GRADE |
| --- | HEAVY DUTY ASPHALT PAVEMENT | --- | --- | EC - EDGE OF CONCRETE |
| --- | CONCRETE PAVEMENT | --- | --- | TS - TOP OF STEP |
| --- | HEAVY DUTY CONCRETE PAVEMENT | --- | --- | BS - BOTTOM OF STEP |
| --- | STORMWATER MANAGEMENT AREA | --- | --- | RM - RIM ELEVATION |
| --- | BOULDER RETAINING WALL | --- | --- | --- |
| --- | MODULAR BLOCK RETAINING WALL | --- | --- | --- |
| --- | LIGHT POLE (REFER TO PHOTOMETRIC PLAN) | --- | --- | --- |
| --- | ADA PARKING BOLLARDS/SIGNS | --- | --- | --- |

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
8. INSTALL TEMPORARY SEDIMENT TRAPS PER LATEST EDITION OF WDNR STORM WATER CONSTRUCTION TECHNICAL CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS NOTE 106.3. SEDIMENT TRAPS SHALL BE SIZED BASED ON MEDIUM SOIL TEXTURAL CLASS. SEDIMENT TRAPS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EVERY RAIN EVENT PRODUCING 0.5 INCHES OF RAIN OR MORE AND AT A MINIMUM SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 1 FOOT OR WHEN OUTLET BECOMES CLOGGED. SEDIMENT TRAPS SHALL BE REMOVED AND THE LOCATION STABILIZED AFTER THE DISTURBED AREA DRAINING TO THE SEDIMENT TRAP IS STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION. ALL SEDIMENT SHALL BE PROPERLY DISPOSED.
9. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
10. INSTALL STONE CHECK DAMS IN SWALE SOUTH OF THE PROPOSED GRAVEL PARKING LOT. STONE CHECK DAMS SHALL BE INSTALLED EVERY 75 FEET, AT THE INVERT OF THE SWALE. CHECK DAMS SHALL BE A MINIMUM OF 1.5 FEET IN HEIGHT ABOVE THE INVERT OF THE SWALE AND EXTENDED TO SWALE SIDE SLOPES, EACH WAY. STONE CHECK DAMS SHALL BE INSTALLED FOLLOWING FINISH GRADING OF SITE AND PRIOR TO PLACEMENT OF GRAVEL SURFACE ON PARKING LOT. TEMPORARY SEDIMENT TRAPS SHALL BE REMOVED PRIOR TO THE INSTALLATION OF SWALE STONE CHECK DAMS. REFER TO DETAIL 4/C4.0 FOR CONSTRUCTION DETAILS OF STONE CHECK DAM.
11. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
11. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
12. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. SIXTEEN (16) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
13. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
15. ALL SITE GRADING AND DISTURBANCE SHALL BE OUTSIDE 10' WETLAND SETBACK (BUFFER ZONE)
16. SILT FENCE LOCATION REPRESENTED ON SHEET C2.0 INDICATES DISTURBANCE LIMITS. REFER TO CSECR NOTE 14 FOR DETAILS.
17. STABILIZATION PRACTICES:
 - 17.1. * STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - * THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 17.3. * CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - 17.4. * STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - * PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - * TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - * HYDRO-MULCHING WITH A TACKIFIER
 - * GEOTEXTILE EROSION MATTING
 - * SODDING

GRADING AND SEEDING NOTES

1. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
8. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.



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P. 608.848.5060

CLIENT:



CLIENT ADDRESS:
200 NORTH MAIN STREET
OREGON, WI, 53575

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:
VALOR ON WASHINGTON

PROJECT LOCATION:
CITY OF MADISON, WI
DANE COUNTY

PLAN MODIFICATIONS:

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Design/Drawn: CHG
Approved: WHD

SHEET TITLE:
GRADING & EROSION CONTROL PLAN

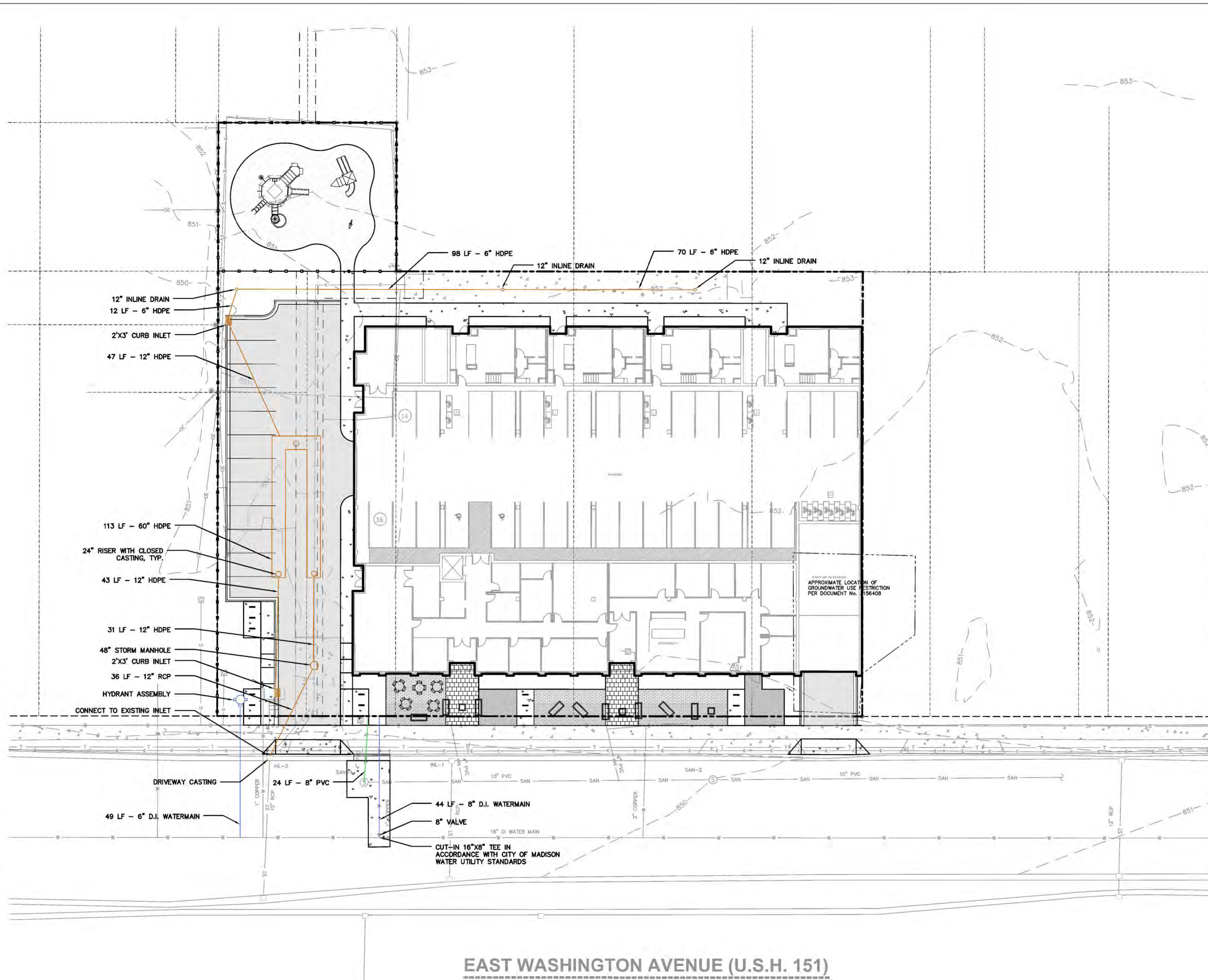
SHEET NUMBER:
C3.0

JSD PROJECT NO: 18-8568



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File: I:\2018\180568\DWG\180568 Utility Plan.dwg Layout: Utility Plan.dwg User: cproenier Plotted: Sep 20, 2018 - 10:58am Xref's:



LEGEND (UTILITY PLAN)

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
---	EASEMENT LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	ASPHALT PAVEMENT
---	HEAVY DUTY ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT
---	STORMWATER MANAGEMENT AREA
---	BOULDER RETAINING WALL
---	MODULAR BLOCK RETAINING WALL
---	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
---	ADA PARKING BOLLARDS/SIGNS
---	SANITARY SEWER
---	WATERMAIN
---	STORM SEWER

- UTILITY NOTES:**
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WSDOT, WDSPS, AND WDR.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 - CONTRACTOR SHALL CONTACT THE MUNICIPALITY'S PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
 - CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE MUNICIPAL WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
 - ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
 - ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
 - ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
 - ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(8)(B)4.A.
 - ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-6 INCLUDING AT LEAST 6' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
 - ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENLOSING THE TOP AND SIDES OF WATER MAIN.

EAST WASHINGTON AVENUE (U.S.H. 151)

north
 SCALE IN FEET

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CLIENT:



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200 NORTH MAIN STREET
OREGON, WI, 53575

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Design/Drawn: CHG
Approved: WHD

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C4.0

JSD PROJECT NO: 18-8568

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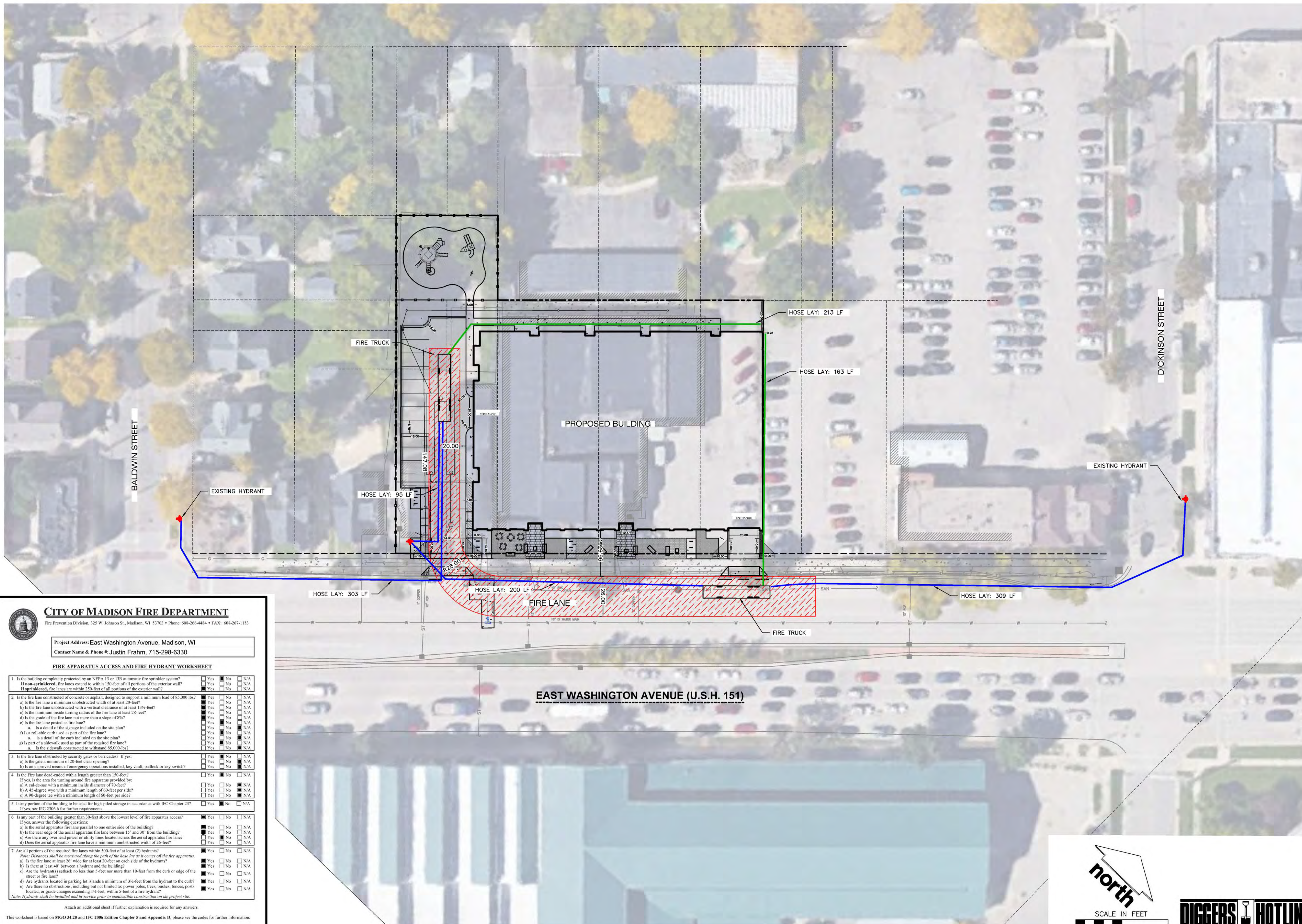
Design/Drawn: CHG
Approved: WHD

SHEET TITLE:
FIRE ACCESS PLAN

SHEET NUMBER:

C5.0

JSD PROJECT NO: 18-8568



CITY OF MADISON FIRE DEPARTMENT
Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 • Phone: 608-266-4484 • FAX: 608-267-1153

Project Address: East Washington Avenue, Madison, WI
Contact Name & Phone #: Justin Frahm, 715-298-6330

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13 1/2-feet? c) Is the minimum inside turning radius of the fire lane at least 20-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? f) Is a rollable curb used as part of the fire lane? g) Is a detail of the curb included on the site plan? h) Is part of a sidewalk used as part of the required fire lane? i) Is the sidewalk constructed to withstand 85,000 lbs?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet? If yes, is the area for turning around fire apparatus provided by: a) A cul-de-sac with a minimum inside diameter of 70-feet? b) A 45-degree wye with a minimum length of 60-feet per side? c) A 90-degree tee with a minimum length of 90-feet per side?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 23? If yes, see IFC 2306.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the lowest level of fire apparatus access? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building? b) Is the rear edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrant? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3 1/2-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1/4-inch, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to commencing construction on the project site.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.
This worksheet is based on MGO 34.20 and IFC 2006 Edition Chapter 5 and Appendix D; please see the codes for further information.

