

SCHEMATIC DESIGN

827 E GORHAM ST

827 E GORHAM ST
MADISON WI 53703

KAHLER SLATER PROJECT: 217014.00
01/31/18

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Revisions

SCHEMATIC DESIGN

SCOPE DOCUMENTS

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827 E GORHAM ST

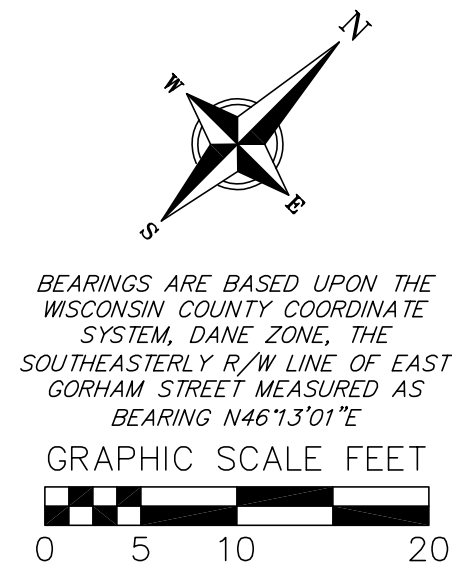
827 E GORHAM ST
MADISON WI 53703

Project No. 700 EAST LLC
217014.00

Sheet Title
COVER SHEET

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Telephone 414.272.2000 Fax 414.272.2001
44 East Millin Street, Suite 700, Madison, Wisconsin 53703
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Sheet No.
G000



BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE ZONE; THE SOUTHEASTERLY R/W LINE OF EAST GORHAM STREET MEASURED AS BEARING N46°13'01"E



Dial 811 or (800) 242-8511

www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

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SURVEYED FOR:
DCH PROPERTIES, LLC
C/O SELECT PUBLISHING
CHRIS HOUDEN
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MADISON, WI 53717
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PROJECT BENCHMARK:

- ① BENCHMARK 1 — ELEV.=857.50':
TOP NUT OF FIRE HYDRANT LOCATED NORTHWESTERLY OF AND ACROSS THE STREET FROM 827 EAST GORHAM STREET.
- ② BENCHMARK 2 — ELEV.=853.92':
SANITARY MANHOLE AT 827 EAST GORHAM STREET.

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING SIGN
EXISTING SANITARY MANHOLE
EXISTING FIRE HYDRANT
EXISTING WATER MAIN VALVE
EXISTING CURB STOP
BENCHMARK (SEE BENCHMARK NOTES)
EXISTING GAS METER
EXISTING UTILITY POLE
EXISTING DECIDUOUS TREE

SURVEY LEGEND

- ① FOUND 1" Ø IRON PIPE
● FOUND 3/4" Ø IRON ROD

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING GAS LINE
EXISTING 8" PVC SANITARY SEWER LINE
EXISTING 8" D.I. WATER MAIN
EXISTING 1" WATER SERVICE
EXISTING OVERHEAD ELECTRIC
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING PROPERTY LINE
PLAT BOUNDARY
ADJOINER PROPERTY
EXISTING ACCESS EASEMENT

TOPOGRAPHIC HATCHING LEGEND

- CONCRETE PAVEMENT/SIDEWALK/PAD
GRAVEL
EXISTING BUILDING

DESCRIPTION:

Lot 5 of Block 140 of the Original Plat, located in the NE¼ of the SW¼ of Section 13, Township 07 North, Range 09 East, City of Madison, Dane County, Wisconsin.

NOTES:

- The parcel surveyed contain 0.20 Acres or 8,781 sq. ft. more or less.
- This survey was prepared based upon information provided in the Title Commitment No. NCS-884204-MAD from First American Title Insurance Company, Effective date, December 16, 2017 at 7:00 a.m.
- This survey is based upon field survey work performed ON December 22, 2017. Any changes in site conditions after December 22, 2017 are not reflected by this survey.
- Elevations depicted on this survey are based upon NAVD88 Datum.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
- Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20175201038. Location of buried private utilities are not within the scope of this survey.

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Schematic Design

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EXISTING CONDITIONS

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


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Sheet No.

C-1.0



-  ASPHALT REMOVAL
 CONCRETE REMOVAL
 GRAVEL REMOVAL
 TREE REMOVAL
 SAWCUT
 CURB AND GUTTER REMOVAL



















TOPOGRAPHIC HATCHING LEGEND

-  CONCRETE PAVEMENT/SIDEWALK/PAVEMENT
 ASPHALT PAVEMENT
 GRAVEL
 EXISTING BUILDING

TOPOGRAPHIC LINEWORK LEGEND

- | | | |
|--------|-------|------------------------------------|
| FO | FO | EXISTING FIBER OPTIC LINE |
| G | G | EXISTING GAS LINE |
| USE | USE | EXISTING UNDERGROUND ELECTRIC LINE |
| OHE | OHE | EXISTING OVERHEAD ELECTRIC |
| SAN 6 | SAN 6 | EXISTING 6" SANITARY SEWER LINE |
| SAN 10 | | EXISTING 10" SANITARY SEWER LINE |
| SAN 15 | | EXISTING 15" SANITARY SEWER LINE |
| ST 12 | ST 12 | EXISTING 12" STORM SEWER LINE |
| ST 18 | ST 18 | EXISTING 18" STORM SEWER LINE |
| ST 48 | ST 48 | EXISTING 48" STORM SEWER LINE |
| ST 54 | ST 54 | EXISTING 54" STORM SEWER LINE |
| WM 12 | WM 12 | EXISTING 12" D.I. WATER MAIN |
| WM 10 | WM 10 | EXISTING 10" D.I. WATER MAIN |
| WM | WM | EXISTING 1" WATER SERVICE |
| B20 | | EXISTING MAJOR CONTOUR |
| B15 | | EXISTING MINOR CONTOUR |
| | | EXISTING PROPERTY LINE |
| | | PROPERTY BOUNDARY |
| | | ADJOINER PROPERTY |

TOPOGRAPHIC SYMBOL LEGEND

- | | |
|---|-------------------------------------|
| | EXISTING SIGN |
|  | EXISTING CURB INLET |
|  | EXISTING FIELD INLET |
|  | EXISTING STORM MANHOLE |
|  | EXISTING SANITARY MANHOLE |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING WATER MAIN VALVE |
|  | EXISTING LIGHT POLE |
|  | EXISTING UNIDENTIFIED UTILITY VAULT |
|  | EXISTING CURB STOP |
|  | BENCHMARK (SEE BENCHMARK NOTES) |
|  | EXISTING BOLLARD |
|  | EXISTING GAS VALVE |
|  | EXISTING GAS METER |
|  | EXISTING ELECTRIC METER |
|  | EXISTING UTILITY POLE |
|  | EXISTING UNIDENTIFIED MANHOLE |
|  | EXISTING POST |
|  | EXISTING DECIDUOUS TREE |

