# 1720 Monroe Street Redevelopment

Land Use Application
Plan Commission - Revision
February 7, 2018







## 1720 Monroe Street

## **Project Team**

Owner/Developer **Urban Land Interests** 

**Architect** Potter Lawson, Inc. Structural Engineer Fink Horejsh, LLC

Landscape Architect Ken Saiki Design

**Civil Engineer** 

Burse Surveying and Engineering, Inc

**Location Map** Project Location: 1720 Monroe Street & 625 Spooner Street, Madison, Wisconsin Stockon Court Street Spooner West Lawn Avenue

## **Drawing List**

#### General

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C300 Civil Site Plan

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\*L101 Landscape Plan Site Lighting Plan

#### \*Revised Drawings

#### **Architectural**

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\*A103 Second Floor Plan

\*A104 Third Floor Plan \*A105 Fourth Floor Plan

\*A106 Fifth Floor Plan

\*A107 Roof Plan

\*A201 Building Elevations

\*A211 Building Perspective Views

\*A212 Building Perspective Views

## **Project / Zoning Information**

**Proposed Use / Occupancy:** 

First Floor

(M) Commercial

(R2) Residential Apartments

(S2) Parking

**Current Zoning:** 

1720 Monroe Street 625 Spooner Street

PD **Proposed Zoning:** 

Setbacks **Provided** Front: Side: Rear:

**Building Height:** 5 stories

**Lot Coverage:** 74.7%

**Total Site Area:** 37,964 SF (28,385 SF coverage)

**Usable Area:** 4,511 SF Balconies 4,130 SF

8,641 SF (132.9 SF/Unit)

(1per 10 Units resident total)

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## **Building Area**

80,125 GSF 16,343 GSF **Apartment Building** (R2) Commerical 29,982 GSF 129,644 GSF Below Grade Parking **Combined Total** 

### Unit Information \_\_\_\_

~		~~~~	$\sim$	~~~	~ \	~~~	$\nearrow \frown$	7
	Units	<b>Floors</b>	2nd	3rd	4th	5th	<b>Totals</b>	$\mathcal{L}$
	1 BR		11	12	12	7	42	
	2 BR		5	5	5	5	20	<b>≺</b>
	3 BR		1	1	1	0	3	•
	Total Units		17	18	18	12	65	≺
	Total Bedrooms	S	24	25	25	17	91	3
7								٢

## **Parking Summary**

#### **Vehicle Parking Stalls Apartment Building below grade**

Regular Small Accessible Van Accessible

#### Surface

**Total** 

Regular Small Accessible

**Total** 84 stalls

#### **Bike Parking Stalls**

Retail (1 per 2,000sf) (1 per unit min., enclosed)

**Apartment Building Residents** 

Horizontal (Floor mounted) Horizontal (Wall mounted) Total

**Apartment Building Visitors** 

Horizontal (Floor mounted) 85 stalls 1720 Monroe Street **Urban Land Interest** 

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Madison, WI

LAND USE APPLICATION

**Project Information** 

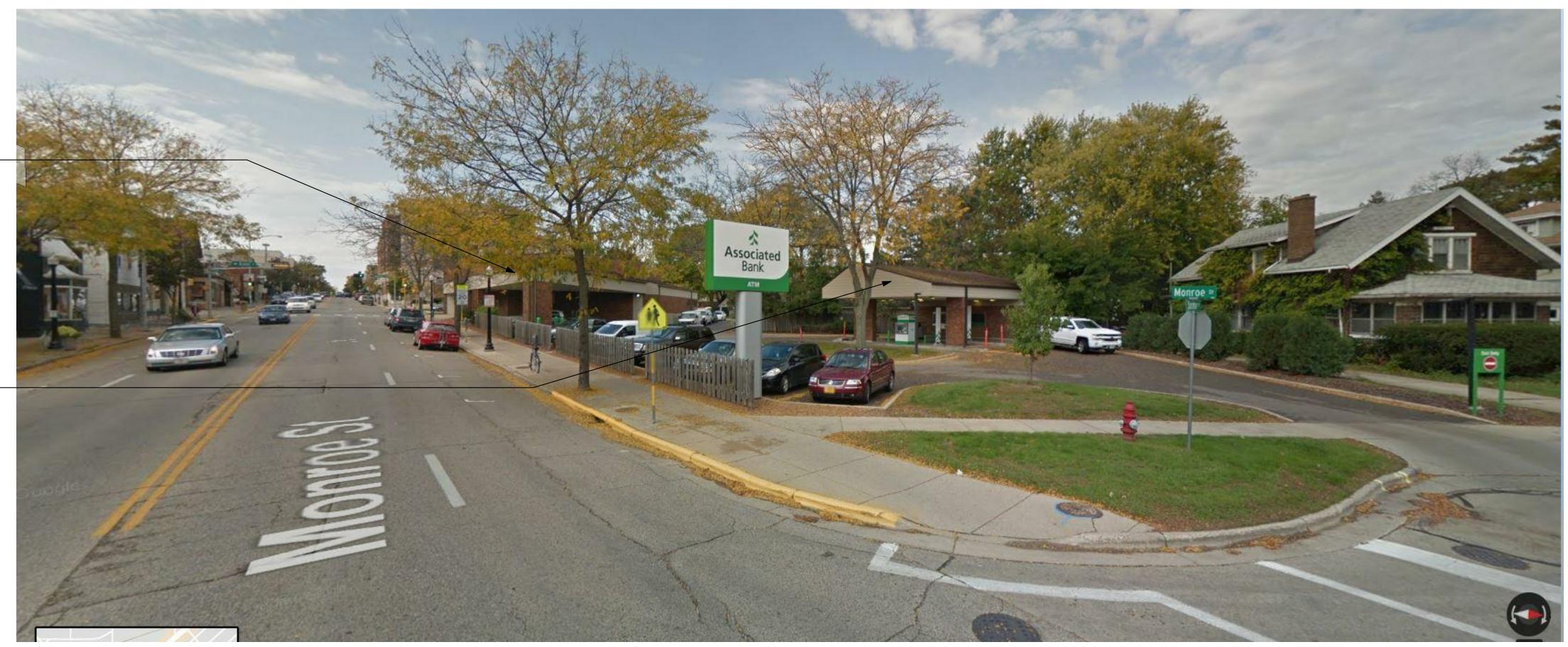


Associated Bank Building – 1720 Monroe Street



Associated Bank Building 1720 Monroe Street

Associated Bank - drive through canopy



View from Monroe - Stockton Street corner

Associated Bank Building – 1720 Monroe Street

625 Spooner Street -



View from Spooner - Keyes Street corner



View from West Lawn - Spooner Street corner

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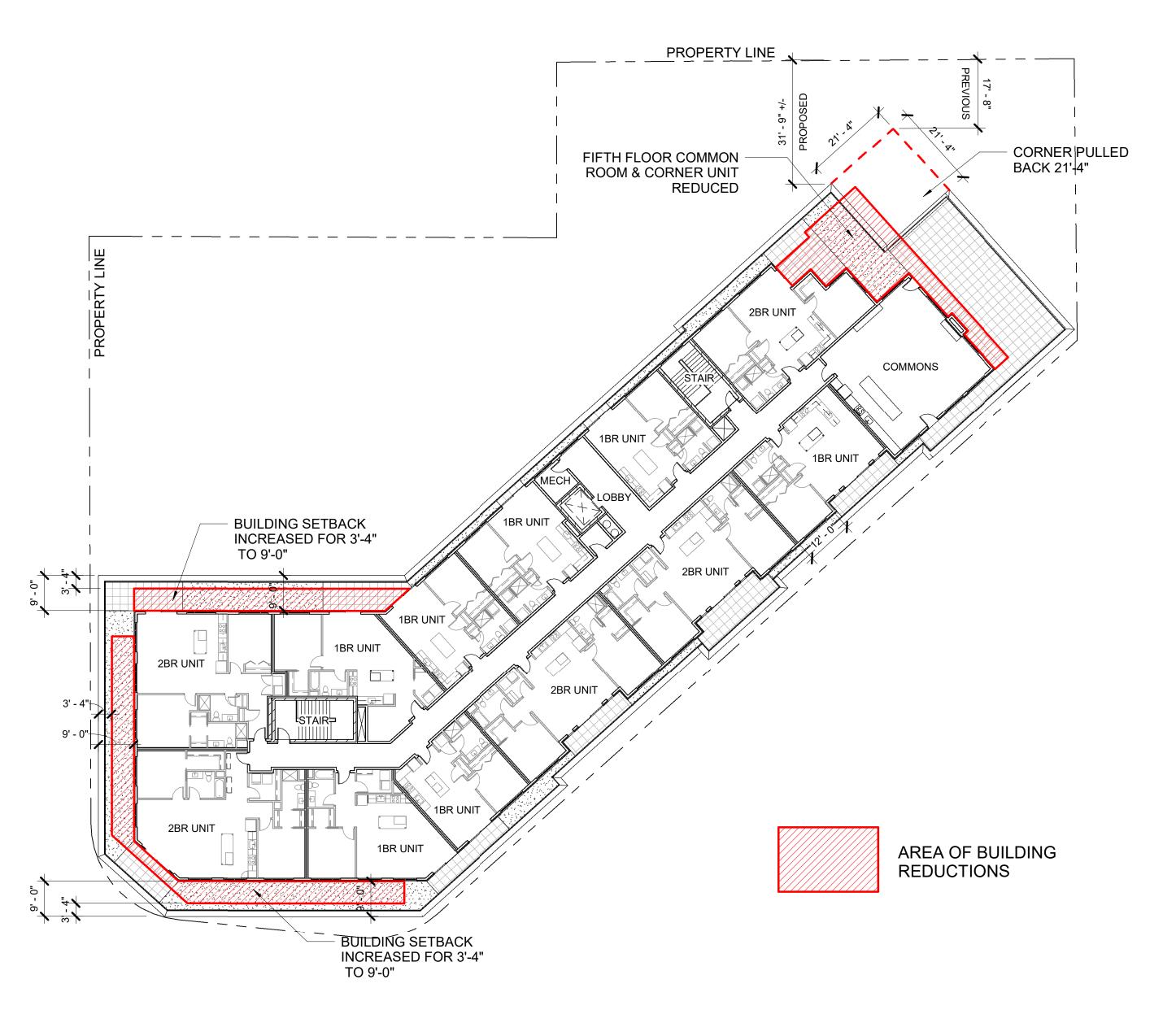
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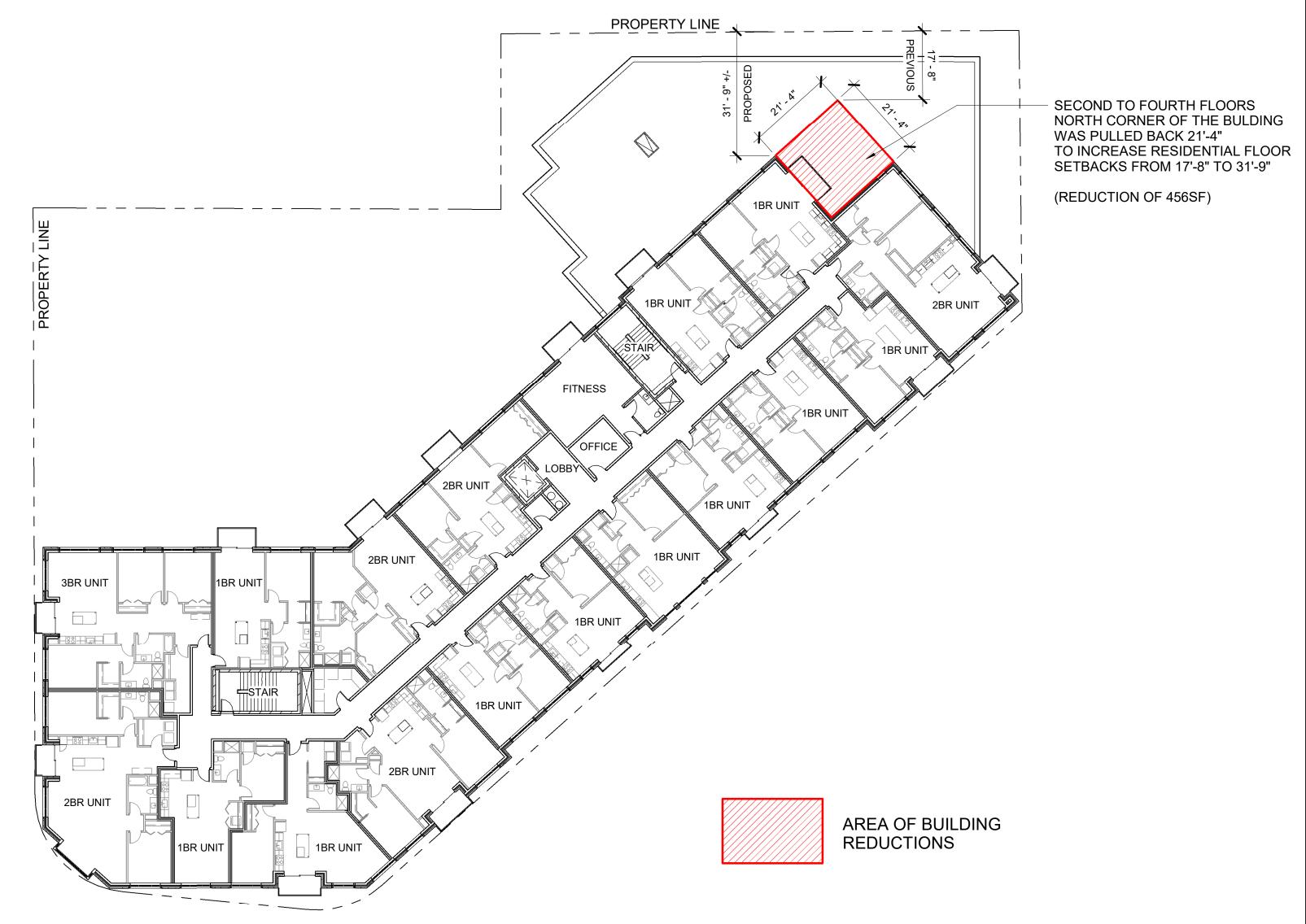
Date	Issuance/Revisions	Symbo
11/20/2017	LAND USE APPLICATION	
02/07/2017	LAND USE APPLICATION - RESUBMITTAL	

