

LAND USE APPLICATION

LND-B

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid 600 - Receipt # 039425-0001
Date received 12/10/18
Received by 129P
Parcel # 070825104155
Aldermanic district 19-CLEAR
Zoning district SE
Special requirements _____
Review required by _____
 UDC PC
 Common Council Other _____
Reviewed By _____

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 6405 Mineral Point Rd.
Title: Otto's Restaurant And Bar

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from _____ to _____
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name Jeff Maertz company Bouril Design Studio LLC
Street address 6425 Odana Rd City/State/zip Madison WI 53719
Telephone 608-833-3400 Email Jeffm@bourildesign.com
Project contact person Jeff Maertz company Bouril Design Studio LLC
Street address 6425 Odana Rd City/State/zip Madison WI 53719
Telephone 608-833-3400 Email Jeffm@bourildesign.com
Property owner (if not applicant) Sue Engelke (Ottos Restaurant And Bar)
Street address 450 Science Dr City/State/zip Madison WI 53711
Telephone 608 238-5400 Email sue.engelke@ultratec.com

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Restaurant use, conditional use for current zoning, outdoor seating areas

Scheduled start date Spring 2018 Planned completion date Spring 2018

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Checkboxes for Filing fee, Land Use Application, Letter of intent, Legal description, Pre-application notification, Vicinity map, Survey or existing conditions site plan, Development plans, Land Use Application Checklist (LND-C), Supplemental Requirements, Electronic Submittal*.

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary.

6. Applicant Declarations

- Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff _____ Date _____
Zoning staff Jenny Kirchgatter _____ Date 10/3/17

- Demolition Listserv
Public subsidy is being requested (Indicate in letter of intent)
Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request.

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Jeff Maertz Relationship to property Architect

Authorizing signature of property owner Susan L. Engelke Date 12-8-17

December 27, 2017

City of Madison, Department of Planning and Community & Economic Development
Zoning Department
126 S. Hamilton Road.
Madison, Wisconsin 53703

Letter of Intent For Conditional Use.

Otto's Restaurant and Bar
6405 Mineral Point Road
Madison Wisconsin 53719
Addition and Alteration
Statement of Owner's Intent and Description of Project

Project Description:

Otto's Restaurant & Bar has been operating as fine dining establishment on Madison's west side for over thirty years. During the clement weather months we offer outdoor dining and live music to our guests. The location of the majority of the outdoor dining is on the first floor deck area above the ground floor bar with a 47 person capacity. There are also two existing on grade outdoor dining areas on concrete pavers. One to the east of the building with two tables with an 8 person capacity and other to the north of the building with 3 tables with a 12 person capacity. The outdoor seating above the bar area is where the live music is located. We usually have small jazz combos consisting of usually 1, 2 or 3 and rarely 4 musicians.

The current outdoor seating plaza deck above the bar has been in existence for thirty years. The outdoor on grade seating has been existence prior to the current ownership. The plaza deck is now wheel chair accessible.

Currently there is only a pitched removable tent covering the outdoor seating plaza deck (above the bar) to offer some shelter from the elements. The two on grade seating areas have no protection from the elements and are used only during good weather.

Hours of operation are Monday thru Saturday, 3:30 p.m. thru 9:30 p.m.

Outdoor seating is 47 seats on outdoor Plaza deck, 20 seats for the two outdoor on grade seating areas, and 113 seats for the existing building for a total of 180 seating. Building restrooms could by code service 300 occupants. The on grade seating to the east and north is separated from the parking areas by a stone retaining walls. The main outdoor plaza deck seating is over the Ground floor bar area and is separated from the parking by the stone retaining walls and the building itself.

New Project will consist of

A upgrade to the existing outdoor seating area over the existing Ground floor bar area with a new tent structure, new handrails, replacement of the deck floor and replacement of the existing roof membrane. This portion is within the existing building perimeter and is maintenance and upgrade of the exiting outdoor deck. We would be replacing the existing exit stair from the deck with a new code complying exit stair.

We are planning to maintain and improve the site's impervious surface ratio by providing new pervious pavers in one of the existing parking stalls. Essentially where the new stair exceeds the area of the old stair we are proving new permeable pavers which will be over twice of the area of the new stairs and side walk minus the existing stairs.

As a maintenance item we are proposing to replace the existing deteriorating concrete entry stoop to the First Floor entry with a new concrete stoop, stairs, Guardrails and Handrails.

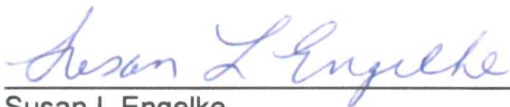
Also as part of this project we are upgrading the unisex restroom to provide an accessible restroom to the First floor. Previous projects (2015) provided accessibility to the First floor entry with a new accessible exterior ramp and a new interior ramp. The Ground floor bar entry is already accessible.

The site is surrounded by a bank building to the west, office building to the north, a retirement home to the south and east. There is large wooded area to the retirement center to the east and a large wooded and grassy area to the retirement center to the south. Otto's is a land locked site with shared access and parking with the office building to the north.

Due to the recent zoning change a building with a restaurant use is a conditional use in the current zoning. We are currently an existing nonconforming use. We are asking for a conditional use for the current restaurant use. Also the city has no record of approval for the outdoor seating areas and we are asking for approval of these areas. The outdoor seating area has been in existence for thirty years for the area over the bar and over 10 years for the on grade seating areas.

Thank you for your time and consideration

Sincerely,



Susan L Engelke

Owner

Chairs, LLC

dba Otto's Restaurant and Bar



**Bouril Design
Studio, LLC**

6602 Grand Teton Plaza, #150
Phone: (608) 833-3400
Bouril@bourildesign.com

Madison, WI 53719
Fax: (608) 833-3408
www.bourildesign.com



Otto's Restaurant and Bar (view from Northeast)



Otto's Restaurant and Bar (view from East)
Outdoor Plaza Deck



Otto's Restaurant and Bar (view from Northeast) w/ summer canopy
Tent structure over outdoor Plaza Deck



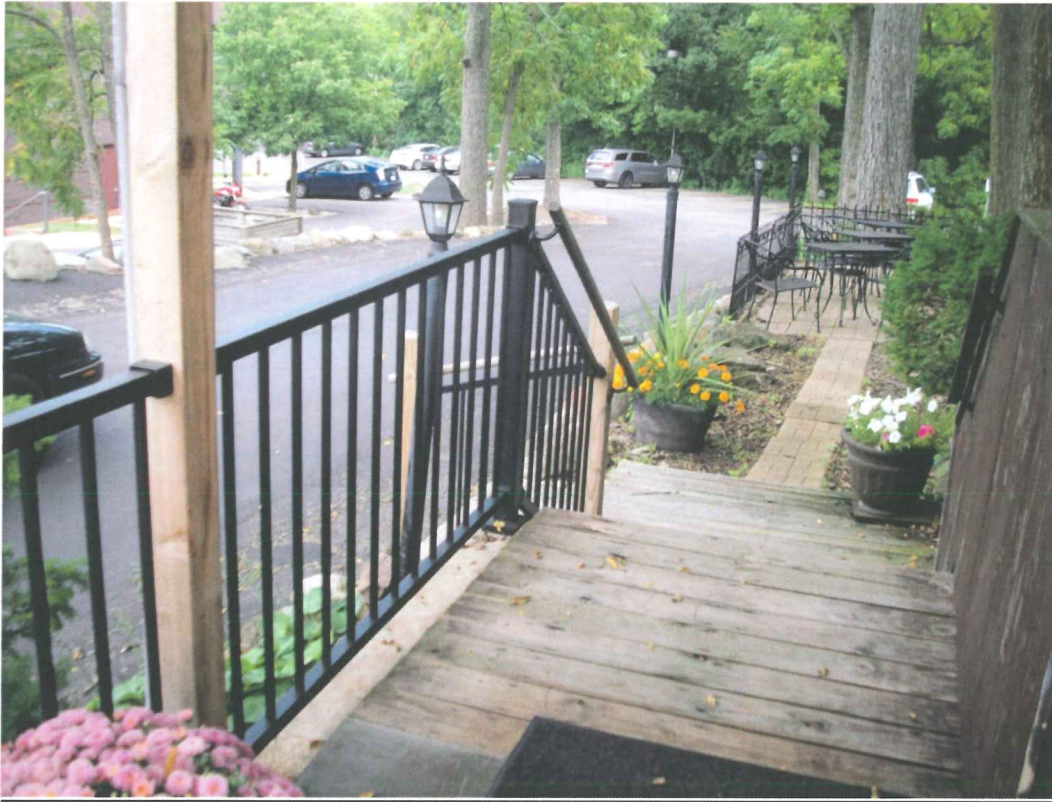
Otto's Restaurant and Bar (view from Northeast) w/ neighbors buildings to the north
(Strange) and west (Bank) = Ottos on right side of picture.



Outdoor on grade seating - East side of building (view from south)



Outdoor on grade seating - East side of building (view from east)
Outdoor Plaza deck above.



Outdoor on grade seating on south side of building (view from Entry)



Outdoor on grade seating on south side of building (view from South)
Outdoor Plaza deck above

3-Season Porch Addition For: Otto's Restaurant and Bar

6405 Mineral Point Road
Madison, Wisconsin 53705

ARCHITECTURAL ABBREVIATIONS

THROUGHOUT THE DRAWINGS, THESE ABBREVIATIONS ARE USED TO DESCRIBE PARTIES, MATERIALS, WEIGHTS, OR DIRECTIONS RELATED TO THE CONTRACT DOCUMENTS.

TEXT SYMBOLS	D	G	M	P	T
Ⓞ AT CENTERLINE	D DEEP DEPTH	GA GAGE	MAS MASONRY	PREFAB PREFABRICATED	T THICK THICKNESS
Ⓟ DEGREES	DBL DOUBLE	GAL GALLON	MATL MATERIAL	PRELIM PRELIMINARY	TB TOWEL BAR
∅ DIAMETER	DEG DEGREES(S)	GALV GALVANIZED	MAX MAXIMUM	PSF POUNDS PER SQUARE FOOT	TD TO BE DETERMINED
± PLUS / MINUS	DEMO DEMOLITION DEMOLISH	GB GRAB BAR	MECH MECHANICAL	PSI POUNDS PER SQUARE INCH	TELE TELEPHONE
A ANCHOR BOLT	DIA DIAMETER	GC GENERAL CONTRACTOR	MEM MEMBRANE	PSL PARALLEL STRAND BOARD	TEMP TEMPORARY
AC AIR CONDITIONING	DIAG DIAGONAL	GFI GROUND FAULT INTERRUPTER	MFP MECH FLEC FLEC	PT PRESSURE TREATED	TG TONGUE & GROOVE
ACT ACCUSTICAL CEILING TILE	DM DIMENSION	GFRG GLOSS FIBER REINFORCED CONCRETE	MFR MANUFACTURER	PTD PAPER TOWEL DISPENSER	TRK THICK
ADDM ADDENDUM	DN DOWN	GL GLASS	MID MIDDLE	PTN PARTITION	TJ THICK JOIST INTERNATIONAL
ADJ ADJUSTABLE	DR DOOR	GSP GROSS SQUARE FOOTAGE	MIN MINIMUM	TLT TOP OF (ITEM)	TLT TOP OF (ITEM)
AFI ABOVE FINISHED FLOOR	DS DOWN SPOUT	GWB GYPSUM WALL BOARD	MISC MISCELLANEOUS	TPD TOILET PAPER DISPENSER	TV TELEVISION
ALT ALTERNATE	DTL DETAIL	H HIGH / HEIGHT	MTD MOUNTED	TVT TYPICAL	TYT TYPICAL
ALUM ALUMINUM	DWG DRAWING	HDW HARDWOOD	MTG MOUNTING		
AND AND	DWR DRAWER	HDR HARDWARE	MTL METAL		
APPROX APPROXIMATE	E EACH	HDM HDWR	N NOT IN CONTRACT		
ARCH ARCHITECT	EIPS EXTERIOR INSULATION & FINISH SYSTEM	HM HOLLOW METAL	NO NO		
B BOARD	EJ EXPANSION JOINT	HOR HORIZONTAL	NOM NOMINAL		
BLDG BUILDING	ELEV ELEVATION	HTR HORIZONTAL	NTS NOT TO SCALE		
BLK BLOCK	ELEC ELECTRIC / ELECTRICAL	HVC HVAC			
BLK DROROWED LIGHT BLOCKING	EM EMERGENCY	IC INSIDE DIAMETER			
BRG BREAKING	ENCL ENCLOSURE	IN INCH			
BT BOTTOM OF (ITEM)	EPDM RUBBER MEMBRANE	INCD INCANDESCENT			
BP BASE PLATE	EPS EXPANDED POLYSTYRENE	INSUL INSULATION			
BSMT BASEMENT	EQU EQUIPMENT	J & K			
	ETR ELECTRIC WATER COOLER	JAN JANITOR			
	EXIST EXISTING	JOIST JOIST			
	EXP EXPANSION	JOINT JOINT			
	EXT EXTERIOR	K KIRS			
	FA FIRE ALARM	KIT KITCHEN			
	FAB FABRICATE	L			
	FD FLOOR DRAIN	LAD LABORATORY			
	FEN FOUNDATION	LAM LAMINATE			
	FE FIRE EXTINGUISHER	LAV LAVATORY			
	FHC FIRE HOSE CABINET	LB POUND			
	FIN FINISH	LBS POUNDS			
	FL FLOOR	IP LIQUID PROPANE			
	FLX FLEXIBLE	LT LIGHT			
	FLG FLASHING	LVL LAMINATED VENEER LUMBER			
	FT FOOT OR FEET	LW LIGHTWEIGHT			
	FIG FOOTING				

