

### LEGEND

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- PROPERTY LINE

EXISTING 5-FT CONTOUR EXISTING 1-FT CONTOUR SAWCUT PAVEMENT

-XXXXXXXXXXXXXXXXX UTILITY REMOVAL

EXISTING CONCRETE PAVEMENT TO BE REMOVED



EXISTING BUILDING/STRUCTURE, FOUNDATION AND SLAB TO BE REMOVED

EXISTING ASPHALT PAVEMENT TO BE REMOVED

TREE TO BE REMOVED

## CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE AND/OR STRAW WATTLES AS SHOWN ON PLAN. MAINTAIN AS NECESSARY DURING CONSTRUCTION. 2. INSTALL TRACKING PAD.

3. BEGIN CLEARING AND GRUBBING OF SITE.

4. STRIP ANY REMAINING TOPSOIL AND TEMPORARILY STOCKPILE ON SITE WHERE LOCALIZED DISTURBANCE ACTIVITIES OCCUR (EXCESS TO BE REMOVED FROM SITE ACCORDING TO GENERAL CONTRACTORS CONSTRUCTION PHASING PLAN)

- 5. BEGIN CONSTRUCTION OF FOOTING AND FOUNDATION.
   6. PROCEED WITH UTILITY CONSTRUCTION.
- 7. GRADE SITE AND PREPARE AGGREGATE BASE.

8. STABILIZE DISTURBED GROUND WITH TEMPORARY SEED AND MULCH. 9. INSTALL PAVEMENT SURFACE.

10. INSTALL LANDSCAPING.

11. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL BMPs WHEN DISTURBED AREAS ARE PERMANENTLY STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION.

## DEMOLITION NOTES

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.

ALL WORK IN THE PUBLIC ROW SHALL BE PREFORMED BY A CITY-LICENSED CONTRACTOR

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER OF THE CONDITION EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION.

ALL DAMAGED PAVEMENT DUE TO CONSTRUCTION RELATED ACTIVITIES IN EAST WASHINGTON AVENUE FRONTAGE ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH CITY'S PAVEMENT PATCHING CRITERIA.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE, THE WISCONSIN DNR STORMWATER CONSTRUCTION AND POST CONSTRUCTION TECHNICAL STANDARDS, THESE DOCUMENTS; THE MOST STRINGENT TO APPLY.

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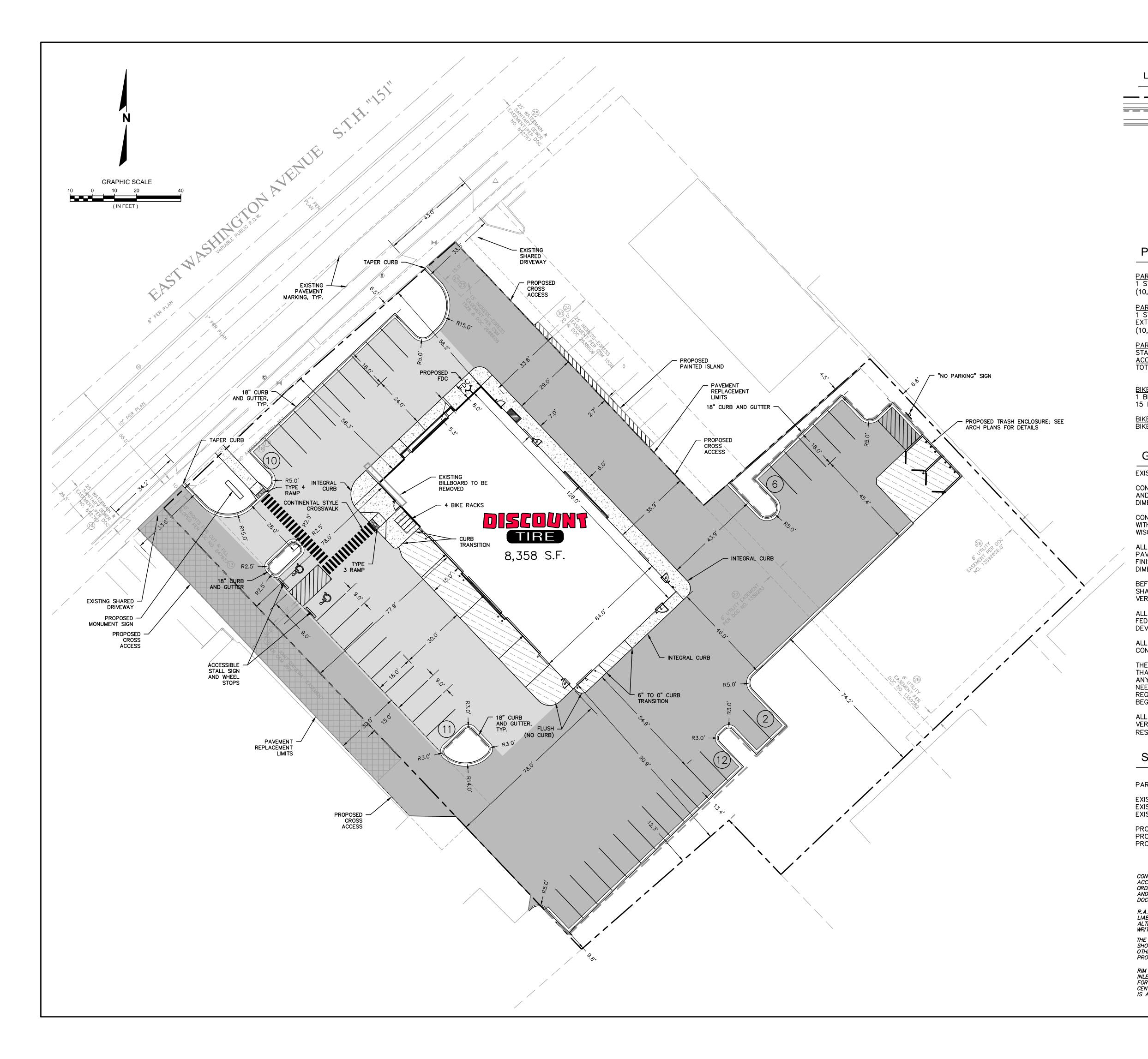
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RIM ELEVATIONS ARE GIVEN TO THE FACE OF CURB FOR INLET GRATES OR THE CENTER OF THE MANHOLE STRUCTURE FOR MANHOLES. PIPE LENGTHS ARE MEASURED TO THE CENTER OF STRUCTURE OR THE END OF PIPE WHERE THERE IS AN ENDWALL.