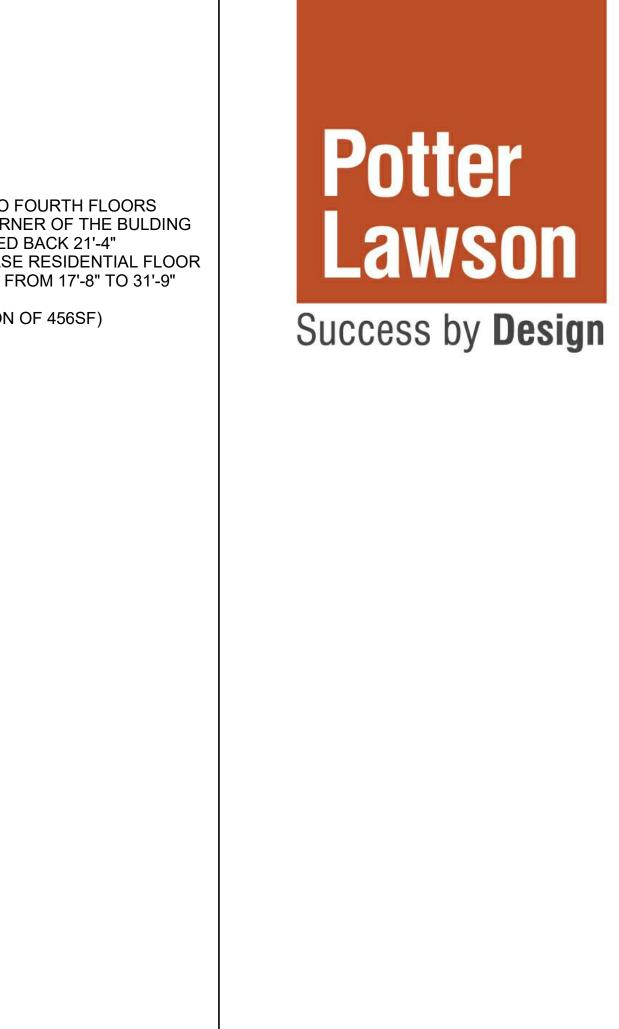
Existing Building Images

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G201







FIFTH FLOOR REVISION DIAGRAM



PROPOSED DESIGN WITH BUILDING REDUCTION

SECOND TO FIFTH FLOOR REVISION DIAGRAM

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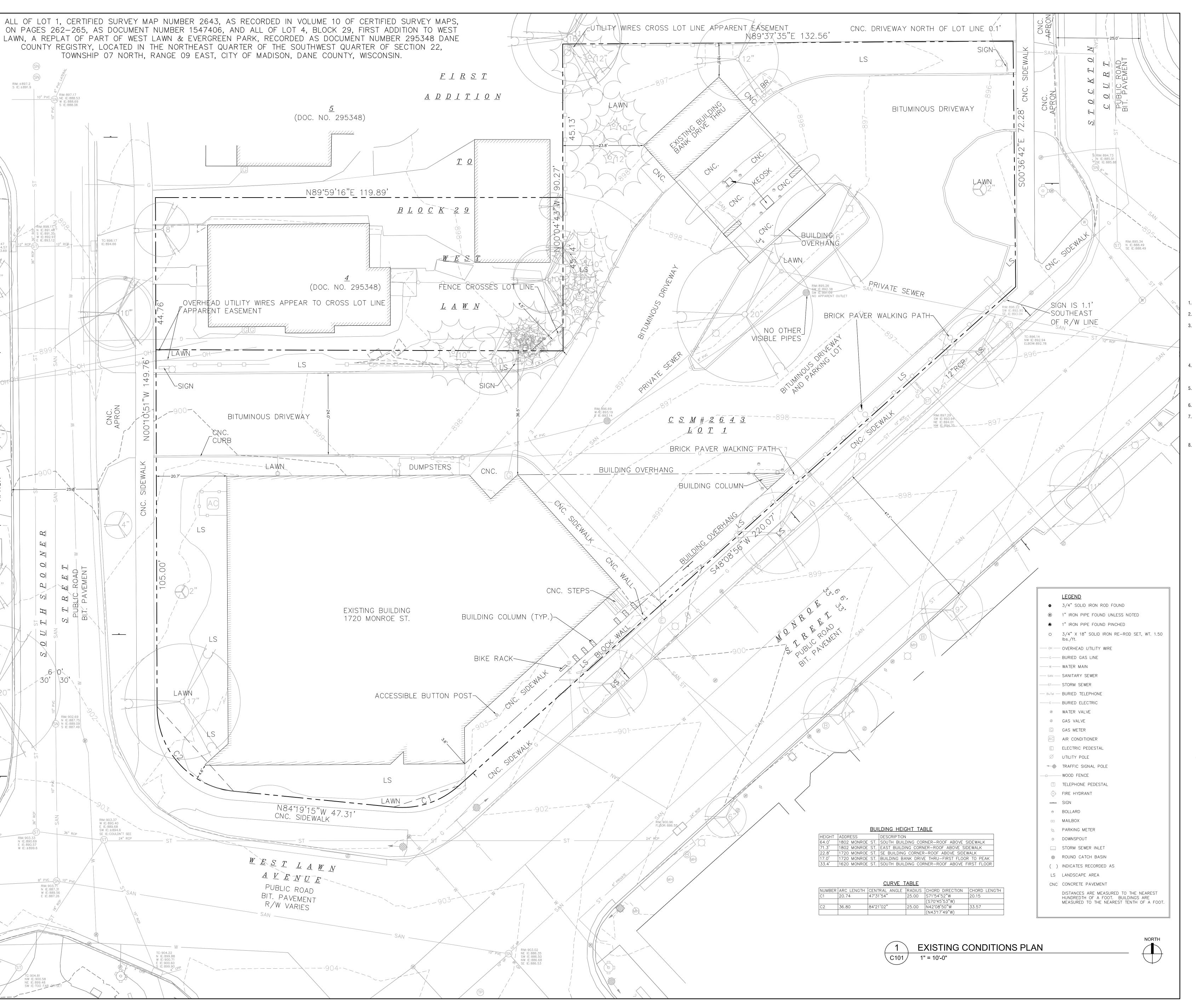
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## **Plan Revisions**

**Diagrams** 





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Madison, WI 53703
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: Mburse@BSE-INC.net
www.bursesurveyengr.com



- Dates of field work: May November, 2017.
- 2. Total Parcel Area: 37,964 square feet.
- Routing of public utilities is based upon markings provided by Digger's Hotline, Ticket Numbers 20172119339 and 20174017619, drawings obtained from City of Madison website, and visible aboveground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. BURSE does not warrant the location of underground utilities. Before excavations are preformed, contact Digger's Hotline. (Private electric to the light poles was not marked)
- No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- All subsurface improvements on and adjacent to the site are not necessarily shown hereon, as they were not observed during the course of the survey.
- 6. All trees and hedges on the site are not shown hereon.
- Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements not shown on the provided title report; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts in public or private records.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose. Surveyor was provided with a Title Commitment Number NCS-835420-MAD dated February 06, 2017 from First American Title Insurance Company, which references the following (numbers in parenthesis match items in Schedule B.
- (11) Cross Easement Agreement recorded in Volume 865 of Records, Page 353, as Document No. 1541072. [shown on map]
- (12) Alteration to An Approved and Recorded SIP recorded in Volume 6265 of Records, Page 83, as Document No. 1858562. [general in nature and cannot be depicted on this map]
- (13) Right of Way Grant for Underground Electric recorded January 29, 1997, as Document No. 2829017. [shown on map]

