PROJECT BRAND

HOME 2 SUITES BY HILTON

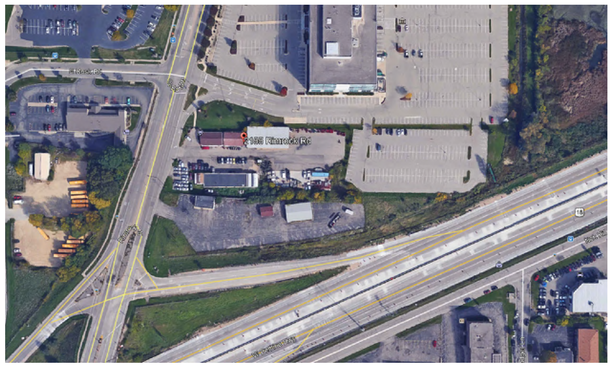
PROPOSED

Home2 Suites

2155 Rimrock Road
Madison, Wisconsin

UDC / PLANNING COMMISSION RE-SUBMITTAL
JANUARY 3, 2018

PROJECT LOCATION MAP



PROJECT ROOM & PARKING MATRIX

Floor	Double Queens			Kings			Total	SquareFootage
	Standard D/Q	ACC D/Q	1 Bedroom	Standard King	ACC KING	1 Bedroom		
1st	15	0	0	6	1	1	23	22,913
2nd	14	1	0	21	1	3	40	20,802
3rd	14	1	0	21	1	3	40	20,802
4th	14	1	0	22	0	3	40	20,802
Totals	57	3	0	70	3	10	143	85,319
	60			83				
	42%			58%			100%	

Parking Stalls					
ACC-Parking Stalls	5	Non ACC-Parking Stalls	135	Total	140

Site Information						Area Total
Parcel 1	62,728	Parcel 2	117,652	Parcel 3	12,359	192,739

SHEET INDEX:

GBA architecture | design
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

NCG NORTH CENTRAL GROUP

HOME 2 SUITES BY HILTON

DEVELOPER:

MADISON RIMROCK LODGING INVESTORS I, LLC.
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON. WISCONSIN 53562
PHONE: (608) 662-3631
EMAIL: AINMAN@NCGHOTELS.COM
CONTACT: ANDY INMAN

STRUCTURAL ENGINEER:

STRATEGIC STRUCTURAL DESIGN, LLC.
725 HEARTLAND TRAIL SUITE 203
MADISON, WI 53711
PHONE: (608) 841-1850
EMAIL: CWHITTINGHILL@STRATEGICSTRUCTURAL.COM
CONTACT: CHAD WHITTINGHILL, P.E., S.E., LEED AP

ARCHITECT:

GBA ARCHITECTURE & DESIGN
7780 ELMWOOD AVENUE, SUITE 204
MIDDLETON. WISCONSIN 53562
PHONE: (608) 829-1750
EMAIL: JOSH.WILCOX@GARYBRINK.COM
CONTACT: JOSH WILCOX

CIVIL ENGINEER / LANDSCAPE ARCHITECT

VIERBICHER
999 FOURIER DRIVE, SUITE 201
MADISON, WISCONSIN 53717
PHONE: (608) 826-0532
EMAIL: ABAR@VIERBICHER.COM
CONTACT: ANDREW BARNEBEY

PROJECT: HOME 2 SUITES
2155 RIMROCK ROAD
MADISON, WISCONSIN 53713-1443
CLIENT: MADISON RIMROCK LODGING INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT: 201732
DRAWN BY: TELAIA
DATE:
SCALE: AS NOTED

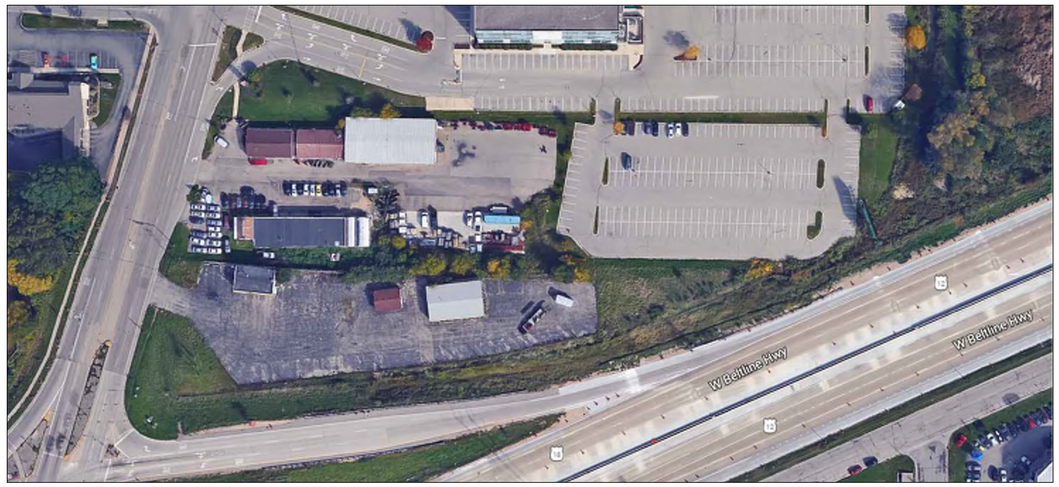
LAND USE SUBMITTAL 11/20/2017
LAND USE RESUBMITTAL 12/01/2017
LAND USE RESUBMITTAL 1/03/2018

TITLE BLOCK

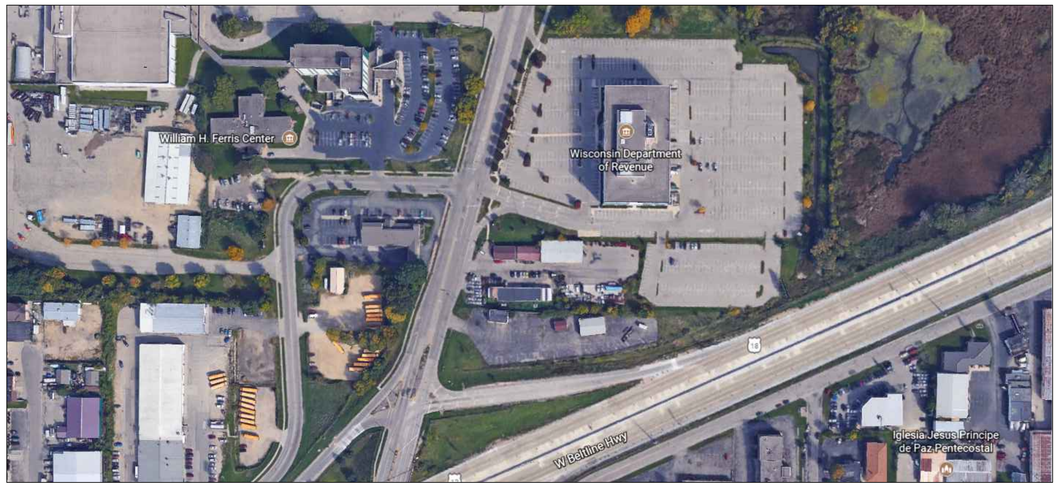
T-1

BIRD'S EYE LOOKING NORTHEAST

BIRD'S EYE LOOKING NORTHWEST



CLOSE AERIAL OF SITE



AERIAL OF CONTEXT

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608-829-1750
608-829-3056 (FAX)

NCG NORTH CENTRAL GROUP

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DATE:
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LAND USE SUBMITTAL 11/20/2017
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EXISTING
SITE
CONDITIONS

EC.01

NORTHEAST CORNER LOOKING WEST

CENTER OF SITE ON NORTH SIDE LOOKING WEST

CENTER OF SITE LOOKING NORTHWEST

CENTER OF SITE LOOKING SOUTHWEST

CENTER OF SOUTH SIDE LOOKING WEST

NEAR SOUTHEAST CORNER OF SITE LOOKING EAST

CENTER OF SOUTH SIDE LOOKING NORTHEAST

SOUTHWEST CORNER LOOKING NORTHEAST

SOUTHWEST CORNER LOOKING NORTH

SOUTHWEST CORNER LOOKING NORTHEAST

CENTER OF WEST SIDE LOOKING SOUTHEAST

NEAR NORTHWEST CORNER LOOKING NORTHEAST

NEAR NORTHWEST CORNER LOOKING EAST

NORTHWEST CORNER LOOKING NORTH

NORTH OF NORTHWEST CORNER LOOKING SOUTH

NORTH OF NORTHWEST CORNER LOOKING EAST

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LAND USE SUBMITTAL 11/20/2017
LAND USE RESUBMITTAL 12/01/2017
LAND USE RESUBMITTAL 1/03/2018

EXISTING SITE CONDITIONS

EC.02

NORTH OF CENTER OF NORTH SIDE LOOKING NORTHEAST

SOUTH SIDE OF SITE LOOKING EAST

NEAR CENTER OF SITE ON SOUTH SIDE LOOKING WEST

NEAR CENTER OF SITE ON SOUTH SIDE LOOKING NORTHEAST

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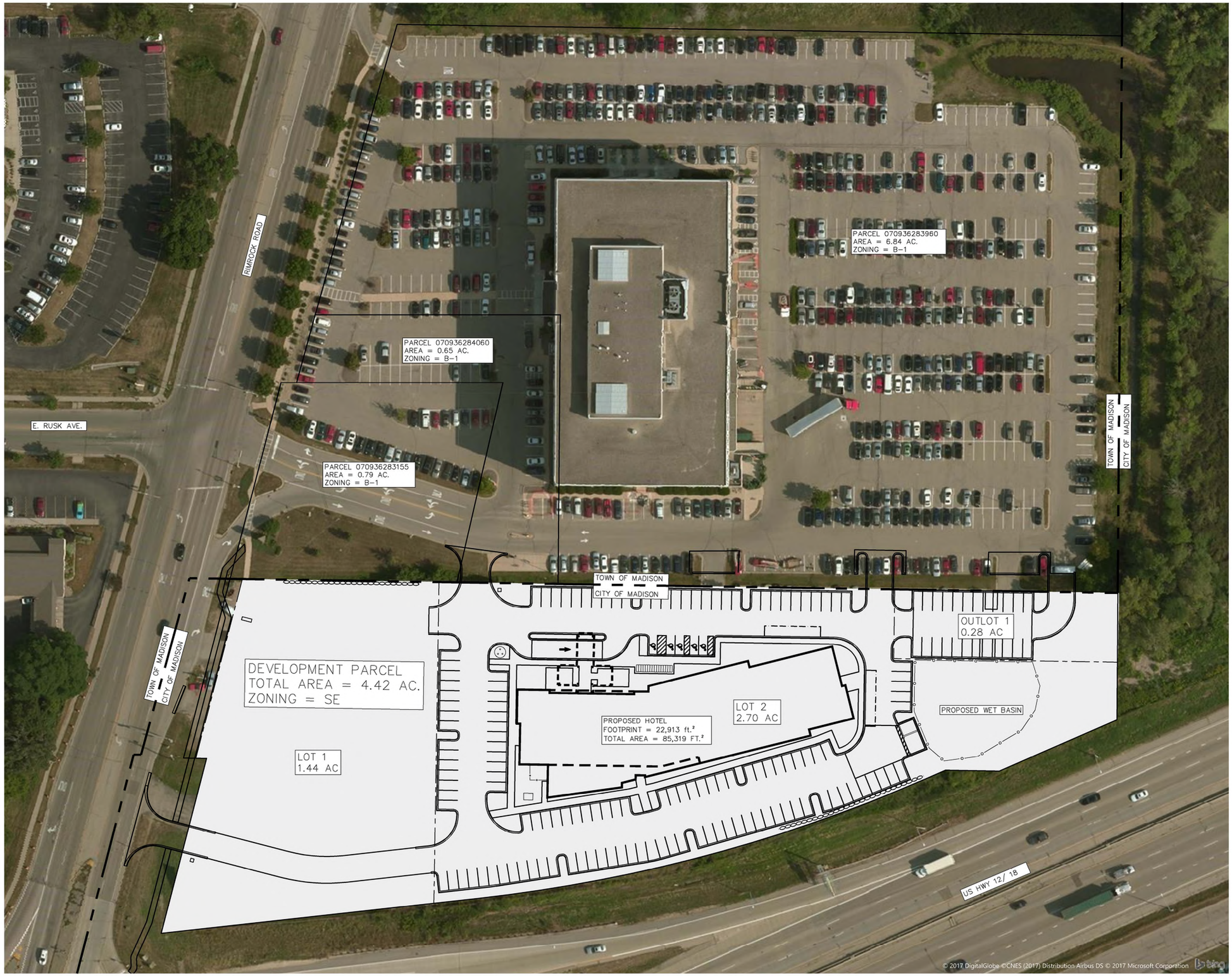
LAND USE SUBMITTAL 11/20/2017
LAND USE RESUBMITTAL 12/01/2017
LAND USE RESUBMITTAL 1/03/2018

EXISTING SITE CONDITIONS

EC.03



ZONING PLAN
1"=40'

0' 20' 40' 80' 120'

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NCG
NORTH CENTRAL GROUP

vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

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HOME 2 SUITES
RIMROCK ROAD
MADISON, WISCONSIN

CLIENT:
NORTH CENTRAL GROUP
c/o MADISON RIMROCK LODGING INVESTORS I, LLC
1600 ASPEN COMMONS, SUITE 200
MIDDLETON WISCONSIN

PROJECT:	201732
DRAWN BY:	ABAR
DATE:	
SCALE:	AS NOTED
LAND USE SUBMITTAL	11/20/17
LAND USE RESUBMITTAL	1/3/18

ZONING PLAN

C001

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING MAILBOX
- EXISTING MONITORING WELL
- EXISTING POST
- EXISTING SIGN (TYPE NOTED)
- EXISTING PARKING METER
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING ROOF DRAIN CLEANOUT
- EXISTING ROOF DRAIN
- EXISTING STORM MANHOLE
- EXISTING STORM MANHOLE RECTANGULAR
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY MANHOLE
- EXISTING SEPTIC VENT
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING WELL
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC RECTANGULAR MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING ELECTRIC METER
- EXISTING GUY POLE
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING UTILITY POLE
- EXISTING TV MANHOLE
- EXISTING TV RECTANGULAR MANHOLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING BORING

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND CABLE TV
- EXISTING OVERHEAD CABLE TV
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD TELEPHONE LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING GUY LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING EDGE OF TREES
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING WETLAND DELINEATION
- 820 EXISTING MAJOR CONTOUR
- 818 EXISTING MINOR CONTOUR

NOTES:

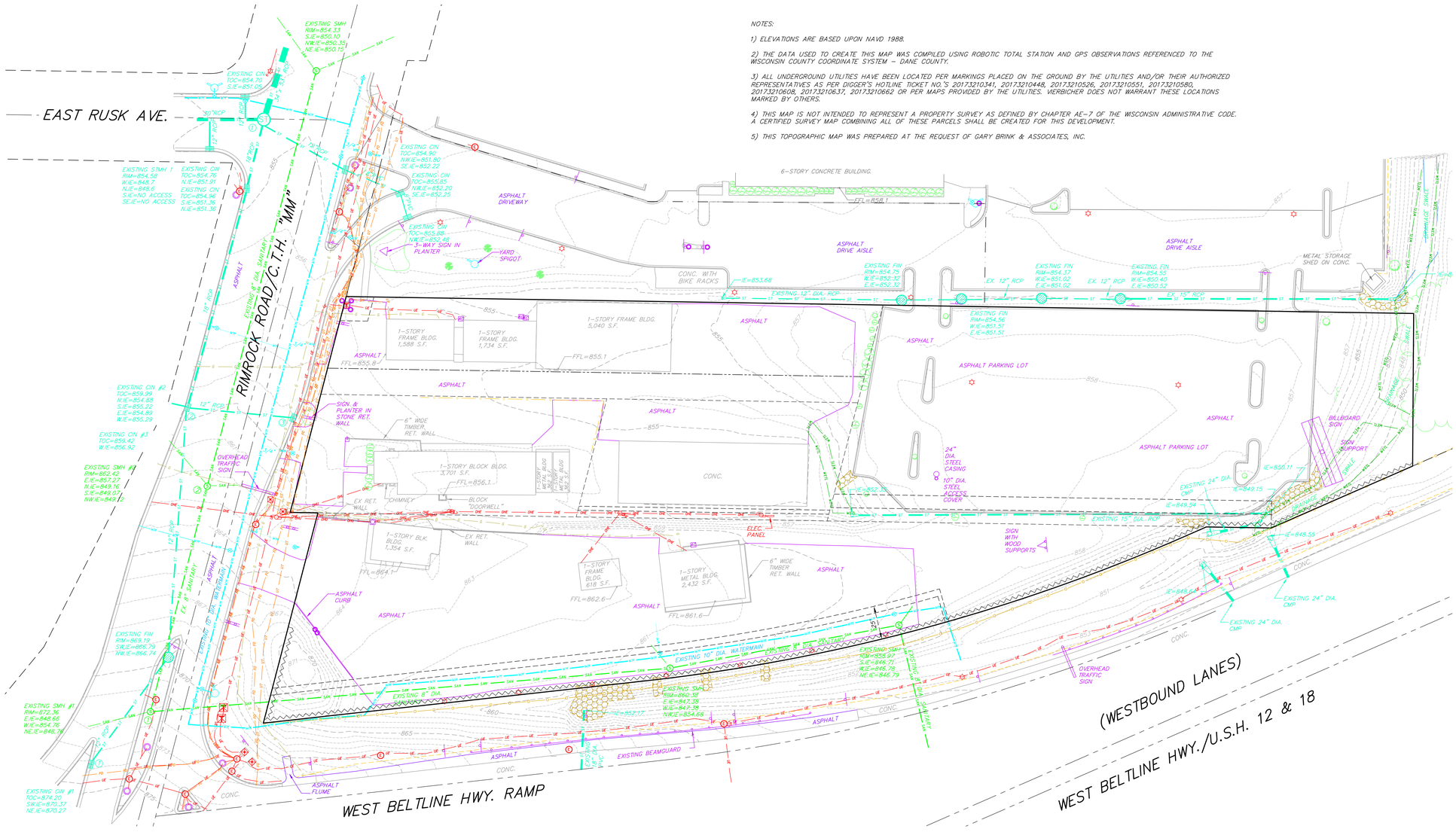
1) ELEVATIONS ARE BASED UPON NAVD 1988.

2) THE DATA USED TO CREATE THIS MAP WAS COMPILED USING ROBOTIC TOTAL STATION AND GPS OBSERVATIONS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM – DANE COUNTY.

3) ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED PER MARKINGS PLACED ON THE GROUND BY THE UTILITIES AND/OR THEIR AUTHORIZED REPRESENTATIVES AS PER DIGGER'S HOTLINE TICKET NO.'S 20173210341, 20173210448, 20173210526, 20173210551, 20173210580, 20173210608, 20173210637, 20173210662 OR PER MAPS PROVIDED BY THE UTILITIES. VIERBICHER DOES NOT WARRANT THESE LOCATIONS MARKED BY OTHERS.

4) THIS MAP IS NOT INTENDED TO REPRESENT A PROPERTY SURVEY AS DEFINED BY CHAPTER AE-7 OF THE WISCONSIN ADMINISTRATIVE CODE. A CERTIFIED SURVEY MAP COMBINING ALL OF THESE PARCELS SHALL BE CREATED FOR THIS DEVELOPMENT.

5) THIS TOPOGRAPHIC MAP WAS PREPARED AT THE REQUEST OF GARY BRINK & ASSOCIATES, INC.



EXISTING CONDITIONS PLAN
1"=30'
0' 15' 30' 60' 90'

NOT FOR CONSTRUCTION

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DRAWN BY:	JGOL
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LAND USE RESUBMITTAL	1/3/18

EXISTING CONDITIONS PLAN

C100

DEMOLITION/EROSION CONTROL NOTES:

1. ALL APPLICABLE EROSION CONTROL MEASEURES SHALL BE INSTALLED BEFORE BEGINNING DEMOLITION.
2. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
4. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
5. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
6. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
7. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
8. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
9. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
10. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
11. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
12. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

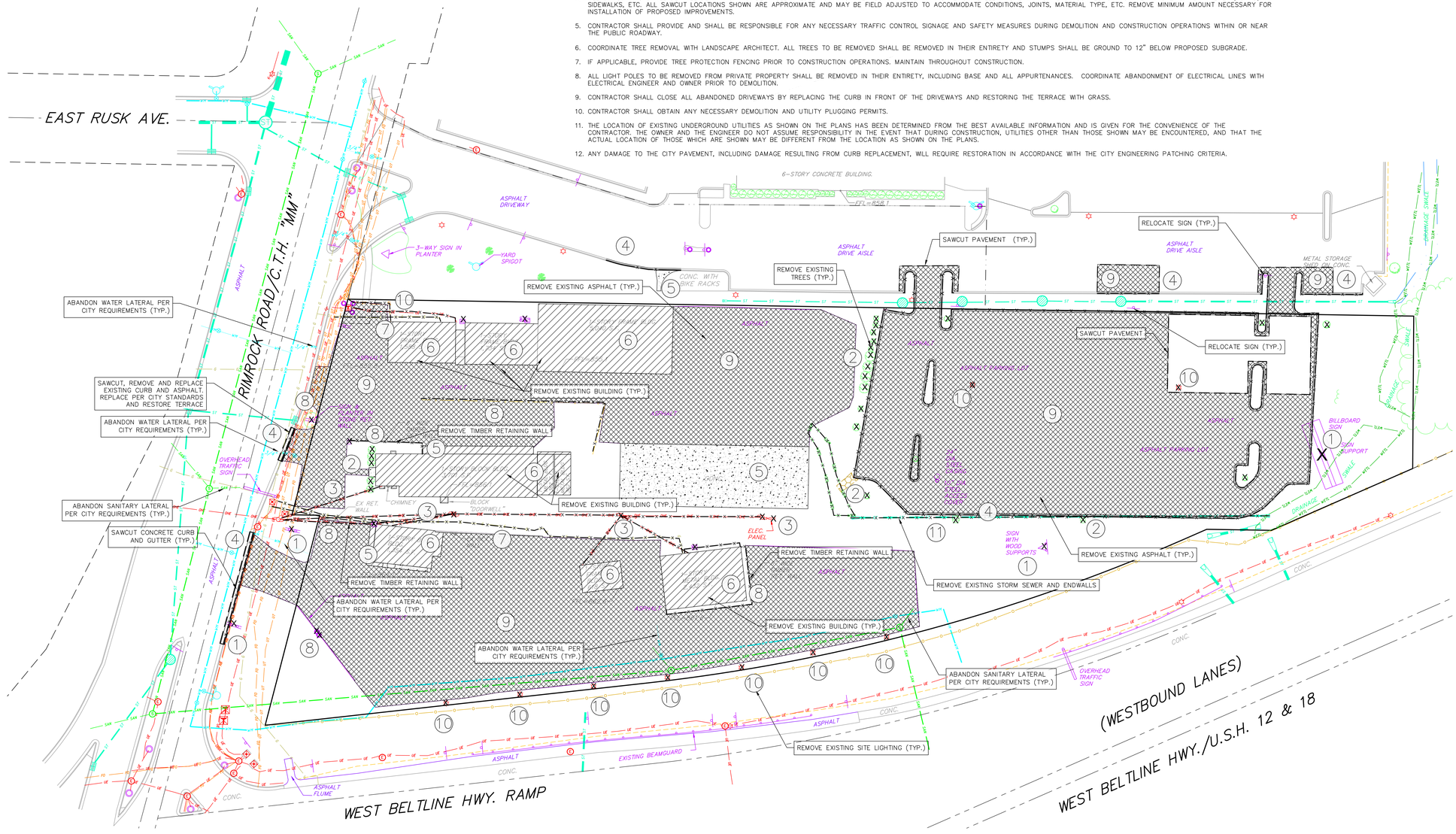
DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

DEMOLITION KEY:

1. REMOVE EXISTING SIGNS AND BASES.
2. CLEAR AND GRUB EXISTING TREE/BRUSH. FILL WETLAND. CONFIRM WETLAND FILL PERMIT IS APPROVED BEFORE BEGINNING WORK.
3. COORDINATE THE REMOVAL/BURY OF THE EXISTING OVERHEAD POWER AND UTILITY LINES/POLES AND ELECTRIC PANEL WITH MG&E, AT&T AND CHARTER COMMUNICATIONS.
4. REMOVE EXISTING CURB & GUTTER. REPLACE IF SHOWN (SEE DEMOLITION LEGEND).
5. REMOVE EXISTING CONCRETE SIDEWALK/PAD (SEE DEMOLITION LEGEND).
6. REMOVE EXISTING BUILDINGS AND ALL THEIR APPURTENANCES INCLUDING BUT NOT LIMITED TO BUILDINGS, SLABS, PORCHES, DECKS AND LANDSCAPING (SEE DEMOLITION LEGEND).
7. ABANDON EXISTING GAS LINE/METER. COORDINATE WITH LOCAL GAS UTILITY COMPANY.
8. REMOVE EXISTING PLANTER, FENCE, GUARD RAIL, RETAINING WALLS AND BOLLARDS.
9. REMOVE EXISTING PAVEMENT (SEE DEMOLITION LEGEND.)
10. REMOVE EXISTING SITE LIGHTING, CONCRETE BASES AND UNDERGROUND LINES. COORDINATE REMOVAL WITH MG&E, AT&T AND CHARTER COMMUNICATIONS
11. REMOVE EXISTING STORM SEWER AND ENDWALLS.



DEMOLITION PLAN
1"=30'

0' 15' 30' 60' 90'

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DATE:	
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LAND USE SUBMITTAL	11/20/17
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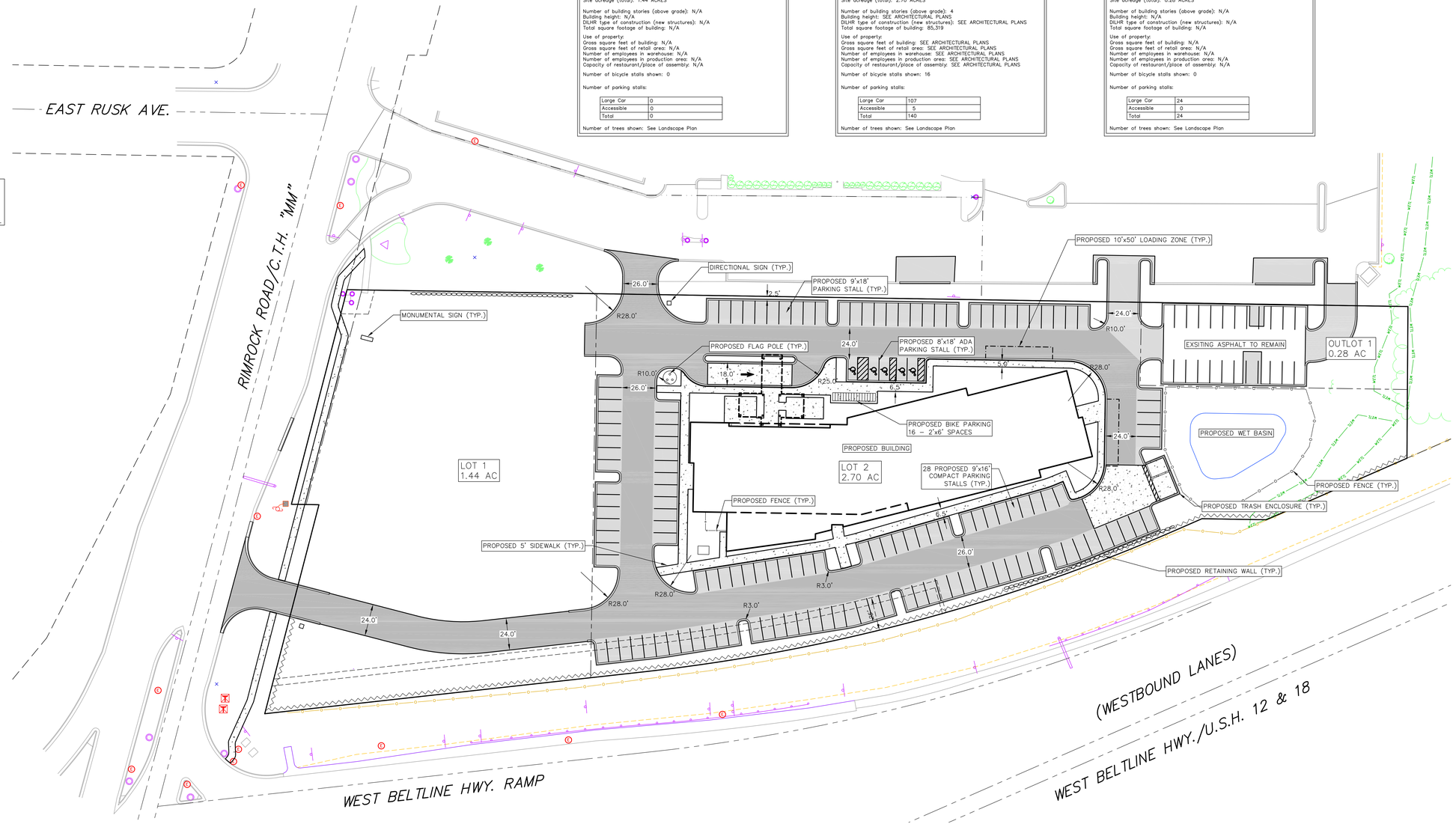
DEMOLITION PLAN

C101



SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

ABBREVIATIONS

TC	TOP OF CURB
FF	FINISHED FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
3. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
4. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
5. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
6. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
7. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
8. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.