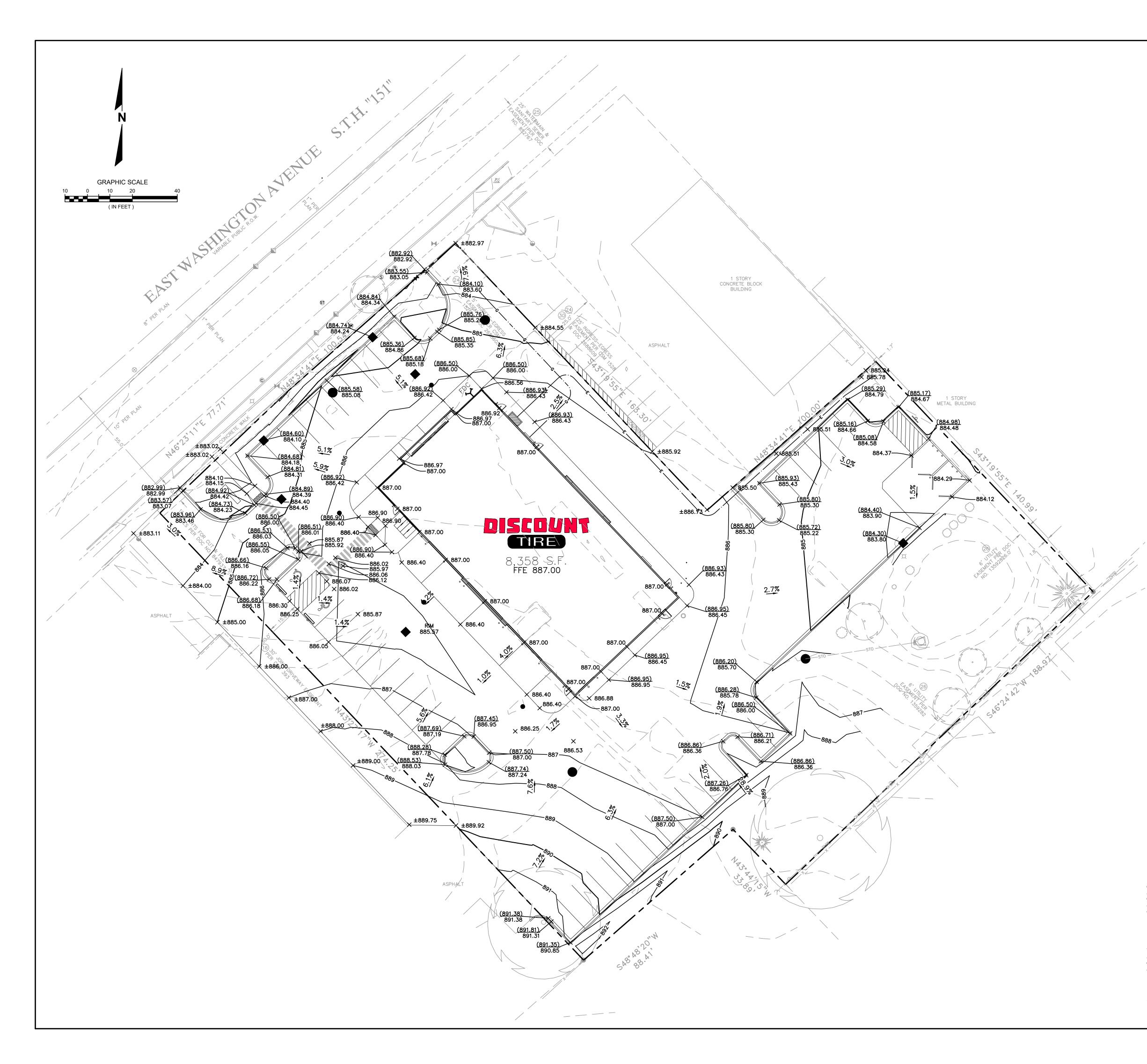


Call before you dig.

DESCRIPTION						
DATE						
	16745 W. Bluemound Road	brookfield, VVI 33003-3938 (262) 781-1000	rasmith.com		WI   Cedarburg, WI   Mount Pleasant, WI	gh, PA   Irvine, CA
			CREATIVITY BEYOND ENGINEERING		Brookfield, WI   Appleton, WI   Madison, W	Naperville, IL   Pittsburgh, PA   Irvine, CA
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SITE STATISTIC	6			
ARCEL AREA	<u>SQFT AC</u> 66,397 1.52	COVERAGE		
KISTING BUILDING AREA KISTING PERVIOUS AREA KISTING IMPERVIOUS AREA	17,865 0.41	21.3% 26.9% 51.8%		
ROPOSED BUILDING AREA ROPOSED PERVIOUS ROPOSED IMPERVIOUS	8,358 0.19 18,172 0.42 39,867 0.91	12.6% 27.4% 60.0%		
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				300



## LEGEND

	PROPERTY LINE
835	EXISTING 5-FT CONTOUR
834	EXISTING 1-FT CONTOUR
835	PROPOSED 5-FT CONTOUR
834	PROPOSED 1-FT CONTOUR
834.50 X	PROPOSED SPOT GRADE AT GUTTER OR SPOT GRADE ON PAVEMENT
(834.50) ×	PROPOSED SPOT GRADE AT TOP OF CURB
834.50± ×	MATCHING GRADES INTO EXISTING
3.4%	PROPOSED DIRECTIONAL SLOPE ARROW

## GENERAL GRADING NOTES

- 1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
- 2. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
- 3. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
- 4. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
- 5. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
- 7. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT
- 8. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
- 9. ALL SIDEWALKS SHALL HAVE A MAXIMUM 2.0% CROSS SLOPE.
- 10. ALL STAIRS, RAILS & RETAINING WALLS SHOWN ON THESE PLANS ARE FOR LOCATION AND MATERIAL REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CONSULTING WITH A GEOTECHNICAL ENGINEER AND/OR STRUCTURAL ENGINEER FOR APPROPRIATE DESIGN CERTIFICATION PRIOR TO CONSTRUCTION, DEPENDING ON THE TYPE OF STAIR OR WALL. FOR ALL CONCRETE BLOCK MODULAR SYSTEMS, CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. ALL NECESSARY GEOGRID, REINFORCEMENT, BACKFILL, COMPACTION AND DRAIN TILE ARE TO BE COORDINATED BETWEEN THE CONTRACTOR, GEOTECHNICAL ENGINEER, AND SUPPLIER. FOR ALL NATURAL STONE WALLS, CONTRACTOR IS RESPONSIBLE FOR INSTALLATION USING ALL NECESSARY MEANS TO INSURE PROPER SUB-BASE, BACKFILL, DRAIN TILE AND STABILITY. raSmith ASSUMES NO RESPONSIBILITY FOR THE INSTALLATION, GEOTECHNICAL INTEGRITY, OR STABILITY OF THE STAIRS, RAILINGS OR RETAINING WALLS.
- 11. ALL WORK IN THE PUBLIC ROW SHALL BE PREFORMED BY A CITY-LICENSED CONTRACTOR

