

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____ CITY OF MADISON
Received by _____
Aldermanic District _____ JUL 18 2018
Zoning District _____ 1210
Urban Design District _____ Planning & Community
Submittal reviewed by _____ & Economic Development

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

AGENDA ITEM # _____
LEGISTAR # _____
ALD. DIST. _____

1. Project Information

Address: Waldorf Blvd (TBD)
Title: Midtown Reserve Apartments

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested Aug 8, 2018
☐ New development ☐ Alteration to an existing or previously-approved development
☒ Informational ☐ Initial approval ☐ Final approval

3. Project Type

☐ Project in an Urban Design District
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
☐ Planned Development (PD)
☐ General Development Plan (GDP)
☐ Specific Implementation Plan (SIP)
☒ Planned Multi-Use Site or Residential Building Complex

Signage
☐ Comprehensive Design Review (CDR)
☐ Signage Variance (i.e. modification of signage height, area, and setback)
Other
☐ Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Kirk Bindrowski Company Sketchworks Architecture LLC
Street address 7780 Elmwood Ave Ste 208 City/State/Zip Middleton, WI 53562
Telephone 608-836-7570 Email kbindrowski@sketchworksarch.com
Project contact person Same as above Company _____
Street address _____ City/State/Zip _____
Telephone _____ Email _____
Property owner (if not applicant) _____
Street address _____ City/State/Zip _____
Telephone _____ Email _____

5. Required Submittal Materials

- ☒ Application Form
- ☒ Letter of Intent
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ Development plans (Refer to checklist provided below for plan details)
- ☐ Filing fee
- ☐ Electronic Submittal*

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Chris Wells + Jenny Kirchgatter on 06/20/2018.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Kirk BiedrowskiRelationship to property Design ProfessionalAuthorized signature of Property OwnerOwnerDate 7.17.18

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex



July 18, 2018

City of Madison
Urban Design Commission
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985

RE: UDC Informational meeting: Letter of Intent
Waldorf Blvd (Midtown Reserve Apartments)

Dear Commission members:

On behalf of Midtown Reserve Apartments, Sketchworks Architecture, LLC is submitting this letter of intent and application for an informational submittal of Concept Site and Building Plans at Waldorf Blvd. Are submittal is for informational review from the UDC for a new (3) story multi-family apartment building. The building will have 33 units with underground parking. The footprint of the building is 15,900 SF for underground parking and 11,200 SF for the apartment level floors.

On June 20th, 2018 we presented our concept to the planning/ zoning division for initial feedback on the project. Initial feedback on the project has been positive. On July 19th, 2018 we will present a further developed plan to the planning and city engineers through a DAT meeting.

The Alderperson Barbara McKinney was contacted on July 7th, 2018 and we are still waiting a response.

Proposal Summary: This new building is a (3) story multi-family apartment building with 33 units and underground parking.

Existing conditions:

The site is currently unoccupied. The site is currently going through the process of being divided into two separate properties. A new CSM will be issued. Site will be zoned PUD.

Legal Description:

New CSM in process.

Proposed use:

The proposed use is a ~50,000 SF multi-story building used for multi-family residential. This building will house up to ~45 patrons and employ 2 full time staff members. There will be a total of 33 covered parking stalls with 8 more surface stalls. There will be 33 covered bike stalls and another 4 surface bike stalls. The trash enclosure will be enclosed in the building. In addition, there is an open patio space on the first floor to allow for outdoor activities of the patrons.

**Design Attributes:**

The building was designed to meet or exceed the aesthetic requirements for a building in this neighborhood. It is a three-story building, that is ~45'-0" tall at the parapets. The parapets shall be designed to be tall enough to obstruct rooftop equipment. No additional screening is proposed at this time.

Materials shall be cultured stone, metal panel, and lap siding. Colors will be earth toned and compliment the surrounding neighborhood.

Preliminary Storm Water Management Summary:

The storm water management plan shall be designed to meet the City of Madison, Dane County, and the Wisconsin Department of Natural Resources (WDNR) storm water management standards. The proposed design includes the disturbance of approximately 37,000 square feet of building and site improvements (ie parking and sidewalks).

The proposed improvements for Midtown Reserve will infiltrate 90% of the stormwater on-site and will reduce the runoff rate of the 100-year storm event. A regional basin, located to the southwest of the proposed site, will reduce the 1, 2, and 10- year storm events as well as reduce suspended solids.

A 1,050 SF infiltration basin is proposed to infiltrate the proposed building's roof water and reduce the 100-year storm event runoff to existing conditions runoff. The stormwater from the infiltration basin will outlet to an inlet in Waldorf Blvd where it will be routed to the existing detention facility to the southwest of the proposed site. Sediment Control and Rate Runoff Control stormwater requirements are addressed through on-site filtration. Both oil & grease control and infiltration are addressed through on-site filtration.

Stormwater from the building roof will connect to the adjacent Waldorf Blvd street inlet. The parking lot and lawn areas will surface drain to the street storm sewer inlets

Fire Truck Access:

Fire truck access is from Waldorf Blvd and the adjacent private drive. (3) fire hydrants are located along these roads (1) at the corner of Waldorf Blvd and Mayo Dr and (1) each at the ends of the private drive where they meet Waldorf Blvd and Mayo Dr respectively. The building will be protected with NFPA-13 automatic sprinklers in the underground parking garage, and NFPA-13R in the (3) story residential floors.



In summary, the project will consist of the general criteria listed below:

Project Data:

Project Name:	Midtown Reserve Apartments
Address:	Waldorf Blvd (exact address TBD)
Land Value:	\$?
Project Cost (est.):	\$4 million
Lot size:	TBD (~1 acre)
Proposed Use:	Multi-family housing
Building Area:	50,000 GSF
Parking Required:	1 per unit, 8 additional surface
Parking Provided:	33 underground, 8 surface
ISR all phases:	55 % (90% allowed)
Number of Jobs:	2 full time
Public Subsidy:	None at this time

Zoning District:

The property is currently zoned PUD.

Project Schedule:

The project construction schedule will be as follows:

Common council Final Approval:	Oct 30 th , 2018
Plan Submittal:	Dec 1 st , 2018
Early start request:	Dec 1 st , 2018
Permit Submittal:	Dec 20 th , 2018
Start Construction (footings)	Dec 15 th , 2018

Project Team:

The key individuals and firms involved in this planning and design process include:

Building Owner:

Sherry Yu
P.O. Box 441
McFarland, WI 53558
Contact Megan Bisbee
(608) 438-3003

Architect:

Sketchworks Architecture, LLC
7780 Elmwood Ave Ste 208
Middleton, WI 53562
Contact: Kirk Biodrowski
(608) 836-7570



Civil Engineer:
JSD Professional Services, Inc
161 Horizon Dr Ste 101
Verona, WI 53593
Contact: Kevin Yeska
(608) 848-5060

General Contractor :
12 Gauge Construction. LLC
1223 W. Linden Rd #2
Ixonia WI 53036
Contact : Jim Worthington
(608) 468-4737

Please feel free to contact us with any questions you may have regarding this request.

