

1720 Monroe Street Redevelopment

Land Use Application
Plan Commission - Revision
February 7, 2018



Urban Land Interests



MORRISON
STUDIO

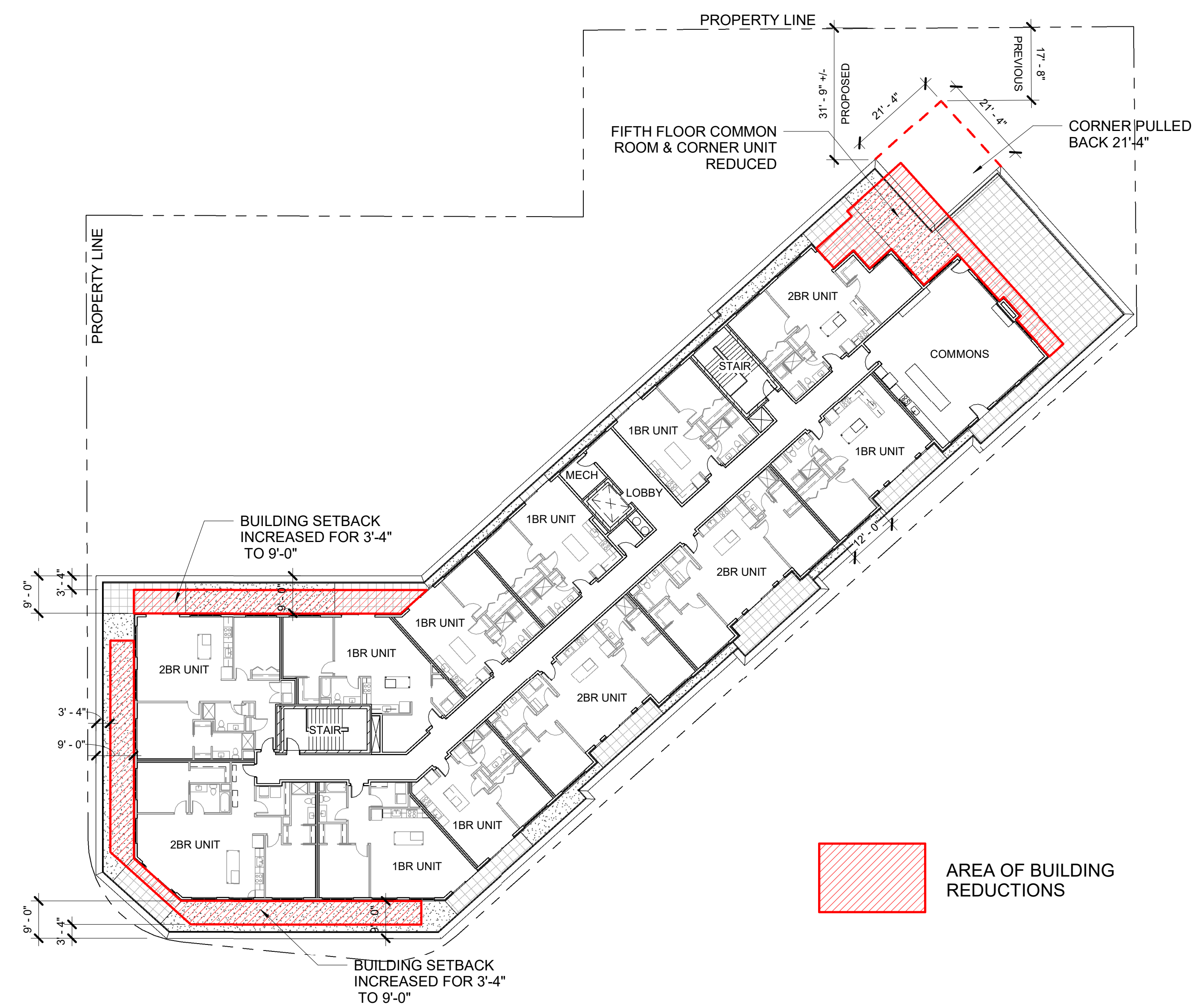


Success by Design

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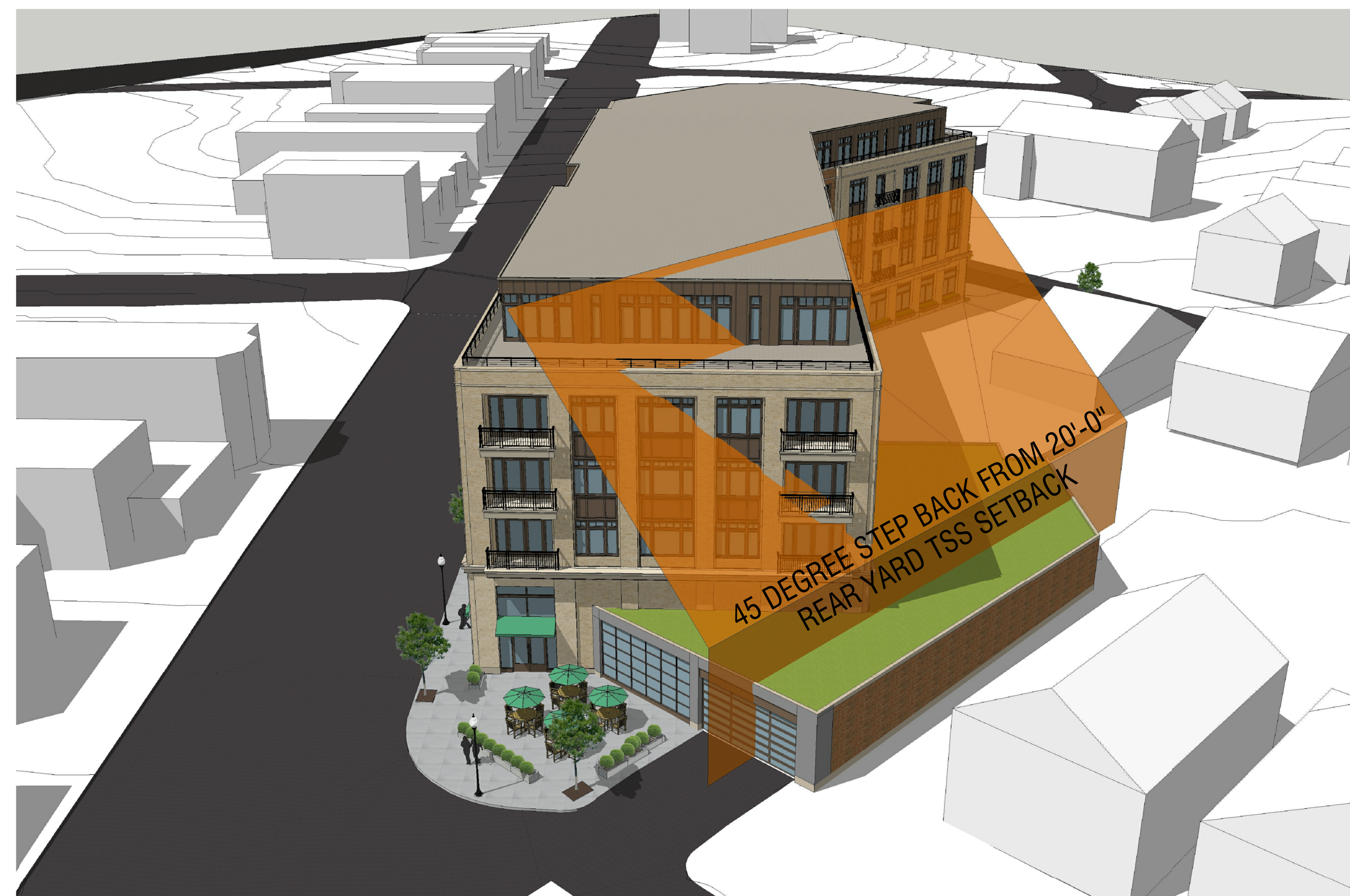
G201