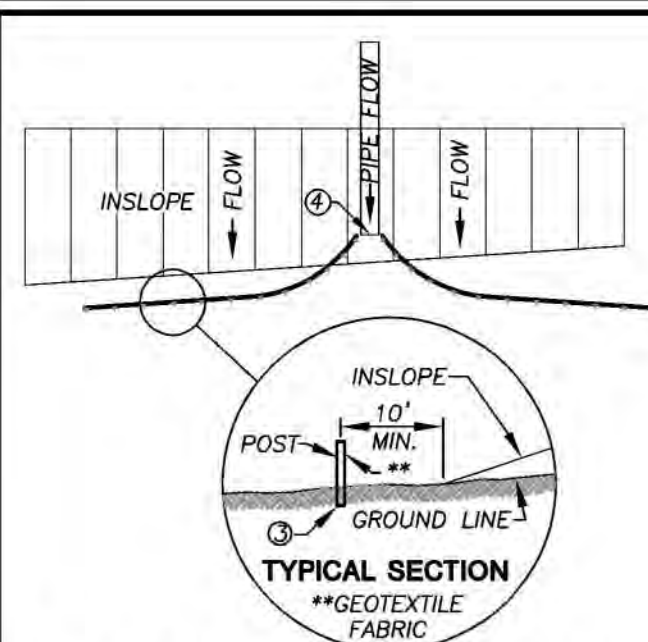
Revised 4/2017

Scale in Feet: 30' 0 30'

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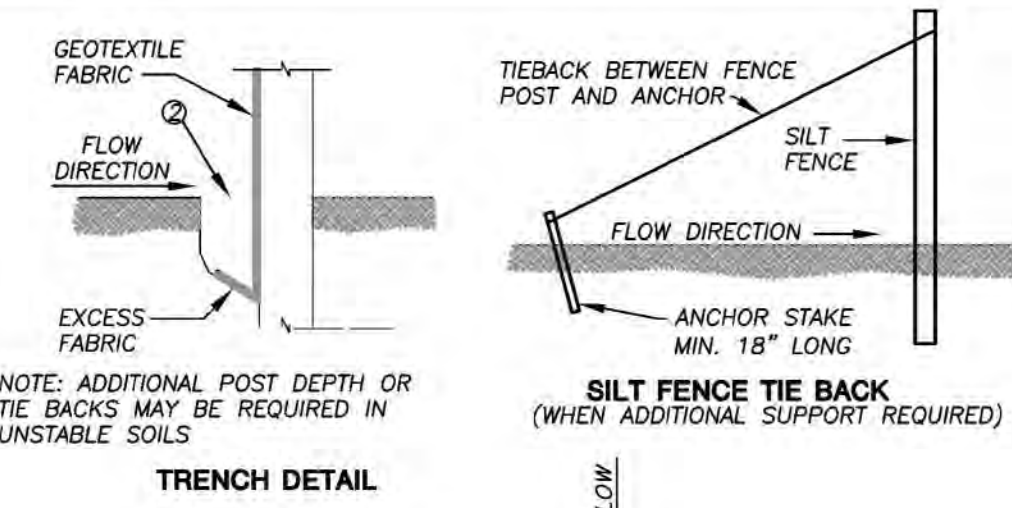
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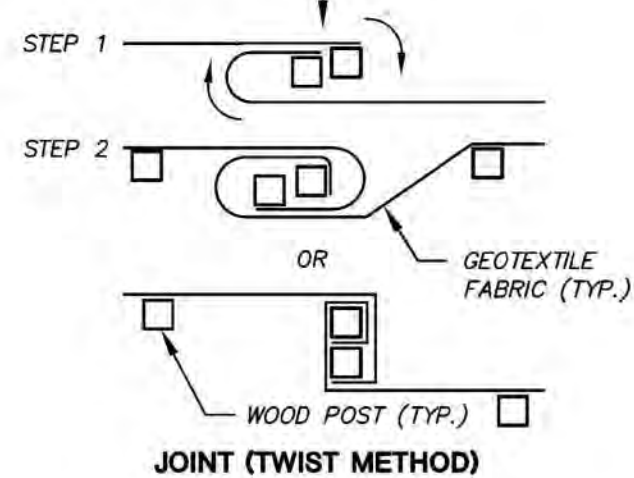
SILT FENCE ALONG SLOPES & OUTFALLS

- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" WIDE AND 6" DEEP TRENCH OR 6 INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF DRIED OAK OR HICKORY.
- SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
- SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDMR TECHNICAL STANDARD 1056.
- POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8'-0" FOR WOVEN & 3'-0" FOR NON-WOVEN)



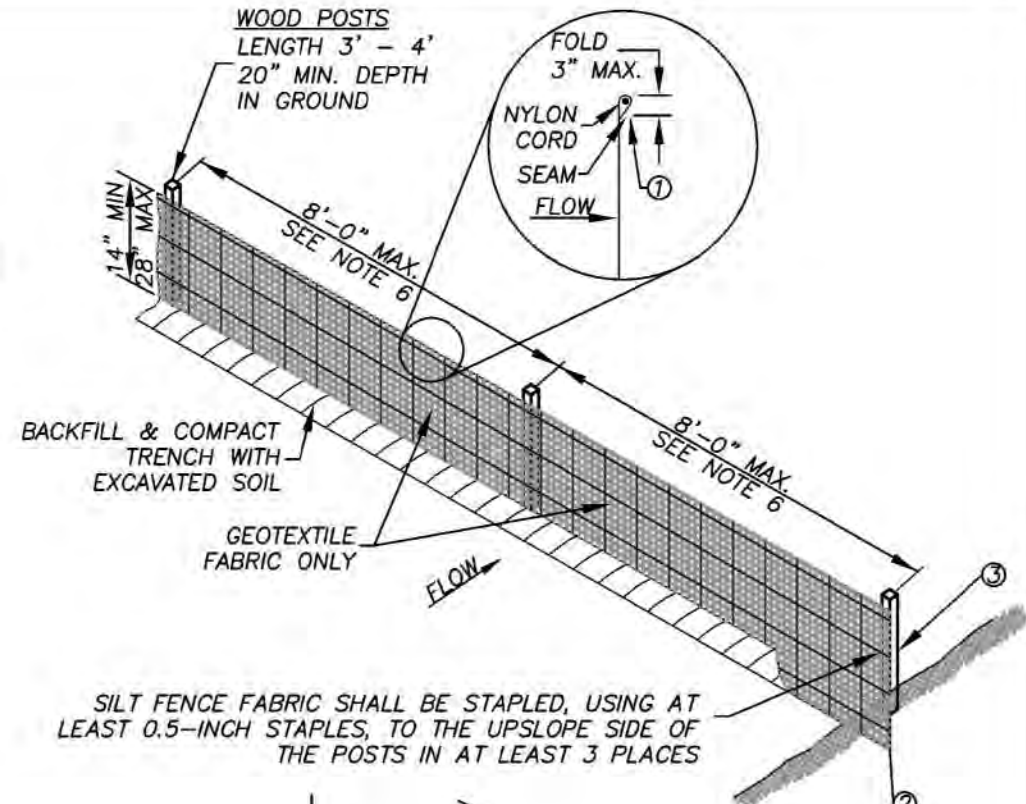
TRENCH DETAIL

SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)

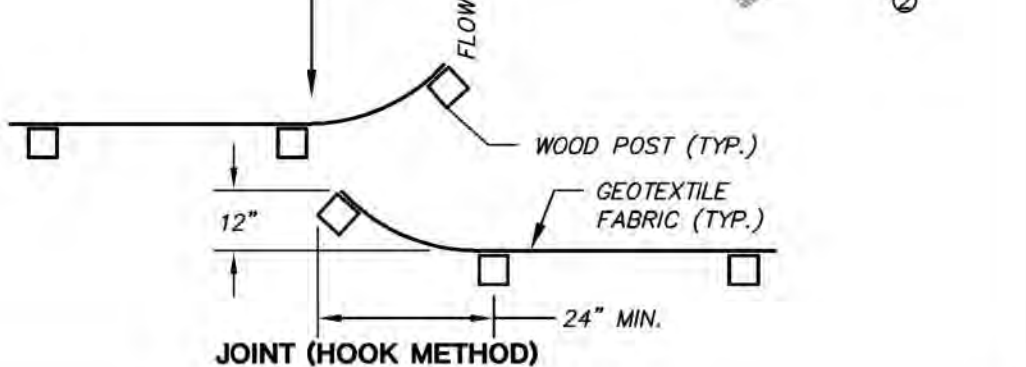


SILT FENCE

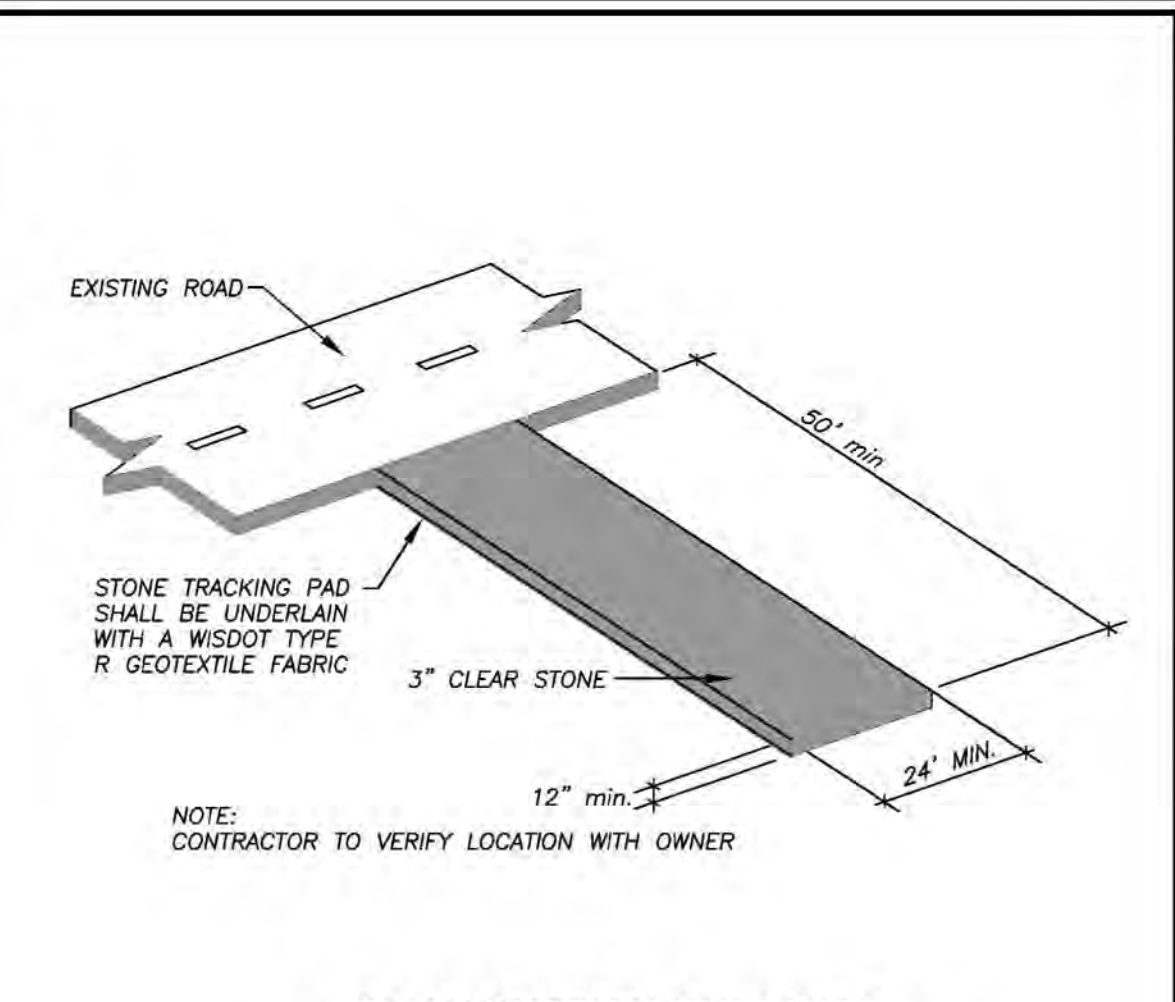
N.T.S.



SILT FENCE FABRIC SHALL BE STAPLED, USING AT LEAST 0.5-INCH STAPLES, TO THE UPSLOPE SIDE OF THE POSTS IN AT LEAST 3 PLACES

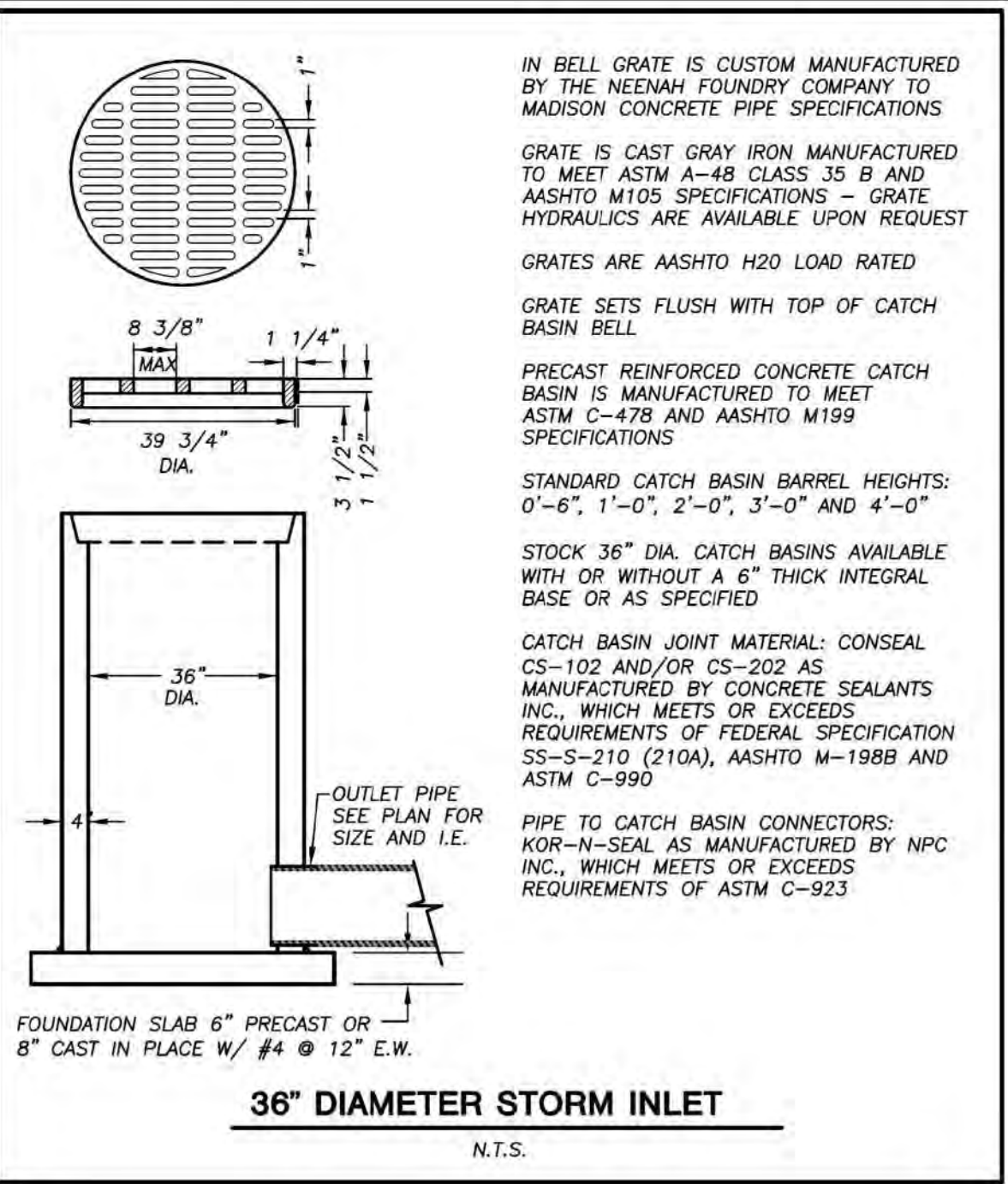


JOINT (HOOK METHOD)