Respectfully,

Kirk Biodrowski
Sketchworks Architecture, LLC

MIDTOWN RESERVE

WALDORF BLVD., MADISON, WI



PROJECT DATA

LOCATION: WALDORF BOULEVARD
LOT 2 CSM NO. 11859, VOL 72, P. 319
MADISON, WI

REGULATING MUNICIPALITIES:
CITY OF MADISON
DANE COUNTY
STATE OF WISCONSIN

BUILDING CODE:
CITY OF MADISON ZONING ORDINANCES
DANE COUNTY ZONING ORDINANCES
WISCONSIN ADMINISTRATIVE CODE
2015 INTERNATIONAL BUILDING CODE
ACCESSIBILITY ANSI A117.1 - 2013

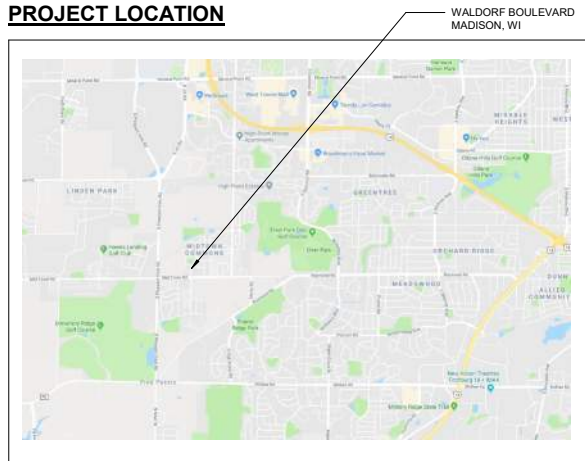
PROJECT DESCRIPTION:
MULTI-STORY DEVELOPMENT CONSISTING OF;
THREE (3) STORIES OF R-2 OCCUPANCY
ONE (1) LEVEL OF UNDER-BUILDING PARKING
FULLY SPRINKLERED NFPA -13R

BUILDING AREA:
1st FLOOR = 12,250 SF - 11 DWELLING UNITS
2nd FLOOR = 11,520 SF - 11 DWELLING UNITS
3rd FLOOR = 11,462 SF - 11 DWELLING UNITS
PARKING: 15,875 SF - 34 PARKING STALLS
RESIDENTIAL TOTAL AREA = 25,232 SF - 33 TOTAL UNITS
BUILDING TOTAL = 41,107 SF

GRADE PLANE:
2.7' BELOW FIRST FLOOR ELEVATION (1091.3')

BUILDING HEIGHT:
50'-9"

PROJECT LOCATION



BUILDING LOCATION



PROJECT CONTACTS:

OWNER:
SHERRY YU
ADDRESS
CITY, ST ZIP

CONTACT:
SHERRY YU
PHONE

ARCHITECT:
SKETCHWORKS ARCHITECTURE, LLC
7780 ELMWOOD AVE., STE 208
MIDDLETON, WI 53562

CONTACT:
BRAD KONING (ARCHITECT)
KIRK BIODROWSKI (DESIGNER)
608-836-7570

GENERAL CONTRACTOR:
12 GAUGE CONSTRUCTION, LLC
1223 W. LINDEN RD., #2
IXONIA, WI 53036

CONTACT:
JIM WORTHINGTON
262-468-4737

STRUCTURAL ENGINEER:
MP-SQUARED STRUCTURAL ENGINEERS, LLC
583 D'ONOFRIO DR., STE 201
MADISON, WI 53719

CONTACT:
MARK LINDLOFF
608-821-4774

CIVIL ENGINEER / LANDSCAPE:
JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DR., STE #101
VERONA, WI 53593

CONTACT:
KEVIN YESKA
608-848-5060

PRELIMINARY

MIDTOWN RESERVE
NEW MULTI-TENANT
WALDORF BLVD., MADISON, WI

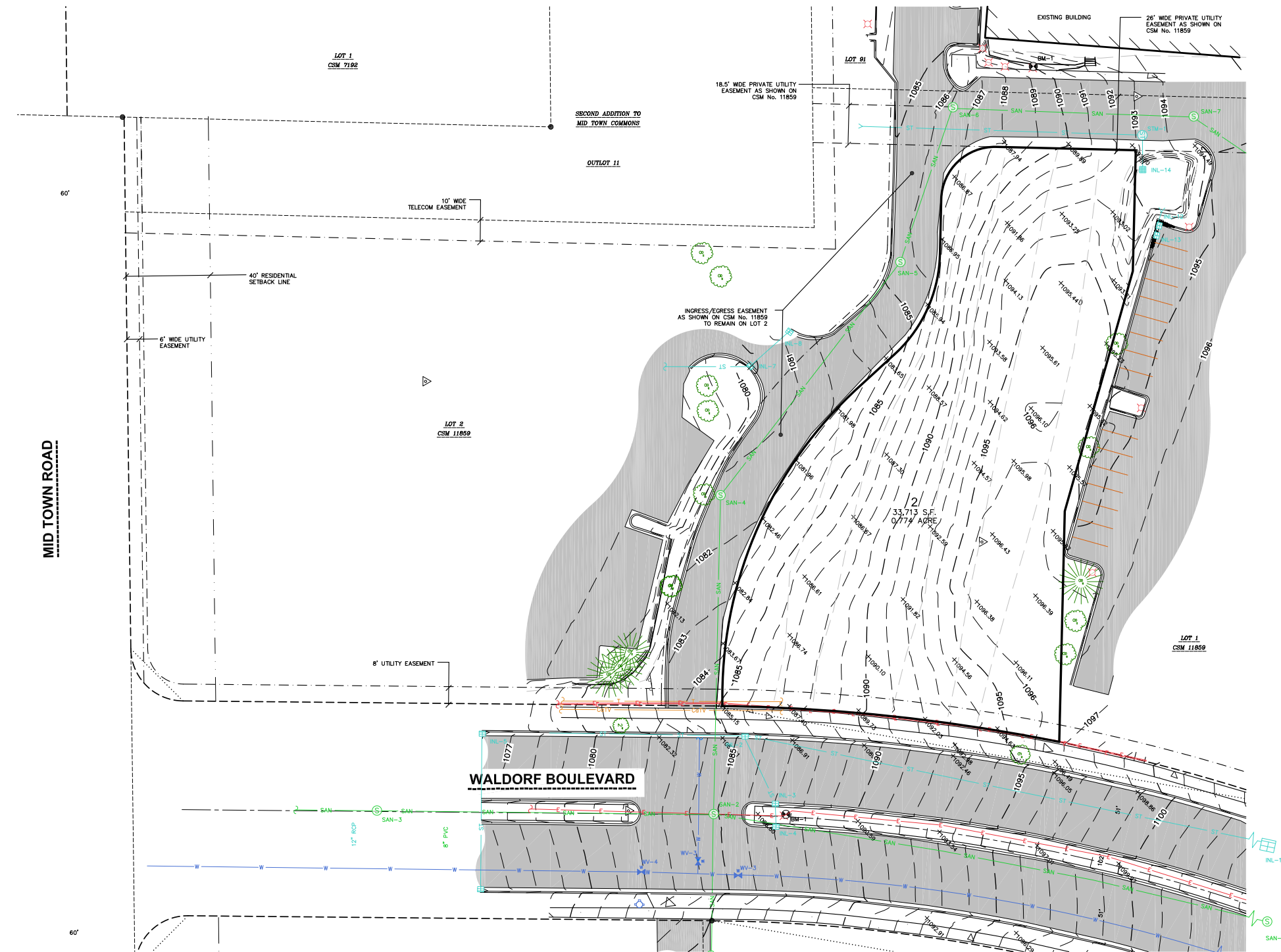
COVER SHEET

Project Status

1	2018/07/13	DAT SUBMITTAL
2	2018/07/18	UDC SUBMITTAL

UDC 0.1





STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	1103.88	S	1100.38	18"	RCP
		N	1100.38	18"	RCP
		E	1100.38	18"	RCP
INL-2	1085.02	S	1081.02	18"	RCP
		N	1081.07	18"	RCP
INL-3	1086.82	NE	1081.29	12"	RCP
		SE	1082.14	12"	RCP
INL-4	1086.77	E	1082.20	12"	RCP
		W	1082.33	12"	RCP
		E	1082.67	12"	RCP
INL-5	1075.68	S	1070.44	18"	RCP
		N	1070.58	18"	RCP
		E	1070.88	12"	RCP
INL-7	1079.64	S	1074.24	12"	CPP
		NW	1076.29	12"	CPP
INL-8	1081.14	SE	1077.44	12"	CPP
INL-14	1089.95	W	1085.01	12"	CPP

STORM SEWER MANHOLE					
MANHOLE ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	1093.32	S	1084.53	12"	CPP
		E	1084.53	12"	CPP

SANITARY SEWER MANHOLES						
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE	
SAN-1	1106.28	S	1093.53	8"	PVC	
		W	1093.53	—	—	
		N	1095.53	—	—	
SAN-2	1084.81	E	1093.62	—	—	
		S	1073.60	—	—	
		W	1073.74	—	—	
		N	1073.76	—	—	
		E	1073.76	—	—	
SAN-4	1081.26	E	1074.24	—	—	
		NW	1074.43	—	—	
SAN-5	1085.92	SE	1075.50	—	—	
		NW	1075.54	—	—	
SAN-6	1086.62	SE	1076.54	—	—	
		N	1076.70	—	—	
SAN-7	1094.59	S	1080.63	—	—	
		NE	1080.77	—	—	

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	1088.33	CHISELED SQUARE ON NORTHWEST CORNER OF LIGHT POLE BASE IN WALDORF BLVD MEDIAN
BM-2	1093.30	CHISELED SQUARE ON NORTHWEST CORNER OF LIGHT POLE BASE WEST OF SITE

*JSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP ARE ACCURATE AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

WATER VALVES					
VALVE No.	SIZE	RIM ELEVATION	INVERT	TOP NUT ELEVATION	PIPE INVERT
WV-1	8"	1104.58	TN	1098.88	1096.73
WV-2	8"	1085.37	TN	1080.77	1078.62
WV-3	8"	1084.03	TN	1078.73	1076.58
WV-4	8"	1081.87	TN	1076.37	1074.22

TN=TOP NUT OF WATER VALVE






































EXISTING CONDITIONS MAP

LOT 2 OF CERTIFIED SURVEY MAP No. 11895, RECORDED IN VOLUME 72, PAGES 319-324, AS DOCUMENT No. 4214790, ALSO LOCATED IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 07 NORTH, RANGE 08 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN




VICINITY MAP
SECTION 34, T7N, R8E,
CITY OF MADISON
SCALE 1"=500'

LEGEND

- | | | | |
|---|--------------------|---|--------------------------|
|  | 1¼" REBAR FOUND |  | PROPERTY LINE |
|  | ¾" REBAR FOUND |  | EASEMENT LINE |
|  | BENCHMARK |  | EDGE OF PAVEMENT |
|  | SIGN |  | CONCRETE CURB & GUTTER |
|  | SANITARY MANHOLE |  | SANITARY SEWER |
|  | HYDRANT |  | WATER LINE |
|  | WATER VALVE |  | STORM SEWER |
|  | STORM MANHOLE |  | UNDERGROUND TELEPHONE |
|  | ROUND CASTED INLET |  | UNDERGROUND CABLE |
|  | CURB INLET |  | BUILDING |
|  | LIGHT POLE |  | WALL LINE |
|  | DECIDUOUS TREE |  | INDEX CONTOUR |
|  | CONIFEROUS TREE |  | INTERMEDIATE CONTOUR |
|  | PLAT BOUNDARY |  | SPOT ELEVATION |
|  | CHORD LINE |  | CONCRETE PAVEMENT |
|  | CENTERLINE |  | CONCRETE PAVEMENT |
|  | RIGHT-OF-WAY LINE |  | BUILDING |
|  | SETBACK LINE |  | END OF FLAGGED UTILITIES |
|  | SECTION LINE | | |

NOTES

1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 12-13, 2018.
2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY, THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 07 NORTH, RANGE 08 EAST, BEARS S89°16'05"W (RECORDED AS S 89°16'08" W).
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MONUMENT MARKING THE SOUTHEAST CORNER OF SECTION 34, T7N, R8E, ELEVATION = 1120.69'
4. CONTOUR INTERVAL IS ONE FOOT.
5. SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. - DIGGER'S HOTLINE TICKET No's. 2018231512S, 20182315081, 20182315061, 20182315039 WITH A CLEAR DATE OF JUNE 11, 2018.
7. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
CITY OF MADISON
MGE (ELECTRIC AND GAS)
FRONTIER COMMUNICATIONS
ALLIANT ENERGY (ELECTRIC AND GAS)
CHARTER COMMUNICATIONS
TDS TELECOM - VERONA
8. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
9. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.