SYMBOL LEGEND

SYMBOL NAME	SYMBOL	DESCRIPTION	SYMBOL NAME	SYMBOL	DESCRIPTION
DETAIL REFERENCE		DETAIL NUMBER SHEET NUMBER ON WHICH DETAIL IS LOCATED	DATUM OR FLOOR ELEV	<td>FIRST FLOOR ELEVATION IN MAIN RELATIONSHIP TO FLOOR OR STATED DATUM</td>	FIRST FLOOR ELEVATION IN MAIN RELATIONSHIP TO FLOOR OR STATED DATUM
SECTION		SECTION NUMBER SHEET NUMBER ON WHICH SECTION IS LOCATED	INTERIOR ELEVATION IDENTIFICATION		SHEET NUMBER ON WHICH ELEVATION IS LOCATED DRAWING NUMBER
STRUCTURAL GRID-LINE REFERENCE		GRID NUMBER OR LETTER	ROOM IDENTIFICATION		ROOM NAME ROOM NUMBER SQUARE FOOTAGE
REVISION REFERENCE		REVISION NUMBER	PROJECT KEY NOTE IDENTIFICATION		KEY NOTE REFERENCE
EXTERIOR ELEVATION REFERENCE		ELEVATION NUMBER SHEET NUMBER ON WHICH ELEVATION IS LOCATED	EQUIPMENT IDENTIFICATION		EQUIPMENT REFERENCE
WINDOW REFERENCE		GENERIC WINDOW SIZE	CHANGE IN FINISH FLOOR ELEVATION		HEIGHT OF STEP IN FLOOR ELEVATIONS
DOOR REFERENCE/BORROWED LIGHT REFERENCE		DOOR OPENING NO. OR BORROWED LIGHT NO.	MATERIAL AND FINISH REFERENCE FOUNDATION STEP		STEP IN FOOTING/ FOUNDATION ELEV
EXISTING DOOR			DIMENSIONING		DIMENSION TO FACE OF STUD @ STUD WALL, UNO
EXISTING DOOR TO BE DEMO'D			MISCELLANEOUS ITEMS		PROPERTY LINE HOSE BIBB

MATERIAL IDENTIFICATION

	DEMOLITION ITEMS
	BRICK
	CONCRETE
	CMU
	STEEL
	CUT STONE
	GRANULAR FILL/ STONE
	SOIL/FILL
	PLYWOOD/OSB
	WOOD
	BLOWN OR BATT INSUL
	RIGID INSULATION

CODE REVIEW

1. APPLICABLE CODES	JURISDICTION	SOURCE
BUILDING & LIFE SAFETY	WISCONSIN COMMERCIAL BUILDING CODE	IDBC LEVEL 2 ALTERATION - CHAPTER 7 2009 INTERNATIONAL BUILDING CODE W/ WISCONSIN AMENDMENTS
ACCESSIBILITY	WISCONSIN COMMERCIAL BUILDING CODE	2009 INTERNATIONAL BUILDING CODE W/ WISCONSIN AMENDMENTS, CHAPTER 11 - ACCESSIBILITY
	AMERICAN NATIONAL STANDARD INSTITUTE	ICC/ANSI A117.1 - 2003 AMERICAN NATIONAL STANDARD - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

2. CLASSIFICATION BUILDING DATA	
PROJECT DESCRIPTION:	THIS PROJECT IS REPAIR AND ALTERATION OF A EXISTING RESTAURANT TO REPAIR EXISTING FIRST FLOOR PLAZA AREA OVER THE EXISTING GROUND FLOOR BAR WITH NEW ROOF, NEW GUARDRAIL, NEW DECKING, AND NEW EXIT STAIR FROM THE PLAZA. THE PROJECT REPLACES A DETERIORATING FIRST FLOOR ENTRY STOOP, STAIRS, GUARDRAIL, AND HANDRAILS. IT REPLACES A OLD THRU WALL AIR CONDITIONER FOR THE GROUND FLOOR BAR WITH A NEW SPLIT SYSTEM DUE TO THE LOCATION OF THE NEW EXIT STAIR FROM THE PLAZA. THE PROJECT ALSO UPGRADES THE FIRST FLOOR UNISEX RESTROOM FOR ACCESSIBILITY.
GROSS AREA OF BUILDING:	MEZZANINE: APPROXIMATELY 841 GSF (LESS THAN 1/3 THE AREA OF FIRST FLOOR) - 2 DITS FIRST FLOOR: EXIST 2,966 GSF GROUND BASEMENT FLOOR: EXISTING 2,315 GSF TOTAL OF 6,129 GSF.
CONSTRUCTION CLASS:	TYPE VB - ONE STORY, WOOD FRAME UNPROTECTED
BUILDING OCCUPANCY:	PER IBC TABLE 503, A2 - 6000 SF PER FLOOR PERMISSIBLE (EXISTING MAX FLOOR AREA = 2,966 GSF ASSEMBLY - GROUP A2

3. GENERAL NOTES
1. EXISTING PATIO IS A COMBINATION OF A REPAIR AND A LEVEL 1 ALTERATION INCLUDE THE REMOVAL, AND REPLACEMENT, OF EXISTING MATERIALS, ELEMENTS, EQUIPMENT OR FIXTURES USING NEW MATERIALS, ELEMENTS, EQUIPMENT OR FIXTURES THAT SERVE THE SAME PURPOSE.
2. ALTERATION/ REPAIR DOES NOT CHANGE THE EXISTING OCCUPANT LOAD OR EXIT PATH OF THE EXISTING BUILDING.
3. IBC 1026.1 EXTERIOR EXIT RAMPS AND STAIRS, FOR OCCUPANCIES OTHER THAN GROUP I2, EXTERIOR EXIT RAMPS AND STAIRWAYS SHALL BE PERMITTED AS AN ELEMENT OF A REQUIRED MEANS OF EGRESS FOR BUILDINGS NOT EXCEEDING 6 STORIES ABOVE GRADE PLANE OR OCCUPIED FLOORS MORE THAN 75' ABOVE LOWEST LEVEL OF FIRE DEPT. ACCESS.
IBC 1026.1 EXTERIOR RAMP AND STAIRWAY PROTECTION, EXCEPTION 1, SEPARATION FROM THE INTERIOR OF THE BUILDING IS NOT REQUIRED FOR OCCUPANCIES OTHER THAN THOSE IN GROUP R1 OR R2, IN BUILDINGS THAT ARE NO MORE THAN TWO STORIES ABOVE GRADE PLANE WHERE A LEVEL OF EXIT DISCHARGE SERVING SUCH OCCUPANCIES IS THE FIRST STORY ABOVE GRADE PLANE.

4. RESTROOMS
4 WATER CLOSETS @ 75 PEOPLE = 300 PEOPLE 4 SINKS @ 200 PEOPLE = 800 PEOPLE 2 1/2 G INTERIOR OCCUPANTS + 20 EXTERIOR OCCUPANTS = 236 TOTAL OCCUPANTS THEREFOR, RESTROOMS ARE ADEQUATE

CODE REVIEW

5. MEANS OF EGRESS			
NUMBER OF DITS: NUMBER OF DITS IS UNAFFECTED			
EXIT CAPACITY/ EGRESS WIDTH: EXISTING EXIT CAPACITY AND EGRESS WIDTH IS UNAFFECTED BY ADDITION			
MAXIMUM DISTANCE TO EXIT	REQUIRED	PROVIDED	CODE SECTION
USAGE OCCUPANCY	200 (WITH SPRINKLER SYSTEM THROUGHOUT)	EXISTING, UNAFFECTED BY RAMP ADDITION (< 200)	SECTION 1016 SECTION 1014.3
MINIMUM CORRIDOR WIDTH	3'-0"	EXISTING, UNAFFECTED NEW RAMP: 4'-0" MIN.	SECTION 1017.2
COMMON PATH OF TRAVEL			
ASSEMBLY	75'-0"	20'-0"	SECTION 1014.3
DOORS			
WIDTH	36"	36"	SECTION 1008
HEIGHT	6'-0"	6'-0"	NFPA 26 3.6.1 EX. NO. 3 & SECTION 114.3.2.1, SECTION 407.3
RATING			
CEILING HEIGHT	7'-0" & 7'-6"	EXISTING 4 NEW (7'-1" 1/2" MIN.)	SECTION 1208

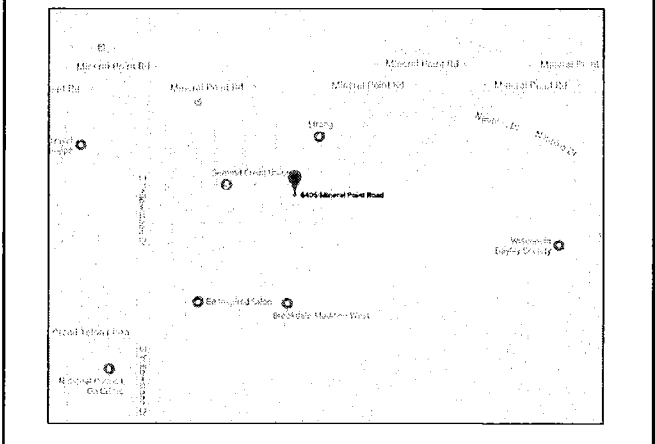
6. FIRE CODE			
INTERIOR NON-BEARING FLOOR CONSTRUCTION	0	0	SECTION 601 SECTION 601
ROOF CONSTRUCTION	0	0	SECTION 601 SECTION 601
INTERIOR BRG WALLS	0	0	SECTION 601 SECTION 601
INTERIOR PARTITIONS	0	0	SECTION 601 SECTION 601
EXIT ACCESS CORRIDORS	0	0	SECTION 601 SECTION 601
FIRE SEPARATION - FIRE AREAS PROTECTION FROM HAZARDS	2	2	SECTION 508 SECTION 307

7. EXITING. SEE OCCUPANT AND MEANS OF EGRESS CHART ON SHEET A203
--

CODE REVIEW

160 TOTAL OCCUPANTS W/ 3- EXIT DOORS @ 36" 56 X 3 X 2 = 216 PEOPLE > 160 PEOPLE THEREFOR EXITING IS ADEQUATE
EXISTING OCCUPANTS = 113 PEOPLE (EXISTING BUILDING) NEW OCCUPANTS = 47 PEOPLE (NEW ADDITION) EXISTING AND NEW ARE SEPARATED BY BY 2-HOUR FIRE WALL CREATING 2 SEPARATE FIRE AREAS.
ACCESSIBILITY: RECENT ALTERATION (2 YEARS) PROVIDED AN ACCESSIBLE RAMP TO THE FIRST FLOOR ENTRANCE AND A RAMP FROM THE WAITING AREA TO THE FIRST FLOOR DINING AREA. THIS CURRENT ADDITION AND REMODEL PROVIDES AN ACCESSIBLE RESTROOM ON THE FIRST FLOOR. ADDITIONAL ACCESSIBILITY IS THE NEW EXTERIOR STAIR. ALSO A NEW FIRST FLOOR ENTRY STAIR AND CHANGES TO THE EXISTING SITE PARKING (NEW STAIR, AND RESTROOM)

SITE LOCATION MAP



DRAWING INDEX

G001	ABBREVIATIONS, SYMBOLS & INDEX
SW101	SITE PLAN
SW102	DUMPSTER PLAN AND DETAILS
D101	GROUND FLOOR DEMO PLAN
D102	FIRST FLOOR DEMO PLAN
A201	GROUND FLOOR PLAN
A202	FIRST FLOOR
A203	MEZZANINE/ LOW ROOF PLAN
A301	EXTERIOR ELEVATIONS

REVISIONS	
DATE	ISSUE

PROJECT NO
17014

DATE
12/27/17

DRAWN BY
JLM

G
001

BOURIL DESIGN STUDIO LLC
6425 ODANA ROAD, SUITE 2
MADISON, WI 53719
PH: 608 833-3400
EM: J@bds.com

CONTACT: Jeff Maertz

ROBERT R. BOURL, AIA
WISC. REG. NO. A05716
MADISON, WISCONSIN

THE DESIGN REPRESENTED BY THESE DRAWINGS IS THE PROPERTY OF BOURIL DESIGN STUDIO, LLC. THESE DRAWINGS, WHETHER PRINTED OR IN ELECTRONIC FORMAT, MAY NOT BE COPIED OR REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF BOURIL DESIGN STUDIO, LLC OF MADISON, WISCONSIN.