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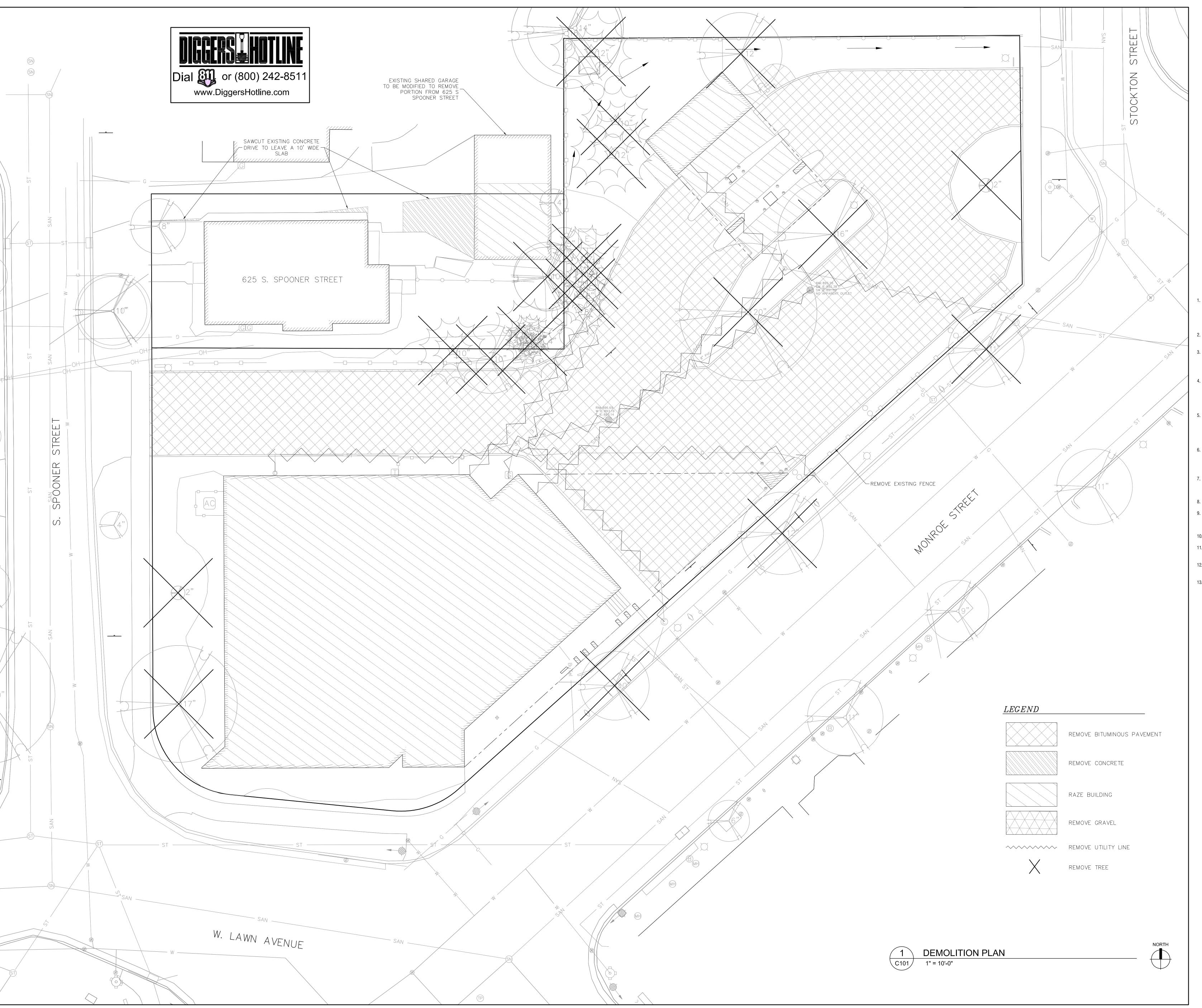
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**Existing Conditions** 

C100





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- The contractor is responsible for the demolition, removal, and disposing in a location approved by all governing authorities, of all structures, pads, walls, flumes, foundations, parking drives, drainage, structures, utilities, etc., such that the improvements shown on the remaining plans can be constructed. All facilities to be removed shall be undercut to suitable material and brought to grade with suitable compacted fill material per the specifications.
- 2. The contractor is responsible for obtaining all permits required for demolition, plugging and
- The contractor shall coordinate with the respective utility companies prior to the removal and/or relocation of utilities. The contractor shall coordinate with the utility company concerning portions of work which may be performed by the utility company forcing any fees which are to be paid to the utility company for their services. the developer is responsible for paying all fees and charges.
- The locations of all existing utilities shown on this plan have been determined from the best information available and are given for the convenience of the contractor. The engineer assumes no responsibility for their accuracy. prior to the start of any demolition activity, the contractor shall notify the utility companies for onsite locations of existing utilities. Notify the engineer of any discrepancies.
- All existing sewers, piping, and utilities shown are not to be interpreted as the exact location, or as the only obstacles that may occur on the site. Verify existing conditions and proceed with caution around any anticipated features. give notice to all utility companies regarding destruction and removal of all service lines before proceeding with the work. Utilities determined to be abandoned and left in place shall be grouted if under building.

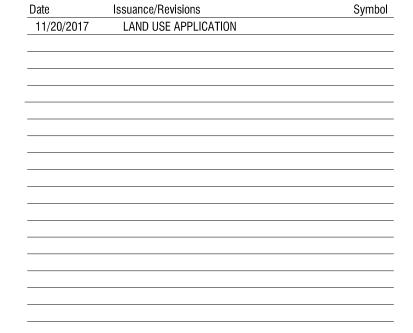
Electrical, telephone, cable, water, fiber optic cable, and/or gas lines needing to be removed or relocated shall be coordinated with the affected utility company. Adequate time shall be provided

- for relocation and close coordination with the utility company is necessary to provide a smooth transition in utility service.
- Contractor shall protect the public at all times with fencing, barricades, enclosures, covered walkways, etc. Contractor shall submit their street occupancy plan to Traffic Engineering for approval
- 8. Prior to demolition occurring, all erosion control devices are to be installed.
- 9. The contractor may limit sawcut and pavement removal to only those areas where it is required as shown on these construction plans, but if any damage is incurred on any of the surrounding pavement, etc. The contractor shall be responsible for its removal and repair in kind.
- 10. Damage to all existing condition to remain will be replaced at the contractor's expense.
- 11. Continuous access shall be maintained for the surrounding properties at all times during demolition of the existing facilities.
- 12. The right-of-way is the sole jurisdiction of the city of Madison and is subject to change at any time per the recommendation/plan of Traffic Engineering and City Engineering Departments.
- 13. Cap all unused existing laterals per City of Madison requirements.