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KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

**SKETCHWORKS
ARCHITECTURE, LLC.**

CLIENT ADDRESS:

7780 ELMWOOD AVE, STE 208
MIDDLETON, WI 53562



Toll Free (800) 242-8511

PROJECT:

WALDORF APARTMENTS

PROJECT LOCATION:

**CITY OF MADISON
DANE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1		
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Design/Drawn:

Approved: TJB

SHEET TITLE:

EXISTING CONDITIONS SURVEY

SHEET NUMBER:

MAP NO: C-*

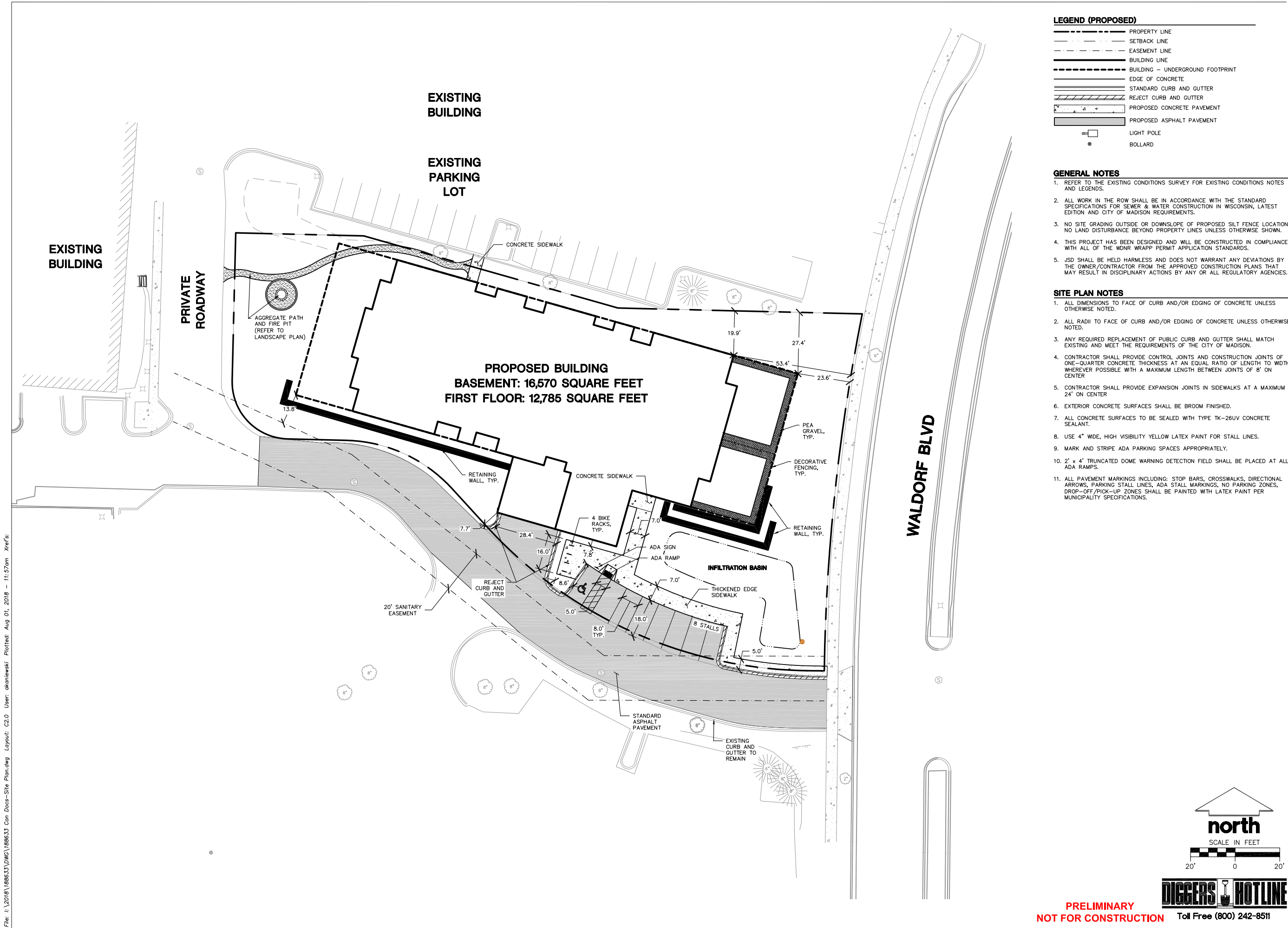
1 OF 1

JSD PROJECT NO:

JK
TJB

18-8633

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- LEGEND (PROPOSED)**
- PROPERTY LINE
 - SETBACK LINE
 - EASEMENT LINE
 - BUILDING LINE
 - BUILDING - UNDERGROUND FOOTPRINT
 - EDGE OF CONCRETE
 - STANDARD CURB AND GUTTER
 - REJECT CURB AND GUTTER
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED ASPHALT PAVEMENT
 - LIGHT POLE
 - BOLLARD

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR WRAPP PERMIT APPLICATION STANDARDS.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

- SITE PLAN NOTES**
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
 - ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF MADISON.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER MUNICIPALITY SPECIFICATIONS.



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MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060



CLIENT ADDRESS:
**7780 ELMWOOD AVE, SUITE 208
MIDDLETON, WI 53562**

PROJECT:
**MIDTOWN RESERVE
APARTMENTS**

PROJECT LOCATION:
**CITY OF MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	07.18.18	UDC INFORMATIONAL SUBMITTAL
2	08.01.18	PRICING SET
3		
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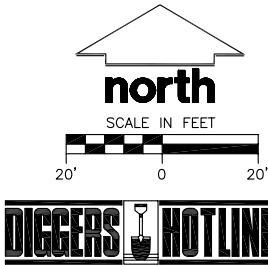
Design/Drawn:
Approved:

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C2.0

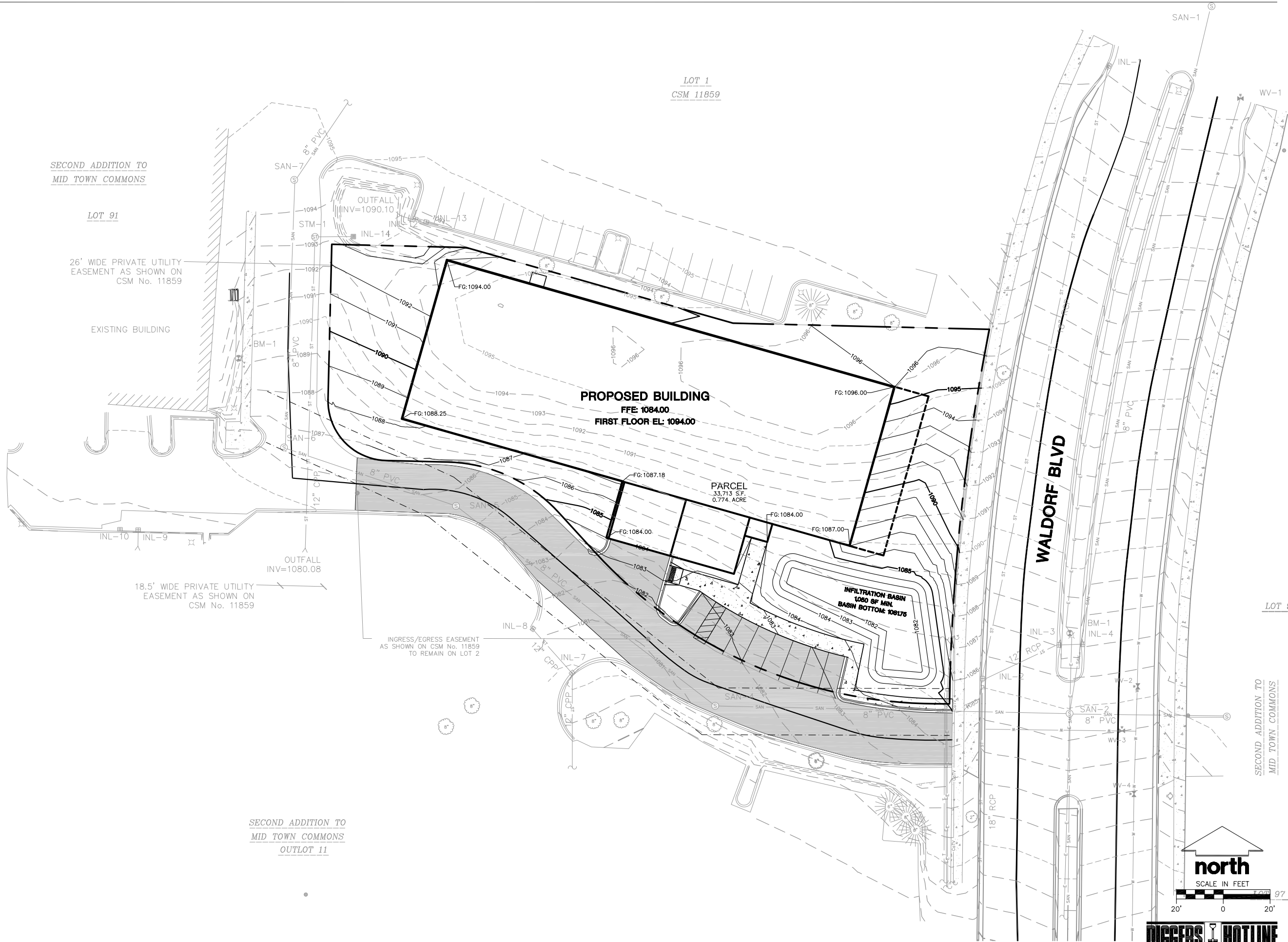
JSD PROJECT NO: 18-9633

**PRELIMINARY
NOT FOR CONSTRUCTION** Toll Free (800) 242-8511



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

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PRELIMINARY
NOT FOR CONSTRUCTION Toll Free (800) 242-8511



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MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:



CLIENT ADDRESS:
7780 ELMWOOD AVE, SUITE 208
MIDDLETON, WI 53562

PROJECT:
MIDTOWN RESERVE
APARTMENTS

PROJECT LOCATION:
MADISON, WI
DANE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	07.18.18	UDC SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn:

Approved:

SHEET TITLE:

GRADING EXHIBIT

SHEET NUMBER:

C3.0

JSD PROJECT NO:

18-9633

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WALDORF BOULEVARD AT PRIVATE ROAD - LOOKING NORTH WEST



WALDORF BOULEVARD AT PRIVATE ROAD - LOOKING NORTH EAST



MIDTOWN ROAD AND WALDORF BOULEVARD - LOOKING NORTH EAST

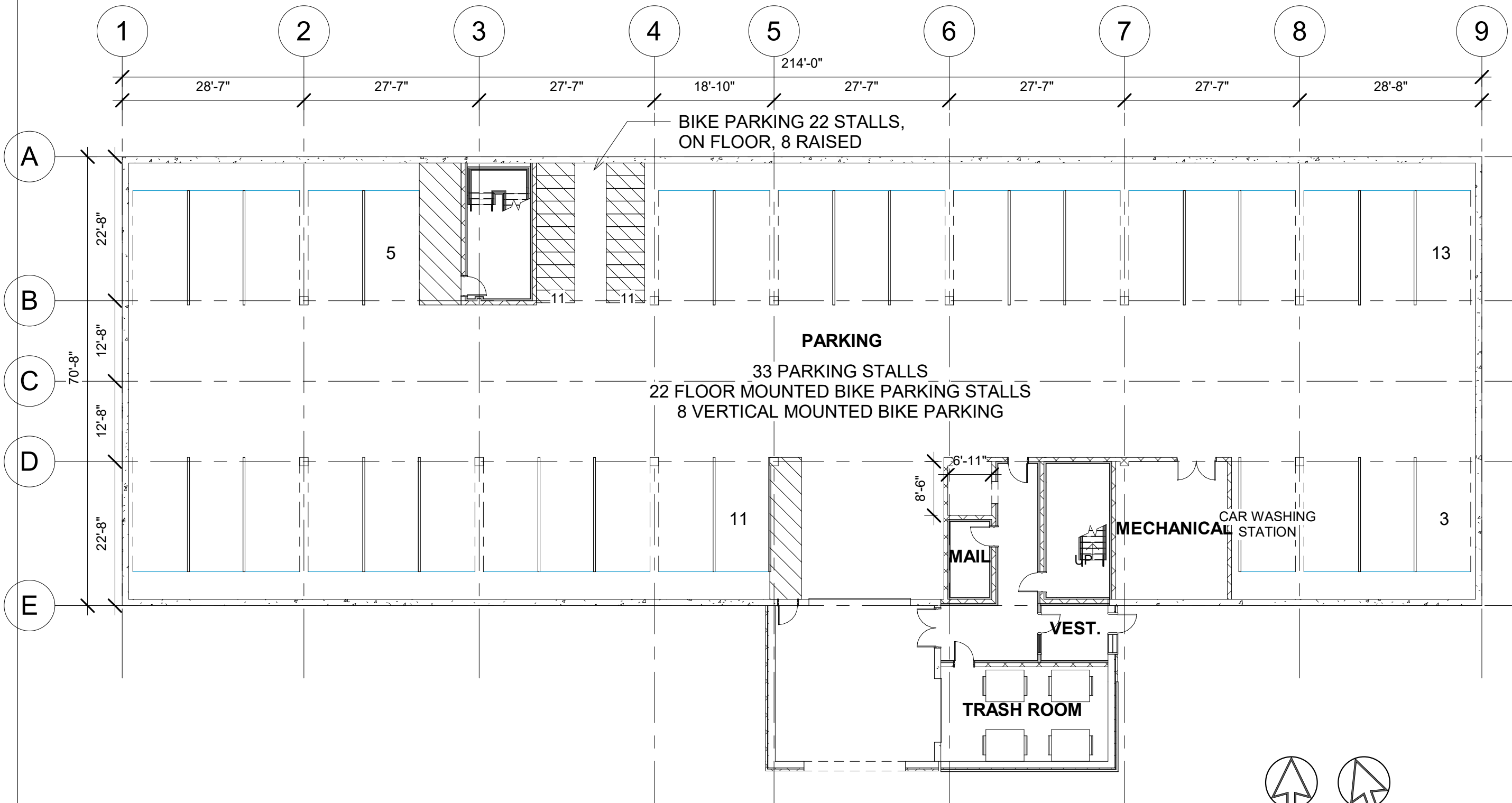
MIDTOWN RESERVE
NEW MULTI-TENANT
WALDORF BLVD., MADISON, WI