BID SET
NOT FOR CONSTRUCTION

Bouril Design Studio LLC
6425 Odana Road, Suite 2, Madison, WI 53719
Phone: (608) 833-3400

3-SEASON PORCH ADDITION FOR:
OTTO'S RESTAURANT & BAR
6405 MINERAL POINT RD
MADISON, WISCONSIN 53705

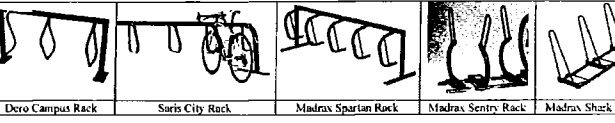
City of Madison Bike Rack Requirements

- Bicycle Parking Space Size, Access, Aides, and Vertical Clearance**
 - Bicycle parking spaces shall be a minimum of two (2) feet by six (6) feet.
 - There shall be an access aisle a minimum of five (5) feet in width.
 - Have a vertical clearance of at least 6 feet.
- Bicycle Rack Design**
 - Shall permit the locking of the bicycle frame and one (1) wheel to the rack.
 - Shall support a bicycle in a stable position.
 - All racks shall accommodate cable locks and "U" locks including removing the front wheel and locking it to the rear fork and frame.
 - Each required bicycle parking space must be accessible without moving another bicycle.
 - Placement shall not result in a bicycle obstructing a required walkway.
 - Shall be located on paved or pervious, dust-free surface with a slope no greater than three percent (3%).
 - Surfaces shall not be gravel, landscape stone, or wood chips.
- Bicycle Rack Location on Site**
 - Required short-term bicycle parking spaces shall be located in a convenient and visible area at least as close as the closest non-accessible automobile parking and within one hundred (100) feet of a principal entrance.
 - Required long-term bicycle parking spaces shall be located in enclosed and secured or supervised areas providing protection from theft, vandalism and weather and shall be accessible to intended users.
 - Required long-term bicycle parking for residential uses shall not be located within dwelling units or within deck, patio areas, or private storage areas accessory to dwelling units.

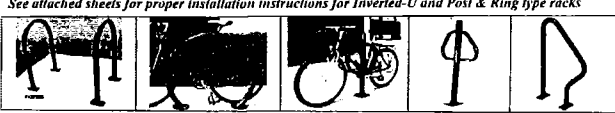
Examples of Bicycle racks that do not meet the design requirements above:



Examples of Bicycle racks that do meet the design requirements above:



Examples of Inverted-U and Post & Ring Type Racks



If you have questions about whether a particular bicycle parking rack you are considering meets these requirements, please contact Arthur Ross, Pedestrian-Bicycle Coordinator, 608/266-6225
Updated August 1, 2014

BUILDING IS NOT REQUIRED TO HAVE A AUTOMATIC SPRINKLER SYSTEM.

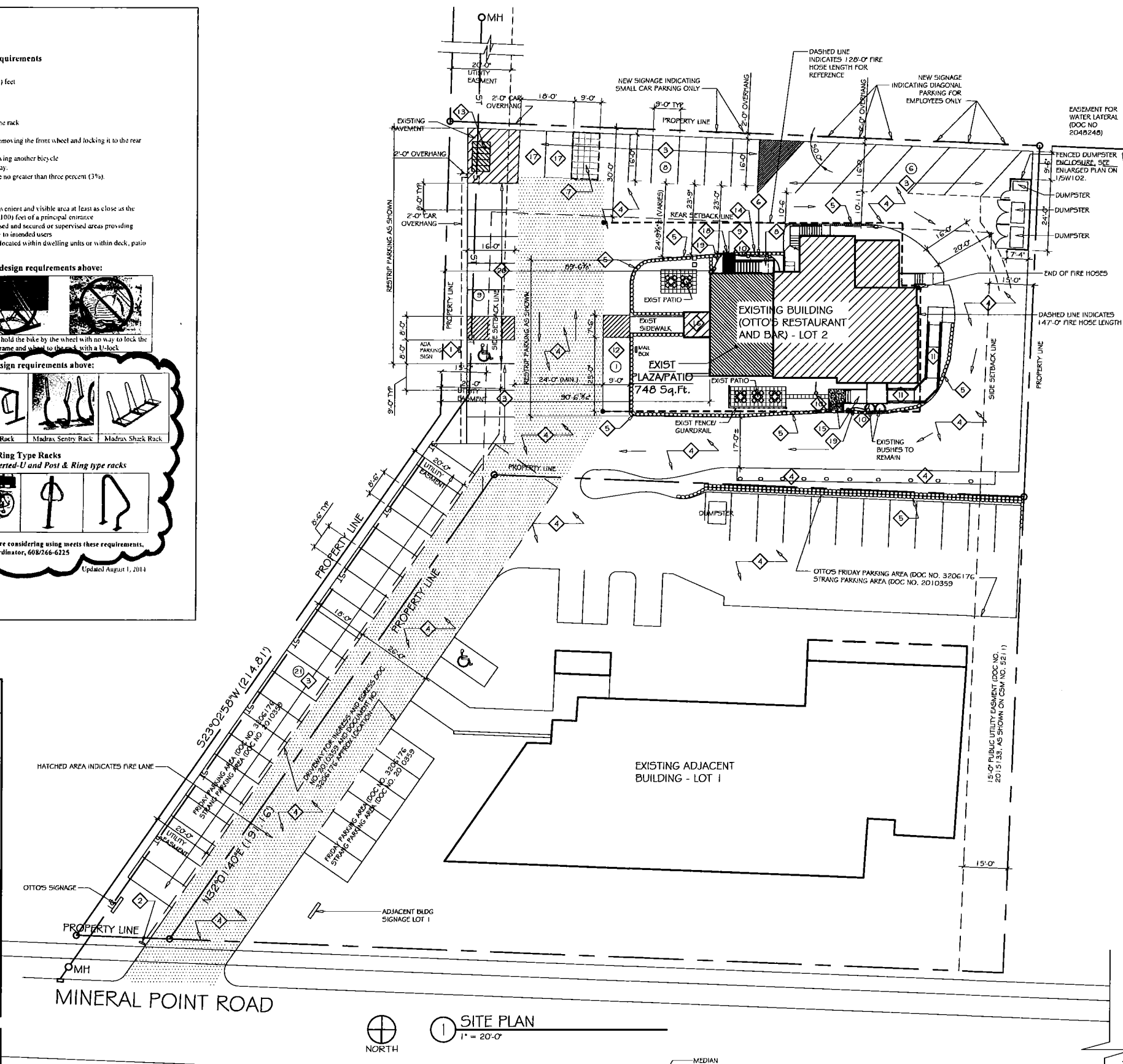
- A. IBC 2009 Code with Wisconsin Amendments
Per IBC 903.2.1.2, Group A-2 An automatic sprinkler system shall be provided for Group A2 occupancies where one of the following conditions exist:
- "The fire area exceeds 5,000 square feet."
Response: The fire area of the new addition is only 764 SF including the new exterior stairs. The fire area of the new addition is separated from the existing by a 2 hour fire wall. We do not exceed 5,000 SF and addition does not need to be sprinkled.
 - "The fire area has an occupant load of 100 or more."
Response: The seating area of the addition is only 690 SF divided by 15 SF (tables and chairs) gives an occupant load of 46 people. We do not exceed an occupant load of 100 and addition does not need to be sprinkled.
 - "None of the stories in which the fire area is located include a level of exit discharge."
Response: The ground floor level has a level of exit discharge. The vestibule off the bar area exits directly to grade with no steps or ramps. This criteria does not exist. The building has a story with a level of exit discharge and the addition does not need to be sprinkled. Note the wording of this criteria is a "Wisconsin" 362.0903 (3) which modified the original IBC language.
- D. The building being added onto is existing and is not required by the IBC International building code (2009) to be sprinkled as the new addition is separated by a 2 hour fire barrier and the area of the existing building fire area is not being increased. see IBC 1001.1, 1002.2 and 1002.3 specifically 1002.3 "Existing fire areas increased by the addition shall comply with chapter 9 of the IBC. We are not increasing the fire area as we are separating the fire area with a 2 hour fire wall

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	CONCRETE	100	YD	120.00	12000.00
2	ASPHALT	100	YD	100.00	10000.00
3	WOOD	100	YD	150.00	15000.00
4	STEEL	100	YD	200.00	20000.00
5	PAVING	100	YD	180.00	18000.00
6	LANDSCAPE	100	YD	100.00	10000.00
7	PLANTING	100	YD	120.00	12000.00
8	DEMOLITION	100	YD	100.00	10000.00
9	CONCRETE	100	YD	120.00	12000.00
10	ASPHALT	100	YD	100.00	10000.00
11	WOOD	100	YD	150.00	15000.00
12	STEEL	100	YD	200.00	20000.00
13	PAVING	100	YD	180.00	18000.00
14	LANDSCAPE	100	YD	100.00	10000.00
15	PLANTING	100	YD	120.00	12000.00
16	DEMOLITION	100	YD	100.00	10000.00
17	CONCRETE	100	YD	120.00	12000.00
18	ASPHALT	100	YD	100.00	10000.00
19	WOOD	100	YD	150.00	15000.00
20	STEEL	100	YD	200.00	20000.00
21	PAVING	100	YD	180.00	18000.00
22	LANDSCAPE	100	YD	100.00	10000.00
23	PLANTING	100	YD	120.00	12000.00
24	DEMOLITION	100	YD	100.00	10000.00
25	CONCRETE	100	YD	120.00	12000.00
26	ASPHALT	100	YD	100.00	10000.00
27	WOOD	100	YD	150.00	15000.00
28	STEEL	100	YD	200.00	20000.00
29	PAVING	100	YD	180.00	18000.00
30	LANDSCAPE	100	YD	100.00	10000.00
31	PLANTING	100	YD	120.00	12000.00
32	DEMOLITION	100	YD	100.00	10000.00
33	CONCRETE	100	YD	120.00	12000.00
34	ASPHALT	100	YD	100.00	10000.00
35	WOOD	100	YD	150.00	15000.00
36	STEEL	100	YD	200.00	20000.00
37	PAVING	100	YD	180.00	18000.00
38	LANDSCAPE	100	YD	100.00	10000.00
39	PLANTING	100	YD	120.00	12000.00
40	DEMOLITION	100	YD	100.00	10000.00

SITE DESCRIPTION

(PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCE-992383-MAD, DATED SEPTEMBER 26, 2014.)
LOT TWO (2), CERTIFIED SURVEY MAP NO. 5211, RECORDED IN OFFICE OF REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN ON APRIL 14, 1967 IN VOLUME 23 OF CERTIFIED SURVEY MAPS ON PAGE 239, AS DOCUMENT NO. 2010359.
TOGETHER WITH EASEMENTS FOR PARKING AND INGRESS AND EGRESS ESTABLISHED FOR THE BENEFIT OF THE SUBJECT PARCEL BY DOCUMENT RECORDED APRIL 14, 1967, IN VOLUME 9827 OF RECORDS, PAGE 81, AS DOCUMENT NO. 2010359.

SITE PLAN
1" = 20'-0"



SITE INFORMATION BLOCK

SITE ADDRESS: 6405 MINERAL POINT ROAD
SITE ACREAGE: (TOTAL) 0.66 ACRES (28,875 SF)
NUMBER OF BUILDING STORIES (ABOVE GRADE): 1 + Mezzanine
BUILDING HEIGHT: 25'-6" ±
DIHR TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS) TYPE VB (EXIST)
TOTAL SQUARE FOOTAGE OF BUILDING: 5,204
USE OF PROPERTY: RESTAURANT (EXISTING)
GROSS SQUARE FOOTAGE OF OFFICE: N/A
GROSS SQUARE FOOTAGE RETAIL: N/A
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
CAPACITY OF RESTAURANT/ PRODUCTION OF ASSEMBLY: 164 (includes exterior seating)
NUMBER OF BICYCLE STALLS SHOWN: 5 (5% of capacity)
NUMBER OF PARKING STALLS:
SMALL CARS: 0
LARGE CARS: 23 + (21 SHARED)
ACCESSIBLE: 1
TOTAL PROVIDED: 24 (45 including shared)
NUMBER OF TREES SHOWN: EXISTING TO REMAIN
ANY TREES OR PLANTS AFFECTED TO BE RELOCATED OR REPLACED.