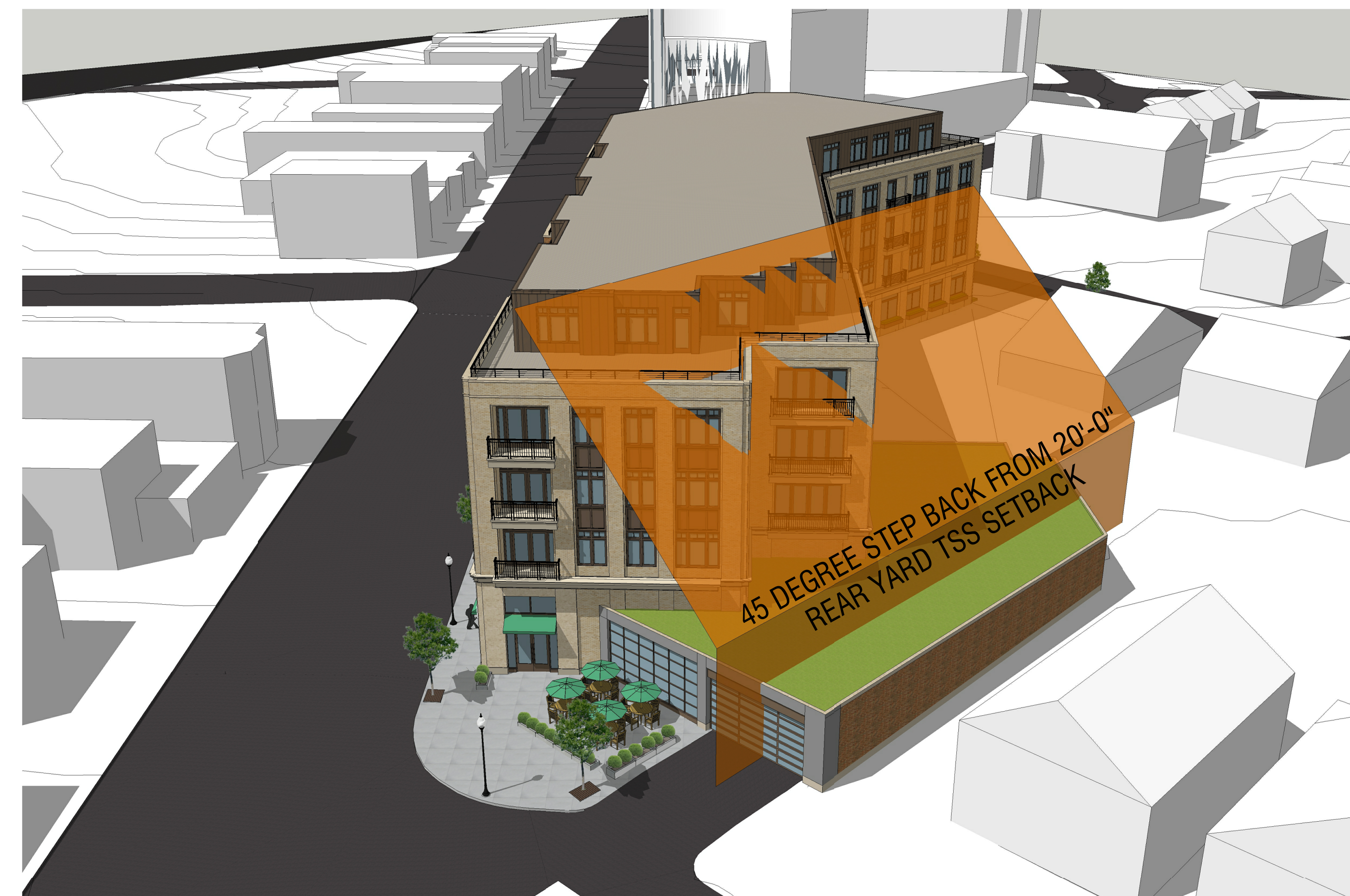
FIFTH FLOOR REVISION DIAGRAM



SECOND TO FIFTH FLOOR REVISION DIAGRAM



PREVIOUS DESIGN



PROPOSED DESIGN WITH BUILDING REDUCTION

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1720 Monroe Street
Urban Land Interest
Madison, WI

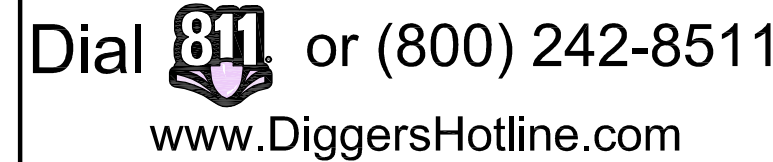
2017.09.00

Date	Issuance/Revisions	Symbol
02/07/2017	LAND USE APPLICATION - RESUBMITTAL	

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Plan Revisions Diagrams

G300



EXISTING SHARED GARAGE
TO BE MODIFIED TO REMOVE
PORTION FROM 625 S
SPOONER STREET

625 S. SPOONER STREET

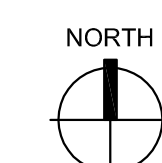
X REMOVE EXISTING FENCE

MONROE STREET

W. LAWN AVENUE

1
C101

DEMOLITION PLAN
1" = 10'-0"



**Potter
Lawson**
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2801 International Lane, Suite 101
Madison, WI 53703
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: Mburse@BSE-INC.net
www.bursesurveyengr.com



Notes:

1. The contractor is responsible for the demolition, removal, and disposing in a location approved by all governing authorities, of all structures, posts, walls, fumes, foundations, parking drives, drainage, structures, utilities, etc., such that the improvements shown on the remaining plan can be constructed. All facilities to be removed shall be underride to suitable material and brought to grade with suitable compacted fill material per the Specifications.
2. The contractor is responsible for obtaining all permits required for demolition, plugging and disposal.
3. The contractor shall coordinate with the respective utility companies prior to the removal and/or relocation of utilities. The contractor shall coordinate with the utility company concerning portions of work which may be performed by the utility company forcing any fees which are to be paid to the utility company for their services. The developer is responsible for paying all fees and charges.
4. The locations of all existing utilities shown on this plan have been determined from the best information available and are given for the convenience of the contractor. The engineer assumes no responsibility for their accuracy, prior to the start of any demolition activity, the contractor shall notify the utility companies for precise locations of existing utilities. Notify the engineer of any discrepancies.
5. All existing sewers, piping, and utilities shown are not to be interpreted as the exact location, or as the only obstacles that may occur on the site. Verify existing conditions and proceed with caution against any anticipated features, give notice to all utility companies regarding to be abandoned and remove all services lines before proceeding with the work. Utilities determined to be destruction and left in place shall be grouted under building.
6. Electrical, telephone, cable, water, fiber optic cable, and/or gas lines needing to be removed or relocated shall be coordinated with the affected utility company. Adequate time shall be provided for relocation and close coordination with the utility company is necessary to provide a smooth transition in utility service.
7. Contractor shall protect the public at all times with fencing, barricades, endlosures, covered walkways, etc. Contractor shall submit their street occupancy plan to Traffic Engineering for approval.
8. Prior to demolition operations, all erosion control devices are to be installed.
9. The contractor may limit sawcut and pavement removal to only those areas where it is required as shown on these construction plans, but if any damage is incurred on any of the surrounding pavement, etc. The contractor shall be responsible for its removal and repair in kind.
10. Damage to all existing condition to remain will be replaced at the contractor's expense.
11. Continuous access shall be maintained for the surrounding properties at all times during demolition of the existing facilities.
12. The right-of-way is the sole jurisdiction of the city of Madison and is subject to change at any time per the recommendation plan of Traffic Engineering and City Engineering Departments.
13. Cap all unused existing laterals per City of Madison requirements.