Parking Lot Plan Site Information Block– Lot 1

Site Address:
Site acreage (total): 1.44 ACRES

Number of building stories (above grade): N/A
Building height: N/A
DILHR type of construction (new structures): N/A
Total square footage of building: N/A

Use of property:
Gross square feet of building: N/A
Gross square feet of retail area: N/A
Number of employees in warehouse: N/A
Number of employees in production area: N/A
Capacity of restaurant/place of assembly: N/A

Number of bicycle stalls shown: 0

Number of parking stalls:

Large Car	0
Accessible	0
Total	0

Number of trees shown: See Landscape Plan

Parking Lot Plan Site Information Block– Lot 2

Site Address: 2155 RIMROCK ROAD
Site acreage (total): 2.70 ACRES

Number of building stories (above grade): 4
Building height: SEE ARCHITECTURAL PLANS
DILHR type of construction (new structures): SEE ARCHITECTURAL PLANS
Total square footage of building: 85,319

Use of property:
Gross square feet of building: SEE ARCHITECTURAL PLANS
Gross square feet of retail area: SEE ARCHITECTURAL PLANS
Number of employees in warehouse: SEE ARCHITECTURAL PLANS
Number of employees in production area: SEE ARCHITECTURAL PLANS
Capacity of restaurant/place of assembly: SEE ARCHITECTURAL PLANS

Number of bicycle stalls shown: 16

Number of parking stalls:

Large Car	107
Accessible	5
Total	140

Number of trees shown: See Landscape Plan

Parking Lot Plan Site Information Block– Outlot 1

Site Address:
Site acreage (total): 0.28 ACRES

Number of building stories (above grade): N/A
Building height: N/A
DILHR type of construction (new structures): N/A
Total square footage of building: N/A

Use of property:
Gross square feet of building: N/A
Gross square feet of retail area: N/A
Number of employees in warehouse: N/A
Number of employees in production area: N/A
Capacity of restaurant/place of assembly: N/A

Number of bicycle stalls shown: 0

Number of parking stalls:

Large Car	24
Accessible	0
Total	24

Number of trees shown: See Landscape Plan

SITE PLAN
1"=30'

0' 15' 30' 60' 90'

NOT FOR CONSTRUCTION

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PROJECT: 201732
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DATE:
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LAND USE RESUBMITTAL 1/3/18

SITE PLAN
C102

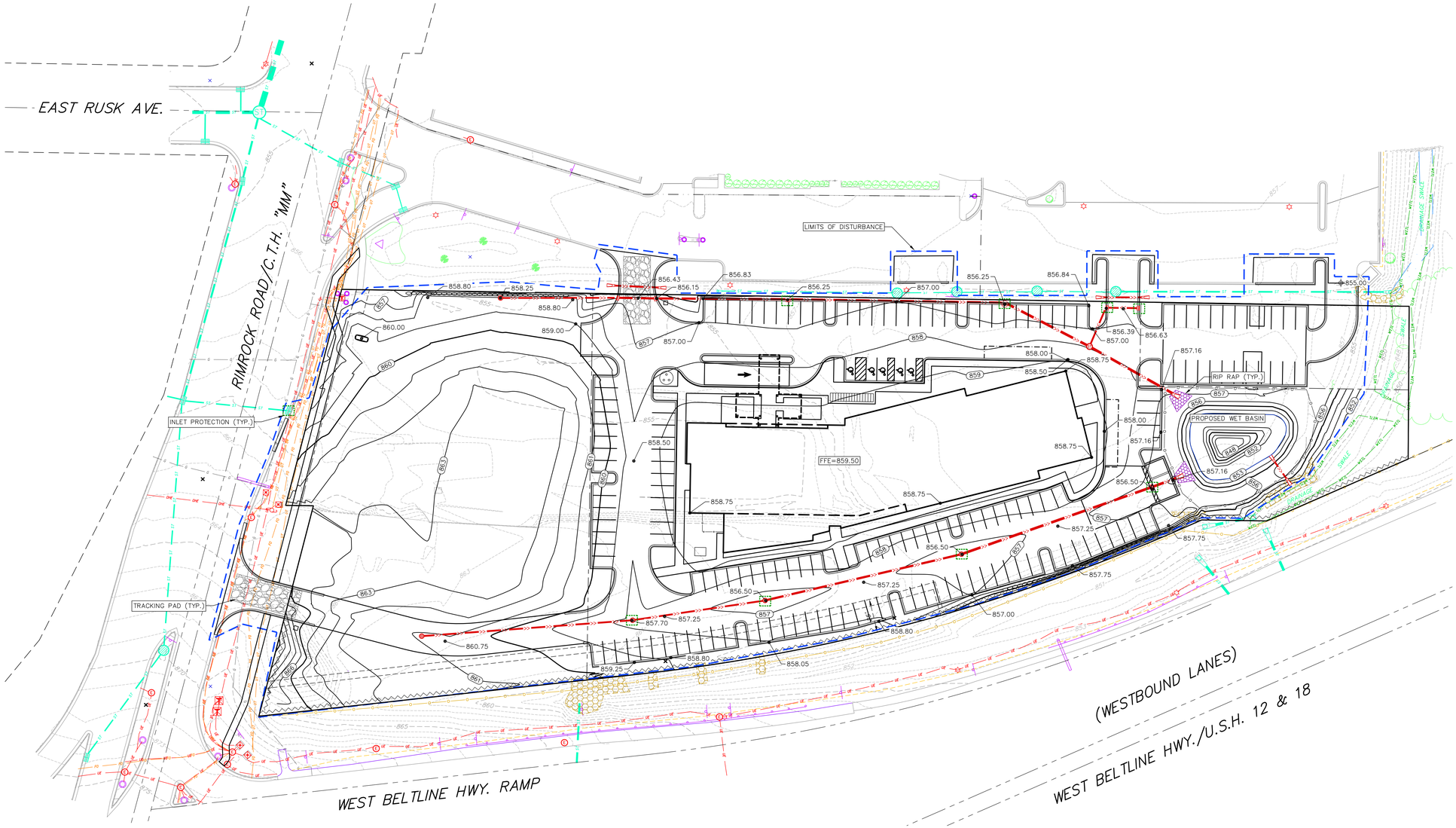
GRADING LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- DITCH CENTERLINE
- SILT FENCE
- DISTURBED LIMITS
- BERM
- DRAINAGE DIRECTION
- PROPOSED SLOPE ARROWS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- STONE WEEPER
- VELOCITY CHECK
- INLET PROTECTION
- EROSION MAT CLASS_____
- EROSION MAT CLASS_____
- TRACKING PAD
- RIP RAP

GRADING NOTES:

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.

2. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.



GRADING AND EROSION CONTROL PLAN
1"=30'
0' 15' 30' 60' 90'

NOT FOR CONSTRUCTION

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PROJECT:
HOME 2 SUITES
RIMROCK RD
MADISON, WISCONSIN
CLIENT:
NORTH CENTRAL GROUP
c/o XYZ
1500 LIBERTY COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT:	201732
DRAWN BY:	JGOL
DATE:	
SCALE:	AS NOTED
LAND USE SUBMITTAL	11/20/17
LAND USE RESUBMITTAL	1/3/18

GRADING AND EROSION CONTROL PLAN

C103

PROPOSED UTILITY LEGEND

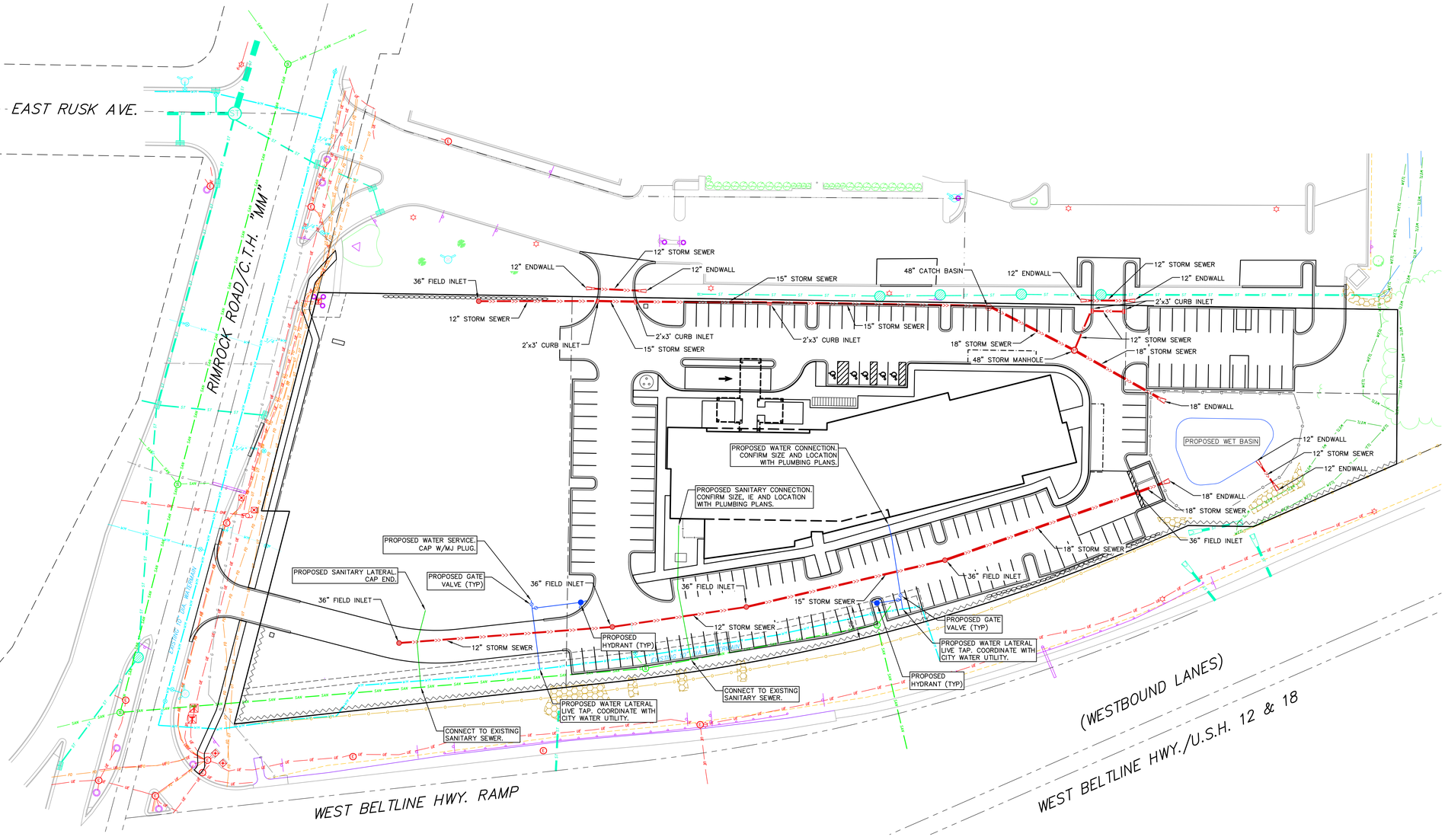
- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER PIPE (FORCE MAIN)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE

ABBREVIATIONS

STMH – STORM MANHOLE
FI – FIELD INLET
CI – CURB INLET
CB – CATCH BASIN
EW – ENDWALL
SMH – SANITARY MANHOLE

UTILITY NOTES:

1. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
2. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
4. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT–OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
6. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DNR PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
7. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON–SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
8. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30–6 OF SPS 384.30(3)(c).
9. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30–7 OF SPS 384.30(4)(d).
10. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 – SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30–3 OF SPS 384.30(2)(c).
11. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
12. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
13. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
14. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
15. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON–SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
16. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
18. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
19. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
20. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.



UTILITY PLAN
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C/O KATE
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PROJECT: 201732
DRAWN BY: JGOL
DATE:
SCALE: AS NOTED

LAND USE SUBMITTAL	11/20/17
LAND USE RESUBMITTAL	1/3/18

UTILITY PLAN
C104

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.

2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.

3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.

4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.

7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.

8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.

9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).

10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.

11. SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".

12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.

13. USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION. AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.

14. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.

15. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. OTHER AREAS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.

16. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.

17. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.

18. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.

19. EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.

20. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.

21. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.

22. INSTALL MINIMUM 6'-7' WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.

23. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.

24. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.

25. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.

26. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.

27. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.

28. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

NOTE: CONSTRUCTION SHALL CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWINGS THAT ARE CURRENT AT THE TIME OF CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL-DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL-STREETS & LOTS.
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

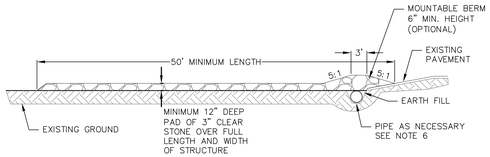
PERMANENT:
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

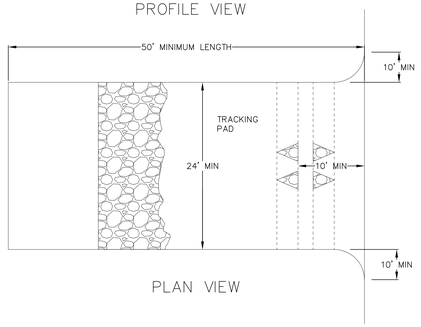
TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



PROFILE VIEW



PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.

2. LENGTH – MINIMUM OF 50'.

3. WIDTH – 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.

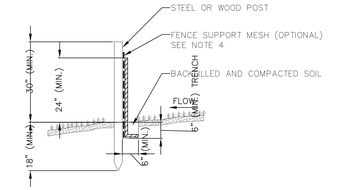
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.

5. STONE – CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.

6. SURFACE WATER – ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.

7. LOCATION – A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

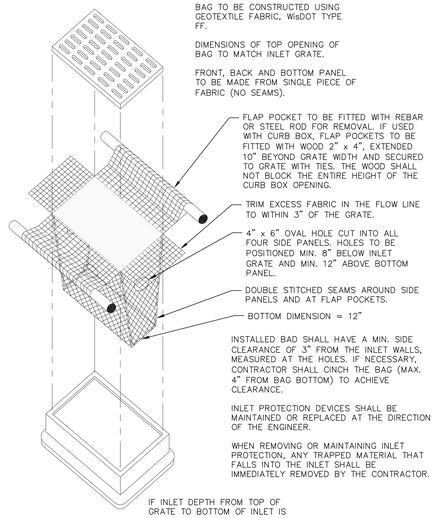
1/1 TRACKING PAD
NOT TO SCALE



NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
   POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

1/1 SILT FENCE
NOT TO SCALE



IF INLET DEPTH FROM TOP OF GRATE TO BOTTOM OF INLET IS LESS THAN 30", CONTRACTOR SHALL SUBSTITUTE WisDOT TYPE C INLET PROTECTION.