- KEY NOTES - SITE PLAN**
- RELOCATED EXISTING VAN ACCESSIBLE PARKING SIGN
 - EXISTING STOP SIGN
 - EXISTING PARKING STALL LAYOUT
 - EXISTING ASPHALT PAVEMENT REMAINS
 - EXISTING STONE RETAINING WALL, TYP.
 - EXISTING STAIRS TO BE REMOVED, SEE SHEET D102
 - REMOVE EXISTING ASPHALT AND REPLACE WITH NEW PERVIOUS PAVERS AREA (GRASSCRETE) 162 SF MIN. NEW WOOD COMPOSITE STAIRS AND LANDING
 - NEW CONCRETE STAIR AND LANDING, REMOVE EXISTING RETAINING WALL AS REQUIRED
 - SALVAGE/ RELOCATE OR REPLACE EXISTING PLANTS AFFECTED BY CONSTRUCTION, TYP. EXISTING ACCESSIBLE RAMP
 - NEW PARALLEL PARKING STALL
 - 5 BICYCLE PARKING SPACES WITH BICYCLE RACKS, PARKING SPACES SHALL BE A MINIMUM OF 2 X 6 (AS SHOWN), RACKS TO MEET CITY OF MADISON REQUIREMENTS, BICYCLE RACK TO BE MADRAX SHARK BIKE RACK, 5 SIDE, SINGLE SIDED, (SHK-SMG-5), SEE CITY BICYCLE REQUIREMENTS ON SHEET SW101 AND 75W102 STEEL CHANNEL TO BE ANCHORED SECURELY TO PAVEMENT.
 - INFILL RETAINING WALL WHERE EXISTING STAIR IS REMOVED
 - REMOVE AND REPLACE DETERIORATING STOOP, STEPS, AND SIDEWALK WITH NEW WOOD LANDING/STEPS, AND CONCRETE SIDEWALK/STEPS. SALVAGE AND REPLACE EXISTING PLANTS WHERE AFFECTED BY NEW CONSTRUCTION. NEW STOOP IS IN SAME LOCATION AS EXISTING. PROVIDE NEW GUARDRAIL AND HANDRAIL. SEE FLOOR PLAN FOR SPECIFICS.
 - EXISTING VESTIBULE TO GROUND FLOOR BAR
 - EXISTING PARKING STALLS WITH PERVIOUS PAVERS AREA (GRASSCRETE).
 - REMOVE AND SALVAGE STONE RETAINING WALL AT NEW SIDEWALK/ STAIRS. REUSE WHERE EXISTING STAIR WAS REMOVED
 - EROSION CONTROL FENCE PER CITY OF MADISON REQUIREMENTS.
 - REVISED EXISTING PARKING STALL LAYOUT (REVISED DUE TO ACCESSIBLE STALL AND ACCESSIBLE AISLE DIMENSIONS)

- GENERAL NOTES - SITE PLAN**
- PROJECT IS AN ALTERATION OF A EXISTING RESTAURANT TO ENCLOSE EXISTING FIRST FLOOR PATIO AREA OVER EXISTING GROUND FLOOR BAR WITH A 3-SEASON PORCH.
 - THE EXISTING LANDSCAPING TO REMAIN, BE REPLACED OR RELOCATED AROUND AREAS BEING AFFECTED BY NEW CONSTRUCTION.
 - THE EXTERIOR LIGHTING IS EXISTING TO REMAIN.
 - AREA OF NEW PERVIOUS PAVEMENT TO EQUAL OR EXCEED AREA OF NEW EXTERIOR EXIT STAIR.
NEW EXIT STAIR AREA: 90 SF
EXISTING EXIT STAIR AREA: 32 SF
TOTAL NEW IMPERVIOUS AREA: 58 SF
NEW PERVIOUS AREA PROVIDED: 144 SF
 - SITE INFORMATION TAKEN FROM EXIST CSM, AND SITE OBSERVATIONS/ FIELD MEASUREMENTS.

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6423 Odessa Rd., Suite 2, Madison, WI 53719
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architects

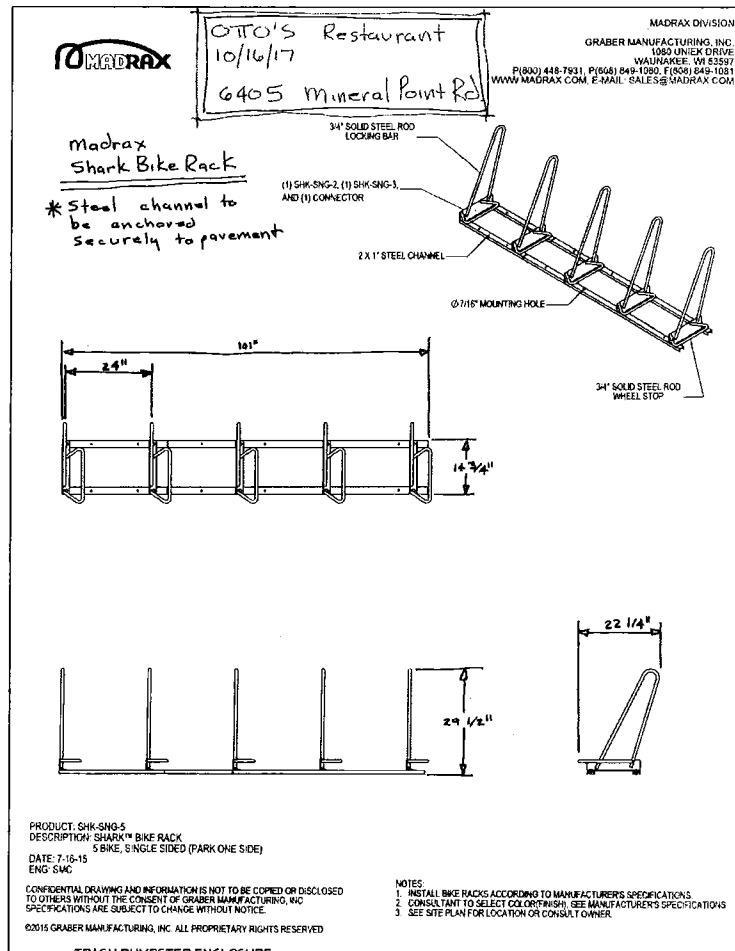
3-SEASON PORCH ADDITION FOR OTTO'S RESTAURANT & BAR
6405 MINERAL POINT RD
MADISON, WISCONSIN 53705

REVISIONS

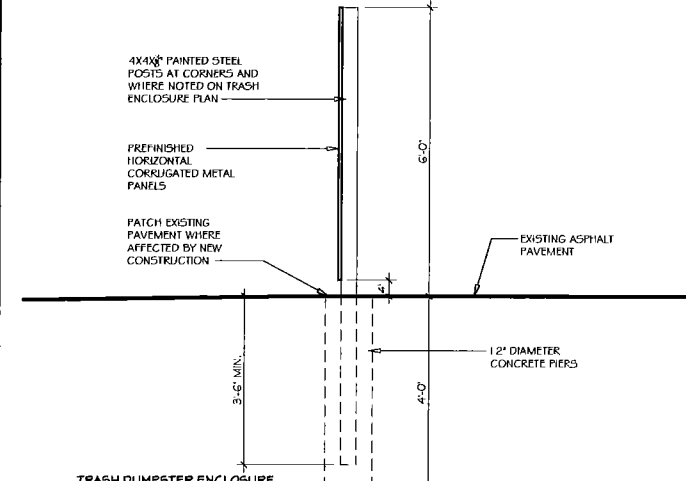
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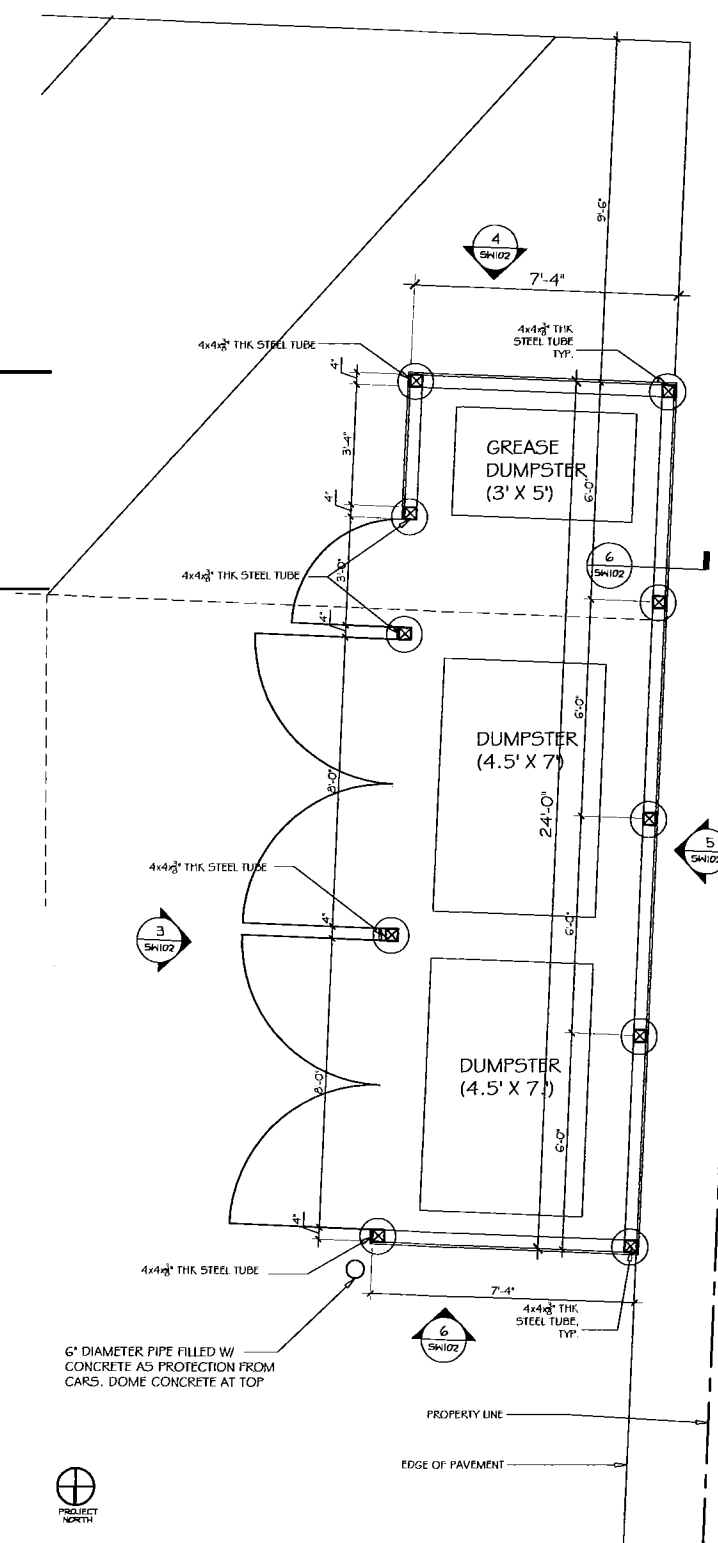
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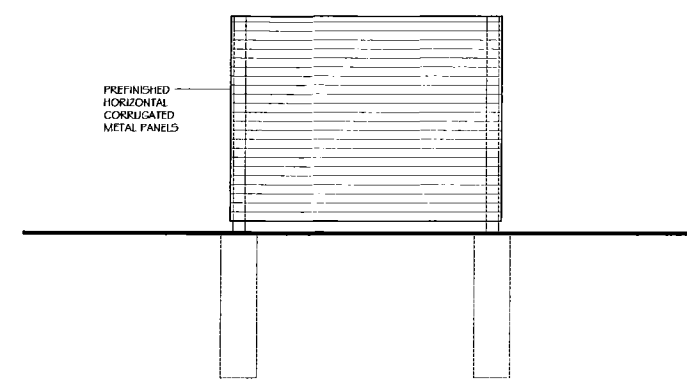
7 TRASH DUMPSTER ENCLOSURE BICYCLE RACK MANUF. DETAIL
 1/2" = 1'-0"



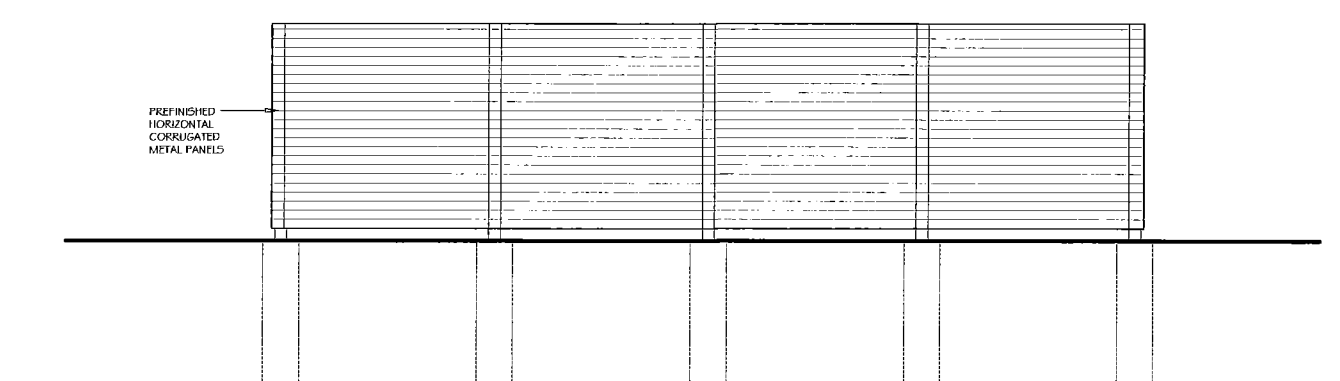
6 TRASH DUMPSTER ENCLOSURE WALL DETAIL
 1/2" = 1'-0"