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Demolition Plan

C200

11/10/2017 11:30:22 AM



Notes:

1. All concrete curb are 18" in width (either accept or reject) and shall conform to the city of Madison Standard Specifications.
2. Pavement markings and signage pertaining to accepted parking stalls and routes shall conform to current ADA regulations.
3. Pavement design shall be per the recommendation of the soils consultant.
4. The Right-of-Way is the sole jurisdiction of the City of Madison and is subject to change at any time per the recommendation of Traffic Engineering and City Engineering Departments.
5. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it from both sides of the tree along the length of the tree. No excavation is permitted within 5 feet of the outside edge of a tree trunk. If excavation within 5 feet of a tree in necessary, the contractor shall contact City Forestry (608-268-4166) prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry prior to the start of construction. The protection specifications can be found in section 107.13.3 of the City of Madison Standard Specifications for Public Works Construction (<http://www.cityofmadison.com/business/pw/documents/StdSpecs2012.pdf>). Any tree removals that are required for construction after the development plan is approved will require at least a 72 hour work order before a tree removal permit can be issued by Forestry. To notify the Alder of the change in the tree plan.

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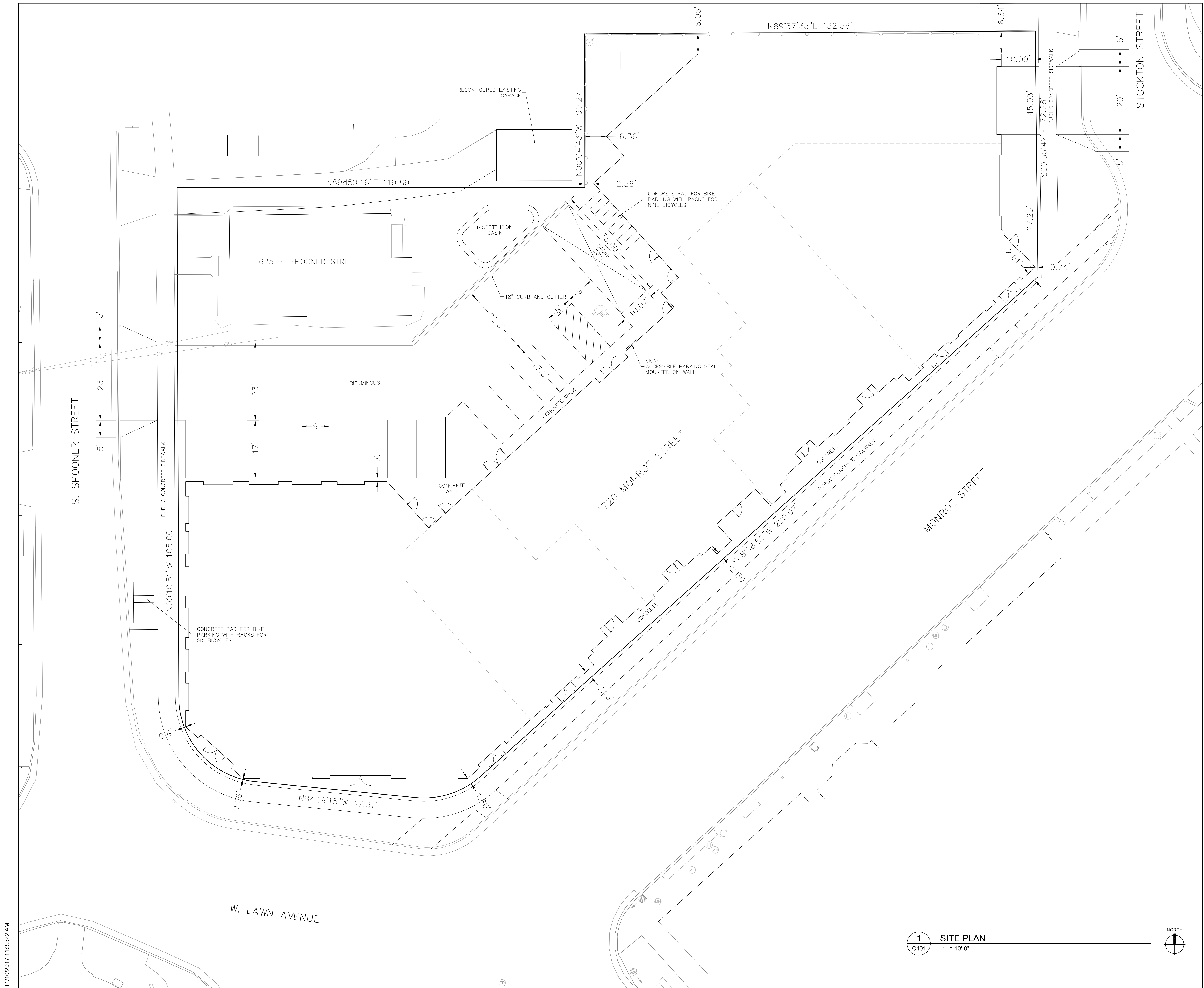
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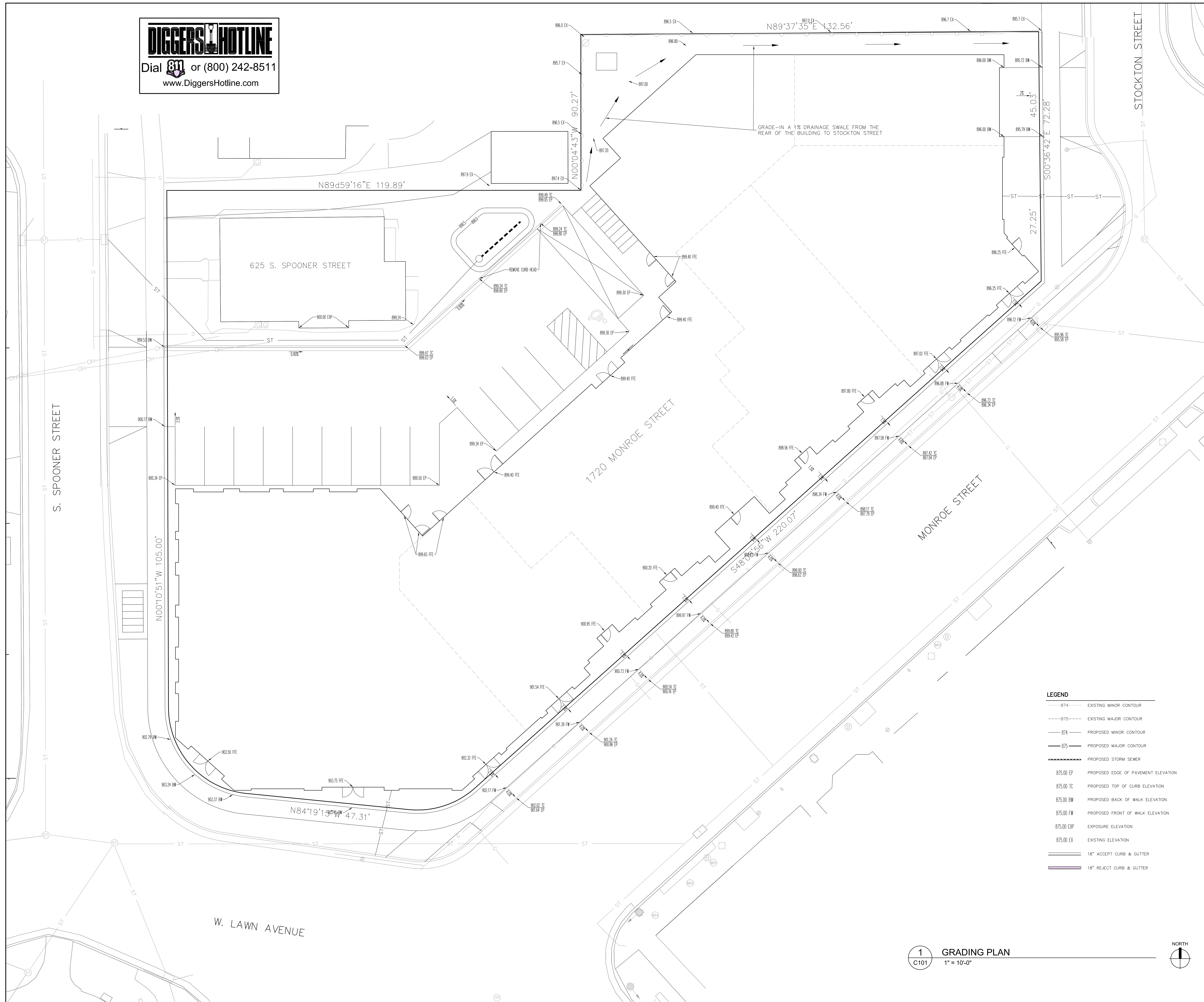
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Civil Site Plan

