Olbrich Botanical Gardens Expansion Phase 1 BPW Project #8162 3330 Atwood Avenue Madison, WI 53704



MSR 710 South 2nd Street, 8th Floor Minneapolis, Minnesota 55401-228 Minneapolis, Minnesota 55401–2282

Architecture 612 375 0336 tel Interiors and 612 342 2216 fax Urban Design www.msrdesign.com Vierbicher Associates, Inc. 999 Fourier Drive, Suite 201 Madison, WI 53717

tel 608.826.0532 Civil Engineer

Ken Saiki Design, Inc. 303 South Paterson Street, Suite 1 Madison, WI 53703

tel 608.251.3600 Landscape Architect IMEG Corp. 1800 Deming Way, Suite 200 Middleton, WI 53562

tel 608.223.9600 Structural Engineer, Technology and A/V MEP Engineer

MEP Associates, LLC 860 Blue Gentian Road, Suite 175 Eagan, MN 55121

tel 651.379.9120

Summit Fire Consulting 575 Minnehaha Ave West St. Paul, MN 55103

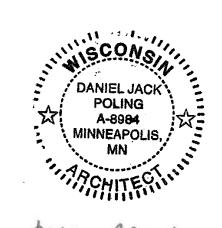
tel 651.251.1880 Fire Protection Engineer and Code Consultant

Rough Brothers, Inc. 5513 Vine Street Cincinnati, OH 45217

tel 513.242.0310 Greenhouse Design

90% CONSTRUCTION DOCUMENTS

PLACEHOLDER FOR CITY ENGINEERING STAMP AND SIGNATURE

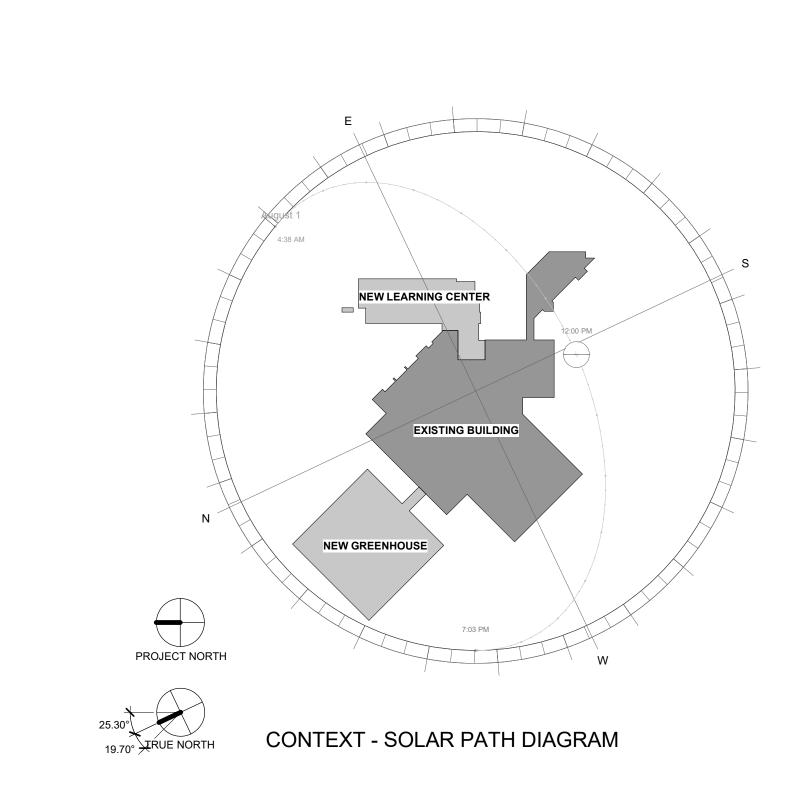


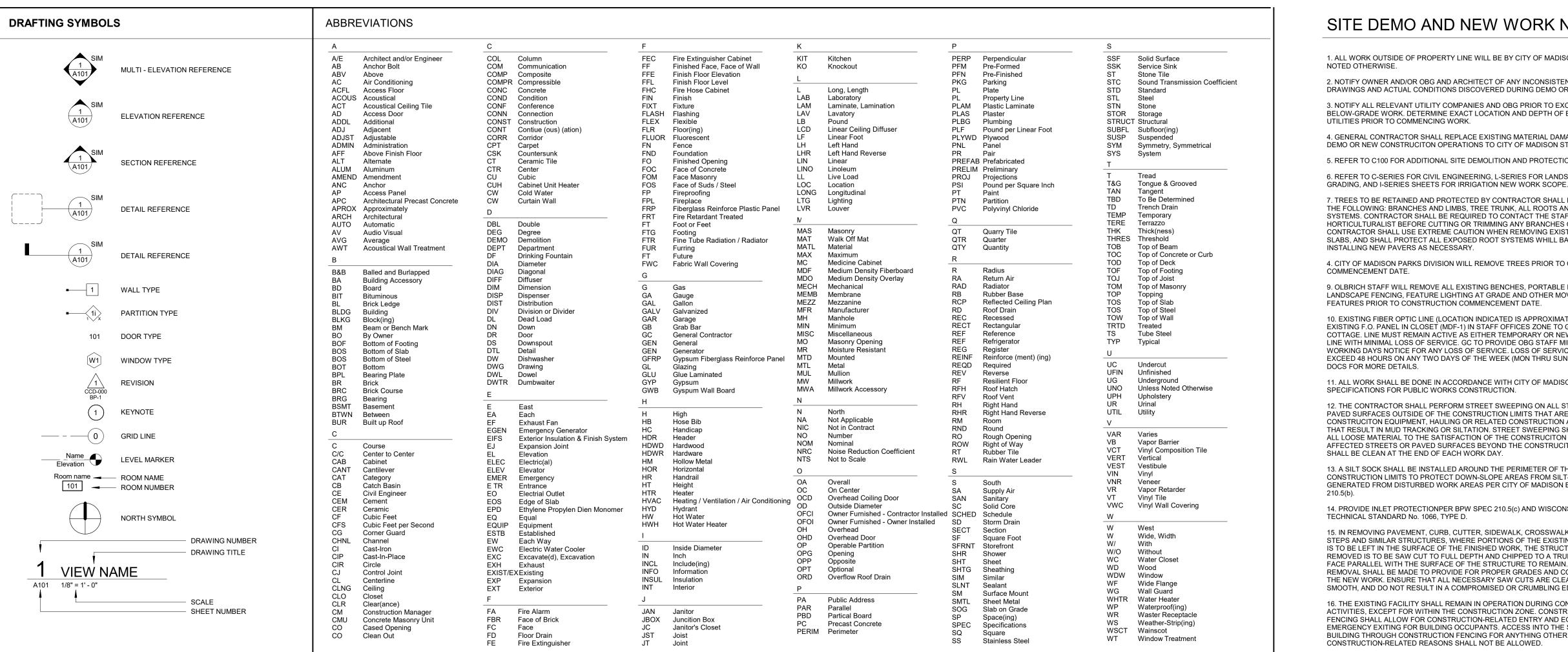
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PLACEHOLDER FOR ENGINEERS OF RECORD STAMPS AND SIGNATURES