## 1720 Monroe Street Urban Land Interest

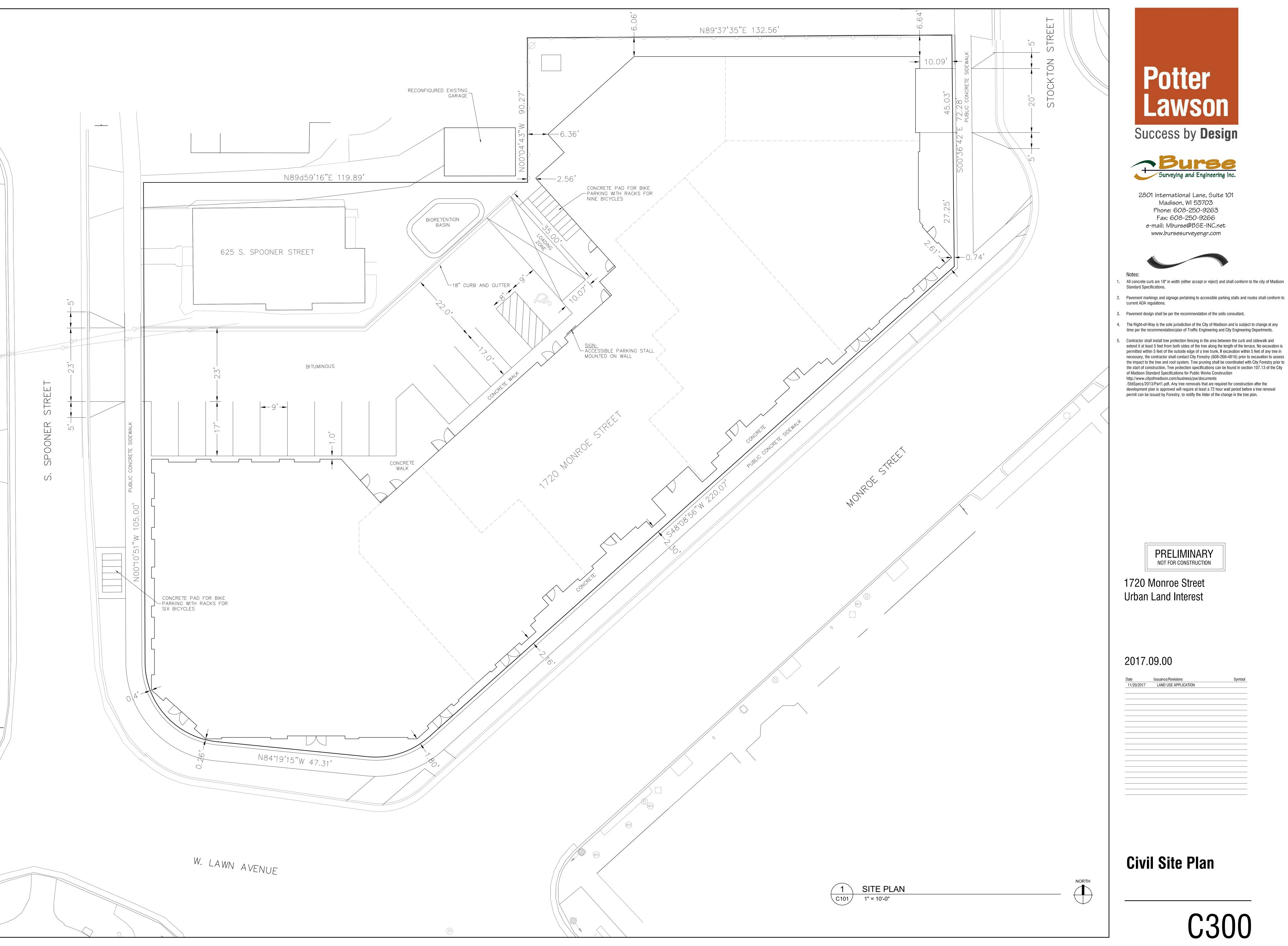
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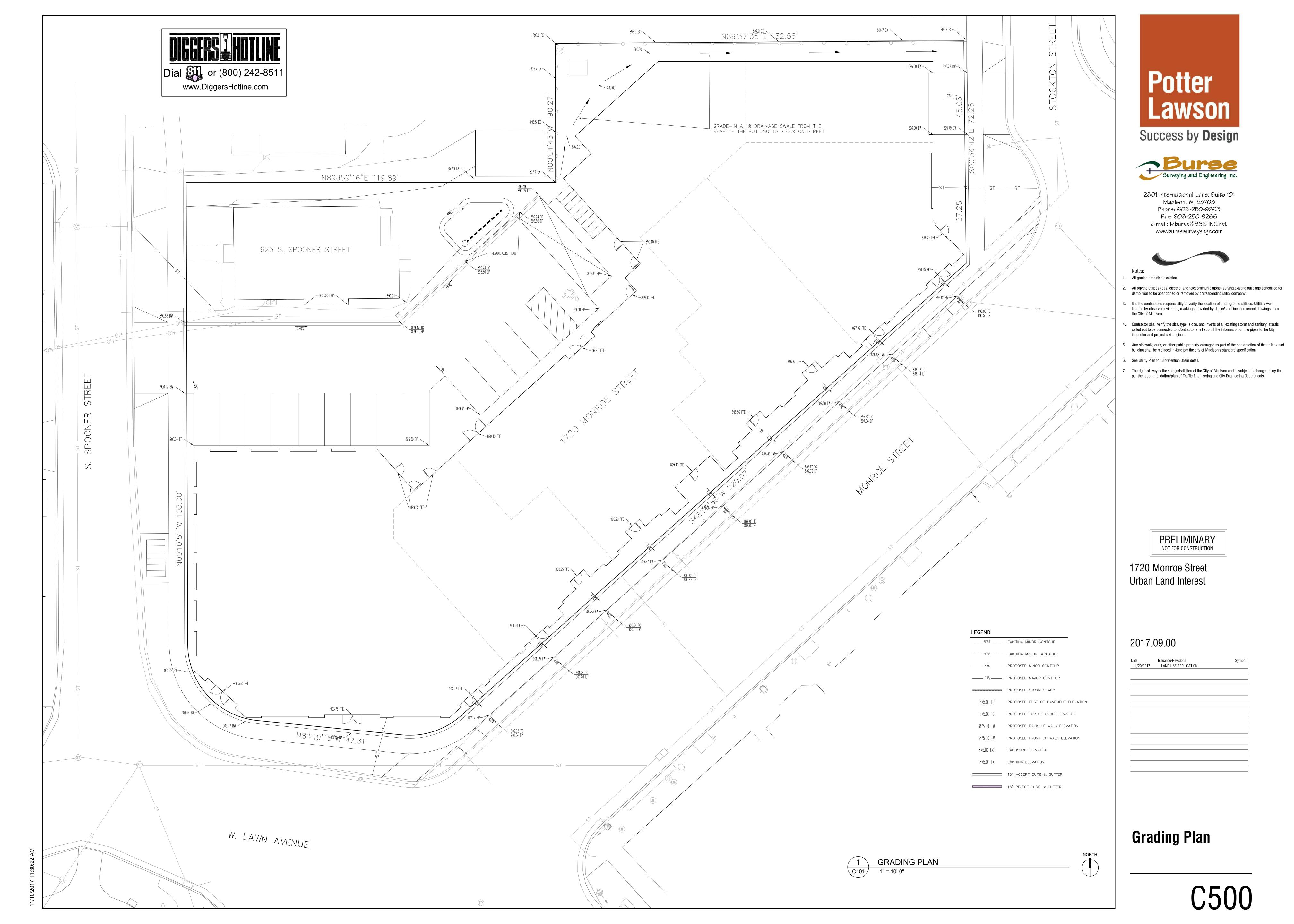
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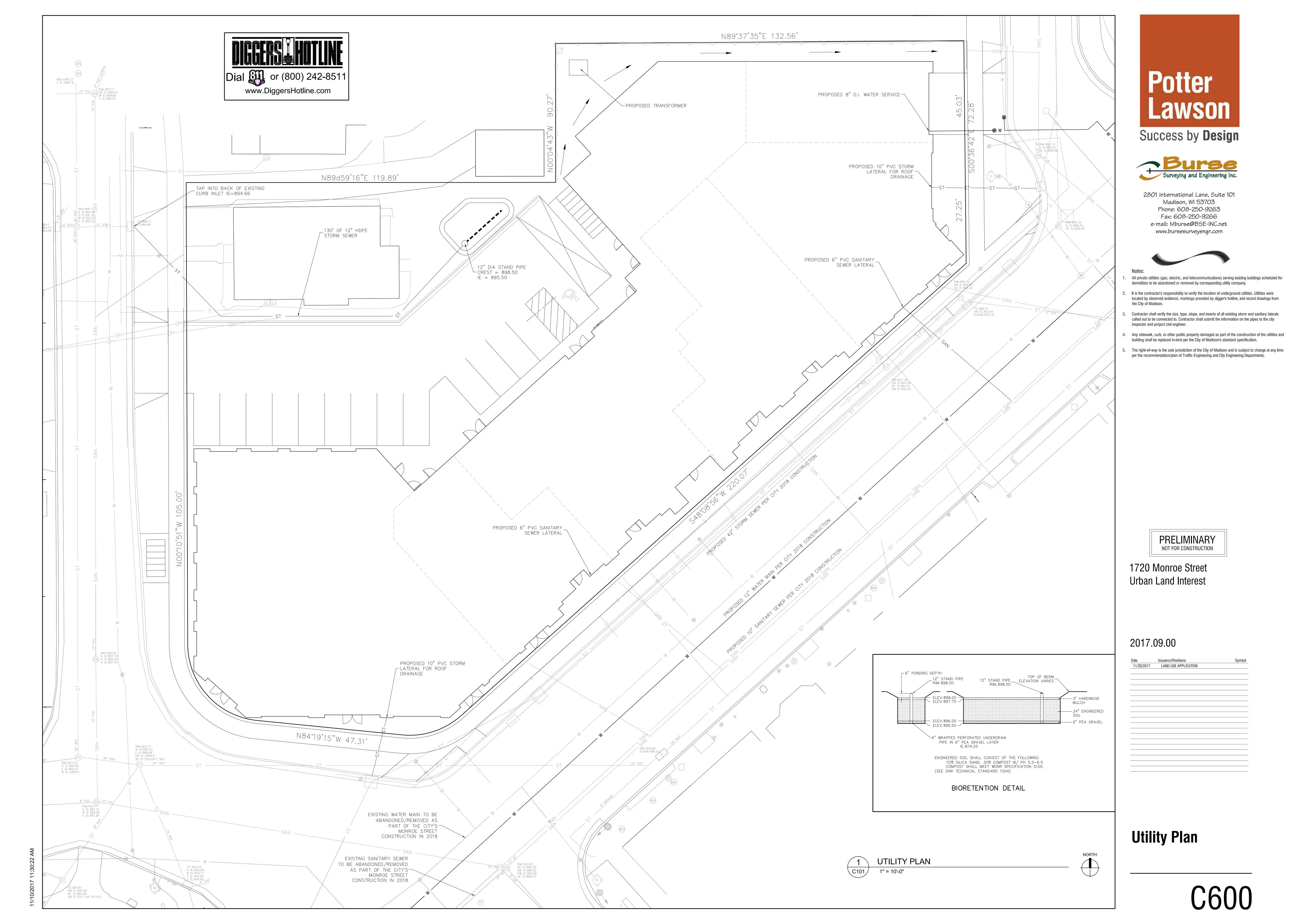


### **Demolition Plan**

C200









### City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address:	1720 Monroe Street
Contact Name & Phone #:	Brian Reed & 608-274-2741

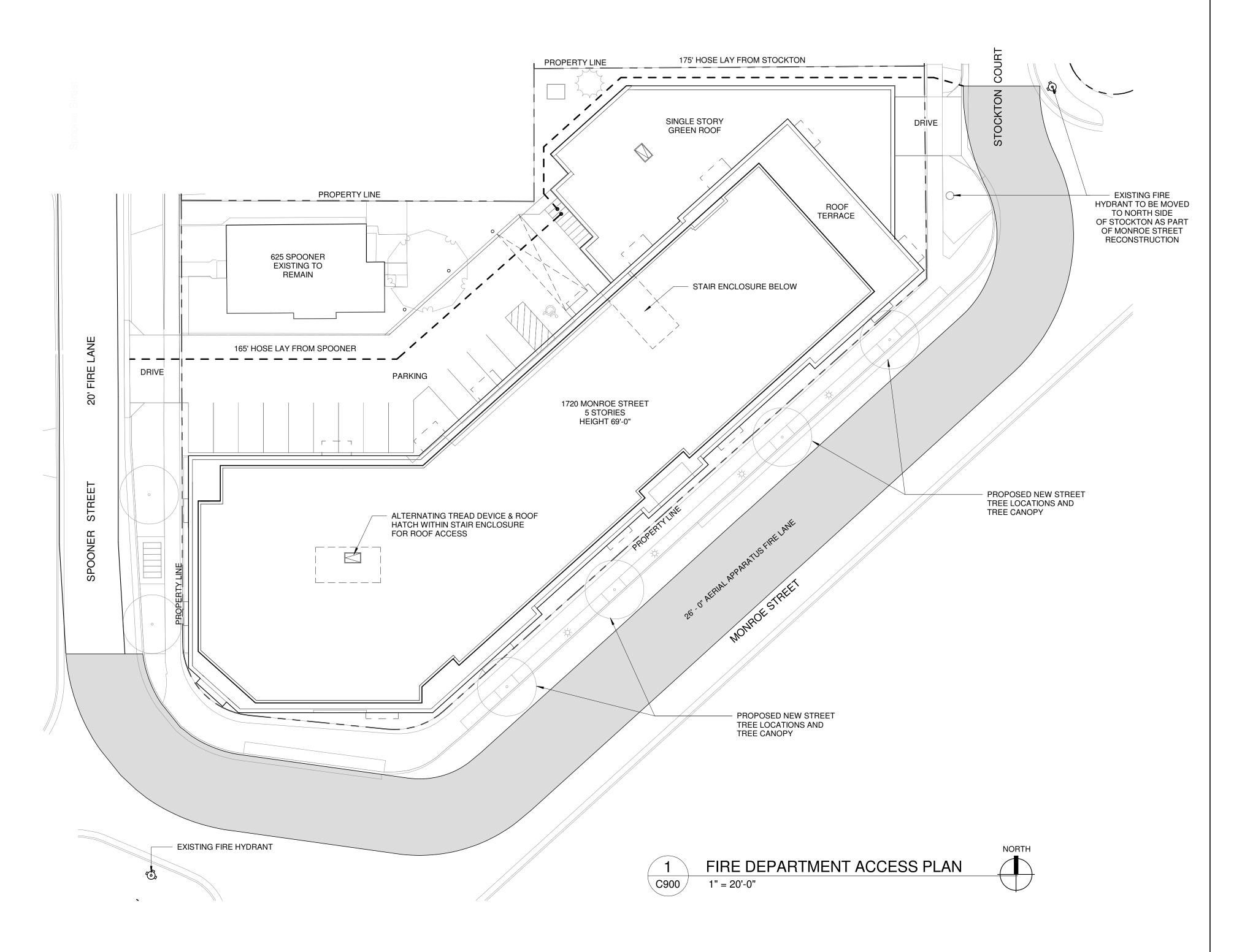
#### FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

<ol> <li>Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?         If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?         If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?     </li> </ol>	Yes Yes Yes	☐ No ☐ No ☐ No	<ul><li>□ N/A</li><li>□ N/A</li><li>□ N/A</li></ul>
<ul> <li>2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? <ul> <li>a) Is the fire lane a minimum unobstructed width of at least 20-feet?</li> <li>b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?</li> <li>c) Is the minimum inside turning radius of the fire lane at least 28-feet?</li> <li>d) Is the grade of the fire lane not more than a slope of 8%?</li> <li>e) Is the fire lane posted as fire lane? (Provide detail of signage.)</li> <li>f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)</li> <li>g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)</li> </ul> </li> </ul>	<ul> <li>Yes</li> <li>Yes</li> <li>Yes</li> <li>Yes</li> <li>Yes</li> <li>Yes</li> <li>Yes</li> <li>Yes</li> <li>Yes</li> </ul>	No No No No No No No No No	<ul> <li>□ N/A</li> </ul>
<ul><li>3. Is the fire lane obstructed by security gates or barricades? If yes:</li><li>a) Is the gate a minimum of 20-feet clear opening?</li><li>b) Is an approved means of emergency operations installed, key vault, padlock or key switch?</li></ul>	☐ Yes ☐ Yes ☐ Yes	No No No	N/A N/A N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?  If yes, does the area for turning around fire apparatus comply with IFC D103?	☐ Yes ☐ Yes	No No	□ N/A □ N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	Yes	No	□ N/A
<ul> <li>6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: <ul> <li>a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?</li> <li>b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?</li> <li>c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?</li> <li>d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)</li> <li>e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?</li> <li>f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?</li> </ul> </li> </ul>	Yes Yes Yes Yes Yes Yes Yes Yes Yes	□ No	<ul> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> </ul>
<ul> <li>7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. <ul> <li>a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?</li> <li>b) Is there at least 40' between a hydrant and the building?</li> <li>c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?</li> <li>d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?</li> <li>e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?</li> </ul> Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</li></ul>	Yes Yes Yes Yes Yes Yes Yes	<ul><li>No</li><li>No</li><li>No</li><li>No</li><li>No</li><li>No</li><li>No</li><li>No</li></ul>	<ul> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> </ul>