C300





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Notes:

1. All grades are finish elevation.
2. All private utilities (gas, electric, and telecommunications) serving existing buildings scheduled for demolition to be abandoned or removed by corresponding utility company.
3. It is the contractor's responsibility to verify the location of underground utilities. Utilities were located by observed evidence, markings provided by digger's hotline, and record drawings from the City of Madison.
4. Contractor shall verify the size, type, slope, and inverts of all existing storm and sanitary laterals called out to be connected to. Contractor shall submit the information on the pipes to the City Inspector and project civil engineer.
5. Any sidewalk, curb, or other public property damaged as part of the construction of the utilities and building shall be replaced in-kind per the city of Madison's standard specification.
6. See Utility Plan for Bioretention Basin detail.
7. The right-of-way is the sole jurisdiction of the City of Madison and is subject to change at any time per the recommendation plan of Traffic Engineering and City Engineering Departments.

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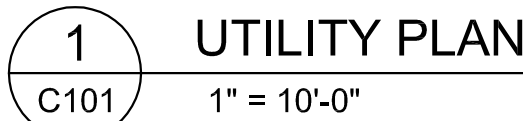
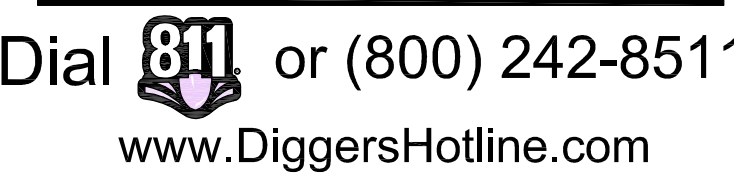
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Grading Plan

C500



Utility Plan

C600

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Notes:

1. All private utilities (gas, electric, and telecommunications) serving existing buildings scheduled for demolition to be abandoned or removed by corresponding utility company.
2. It is the contractor's responsibility to verify the location of underground utilities. Utilities were located by observed evidence, markings provided by digger's holes, and record drawings from the City of Madison.
3. Contractor shall verify the size, type, slope, and inverts of all existing storm and sanitary laterals called out to be connected to. Contractor shall submit the information on the pipes to the city inspector and project civil engineer.
4. Any sidewalk, curb, or other public property damaged as part of the construction of utilities and building shall be replaced in-kind per the City of Madison's standard specification.
5. The right-of-way is the sole jurisdiction of the City of Madison and is subject to change at any time per the recommendation(s) of Traffic Engineering and City Engineering Departments.

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Utility Plan



Project Address: 1720 Monroe Street

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

Attach an additional sheet if further explanation is required for any answers.

Revised 1/21/2016



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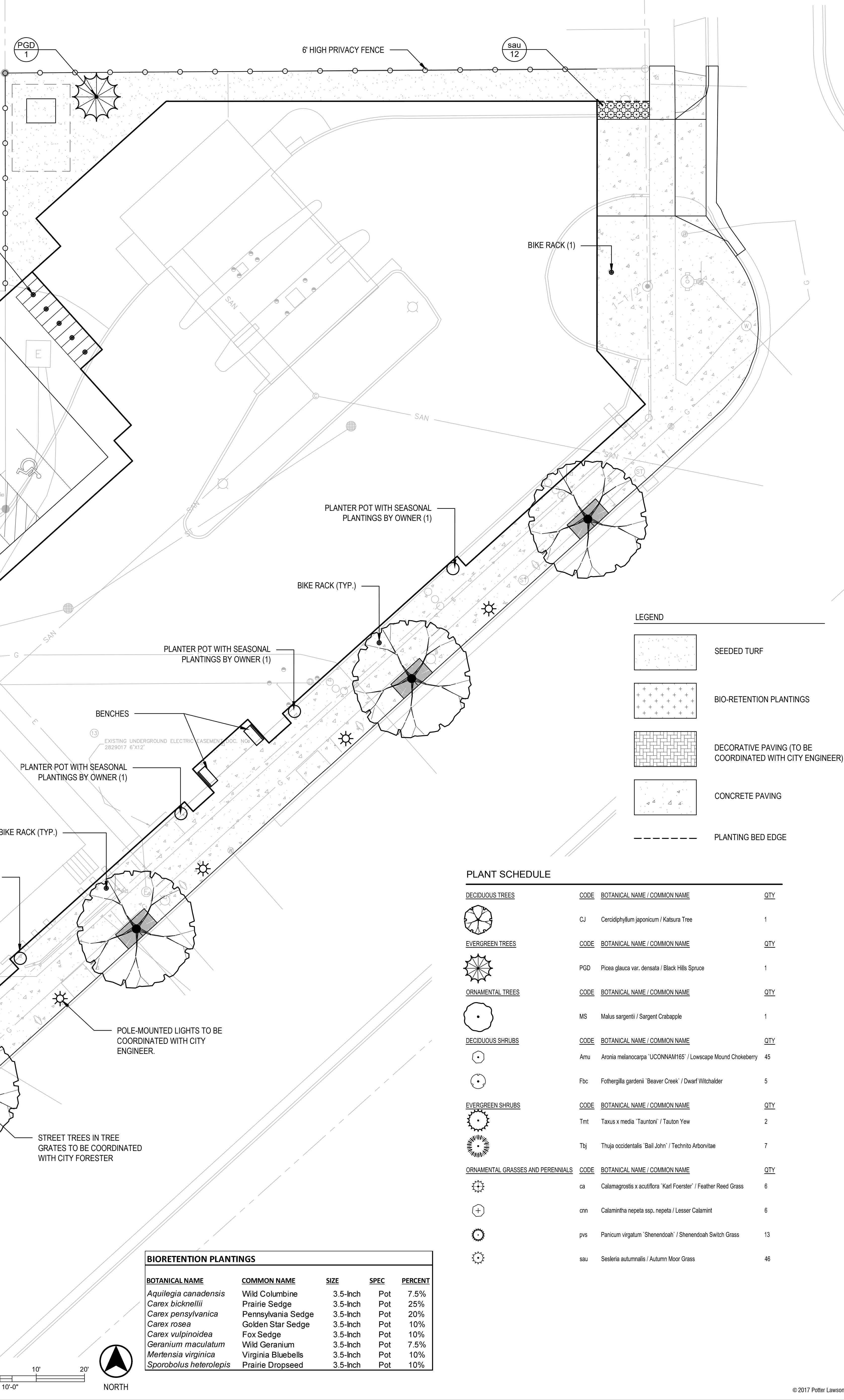
Fire Apparatus Access Site Plan