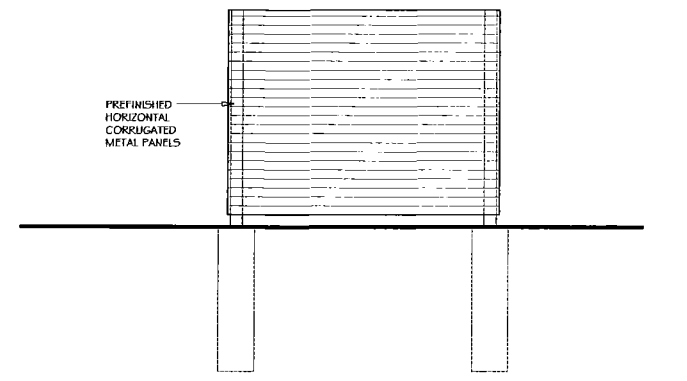
1 TRASH DUMPSTER ENCLOSURE ENLARGED PLAN
 3/8" = 1'-0"



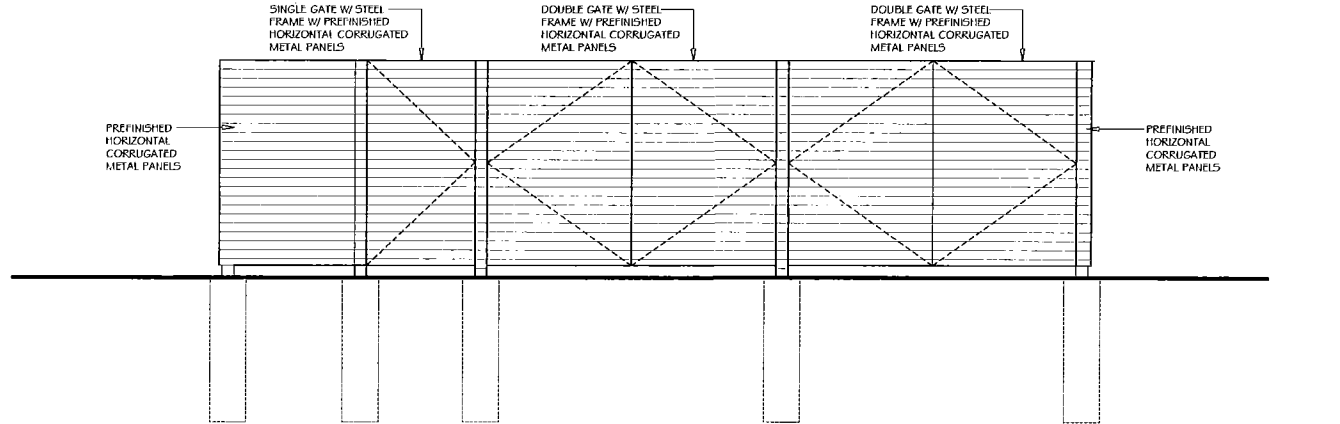
5 TRASH DUMPSTER ENCLOSURE NORTH (SIDE) ELEVATIONS
 3/8" = 1'-0"



4 TRASH DUMPSTER ENCLOSURE WEST (BACK) ELEVATION
 3/8" = 1'-0"



3 TRASH DUMPSTER ENCLOSURE SOUTH (SIDE) ELEVATIONS
 3/8" = 1'-0"



2 TRASH DUMPSTER ENCLOSURE FRONT (GATE) ELEVATION
 3/8" = 1'-0"

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3-SEASON PORCH ADDITION FOR OTTO'S RESTAURANT & BAR
 6405 MINERAL POINT RD
 MADISON, WISCONSIN 53705

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Δ	DATE	ISSUE

PROJECT NO
17014

DATE
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JM

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GENERAL NOTES - FLOOR PLAN:

- COORDINATE & SCHEDULE ALL NEW WORK W/ OWNER AND/ OR OCCUPANT USERS. PLEASE CONSTRUCTION AS REQUIRED TO ALLOW OPERATION OF NORMAL BUSINESS HOURS TO BE MAINTAINED.
- PROTECT ALL EXISTING CONSTRUCTION SCHEDULED TO REMAIN. RESTORE ALL AREAS DAMAGED DURING CONSTRUCTION TO ITS PREVIOUS CONDITION.
- PROTECT ALL NEW CONSTRUCTION FROM DAMAGE UNTIL ALL WORK IS COMPLETED. REPAIR OR REPLACE ALL DAMAGED ITEMS AS REQUIRED.
- COORDINATE W/ OWNER ON FINISH MATERIALS. MATCH EXISTING UNLESS DIRECTED OTHERWISE BY OWNER.
- MATCH EXISTING WALL CONSTRUCTION, UNLESS NOTED OTHERWISE (UNO).
- PATCH AND REPAIR EXISTING WALLS AT LOCATIONS OF WALL DEMOLITION. MATCH EXISTING MATERIALS AND FINISHES.
- SEE GROUND FLOOR PLAN/ FOUNDATION AND FOOTING PLAN ON SHEET A201.
- ALL NEW DOOR HARDWARE/ THRESHOLD TO BE ACCESSIBLE. DOORS TO HAVE ACCESSIBLE LEVER HANDLES AND ACCESSIBLE THRESHOLD.
- MULTIPLE MEMBER STRUCTURAL ELEMENTS SHALL BE FULLY LAMINATED PER MANUFACTURER'S RECOMMENDATIONS, PER NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, OR AS SPECIFIED.
- ALL STAIR FRAMING IS TO BE PRESSURE TREATED.
- PROVIDE SIMPSON STANDOFF POST BASE & POST CAPS FOR COLUMN CONNECTIONS AND SIMPSON FACE-MOUNT HANGERS FOR JOIST CONNECTIONS.

KEY NOTES - FLOOR PLAN:

- 1 NEW 6" THK CONC SLAB, SEE FIRST FLOOR PLAN.
- 2 NEW CONCRETE STAIRS, SEE FIRST FLOOR PLAN.
- 3 NEW SOLID SURFACE ACCESSIBLE INTEGRAL SINK AND COUNTER @ 34" AFF. WITH 4" BACK/ SIDE SPLASH.
- 4 REPLACE EXISTING AC WALL UNIT W/ NEW DUCT LESS SPLIT SYSTEM & PATCH WALL AS REQUIRED TO MATCH EXISTING FINISHES. CONDENSING UNIT TO SIT ON GRADE BELOW NEW EXTERIOR STAIR LANDING.
- 5 EXISTING EXIT LIGHT
- 6 EXISTING FURNITURE (APPROXIMATE) LAYOUT SHOWN FOR REFERENCE.
- 7 CONCRETE LANDING & STEPS. FIELD VERIFY EXACT HEIGHTS AS REQD TO MEET ADJACENT PARKING LOT HEIGHT. MAX. RISER = 7". MIN. TREAD = 11"

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3-SEASON PORCH ADDITION FOR OTTO'S RESTAURANT & BAR
 6405 MINERAL POINT RD
 MADISON, WISCONSIN 53705

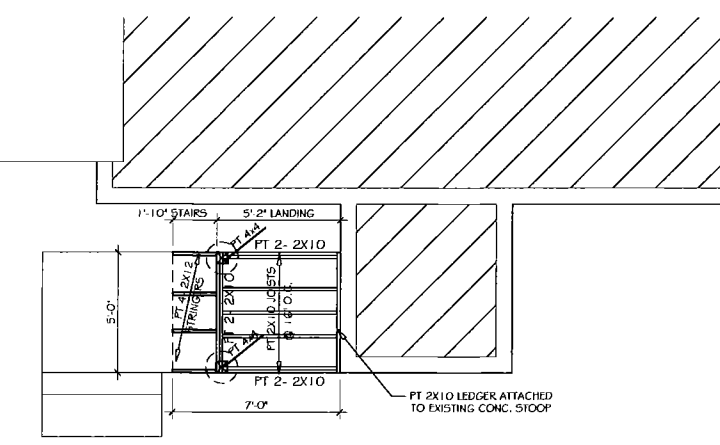
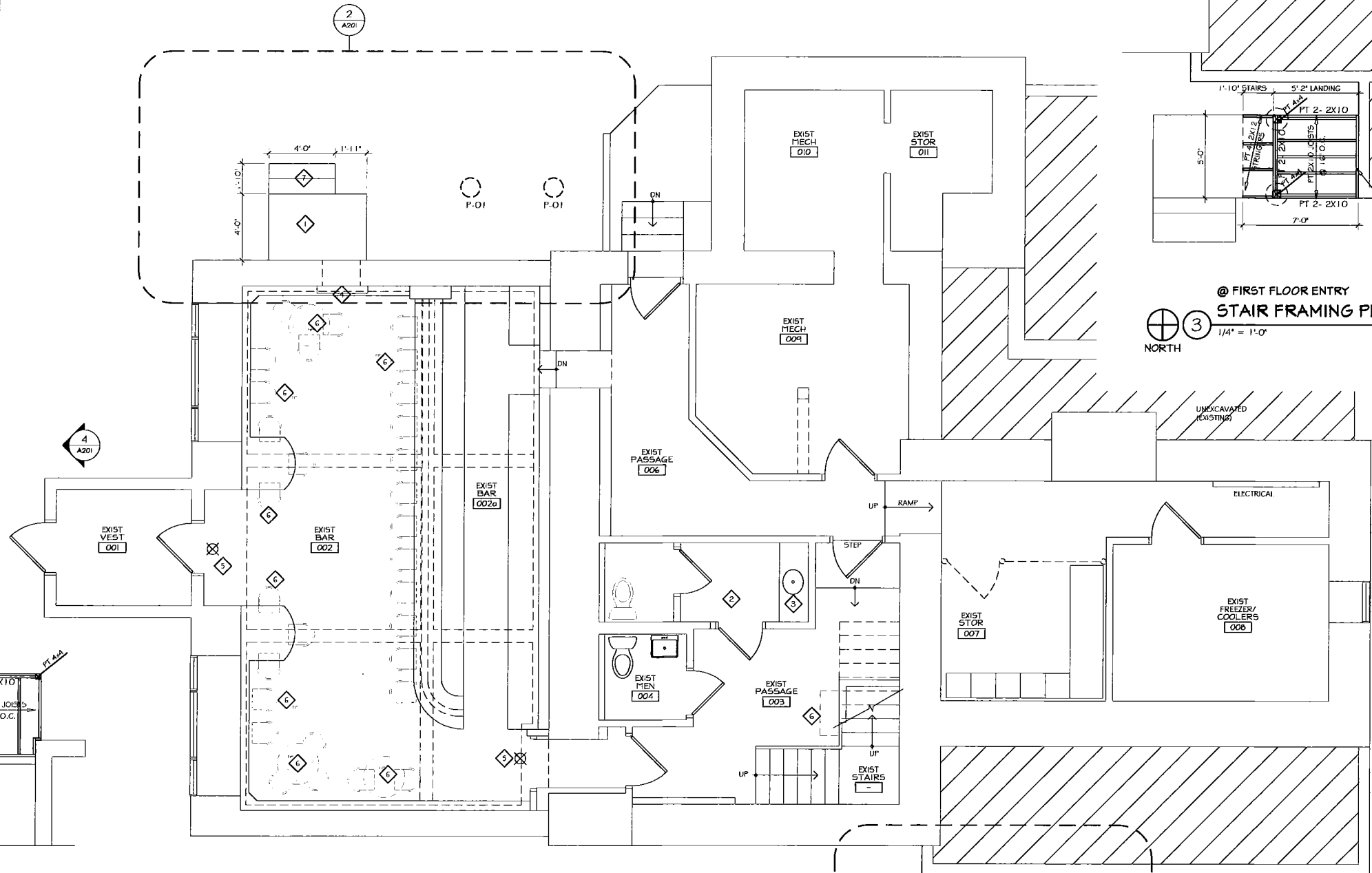
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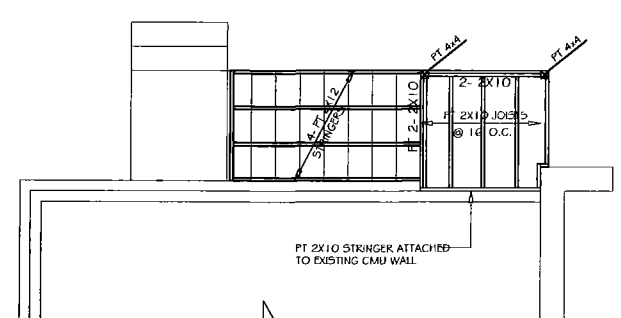
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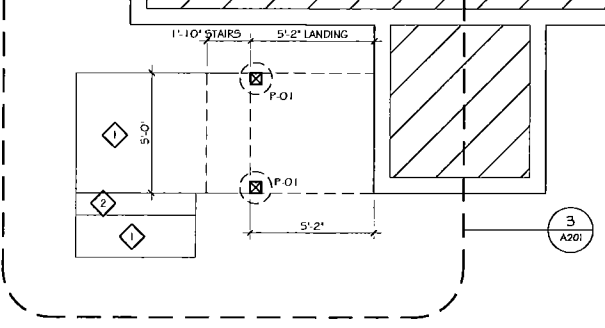
@ FIRST FLOOR ENTRY STAIR FRAMING PLAN
 1/4" = 1'-0"
 NORTH