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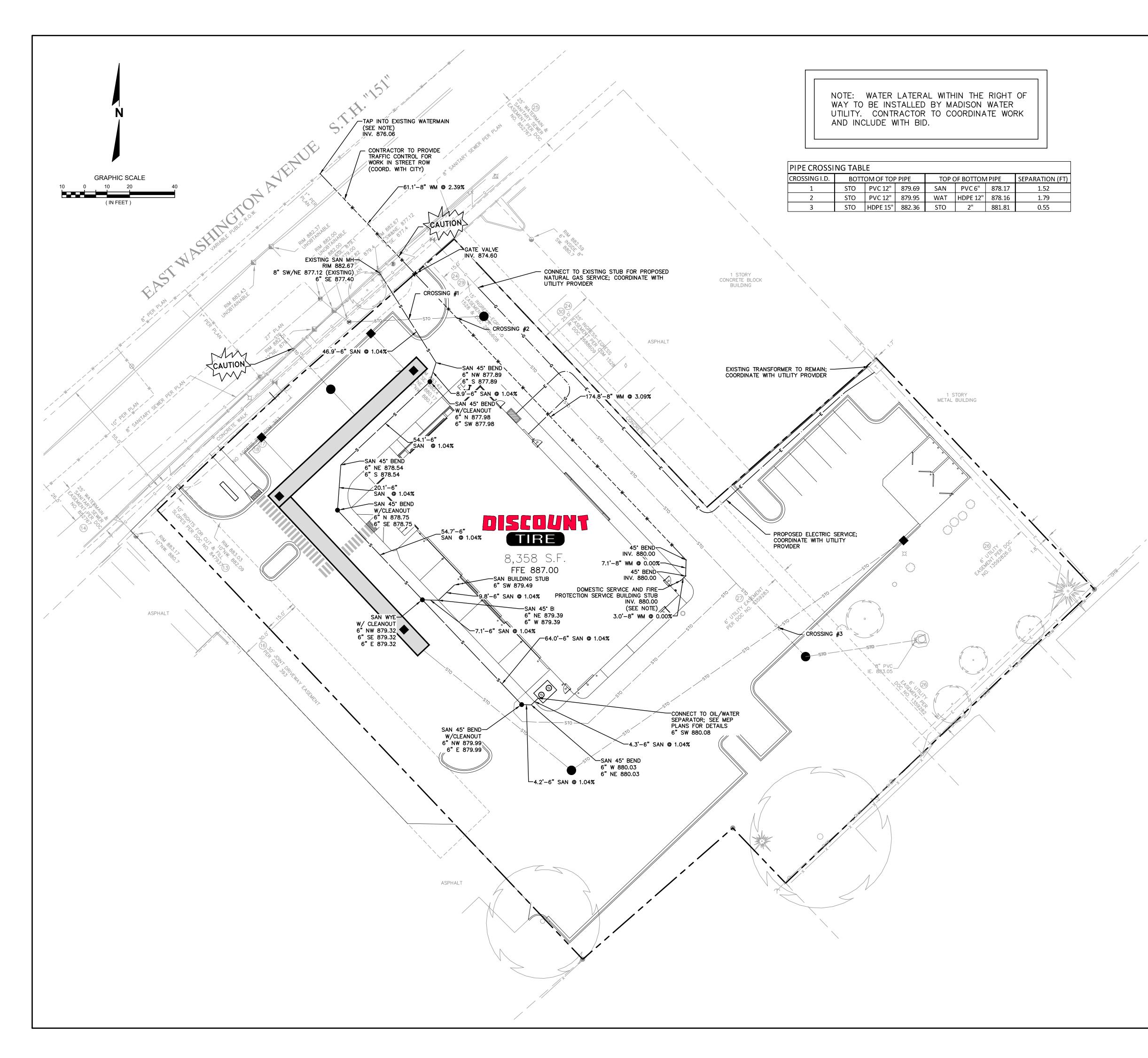
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		Naperville, IL   Pittsburgh, PA   Irvine, CA		

SHEET NUMBER



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CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER LATERAL CROSSES UNDER SEWER. MAINTAIN MINIMUM 12" CLEARANCE WHEN WATER LATERAL CROSSES OVER SEWER. PROVIDE INSULATION BETWEEN WATER MAIN & LATERALS AND SEWER CROSSINGS WHERE THE VERTICAL SEPARATION IS LESS THAN 2.0'.

WATER SERVICE AND ASSOCIATED STRUCTURES ARE TO CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

PROVIDE GRANULAR BACKFILL FOR WATER MAIN IN ALL PAVED AREAS. PROVIDE SPOIL BACKFILL FOR WATER MAIN OUTSIDE OF PAVED AREAS.

ALL WATER SERVICE JOINTS SHALL BE RESTRAINED WITH MEGALUGS.