C900

Development Frontage (Monroe Street)		Overstory Trees Required	Overstory Trees Proposed	Shrubs Required	Shrubs Proposed
Total LF of Street Frontage Between Building & Street	250	8	0	42	0
Development Frontage (West Lawn Avenue)		Overstory Trees Required	Overstory Trees Proposed	Shrubs Required	Shrubs Proposed
Total LF of Street Frontage Between Building & Street	62	2	0	10	0
Development Frontage (Spooner Street)		Overstory Trees Required	Overstory Trees Proposed	Shrubs Required	Shrubs Proposed
Total LF of Street Frontage Between Building & Street	170	6	0	28	0
Development Frontage (Stockton Court)		Overstory Trees Required	Overstory Trees Proposed	Shrubs Required	Shrubs Proposed
Total LF of Street Frontage Between Building & Street	68	2	0	11	0

* CHAPTER 28, SECTION 28.142(4)(A)(2)(B) "WHERE REQUIRED LANDSCAPING CANNOT BE ACCOMMODATED DUE TO BUILDING PLACEMENT ON SITE, THE ZONING ADMINISTRATOR MAY MODIFY OR WAIVE THE POINT REQUIREMENTS."

* CHAPTER 28, SECTION 28.142(4)(A)2(B) "WHERE REQUIRED LANDSCAPING CANNOT BE ACCOMMODATED DUE TO BUILDING PLACEMENT ON SITE, THE ZONING ADMINISTRATOR MAY MODIFY OR WAIVE THE POINT REQUIREMENTS."



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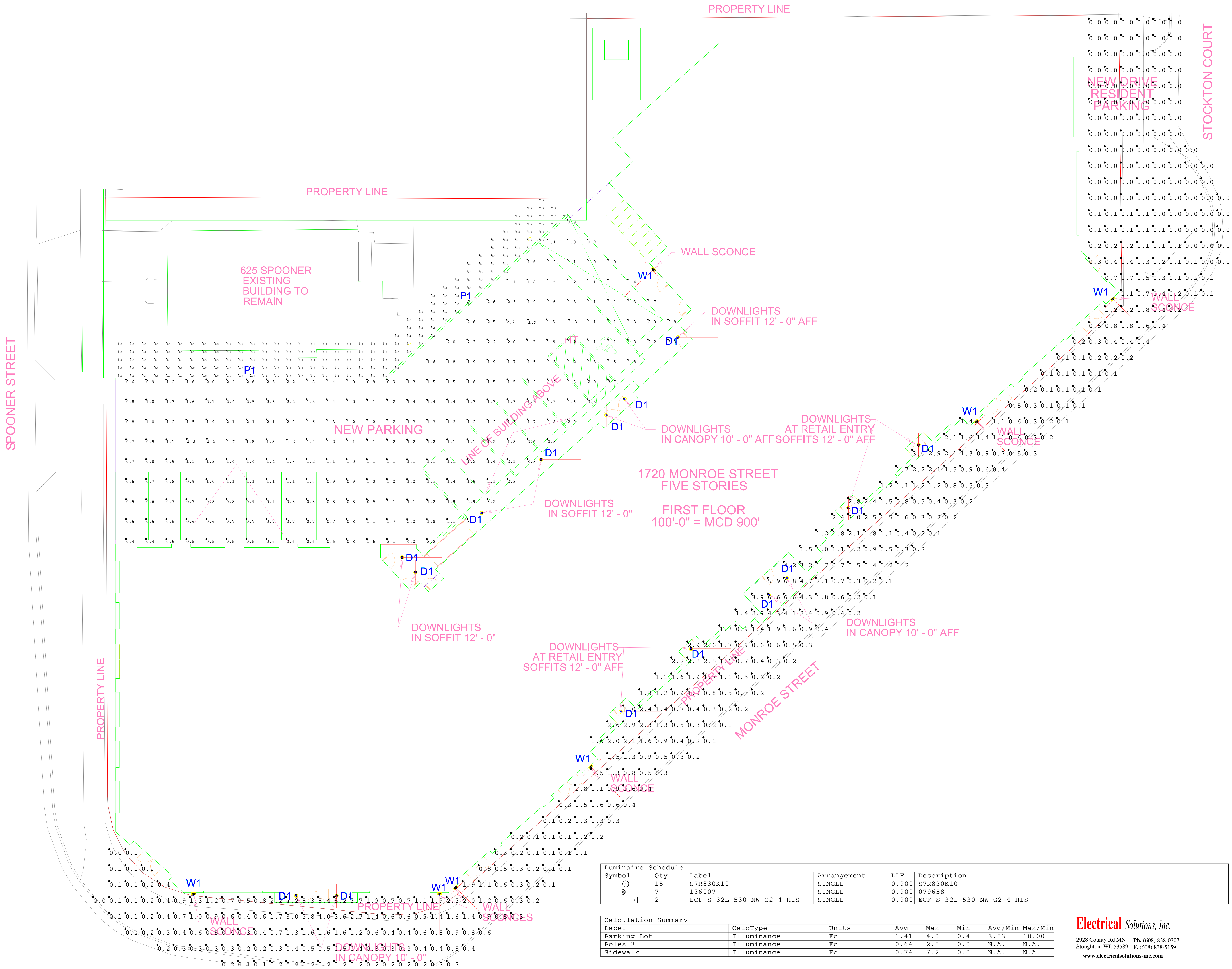
- NOTES:
1. SEE CIVIL DRAWINGS FOR LAYOUT AND GRADING INFORMATION.
2. SEE CIVIL DRAWINGS FOR INFORMATION PERTAINING TO STORMWATER MANAGEMENT.
3. FOR PROPOSED TREES WITHIN R.O.W., CONTRACTOR SHALL CONTACT CITY FORESTRY AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE MARKING THE PLANTING SITE, APPROVING THE PLANTING STOCK AND REVIEWING PLANTING SPECIFICATIONS WITH THE CONTRACTOR.
4. FINAL LOCATION OF STREET TREES WITHIN MONROE STREET R.O.W. DEPENDENT UPON MONROE STREET RECONSTRUCTION PROJECT AND COORDINATION WITH CITY FORESTER.
5. CALL DIGGER'S HOTLINE BEFORE COMMENCING WORK. 811 OR (800) 242-8511.
6. ALL PLANT BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.