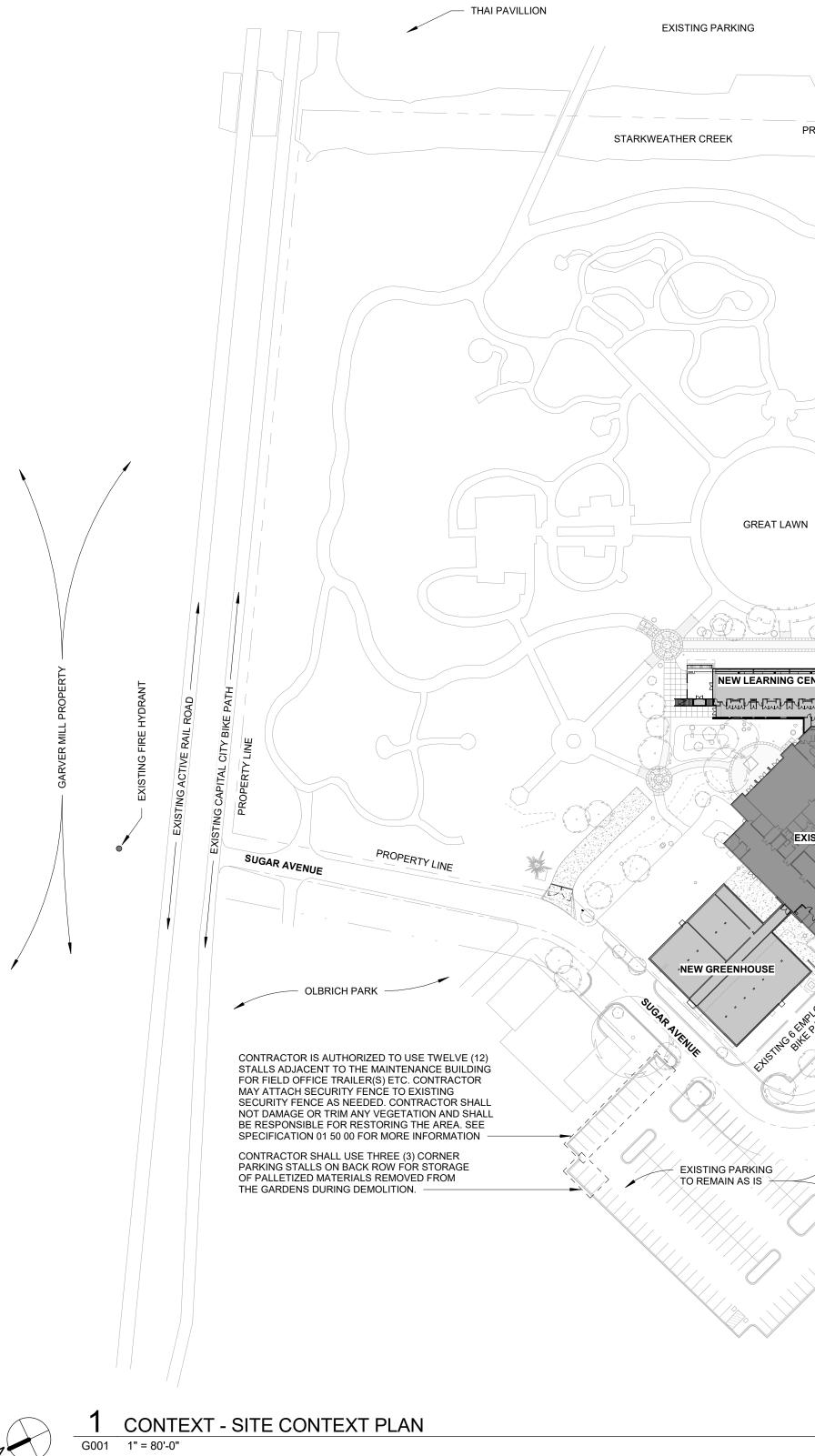








SITE DEMO AND NEW WORK NOTES





1. ALL WORK OUTSIDE OF PROPERTY LINE WILL BE BY CITY OF MADISON UNLESS

2. NOTIFY OWNER AND/OR OBG AND ARCHITECT OF ANY INCONSISTENCIES BETWEEN DRAWINGS AND ACTUAL CONDITIONS DISCOVERED DURING DEMO OR NEW WORK. 3. NOTIFY ALL RELEVANT UTILITY COMPANIES AND OBG PRIOR TO EXCAVATION OR BELOW-GRADE WORK. DETERMINE EXACT LOCATION AND DEPTH OF BELOW-GRADE

4. GENERAL CONTRACTOR SHALL REPLACE EXISTING MATERIAL DAMAGED DURING DEMO OR NEW CONSTRUCITON OPERATIONS TO CITY OF MADISON STANDARDS. 5. REFER TO C100 FOR ADDITIONAL SITE DEMOLITION AND PROTECTION SCOPE. 6. REFER TO C-SERIES FOR CIVIL ENGINEERING, L-SERIES FOR LANDSCAPE AND

7. TREES TO BE RETAINED AND PROTECTED BY CONTRACTOR SHALL INCLUDE ALL OF THE FOLLOWING: BRANCHES AND LIMBS, TREE TRUNK, ALL ROOTS AND ROOT SYSTEMS. CONTRACTOR SHALL BE REQUIRED TO CONTACT THE STAFF HORTICULTURALIST BEFORE CUTTING OR TRIMMING ANY BRANCHES OR ROOTS. CONTRACTOR SHALL USE EXTREME CAUTION WHEN REMOVING EXISTIN CONCRETE SLABS. AND SHALL PROTECT ALL EXPOSED ROOT SYSTEMS WHILL BACKFILLING AND

4. CITY OF MADISON PARKS DIVISION WILL REMOVE TREES PRIOR TO CONSTRUCTION 9. OLBRICH STAFF WILL REMOVE ALL EXISTING BENCHES, PORTABLE PLANTERS,

LANDSCAPE FENCING, FEATURE LIGHTING AT GRADE AND OTHER MOVEABLE FEATURES PRIOR TO CONSTRUCTION COMMENCEMENT DATE. 10. EXISTING FIBER OPTIC LINE (LOCATION INDICATED IS APPROXIMATE) CONNECTS EXISTING F.O. PANEL IN CLOSET (MDF-1) IN STAFF OFFICES ZONE TO GARVER

COTTAGE. LINE MUST REMAIN ACTIVE AS EITHER TEMPORARY OR NEW PERMANENT LINE WITH MINIMAL LOSS OF SERVICE. GC TO PROVIDE OBG STAFF MINIMUM 3 WORKING DAYS NOTICE FOR ANY LOSS OF SERVICE. LOSS OF SERVICE NOT TO EXCEED 48 HOURS ON ANY TWO DAYS OF THE WEEK (MON THRU SUN). SEE T-SERIES 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY OF MADISON STANDARD

12. THE CONTRACTOR SHALL PERFORM STREET SWEEPING ON ALL STREETS OR PAVED SURFACES OUTSIDE OF THE CONSTRUCTION LIMITS THAT ARE AFFECTED BY CONSTRUCITON EQUIPMENT, HAULING OR RELATED CONSTRUCTION ACTIVITIES THAT RESULT IN MUD TRACKING OR SILTATION. STREET SWEEPING SHALL REMOVE ALL LOOSE MATERIAL TO THE SATISFACTION OF THE CONSTRUCITON ENGINEER. ALL AFFECTED STREETS OR PAVED SURFACES BEYOND THE CONSTRUCITON LIMITS