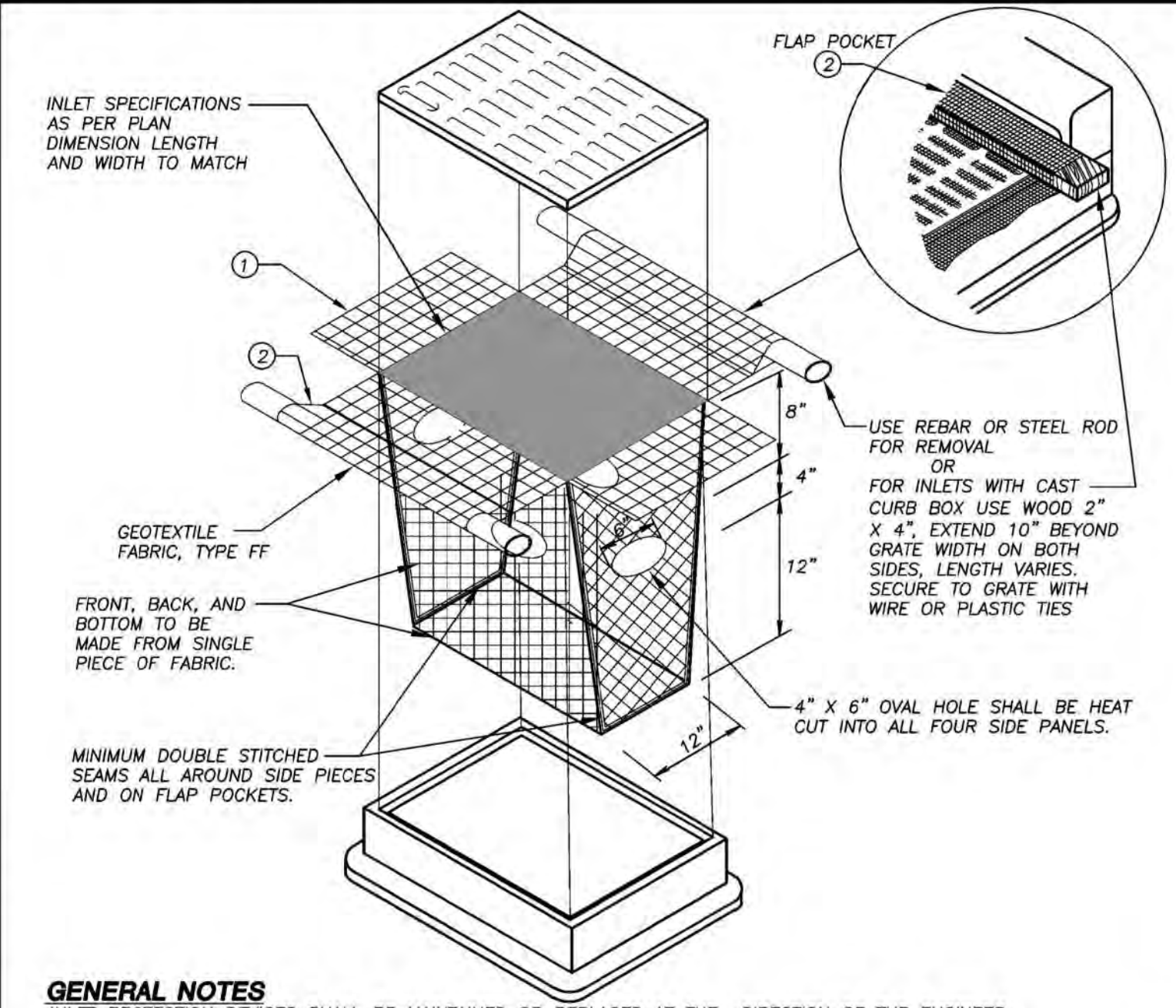
CONSTRUCTION ENTRANCE

N.T.S.



36" DIAMETER STORM INLET

N.T.S.



GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

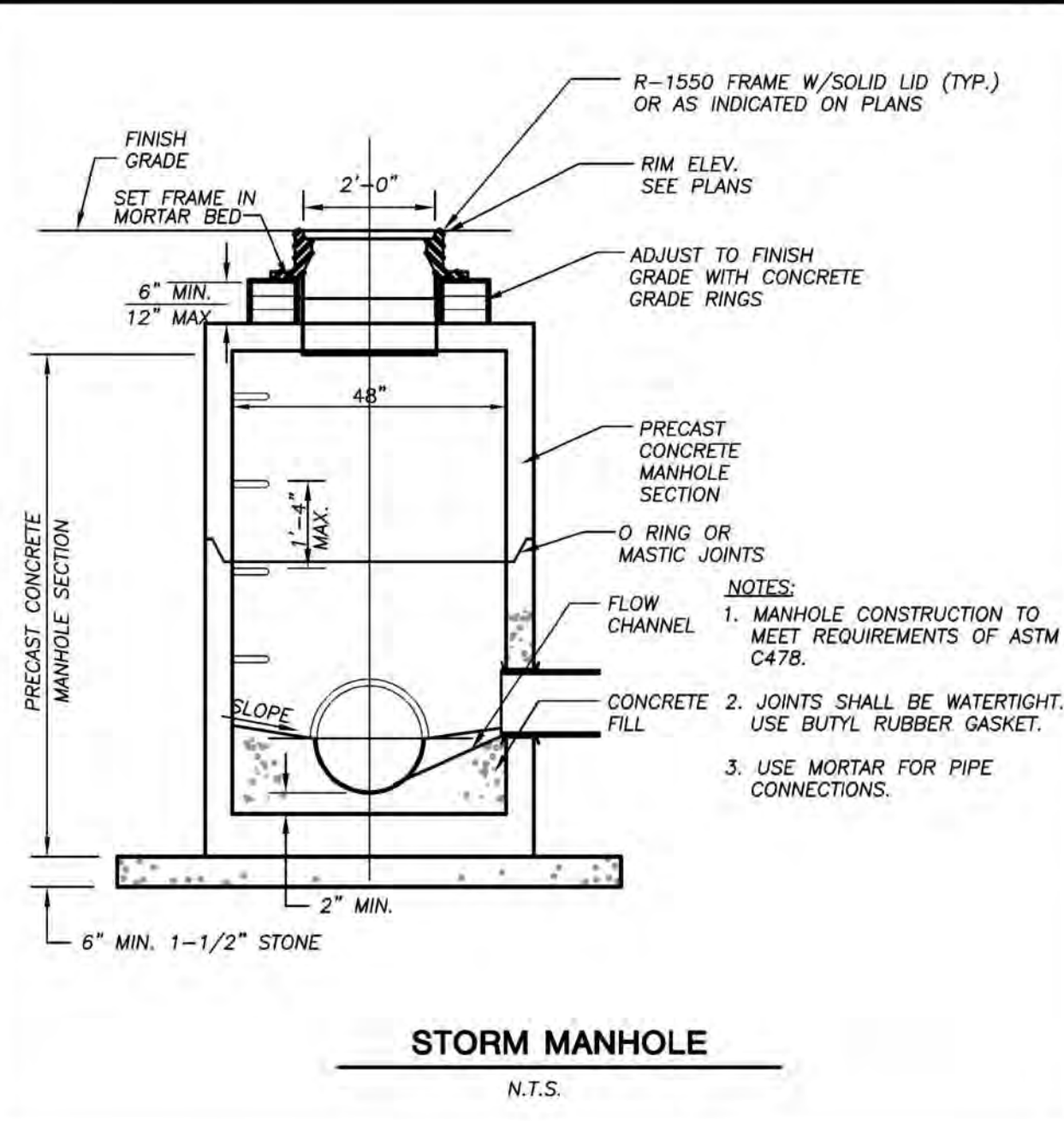
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

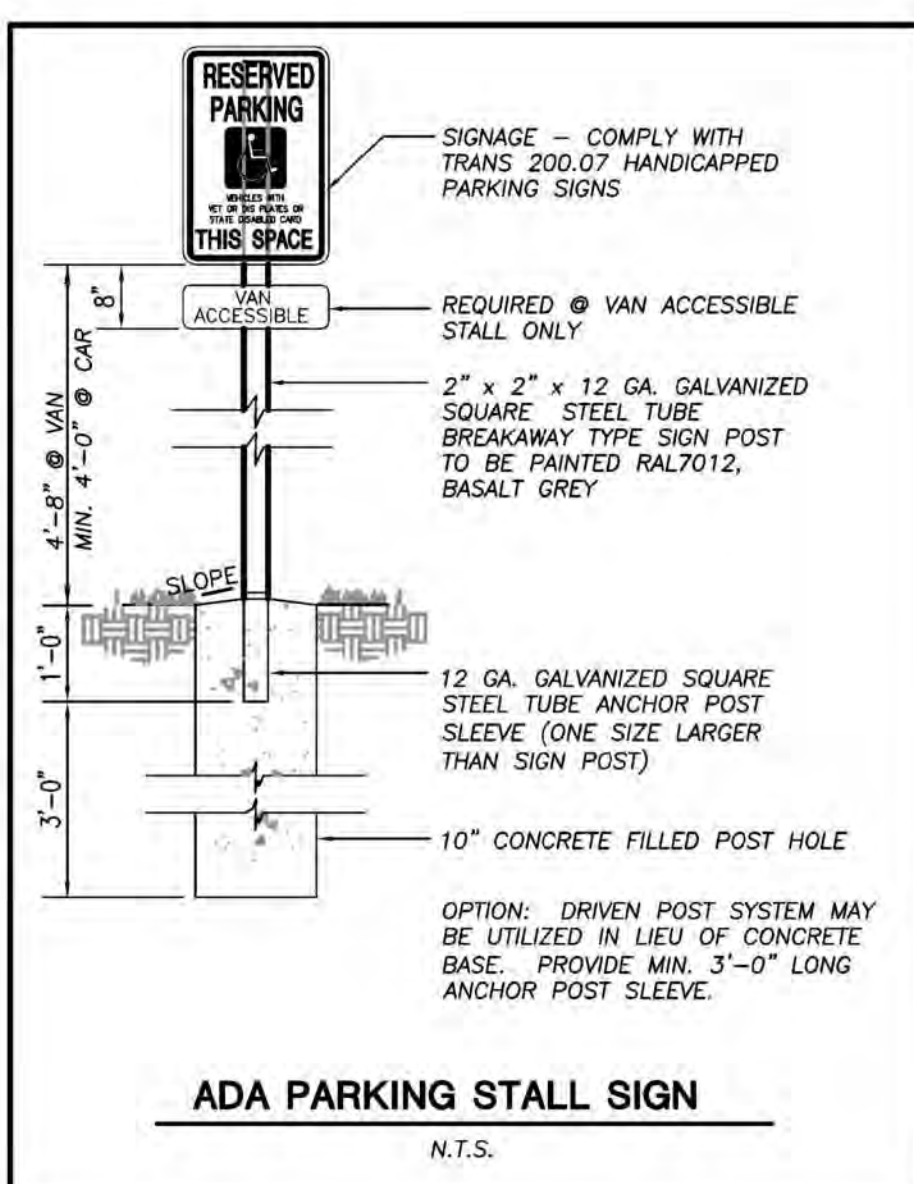
INLET PROTECTION, TYPE D

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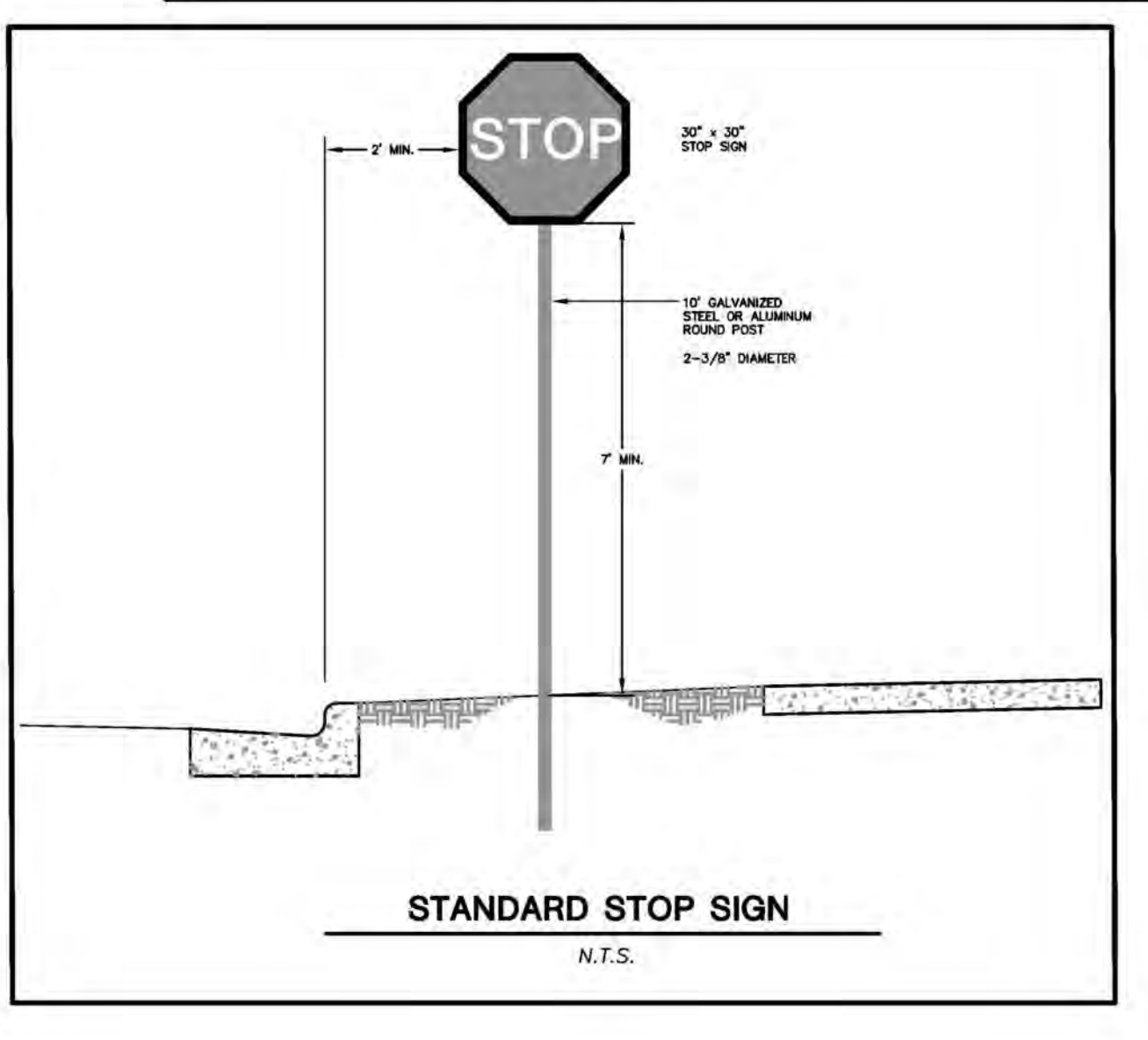
STORM MANHOLE

N.T.S.