@ PLAZA STAIRS STAIR FRAMING PLAN
 1/4" = 1'-0"
 NORTH

MARK	SIZE	REINFORCING
P-01	1'-4" DIA. x 4'-6" SONATUBE	X

CONSTRUCTION TYPE	FOOTINGS	FOUNDATIONS AND WALLS	INTERIOR SLABS	EXTERIOR SLABS
COMPRESSIVE STRENGTH(28 DAY)	3000 psi	3000 psi	3000 psi	4000 psi
MAX SLUMP	5 inches	5 inches	5 inches	5 inches
MAX AGGREGATE	1- 1/2 inch	3/4 inch	3/4 inch	3/4 inch
PORTLAND CEMENT	TYPE 1A AIR 6%	TYPE 1A AIR 6%	TYPE I	TYPE 1A AIR 6%
MIN CEMENT	5 bags/CuYd	5 bags/CuYd	5 bags/CuYd	6 bags/CuYd



GROUND FLOOR PLAN
 1/4" = 1'-0"
 NORTH

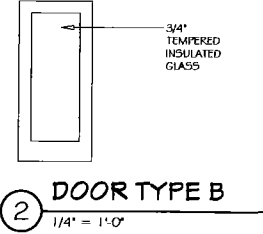
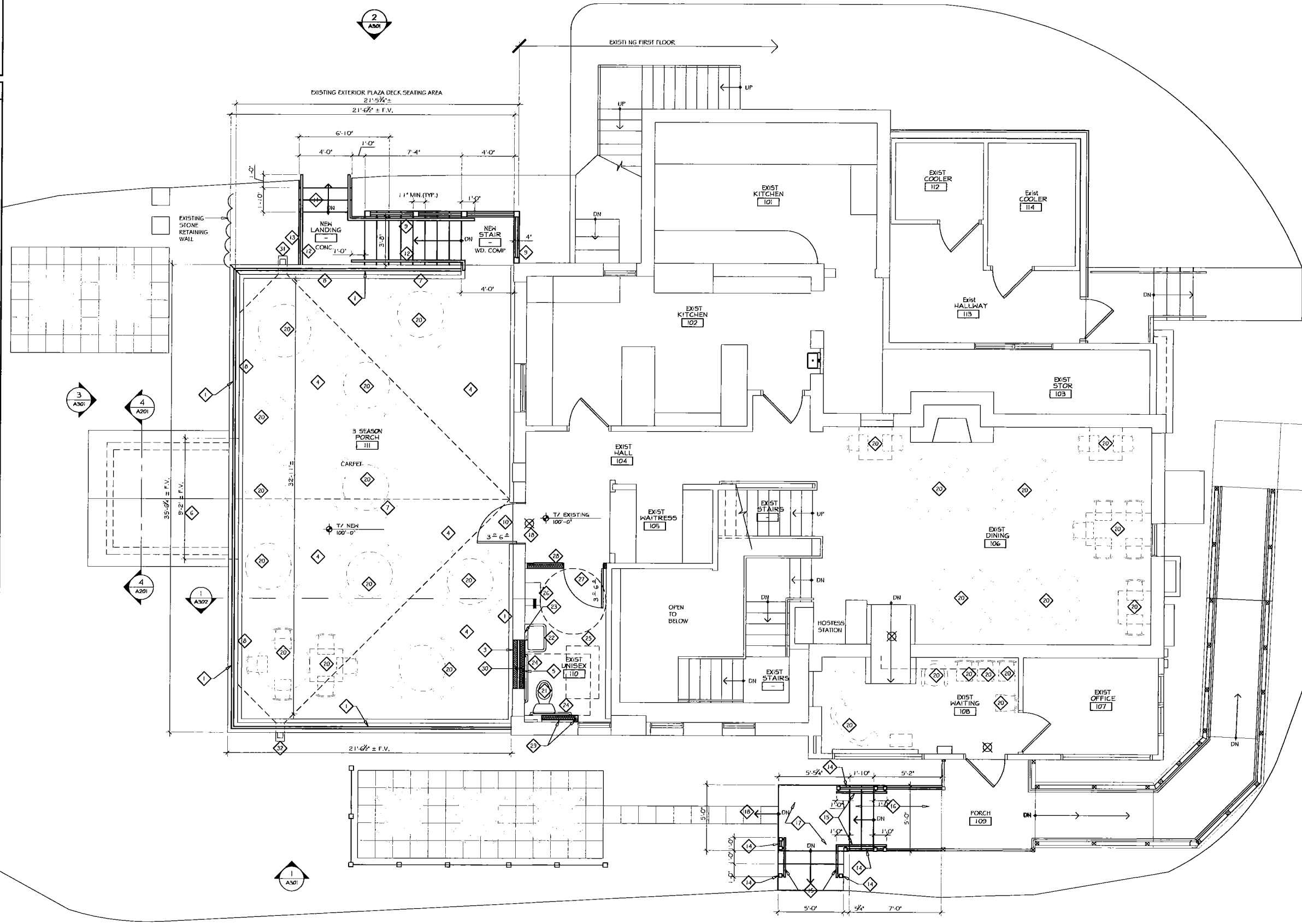
JAN 2017 PROJECTS\17014 BACHMANN OTTO'S 3 SEASON RHYM & DESIGN 8 TECHNICAL\17014-201-FR01(SCALE 48) DWG 01/02/2018 - 10:32 AM

GENERAL NOTES - FLOOR PLAN:

- COORDINATE & SCHEDULE ALL NEW WORK W/ OWNER AND/OR OCCUPANT USERS. THESE CONSTRUCTION AS REQUIRED TO ALLOW OPERATION OF NORMAL BUSINESS HOURS TO BE MAINTAINED.
- PROTECT ALL EXISTING CONSTRUCTION SCHEDULED TO REMAIN. RESTORE ALL AREAS DAMAGED DURING CONSTRUCTION TO ITS PREVIOUS CONDITION.
- PROTECT ALL NEW CONSTRUCTION FROM DAMAGE UNTIL ALL WORK IS COMPLETED. REPAIR OR REPLACE ALL DAMAGED ITEMS AS REQUIRED.
- COORDINATE W/ OWNER ON FINISH MATERIALS. MATCH EXISTING UNLESS DIRECTED OTHERWISE BY OWNER.
- MATCH EXISTING WALL CONSTRUCTION, UNLESS NOTED OTHERWISE (UNO).
- PATCH AND REPAIR EXISTING WALLS AT LOCATIONS OF WALL DEMOLITION. MATCH EXISTING MATERIALS AND FINISHES.
- SEE GROUND FLOOR PLAN FOUNDATION AND FOOTING PLAN ON SHEET A201.
- ALL NEW DOOR HARDWARE/ THRESHOLD TO BE ACCESSIBLE. DOORS TO HAVE ACCESSIBLE LEVER HANDLES AND ACCESSIBLE THRESHOLD.

KEY NOTES - FLOOR PLAN:

- NEW GUARDRAIL, SEE EXTERIOR ELEVATIONS
- NEW SCUPPER LOCATION, REVISE EXISTING TAPERED INSULATION AS NECESSARY TO RELOCATE SCUPPER. NEW SCUPPER TO HAVE PREFINISHED METAL DOWNSPOUT DOWN TO GRADE W/ SPLASHBLOCK.
- EXISTING METAL SCUPPER, REVISE TO PROVIDE NEW METAL SCUPPER W/ PREFINISHED METAL DOWNSPOUT DOWN TO GRADE W/ SPLASHBLOCK.
- NEW COMPOSITE DECK BOARDS OVER NEW FT WOOD FLOORING OVER NEW EPDM ROOF MEMBRANE. TOP OF NEW DECK TO MATCH EXISTING DECK HEIGHT OR EXISTING FIRST FLOOR (IF POSSIBLE).
- NEW FINISH ON RESTROOM SIDE TO MATCH EXISTING
- EXISTING RAISED PORTION OF EXISTING MASONRY CURB W/ NEW METAL WALL CAP
- NEW CURB, REUSE SALVAGED BRICK @ EXTERIOR AND NEW MASONRY ON INTERIOR TO MATCH EXISTING. PROVIDE NEW METAL WALL CAP
- EXISTING MASONRY CURB W/ NEW METAL WALL CAP
- COMPOSITE GUARDRAIL @ 42" MINIMUM ABOVE STAIR NOSING, AND STAIR LANDING. PAINTED METAL PIPE HANDRAIL INSIDE OF GUARD RAIL SYSTEM @ 34" ABOVE STAIR NOSING OR LANDINGS W/ 12" ADA EXTENSIONS BEYOND TOP AND BOTTOM RISER. PROVIDE 1" BETWEEN HANDRAIL AND GUARDRAIL. PROVIDE HANDRAIL SUPPORTS @ 48" MAX. SEE EXTERIOR ELEVATIONS.
- NEW EXTERIOR ENTRY DOOR W/ LEVER PANIC HARDWARE, 1 1/2 PAIR OF HINGES, WEATHERSTOPPING, THRESHOLD AND CLOSER. SEE 2/A201 FOR DOOR TYPE.
- FV EXISTING GRADES. NEW CONCRETE STAIR RISERS TO BE 7" MAXIMUM W/ 1" NOSING. SEE STAIR DETAILS.
- PAINTED METAL HANDRAIL @ 34" ABOVE STAIR NOSING OR LANDINGS W/ 12" ADA EXTENSIONS WHERE REQUIRED. PROVIDE 1" BETWEEN HANDRAIL AND GUARD RAIL. PROVIDE HANDRAIL SUPPORTS @ 48" MAX. SUPPORTS TO BE BRACKETS IN FOUNDATION WALL OR VERTICAL SUPPORTS DOWN TO STAIR TREADS.
- PROVIDE GUARDRAIL @ 42" ABOVE STAIR NOSING OR LANDING WHERE ANY LEVEL CHANGE GREATER THAN 30" IS CLOSER THAN 36" TO STAIR OR STAIR LANDING. PROVIDE HANDRAIL AT STAIRS INSTEAD OF GUARD RAIL W/ 12" EXTENSION AT TOP AND BOTTOM OF STAIRS. SEE NOTE 12.
- PROVIDE 36" HIGH ALUMINUM GUARDRAIL, MATCH EXISTING. IF GRADE IS MORE THAN 30" BELOW NEW LANDING OR NEW STAIR WITHIN 36" OF STAIR OR LANDING PROVIDE A 42" HIGH GUARD RAIL. FIELD VERIFY.
- WOOD HANDRAIL, MATCH EXISTING. HANDRAIL TO BE 34" ABOVE STAIR NOSING OR LANDINGS W/ 12" EXTENSIONS BEYOND TOP AND BOTTOM RISERS. PROVIDE 1" BETWEEN HANDRAIL AND GUARD RAIL. PROVIDE HANDRAIL SUPPORTS @ 48" MAX. THE SUPPORTS TO BE BRACKETS IN NEVEL POSTS TO MATCH EXISTING PREFINISHED ALUMINUM POSTS.
- NEW FT WOOD FRAMED LANDING W/ COMPOSITE DECK BOARDS AND FT WOOD FRAMED STAIRS W/ COMPOSITE DECK BOARDS. NEW STAIRS RISERS TO BE MAXIMUM OF 7" AND TREADS TO BE MIN. OF 11" W/ 1" NOSING. SEE GROUND FLOOR PLAN FOR FOUNDATION INFORMATION AND LANDING/STAIR SECTIONS.
- NEW 6" THK CONCRETE SLAB ON GRADE LANDING AND SLAB ON GRADE CONCRETE STAIRS. NEW STAIRS RISERS TO BE MAXIMUM OF 7" AND TREADS TO BE MIN. OF 11" W/ 1" NOSING. FIELD VERIFY GRADE.
- PATCH AND REPAIR EXISTING PATH WHERE AFFECTED BY NEW CONSTRUCTION
- EXISTING EXIT LIGHT
- EXISTING FURNITURE (APPROXIMATE) LAYOUT SHOWN FOR REFERENCE
- NEW ACCESSIBLE TOILET (WC), SEE DETAIL 2/A203
- NEW WALL MOUNTED SINK, SEE DETAIL 2/A203
- NEW 30" X 48" MIRROR OR RELOCATE EXISTING MIRROR ABOVE SINK, SEE 2/A203
- NEW 42", 36" AND 18" GRAB BARS, SEE DETAIL 2/A203 FOR LOCATION AND HEIGHTS. PROVIDE WOOD BLOCKING IN WALLS AS REQUIRED TO SUPPORT GRAB BARS.
- PROVIDE NEW CERAMIC TILE FLOOR AND BASE. VERIFY W/ OWNER. PATCH AND REPAIR EXISTING WALLS WHERE AFFECTED BY NEW CONSTRUCTION. PAINT WALLS AND CEILINGS.
- PROVIDE NEW PAPER TOWEL DISPENSER, TRASH RECEPTACLE, SOAP DISPENSER. COORDINATE LOCATIONS W/ OWNER. SEE DETAIL 3/A203 FOR MOUNTING HEIGHT.
- NEW WOOD DOOR TO MATCH EXISTING EXCEPT FOR SIZE. SEE FLOOR PLAN. MATCH EXISTING HARDWARE BUT PROVIDE LEVER PRIVACY LOCKSET. MATCH EXISTING WOOD CASING.
- PATCH AND REPAIR WHERE AFFECTED BY NEW CONSTRUCTION. MATCH EXISTING WALLS, AND BASE. NEW WALLS TO BE 2X4 WOOD STUDS @ 16" OC (MATCH EXISTING), MATCH EXISTING FINISHES. PROVIDE 3" SOUND BATT.
- FUR OUT BEHIND WC WITH NEW WALLS W/ PARTIAL HEIGHT 2X4 WOOD STUDS @ 16" OC, AND 5/8" GWB ON ROOM SIDE FOR 36" GRAB BAR. TOP OF WALL TO BE 4'-6" AFF AND CAPPED WITH 3/4" SOLID SURFACE MATERIAL.
- INFILL W/ AIR AND WATER BARRIER OVER 7/16" FLYWR, OVER 2X4 WOOD STUDS @ 16" OC AND R15 BATT INSUL. W/ 6 MIL VR ON INSIDE OF STUDS, AND 5/8" GWB ON INTERIOR SIDE.
- NEW PREFINISHED METAL SCUPPER LOCATION W/ PREFINISHED METAL DOWNSPOUT AND CONC. SPLASH BLOCK. REVISE EXISTING TAPERED RIGID INSULATION TO DRAIN TO NEW LOCATION.
- NEW PREFINISHED METAL SCUPPER AT EXISTING LOCATION W/ PREFINISHED METAL DOWNSPOUT AND CONC. SPLASH BLOCK.