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DEMOLITION PLAN

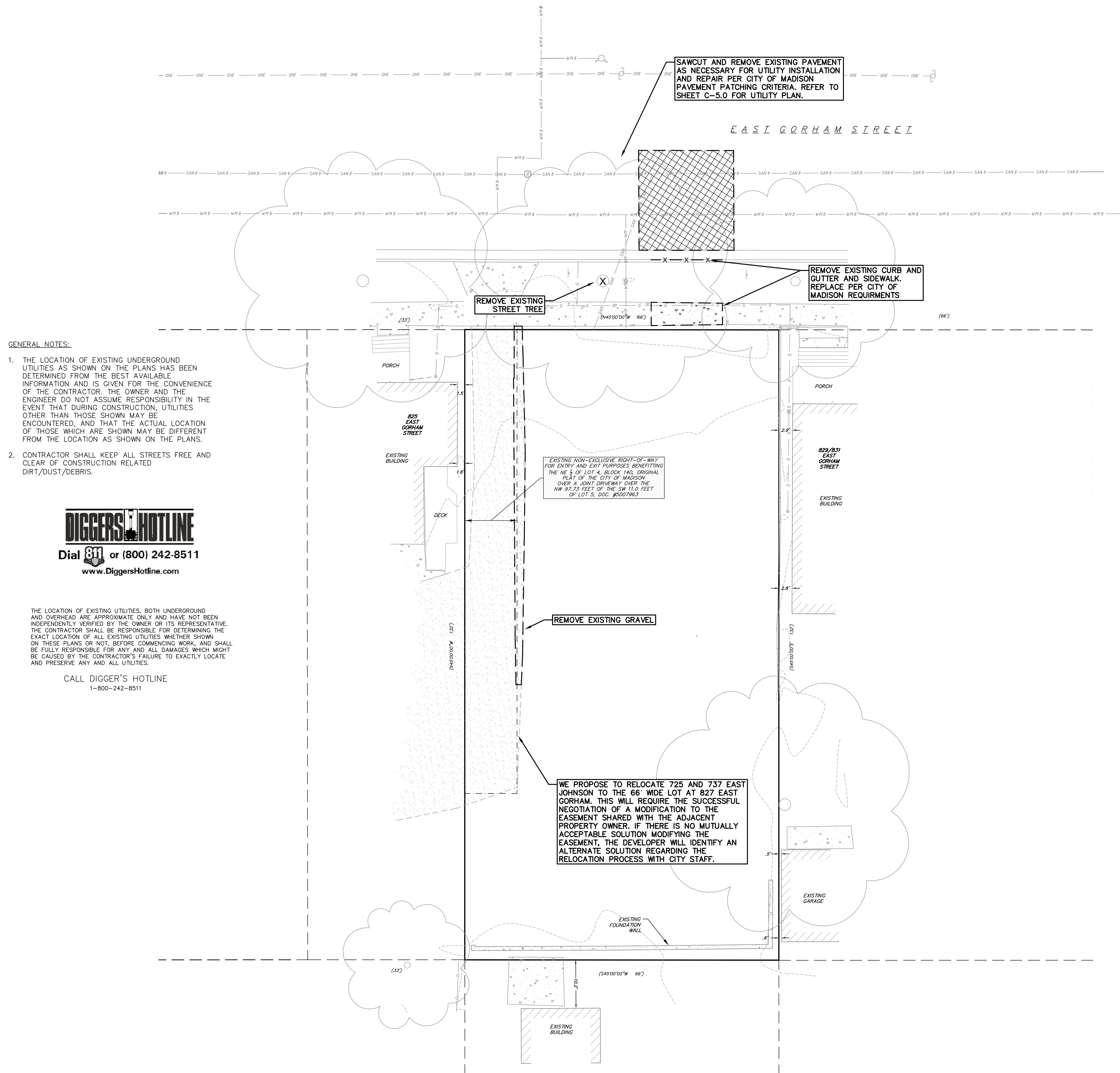
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C-2.0



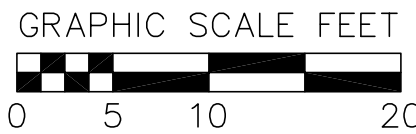
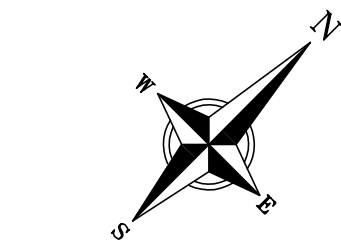
GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.



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SITE PLAN LEGEND

	PROPERTY BOUNDARY
	CURB AND GUTTER
	ACCESSIBLE ROUTE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED ASPHALT PAVEMENT
	PROPOSED GRAVEL

TOPOGRAPHIC SYMBOL LEGEND

	EXISTING SIGN
	EXISTING CURB INLET
	EXISTING FIELD INLET
	EXISTING STORM MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER MAIN VALVE
	EXISTING LIGHT POLE
	EXISTING UNIDENTIFIED UTILITY VAULT
	EXISTING CURB STOP
	BENCHMARK (SEE BENCHMARK NOTES)
	EXISTING BOLLARD
	EXISTING GAS VALVE
	EXISTING GAS METER
	EXISTING ELECTRIC METER
	EXISTING UTILITY POLE
	EXISTING UNIDENTIFIED MANHOLE
	EXISTING POST
	EXISTING DECIDUOUS TREE

SITE CONSTRUCTION NOTES:

- CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
- CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

RELOCATION NOTE:

WE PROPOSE TO RELOCATE 725 AND 737 EAST JOHNSON TO THE 66' WIDE LOT AT 827 EAST GORHAM. THIS WILL REQUIRE THE SUCCESSFUL NEGOTIATION OF A MODIFICATION TO THE EASEMENT SHARED WITH THE ADJACENT PROPERTY OWNER. IF THERE IS NO MUTUALLY ACCEPTABLE SOLUTION MODIFYING THE EASEMENT, THE DEVELOPER WILL IDENTIFY AN ALTERNATE SOLUTION REGARDING THE RELOCATION PROCESS WITH CITY STAFF.

LAND USE SUMMARY

EXISTING HOUSING RELOCATED TO SITE	2 HOUSES, 4 UNITS
NEW PARKING	324 GSF, 2 STALLS
LOT SIZE	0.20 ACRES
LOT COVERAGE	3,604 SF
USEABLE OPEN SPACE	4,371 SF

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Schematic Design

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SITE PLAN

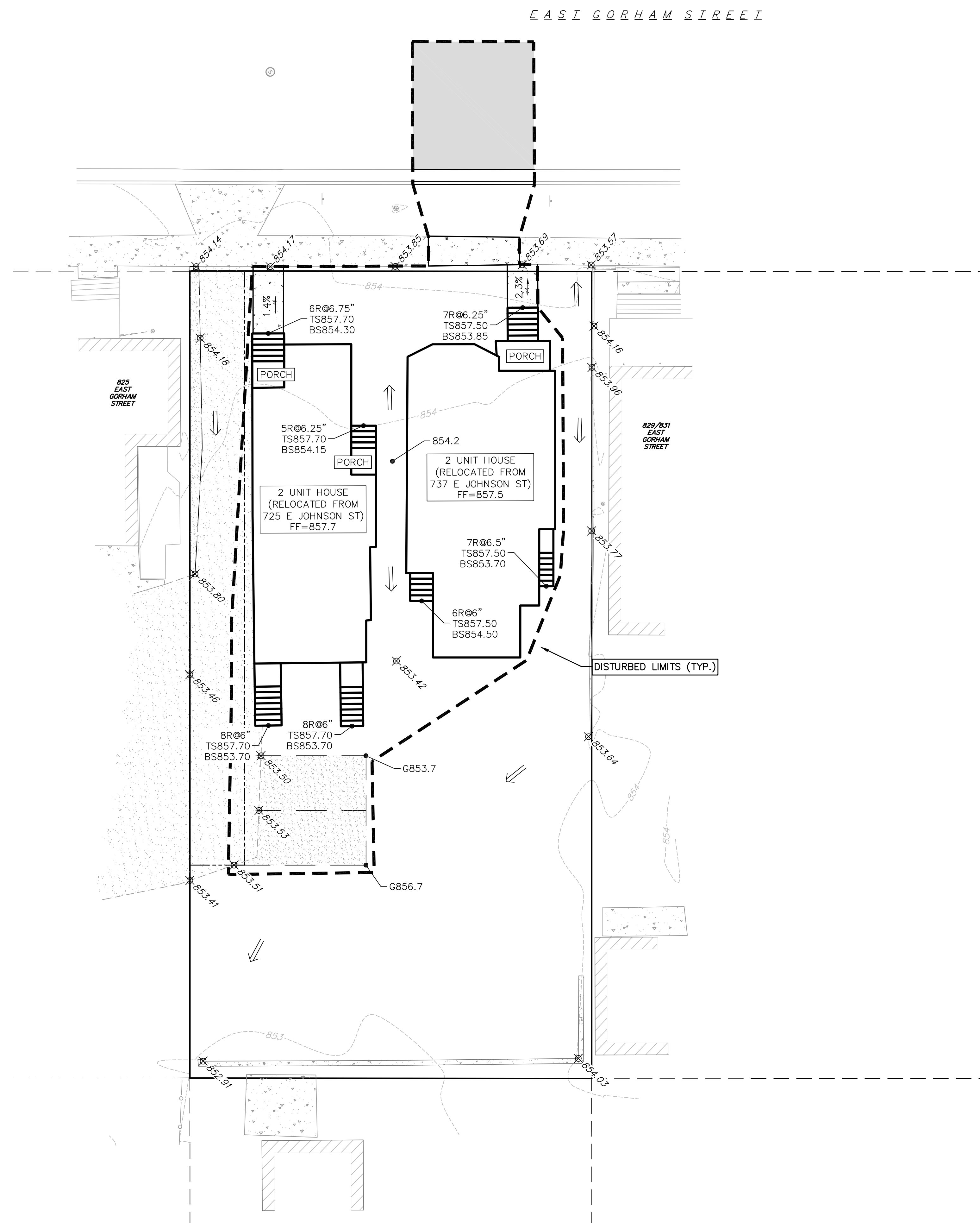
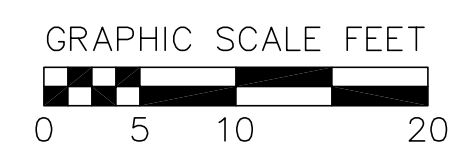
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C-3.0