SITE CONTEXT

**08/01/2018
UDC UPDATE**

UDC 0.2

PRELIMINARY



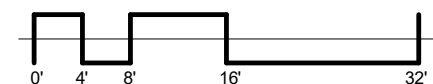
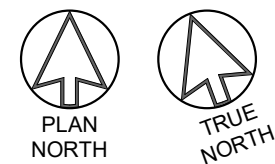
MIDTOWN RESERVE
NEW MULTI-TENANT
WALDORF BLVD., MADISON, WI

**PARKING FLOOR
PLAN**

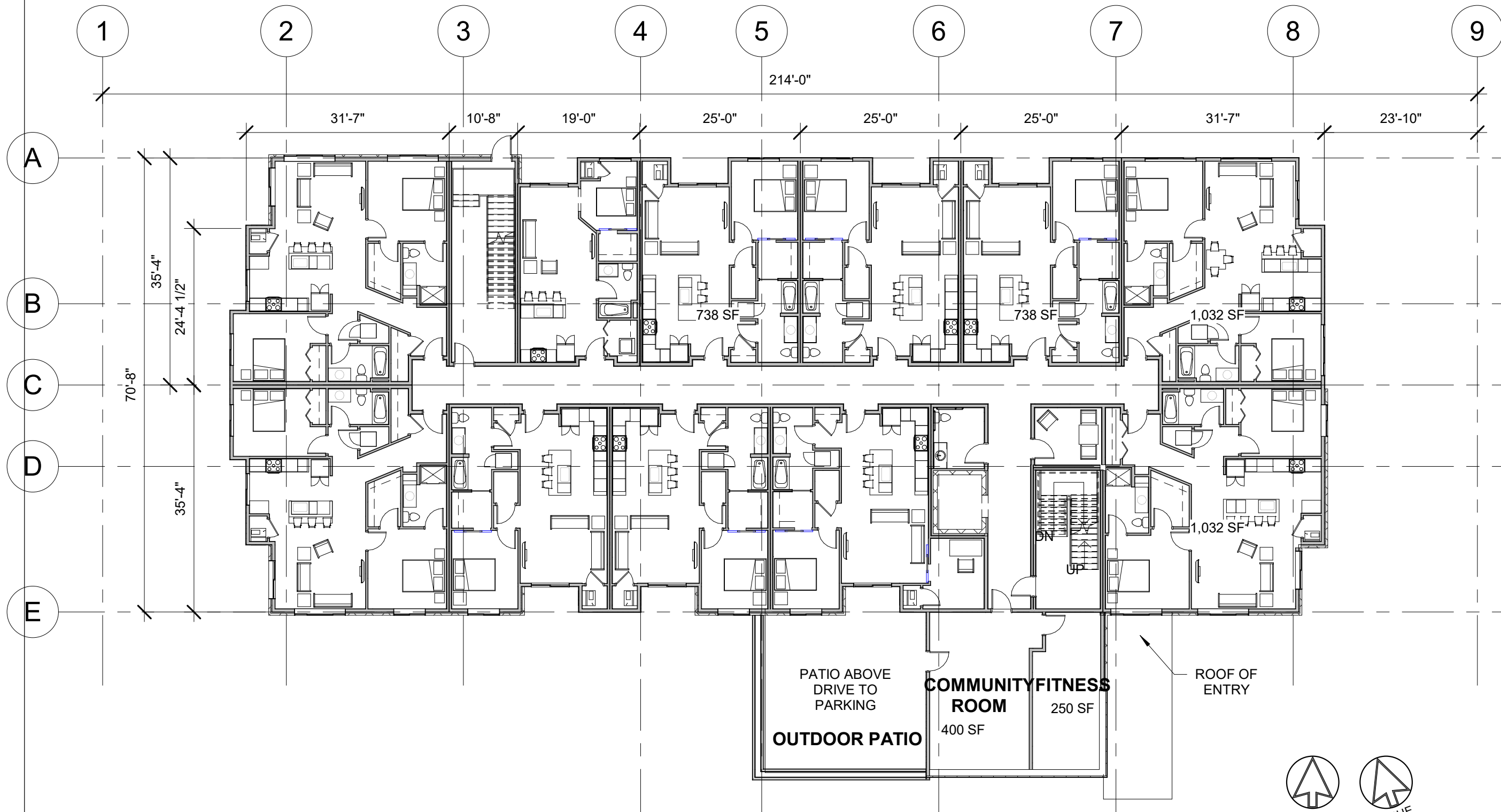
08/01/2018
UDC UPDATE

UDC 2.0

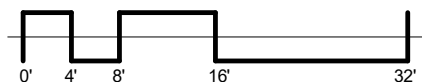
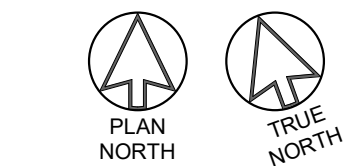
① L.L. PARKING PLAN - ENLG : 15,875 SF
1/16" = 1'-0"