13. A SILT SOCK SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION LIMITS TO PROTECT DOWN-SLOPE AREAS FROM SILT-LADEN RUNOFF GENERATED FROM DISTURBED WORK AREAS PER CITY OF MADISON BPW SPEC

14. PROVIDE INLET PROTECTIONPER BPW SPEC 210.5(c) AND WISCONSIN DNR 15. IN REMOVING PAVEMENT, CURB, CUTTER, SIDEWALK, CROSSWALKS, DRIVEWAYS, STEPS AND SIMILAR STRUCTURES, WHERE PORTIONS OF THE EXISTING STRUCTURE IS TO BE LEFT IN THE SURFACE OF THE FINISHED WORK, THE STRUCTURE TO BE REMOVED IS TO BE SAW CUT TO FULL DEPTH AND CHIPPED TO A TRUE LINE WITH A FACE PARALLEL WITH THE SURFACE OF THE STRUCTURE TO REMAIN. SUFFICIENT REMOVAL SHALL BE MADE TO PROVIDE FOR PROPER GRADES AND CONNECTIONS TO THE NEW WORK. ENSURE THAT ALL NECESSARY SAW CUTS ARE CLEAN ADN SMOOTH, AND DO NOT RESULT IN A COMPROMISED OR CRUMBLING EDGE.

16. THE EXISTING FACILITY SHALL REMAIN IN OPERATION DURING CONSTRUCTION ACTIVITIES, EXCEPT FOR WITHIN THE CONSTRUCTION ZONE. CONSTRUCTION FENCING SHALL ALLOW FOR CONSTRUCTION-RELATED ENTRY AND EGRESS AND FOR EMERGENCY EXITING FOR BUILDING OCCUPANTS. ACCESS INTO THE SITE OR BUILDING THROUGH CONSTRUCTION FENCING FOR ANYTHING OTHER THAN CONSTRUCTION-RELATED REASONS SHALL NOT BE ALLOWED. 17. ANY GC/SUBCONTRACTOR SITE OPERATIONAL AND LOGISTICS INFORMATION

SHOWN ON ANY SITE PLAN DRAWINGS IS TO BE VERIFIED FOR CONTENT AND SCOPE WITH CITY ENGINEERING AND OLBRICH STAFF PRIOR TO CONSTRUCTION OPERATIONS COMMENCING.

PROPERTY LINE

OLBRICH PARK BOAT LAUNCH 3401 ATWOOD AVE

AUTHORIZED AREA FOR TOP SOIL STORAGE.

CONTRACTOR SHALL BE RESPONSIBLE FOR

ENTRANCE, MAINTAINING SILT FENCE AND

PAVEMENT CLEANING UNTIL TOP SOIL HAS

SIZING, SILT FENCE, CONSTRUCTION

BEEN RETURNED TO PROJECT.

LOCATION FOR BI-WEEKLY PROGRESS MEETINGS. SEE SPECIFICATION 01 50 00 FOR MORE INFORMATION

LAKELAND AVE: LOCATION FOR CONTRACTOR PERSONAL VEHICLE AND NON-ESSENTIAL COMPANY VEHICLE PARKING. SEE SPECIFICATION 01 50 00 FOR MORE INFORMATION

EXISTING FIRE HYDRANT

EXISTING FIRE HYDRANT

- EXISTING B-CYCLE STATION

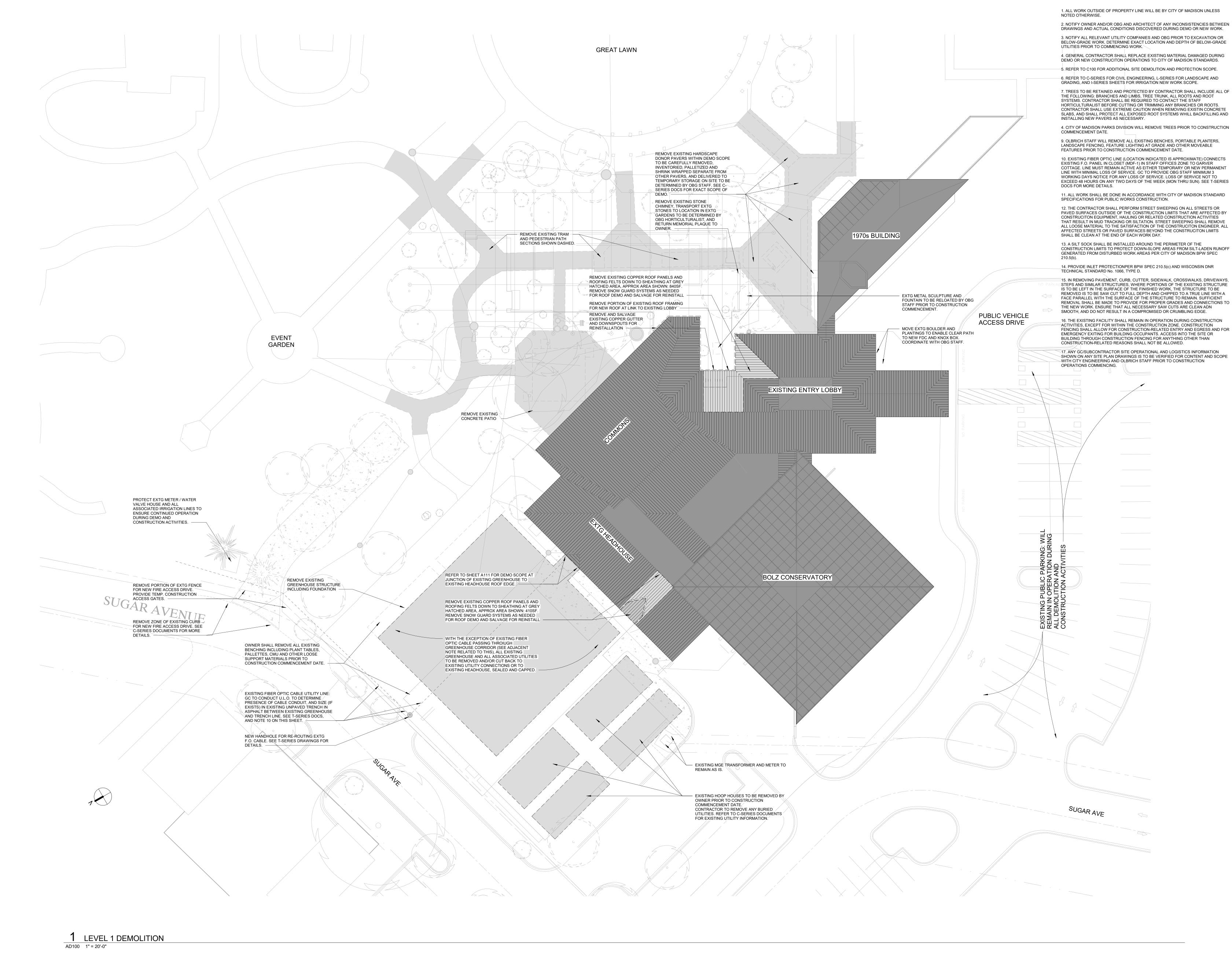
EXISTING 12 VISITOR EW LEARNING CENTER BIKE PARKING 35' - 0"\ EXISTING BUILDING EXISTING PARKING