1/1 INLET PROTECTION TYPE D
NOT TO SCALE

NOT FOR CONSTRUCTION

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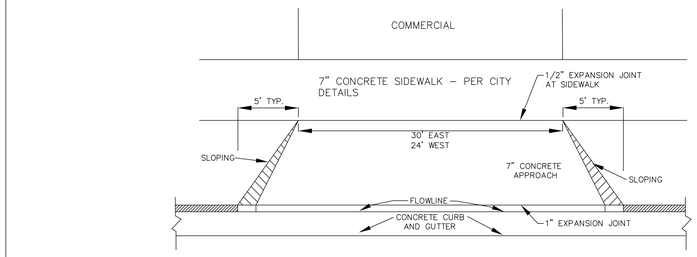
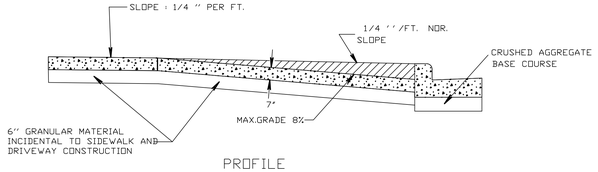
CONSTRUCTION DETAIL PLAN

C105

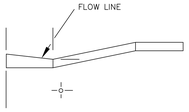


EXPANSION JOINTS IN ACCORDANCE WITH REQUIREMENTS OF 302.2d, 303.2d, & 303.2k

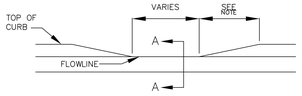
PLAN



PROFILE

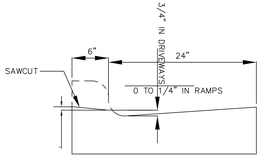


CONDUIT DETAIL



NOTE:
12" TO 18" TAPER FOR STANDARD DRIVEWAY APPROACH
18" TO 24" FOR STANDARD RAMP

TYPICAL CURB CUT TAPER



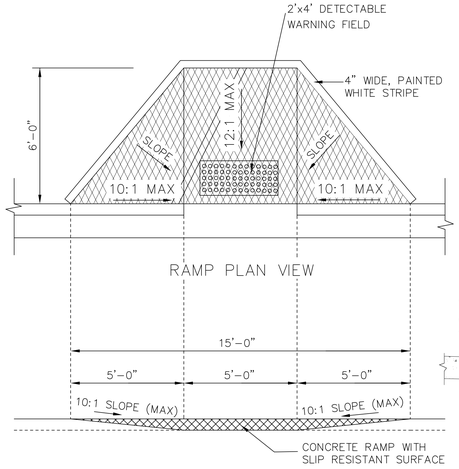
DRIVEWAY SECTION TYPE 'A'
CONCRETE CURB & GUTTER

SECTION A–A

GENERAL NOTE:
IF THE CURB CUT IS NOT CONSTRUCTED WITH THE INITIAL CURB AND GUTTER CONSTRUCTION, THE CURB CUT CAN BE MADE BY REMOVING AND REPLACING THE ENTIRE CURB AND GUTTER SECTION OR BY SAWCUTTING THE EXISTING CURB HEAD BY MEANS OF A SPECIAL SAW DESIGNED TO MEET THE DETAILS ABOVE FOR MADISON STANDARD CURB CUTS.

CURB CUT DETAILS	
REFER TO MADISON STANDARD DETAIL DRAWING 3.02 & 3.09	
NOT TO SCALE JULY 2003	VAI–MAD–2

NOTE: CONSTRUCTION SHALL CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWINGS THAT ARE CURRENT AT THE TIME OF CONSTRUCTION.



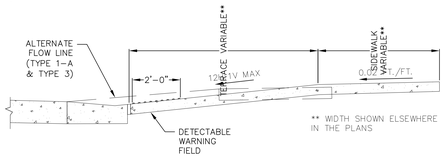
RAMP PLAN VIEW

RAMP PROFILE VIEW

GENERAL NOTES
RAMPS SHALL BE BUILT AT 12:1 OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

THE RAMP SHALL BE BORDERED ON BOTH SIDES AND ON THE CURB LINE WITH A 4 INCH WIDE YELLOW STRIPE OR WITH BRICK OF A CONTRASTING COLOR. NORMALLY THE PAINT STRIPE ALTERNATE WILL BE USED. THE CONTRACTOR WILL APPLY THIS STRIPING UNLESS OTHERWISE SPECIFIED IN THE CONTRACT.

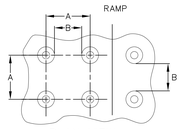
IF THE OWNER REQUIRES THE BRICK ALTERNATE, SPECIAL DETAILS AND PROVISIONS ARE SHOWN ELSEWHERE IN THE PLANS.



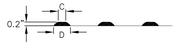
SECTION B–B

	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"

* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION

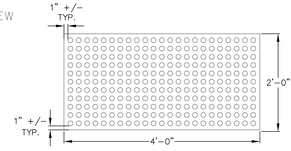


PLAN VIEW



ELEVATION VIEW

TRUNCATED DOMES
DETECTABLE WARNING
PATTERN DETAIL

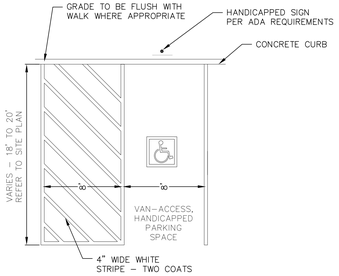


PLAN VIEW

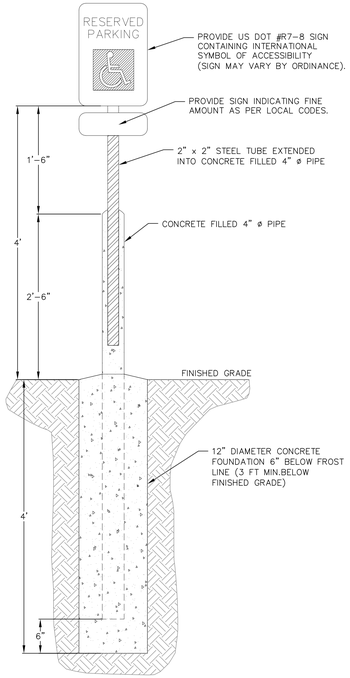
DETECTABLE WARNING
FIELD (TYPICAL)

NOTE: MATERIALS AND METHOD OF CONSTRUCTION FOR TRUNCATED DOMES SHALL BE SPECIFIED IN SPECIAL PROVISIONS OR AS REQUIRED BY THE CITY ENGINEER

1/1 SITE HANDICAP RAMP
NOT TO SCALE



1/1 HANDICAP STRIPING
NOT TO SCALE



1/1 HANDICAP PARKING SIGN
NOT TO SCALE

NOT FOR CONSTRUCTION

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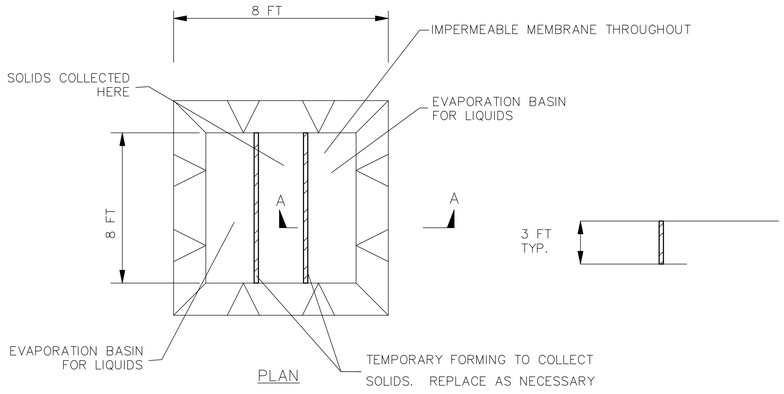
NORTH CENTRAL GROUP
ATTN: JEFF
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT:	201732
DRAWN BY:	JGOL
DATE:	
SCALE:	AS NOTED
LAND USE SUBMITTAL	11/20/17
LAND USE RESUBMITTAL	1/3/18

CONSTRUCTION DETAIL PLAN

C106



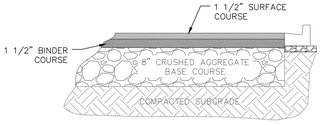
PLAN

EXCAVATED WASHOUT STRUCTURE

CONSTRUCTION SPECIFICATIONS

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

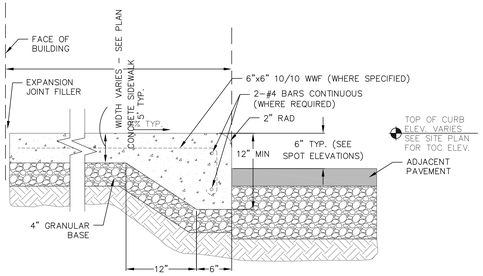
1/1 CONCRETE WASHOUT STRUCTURE
NOT TO SCALE



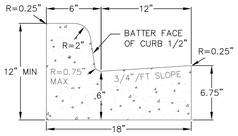
BITUMINOUS PAVEMENT
PARKING LOT

1/1 SITE PAVEMENT
NOT TO SCALE

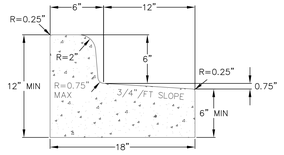
NOTE: CONSTRUCTION SHALL CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWINGS THAT ARE CURRENT AT THE TIME OF CONSTRUCTION.



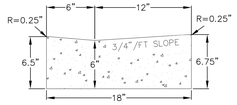
1/1 CURBED SIDEWALK DETAIL (INTEGRAL)
NOT TO SCALE



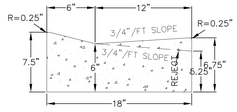
CURB AND GUTTER
CROSS SECTION



CURB AND GUTTER
REJECT SECTION



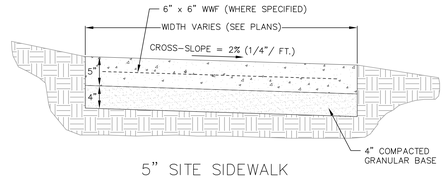
HANDICAP RAMP
GUTTER CROSS SECTION



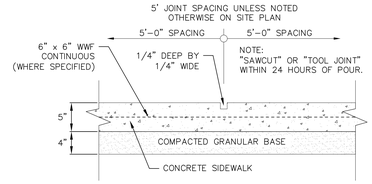
ROLL FACE GUTTER
CROSS SECTION

1/1 18" CONCRETE CURB AND GUTTER
NOT TO SCALE

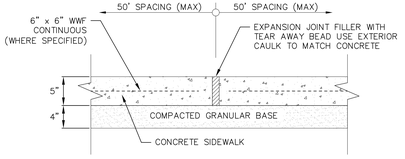
NOT FOR CONSTRUCTION



5" SITE SIDEWALK



SIDEWALK CONTROL JOINT

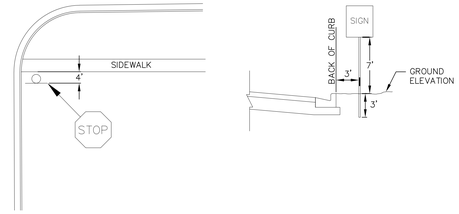


SIDEWALK EXPANSION JOINT

1/1 5" SIDEWALK
NOT TO SCALE

SIGNAGE NOTES:

1. ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. SIGNS SHALL BE A DISTANCE OF 7' FROM GROUND LEVEL TO THE BOTTOM OF THE SIGN MOUNTED ON THE POST AND LOCATED 3' BEHIND THE BACK OF CURB.
3. STREET NAME SIGNS SHALL HAVE WHITE LETTERS AND GREEN BACKGROUND.
4. SIGN POSTS SHALL BE 2-3/8" O.D., GALVANIZED 10 FT LONG, 13 GAUGE, AND 0.095 WALL THICKNESS. MOUNT SIGN AT TOP OF THE POST, AND INSTALL POSTS 3' DEEP AND MIX 1/2 BAG OF 80 LB SAKRETE CONCRETE, POURING IT AROUND THE POST BELOW THE GROUND BEFORE COVERING WITH 8" OF TOPSOIL.



1/1 STOP SIGN
NOT TO SCALE

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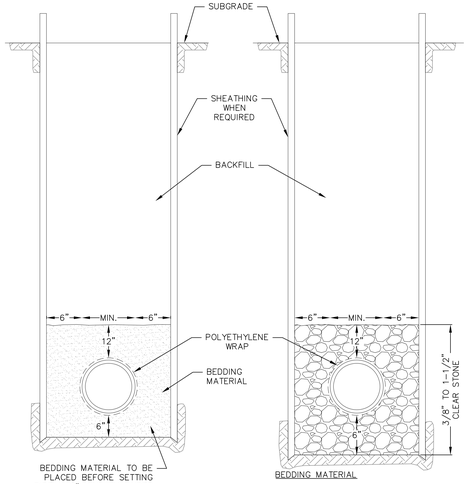
LAND USE SUBMITTAL	11/20/17
LAND USE RESUBMITTAL	1/3/18

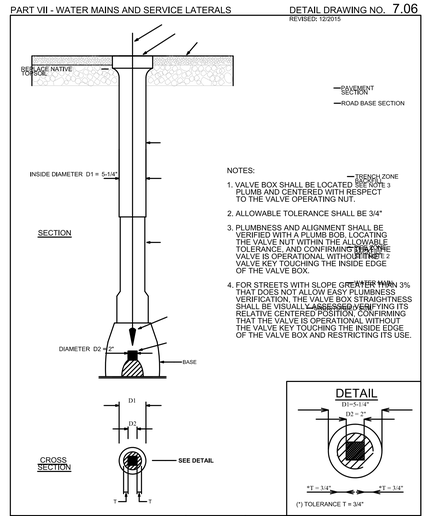
CONSTRUCTION DETAIL PLAN

C107



1 / 1 STANDARD TRENCH SECTION
NOT TO SCALE

PART VII - WATER MAINS AND SERVICE LATERALS DETAIL DRAWING NO. 7.06
REVISED: 12/2015

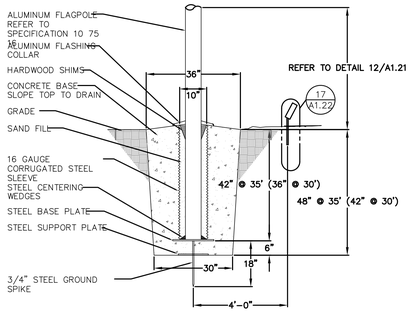


NOTES:
1. VALVE BOX SHALL BE LOCATED SO AS TO BE PLUMB AND CENTERED WITH RESPECT TO THE VALVE OPERATING NUT.
2. ALLOWABLE TOLERANCE SHALL BE 3/4"
3. PLUMBNESS AND ALIGNMENT SHALL BE VERIFIED WITH A PLUMB BOB, LOCATING THE VALVE NUT WITHIN THE ALLOWABLE TOLERANCE, AND CONFIRMING THAT THE VALVE IS OPERATIONAL WITHOUT USE OF A VALVE KEY TOUCHING THE INSIDE EDGE OF THE VALVE BOX.
4. FOR STREETS WITH SLOPE GREATER THAN 3% THAT DOES NOT ALLOW EASY PLUMBNESS VERIFICATION, THE VALVE BOX STRAIGHTNESS SHALL BE VISUALLY ASSESSED VERIFYING ITS RELATIVE CENTERED POSITION, CONFIRMING THAT THE VALVE IS OPERATIONAL WITHOUT THE VALVE KEY TOUCHING THE INSIDE EDGE OF THE VALVE BOX AND RESTRICTING ITS USE.