PRELIMINARY



1 FIRST FLOOR PLAN - ENLG : 12,250 SF
1/16" = 1'-0"



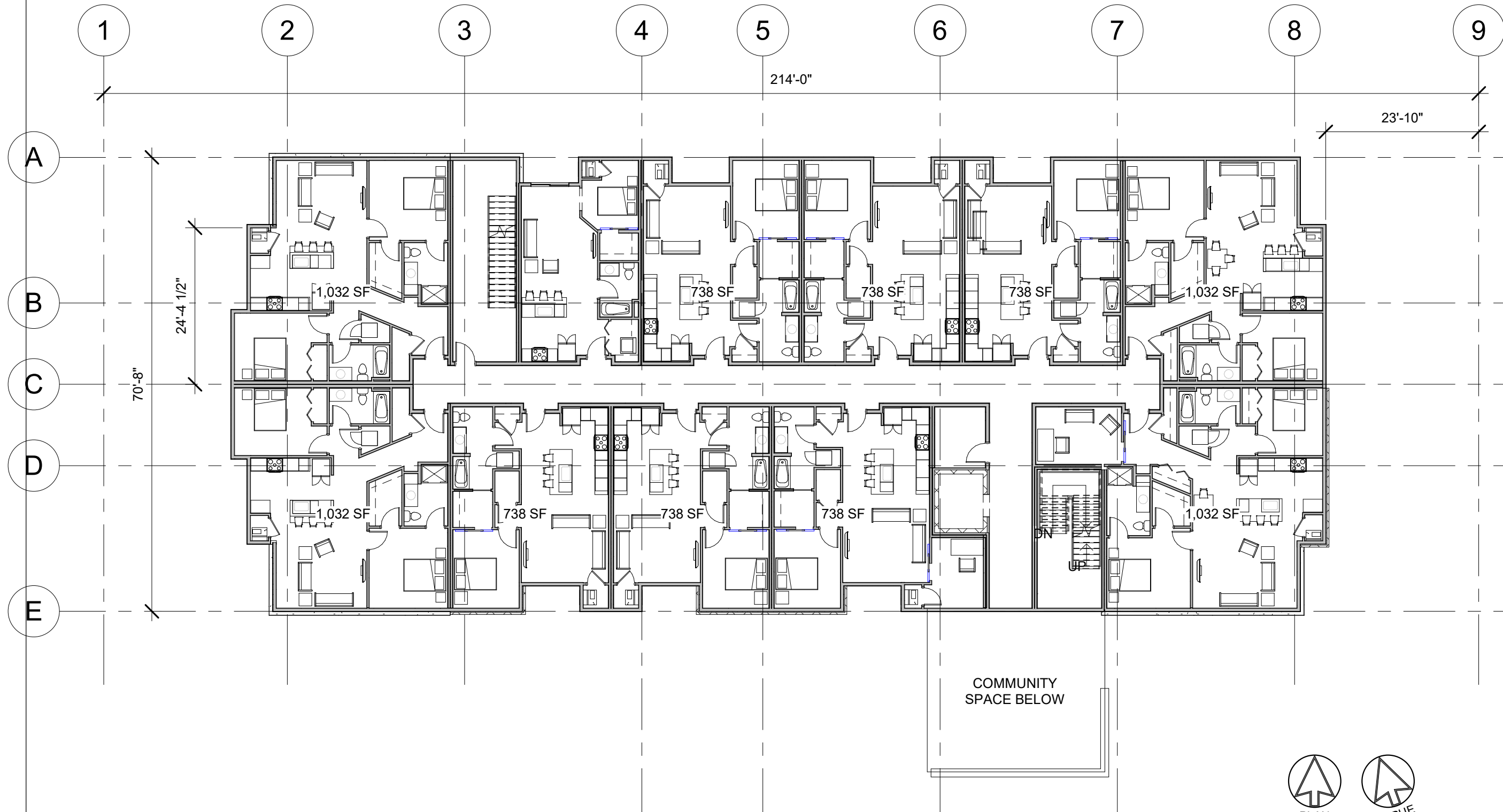
PRELIMINARY

MIDTOWN RESERVE
NEW MULTI-TENANT
WALDORF BLVD., MADISON, WI

**FIRST FLOOR
PLAN**

08/01/2018
UDC UPDATE

UDC 2.1



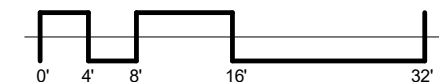
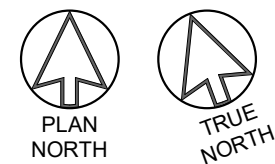
MIDTOWN RESERVE
NEW MULTI-TENANT
WALDORF BLVD., MADISON, WI