EXISTING FIRE HYDRANT

SUGAR AVENUE

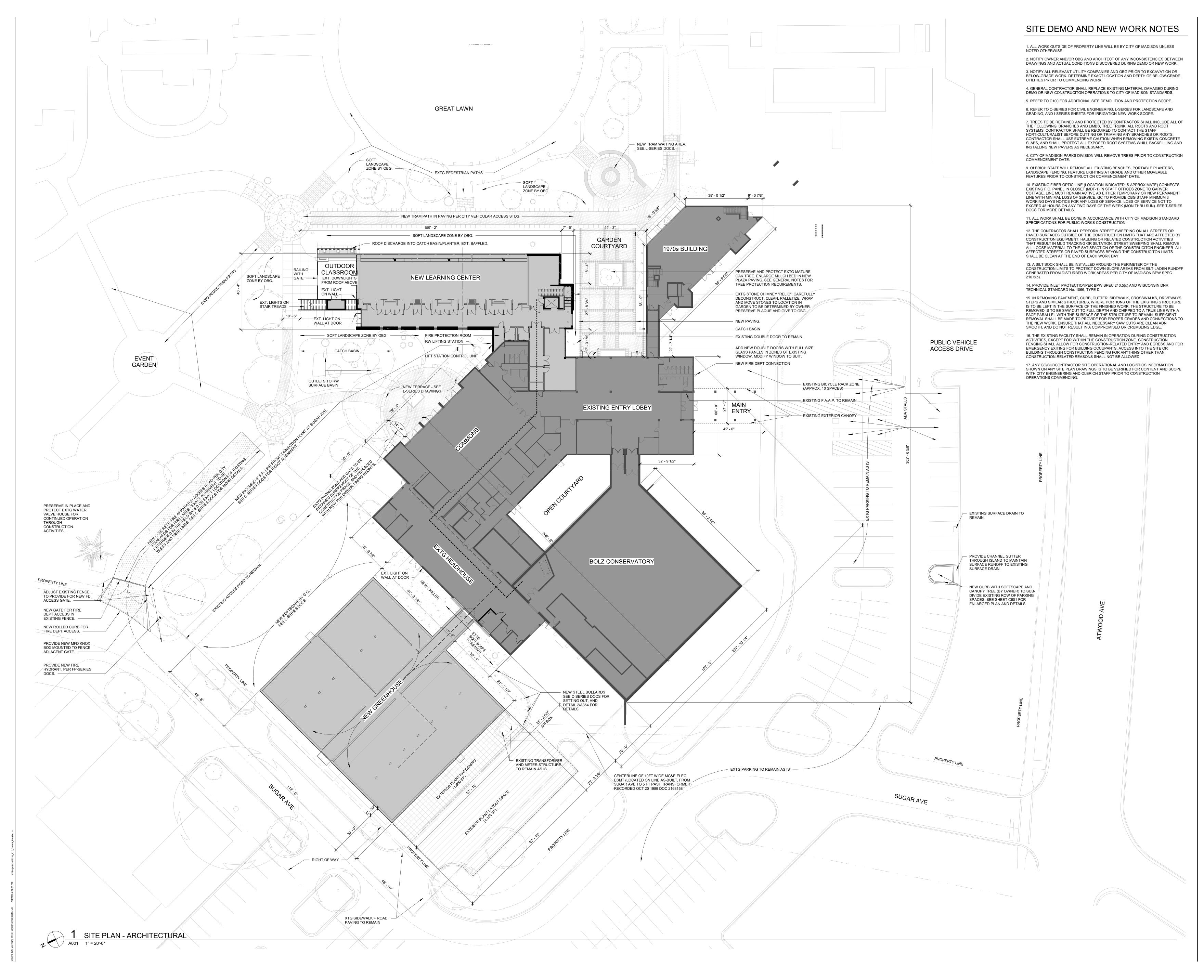
ALL CONSTRUCTION TRAFFIC SHALL REMAIN IN SUGAR AVE RIGHT OF WAY. SEE SPECIFICATION 01 50 00 FOR MORE INFORMATION