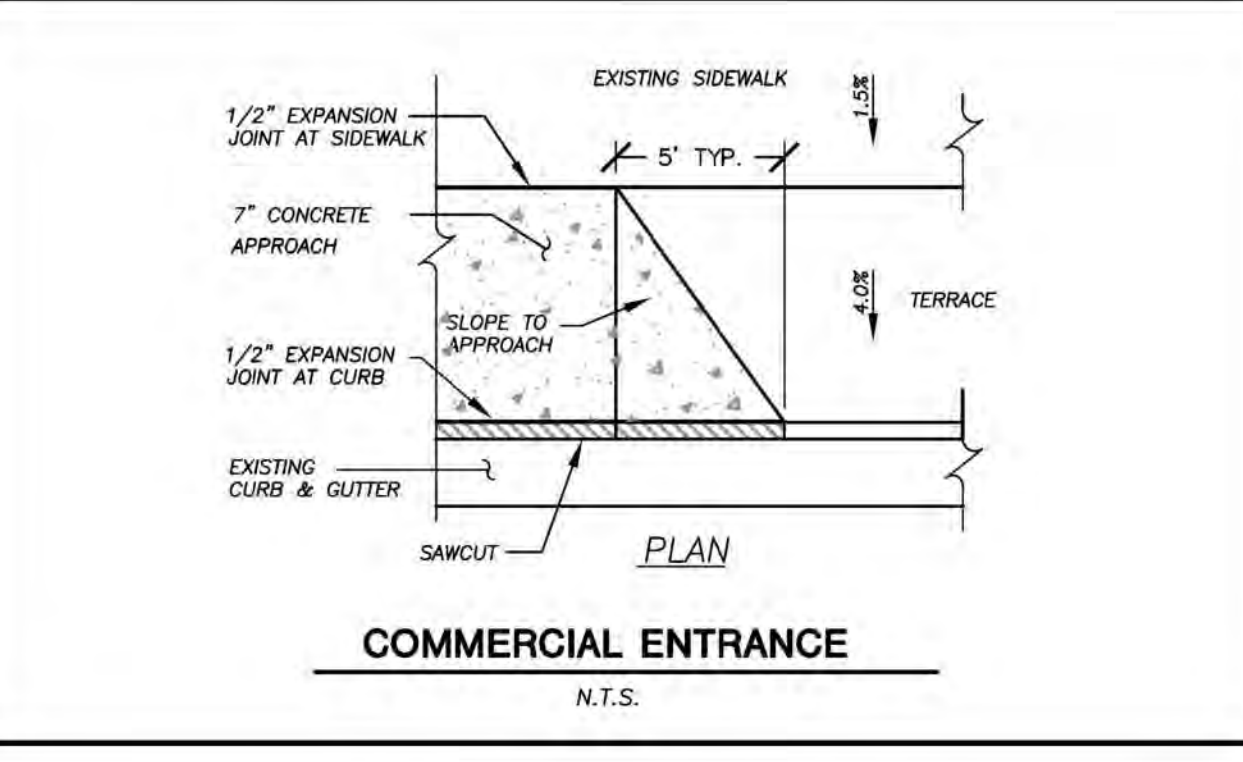
ADA PARKING STALL SIGN

N.T.S.



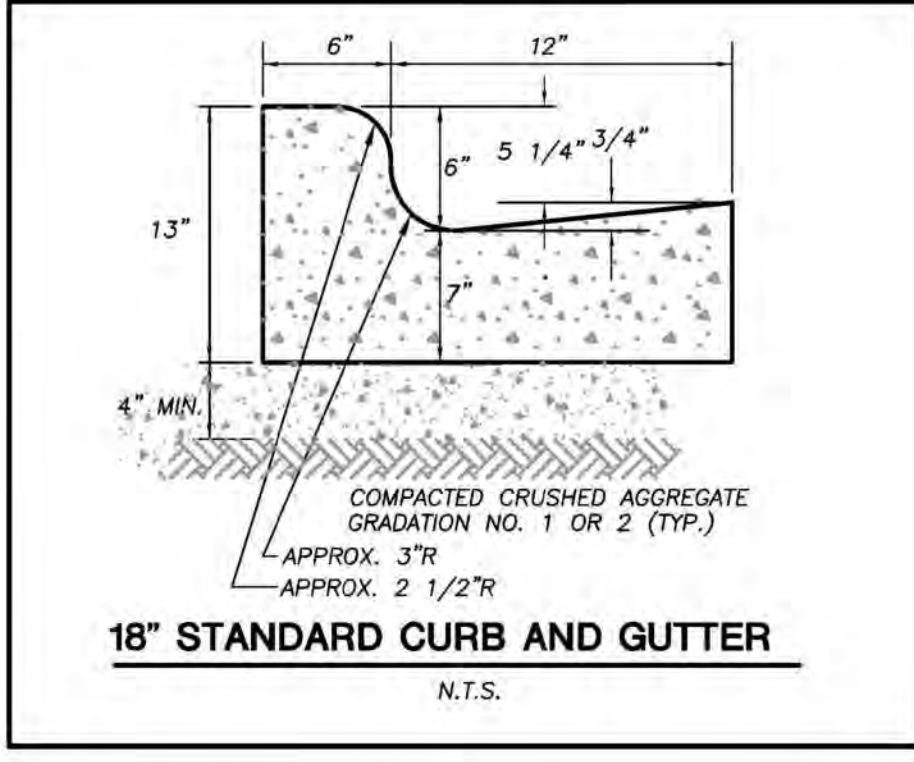
STANDARD STOP SIGN

N.T.S.



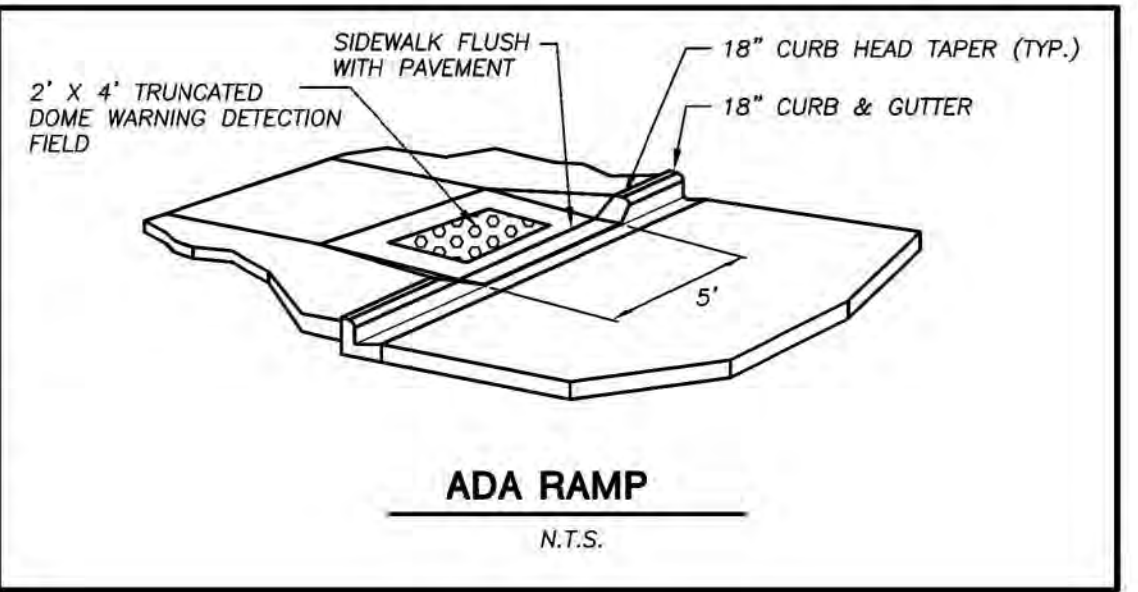
COMMERCIAL ENTRANCE

N.T.S.



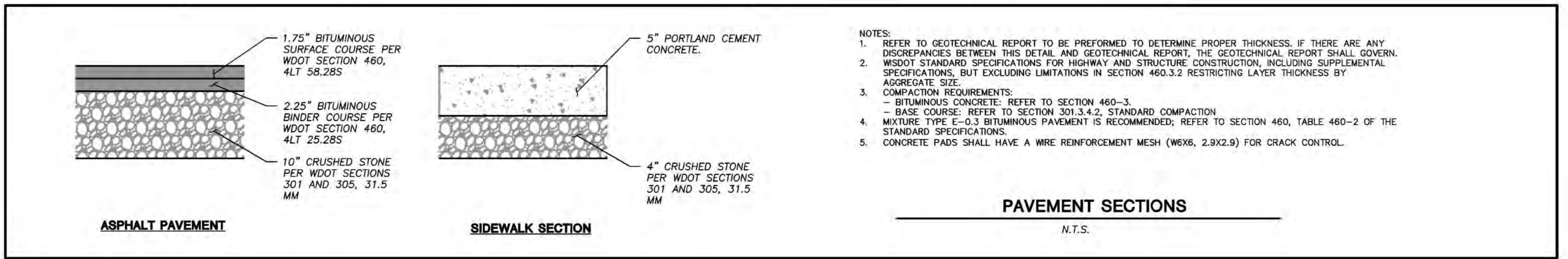
18" STANDARD CURB AND GUTTER

N.T.S.



ADA RAMP

N.T.S.



PAVEMENT SECTIONS

N.T.S.

- NOTES:
- REFER TO GEOTECHNICAL REPORT TO BE PERFORMED TO DETERMINE PROPER THICKNESS. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND GEOTECHNICAL REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
 - WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, BUT EXCLUDING LIMITATIONS IN SECTION 460.3.2 RESTRICTING LAYER THICKNESS BY AGGREGATE SIZE.
 - COMPACTION REQUIREMENTS:
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION
 - MIXTURE TYPE E-0.3 BITUMINOUS PAVEMENT IS RECOMMENDED; REFER TO SECTION 460, TABLE 460-2 OF THE STANDARD SPECIFICATIONS.
 - CONCRETE PADS SHALL HAVE A WIRE REINFORCEMENT MESH (W6X6, 2.9X2.9) FOR CRACK CONTROL.