**SECOND FLOOR
PLAN**

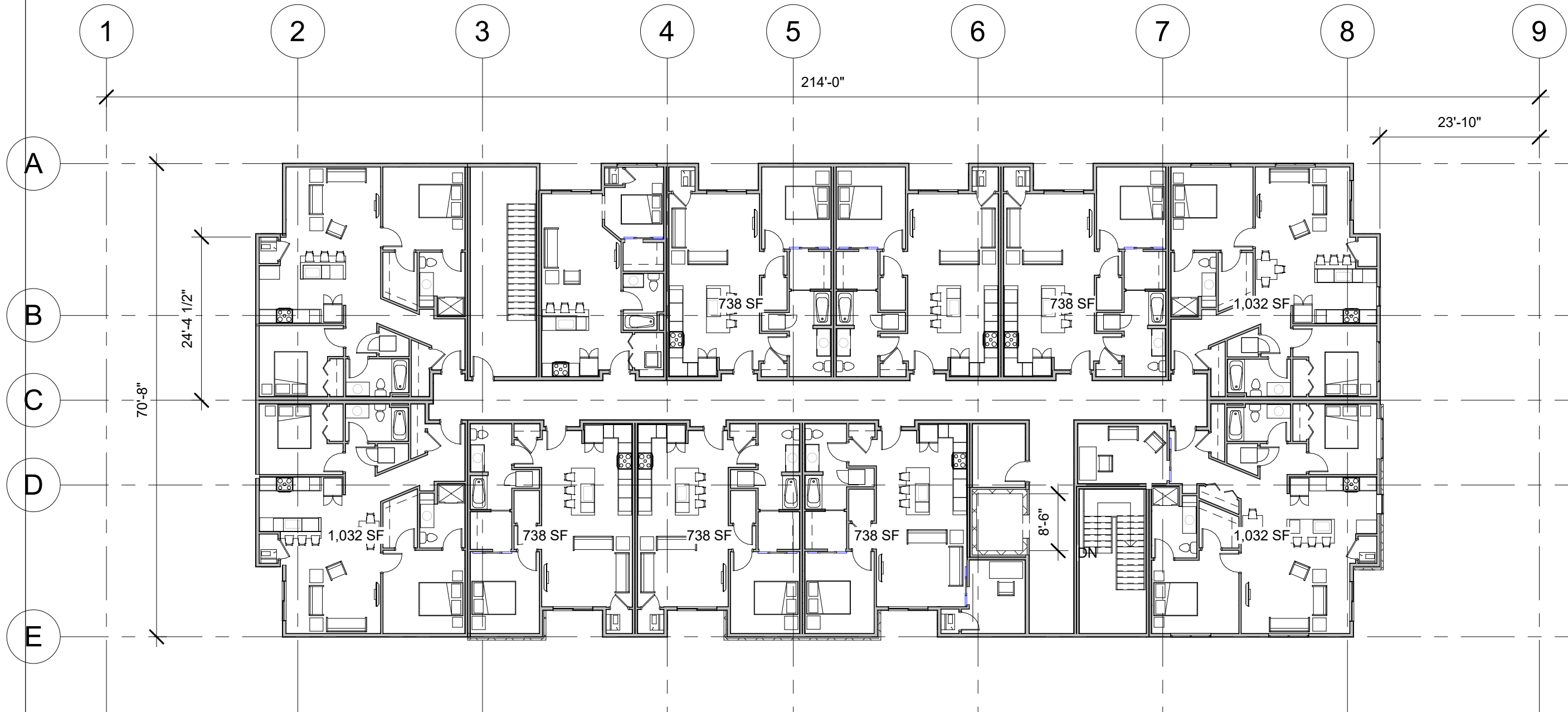
08/01/2018
UDC UPDATE

UDC 2.2

1 SECOND FLOOR PLAN SEG
1/16" = 1'-0"



PRELIMINARY



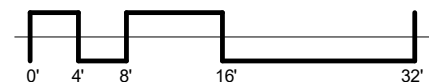
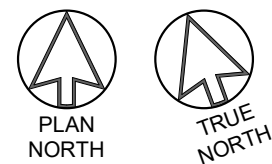
MIDTOWN RESERVE
NEW MULTI-TENANT
WALDORF BLVD., MADISON, WI

**THIRD FLOOR
PLAN**

08/01/2018
UDC UPDATE

UDC 2.3

1 THIRD FLOOR PLAN 1/16" = 1'-0"



PRELIMINARY



BUILDING EAST ELEVATION



BUILDING WEST ELEVATION

EXTERIOR MATERIAL KEY:



HARDIE BOARD LAP SIDING - KHAKI



HARDIE BOARD LAP SIDING - TIMBER BARK



FOND DU LAC STONE HAMILTON COLLECTION



WEATHER SHIELD WINDOWS - ADOBE

Adobe

Materials are design basis of intent

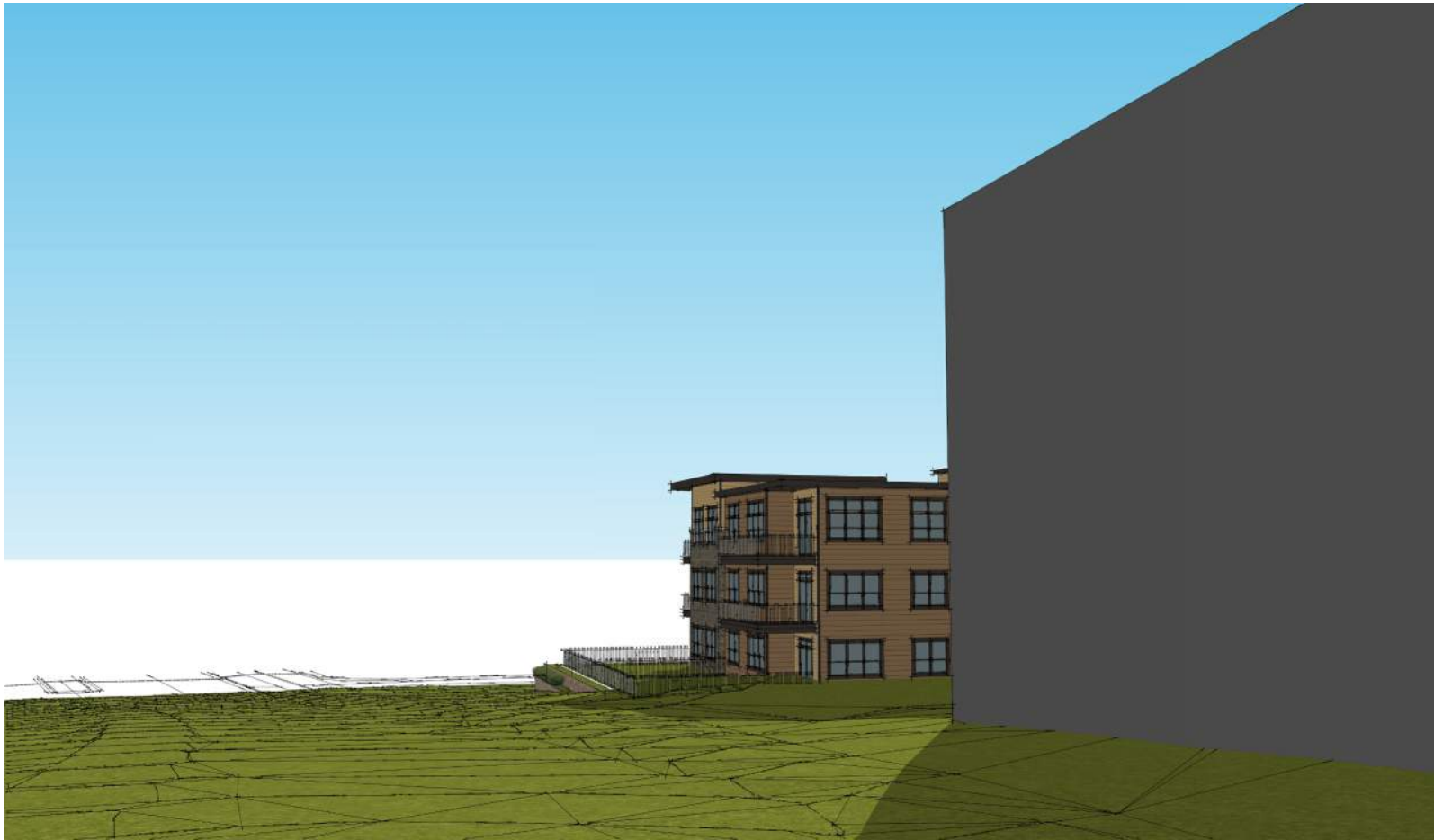
MIDTOWN RESERVE
NEW MULTI-TENANT
WALDORF BLVD., MADISON, WI

**EXTERIOR
PERSPECTIVES**

08/01/2018
UDC UPDATE

UDC 3.1

PRELIMINARY



WALDORF BLVD TOWARD MID TOWN RD



BUILDING ENTRY

EXTERIOR MATERIAL KEY:



HARDIE BOARD LAP SIDING - KHAKI



HARDIE BOARD LAP SIDING - TIMBER BARK



FOND DU LAC STONE HAMILTON COLLECTION



WEATHER SHIELD WINDOWS - ADOBE

Adobe

Materials are design basis of intent

MIDTOWN RESERVE
NEW MULTI-TENANT
WALDORF BLVD., MADISON, WI

EXTERIOR
PERSPECTIVES

08/01/2018
UDC UPDATE

UDC 3.2

PRELIMINARY