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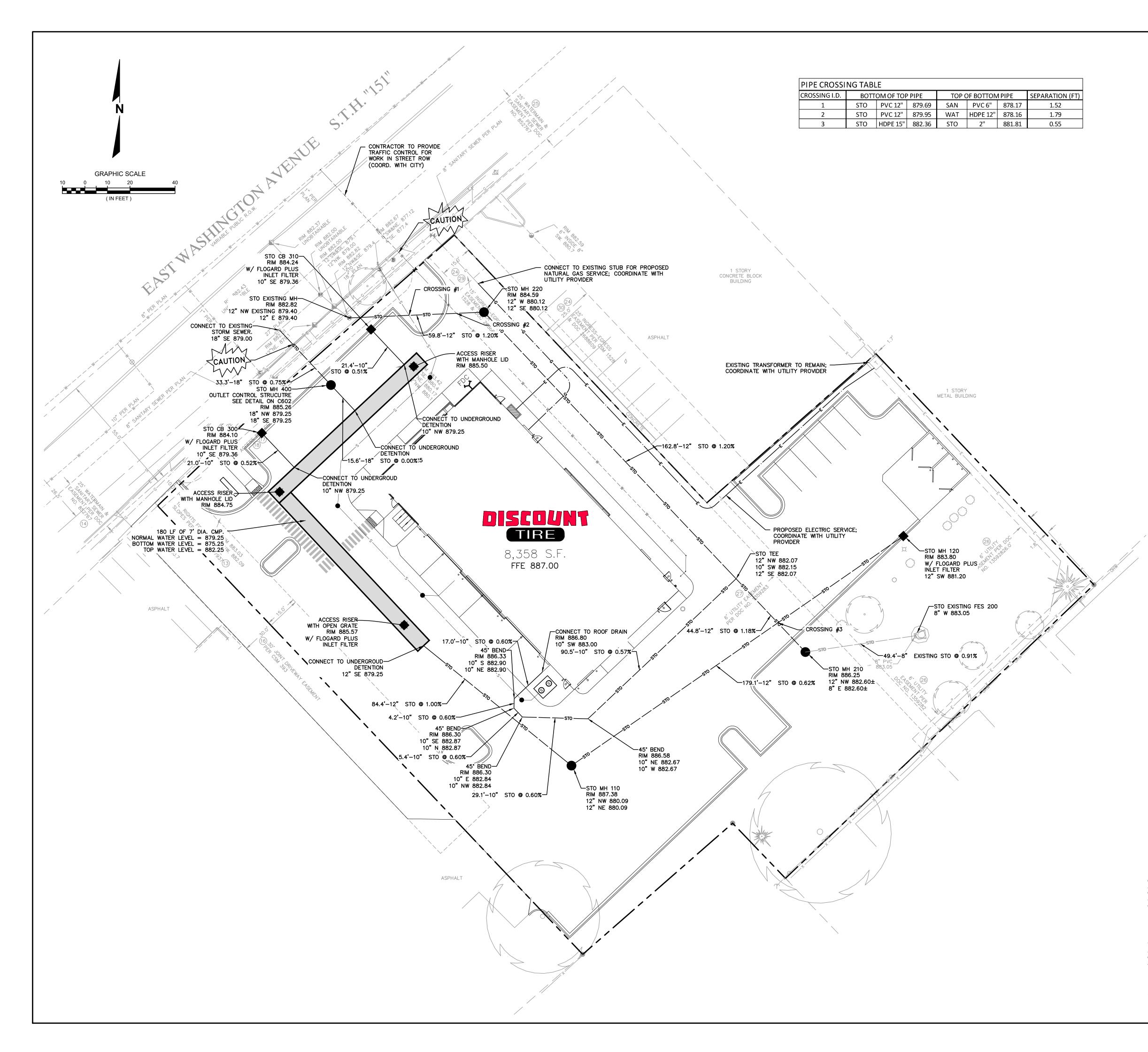
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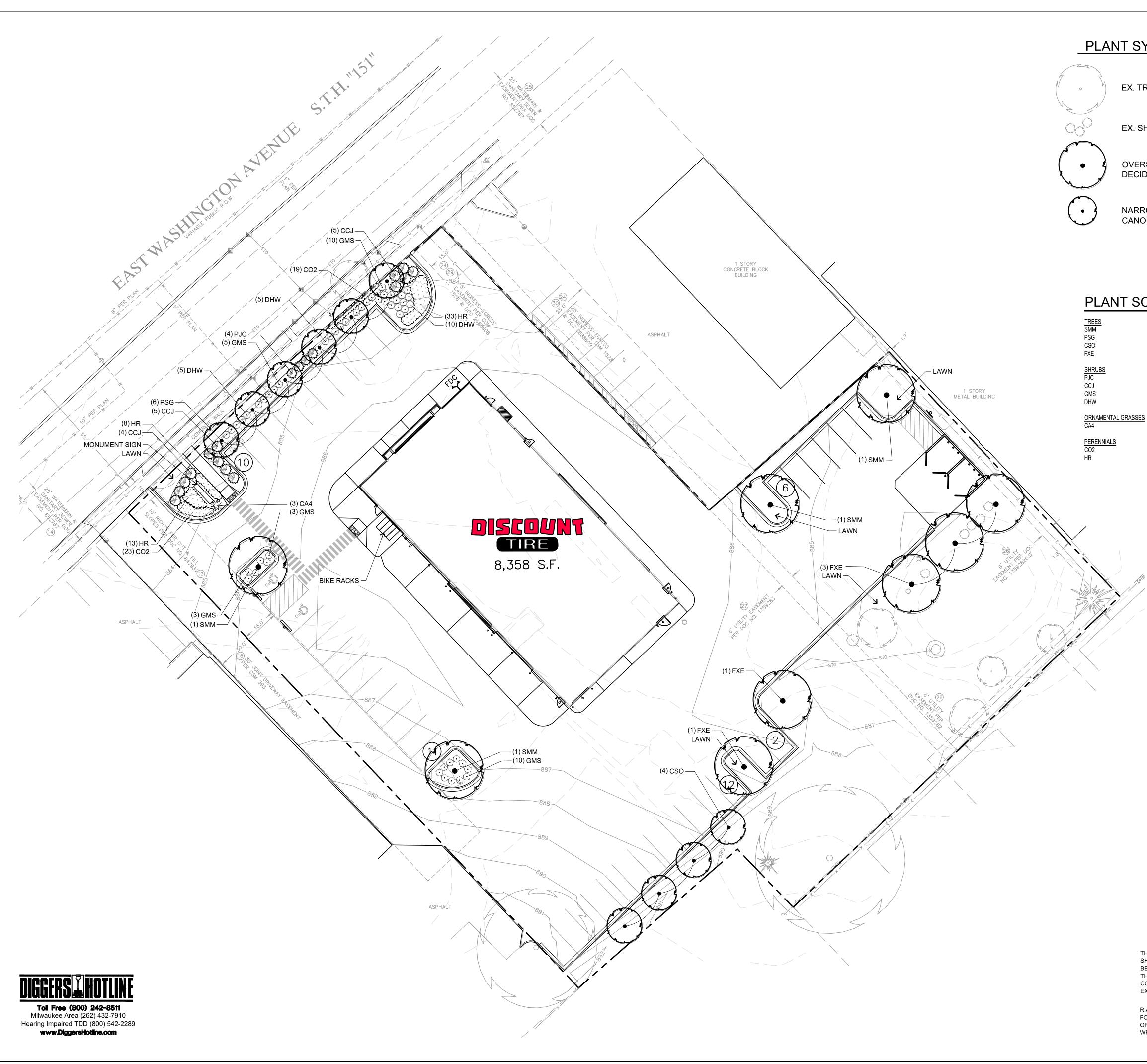
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DISCOUNT TIRE - WIM 10984 MADISON, WI STORM SEWER PLAN
0 5