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 1/21/2016





Notes:

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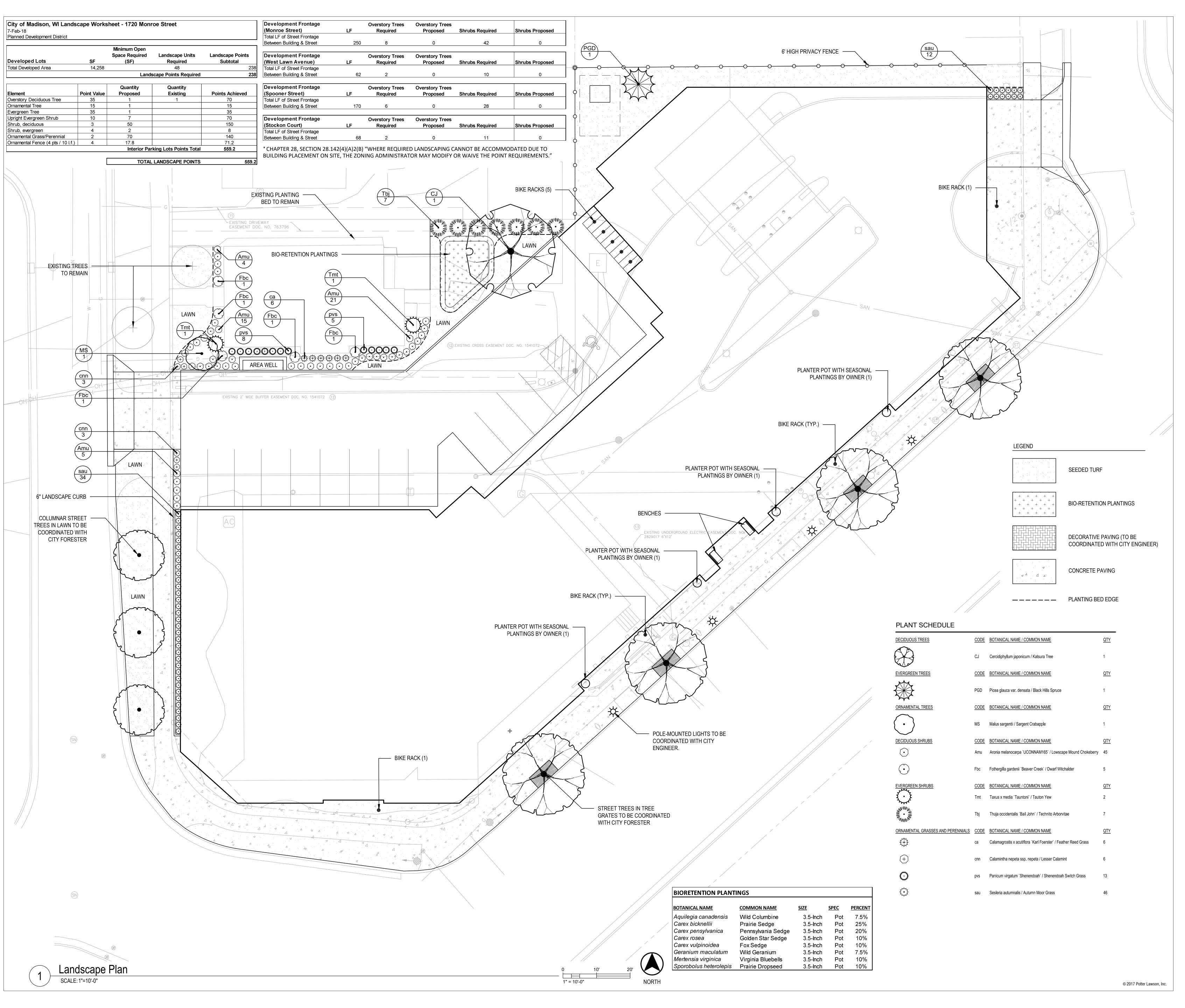
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Fire Apparatus Access Site Plan

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C900





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#### NOTES:

- SEE CIVIL DRAWINGS FOR LAYOUT AND GRADING INFORMATION.
- 2. SEE CIVIL DRAWINGS FOR INFORMATION PERTAINING TO STORMWATER MANAGEMENT.
- 3. FOR PROPOSED TREES WITHIN R.O.W., CONTRACTOR SHALL CONTACT CITY FORESTRY AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE MARKING THE PLANTING SITE, APPROVING THE PLANTING STOCK AND REVIEWING PLANTING SPECIFICATIONS WITH THE CONTRACTOR.
- 4. FINAL LOCATION OF STREET TREES WITHIN MONROE STREET R.O.W. DEPENDENT UPON MONROE STREET RECONSTRUCTION PROJECT AND COORDINATION WITH CITY FORESTER.
- 5. CALL DIGGER'S HOTLINE BEFORE COMMENCING WORK. 811 OR (800) 242-8511.
- 6. ALL PLANT BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.

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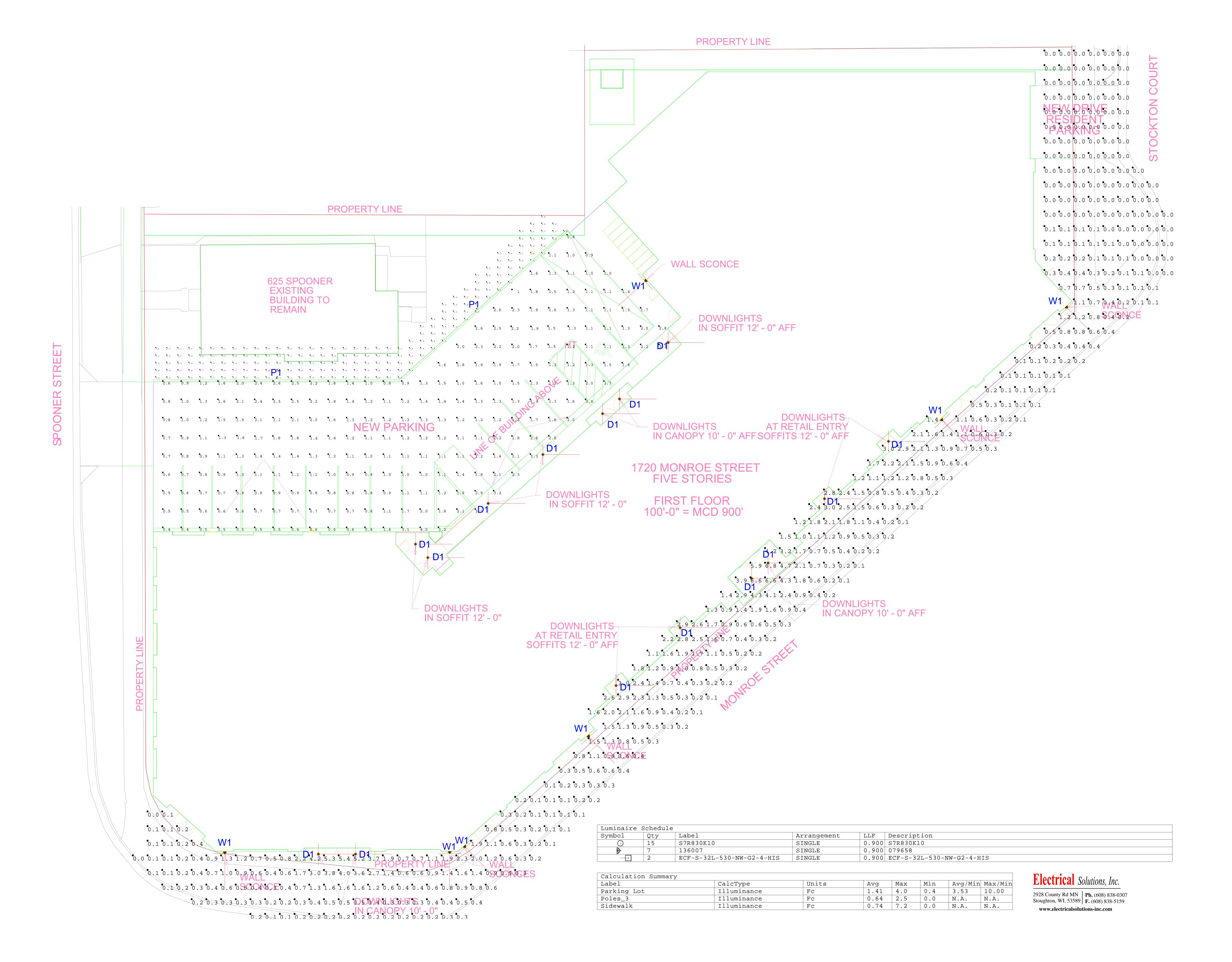
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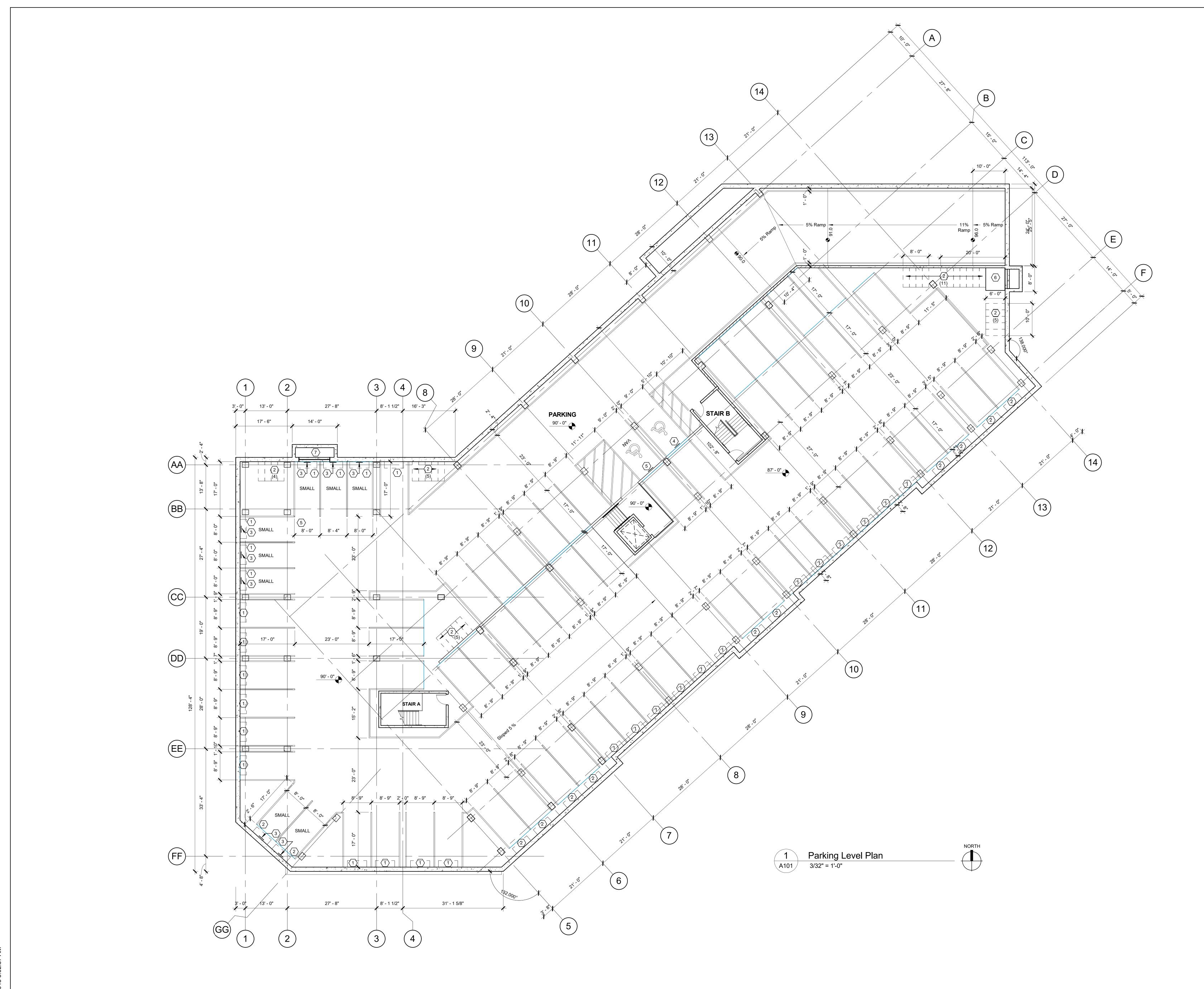
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Landscape Plan