CITY OF MADISON WATER UTILITY	NOT TO SCALE	WATER VALVE BOX ALIGNMENT

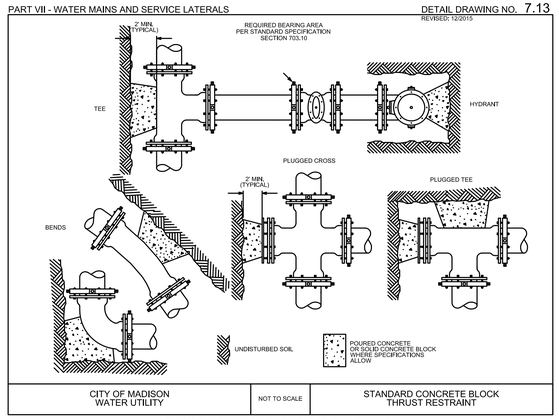
City of Madison Standard Specifications for Public Works Construction

1 / 1 STANDARD GATE VALVE BOX SETTING
NOT TO SCALE



1 / 1 FLAG POLE BASE SETTING
NOT TO SCALE

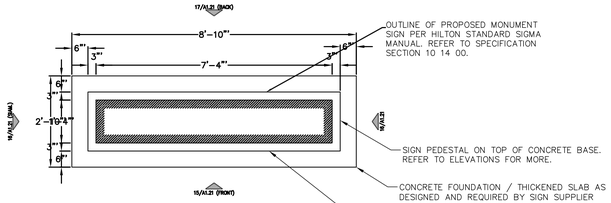
PART VII - WATER MAINS AND SERVICE LATERALS DETAIL DRAWING NO. 7.13
REVISED: 12/2015



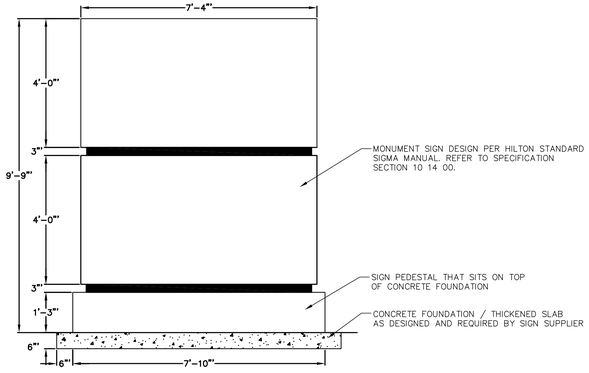
CITY OF MADISON WATER UTILITY	NOT TO SCALE	STANDARD CONCRETE BLOCK THRUST RESTRAINT

City of Madison Standard Specifications for Public Works Construction

1 / 1 BUTTRESS FOR BENDS
NOT TO SCALE

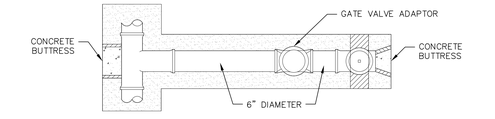


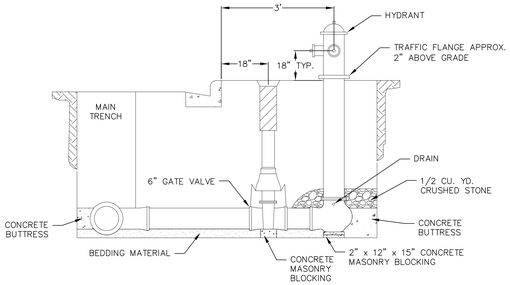
PLAN VIEW



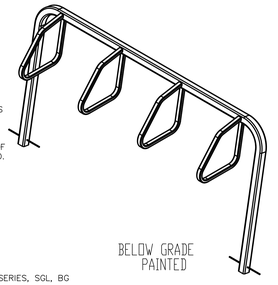
ELEVATION VIEW

1 / 1 MONUMENTAL SIGN
NOT TO SCALE





1 / 1 STANDARD HYDRANT SETTING
NOT TO SCALE



SARIS CYCLING GROUP

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WWW.SARISPARKINGINC.COM

NOTES:
1. DO NOT SCALE DRAWING.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. WEIGHT IS RACK ONLY, NOT TO BE CONSIDERED AS SHIPPING WEIGHT.
4. FINISHING OPTIONS INCLUDE SUPER DURABLE POLYESTER POWDERCOAT AND HOT DIP GALVANIZING.
5. SEE WEBSITE OR CATALOG FOR POLYESTER POWDERCOAT COLOR OPTIONS.

1 / 1 BIKE RACK DETAIL (4–STALL SHOWN)
NOT TO SCALE

NOTE: CONSTRUCTION SHALL CONFORM TO CITY OF MADISON STANDARD DETAIL DRAWINGS THAT ARE CURRENT AT THE TIME OF CONSTRUCTION.

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PROJECT:	201732
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SCALE:	AS NOTED
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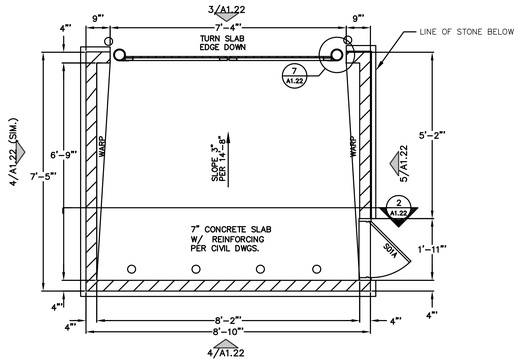
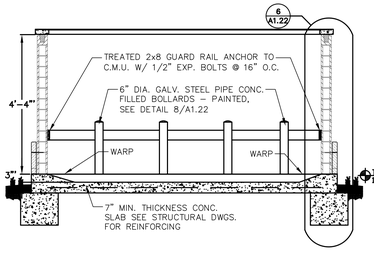
LAND USE RESUBMITTAL	1/3/18

CONSTRUCTION DETAIL PLAN

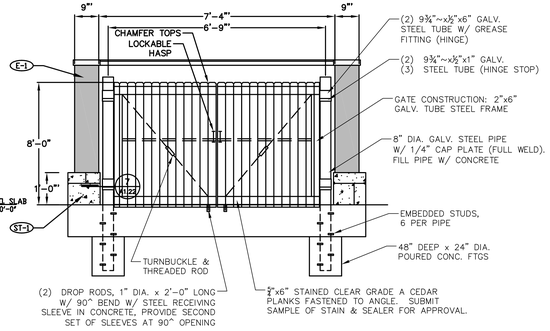
C108



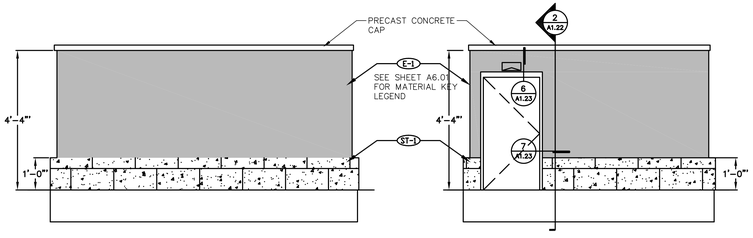
PLAN VIEW



SECTION THRU



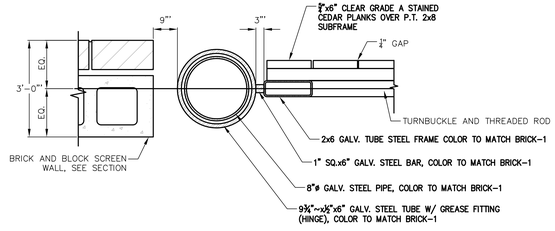
EAST ELEVATION VIEW



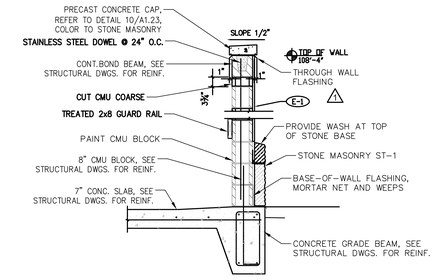
WEST ELEVATION VIEW

NORTH & SOUTH ELEVATION VIEW

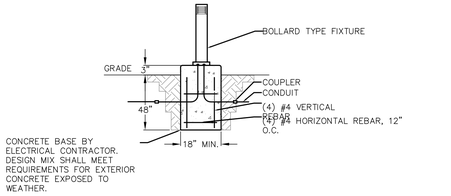
1/1 TRASH ENCLOSURE
NOT TO SCALE



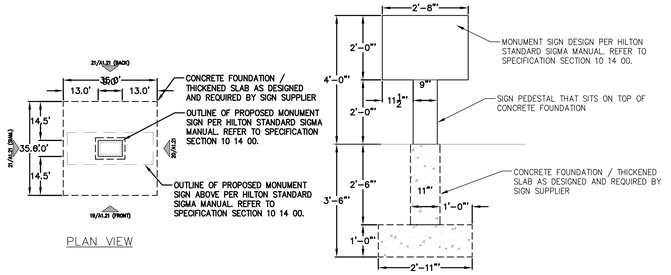
1/1 GATE POST
NOT TO SCALE



1/1 TRASH ENCLOSURE WALL
NOT TO SCALE

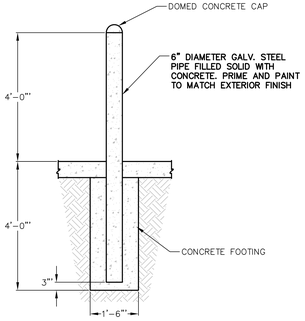


1/1 ILLUMINATED BOLLARD AT MAIN ENTRANCE
NOT TO SCALE

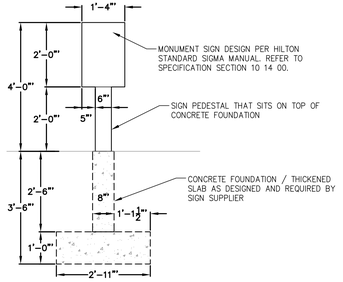


PLAN VIEW

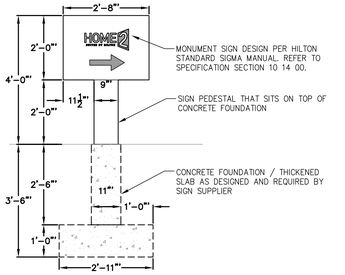
ELEVATION VIEW



1/1 PIPE BOLLARD
NOT TO SCALE



ELEVATION VIEW



ELEVATION VIEW

1/1 DIRECTIONAL SIGN
NOT TO SCALE

NOT FOR CONSTRUCTION

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DRAWN BY:	JGOL
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SCALE:	AS NOTED
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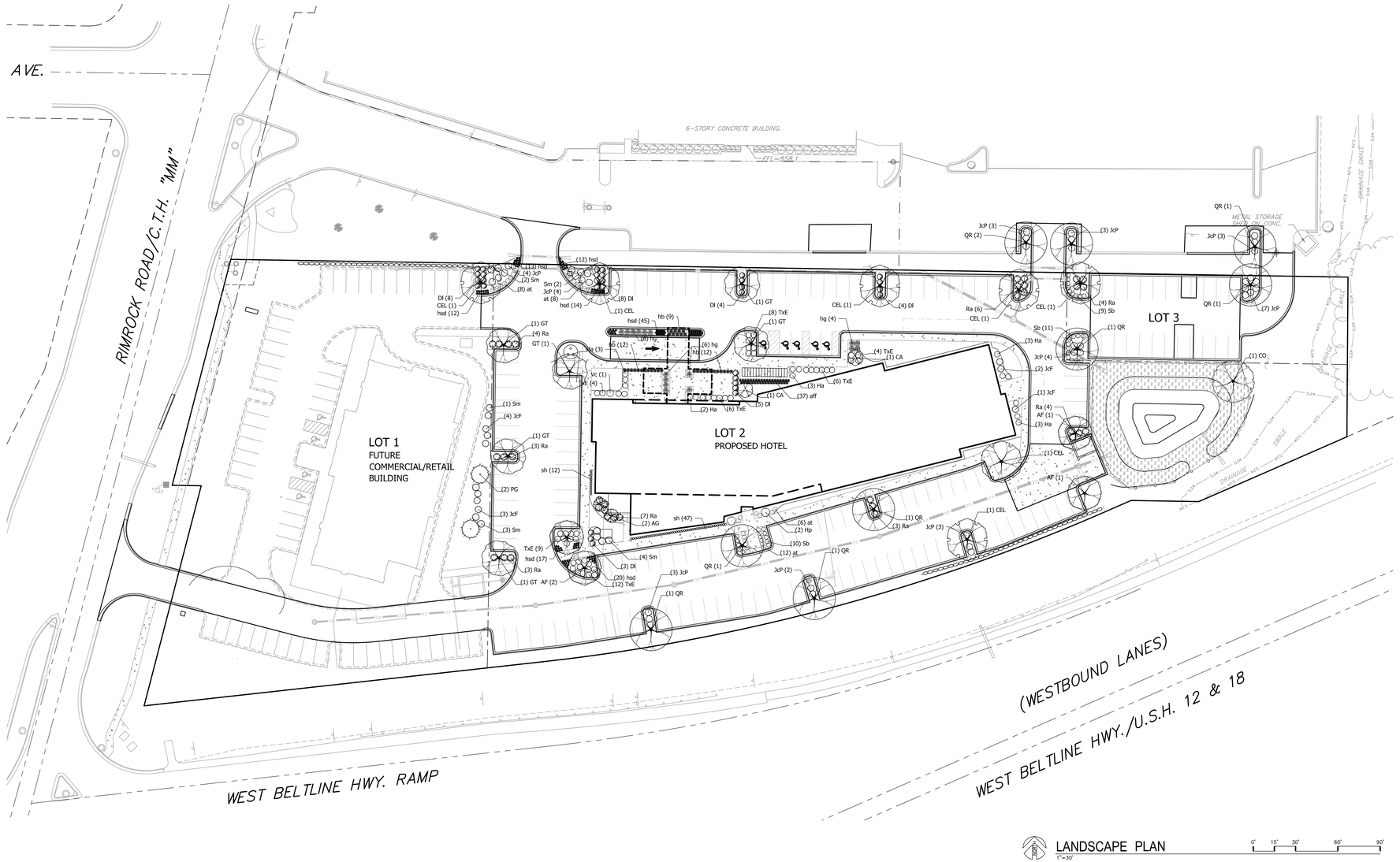
LAND USE RESUBMITTAL	1/3/18