GRADING LEGEND

- | | |
|-------------|--------------------------|
| — — 820 — — | EXISTING MAJOR CONTOURS |
| — — 818 — — | EXISTING MINOR CONTOURS |
| — — — — | LIMITS OF DISTURBANCE |
| ⇒ | DRAINAGE DIRECTION |
| 2.92% | PROPOSED SLOPE ARROWS |
| ⊕ 1048.61 | EXISTING SPOT ELEVATIONS |
| ● 1048.61 | PROPOSED SPOT ELEVATIONS |

ABBREVIATIONS

- FF - FINISHED FLOOR
G - GRAVEL
R - RISER
TS - TOP OF STEP
BS - BOTTOM OF STEP

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GRADING PLAN

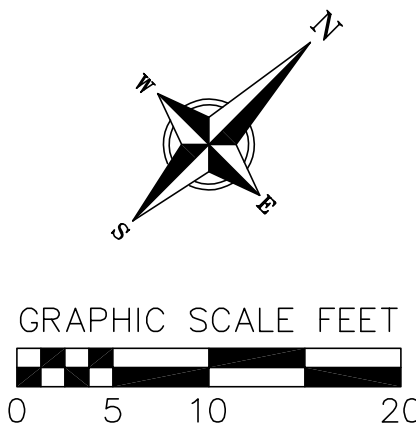
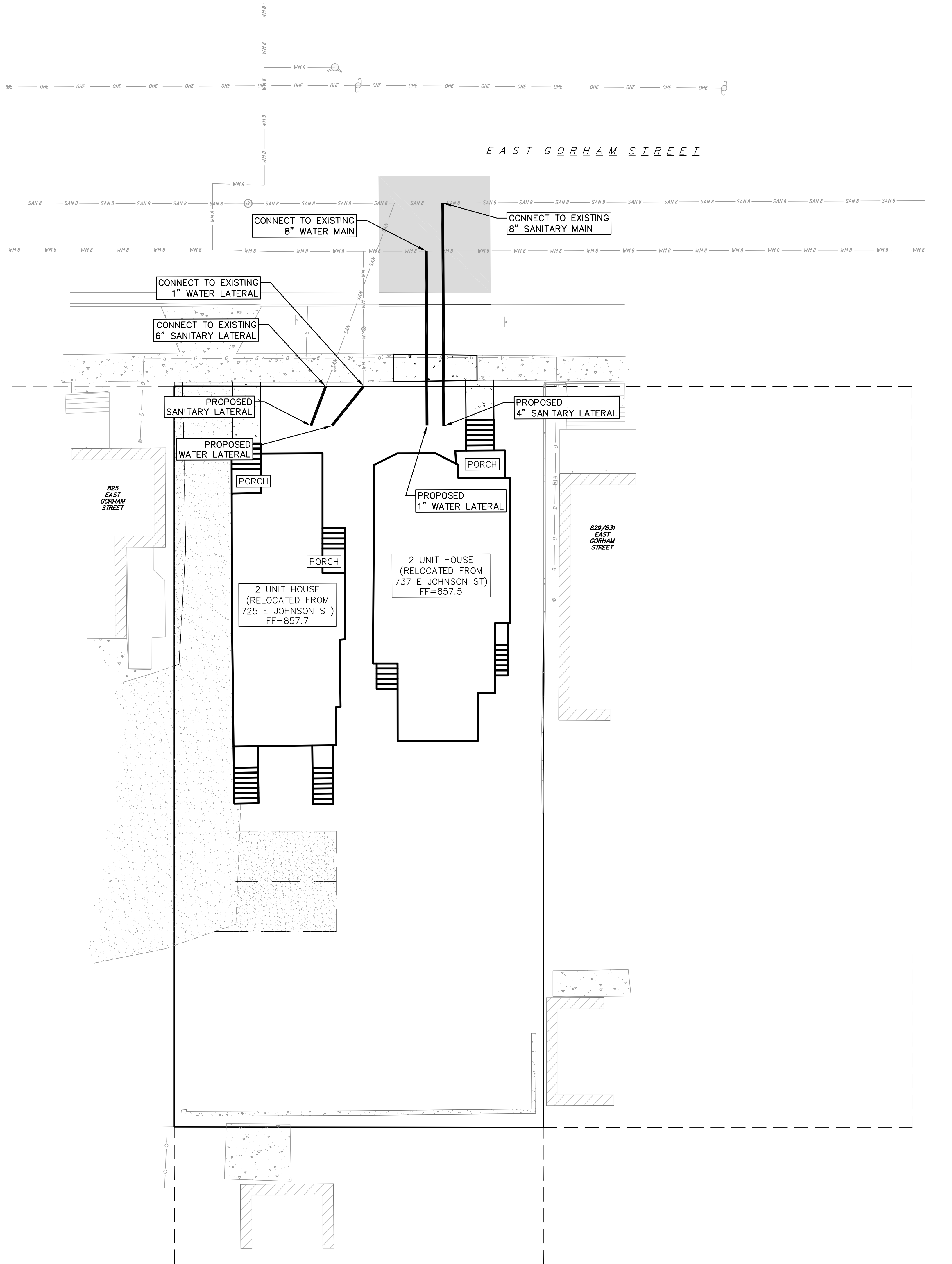
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C-4.0



- PROPOSED UTILITY LEGEND
- <<--- STORM SEWER PIPE
 - <--- STORM SEWER ENDWALL
 - SANITARY SEWER LATERAL PIPE
 - WATER SERVICE LATERAL PIPE
 - o WATER VALVE

- UTILITY NOTES:
1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
 2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 – SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
 3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
 4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b.).
 5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
 6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
 7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
 8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
 10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
 11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
 12. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
 13. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
 14. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 15. ALL DAMAGE TO PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
 16. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