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[illegible]

Landscape Plan



Luminaire Schedule					
Symbol	Qty	Label	Arrangement	LLF	Description
○	15	S7R830K10	SINGLE	0.900	S7R830K10
●	7	136007	SINGLE	0.900	079658
□	2	ECF-S-32L-530-NW-G2-4-HIS	SINGLE	0.900	ECF-S-32L-530-NW-G2-4-HIS

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Illuminance	Fc	1.41	4.0	0.4	3.53	10.00
Poles_3	Illuminance	Fc	0.64	2.5	0.0	N.A.	N.A.
Sidewalk	Illuminance	Fc	0.74	7.2	0.0	N.A.	N.A.

- KEY NOTES
- 1 HORIZONTAL WALL MOUNTED BIKE STALLS AT THE FRONT OF PARKING STALLS 2' X 6' (MOUNT ABOVE FRONT END OF CAR)
 - 2 HORIZONTAL FLOOR MOUNTED BIKE STALLS 2' X 6'
 - 3 SMALL CAR PARKING STALL SIGN
 - 4 ACCESSIBLE PARKING STALL SIGN
 - 5 VAN ACCESSIBLE PARKING STALL SIGN
 - 6 HVAC GARAGE EXHAUST FAN - SEE MECHANICAL
 - 7 HVAC GARAGE POWERED INTAKE LOUVER SEE MECHANICAL

PARKING COUNTS	
REGULAR PARKING STALLS	60
SMALL CAR STALLS	8
VAN ACCESSIBLE STALLS	1
ACCESSIBLE STALLS	1
TOTAL PARKING STALLS	70
BIKE STALLS	
LONG TERM FLOOR MOUNTED	42
LONG TERM WALL MOUNTED	28
TOTAL BIKE STALLS	70

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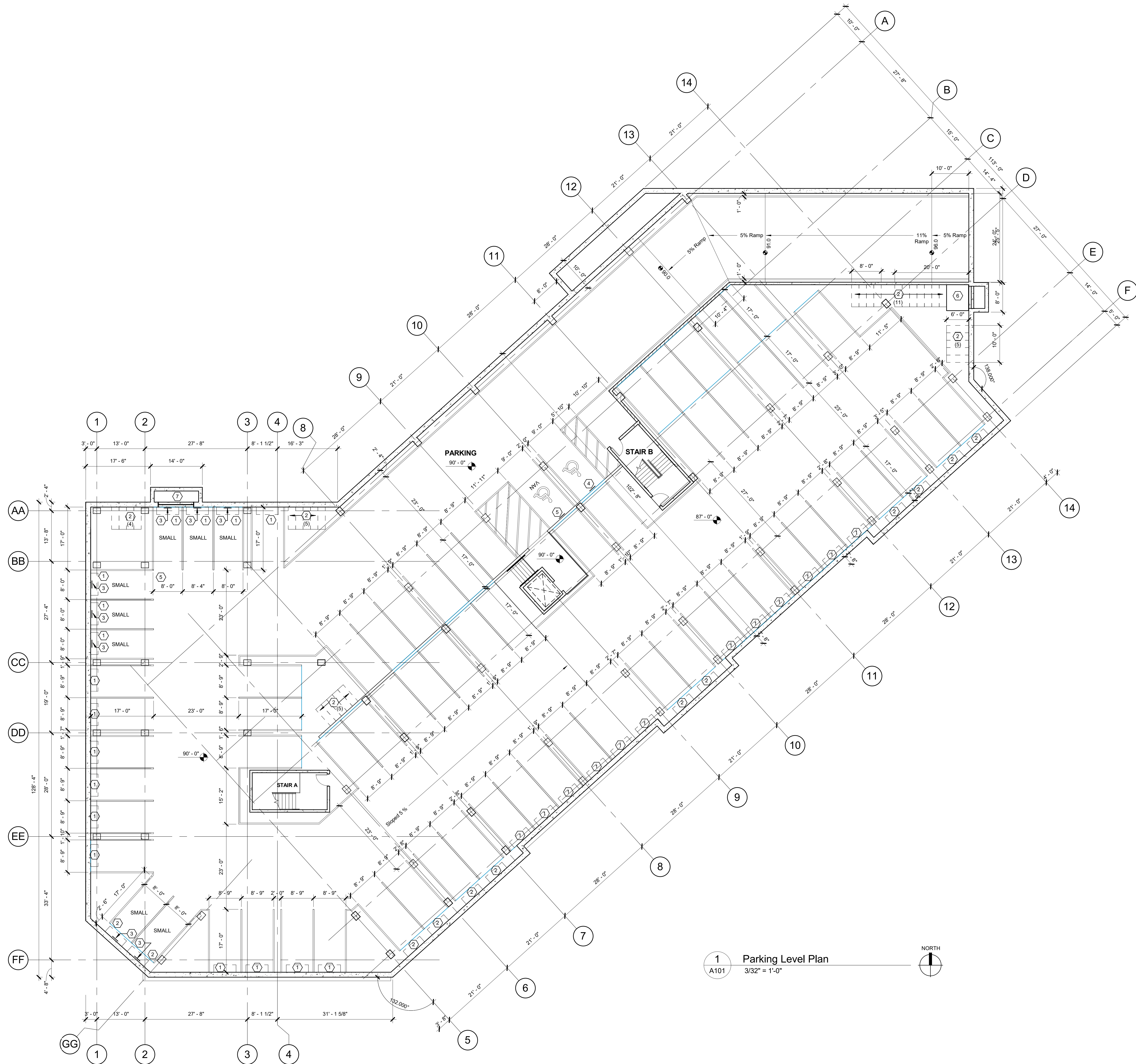
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PARKING LEVEL PLAN