FIRST FLOOR PLAN
1/4" = 1'-0"
NORTH

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3-SEASON PORCH ADDITION FOR OTTO'S RESTAURANT & BAR
6405 MINERAL POINT RD
MADISON, WISCONSIN 53705

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3-SEASON PORCH ADDITION FOR:
OTTO'S RESTAURANT & BAR
6405 MINERAL POINT RD
MADISON, WISCONSIN 53705

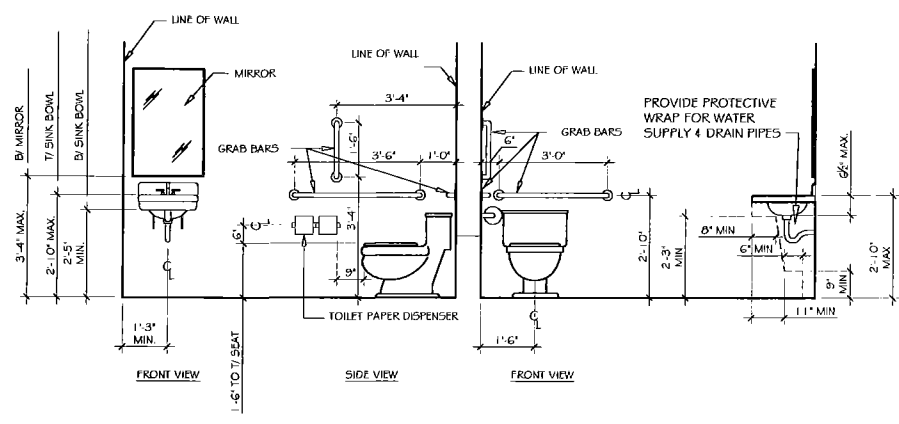
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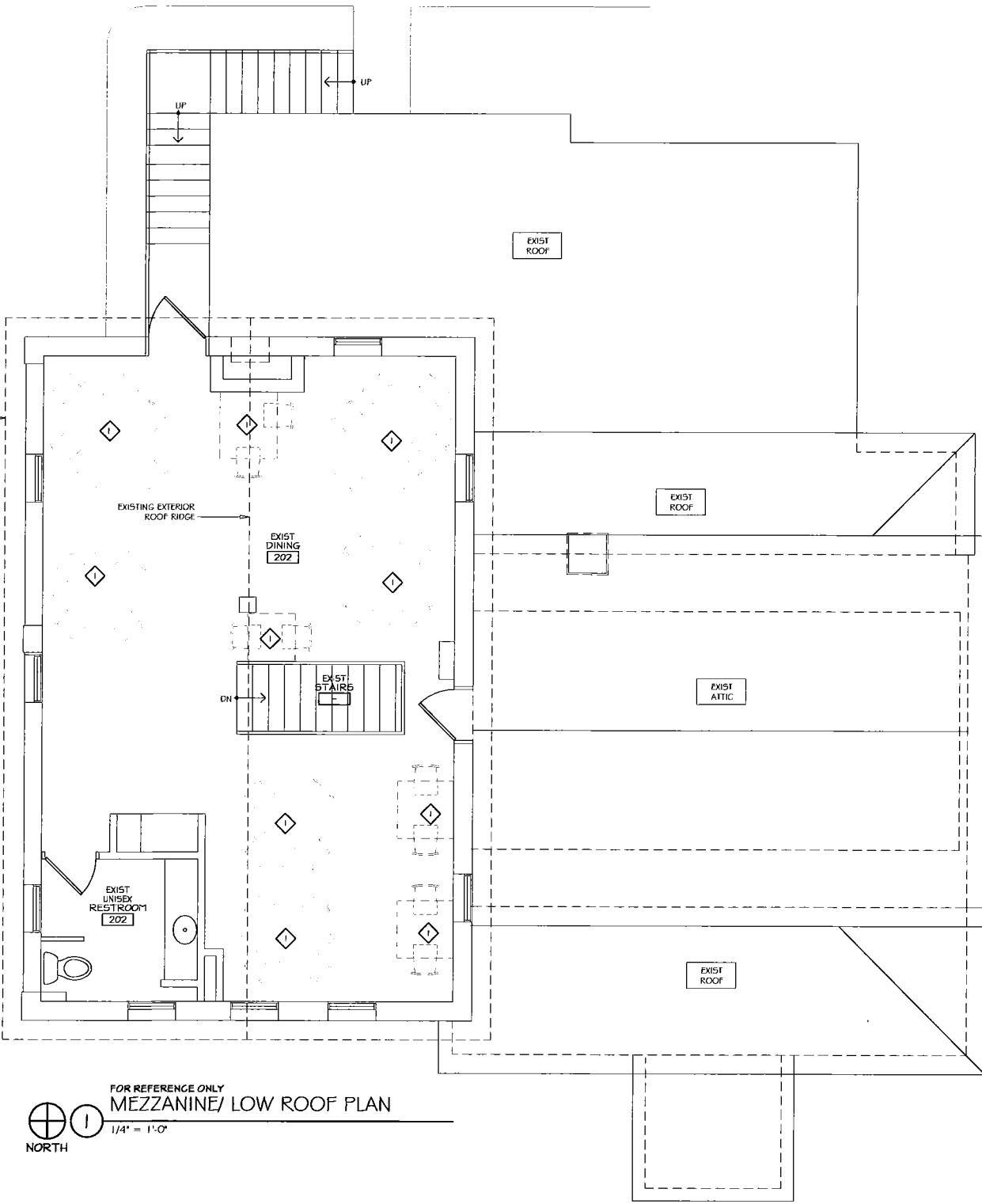


2 TYPICAL ADA TOILET ROOM MOUNTING HEIGHTS
3/8" = 1'-0"

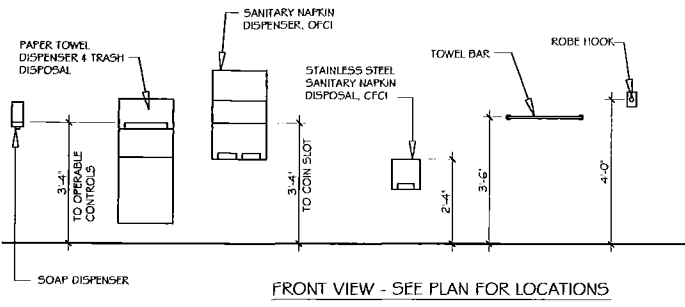
OTTO'S RESTAURANT AND BAR							
7. EXITING: OCCUPANT LOAD AND MEANS OF EGRESS							
REQUIRED:		PROVIDED:			CODE SECTION:		
TOTAL NUMBER OF EXITS	(2) @ 36" WIDE REQUIRED FROM FIRST FLOOR	(3) @ 36" PROVIDED FOR FIRST FLOOR				1008, 1019	
NUMBER OF EXITS FROM PROJ. AREA	(1) @ 36" REQUIRED FROM NEW 3 SEASON PORCH	(2) @ 36" PROVIDED				1008, 1015	
REQUIRED EXIT WIDTH	SPACE DESIGNATION	FLOOR AREA (SQ. FT.)	SQ. FT. / OCCUPANT	NO. OF OCCUPANTS	WIDTH FACTOR	WIDTH REQUIRED	WIDTH PROVIDED
CODE SECTIONS: 1003, 1004 & 1005	BAR SEATING 002	321	15	21	.2	4.2'	(2) - 36"
	BAR 002	76	200	1	.2	0.2	36"
	MISCIT 103/110	227	300	1	.2	0.2	36"
	STORAGE 111	49	300	1	.2	0.2	36"
	STORAGE 107	85	300	1	.2	0.2	36"
	TOTAL GRD FLOOR	-	-	26	.2	5.2'	(2) - 36"
	KITCHEN 101	185	200	1	.2	0.6'	36"
	KITCHEN 102	228	200	2	.2	0.6'	36"
	STORAGE 103	109	300	1	.2	0.2'	36"
	WAITRESS 105	42	200	1	.2	0.2'	36"
DINING 106	344	15	23	.2	4.6'	(3) - 36"	
WAITING 108	100	5	20	.2	4.0'	(2) - 36"	
OFFICE 107	75	100	1	.2	0.2'	36"	
EXISTING PLAZA 111	695	15	47	.2	9.4'	(2) - 36"	
TOTAL FIRST FLOOR	-	-	96	.2	19.2'	(3) - 36"	
SEATING 202	565	15	38	.2	7.6'	(2) - 36"	
TOTAL SECOND FLOOR	-	-	38	.2	7.6'	(2) - 36"	
TOTAL EXISTING BUILDING	-	-	160	.2	32	(3) - 36"	
OCCUPANCY PER SEATING LAYOUT							
EXISTING BUILDING	-	-	110	.2	22	(3) - 36"	
EXISTING PLAZA	-	-	40	.2	8'	(2) - 36"	
TOTAL EXIST BUILDING	-	-	150	.2	30'	(3) - 36"	

GENERAL NOTES - ROOF PLAN:
1. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE. REFER TO SECTIONS AND DETAILS FOR EAVE AND FASCIA CONDITIONS.