L10







KEY NOTES

- HORIZONTAL WALL MOUNTED BIKE STALLS AT THE FRONT OF PARKING STALLS 2' X 6' (MOUNT ABOVE FRONT END OF CAR)
- (MOSATI FLOOR MOUNTED BIKE STALLS 2' X 6'
- 3 SMALL CAR PARKING STALL SIGN
- 4 ACCESSIBLE PARKING STALL SIGN
- 5 VAN ACCESSIBLE PARKING STALL SIGN
  6 HVAC GARAGE EXHAUST FAN SEE MECHANICAL
- 7 HVAC GARAGE POWERED INTAKE LOUVER SEE MECHANICAL

PARKING COUNTS

REGULAR PARKING STALLS 60
SMALL CAR STALLS 8
VAN ACCESSIBLE STALLS 1
ACCESSIBLE STALLS 1
TOTAL PARKING STALLS 70

BIKE STALLS
LONG TERM FLOOR MOUNTED 42
LONG TERM WALL MOUNTED 28
TOTAL BIKE STALLS 70

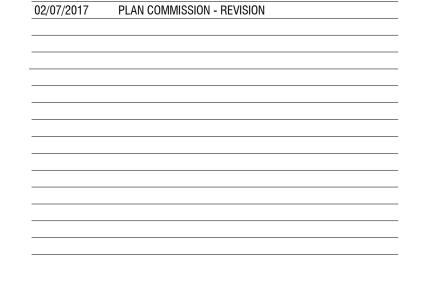
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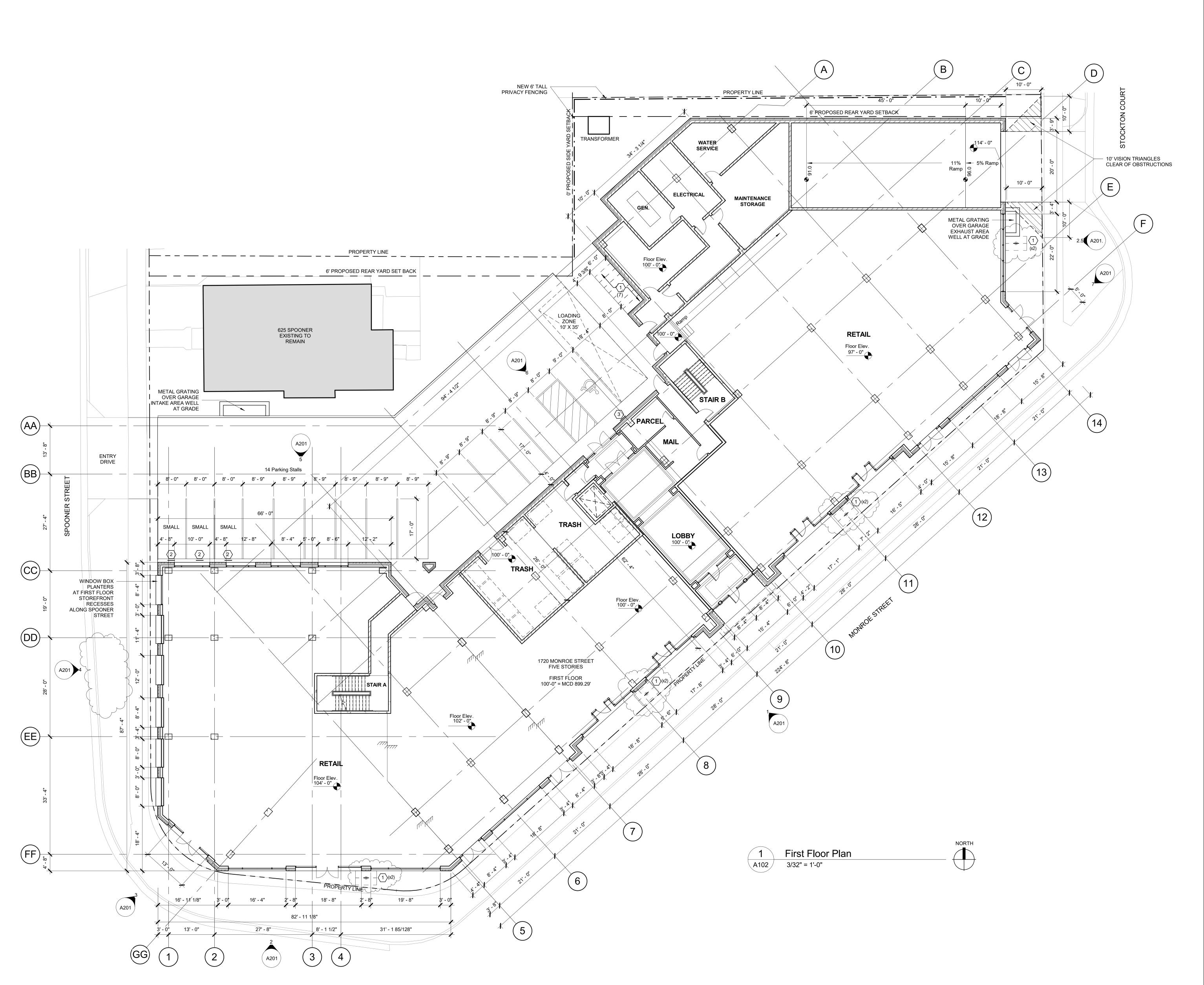
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PARKING LEVEL PLAN

A101

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2 SMALL CAR PARKING STALL SIGN

3 ACCESSIBLE PARKING STALL SIGN

SURFACE PARKING

REGULAR PARKING STALLS

REGULAR PARKING STALLS

ACCESSIBLE STALLS

TOTAL PARKING STALLS

RESIDENTIAL VISITOR STALLS

RESIDENTIAL VISITOR STALLS

RETAIL VISITOR STALLS

TOTAL BIKE STALLS

15

PARKING BELOW GRADE

REGULAR PARKING STALLS

SMALL CAR STALLS

VAN ACCESSIBLE STALLS

TOTAL PARKING STALLS

1 ACCESSIBLE STALLS

TOTAL PARKING STALLS

1 TOTAL PARKING STALLS

2 TOTAL PARKING STALLS

3 TOTAL PARKING STALLS

4 TOTAL PARKING STALLS

5 TOTAL PARKIN

REGULAR PARKING STALLS SMALL CAR STALLS VAN ACCESSIBLE STALLS

ACCESSIBLE STALLS

VISITOR TOTAL BIKE STALLS

BIKE STALLS LONG TERM

TOTAL PARKING STALLS

HORIZONTAL GROUND MOUNTED BIKE STALL 2' X 6'

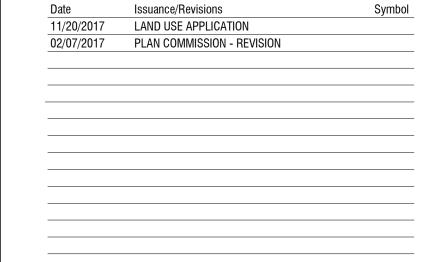
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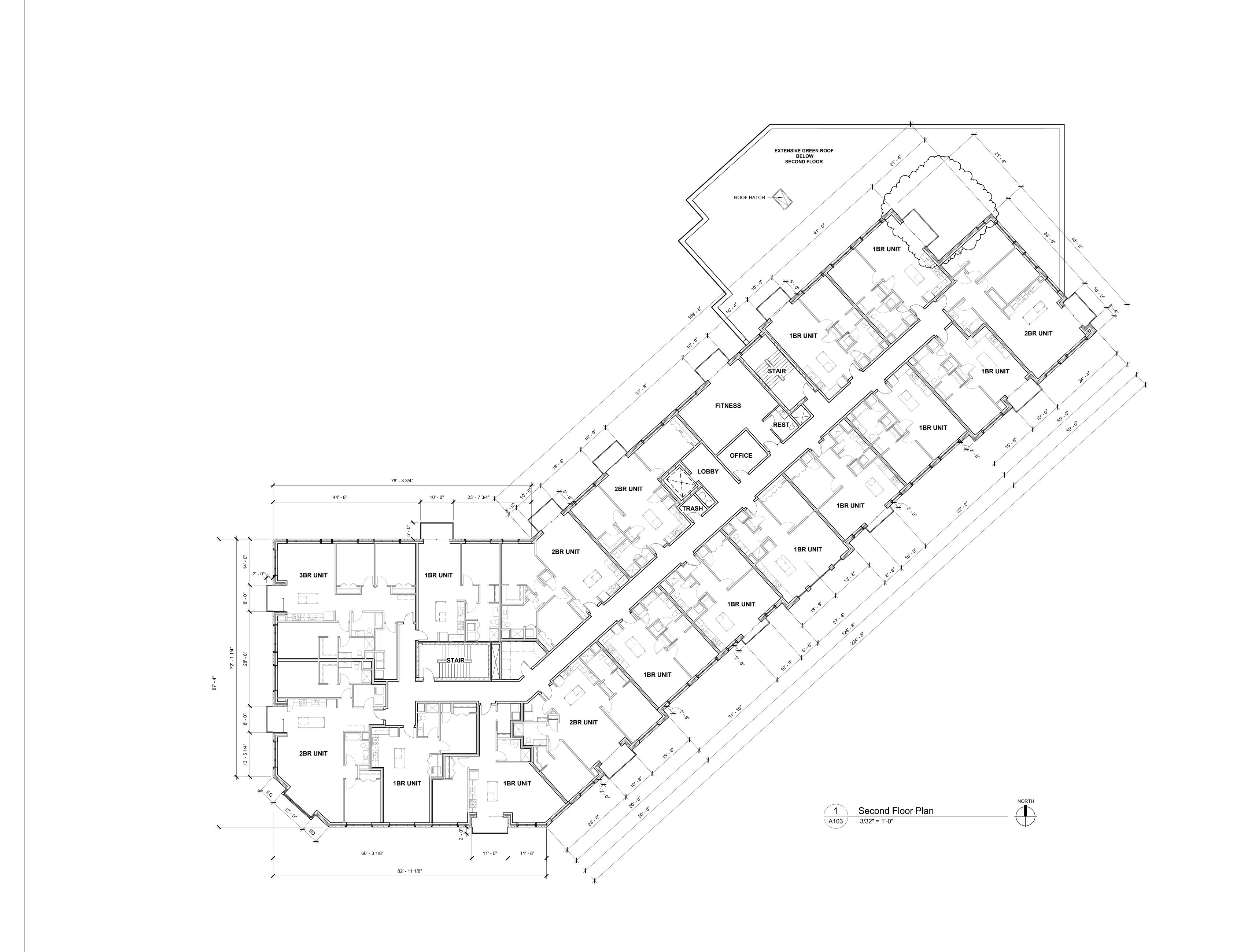
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FIRST FLOOR PLAN