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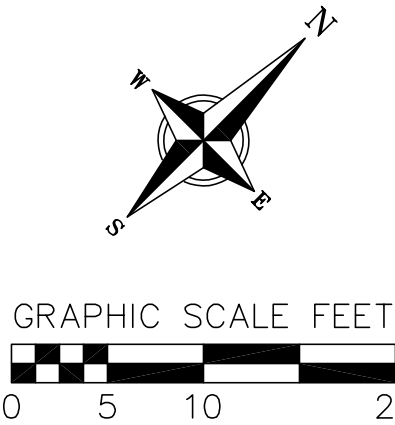
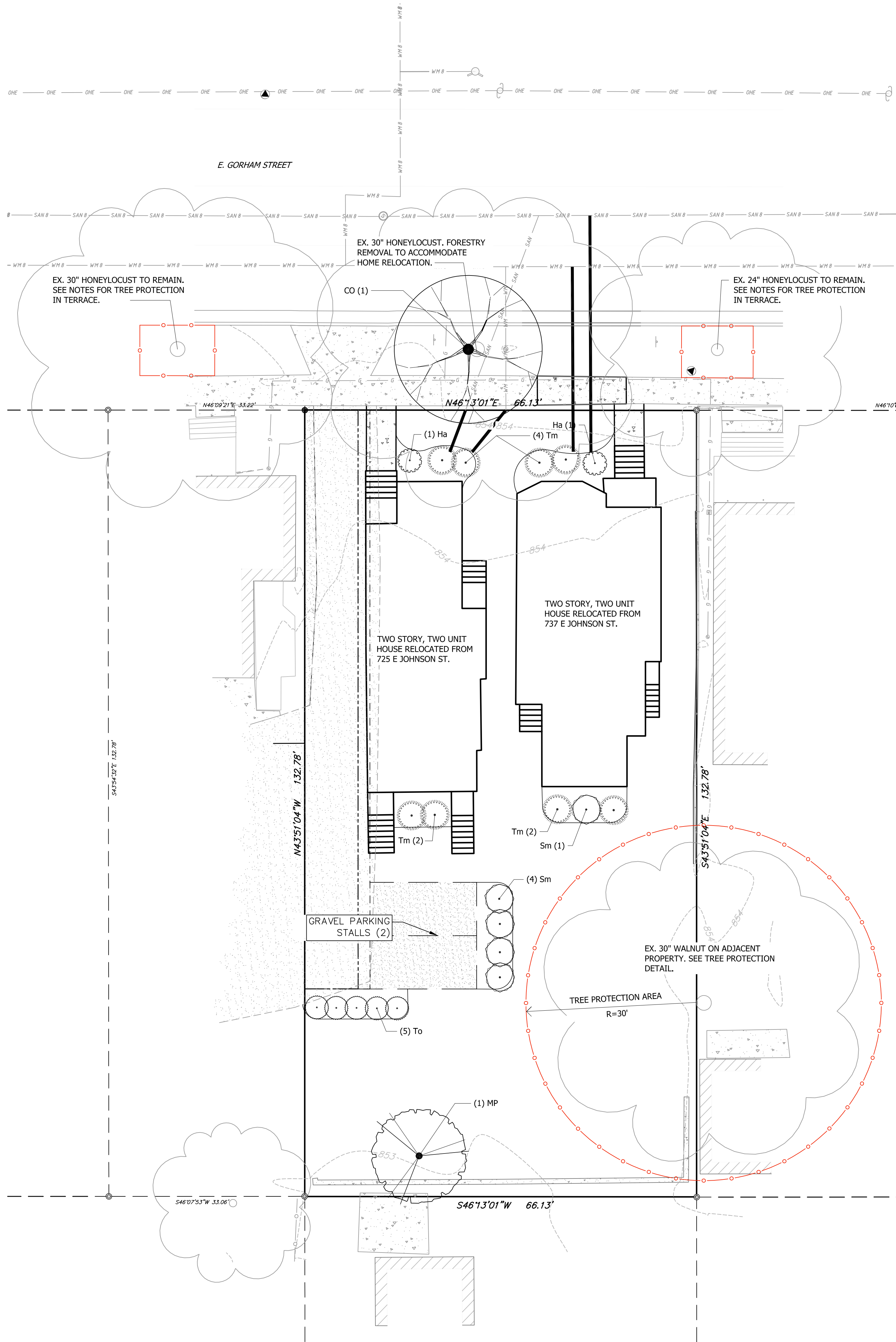
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UTILITY PLAN

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PLANT SCHEDULE

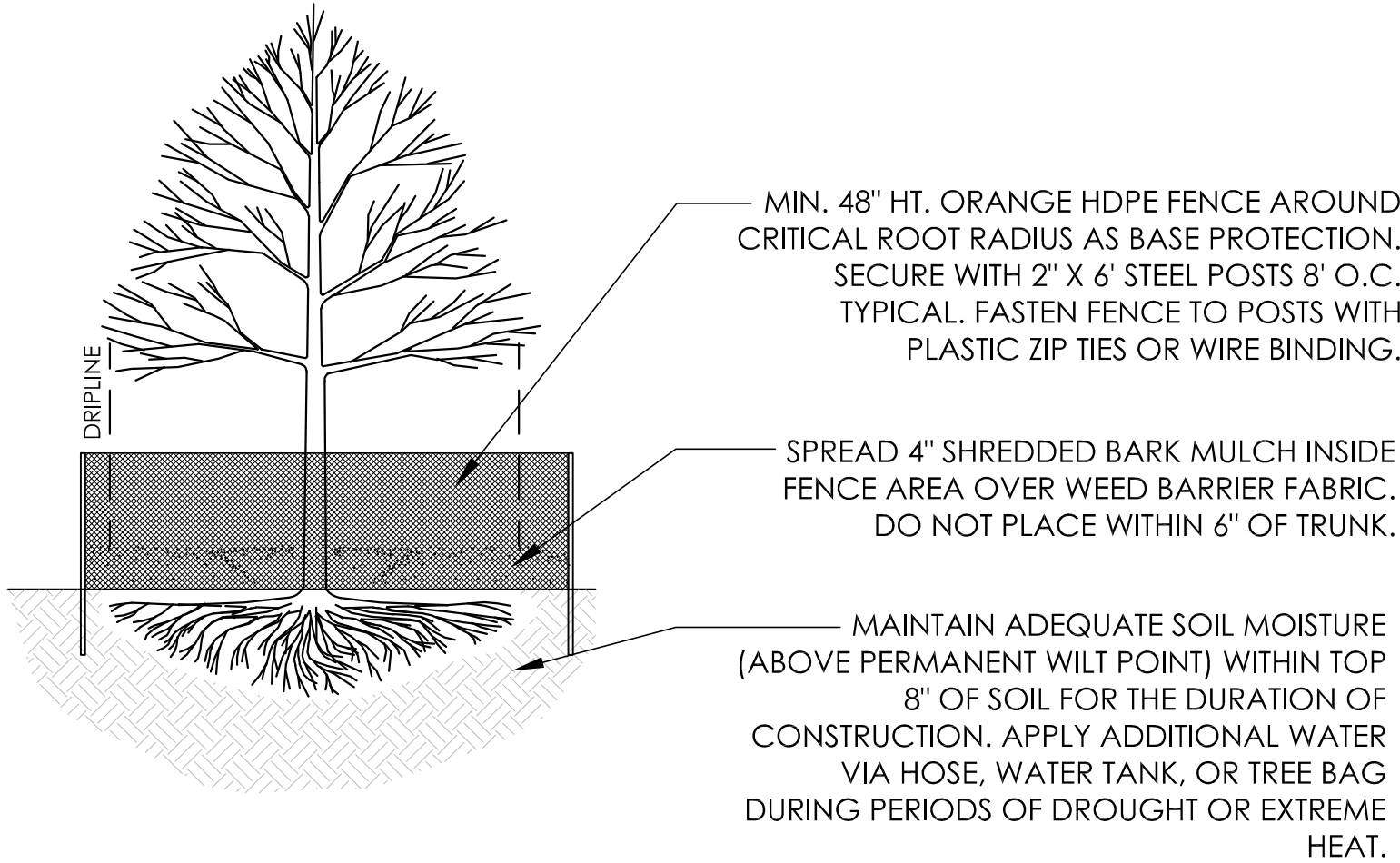
FLOWERING TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
MP	Malus x 'Prairie Maid' / Prairie Maid Crabapple	B & B	1.5" Cal	1
STREET TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
CO	Celtis occidentalis / Common Hackberry	Installed By MSN Forestry		1
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY
Ha	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	5 gal	24" ht.	2
Sm	Syringa meyeri 'Pallidin' / Dwarf Korean Lilac	5 gal	36" ht.	5
Tm	Taxus x media 'Everlow' / Yew	5 gal	12" ht.	8
To	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	7 gal	48" ht.	5

NOTES:

1. All plantings shall conform to quality requirements as per ANSI Z60.1.
2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
4. All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply ½" water twice weekly until final acceptance.
5. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
6. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
7. Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. Edge beds with shovel cut trench edge.
8. Protection of Existing Street Trees: Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of a tree trunk. If excavation within 5 feet of any street tree is necessary, contractor shall contact City Forestry (266.4816) prior to excavation to assess the impact to the tree and root system. Tree pruning/removal shall be coordinated with City Forestry prior to the start of construction. Tree protection specifications can be found in section 107.13 of City of Madison Standard Specifications for Public Works Construction: <http://www.cityofmadison.com/business/pw/documents/stdspecs/2013/part1.pdf>. Any tree removals that are required for construction after the development plan is approved will require at least a 72 hour wait period before a tree removal permit can be issued by forestry, to notify the alder of the change in the tree plan.