KEY NOTES - ROOF PLAN:
◇ EXISTING APPROXIMATE FURNITURE LAYOUT SHOWN FOR REFERENCE

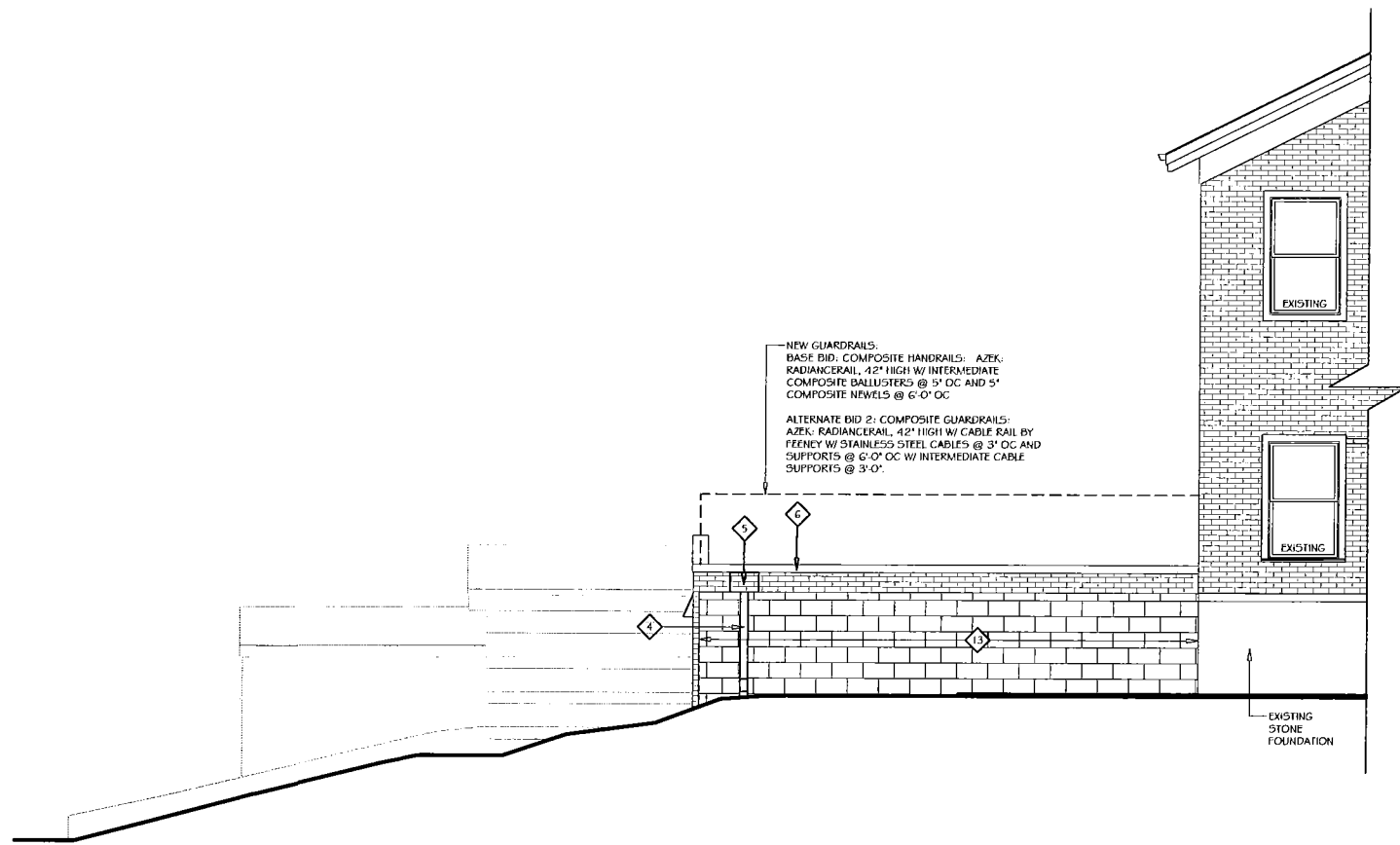


FOR REFERENCE ONLY
MEZZANINE/ LOW ROOF PLAN
1/4" = 1'-0"
NORTH

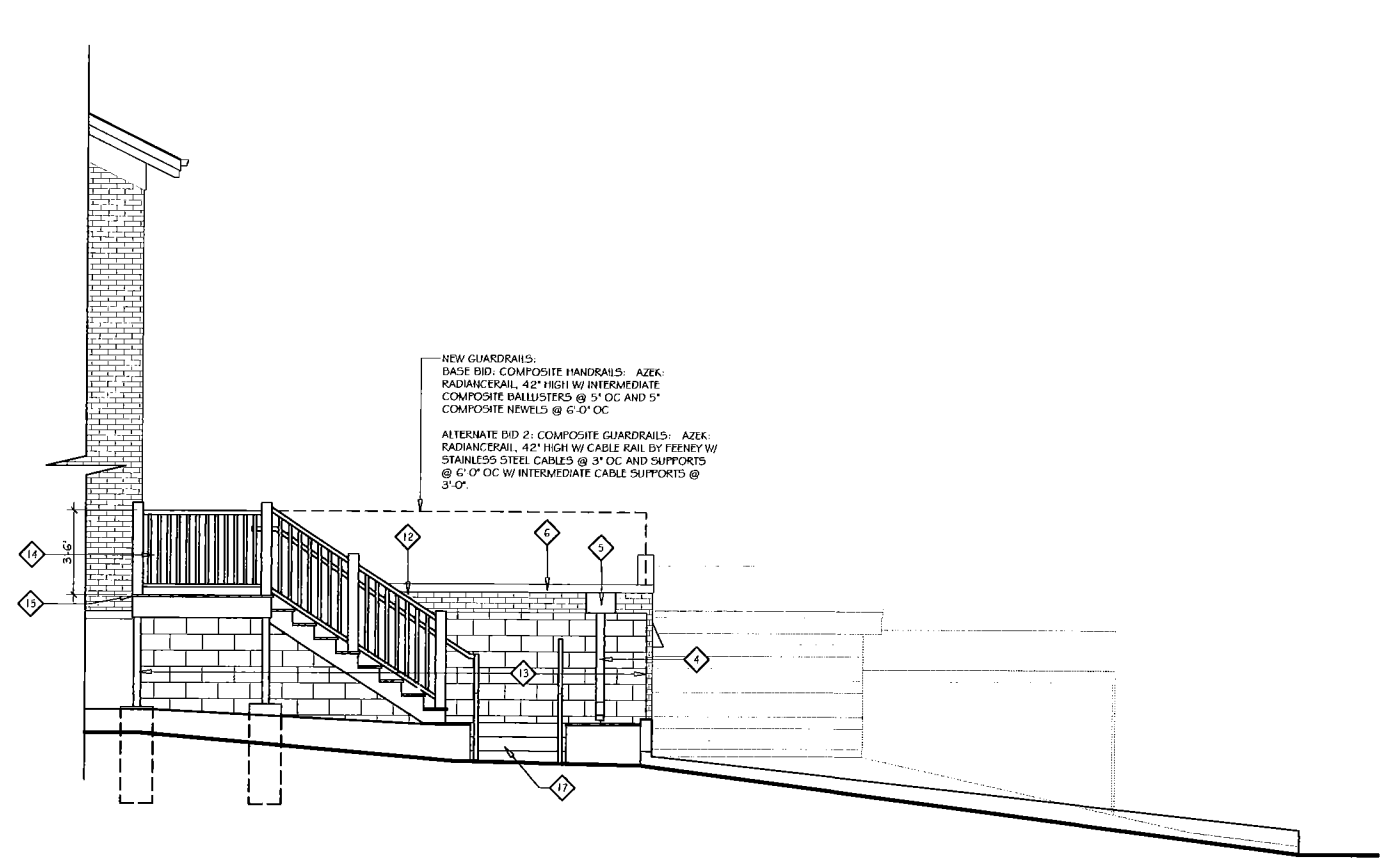


3 TYPICAL ADA WALL MOUNTED ACCESSORIES
3/8" = 1'-0"

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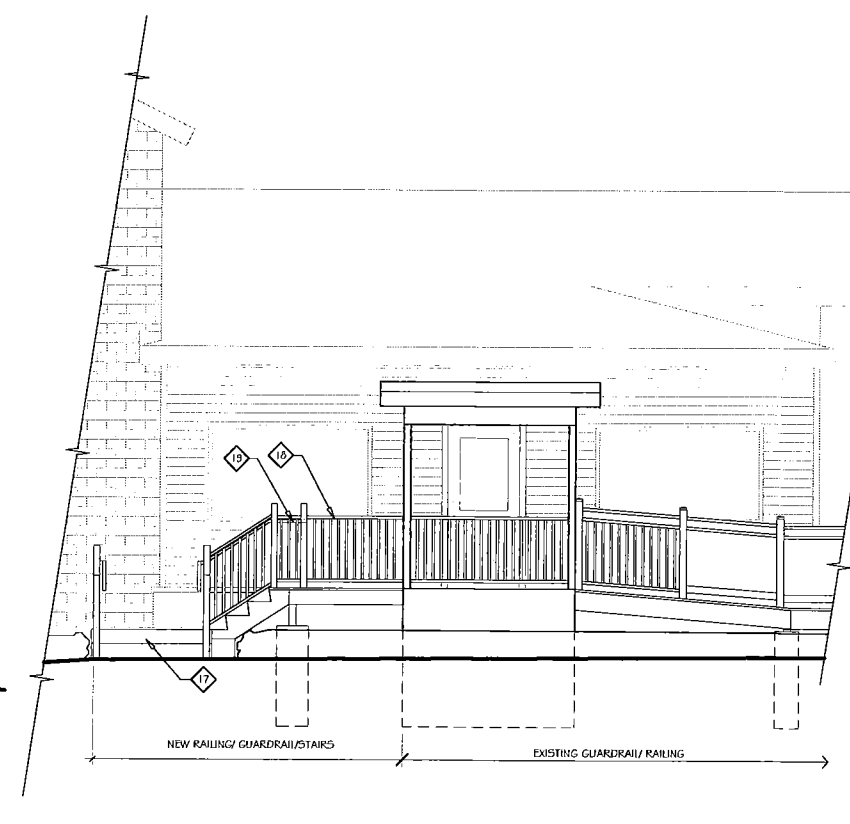
1 PARTIAL NORTH ELEVATION
1/4" = 1'-0"



2 PARTIAL SOUTH ELEVATION
1/4" = 1'-0"



3 PARTIAL EAST ELEVATION
1/4" = 1'-0"



4 STAIRS @ FIRST FLOOR MAIN ENTRY
PARTIAL NORTH ELEVATION
1/4" = 1'-0"

- GENERAL NOTES - EXTERIOR ELEVATIONS:**
- COORDINATE & SCHEDULE ALL NEW WORK W/ OWNER AND/OR OCCUPANT USERS. PHASE CONSTRUCTION AS REQUIRED TO ALLOW OPERATION OF NORMAL BUSINESS HOURS TO BE MAINTAINED.
 - RESTORE ALL MATERIALS AND ITEMS SCHEDULED TO REMAIN THAT ARE DAMAGED DUE TO WORK. ANY NEW MATERIALS USED ARE TO MATCH EXISTING MATERIALS, CONFIGURATION AND FINISHES.

- KEY NOTES - EXTERIOR ELEVATIONS:**
- 1 OMIT, NOT USED.
 - 2 OMIT, NOT USED.
 - 3 OMIT, NOT USED.
 - 4 PF ALUM. GUTTER, WHITE TO MATCH EXIST.
 - 5 NEW PREFINISHED METAL SCUPPER (NEW LOCATION)
 - 6 NEW PREFINISHED METAL WALL CAP (EXISTING CURB)
 - 7 OMIT, NOT USED.
 - 8 OMIT, NOT USED.
 - 9 OMIT, NOT USED.
 - 10 OMIT, NOT USED.
 - 11 OMIT, NOT USED.
 - 12 REINSTALL SALVAGED BRICK VENEER TO ORIGINAL HEIGHT
 - 13 BASE BID: CEMENTITIOUS COATING OVER EXISTING CMU BLOCK, COLOR AS SELECTED BY OWNER.
ALTERNATE BID 1: NEW THIN VENEER STONE OVER EXISTING CMU BLOCK W/ LIMESTONE CAP. (STONE NOT SHOWN). SEE WALL SECTIONS.
 - 14 NEW GUARDRAILS @ STAIRS
BASE BID: COMPOSITE HANDRAILS: AZEK, RADIANCE RAIL, 42" HIGH W/ INTERMEDIATE COMPOSITE BALLUSTERS @ 5' OC AND 5" COMPOSITE NEWELS @ 6'-0" OC.
ALTERNATE BID 1: PROVIDE METAL HANDRAILS W/ BRACKETS AT EVERY NEWEL, HANDRAILS TO CONTINUE 12" MIN. BEYOND TOP AND BOTTOM RAIL.
 - 15 ALTERNATE BID 2: COMPOSITE GUARDRAILS: AZEK, RADIANCE RAIL, 42" HIGH W/ INTERMEDIATE COMPOSITE BALLUSTERS @ 5' OC AND 5" COMPOSITE NEWELS @ 6'-0" OC. PROVIDE METAL HANDRAILS W/ BRACKETS AT EVERY NEWEL, HANDRAILS TO CONTINUE 12" MIN. BEYOND TOP AND BOTTOM RAIL.
COMPOSITE DECK BOARDS, TREADS 4 RISERS @ STAIR, COLOR TBD
 - 16 OMIT, NOT USED.
 - 17 CONCRETE SLAB ON GRADE LANDING 4 STAIR.
 - 18 36" HIGH GUARDRAIL ABOVE LANDING OR STAIR NOSING (IF GRADE IS MORE THAN 30" LOWER THAN STAIRS, OR LANDING WITHIN 36" OF STAIR OR LANDING THE GUARDRAIL NEEDS TO BE 42" ABOVE STAIR OR STAIR NOSING MATCH EXISTING).
 - 19 1 1/2" DIA HANDRAIL ON STAIR SIDE OF GUARDRAIL AND 34" ABOVE LANDING OR STAIR NOSING.

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BID SET
NOT FOR CONSTRUCTION

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3-SEASON PORCH ADDITION FOR:
OTTO'S RESTAURANT & BAR
6405 MINERAL POINT RD
MADISON, WISCONSIN 53705

REVISIONS		
DATE	ISSUE	

PROJECT NO
17014

DATE
1/27/17

DRAWN BY
JIM

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