CONSTRUCTION DETAIL PLAN

C109



LANDSCAPE PLAN
1"=30'
0' 15' 30' 60' 90'

PLANT SCHEDULE LOT 2

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
AF	Acer freemanii `Celzam` TM / Celebration Maple	B & B	2"Cal		4
CO	Carya ovata / Shagbark Hickory	B & B	2"Cal		1
CEL	Celtis occidentalis / Common Hackberry	B & B	2.5"Cal		6
GT	Gleditsia triacanthos inermis `Skycole` TM / Skyline Thornless Honey Locust	B & B	2.5"Cal		6
QR	Quercus rubra / Red Oak	B & B	2.5"Cal		4

EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
PG	Picea glauca `Densata` / Black Hills Spruce	B & B		6` ht.	2

FLOWERING TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
AG	Amelanchier x grandiflora `Robin Hill` / Apple Serviceberry	B & B	1.5"Cal		2
CA	Cornus alternifolia / Pagoda Dogwood	B & B		6` ht, multi stem	2

ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
at	Amsonia tabernaemontana `Blue Ice` / Blue Ice Star Flower	1 gal	Cont		34
aff	Athyrium filix-femina / Common Lady Fern	1 gal	Cont		37
hsd	Hemerocallis x `Stella de Oro` / Stella de Oro Daylilly	4" pot	Cont		120
hb	Hosta x `Blue Cadet` / Plantain Lily	1 gal	Cont		33
hg	Hosta x `Guacamole` / Plantain Lily	1 gal	Cont		16
sh	Sporobolus heterolepis / Prairie Dropseed	1 gal	Cont		59

DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
Dl	Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal	Cont		32
Ha	Hydrangea arborescens `Annabelle` / Annabelle Smooth Hydrangea	5 gal	Cont		14
Hp	Hydrangea paniculata `Limelight` TM / Limelight Hydrangea	5 gal	Cont		2
Ra	Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac	3 gal	Cont		30
Sb	Spiraea x bumalda `Anthony Waterer` / Anthony Waterer Spiraea	3 gal	Cont		10
Sm	Syringa meyeri `Palibin` / Dwarf Korean Lilac	5 gal	Cont		12
Vc	Viburnum carlesii `Spice Island` / Korean Spice Viburnum	5 gal	Cont		1

EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
JcF	Juniperus chinensis `Fairview` / Fairview Juniper	B & B	5` ht.		10
JcP	Juniperus chinensis `Pfitzerana Kallays Compacta` / Kally Pfitzer Compact Juniper	5 gal	Cont		16
TxE	Taxus x media `Everlow` / Yew	3 gal	Cont		49

STORMWATER SEEDING LOT 2

BASIC PRAIRIE SEED MIX 5,807 sf

PLANT SCHEDULE LOT 3

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
CEL	Celtis occidentalis / Common Hackberry	B & B	2.5"Cal	1
QR	Quercus rubra / Red Oak	B & B	2.5"Cal	2

DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY
Ra	Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac	3 gal	Cont	4
Sb	Spiraea x bumalda `Anthony Waterer` / Anthony Waterer Spiraea	3 gal	Cont	20

EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY
JcP	Juniperus chinensis `Pfitzerana Kallays Compacta` / Kally Pfitzer Compact Juniper	5 gal	Cont	11

PLANT SCHEDULE EXISTING LOT

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
QR	Quercus rubra / Red Oak	B & B	2.5"Cal	3

EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY
JcP	Juniperus chinensis `Pfitzerana Kallays Compacta` / Kally Pfitzer Compact Juniper	5 gal	Cont	9

GENERAL NOTES:

1. All plantings shall conform to quality requirements as per ANSI Z60.1.
2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
4. All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply ½" water twice weekly until final acceptance.
5. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
6. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
7. Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min.
8. Areas labeled 'Basic Prairie Seed Mix' to be seeded with mix of same name from Cardno Native Plant Nursery per manufacturer specified application rates.

NOT FOR CONSTRUCTION

GBA
architecture | design
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

PROJECT:
HOME 2 SUITES
RIMROCK ROAD
MADISON, WISCONSIN
CLIENT:
NORTH CENTRAL GROUP
c/o KATE
8500 LYNDON COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT: 201732
DRAWN BY: SVIN
DATE:
SCALE: AS NOTED

LAND_USE_SUBMITTAL 11/20/2017
LAND_USE_RESUBMITTAL01/03/2018

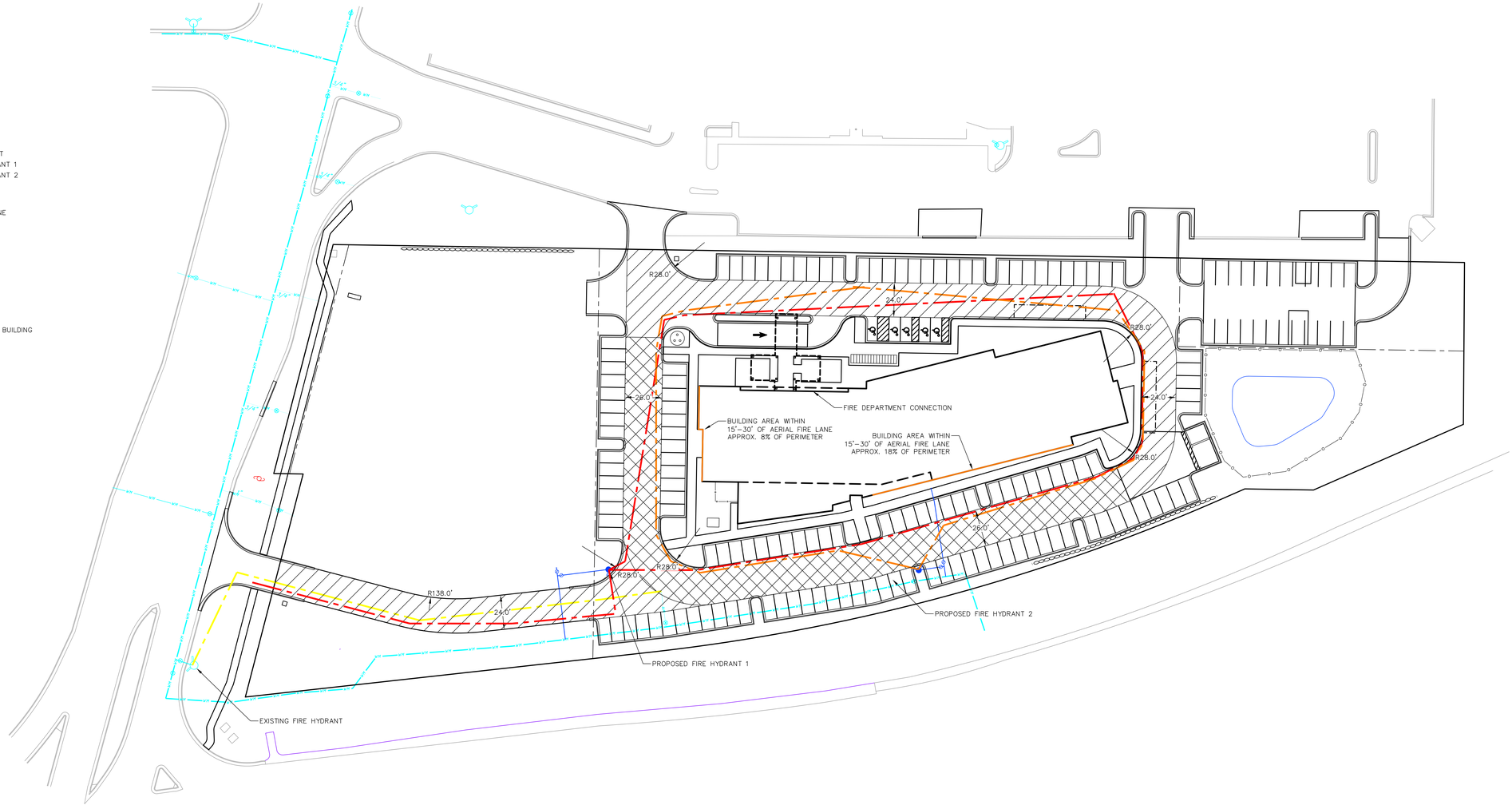
LANDSCAPE PLAN
L101

LEGEND

- 500' HOSE LAY FROM EXISTING HYDRANT
- 500' HOSE LAY FROM PROPOSED HYDRANT 1
- 500' HOSE LAY FROM PROPOSED HYDRANT 2
- PROPOSED FIRE LANE
- PROPOSED AERIAL APPARATUS FIRE LANE
- PROPOSED HYDRANT
- EXISTING HYDRANT

NO PARKING FIRE LANE — FIRE LANE NO PARKING SIGN (12"X18") LOCATIONS TO BE DETERMINED BY CITY

NOTE: ALL AREAS OF FIRE LANE WITHIN 150' HOSE LAY FROM BUILDING



FIRE ACCESS
1"=30'
0' 15' 30' 60' 90'

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MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

PROJECT:
HOME 2 SUITES
EAST TOWNE
MADISON, WISCONSIN

CLIENT:
NORTH CENTRAL GROUP
c/o KATZ
6514 GRAND COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT:	201732
DRAWN BY:	JGOL
DATE:	
SCALE:	AS NOTED
LAND USE SUBMITTAL	11/20/17
LAND USE RESUBMITTAL	1/3/18

FIRE ACCESS

F100

CALCULATION SUMMARY					
LABEL	CALCTYPE	UNITS	MIN	AVG	AVG/MIN
PARKING LOT - PAVEMENT	ILLUMINANCE	FC	0.3	0.8	2.9

SUGGESTED CONTROL SEQUENCE:

POLE, BOLLARD AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY ON AT SUNSET.

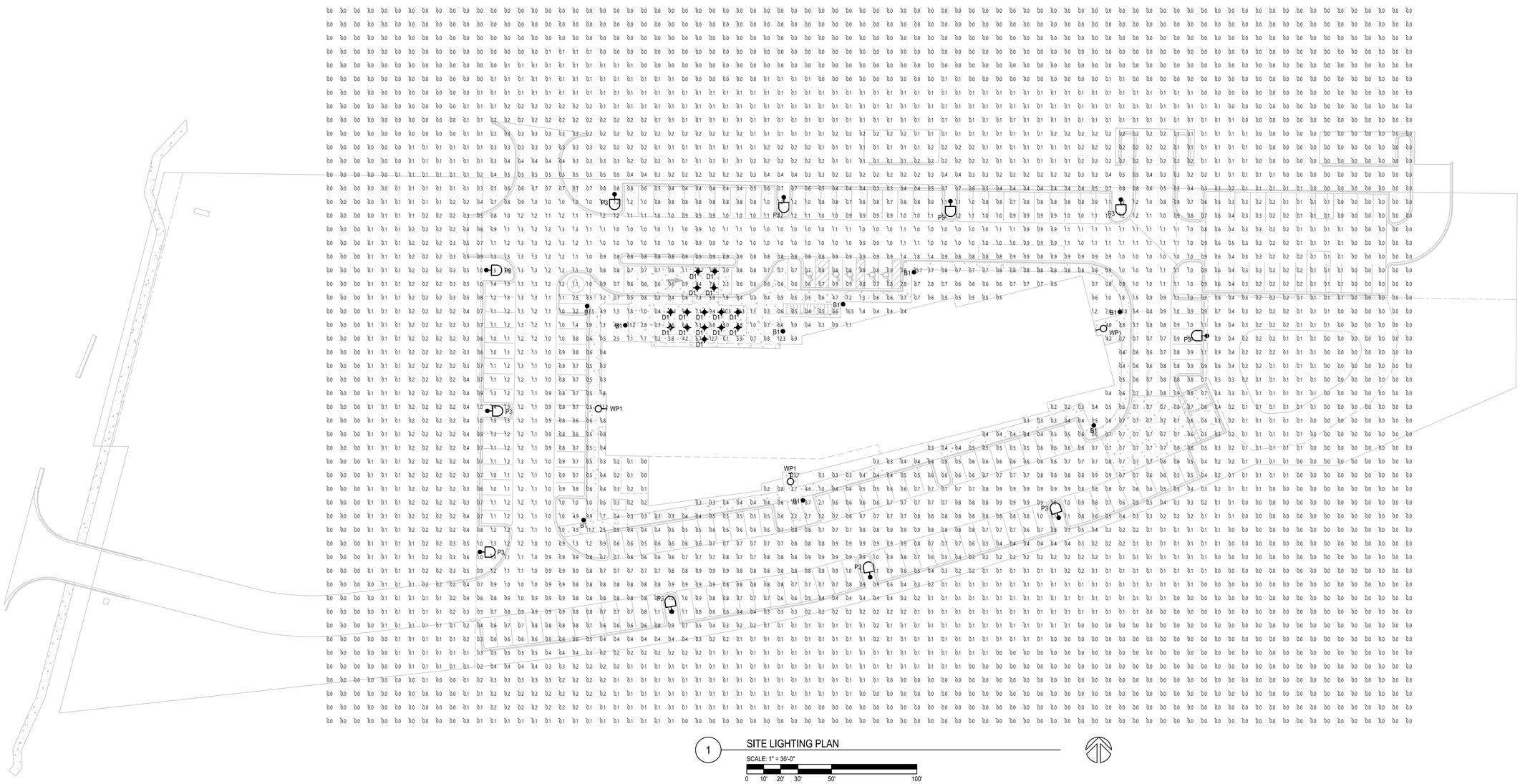
POLE, BOLLARD AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY OFF AT SUNRISE.