TREE PROTECTION DETAIL

- NOTES:
- CRITICAL ROOT RADIUS (IN FEET) = 1' x DBH
EXAMPLE: 6" DBH TREE = 6' RADIUS
 - ONLY HANDWORK ALLOWED WITHIN CRITICAL ROOT RADIUS. NO TRAFFIC OR STORAGE OF MATERIALS ALLOWED. NO EQUIPMENT SHALL BE OPERATED WITHIN THE CRITICAL ROOT RADIUS INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST



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LANDSCAPE PLAN

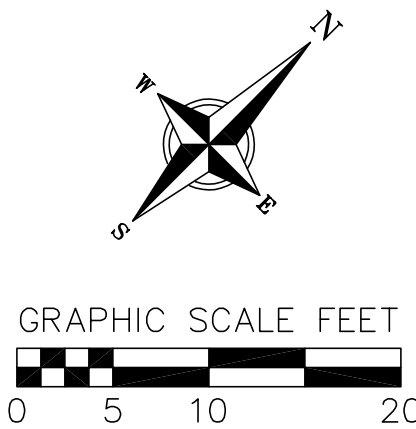
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Sheet No.

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EAST GORHAM STREET

ASL **LED FIXTURE SPECIFICATION** **MODEL # BRA**

5 YEAR WARRANTY

FINAL MODEL #	
PROJECT	
TYPE	AREA
NOTES	

STANDARD FEATURES: CONCEALED, INDOOR

Fixture thermally tested to ensure longevity
Maximum light distribution throughout lens
Over current/voltage short circuit protection
UL and/or CSA Compliant Listed
Constant Current Design

FIXTURE	LED ENGINE
BASE CR Steel Construction	LG/NICHIA/SAMSUNG, LED CHIPS
FINISH Satin Nickel	LUMENS PER WATT AVG 100-120 @Module Efficacy
LENS Frosted Glass	KELVIN 27K 30K 35K 40K 50K CRI 80+
LOCATION Damp	DRIVER 120 VOLTS 50/60Hz
COMPLIANT	POWER FACTOR High
LIFE HOURS 50,000	TRIAC OR ELECTRONIC
WARRANTY Limited 5 Years	Low Voltage Dimming Down To 5% With Wall Box Dimmers
	TESTED LM80 and LM82



LED LIGHT SOURCE OPTIONS*	WATTAGE: 12	KELVIN: 3000K	SIZE: 5x2	SIZE OPTIONS
ORDERING INFORMATION:	WATTAGE:	KELVIN:	SIZE:	W7 1/4 H10 D4

SYSTEM WATTAGE	2700K DIMM WHITE	3000K DIMM WHITE	3500K NEUTRAL	4000K COOL WHITE	5000K DAYLIGHT	LEGACY EQUIVALENT
10/12 DRIVERLESS	1000/1000	1000/1000	1000/1000	1000/1000	1000/1000	CFL 13
14/15 DRIVERLESS	1350/1350	1350/1350	1350/1350	1350/1350	1350/1350	CFL 2 x 13
22/24 DRIVERLESS	1850/2400	1850/2400	1850/2400	1850/2400	1850/2400	CFL 3 x 13
30	3060	3100	3160	3175	3190	CFL 18
32	3265	3360	3425	3460	3560	CFL 2 x 18
36	3650	3700	3720	3750	3800	CFL 2 x 18
20	2100	2140	2180	2200	2250	CFL 2 x 26
24	2570	2610	2630	2650	2700	CFL 2 x 32

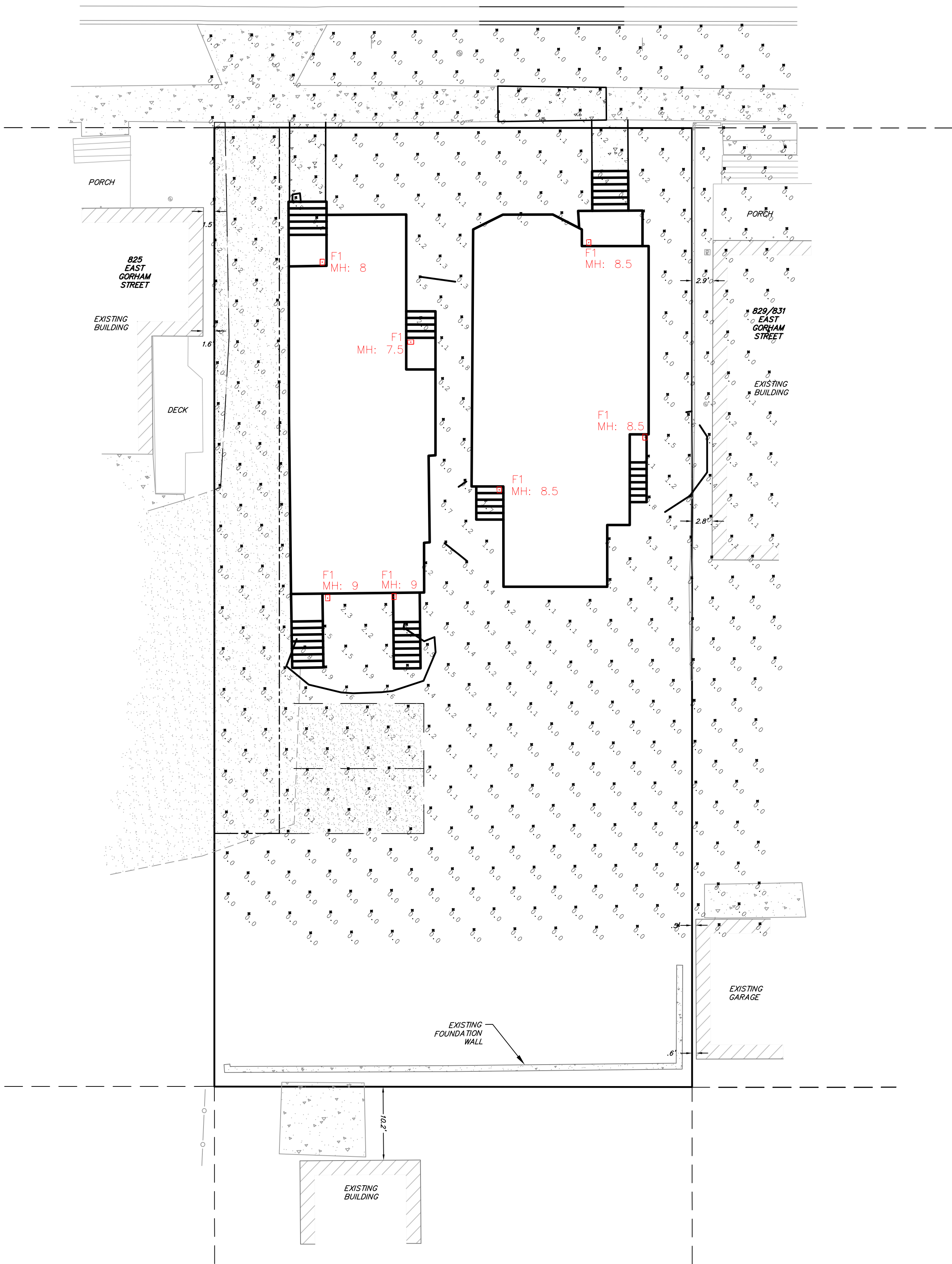
*MORE OPTIONS AVAILABLE UPON REQUEST

SPECIAL OPTIONS (please specify if applicable)