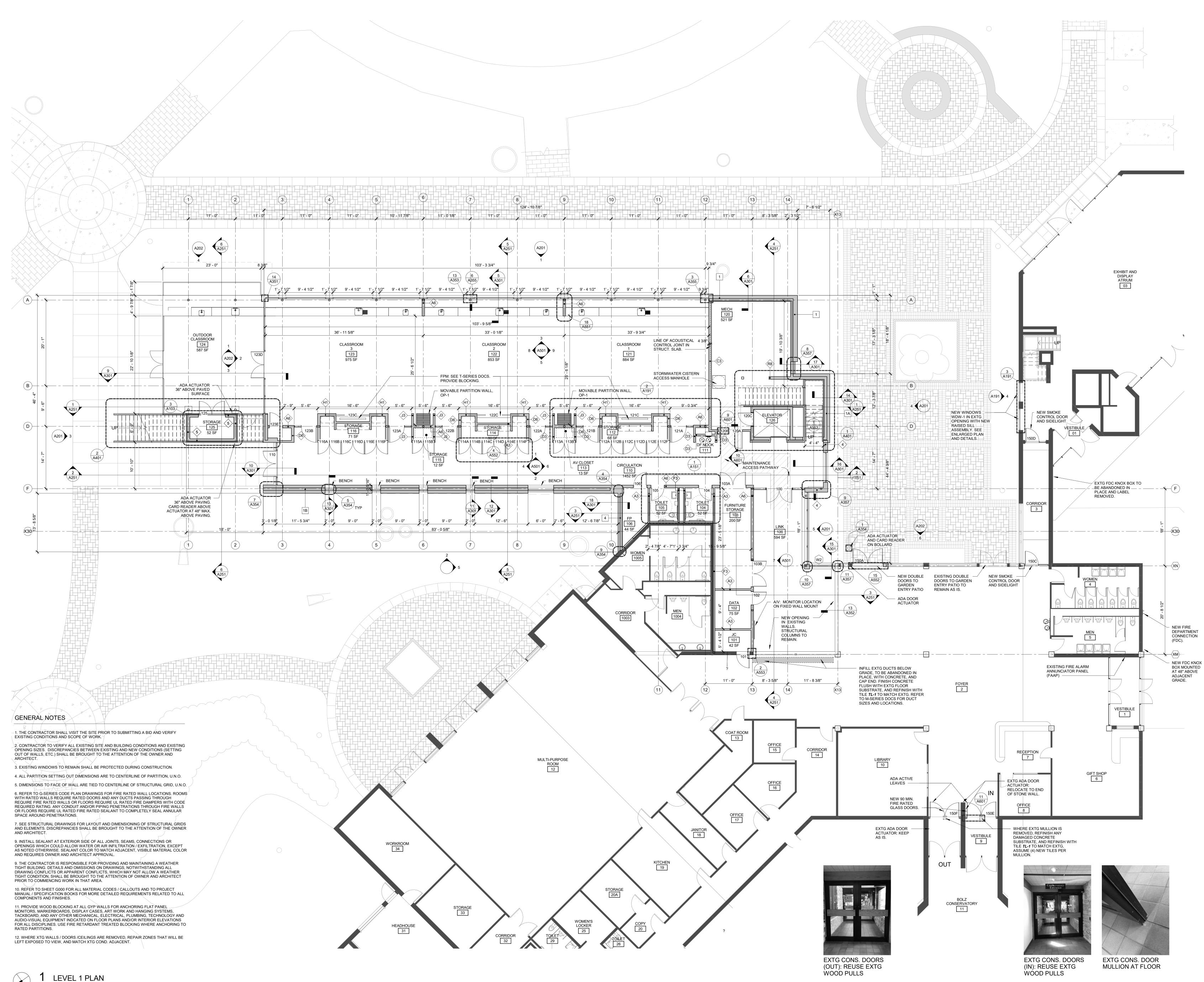


SITE DEMO AND NEW WORK NOTES



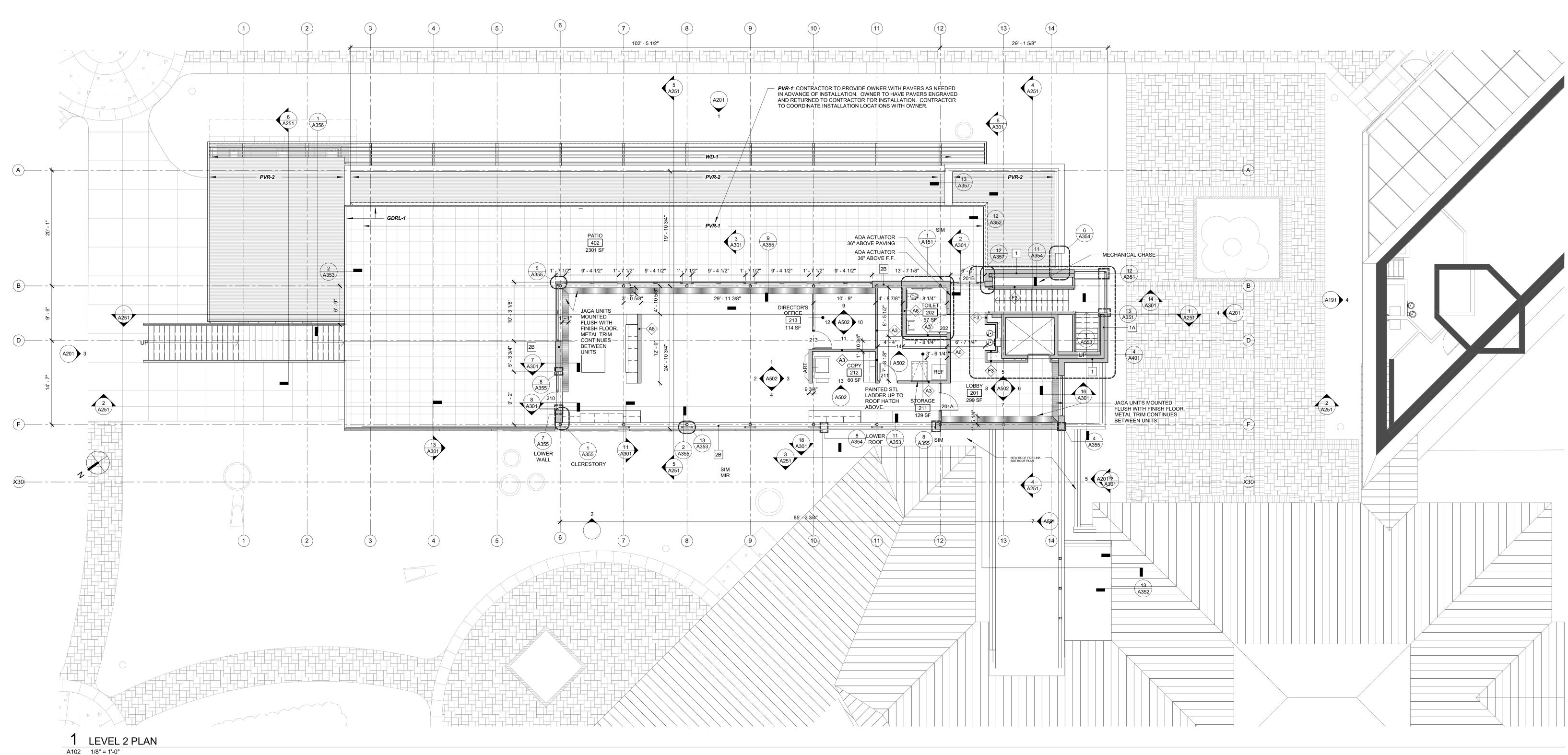






A101 1/8" = 1'-0"