POLE TYPE DISTRIBUTION KEY:

P3 — 30'-0" TALL POLE WITH LED LUMINAIRE; IES TYPE 3 DISTRIBUTION

BOLLARD TYPE DISTRIBUTION KEY:

B1 — 42" TALL PATHWAY LIGHTING BOLLARD WITH SYMMETRICAL LIGHTING DISTRIBUTION.



1 SITE LIGHTING PLAN

SCALE: 1" = 30'-0"

0 10' 20' 30' 50' 100'

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7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

NCG
NORTH CENTRAL GROUP

PROJECT:
HOME 2 SUITES
RIMROCK ROAD
MADISON, WISCONSIN

CLIENT:
NORTH CENTRAL GROUP
C/O MADISON RIMROCK LODGING INVESTORS I, LLC
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT:	201732
DRAWN BY:	HEI
DATE:	01/3/18
SCALE:	AS NOTED

- LAND USE SUBMITTAL 11/20/2017
- LAND USE RESUBMITTAL 12/07/2017
- LAND USE RESUBMITTAL 1/03/2018

SITE LIGHTING PLAN

E101

SUGGESTED CONTROL SEQUENCE:

POLE, BOLLARD AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY ON AT SUNSET.

POLE, BOLLARD AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY OFF AT SUNRISE.

POLE TYPE DISTRIBUTION KEY:

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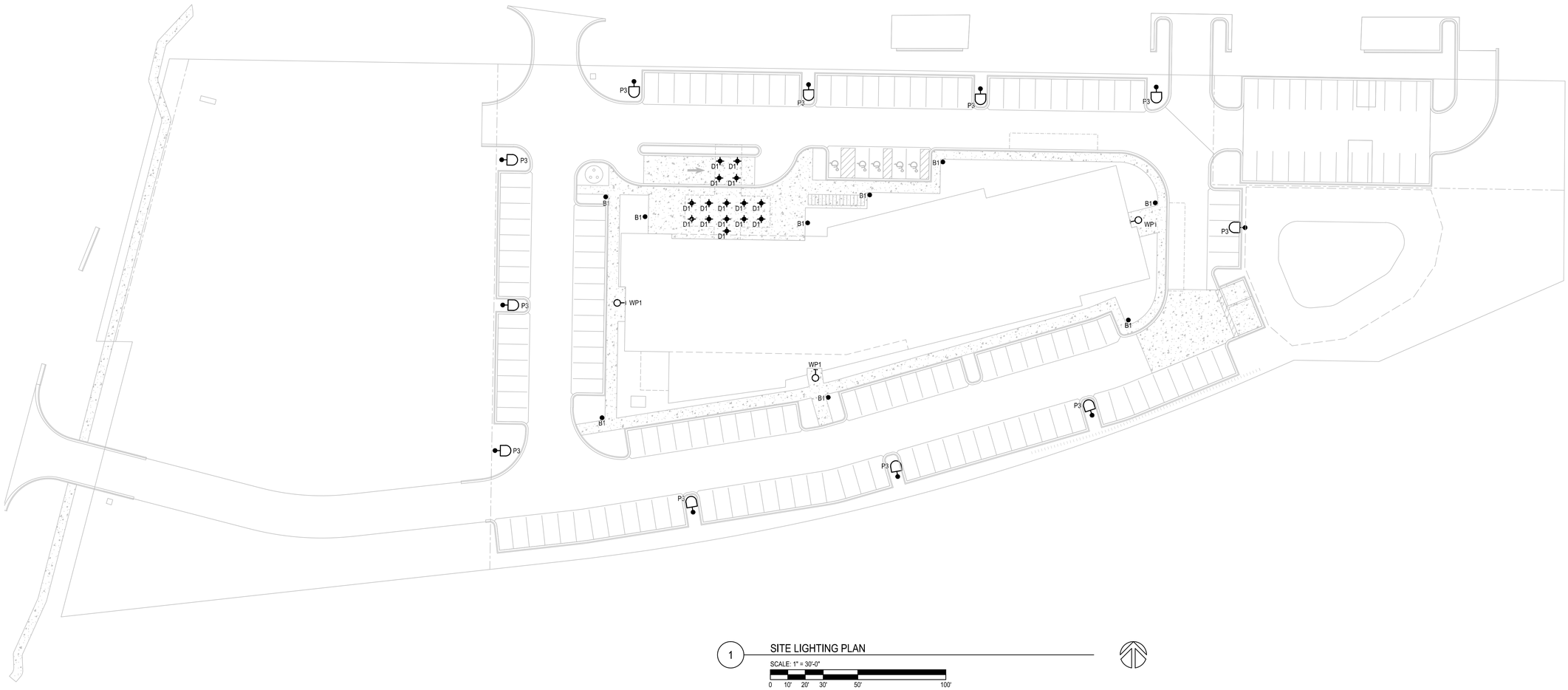

1 SITE LIGHTING PLAN

SCALE: 1" = 30'-0"

0 10' 20' 30' 50' 100'

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architecture | design
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

NCG
NORTH CENTRAL GROUP

PROJECT:
HOME 2 SUITES
RIMROCK ROAD
MADISON, WISCONSIN

CLIENT:
NORTH CENTRAL GROUP
C/O MADISON RIMROCK LODGING INVESTORS I, LLC
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT:	201732
DRAWN BY:	HEI
DATE:	01/3/18
SCALE:	AS NOTED

LAND USE SUBMITTAL 11/20/2017
LAND USE RESUBMITTAL 12/07/2017
LAND USE RESUBMITTAL 1/03/2018

SITE LIGHTING PLAN

E102

GBA
architecture | design
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

NCG NORTH CENTRAL GROUP

Wall luminaires with directed light

Housing: One piece die-cast aluminum supplied with universal mounting bracket for direct attachment to 3½" or 4" octagonal wiring box. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

Enclosure: One piece die-cast aluminum cover frame secured by captive socket head, stainless steel screws threaded into stainless steel inserts. Semi-specular, anodized aluminum internal reflector. Stippled tempered clear glass. Fully gasketed for weather tight operation using a molded silicone rubber O-ring gasket.

Electrical: 17.9W LED luminaire, 22.9 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 90 CRI. Available in 4000K (90 CRI); add suffix K4 to order.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

Weight: lbs.

Luminaire Lumens: 1893

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:

	Lamp	A	B	C
33 242	17.9W LED	8	8	3¾

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com

WP1 TYPE WP1
NO SCALE

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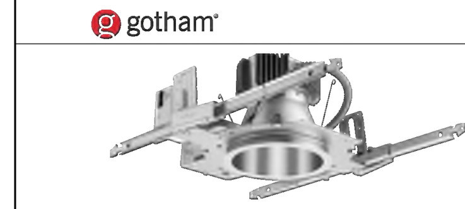
gotham

Luminaire Type:
Catalog Number
(autopopulated)



Gotham Architectural Downlighting
LED Downlights

6" Evo®
Downlight

Solid-State Lighting

FEATURES

OPTICAL SYSTEM
- Self-flanged or flangeless semi-specular, matte-diffuse or specular finishing trim
- Patented Bounding Ray™ optical design (U.S. Patent No. 5,800,050)
- 45° cutoff to source and source image
- Top-down flash characteristic
- Polycarbonate lens integral to light engine

MECHANICAL SYSTEM
- 16-gauge galvanized steel construction; maximum 1-1/2" ceiling thickness
- Telescopic mounting bars maximum of 32" and minimum of 15", preinstalled, 4" vertical adjustment
- Toolless adjustments post installation
- Junction box capacity: 8 (4 in, 4 out) 12AWG rated for 90°C
- Light engine and driver accessible through aperture
- Injection molded mud ring includedwith flangeless trims. Ships separately. Installs independently of the mounting frame to reduce cracks in plaster due to vibration.

ELECTRICAL SYSTEM
- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- Tested according to LM-79 and LM-80 standards
- Overload and short circuit protected
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional

LISTINGS
- Fixtures are CSA certified to meet US and Canadian standards; wet location, covered ceiling. ENERGY STAR® certified product.

WARRANTY
- 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

ORDERING INFORMATION

A+ Capable options indicated by this color background.

EXAMPLE: EVO 35/10 6AR MWD LSS MVOLT EZ1

Series	Color temperature	Nominal lumen values	Aperture/Trim color	Trim Style	Distribution	Finish	Voltage
EVO	27/ 2700 K 30/ 3000 K 35/ 3500 K 40/ 4000 K 50/ 5000 K	10 1000 lumens 15 1500 lumens 20 2000 lumens 25 2500 lumens 30 3000 lumens 35 3500 lumens 40 4000 lumens 45 4500 lumens	6AR Clear 6PR Pewter 6WTR Wheat 6GR Gold 6WR[1] White 6BR[1] Black 6WRAMF[1] White anti-microbial	(blank) Self-flanged FL Flangeless	VND Very narrow (0.5 s/mh) ND Narrow (0.7 s/mh) MD Medium (0.9 s/mh) MWD Medium wide (1.0 s/mh) WD Wide (1.2 s/mh)	LSS Semi-specular LD Matte-diffuse LS Specular	MVOLT 120 277 347[2]

Driver[3]	
EZ10	eldoLED 0-10V ECOdrive. Linear dimming to 10% min.
EZ1	eldoLED 0-10V ECOdrive. Linear dimming to 1% min.
EZB	eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%.
EDAB	eldoLED SOLOdrive DALI. Logarithmic dimming to <1%.
EDXB	eldoLED POWERdrive DMX with RDM (remote device management). Square Law dimming to <1%. Includes termination resistor. Refer to DMXR Manual.
EXA1	XPoint Wireless, eldoLED 0-10V ECOdrive. Linear dimming to 1%. Refer to XPoint tech sheet.
EXAB	XPoint Wireless, eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%. Refer to XPoint tech sheet.
ECOS2[4,5]	Lutron® Hi-Lume® 2-wire forward-phase driver. Minimum dimming level 1%. Minimum lumen 1000/Maximum lumen 3000.
ECOS3[4]	Lutron® Hi-Lume® 3-wire or EcoSystem® dimming driver. Minimum dimming level 1%. Minimum lumen 1000/Maximum lumen 4500.

Options			
SF	Single fuse. Specify 120V or 277V.	BGTD	Bodine generator transfer device. Specify 120V or 277V.
TRW[6]	White painted flange	CRI90	High CRI (90+)
TRBL[7]	Black painted flange	CP[11]	Chicago plenum. Specify 120V or 277V.
EL[8]	Emergency battery pack with integral test switch, CEC compliant	RRL__	RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature.
ELR[8]	Emergency battery pack with remote test switch, CEC compliant		
NPS80EZ[9]	nLight® dimming pack controls 0-10V eldoLED drivers.		
NPS80EZER[9,10]	nLight® dimming pack controls 0-10V eldoLED drivers. ER controls fixtures on emergency circuit.		

GOTHAM ARCHITECTURAL DOWNLIGHTING | P 800.315.4982 | gothamlighting.com

6" EVO
Downlight
Solid-State Lighting

gotham

DIMENSIONAL DATA

All dimensions are inches (centimeters) unless otherwise noted.

Aperture: 6-1/4" (15.9)
Ceiling Opening: 7-1/8" (18.1) self-flanged
7-1/4" (18.4) flangeless
Overlap trim: 7-1/2" (19.1)

DIMENSIONS FOR CHICAGO PLENUM

ELECTRICAL

WATTAGE CONSUMPTION MATRIX			
LUMENS	LM-ACTUAL	WATTAGE	LUMENS per WATT
1000	1,059	11.8	90.1
1500	1,572	18.5	85.0
2000	2,058	23.2	88.9
2500	2,612	29.5	88.5
3000	3,077	36.6	84.1
3500	3,591	42.1	85.3
4000	4,046	48.1	84.2
4500	4,555	46.9	97.1

EMERGENCY LUMEN OUTPUT		
LUMENS	WATTAGE	INITIAL OUTPUT
1000	9.6	1000
1500	9.6	1000
2000	9.6	1000
2500	9.6	1000
3000	9.6	1000
3500	9.6	1000
4000	9.6	1000
4500	9.6	1000

ACCESSORIES

ACCESSORIES order as separate catalog numbers (shipped separately)

SCA6	Sloped ceiling adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA6 10D. Refer to TECH-190.
CTA6-8 YK	Ceiling thickness adapter (extends mounting frame to accommodate ceiling thickness up to 5"). Adds ~4" to fixture height.
GVRT	Vandal-resistant trim accessory. Refer to TECH-200.
ISD BC	0-10V wallbox dimmer. Refer to ISD-BC.

NOTES

ORDERING NOTES
1. Not available with finishes.
2. Not available with EL or ELR options.
3. Refer to TECH-240 for compatible dimmers.
4. Not available with nLight® and XPoint options.
5. Specify voltage. ECOS2 not available in 277V.
6. Not available with white reflector. Not applicable with FL option.
7. Not available with black reflector. Not applicable with FL option.
8. For dimensional changes, refer to TECH-140. Not available with 347V.
9. For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
10. ELR not available. CP & ECOS2 - 3000 lumen max. CP & ECOS3 - 4000 lumen max. CP, ECOS2/ECOS3 & EL - 2000 lumen max.

gotham
GOTHAM ARCHITECTURAL DOWNLIGHTING | P 800.315.4982 | gothamlighting.com

DL1 TYPE DL1
NO SCALE

D-Series
LED Bollard

d"series

Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The D-Series LED Bollard is a stylish, energy-saving, long-life solution designed to perform the way a bollard should—with zero uplight. An optical leap forward, this full cut-off luminaire will meet the most stringent of lighting codes. The D-Series LED Bollard's rugged construction, durable finish and long-lasting LEDs will provide years of maintenance-free service.

Specifications

Diameter:	8" Round (20.3 cm)
Height:	42" (106.7 cm)
Weight (max):	27 lbs (12.25 kg)

Ordering Information EXAMPLE: DSXB LED 16C 700 40K SYM MVOLT DDBXD

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Control options	Other options	Finish (required)
DSXB LED	Asymmetric 12C 12 LEDs[1] Symmetric 16C 16 LEDs[2]	350 350 mA 450 450 mA[3,4] 530 530 mA 700 700 mA	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted AMBLW Amber limited wavelength[3,4]	ASY Asymmetric[1] SYM Symmetric[2]	MVOLT[5] 120[5] 208[5] 240[5] 277[5] 347[6]	Shipped installed PE Photoelectric cell, button type DMG 0-10V dimming driver (no controls) ELCW Emergency battery backup[6]	Shipped installed SF Single fuse (120, 277, 347V)[6,7] DF Double fuse (208, 240V)[6,7] H24 24" overall height H30 30" overall height H36 36" overall height FG Ground-fault festoon outlet L/AB Without anchor bolts L/AB4 4-bolt retrofit base without anchor bolts[8]	DWHXD White DNAXD Natural aluminum DDBXD Dark bronze DBLXD Black DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Accessories
Ordered and shipped separately.
MRAB U Anchor bolts for DSXB[8]

NOTES
1. Only available in the 12C, ASY version.
2. Only available in the 16C, SYM version.
3. Only available with 450 AMBLW version.
4. Not available with ELCW.
5. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
6. Not available with 347V. Not available with fusing. Not available with 450 AMBLW.
7. Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
8. MRAB U not available with L/AB4 option.