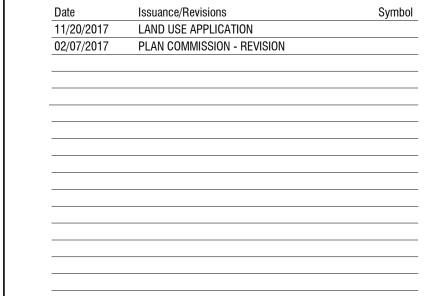




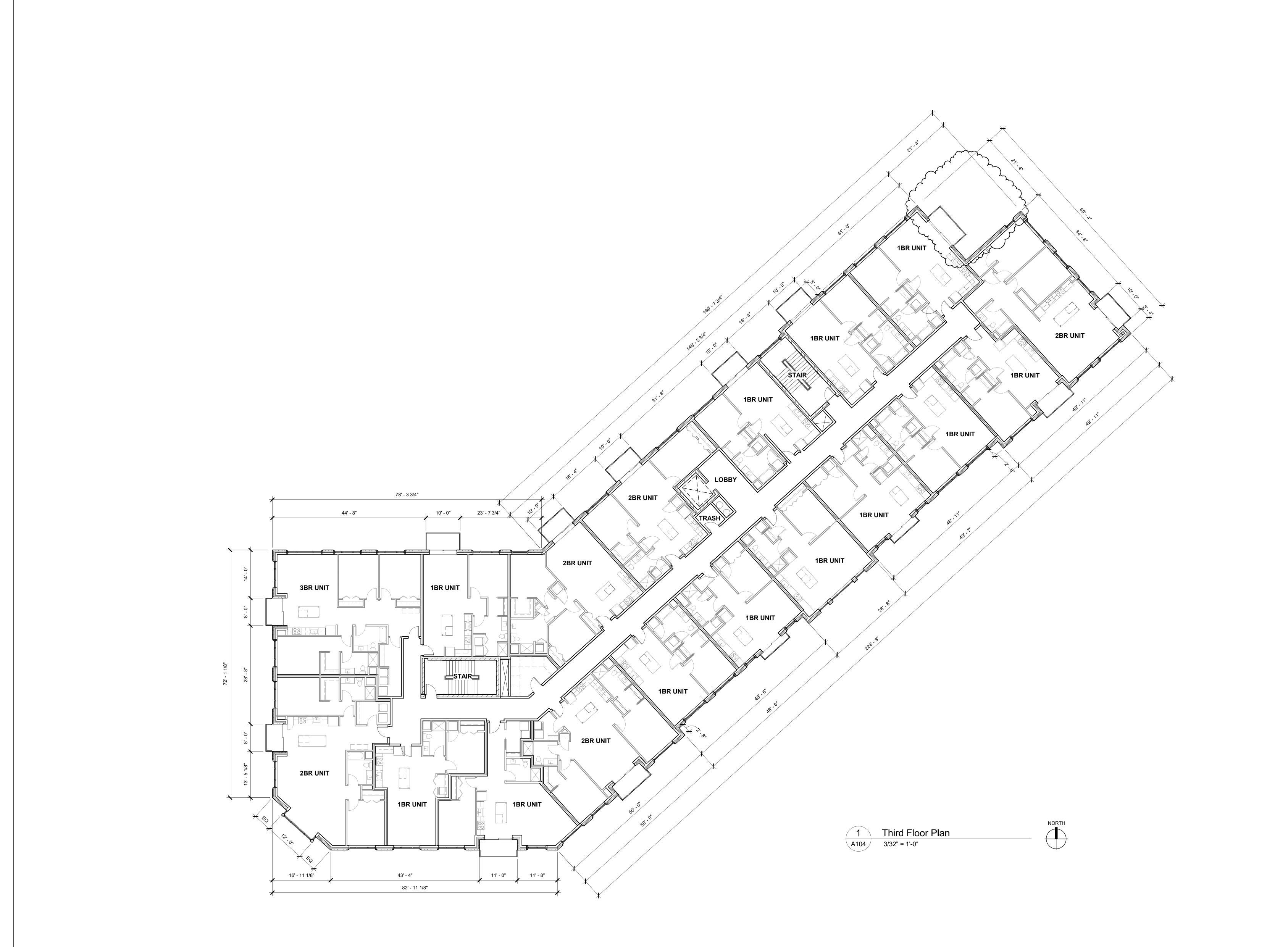
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SECOND FLOOR PLAN

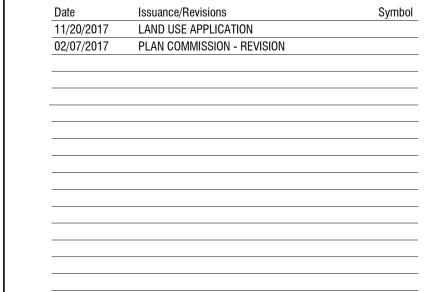




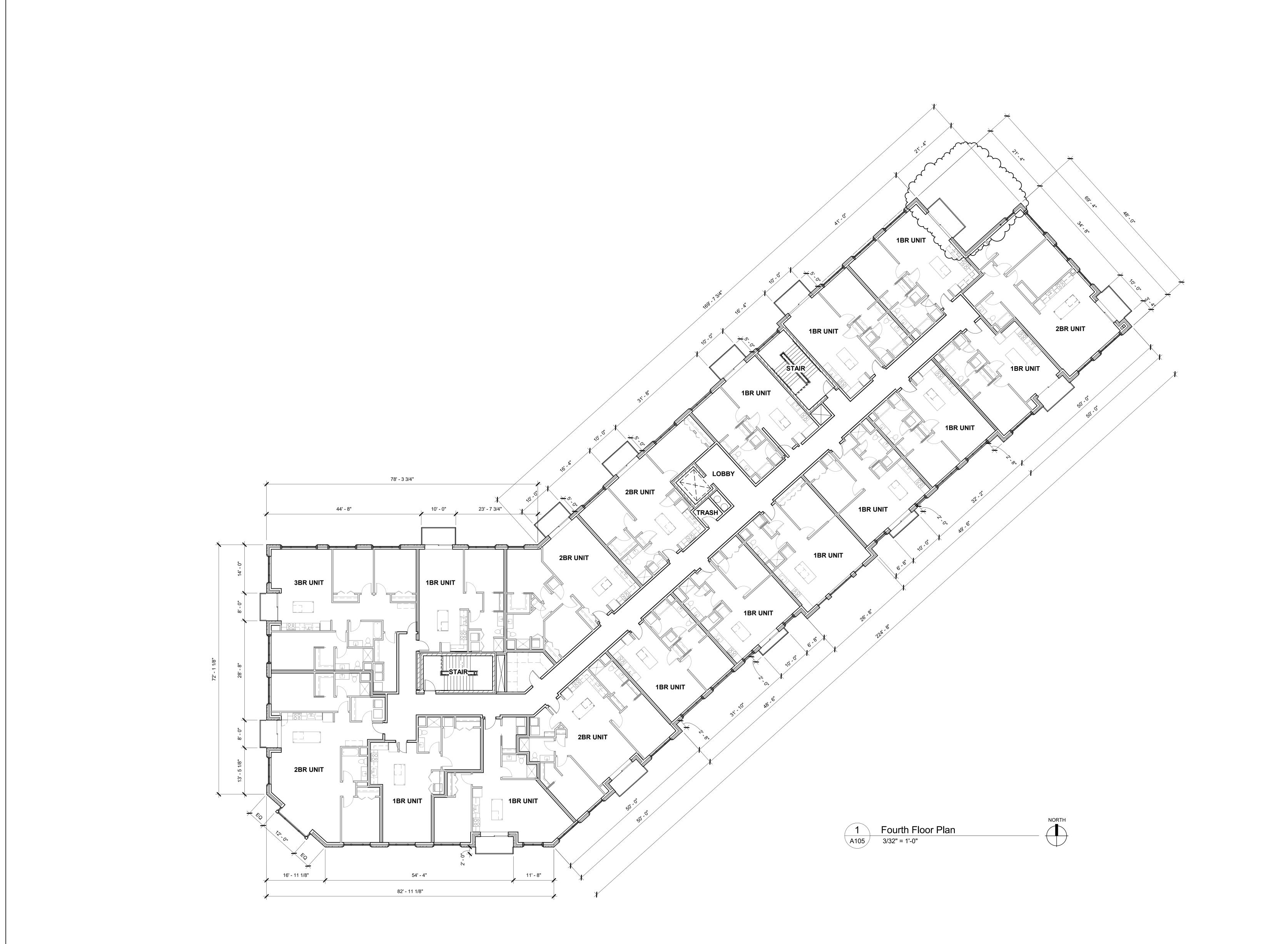
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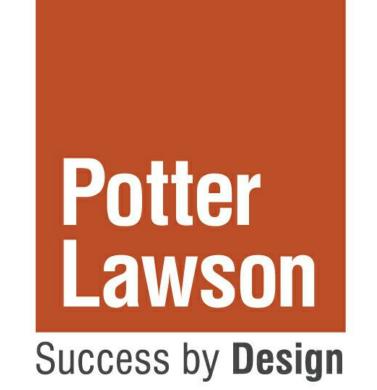
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THIRD FLOOR PLAN