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Approved: WHD

SHEET TITLE:
DETAILS

SHEET NUMBER:
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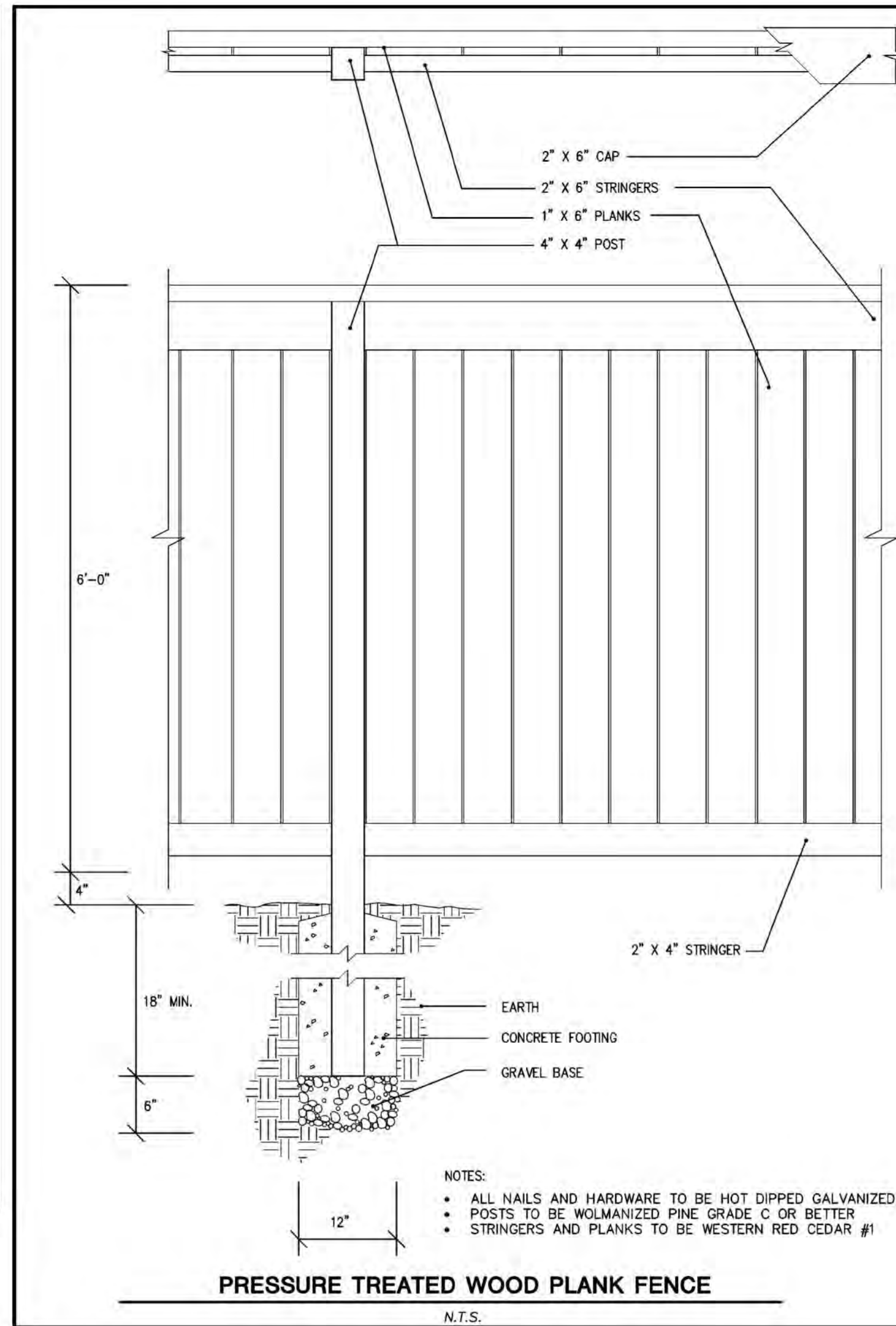
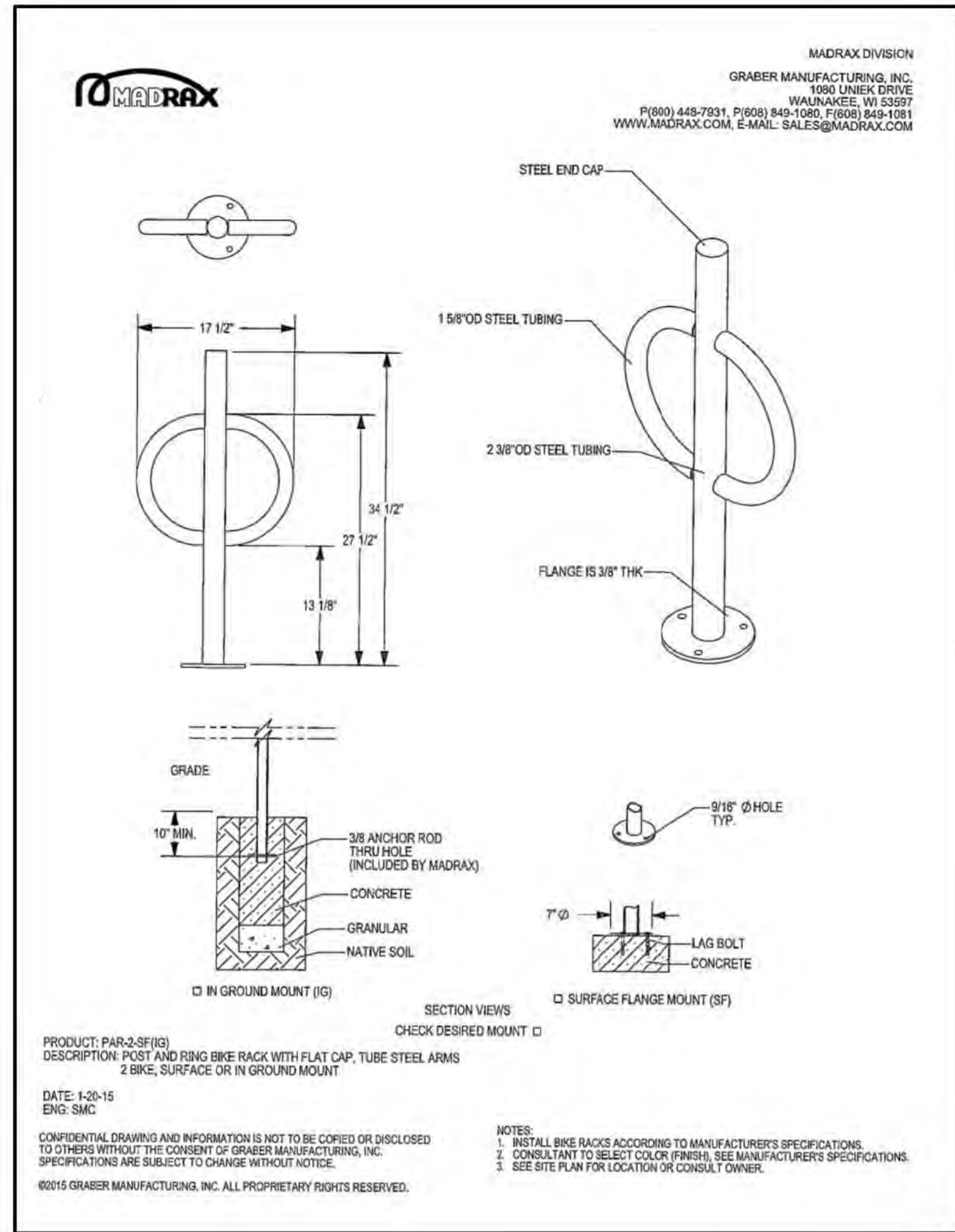
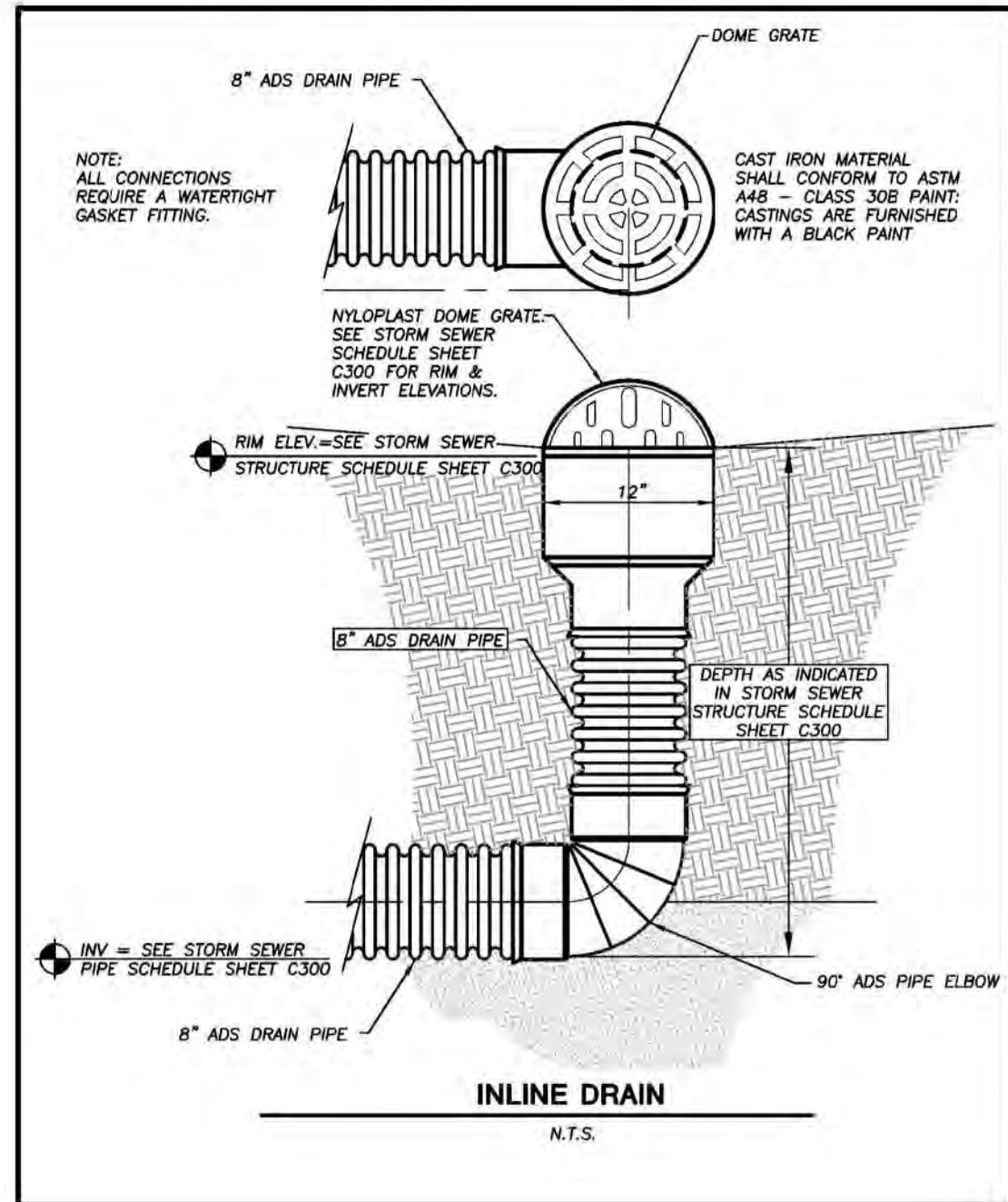
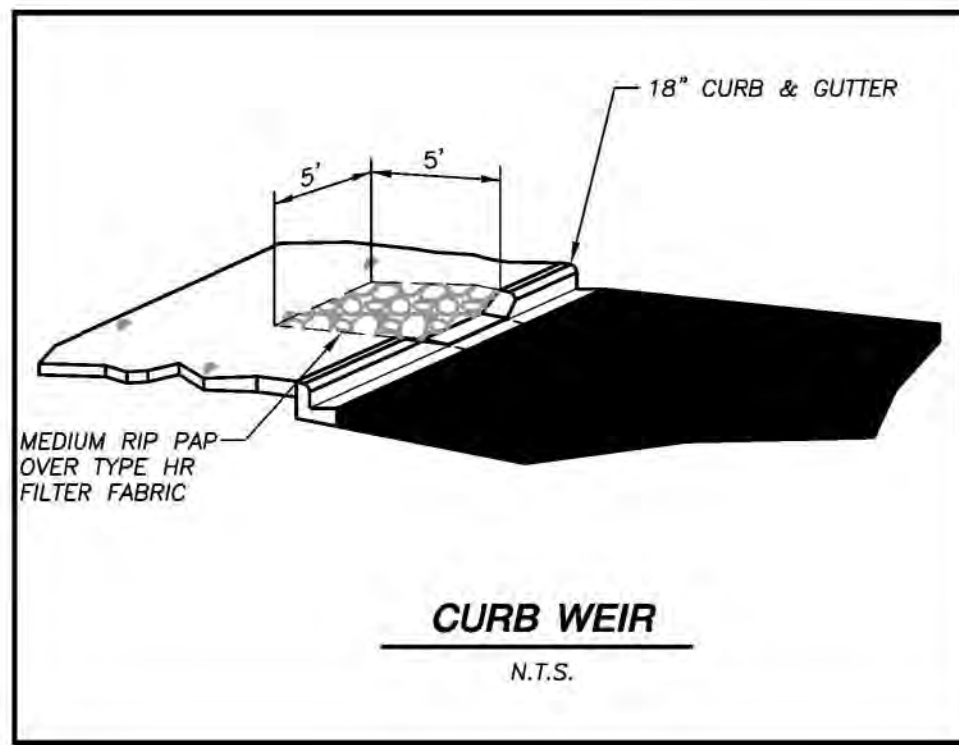


Toll Free (800) 242-8511

JSD PROJECT NO: 18-8568

File: I:\2018\180568\DWG\180568 Con Docs.dwg User: cgroner Plotfile: Sep 20, 2018 - 10:59am Xref's:

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CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:



CLIENT ADDRESS:
200 NORTH MAIN STREET
OREGON, WI, 53575

PROJECT:
VALOR ON WASHINGTON

PROJECT LOCATION:
CITY OF MADISON, WI
DANE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	06.08.18	LAND USE SUBMITTAL
2	08.15.18	LAND USE RE-SUBMITTAL
3	09.05.18	LAND USE RE-SUBMITTAL
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: CHG
Approved: WHD

SHEET TITLE:
DETAILS

SHEET NUMBER:

C6.1

JSD PROJECT NO: 18-8568



#	Date:	Description:
1	06.08.18	LAND USE SUBMITTAL
2	08.15.18	LAND USE RE-SUBMITTAL
3	09.05.18	LAND USE RE-SUBMITTAL
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

LEGEND (LANDSCAPE PLAN)

---	PROPERTY LINE	---	BUILDING OUTLINE
- - - -	RIGHT-OF-WAY	=====	EDGE OF PAVEMENT
- · - · -	EASEMENT LINE	=====	REJECT CURB AND GUTTER
ST	EXISTING STORM SEWER	=====	CONCRETE PAVEMENT
SAN	EXISTING SANITARY SEWER	=====	ASPHALT PAVEMENT
W	EXISTING WATER SERVICE	=====	FENCE
FO	EXISTING FIBER OPTIC	=====	LANDSCAPE EDGING
---	EXISTING GAS	-----X-----	ADA PARKING BOLLARDS/SIGNS
999	EXISTING 1 FOOT CONTOUR	----- -----	BIKE RACK
1000	EXISTING 5 FOOT CONTOUR	-----o-----	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
999	PROPOSED 1 FOOT CONTOUR		
1000	PROPOSED 5 FOOT CONTOUR		
SAN	PROPOSED SANITARY SEWER		
ST	PROPOSED STORM SEWER		
W	PROPOSED WATER SERVICE		

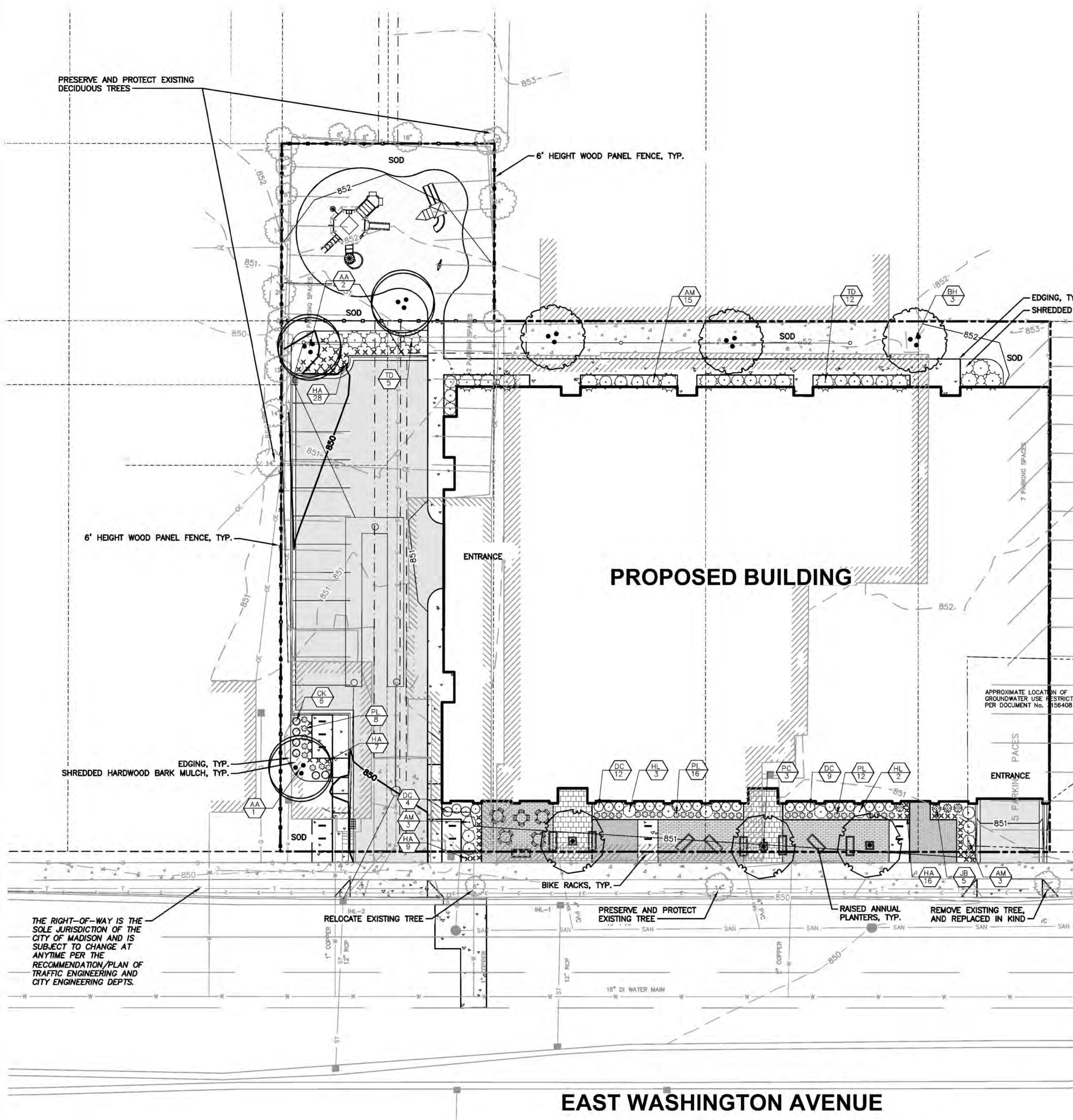
GENERAL NOTES:

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- REFER TO SHEET L2.0 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE

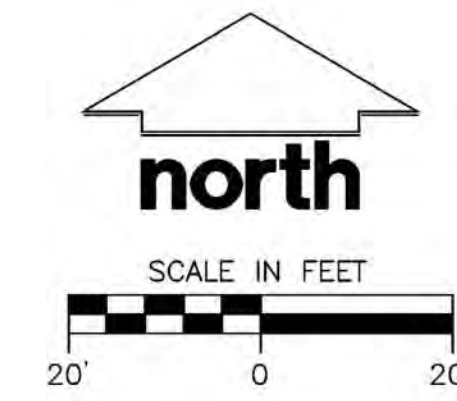
PLANT SCHEDULE

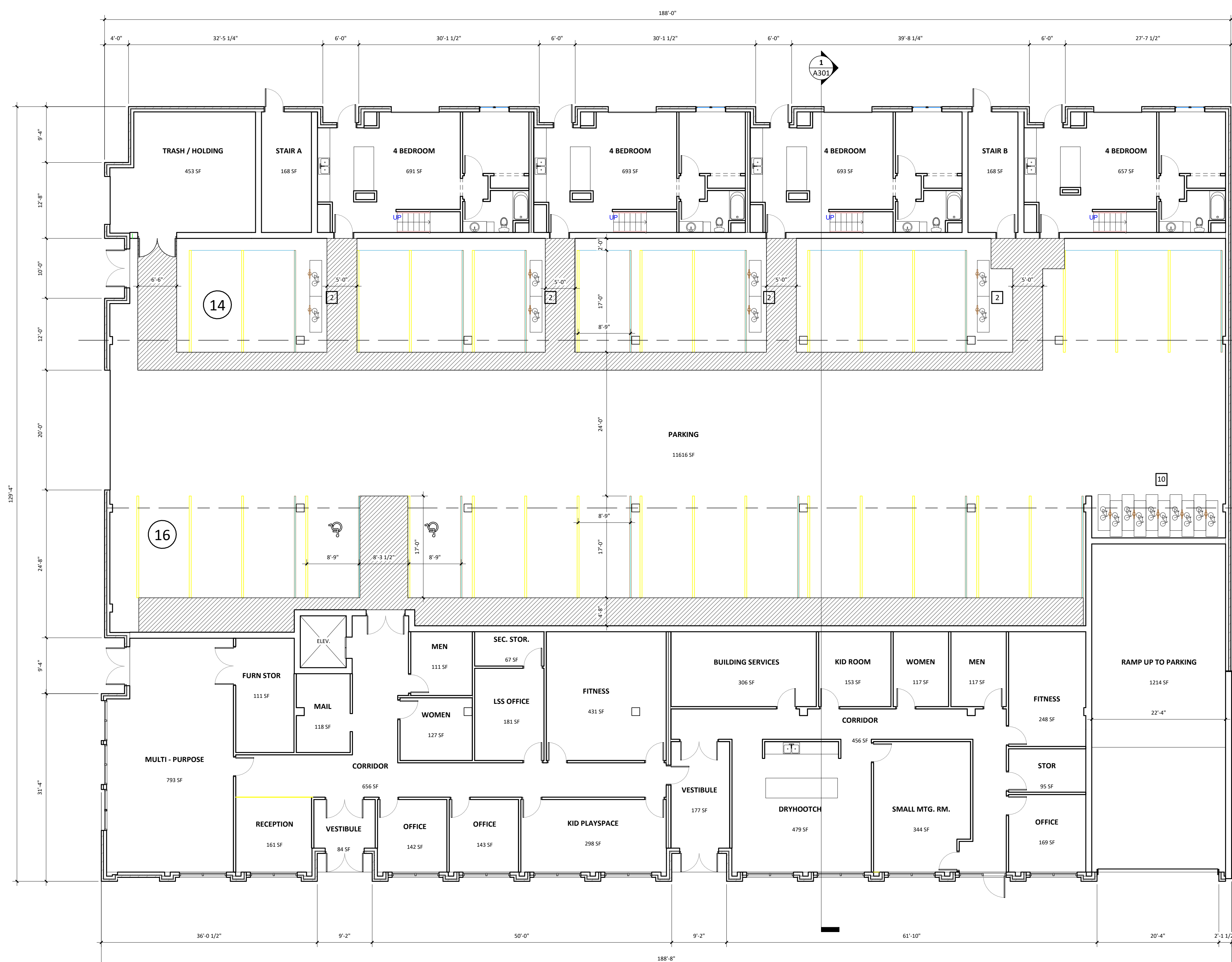
01-OVERSTORY DECIDUOUS TREE	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	BH	<i>Betula nigra</i> 'Heritage' / Heritage River Birch	B & B	2.5" Cal	35
	PC	<i>Pyrus calleryana</i> 'Cleveland Select' / Cleveland Select Pear	15 gal	2.5" Cal	35
03-ORNAMENTAL TREE	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	AA	<i>Amelanchier canadensis</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	1.5" Cal	15
05-DECIDUOUS SHRUB	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	AM	<i>Aronia melanocarpa</i> 'Morton' TM / Iroquois Beauty Black Chokeberry	3 gal	12" tall min.	3
	DC	<i>Dierilla sessilifolia</i> 'Cool Splash' / Cool Splash False Honeysuckle	3 gal	12" tall min.	3
	HL	<i>Hydrangea paniculata</i> 'Jane' / Little Lime Hydrangea	3 gal	12" tall min.	3
06-EVERGREEN SHRUB	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	JB	<i>Juniperus squamata</i> 'Blue Star' / Blue Star Juniper	3 gal	Min. 12"-24"	4
	TD	<i>Taxus x media</i> 'Dark Green Spreading' / Dark Green Spreading Yew	3 gal	24" Min Ht.	4
07-ORNAMENTAL GRASSES/PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	LS POINTS
	CK	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Feather Reed Grass	1 gal	12-18" Ht.	2
	HA	<i>Hemerocallis x 'Chicago Apache'</i> / Daylily	1 gal	12-18" Ht.	2
	PL	<i>Perovskia atriplicifolia</i> 'Little Spire' / Little Spire Russian Sage	1 gal	12-18" Ht.	2

PROPOSED BUILDING



EAST WASHINGTON AVENUE





1 1ST FLOOR PLAN - OVERALL
SCALE: 1/8" = 1'-0"

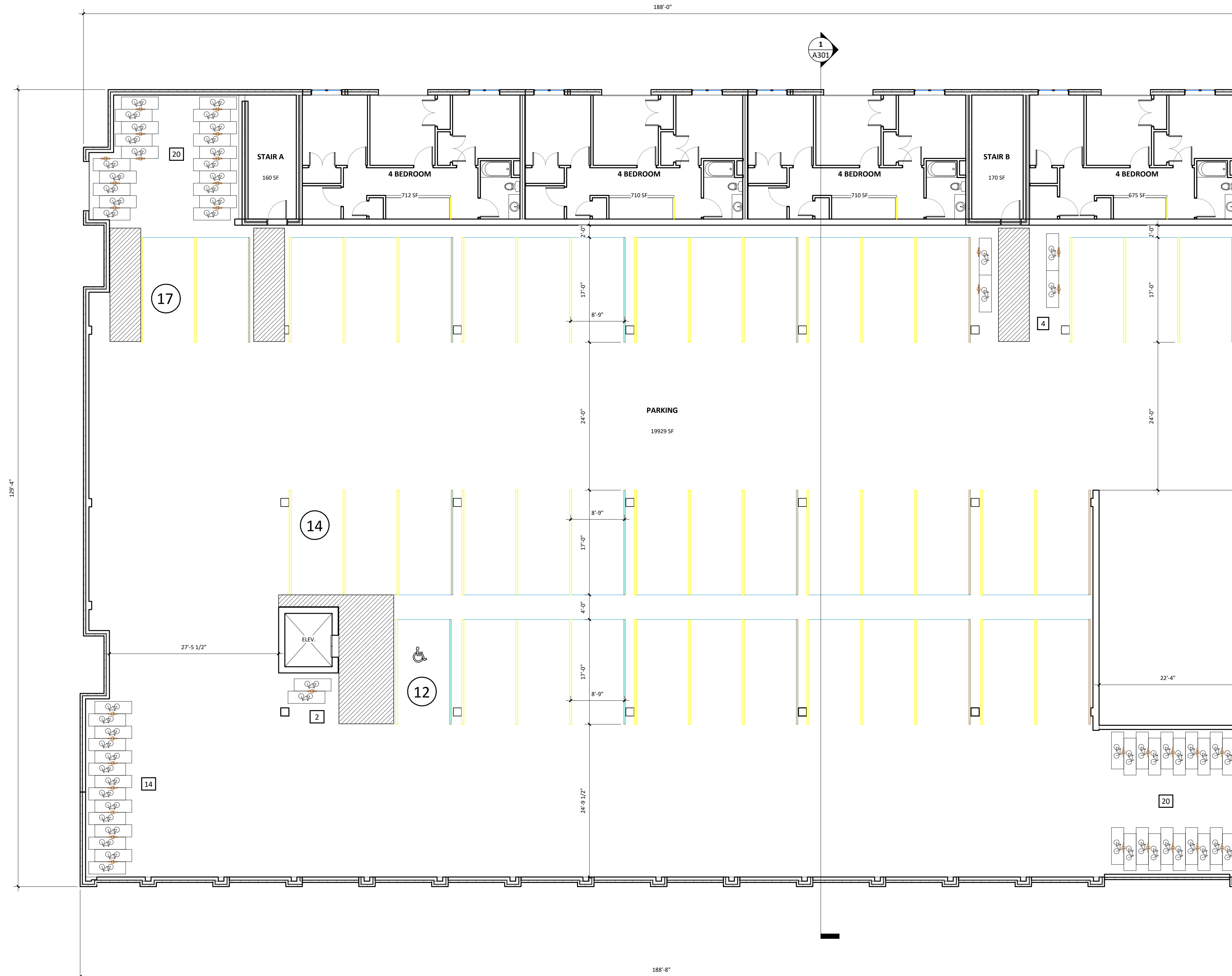
VALOR ON WASHINGTON
EAST WASHINGTON
MADISON, WI

Project No.	Project Number
Plot Date:	9/20/2018 3:21:55 PM
Drawn by:	GORMAN

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title
1ST FLOOR PLAN - OVERALL

Sheet No.
A111



1 2ND FLOOR PLAN - OVERALL
 SCALE: 1/8" = 1'-0"

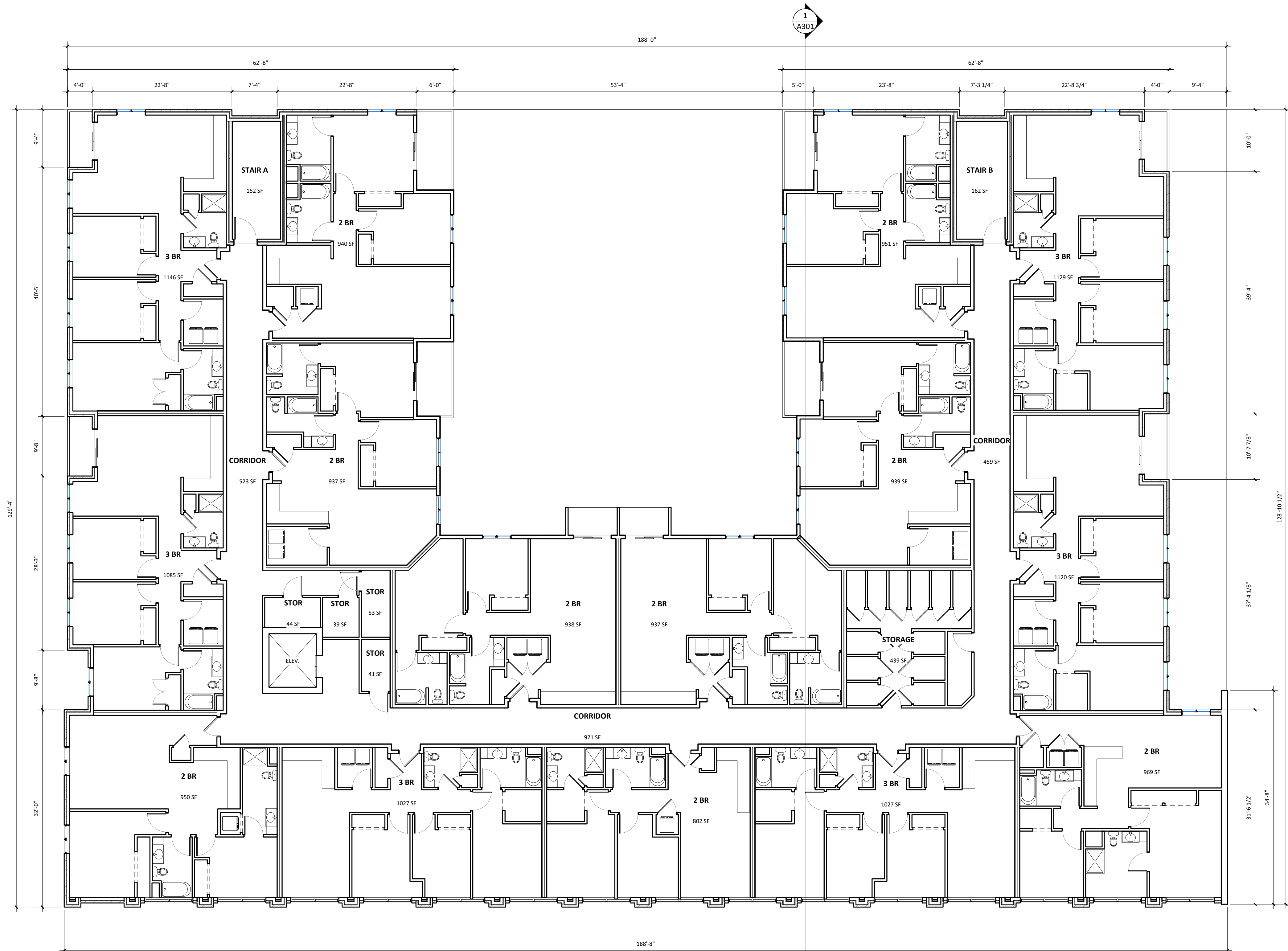
VALOR ON WASHINGTON
 EAST WASHINGTON
 MADISON, WI