A101



1 Parking Level Plan
3/32" = 1'-0"



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A102



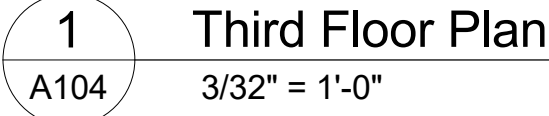


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SECOND FLOOR PLAN



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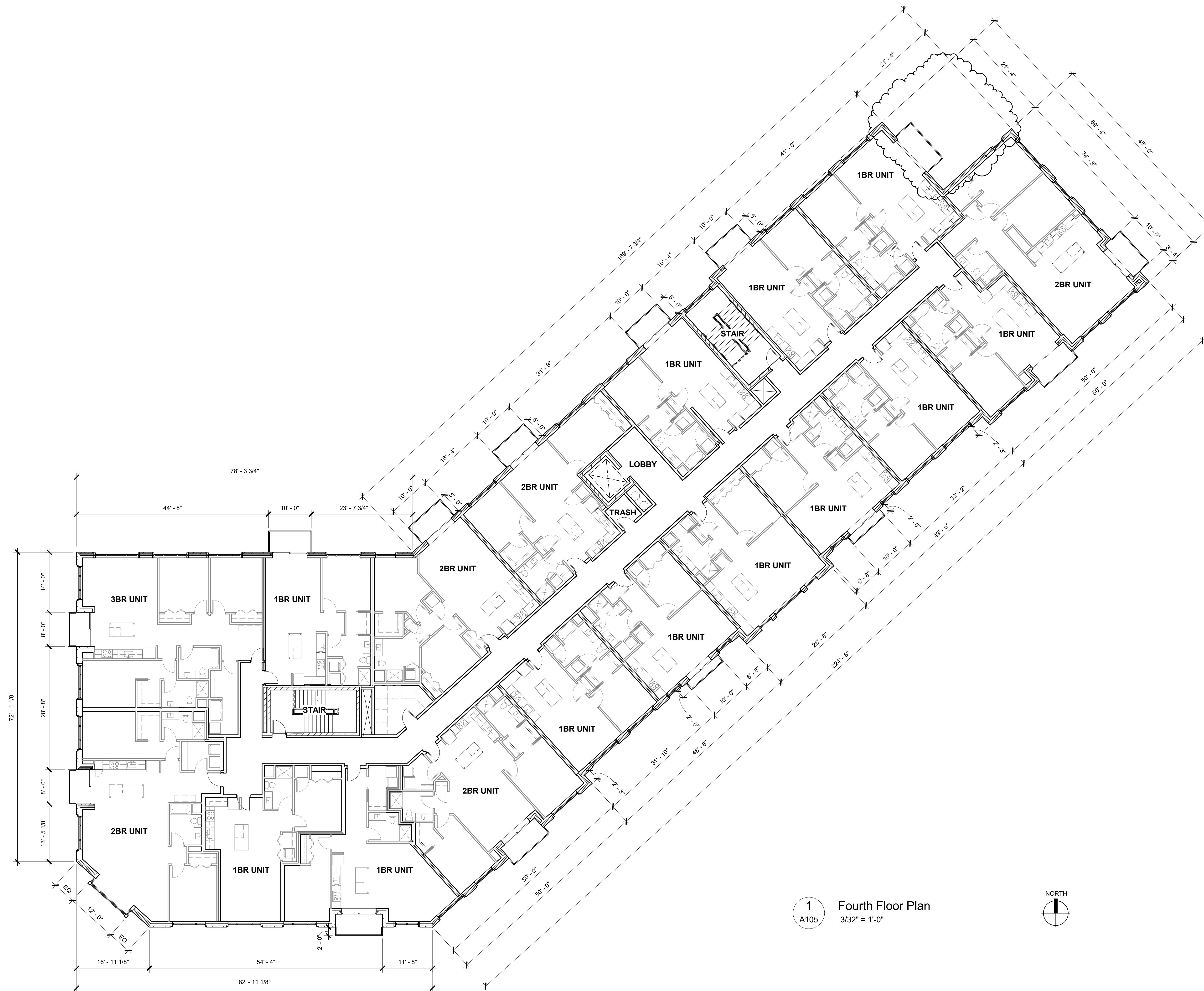
2017.09.00

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THIRD FLOOR PLAN

A104

Units	Floors	2nd	3rd	4th	5th	Totals
1 BR		11	12	12	7	42
2 BR		5	5	5	5	20
3 BR		1	1	1	0	3
Total Units		17	18	18	12	65
Total Bedrooms		24	25	25	17	91



1 Fourth Floor Plan
A105 3/32" = 1'-0"



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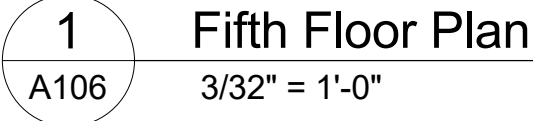
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02/07/2017	PLAN COMMISSION - REVISION	

FOURTH FLOOR PLAN

A105



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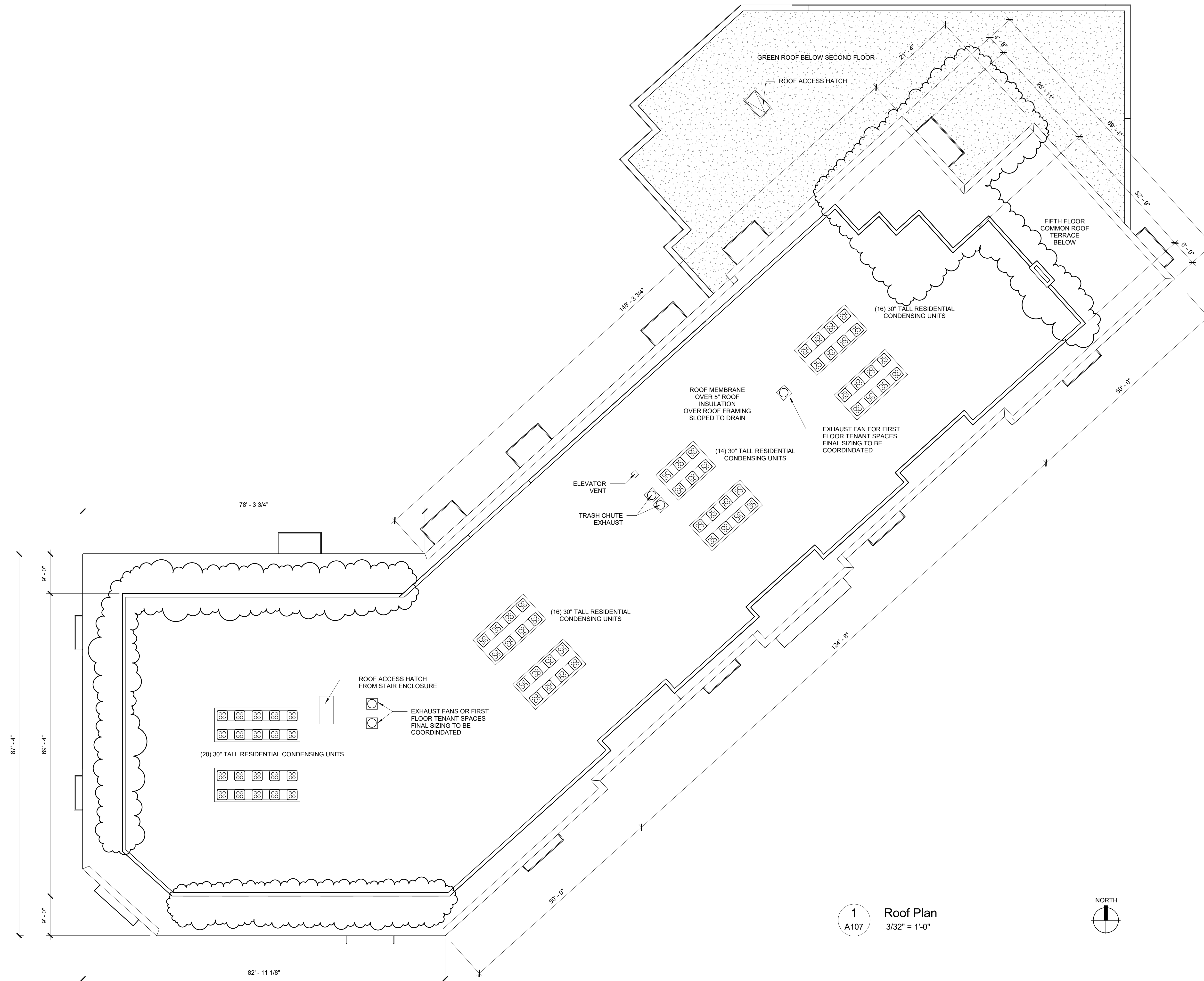
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FIFTH FLOOR PLAN