DRIVER:	FINISH: FCU	LENS: LCU	ACCESSORIES: FUS	TECHNOLOGY: CT
DRIVER:	FINISH:	LENS:	ACCESSORIES:	TECHNOLOGY:

DRIVER	FINISH	LENS	ACCESSORIES	TECHNOLOGY
<input type="checkbox"/> DV 120/277 (Non Dimmable) <input type="checkbox"/> DVP 120/277 (0-10V Dimmable)	<input type="checkbox"/> FB Black <input type="checkbox"/> FBR Bronzetone <input type="checkbox"/> FCU Custom Any RAL Finish <input type="checkbox"/> FSN Satin Nickel <input type="checkbox"/> FW White	<input type="checkbox"/> LCU Custom	<input type="checkbox"/> BBX Back Box (Conduit Holes Optional) <input type="checkbox"/> FUS Fused <input type="checkbox"/> IB Individually Boxed <input type="checkbox"/> PCH Pull Chain <input type="checkbox"/> PS Pin Switch <input type="checkbox"/> SRP Surge Protector	<input type="checkbox"/> CT LED Color Tuning <input type="checkbox"/> EMG Emergency (Any Lumens Package) <input type="checkbox"/> EMGR Emergency Remote <input type="checkbox"/> OS Occupancy Sensor On/Off <input type="checkbox"/> OSCD Occupancy Sensor Step Dimming <input type="checkbox"/> TP Tamper Proof Screws

ASL LIGHTING
25 TWELFTH ST. BROOKLYN, NY 11215-3820 | EMAIL: INFO@ASLLIGHTING.COM | WWW.ASLLIGHTING.COM
TOLL FREE: P 800-369-1101 F 800-352-2465 | LOCAL: P 718-369-1100 F 718-369-1105
Specifications and drawings are subject to change without notice. © Contact your ASL Lighting representative.
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Revisions

Date	Description
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Schematic Design

SCOPE DOCUMENTS

Drawing Date

01/31/2018

827 E GORHAM ST

700 E JOHNSON ST
MADISON, WI 53703

Project No. 700 EAST LLC
217014.00

Sheet Title

LIGHTING PLAN

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Sheet No.

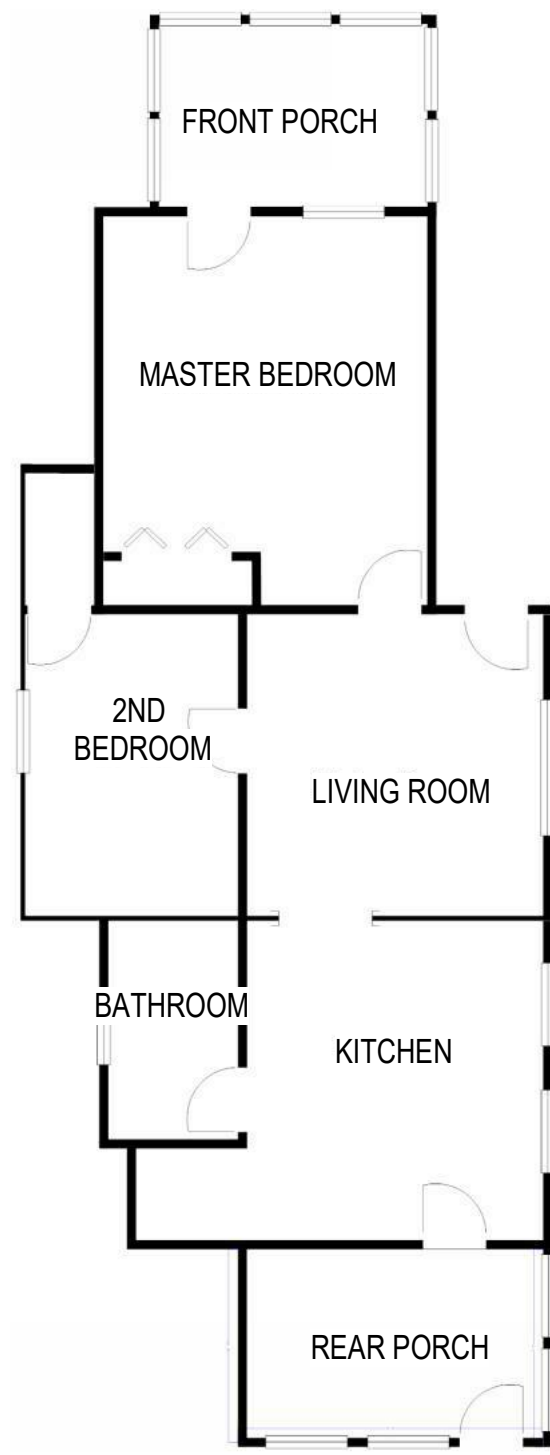
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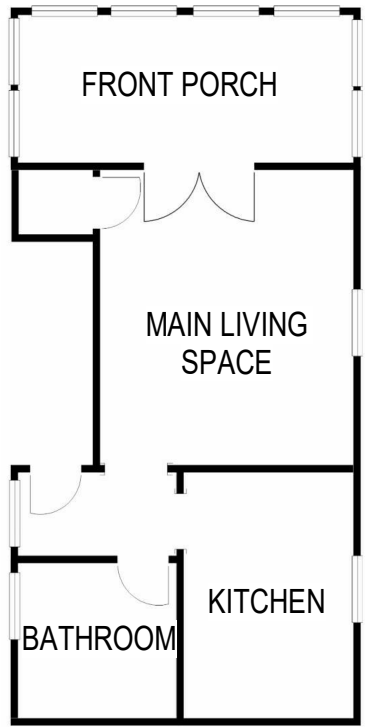
725 E JOHNSON



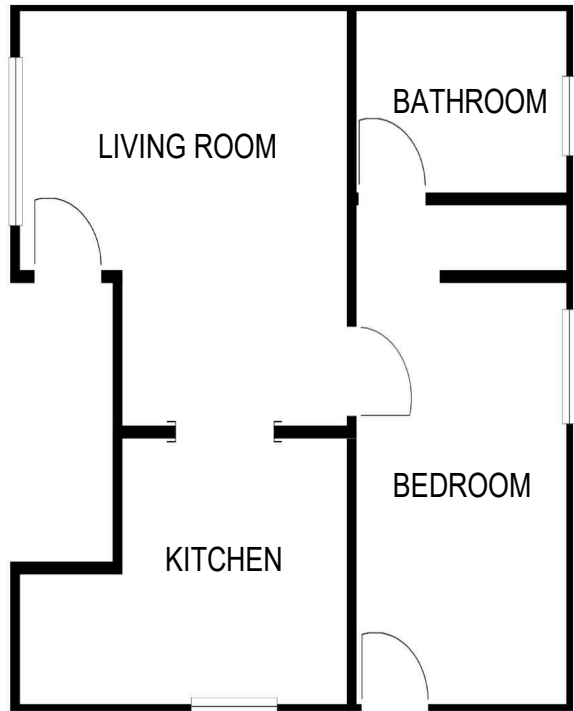
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1 725 E JOHNSON ST - FIRST FLOOR UNIT
1/8" = 1'-0"
0 2 4 8 16
SCALE: 1/8" = 1'-0"



2 725 E JOHNSON ST - SECOND FLOOR UNIT 1
1/8" = 1'-0"
0 2 4 8 16
SCALE: 1/8" = 1'-0"



3 725 E JOHNSON ST - SECOND FLOOR UNIT 2
1/8" = 1'-0"
0 2 4 8 16
SCALE: 1/8" = 1'-0"

Revisions

SCHEMATIC DESIGN

SCOPE DOCUMENTS

Drawing Date
01/31/2018

827 E GORHAM ST

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725 E JOHNSON - FLOOR
PLANS & PHOTOS