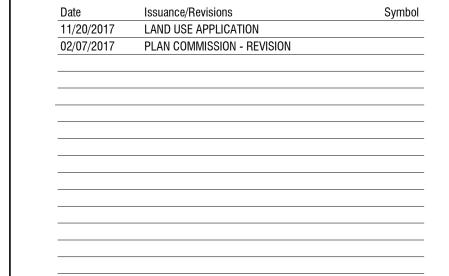




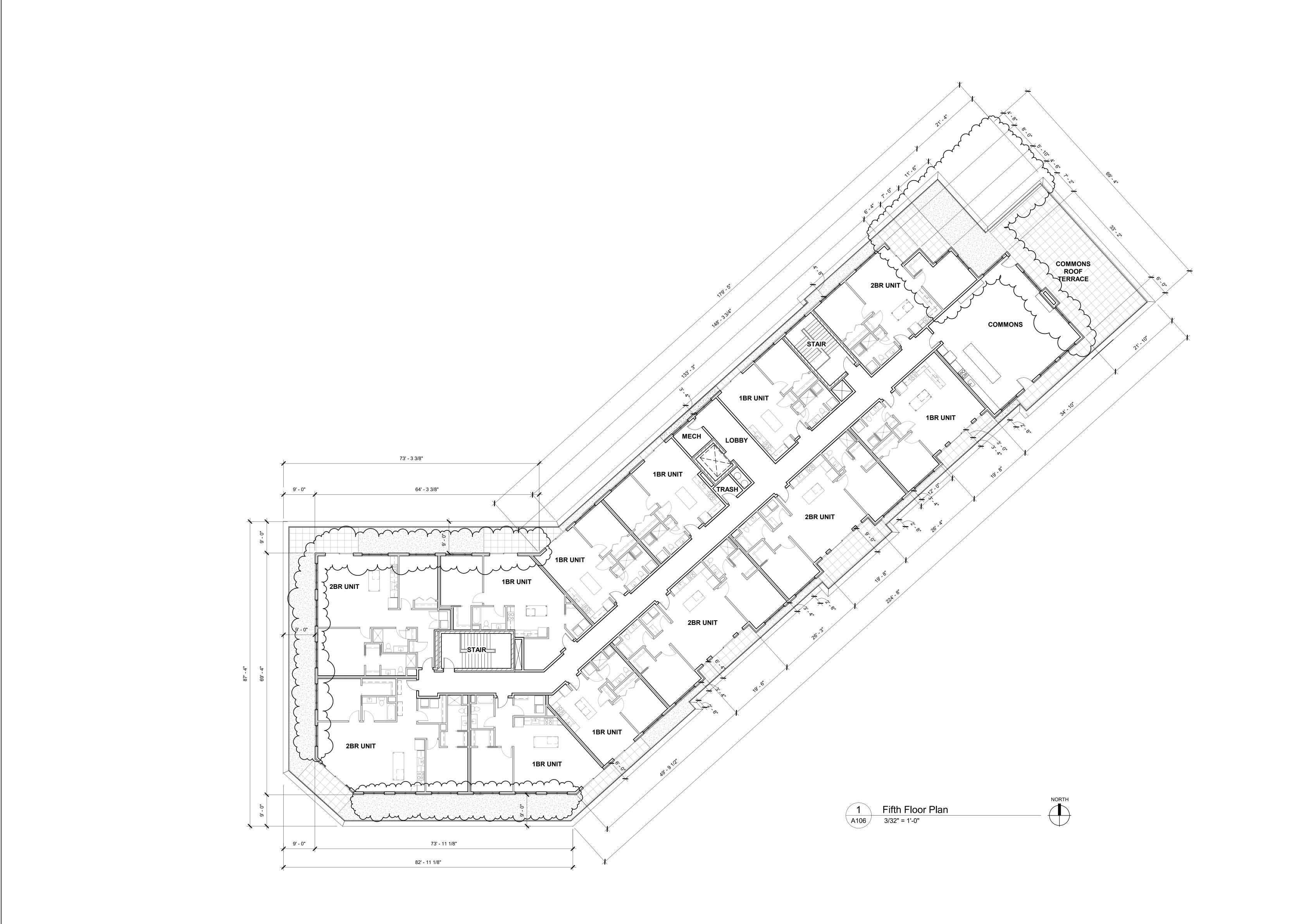
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FOURTH FLOOR PLAN

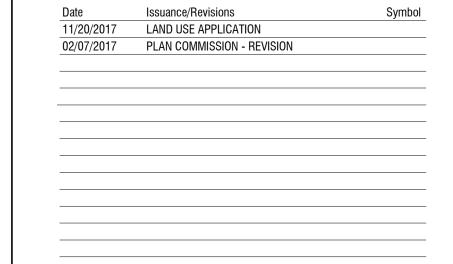




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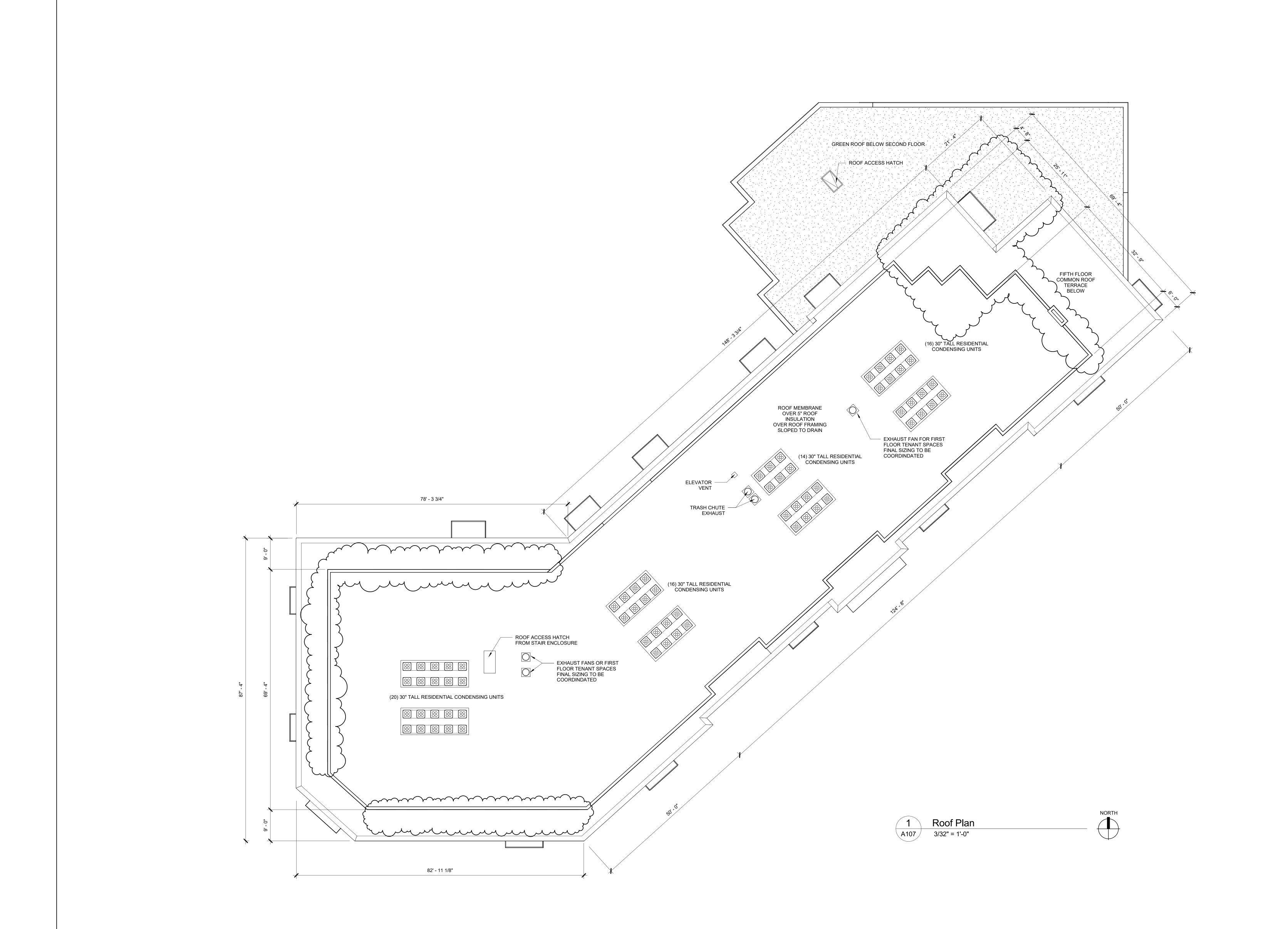
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FIFTH FLOOR PLAN

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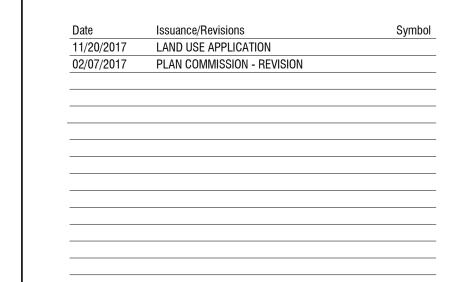


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**ROOF PLAN** 

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#### KEYNOTES:

- BRICK TYPE 1: SUMMIT BRICK & TILE
- SAINT CHARLES SMOOTH OR EQUIVALENT
  BRICK TYPE 2:
  BOWERSTON SHALE COMPANY

OLDE CHEYENNE MODULAR OR EQUIVALENT

- CAST STONE: EDWARDS CAST STONE
- COLOR: 18018
- STANDING SEAM VERTICAL
  METAL WALL PANELS
  COLOR: MEDIUM BRONZE
- 5 ACCENT METAL WALL PANELS COLOR: MEDIUM BRONZE
- 6 METAL CLAD BALCONIES
  COLOR: TAN OR MEDIUM BRONZE
  ALUMINUM RAILINGS

COLOR: BLACK

- ALUMINUM STOREFRONT
  COLOR: BLACK OR MEDIUM BRONZE
- 8 AWNINGS COLOR: TBD BY TENANT
- 9 CAST STONE ACCENT BANDING
  COLOR: TO MATCH CAST STONE PANELS

  CAST STONE COPING OR CORNICE
  COLOR: TO MATCH CAST STONE PANELS
- DECORATIVE ALUMINUM RAILING COLOR: BLACK
- 12 STEEL ENTRY CANOPY
- HIGH SPEED ROLLING GARAGE DOOR WITH VISION GLASS COLOR: MEDIUM BRONZE
- 14 ALUMINUM WALL LOUVER COLOR: MEDIUM BRONZE

  15 METAL WINDOW PLANTER BOXES
- 16 DECORATIVE GLASS
- 16 DECORATIVE GLASS

  METAL WALL COPING
- 17 METAL WALL COPING COLOR: TO MATCH ADJACENT WALL

  18 PAINTED STEEL ACCENT ELEMENTS
- PATIO DOORS
  COLOR: MEDIUM BRONZE
- 20 WINDOW UNITS COLOR: MEDIUM BRONZE
- HM DOOR COLOR: DARK BRONZE
- RETAIL STOREFRONTS AND SIGNAGE SHOWN ARE FOR DESIGN INTENT & LOCATIONS ONLY. FINAL RETAIL STOREFRONTS & SIGNAGE WILL BE SUBMITTED FOR APPROVAL BY TENANTS AT A FUTURE DATE.

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**Building Elevations** 

A201.



MONROE & GRANT STREET INTERSECTION



SPOONER STREET VIEW



SPOONER STREET & WEST LAWN AVENUE INTERSECTION





PRELIMINARY
NOT FOR CONSTRUCTION

1720 Monroe Street Urban Land Interest Madison, WI

2017.09.00

Date	Issuance/Revisions	Symbo
11/20/2017	LAND USE APPLICATION	
02/07/2017	LAND USE APPLICATION - RESUBMITTAL	
	·	

Building Perspective Views

spective Views



MONROE STREET & STOCKTON COURT INTERSECTION





STOCKTON COURT STREET VIEW

Success by **Design** 

MORRISON STUDIO

PRELIMINARY NOT FOR CONSTRUCTION

1720 Monroe Street **Urban Land Interest** 

2017.09.00

Madison, WI

Date	Issuance/Revisions	Symbol
02/07/2017	LAND USE APPLICATION - RESUBMITTAL	

Building Perspective Views