A106



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[illegible]

ROOF PLAN

A107

KEYNOTES:

- BRICK TYPE 1:
SUMMIT BRICK & TILE
SAINT CHARLES SMOOTH OR EQUIVALENT
- BRICK TYPE 2:
BOWERSTON SHALE COMPANY
OLDE CHEYENNE MODULAR OR EQUIVALENT
- CAST STONE:
EDWARDS CAST STONE
COLOR: 19018
STANDING SEAM VERTICAL
METAL WALL PANELS
COLOR: MEDIUM BRONZE
- ACCENT METAL WALL PANELS
COLOR: MEDIUM BRONZE
- METAL CLAD BALCONIES
COLOR: TAN OR MEDIUM BRONZE
ALUMINUM RAILINGS
COLOR: BLACK
- ALUMINUM STOREFRONT
COLOR: BLACK OR MEDIUM BRONZE
- AWNINGS
COLOR: TBD BY TENANT
- CAST STONE ACCENT BANDING
COLOR: TO MATCH CAST STONE PANELS
- CAST STONE COPING OR CORNICE
COLOR: TO MATCH CAST STONE PANELS
- DECORATIVE ALUMINUM RAILING
COLOR: BLACK
- STEEL ENTRY CANOPY
- HIGH SPEED ROLLING GARAGE
DOOR WITH VISION GLASS
COLOR: MEDIUM BRONZE
- ALUMINUM WALL LOUVER
COLOR: MEDIUM BRONZE
- METAL WINDOW PLANTER BOXES
- DECORATIVE GLASS
- METAL WALL COPING
COLOR: TO MATCH ADJACENT WALL
- PAINTED STEEL ACCENT ELEMENTS
COLOR: MEDIUM BRONZE
- PATIO DOORS
COLOR: MEDIUM BRONZE
- WINDOW UNITS
COLOR: MEDIUM BRONZE
- HW DOOR
COLOR: DARK BRONZE

RETAIL STOREFRONTS AND SIGNAGE SHOWN ARE FOR
DESIGN INTENT & LOCATIONS ONLY. FINAL RETAIL
STOREFRONTS & SIGNAGE WILL BE SUBMITTED FOR
APPROVAL BY TENANTS AT A FUTURE DATE.

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Building Elevations

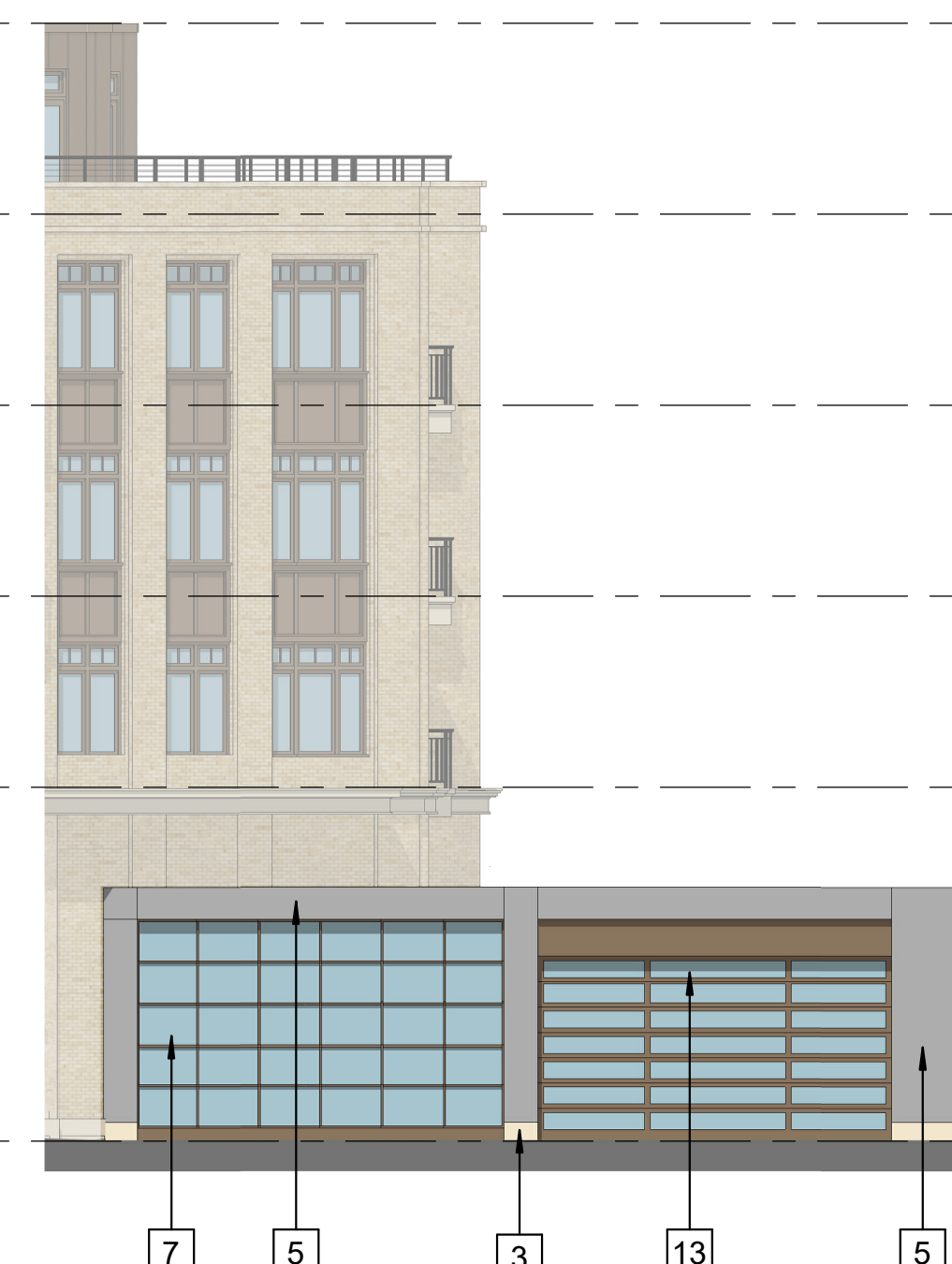
A201.



1 Monroe Street (East) Elevation
3/32" = 1'-0"



3 West Lawn Avenue (South) Elevation
3/32" = 1'-0"



2.5 Stockton Court (Northeast) Elevation
3/32" = 1'-0"



2 North Elevation
3/32" = 1'-0"



5 Northwest Elevation
3/32" = 1'-0"



4 Spooner Street (West) Elevation
3/32" = 1'-0"