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A101



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SCHEMATIC DESIGN

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725 E JOHNSON -
ELEVATIONS

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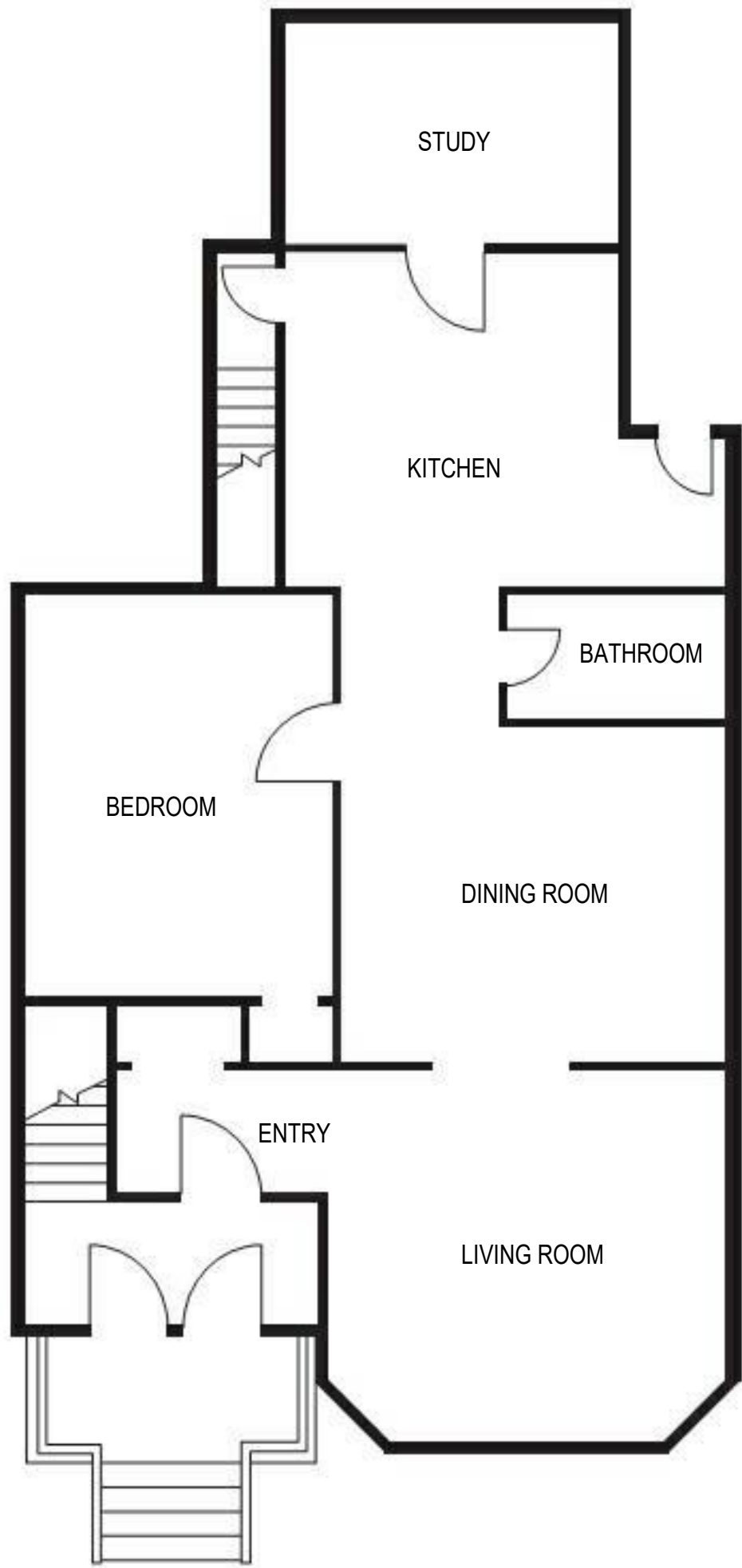
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A102



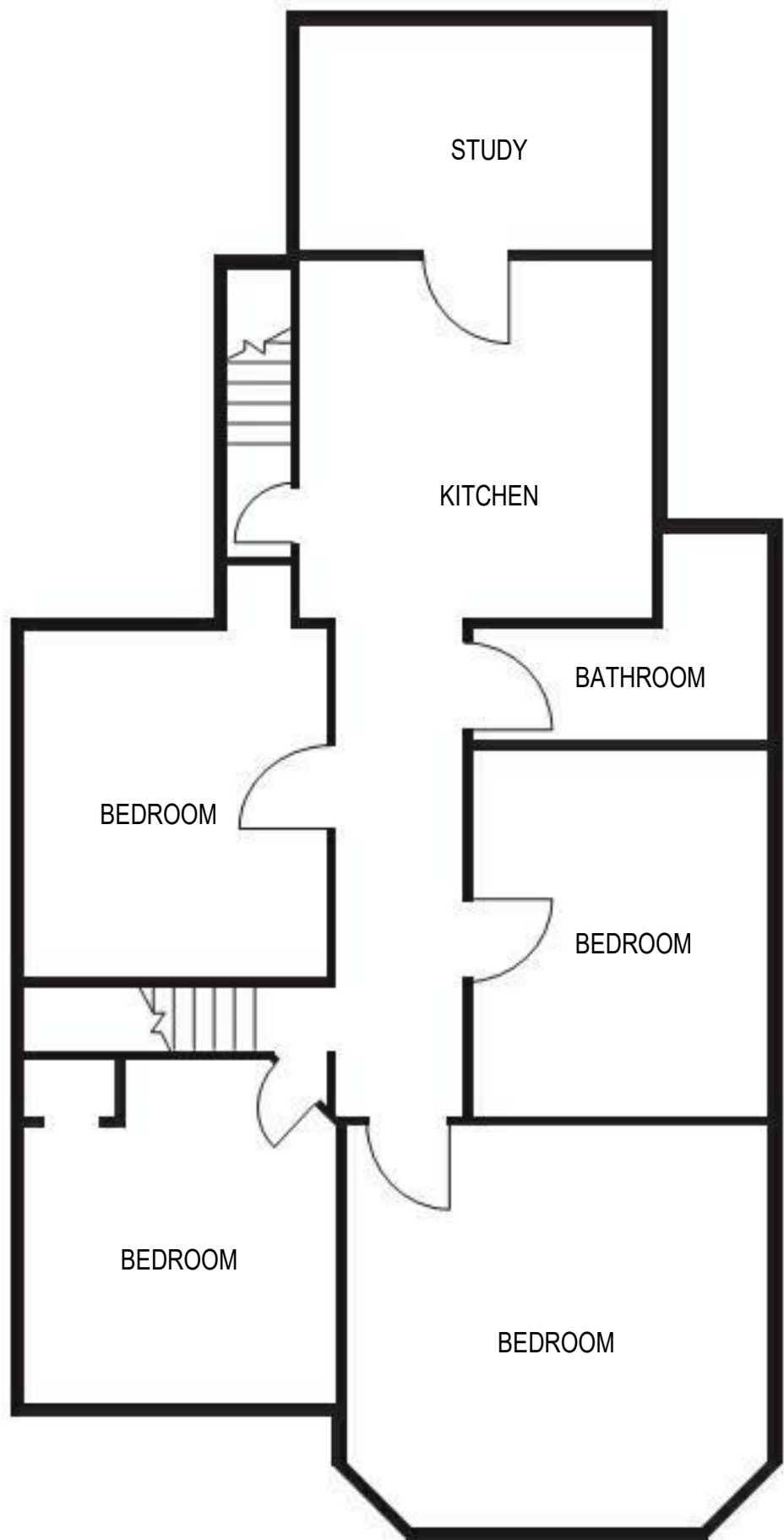
737 E JOHNSON



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CONSTRUCTION



1 737 E JOHNSON ST - FIRST FLOOR UNIT
1/8" = 1'-0"
0 2 4 8 16
SCALE: 1/8" = 1'-0"



2 737 E JOHNSON ST - SECOND FLOOR UNIT
1/8" = 1'-0"
0 2 4 8 16
SCALE: 1/8" = 1'-0"

Revisions

SCHEMATIC DESIGN

SCOPE DOCUMENTS

Drawing Date
01/31/2018

827 E GORHAM ST

827 E GORHAM ST
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Project No. 700 EAST LLC
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737 E JOHNSON - FLOOR
PLANS & PHOTOS

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A103



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Revisions

SCHEMATIC DESIGN

SCOPE DOCUMENTS

Drawing Date
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827 E GORHAM ST
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Project No. 700 EAST LLC
217014.00

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737 E JOHNSON -
ELEVATIONS

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Sheet No.