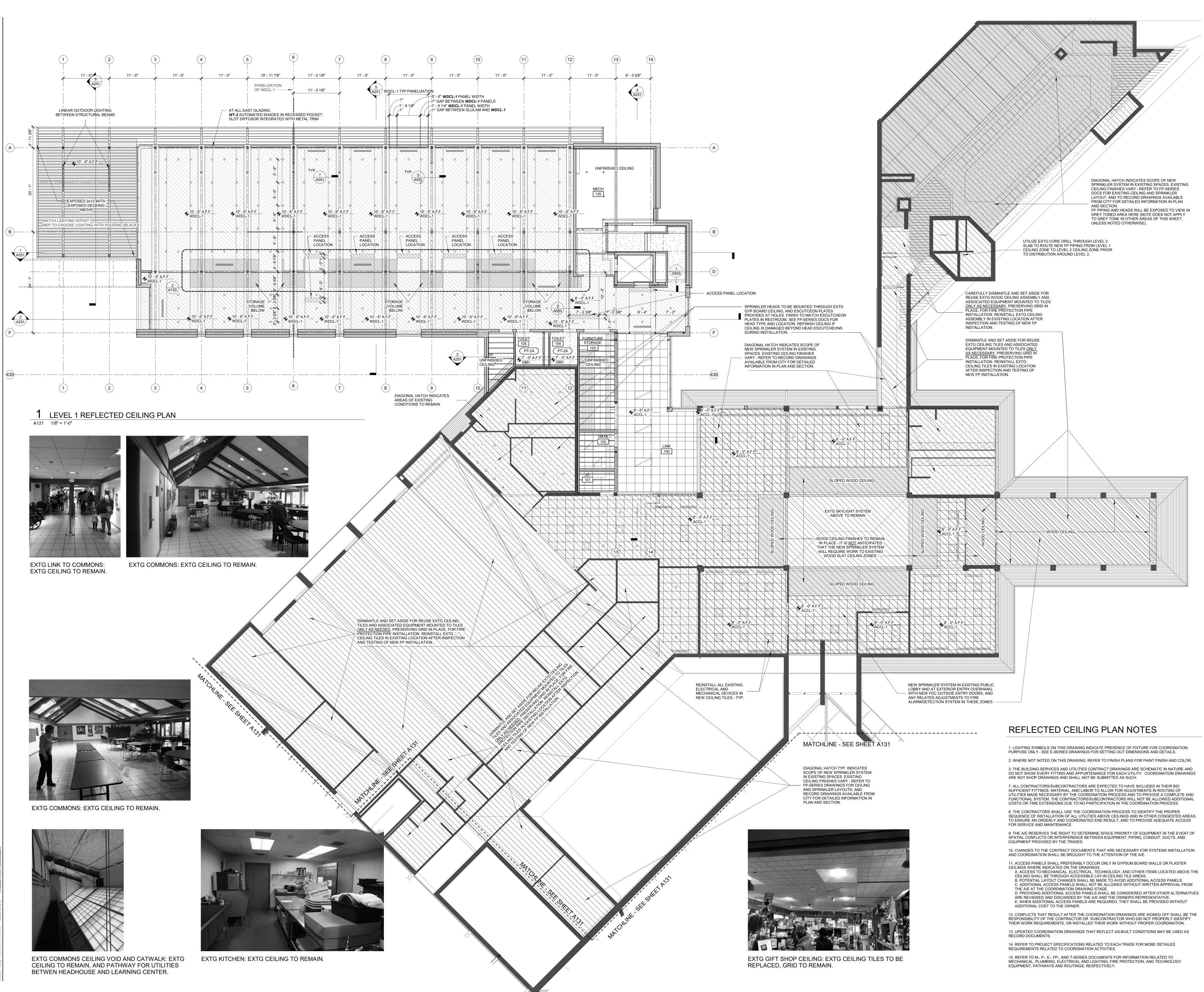
GENERAL NOTES

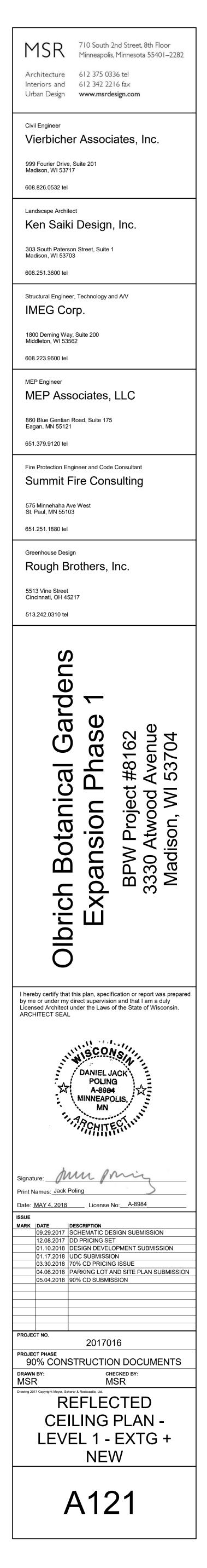
SPACE AROUND PENETRATIONS.

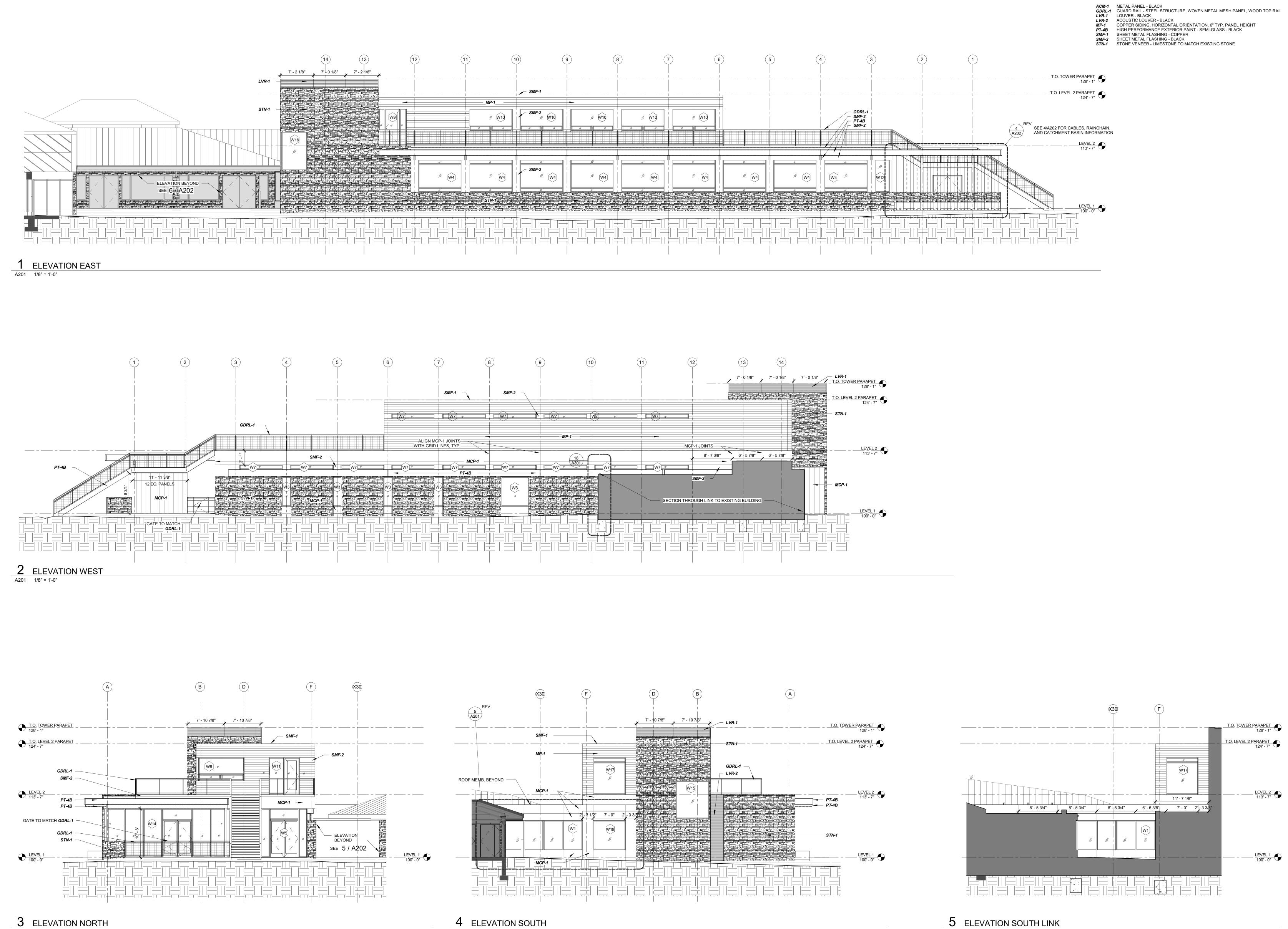
AND ARCHITECT.