# PLANT SYMBOL KEY

EX. TREES TO RETAIN & PROTECT

EX. SHRUBS TO RETAIN & PROTECT

OVERSTORY / CANOPY DECIDUOUS TREES -

NARROW OVERSTORY / CANOPY TREES -

EVERGREEN SHRUBS -

FLOWERING SHRUBS -

ORNAMENTAL GRASSES -

PERENNIALS -

# PLANT SCHEDULE

<u>2TY</u> 4 3	<u>COMMON NAME</u> State Street Miyabei Maple Princeton Sentry Ginkgo Crimson Spire Oak	BOTANICAL NAME Acer miyabei `Morton` TM Ginkgo biloba `Princeton Sentry` Quercus `Crimschmidt`	<u>SIZE</u> 3" CAL 3" CAL 3" CAL 3" CAL	<u>ROOT</u> B&B B&B B&B	<u>REMARKS</u> Full, matching heads Full, matching heads Full, matching heads
+ 5	Frontier Elm	Ulmus x `Frontier`	3" CAL 3" CAL	B&B	Full, matching heads
<u>2TY</u> 4 14 31 20	<u>COMMON NAME</u> Kallay Compact Pfitzer Juniper Calgary Carpet Juniper Goldmound Spirea Red Prince Weigela	<u>BOTANICAL NAME</u> Juniperus chinensis `Kallays Compact` Juniperus sabina `Calgary Carpet` TM Spiraea japonica `Goldmound` Weigela florida `Dark Horse`	<u>SIZE</u> 18"SPD 18"SPD 15" HT 15" HT	ROOT CONT. CONT. CONT. CONT.	<u>REMARKS</u>
<u>2TY</u> 3	<u>COMMON NAME</u> Karl Foerster Feather Reed Grass	<u>BOTANICAL NAME</u> Calamagrostis x acutiflora `Karl Foerster`	<u>SIZE</u> 1 GAL	ROOT POT	REMARKS 24" Spacing
<u>2TY</u> 12 54	COMMON NAME Early Sunrise Coreopsis Ruby Stella Daylily	<u>BOTANICAL NAME</u> Coreopsis grandiflora `Early Sunrise` Hemerocallis x `Ruby Stella`	<u>SIZE</u> 4 1/2" 4 1/2"	<u>ROOT</u> POT POT	REMARKS 18" Spacing 24" Spacing

## GENERAL LANDSCAPE NOTES

- SEE SHEET L200 FOR ALL DETAILS AND SPECIFICATIONS.

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TREE REMOVALS, LISTED ON THE PLAN. - FINAL STREET TREE SPECIES, LOCATION AND INSTALLATION SPECIFICATIONS TO BE COORDINATED WITH THE CITY OF MADISON FORESTRY DEPARTMENT.

- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)

- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A DESIGN / BUILD IRRIGATION CONSTRUCTION PLAN TO THE OWNER AND MUNICIPALITY (IF REQUIRED), SEE NOTE #16 ON SHEET L200.

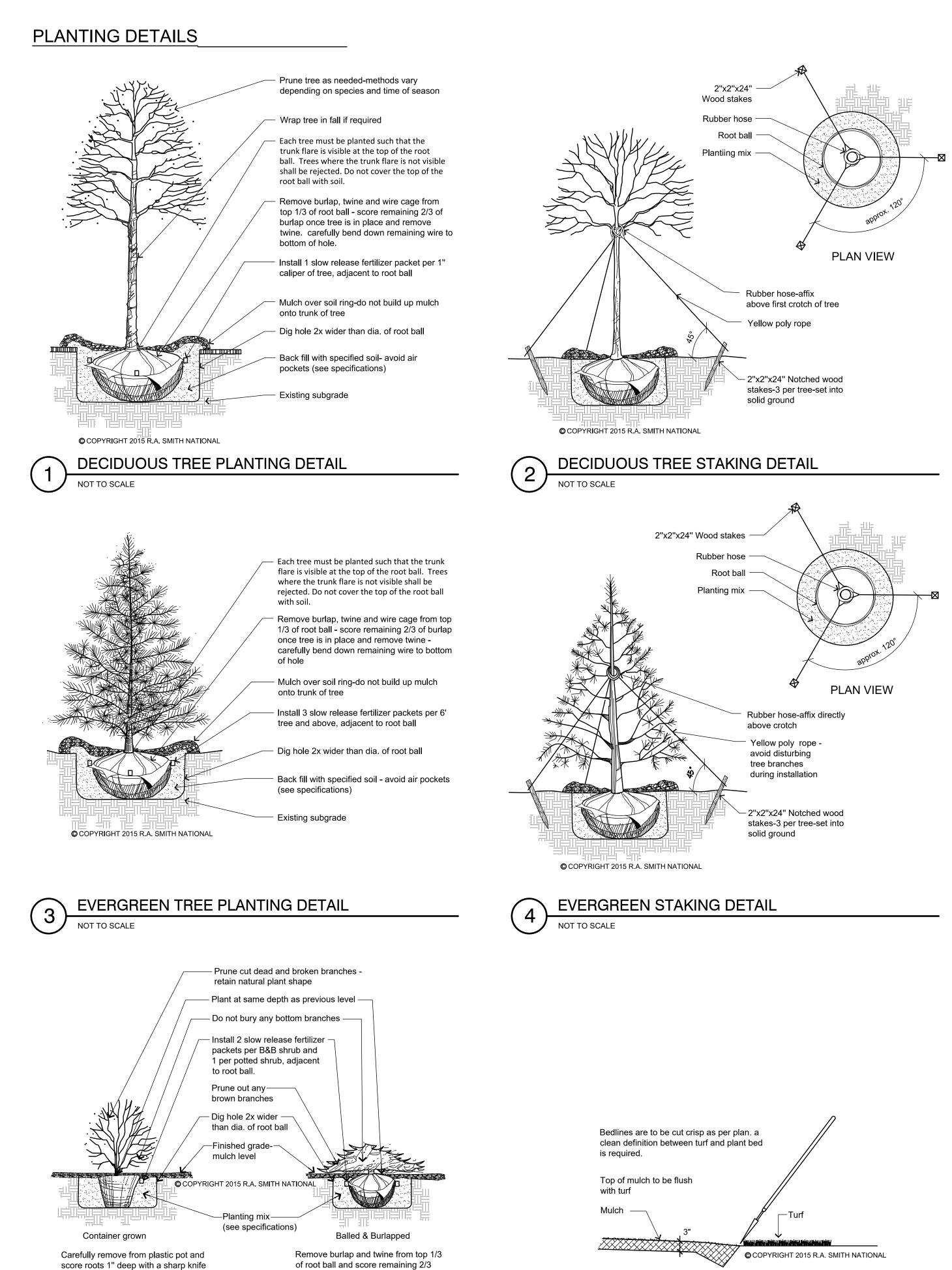


0 10 20 40 **GRAPHIC SCALE** 

DISCOUNT TIRE - WIM 10984 MADISON, WI LANDSCAPE PLAN	Brookfield, WI 53005-5938         Rookfield, WI 53005-5938         CRATIVITY BEYOND ENDING         Brookfield, WI 1 Appleton, WI 1 Madison, WI 1 Cedarburg, WI 1 Mount Pleasant, WI 1 Difference	Bluemound Road WI 53005-5938 1000 om	DESCRIPTION	
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SHRUB PLANTING DETAIL