A104



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

PROJECT BENCHMARK:

- 1. BENCHMARK 1 - ELEV=852.50'
TOP KITT OF FIRE HYDRANT LOCATED NORTHWESTERLY OF AND ACROSS THE STREET FROM 827 EAST GORHAM STREET.
- 2. BENCHMARK 2 - ELEV=853.92'
SANITARY MANHOLE AT 827 EAST GORHAM STREET.

SURVEYED FOR:
DOH PROPERTIES, LLC
C/O SELECT PUBLISHING
CHRIS HOUDEN
6417 NORMANDY LANE
MADISON, WI 53719

SURVEYED BY:
VIERBICHER ASSOCIATES, INC.
BY: DAVID N. GULLICKSON
999 FOURIER DRIVE,
SUITE 201
MADISON, WI 53717
(608)-821-3966
dgu@vierbicher.com

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- BENCHMARK (SEE BENCHMARK NOTES)
- EXISTING GAS METER
- EXISTING UTILITY POLE
- EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING GAS LINE
- EXISTING 8" PVC SANITARY SEWER LINE
- EXISTING 8" D.I. WATER MAIN
- EXISTING 1" WATER SERVICE
- EXISTING OVERHEAD ELECTRIC
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING PROPERTY LINE
- PLAT BOUNDARY
- ADJOINER PROPERTY
- EXISTING ACCESS EASEMENT

SURVEY LEGEND

- FOUND 1" # IRON PIPE
- FOUND 3/4" # IRON ROD

TOPOGRAPHIC HATCHING LEGEND

- CONCRETE PAVEMENT/SIDEWALK/PAD
- GRAVEL
- EXISTING BUILDING

DESCRIPTION:

Lot 5 of Block 140 of the Original Plat, located in the NE 1/4 of the SW 1/4 of Section 13, Township 07 North, Range 09 East, City of Madison, Dane County, Wisconsin.

NOTES:

- The parcel surveyed contain 0.20 Acres or 8,781 sq. ft. more or less.
- This survey was prepared based upon information provided in the Title Commitment No. NCS-884204-MAD from First American Title Insurance Company, Effective date, December 16, 2017 at 7:00 a.m.
- This survey is based upon field survey work performed ON December 22, 2017. Any changes in site conditions after December 22, 2017 are not reflected by this survey.
- Elevations depicted on this survey are based upon NAVD88 Datum.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
- Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20175201038. Location of buried private utilities are not within the scope of this survey.

NOT FOR
CONSTRUCTION

Revisions	
Date	Description

Schematic Design

SCOPE DOCUMENTS

Drawing Date
01/17/2018

827 E GORHAM ST

700 E JOHNSON ST
MADISON, WI 53703

Project No. 700 EAST LLC
217014.00

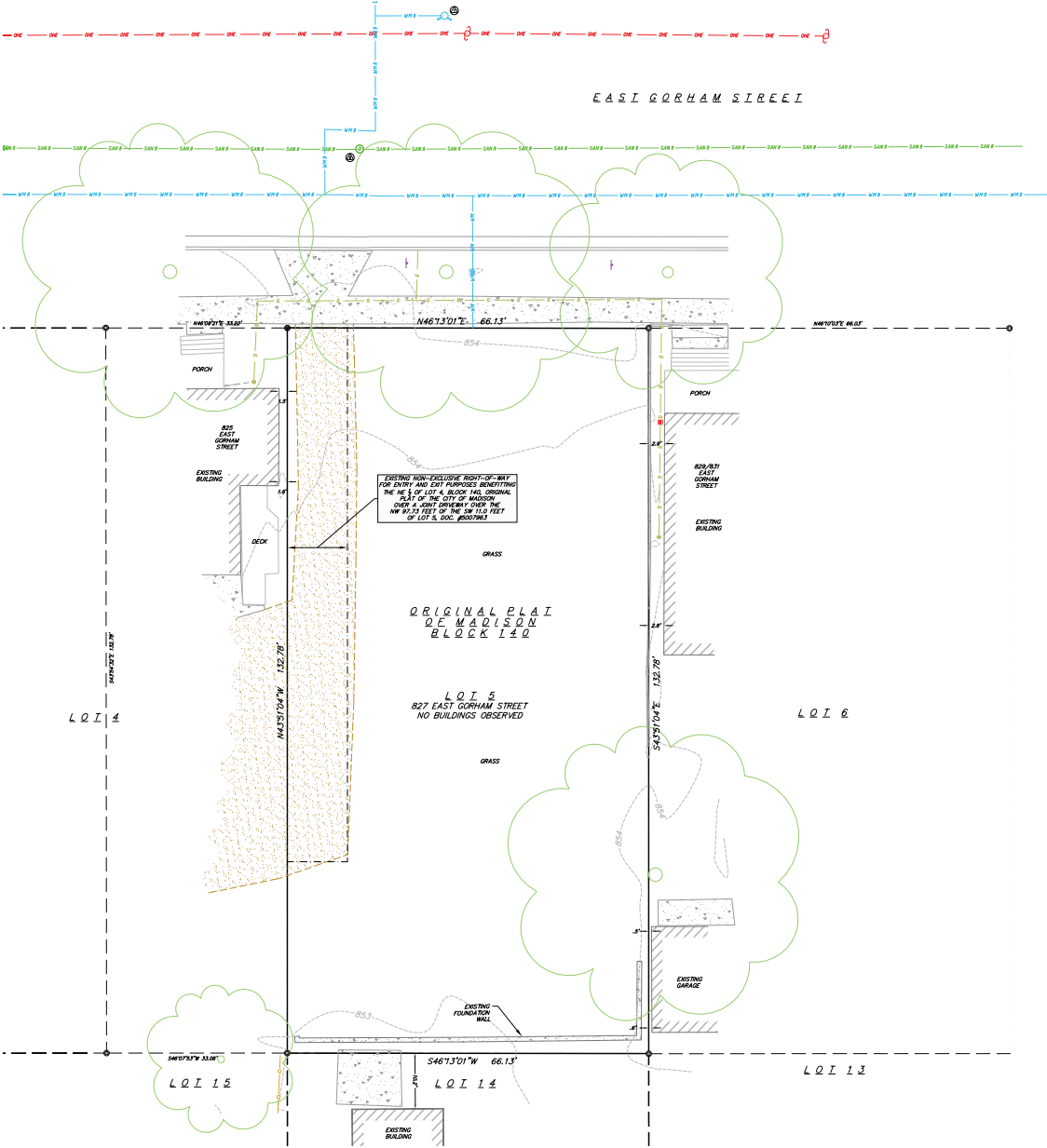
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EXISTING CONDITIONS

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Sheet No.

C-1.0





City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 827 East Gorham St, Madison, Wi

Contact Name & Phone #: Justin Zampardi 608-821-3970

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2012 Edition Chapter 5 and Appendix D**; please see the codes for further information.



CITY OF MADISON
LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 827 E Gorham St

Name of Project Relocation of 725 and 737 E Johnson

Owner / Contact Vierbicher, Attn. Justin Zampardi P.E.

Contact Phone 608.821.3970 Contact Email jzam@vierbicher.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size
MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 6804 sf

Total landscape points required 114

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area

Total landscape points required

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area

Total landscape points required

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35				
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			1	15
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			5	50
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3			7	21
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4			8	32
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2				
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals						118

Total Number of Points Provided 118

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

827 E Gorham St

LEGAL DESCRIPTION

Lot five (5), block one hundred forty (140), original plat of the City of Madison, in the City of Madison, Dane County, Wisconsin. Containing 8,779 square feet or 0.20 acres more or less.



SCALE: 1" = 200'

VICINITY MAP