- 1. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID AND VERIFY EXISTING CONDITIONS AND SCOPE OF WORK. 2. CONTRACTOR TO VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS AND EXISTING OPENING SIZES. DISCREPANCIES BETWEEN EXISTING AND NEW CONDITIONS (SETTING OUT OF WALLS, ETC.) SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.
- 3. EXISTING WINDOWS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. 4. ALL PARTITION SETTING OUT DIMENSIONS ARE TO CENTERLINE OF PARTITION, U.N.O.
- 5. DIMENSIONS TO FACE OF WALL ARE TIED TO CENTERLINE OF STRUCTURAL GRID, U.N.O. 6. REFER TO G-SERIES CODE PLAN DRAWINGS FOR FIRE RATED WALL LOCATIONS. ROOMS WITH RATED WALLS REQUIRE RATED DOORS AND ANY DUCTS PASSING THROUGH REQUIRE FIRE RATED WALLS OR FLOORS REQUIRE UL RATED FIRE DAMPERS WITH CODE REQUIRED RATING. ANY CONDUIT AND/OR PIPING PENETRATIONS THROUGH FIRE WALLS OR FLOORS REQUIRE UL RATED FIRE RATED SEALANT TO COMPLETELY SEAL ANNULAR
- 7. SEE STRUCTURAL DRAWINGS FOR LAYOUT AND DIMENSIONING OF STRUCTURAL GRIDS AND ELEMENTS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER
- 9. INSTALL SEALANT AT EXTERIOR SIDE OF ALL JOINTS, SEAMS, CONNECTIONS OR OPENINGS WHICH COULD ALLOW WATER OR AIR INFILTRATION / EXFILTRATION, EXCEPT AS NOTED OTHERWISE. SEALANT COLOR TO MATCH ADJACENT, VISIBLE MATERIAL COLOR AND REQUIRES OWNER AND ARCHITECT APPROVAL.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING A WEATHER TIGHT BUILDING. DETAILS AND OMISSIONS ON DRAWINGS, NOTWITHSTANDING ALL DRAWING CONFLICTS OR APPARENT CONFLICTS, WHICH MAY NOT ALLOW A WEATHER TIGHT CONDITION, SHALL BE BROUGHT TO THE ATTENTION OF OWNER AND ARCHITECT PRIOR TO COMMENCING WORK IN THAT AREA.
- 10. REFER TO SHEET G000 FOR ALL MATERIAL CODES / CALLOUTS AND TO PROJECT MANUAL / SPECIFICATION BOOKS FOR MORE DETAILED REQUIREMENTS RELATED TO ALL COMPONENTS AND FINISHES.
- 11. PROVIDE WOOD BLOCKING AT ALL GYP WALLS FOR ANCHORING FLAT PANEL MONITORS, MARKERBOARDS, DISPLAY CASES, ART WORK AND HANGING SYSTEMS, TACKBOARD, AND ANY OTHER MECHANICAL, ELECTRICAL, PLUMBING, TECHNOLOGY AND AUDIO-VISUAL EQUIPMENT INDCATED ON FLOOR PLANS AND/OR INTERIOR ELEVATIONS FOR ALL DISCIPLINES. USE FIRE RETARDANT TREATED BLOCKING WHERE ANCHORING TO RATED PARTITIONS.
- 12. WHERE XTG WALLS / DOORS /CEILINGS ARE REMOVED, REPAIR ZONES THAT WILL BE LEFT EXPOSED TO VIEW, AND MATCH XTG COND. ADJACENT.







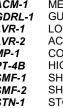


A201 1/8" = 1'-0"

 SMF-1	
** ** ** SMF-2 * ** ** ** ** **	

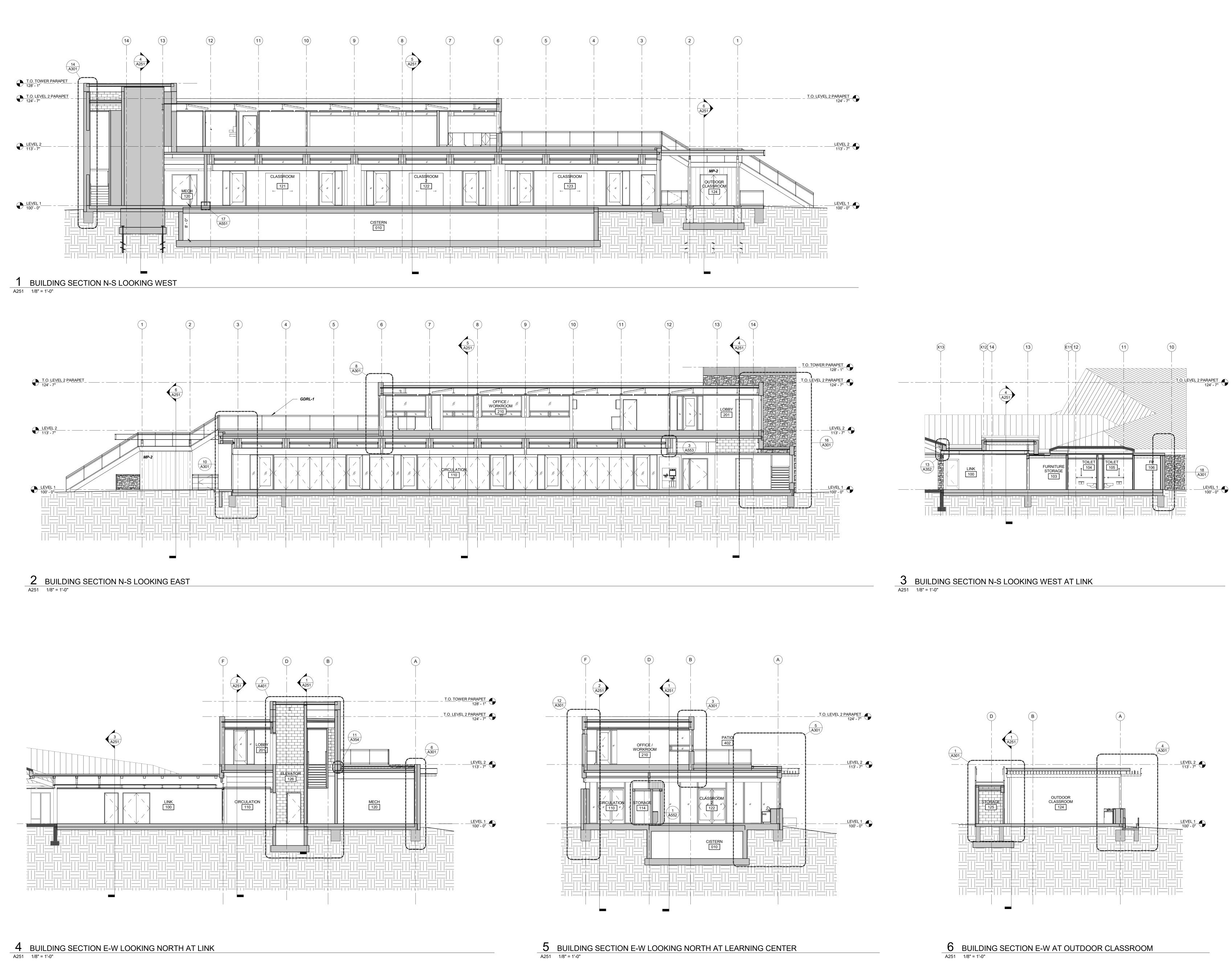
4 ELEVATION SOUTH A201 1/8" = 1'-0"