5

NOT TO SCALE

6

NOT TO SCALE

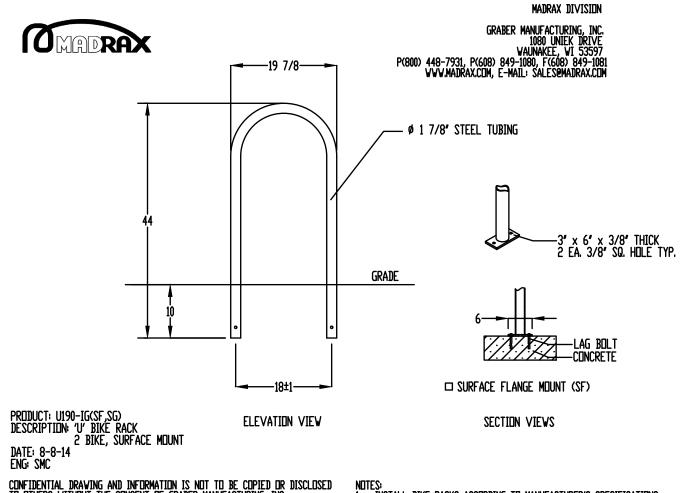
## SHOVEL CUT PLANT BED EDGING DETAIL

## GENERAL LANDSCAPE NOTES

- 1. Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any di
- 2. Bike Racks: (2) Madrax 'U' Bike Rack, 1.90" Tubing 20" Long, Surface Mount, Galvanized Black
- 3. 4' Bench: Powder coated aluminum or equivalent. Surface Mount. Final model and color to be determined by owner.
- 4. Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to generate
- 5. All plantings shall comply with standards as described in American Standard of Nursery Stock ANSI Z60.1 (latest version). Ge plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- 6. Any potential plant substitutions must be submitted in writing and approved by the general contractor or owner's representative unless approved by general contractor or owner's representative.
- . Topsoil should be placed to within 3" of finish grade by general / grading contractor during rough grading operations. All parkir planting islands and beds a minimum of 6" to provide proper drainage (unless otherwise specified) by grading contractor to ins
- 8. The landscape contractor to be responsible for the fine grading of all landscaped areas. A minimum depth of 3" of blended, pre be smooth, uniform and provide positive drainage away from all structures and pavement.
- 9. Tree planting (see planting detail):
- Plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. Scarify side support wire. Remove biodegradable burlap and wire cage (if applicable) from top one-third of rootball. Carefully bend remai be moved. Score the remaining two-thirds of burlap and remove twine. Backfill pit with 80% existing soil removed from excava clay or stones. Avoid any air pockets and do not tamp soil down. When hole is two-thirds full, trees shall be watered thorough hardwood bark mulch ring around all lawn trees. Do not build up any mulch onto trunk of any tree. Trees that are installed inc to the staking detail.
- 10. Shrub planting: all shrubs to be pocket planted with a 50/50 mix of plant starter and topsoil. Install topsoil into all plant beds as excessive gravel, clay and stones from plant beds prior to planting. When hole is two-thirds full, shrubs shall be watered thorough
- 11. Mulching: all tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not enviro same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- 12. Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan
- 13. Plant bed preparation: all perennial, ornamental grass, annual and groundcover areas are required to receive a blend of organi required 18" of topsoil to a depth of approx. 8" -

### Per every 100 square feet of bed area add:

- 2 cu. ft. bale of peat moss 2 lbs. of 5-10-5 slow release fertilizer
- 1/4 cu. yard of composted manure
- 14. Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the grade. Apply a starter fertilizer and specified seed uniformly and provide mulch covering suitable to germinate and establish t control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the dis uniform, quality turf. A minimum depth of 3" of blended, prepared and non-compacted topsoil is required for all lawn areas. If Marsh hay containing reed canary grass is not acceptable as a mulch covering.
- An acceptable quality turf is defined as having no more than 10% of the total area with bare spots larger than 1 square foot ar
- 15. Seed mix for lawn areas use only a premium quality seed mix installed at recommended rates. Premium blend seed mix exar at 5 lbs per 1,000 SF. Provide seed specifications to general contractor prior to installation.
- 16. The landscape contractor shall provide a design / build irrigation construction plan to the owner and municipality (if required) the The Irrigation designer shall be certified by The Irrigation Association as a Commercial Irrigation Designer and have at least 5 shall be metered to meet the requirements of the State and local codes; be fully automatic utilizing a weather based controlle on hardscapes, buildings and other structures; coverage of all plant / turf areas with head to head watering and be operational rotary heads and all shrub / perennial beds shall be irrigated with a drip system. Contractor may use the following approved r Landscape contractor shall provide a complete set of "As-Built" plans of the installed irrigation system to the owner.
- 17. Warranty and replacements: Trees, evergreens, and shrubs to be guaranteed (100% replacement) for a minimum of one (1) grasses to be guaranteed for a minimum of one growing season from the date of substantial project completion. Perennials, May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses
- 18. The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting, through includes all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, meadow grass and wildflower areas. Work clippings, pruning and deadheading.
- 19. Project completion: upon substantial completion of the project, the landscape contractor is responsible to conduct a final review all specifications have been met. The landscape contractor is to provide watering and general ongoing maintenance instructio



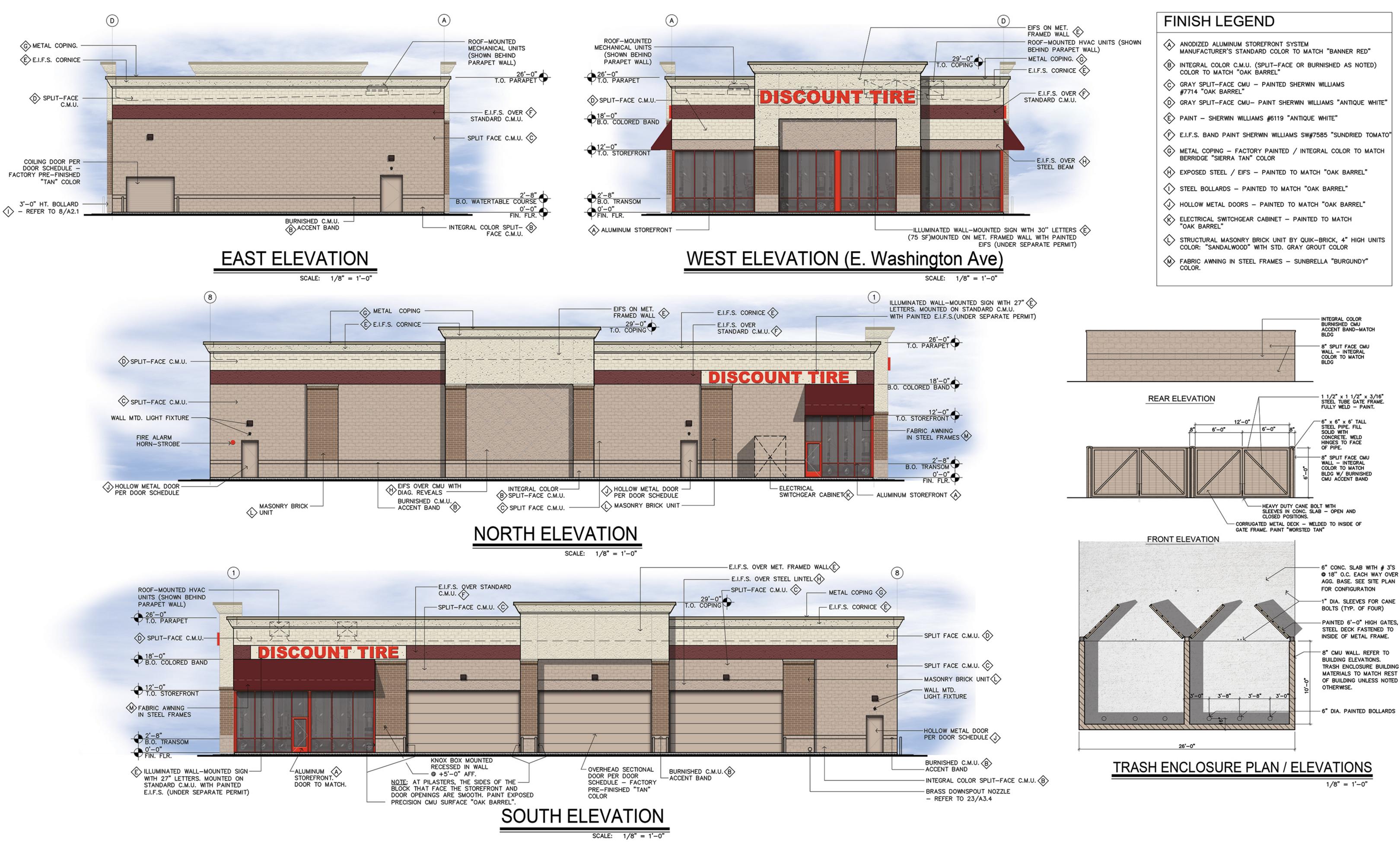
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# vike racks according to manufacturer's specifications. VT to select color(finish), see manufacturer's specifications. Plan for location or consult owner.