Project No.	Project Number
Plot Date:	9/20/2018 3:21:57 PM
Drawn by:	GORMAN TEAM

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title
**2ND FLOOR PLAN -
 OVERALL**

Sheet No.
A121



1 3RD FLOOR PLAN - OVERALL
 SCALE: 1/8" = 1'-0"

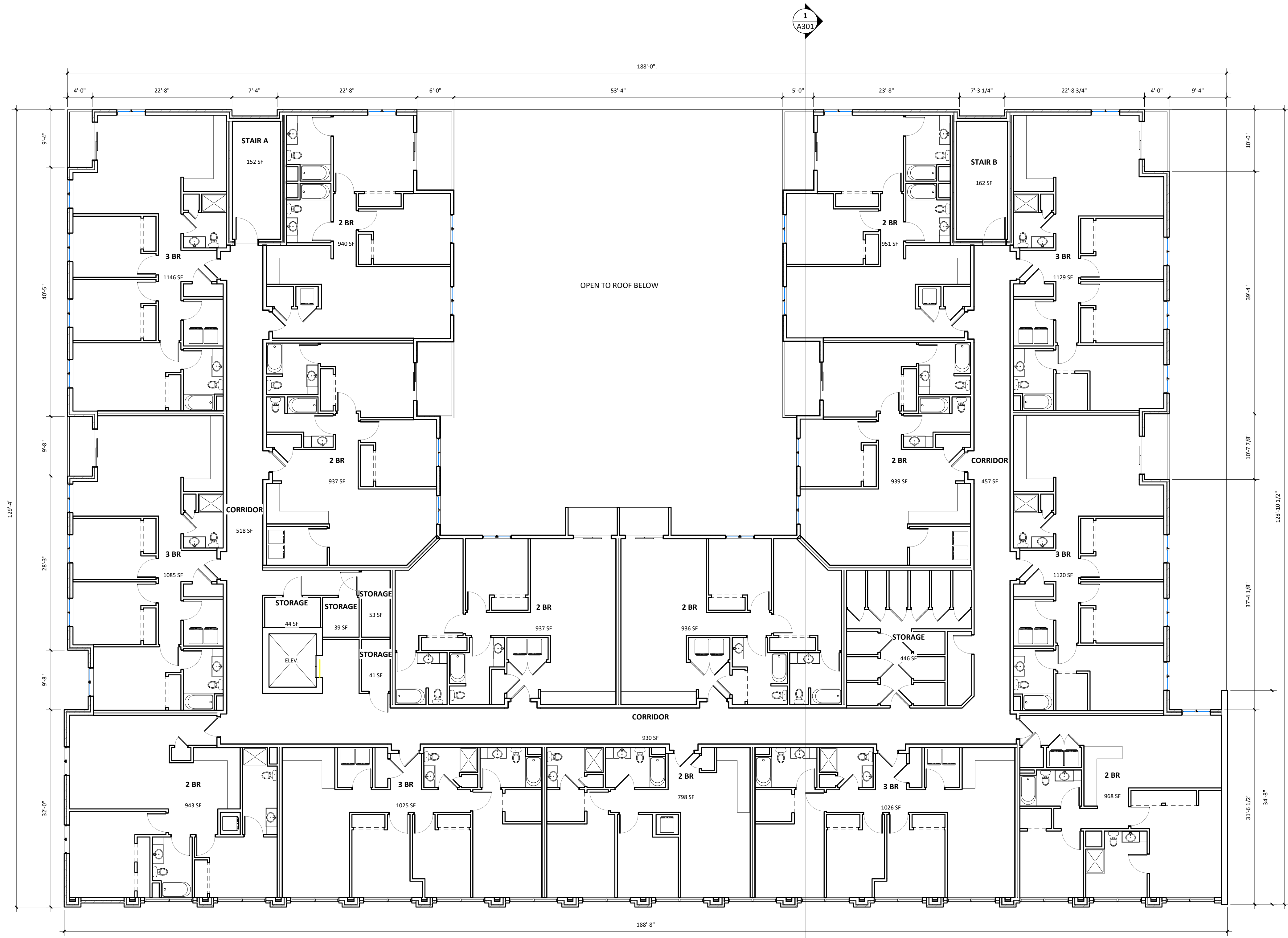
VALOR ON WASHINGTON
 EAST WASHINGTON
 MADISON, WI

Project No.	Project Number
Plot Date:	9/20/2018 3:22:00 PM
Drawn by:	GORMAN

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title
 3RD FLOOR PLAN -
 OVERALL

Sheet No.
A131



VALOR ON WASHINGTON

EAST WASHINGTON
 MADISON, WI

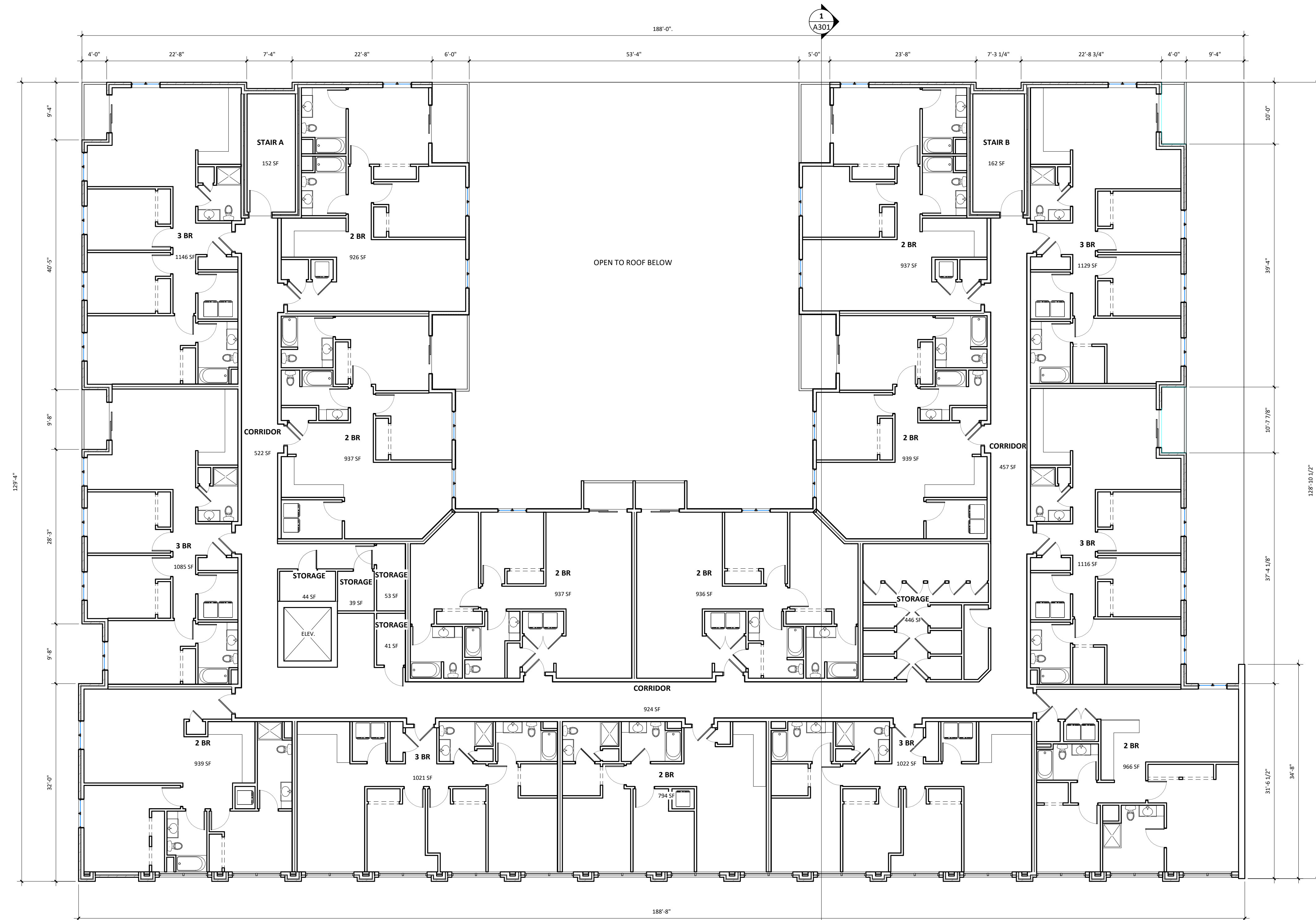
Project No.	Project Number
Plot Date:	9/20/2018 3:22:04 PM
Drawn by:	GORMAN

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title
**4TH FLOOR PLAN -
 OVERALL**

Sheet No.
A141

1 4TH FLOOR PLAN - OVERALL
 SCALE: 1/8" = 1'-0"



1 5TH FLOOR PLAN - OVERALL
 SCALE: 1/8" = 1'-0"

VALOR ON WASHINGTON

EAST WASHINGTON
 MADISON, WI

Project No.	Project Number
Plot Date:	9/20/2018 3:22:08 PM
Drawn by:	GORMAN

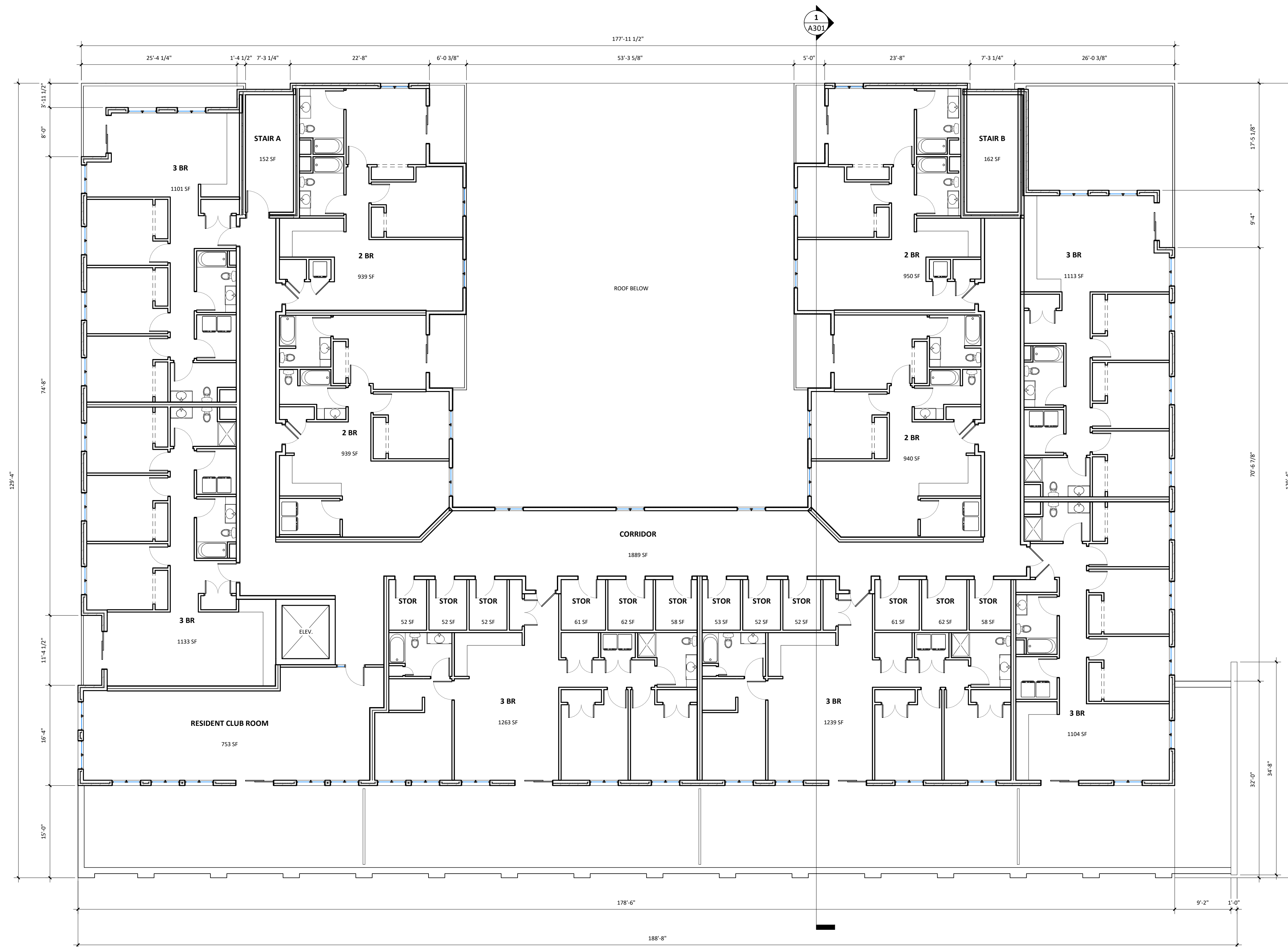
Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title

5TH FLOOR PLAN -
 OVERALL

Sheet No.