EXTERIOR MATERIALS LIST

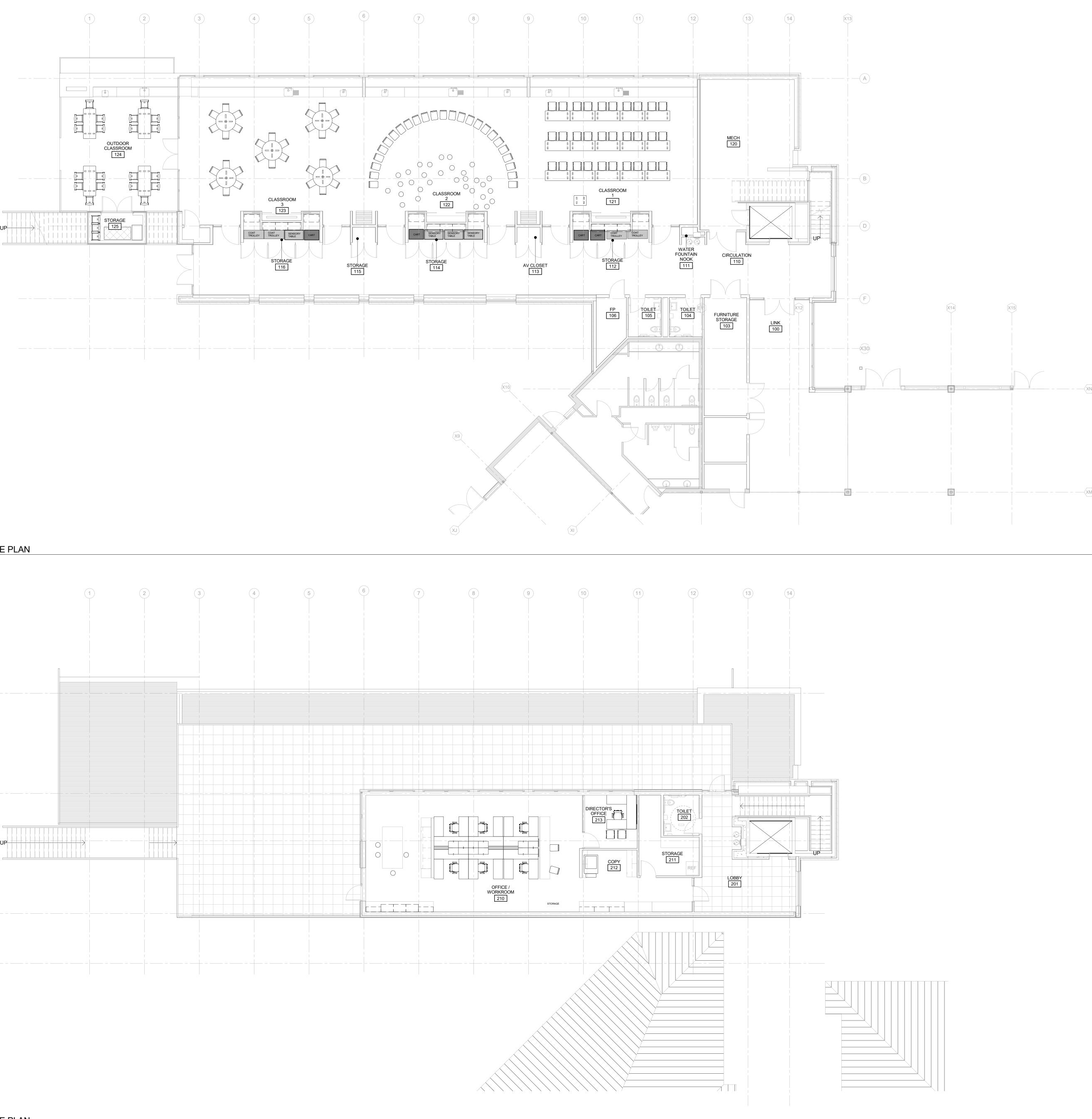


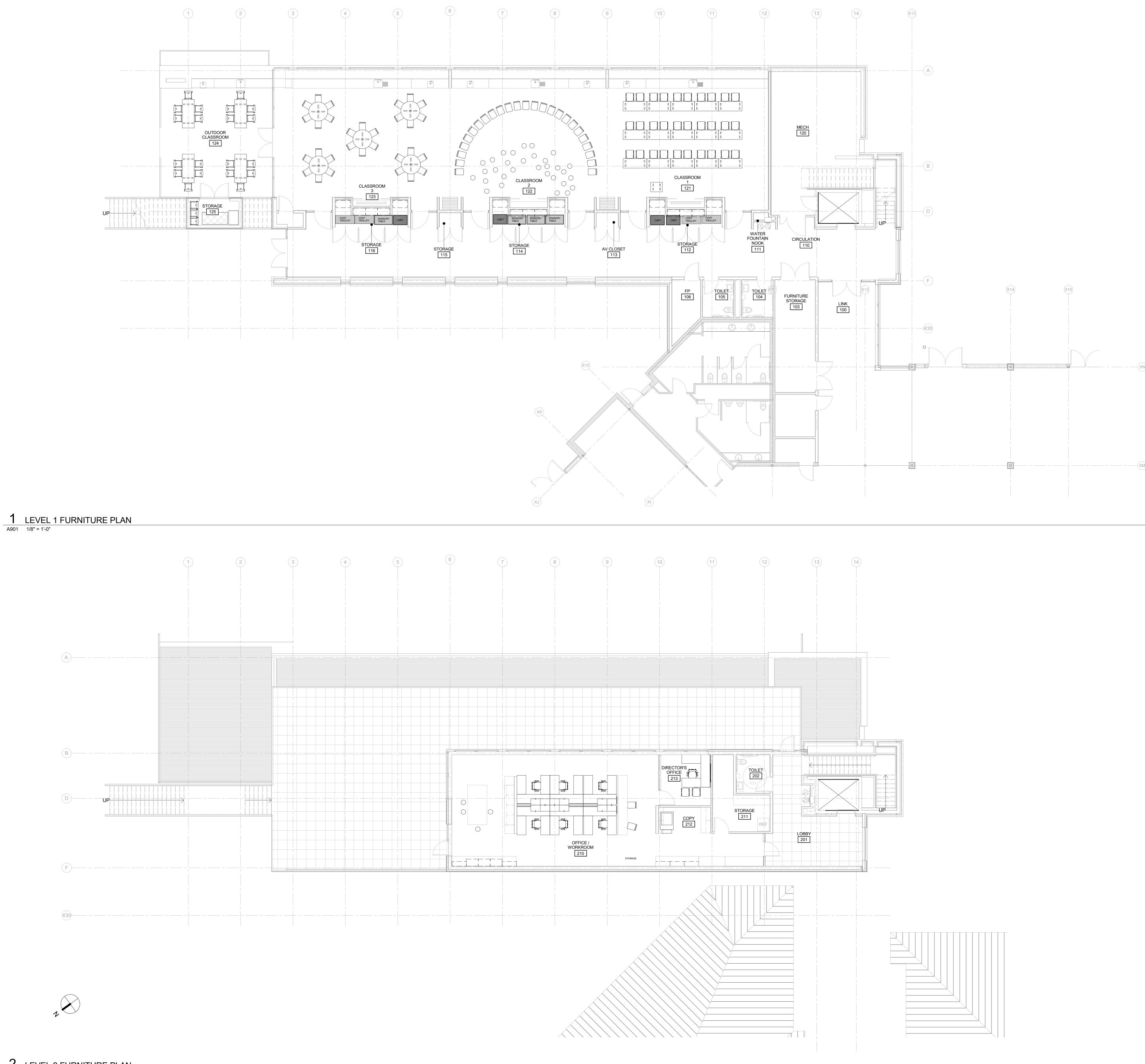
5 ELEVATION SOUTH LINK A201 1/8" = 1'-0"











2 LEVEL 2 FURNITURE PLAN A901 1/8" = 1'-0"