**BIKE RACK DETAIL** 

NOT TO SCALE

It contractor.         encorrector.         export to installation. All plants must be installed as per sizes shown on plant material schedule,         right islands and planting bods to be backfilled with topsoil to a minimum depth of 18° and crown all sure long term plant health.         regord and mon-compacted topsoil is required for all seeded areas. Finished landscaped areas to the isotant of hele once the tree has been placed into the hole and will no longer topsoil at the time and exprise of the hindbace contractor.         readed to achieve proper grade and replace undesizeble soil (see planting detail). Remove all uphy and water left to soak in before proceeding.         nucleh). All parternial planting areas to receive a 2° layer and grading lawn areas to finish reference and the grade models areas. For larger and grading lawn areas to finish reference areas and planting details. Remove all uphy and water left to soak in before proceeding.         a lapseil and seed bed by removing all surface shores 1° or larger and grading lawn areas to finish reference and the termsonia bio second or a partiel or to installation. Robolil the following materials, at the ratio given, into the installation. Robolil the following materials, at the ratio given, into the installation. Robolil the following materials, at the right or submit and uphy and water termsonia biorespines of similar second second second second second wind damage.         at domainstar grasses and the vectoring, a tackfirm may be necessary to arrow and grading lawn areas to finish reference and the second code requirements for roview and gradony and water the tright or substanted in the report and the reference and the grade of the topsoil and theange and theange and theange another covering at and grading lawn				
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main and the processing planting parents to records a 2 <sup>r</sup> layer and ground cover areas a 1-2 <sup>r</sup> layer of rain the data and efficient parents in tension layers and planting is and raises to find the the oppoint of the backgroup control raise at the records and the rec	e walls of tree pit prior to installation. Remove and discard non-biodegradable ball wrapping and ining wire down to the bottom of hole once the tree has been placed into the hole and will no longer ation and 20% plant starter mix blended prior to backfilling holes. Discard any gravel, heavy ly, and water left to soak in before proceeding. Provide a 3" deep, 4 ft. diameter shredded correctly will be replaced at the time and expense of the landscape contractor. Stake trees according	mound Road		fount Pleasant, WI
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In the paper of the bankback and real difference in the intermediation in the real bank in the intermediation is the intermediatin intermediation is the intermediation is the intermediation	n. A clean definition between lawn area and plant bed is required.	167 B200	(26 <b>ras</b>	Ceda 1, PA
In the paper of the bankback and real difference in the intermediation in the real bank in the intermediation is the intermediatin intermediation is the intermediation is the intermediation	ic soil amendments prior to installation. Rototill the following materials, at the ratio given, into the		0 Z	л, WI tsburgf
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the owner representative and beginning ingliand systems of similar size and acops. The Ingliand system of similar size shall be ingliand system of similar system system of similar system of similar system of similar system of		7		eld, WI
years' experience designing inguitor systems of similar site and scope. The Irngation system with individuality indinity individuali	nd uniform coverage throughout all turf areas mple (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied		CREA	Brookfi
year from the date of substantial project completion. Perennals, groundcovers, and ornamental grasses planted after Soptember 1st shall be guaranteed through or representative and the general contractor to answer questions and insure that the includes weeding, edging, mulching (only frequired), fertilizing, timming, sweeping up grass.       Image: South	hat complies with State and local code requirements for review and approval prior to construction. 5 years' experience designing irrigation systems of similar size and scope. The Irrigation system r with rain/moisture sensors; zoned to water the turf and shrubs separately with minimum over throw al from a domestic water source provided by the owner. Turf areas shall be irrigated with pop-up manufacturers Hunter, Rainbird or Toro. Provide first year winterization and following spring startup.			
Also includes weeding, edging, mulching (only if required), fertilizing, thimming, sweeping up grass w with the owner's representative and the general contractor to answer questions and insure that ns (in writing) for the new plantings and lawn to the owner and general contractor . W with the owner's representative and the general contractor to answer questions and insure that ns (in writing) for the new plantings and lawn to the owner and general contractor . W with the owner's representative and the general contractor . W and the owner's representative and the general contractor . W THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE.	year <u>from the date of substantial project completion</u> . Perennials, groundcovers, and ornamental groundcovers, and ornamental grasses planted after September 1st shall be guaranteed through or replacements due to failure to comply with specified requirements.	84		
FILE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS         SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY         BE OTHER UNDERGROUND UTILITY INSTALLATIONS AS         SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY         BE OTHER UNDERGROUND UTILITY INSTALLATIONS AS         SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY         BE OTHER UNDERGROUND UTILITY INSTALLATIONS AS         SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY         BE OTHER UNDERGROUND UTILITY INSTALLATIONS AS         SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY         BE OTHER UNDERGROUND UTILITY INSTALLATIONS AS         SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY         BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN         THE LOCATION SOF EXISTING UTILITY INSTALLATIONS WITHIN         THE ROJECT ADD LOCATION OF ALL UNDERGROUND UTILITIES.         RA. SMITH, INC. ASSUMES NO RESPONSIBILITY         FOR DAMAGES, ILBUILTY OR COSTS RESULTING FROM CHANGES         OR ALLERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED         WITTEN CONSENSION OF A THINK INCOME THE EXPRESSED	but construction and for a period of 60 days after the substantial completion of the installation. This also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass			
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Milwaukee Area (262) 432-7910 Hearing Impaired TDD (800) 542-2289 www.DiggersHotine.com THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES. R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF RA. SMITH, INC.		DISCOUNT TIRE		NOTES AND
Hearing Impaired TDD (800) 542-2289       R.A. Smith, Inc.         www.DiggersHotIne.com       DATE: 08/15/2018         SCALE: NOT TO SCALE       JOB NO. 3180166         THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.       JOB NO. 3180166         R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.       CHECKED BY: LJH				2018
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# **COLOR ELEVATIONS**