A151



1 6TH FLOOR PLAN - OVERALL
 SCALE: 1/8" = 1'-0"

VALOR ON WASHINGTON
 EAST WASHINGTON
 MADISON, WI

Project No.	Project Number
Plot Date:	9/20/2018 3:22:10 PM
Drawn by:	GORMAN

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title
 6TH FLOOR PLAN -
 OVERALL

Sheet No.
A161

VALOR ON WASHINGTON

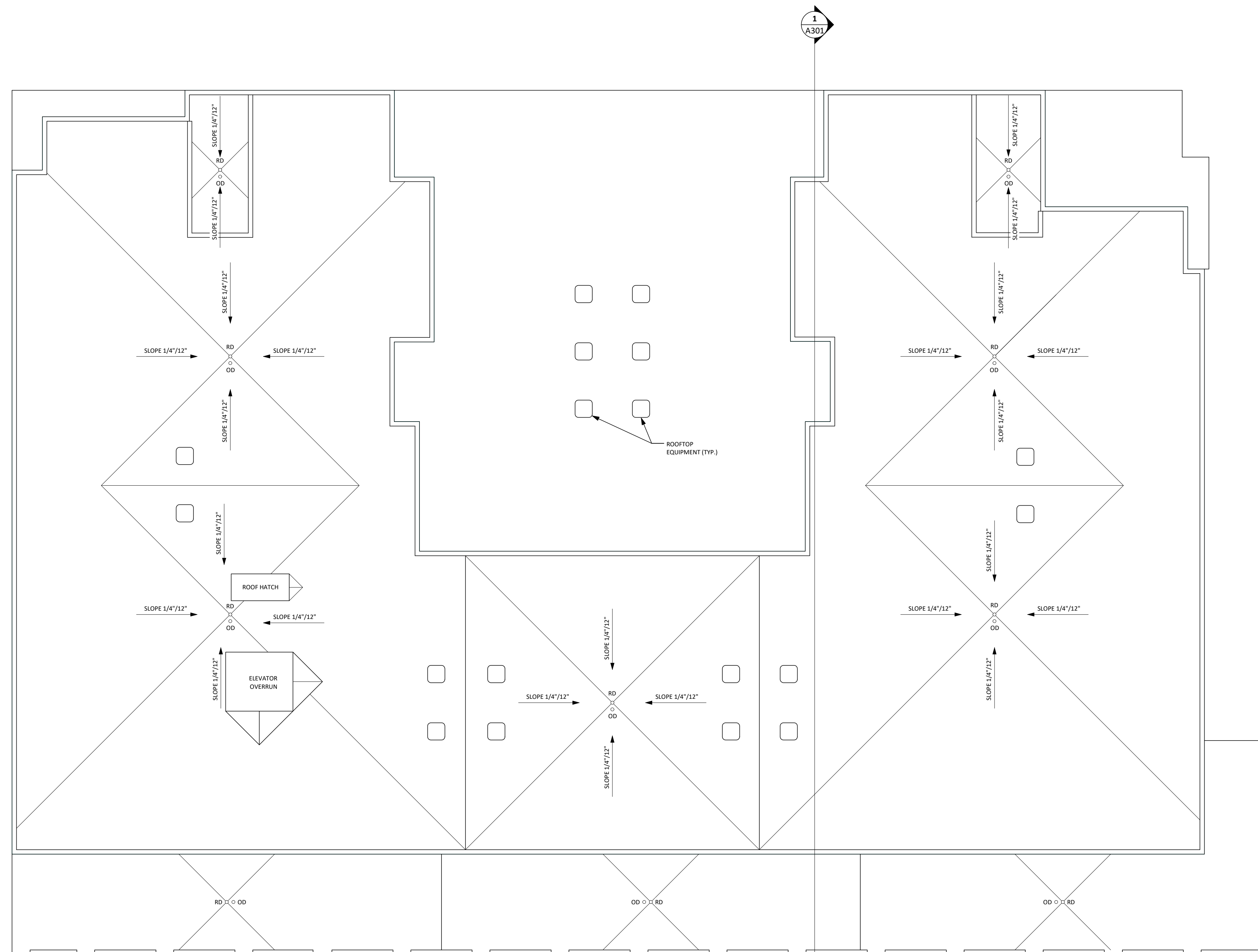
EAST WASHINGTON
 MADISON, WI

Project No.	Project Number
Plot Date:	9/20/2018 3:22:12 PM
Drawn by:	GORMAN

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title
ROOF PLAN - OVERALL

Sheet No.
A171



1 ROOF PLAN - OVERALL
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

VALOR ON WASHINGTON

EAST WASHINGTON
MADISON, WI

Project No.	Project Number
Plot Date:	9/20/2018 3:22:33 PM
Drawn by:	GORMAN TEAM

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title
EXTERIOR BUILDING
ELEVATIONS MATERIAL

Sheet No.
A201



EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

VALOR ON WASHINGTON

EAST WASHINGTON
MADISON, WI

Project No.	Project Number
Plot Date:	9/20/2018 3:22:14 PM
Drawn by:	GORMAN TEAM

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

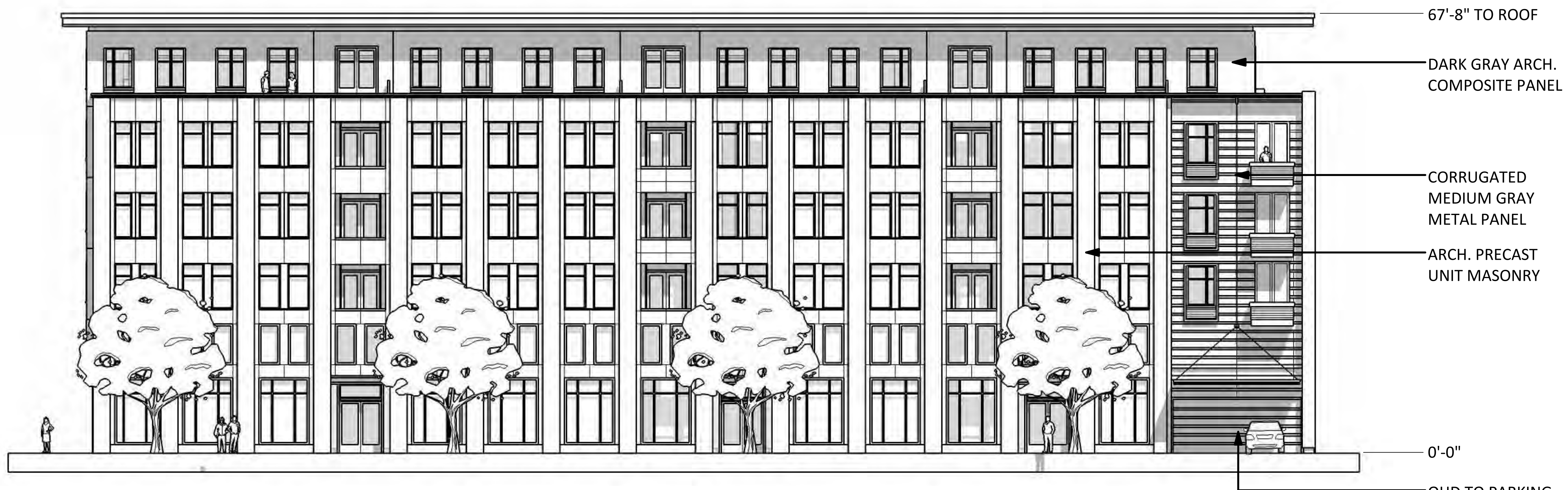
Sheet Title
EXTERIOR BUILDING
ELEVATIONS MATERIAL

Sheet No.
A202

OHD TO PARKING



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

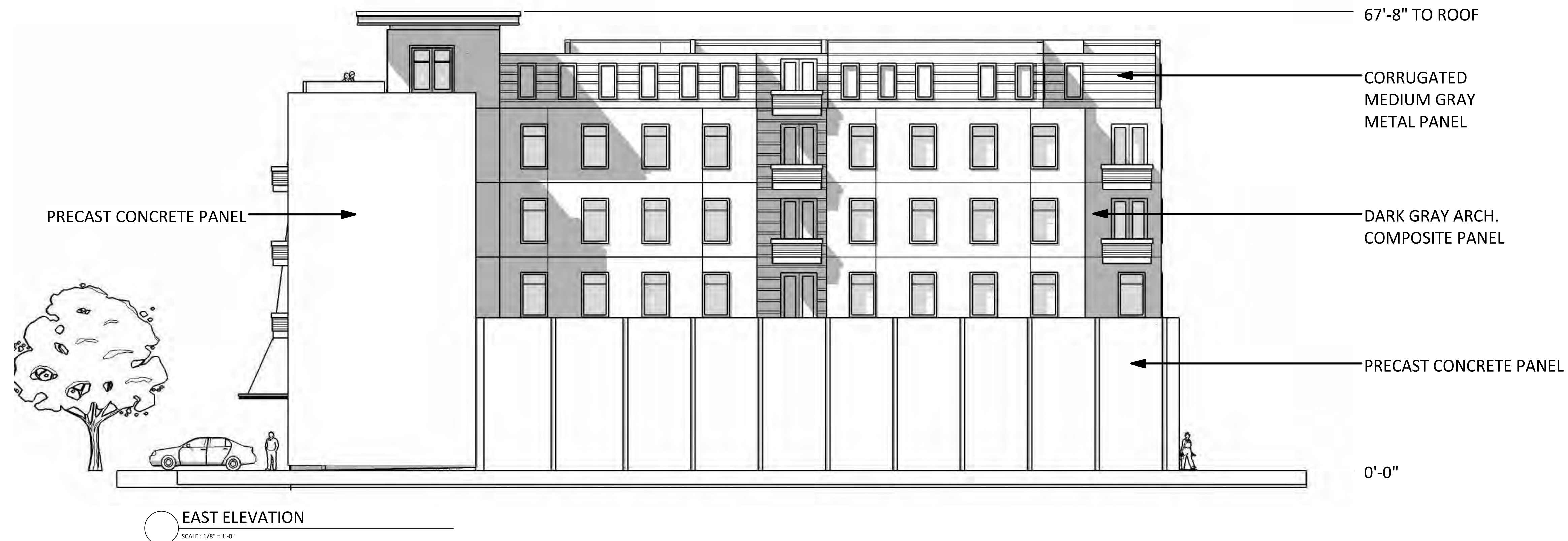
VALOR ON WASHINGTON
 EAST WASHINGTON
 MADISON, WI

Project No.	Project Number
Plot Date:	9/20/2018 3:22:15 PM
Drawn by:	GORMAN TEAM

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title
 EXTERIOR BUILDING
 ELEVATIONS B/W

Sheet No.
A203



VALOR ON WASHINGTON

EAST WASHINGTON
MADISON, WI

Project No.	Project Number
Plot Date:	9/20/2018 3:22:16 PM
Drawn by:	GORMAN TEAM

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title
EXTERIOR BUILDING
ELEVATIONS B/W

Sheet No.
A204



○ SOUTH PERSPECTIVE
NTS



○ EAST PERSPECTIVE
NTS

VALOR ON WASHINGTON

EAST WASHINGTON
MADISON, WI

Project No. _____ Project Number _____
Plot Date: 9/20/2018 3:22:17 PM
Drawn by: GORMAN TEAM

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title
PERSPECTIVES

Sheet No.
A205



WEST PERSPECTIVE
NTS



NORTH PERSPECTIVE
NTS

VALOR ON WASHINGTON

EAST WASHINGTON
MADISON, WI

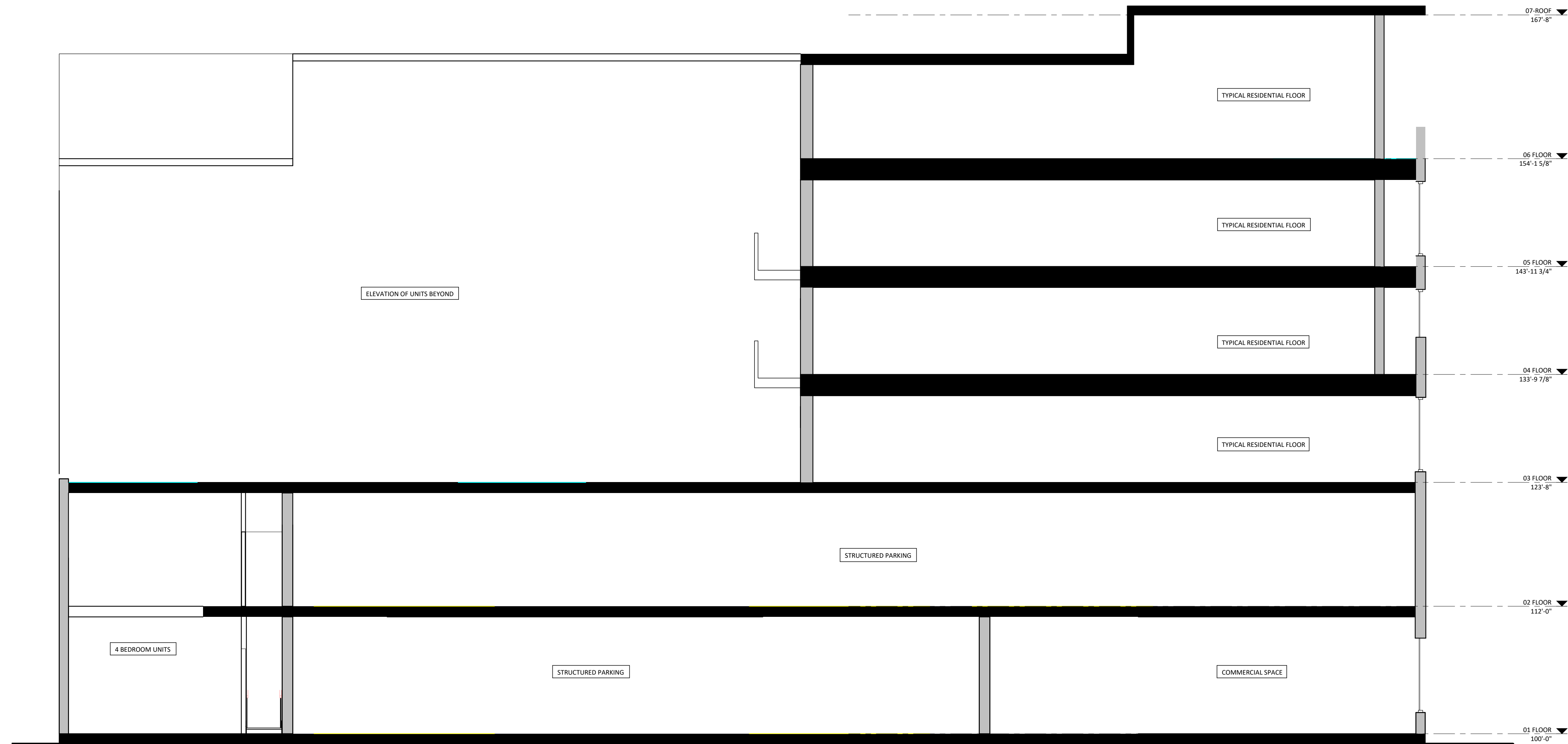
Project No. _____ Project Number _____
Plot Date: 9/20/2018 3:22:18 PM
Drawn by: GORMAN TEAM

Date	Issue Description
08.15.2018	LAND USE RESUBMITTAL
09.05.2018	LAND USE RESUBMITTAL

Sheet Title
PERSPECTIVES

Sheet No.
A206

VALOR ON WASHINGTON
EAST WASHINGTON
MADISON, WI



Schematic	
Project No.	Project Number
Plot Date:	9/20/2018 3:22:19 PM
Drawn by:	GORMAN TEAM
Date	Issue Description
09.05.2018	LAND USE RESUBMITTAL

Section 1
SCALE: 1/4" = 1'-0"

Sheet Title
BUILDING SECTIONS

Sheet No.
A301