**3729 E. Washington Ave. MADISON, WI 53704** 

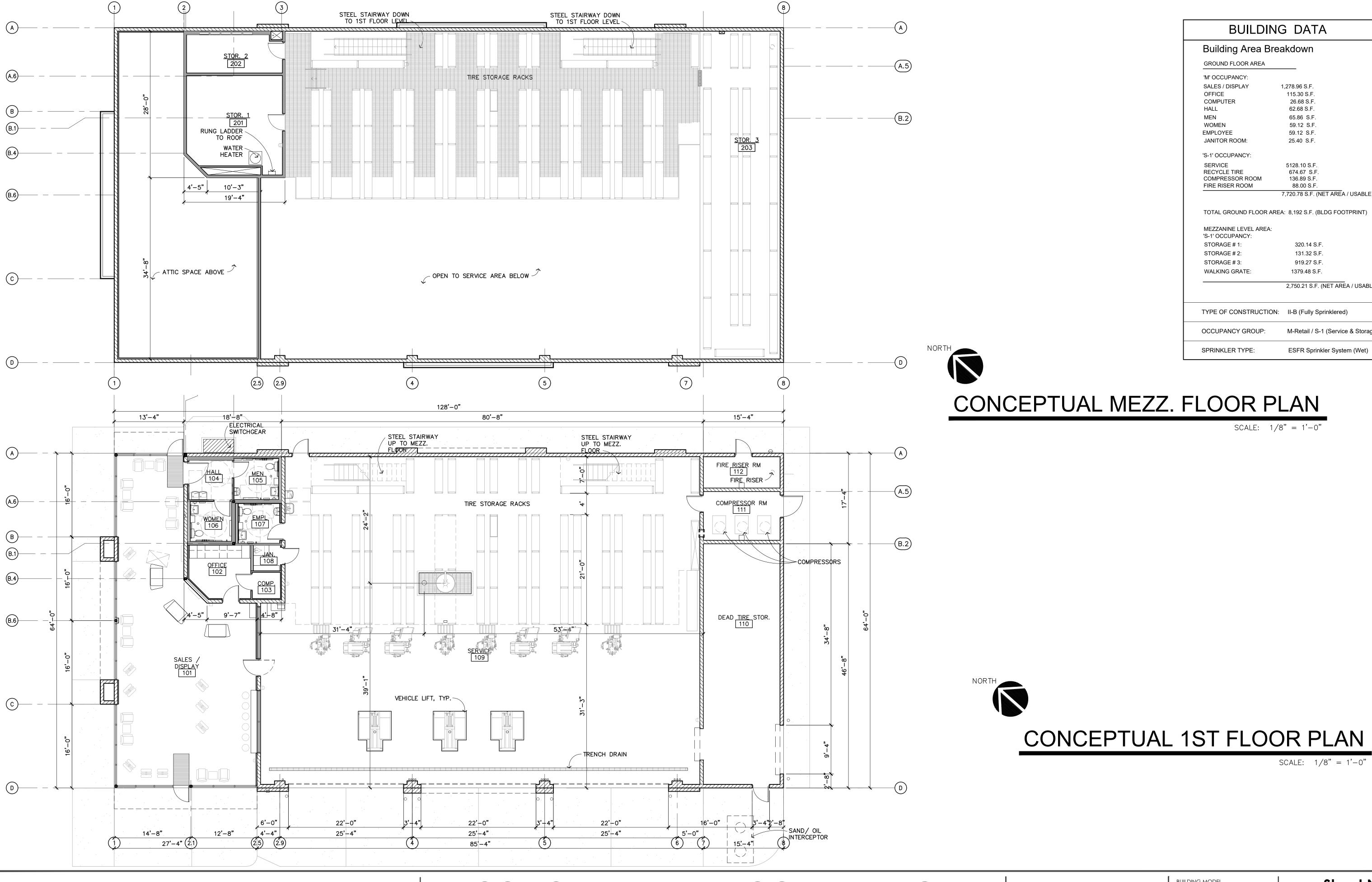


Ei Design Inc. 1260 Corona Pointe, Suite 301 Corona, CA 92879 951-444-5642 (T) eidesigninc.com

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# **CONCEPTUAL FLOOR PLANS**

**3729 E. Washington Ave. MADISON, WI 53704** 

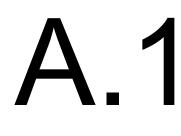
BUILDING DATA			
Building Area Breakdown			
GROUND FLOOR AREA			
'M' OCCUPANCY:			
SALES / DISPLAY	1,278.96 S.F.		
OFFICE	115.30 S.F.		
COMPUTER	26.68 S.F.		
HALL	62.68 S.F.		
MEN	65.86 S.F.		
WOMEN	59.12 S.F.		
EMPLOYEE	59.12 S.F.		
JANITOR ROOM:	25.40 S.F.		
'S-1' OCCUPANCY:			
SERVICE	5128.10 S.F.		
RECYCLE TIRE	674.67 S.F.		
COMPRESSOR ROOM	136.89 S.F.		
FIRE RISER ROOM	88.00 S.F. 7,720.78 S.F. (NET AREA / USABLE)		
TOTAL GROUND FLOOR ARE/ MEZZANINE LEVEL AREA: 'S-1' OCCUPANCY:	A: 8,192 S.F. (BLDG FOOTPRINT)		
STORAGE # 1:	320.14 S.F.		
STORAGE # 2:	131.32 S.F.		
STORAGE # 3:	919.27 S.F.		
WALKING GRATE:	1379.48 S.F.		
	2,750.21 S.F. (NET AREA / USABLE)		
TYPE OF CONSTRUCTION:	II-B (Fully Sprinklered)		
OCCUPANCY GROUP:	M-Retail / S-1 (Service & Storage)		
SPRINKLER TYPE:	ESFR Sprinkler System (Wet)		



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