LITHONIA LIGHTING. One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • www.lithonia.com

Performance Data

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%.

Light Engines	Drive Current	System Watts	30K Lumens	LPW	B	U	G	40K Lumens	LPW	B	U	G	50K Lumens	LPW	B	U	G	Amber Lumens	LPW	B	U	G
Asymmetric (12 LEDs)	350	16	1,194	75	1	0	1	1,283	80	1	0	1	1,291	81	1	0	1					
	530	22	1,719	78	1	0	1	1,847	84	1	0	1	1,859	85	1	0	1					
	700	31	2,173	70	1	0	1	2,335	75	1	0	1	2,349	76	1	0	1					
	Amber 450	16																348	22	1	0	1
Symmetric (16 LEDs)	350	20	1,558	78	1	0	0	1,674	84	1	0	0	1,685	84	1	0	0					
	530	28	2,232	80	2	0	1	2,397	86	2	0	1	2,412	86	2	0	1					
	700	39	2,802	72	2	0	1	3,009	77	2	0	1	3,028	78	2	0	1					
	Amber 450	20																419	21	1	0	1

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.00	0.98	0.97	0.95

Electrical Load

Light Engines	Drive Current (mA)	System Watts	120	208	240	277	347
12C	350	16W	0.150	0.118	0.114	0.109	0.105
	530	22W	0.217	0.146	0.136	0.128	0.118
	700	31W	0.296	0.185	0.168	0.153	0.139
	Amber 450	16W	0.161	0.120	0.115	0.110	0.106
16C	350	20W	0.197	0.137	0.128	0.121	0.114
	530	28W	0.282	0.178	0.162	0.148	0.135
	700	39W	0.385	0.231	0.207	0.185	0.163
	Amber 450	20W	0.199	0.139	0.130	0.123	0.116

Photometric Diagrams To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Bollard homepage.

Isofootcandle plots for the DSXB LED 700 40K. Distances are in units of mounting height (3').

LEGEND: 0.1 fc, 0.5 fc, 1.0 fc, 3.0 fc, 6.0 fc — SYM, ASY

FEATURES & SPECIFICATIONS

INTENDED USE
The rugged construction and maintenance-free performance of the D-Series LED Bollard is ideal for illuminating building entryways, walking paths and pedestrian plazas, as well as any other location requiring a low-mounting-height light source.

CONSTRUCTION
One-piece 8-inch-round extruded aluminum shaft with thick side walls for extreme durability, and die-cast aluminum reflector and top cap. Die-cast aluminum mounting ring allows for easy leveling even in uneven areas and full 360-degree rotation for precise alignment during installation. Three ½" x 11" anchor bolts with double nuts and washers and 3-5/8" max. bolt circle template ensure stability. Overall height is 42" standard.

FINISH
Exterior parts are protected by a zinc-infused super durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering for maximum retention of gloss and luster. A tightly controlled multi-stage process ensures a minimum 3-mil thickness for a finish that can withstand the elements without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS
Two 0% uplight optical distributions are available: symmetrical and asymmetrical. IP66 sealed LED light engine provides smoothly graduated illumination without uplight. Light engines are available in standard 4000 K (>70 CRI) or optional 3000 K (>80 CRI) or 5000 K (67 CRI). Limited-wavelength amber LEDs are also available.

ELECTRICAL
Light engines consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (L95/100,000 hours at 700mA at 25°C). Class 2 electronic drivers are designed for an expected life of 100,000 hours with < 1% failure rate. Electrical components are mounted on a removable power tray.

LISTINGS
CSA certified to U.S. and Canadian standards. Light engines are IP66 rated. Rated for -40°C minimum ambient. Cold-weather emergency battery backup rated for -20°C minimum ambient.

WARRANTY
Five-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application.
All values are design or typical values, measured under laboratory conditions at 25 °C.
Specifications subject to change without notice.

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DSXB-LED Rev. 2/6/17

B1 TYPE B1
NO SCALE

D-Series Size 1
LED Area Luminaire

d"series

Catalog Number
Notes
Type

Specifications

EPA:	1.01 ft² (0.09 m²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height:	7-1/2" (19.0 cm)
Weight (max):	27 lbs (12.2 kg)

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.
- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background[1]

To learn more about A+, visit www.acuitybrands.com/aplus.
1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

Ordering Information EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P2 P3 P4 P5 P6 P7 P8 P9 Rotated optics P10[1] P11[1] P12[1] P13[1]	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted[2]	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control[3] LCCO Left corner cutoff[3] RCCO Right corner cutoff[3]	MVOLT[4] 120[5] 208[5] 240[5] 277[5] 347[5,6] 480[5,6]	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor[7] RPUMBA Round pole universal mounting adaptor[7] Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)[8]

Control options		Other options	Finish (required)
Shipped installed PER NEMA twist-lock receptacle only (controls ordered separate) PER5 Five-wire receptacle only (controls ordered separate) PER7 Seven-wire receptacle only (controls ordered separate) DMG 0-10V dimming extend out back of housing for external control (leads exit fixture) DS Dual switching PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc	PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc BL30 Bi-level switched dimming, 30% BL50 Bi-level switched dimming, 50% PNMTDD3 Part night, dim till dawn PNMT5D3 Part night, dim 5 hrs PNMT6D3 Part night, dim 6 hrs PNMT7D3 Part night, dim 7 hrs FAO Field adjustable output	Shipped installed HS House-side shield SF Single fuse (120, 277, 347V) DF Double fuse (208, 240, 480V) L90 Left rotated optics R90 Right rotated optics BS Bird spikes EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

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Ordering Information

Accessories Ordered and shipped separately.

DSHORT SBK U Shorting cap
DSX1HS 30C U House-side shield for 30 LED unit
DSX1HS 40C U House-side shield for 40 LED unit
DSX1HS 60C U House-side shield for 60 LED unit
PUMBA DDBXD U Square and round pole universal mounting bracket (specify finish)
KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)

NOTES
1. P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
2. AMBPC is not available with BLC, LCCO, RCCO or P4, P7, P8, P9 or P13.
3. Not available with HS.
4. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
5. Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.

External Glare Shield

Drilling

HANDHOLE ORIENTATION

Template #8 — Top of Pole

Tenon Mounting Slipfitter

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS
1 @ 90°	2 @ 180°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
Side B	Side B & D	Side B & C	Round pole only	Side B, C & D	Sides A, B, C, D

Note: Review luminaire spec sheet for specific nomenclature

Photometric Diagrams To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 1 homepage.

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (25').

LEGEND: 0.1 fc, 0.5 fc, 1.0 fc — T1S, T3M, T4M, T5W

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Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Electrical Load

	Performance Package	LED Count	Drive Current	Wattage	120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	30	530	54	0.45	0.26	0.23	0.19	0.10	0.12
	P2	30	700	70	0.59	0.34	0.30	0.25	0.20	0.16
	P3	30	1050	102	0.86	0.50	0.44	0.38	0.30	0.22
	P4	30	1250	125	1.06	0.60	0.52	0.46	0.37	0.27
	P5	30	1400	138	1.16	0.67	0.58	0.51	0.40	0.29
	P6	40	1250	163	1.36	0.78	0.68	0.59	0.47	0.34
	P7	40	1400	183	1.53	0.88	0.76	0.66	0.53	0.38
	P8	60	1050	207	1.74	0.98	0.87	0.76	0.64	0.49
	P9	60	1250	241	2.01	1.16	1.01	0.89	0.70	0.51
Rotated Optics (Requires L90 or R90)	P10	60	530	106	0.90	0.52	0.47	0.43	0.33	0.27
	P11	60	700	137	1.15	0.67	0.60	0.53	0.42	0.32
	P12	60	1050	207	1.74	0.99	0.87	0.76	0.60	0.46
	P13	60	1250	231	1.93	1.12	0.97	0.86	0.67	0.49

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25000	50000	100000
Lumen Maintenance Factor	1.00	0.96	0.92	0.85

Motion Sensor Default Settings						
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*For use with Inline Dusk to Dawn or timer.

PER Table					
Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)	
			Wire 4/Wire5	Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✔	▲	Wired to dimming leads on driver	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✔	Wired to dimming leads on driver	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion (ROAM on/off only)	⊘	▲	Wires Capped inside fixture	Wires Capped inside fixture	Wires Capped inside fixture
Future-proof*	⊘	▲	Wired to dimming leads on driver	Wired to dimming leads on driver	Wires Capped inside fixture
Future-proof* with Motion	⊘	▲	Wires Capped inside fixture	Wires Capped inside fixture	Wires Capped inside fixture

✔ Recommended; ⊘ Will not work; ▲ Alternate
*Future-proof means: Ability to change controls in the future.

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Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics

LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K Lumens	B	U	G	LPW	40K Lumens	B	U	G	LPW	50K Lumens	B	U	G	LPW	AMBPC Lumens	B	U	G	LPW
30	700	P2	70W	T1S	8,249	2	0	2	118	8,886	2	0	2	127	8,999	2	0	2	129	4,561	1	0	1	67
				T2S	8,240	2	0	2	118	8,877	2	0	2	127	8,989	2	0	2	128	4,777	1	0	1	70
				T2M	8,283	2	0	2	118	8,923	2	0	2	127	9,036	2	0	2	129	4,622	1	0	2	68
30	1250	P4	125W	T1S	13,435	3	0	3	107	14,473	3	0	3	116	14,657	3	0	3	117					
				T2S	13,421	3	0	3	107	14,458	3	0	3	116	14,641	3	0	3	117					
				T2M	13,490	2	0	3	108	14,532	3	0	3	116	14,716	3	0	3	118					

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P3 TYPE P3
NO SCALE

PROJECT:
HOME 2 SUITES
RIMROCK ROAD
MADISON, WISCONSIN

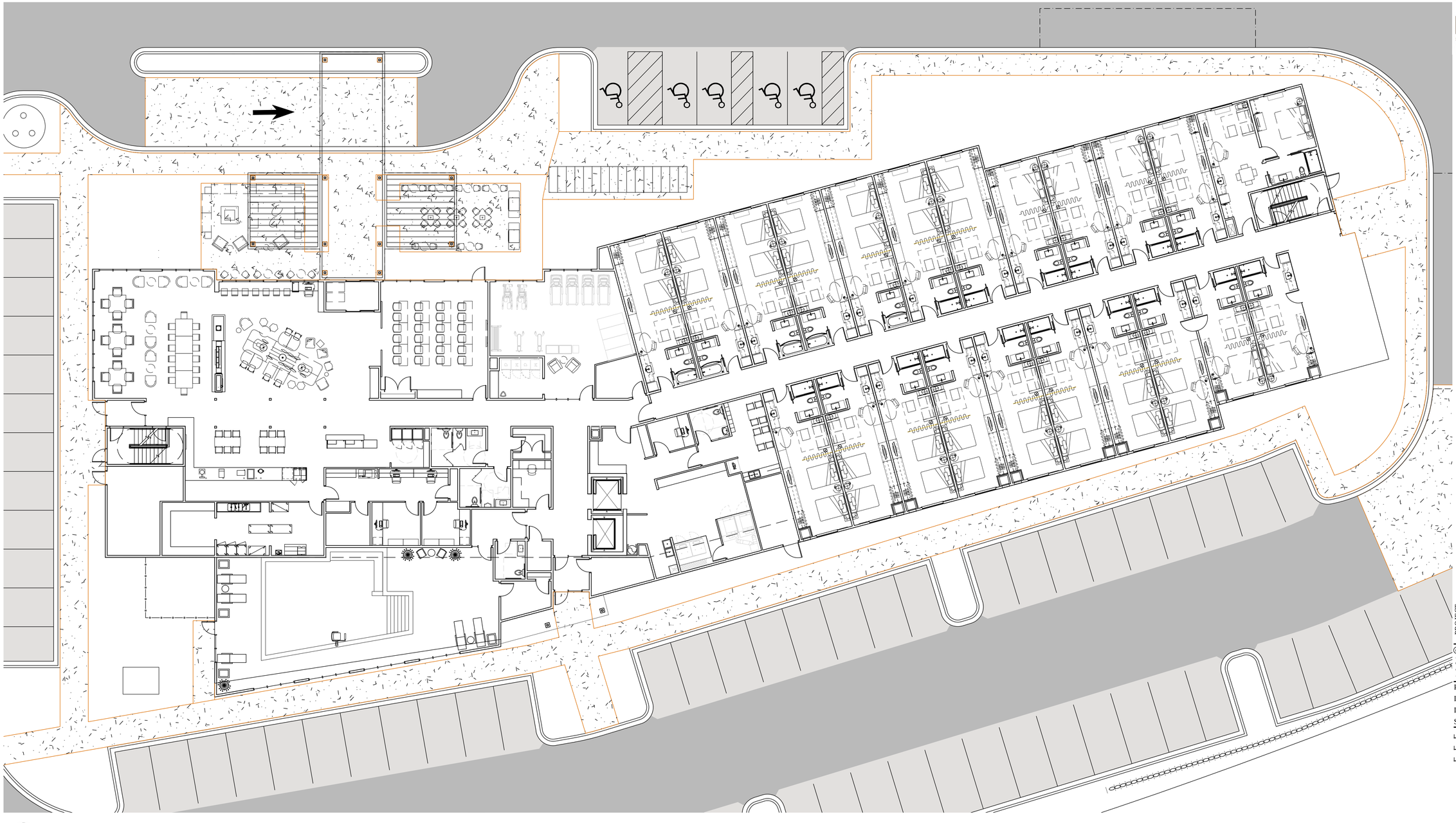
CLIENT:
NORTH CENTRAL GROUP
c/o MADISON RIMROCK LODGING INVESTORS I, LLC
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT:	201732
DRAWN BY:	HEI
DATE:	01/3/18
SCALE:	AS NOTED

LAND USE SUBMITTAL	11/20/2017
LAND USE RESUBMITTAL	12/01/2017
LAND USE RESUBMITTAL	1/03/2018

SITE LIGHTING LUMINAIRES

E103



FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"
0' 4' 8' 16' 24' 32'

GBA
architecture | design
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MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

NCG
NORTH CENTRAL GROUP

HOME 2
SUITES BY HILTON

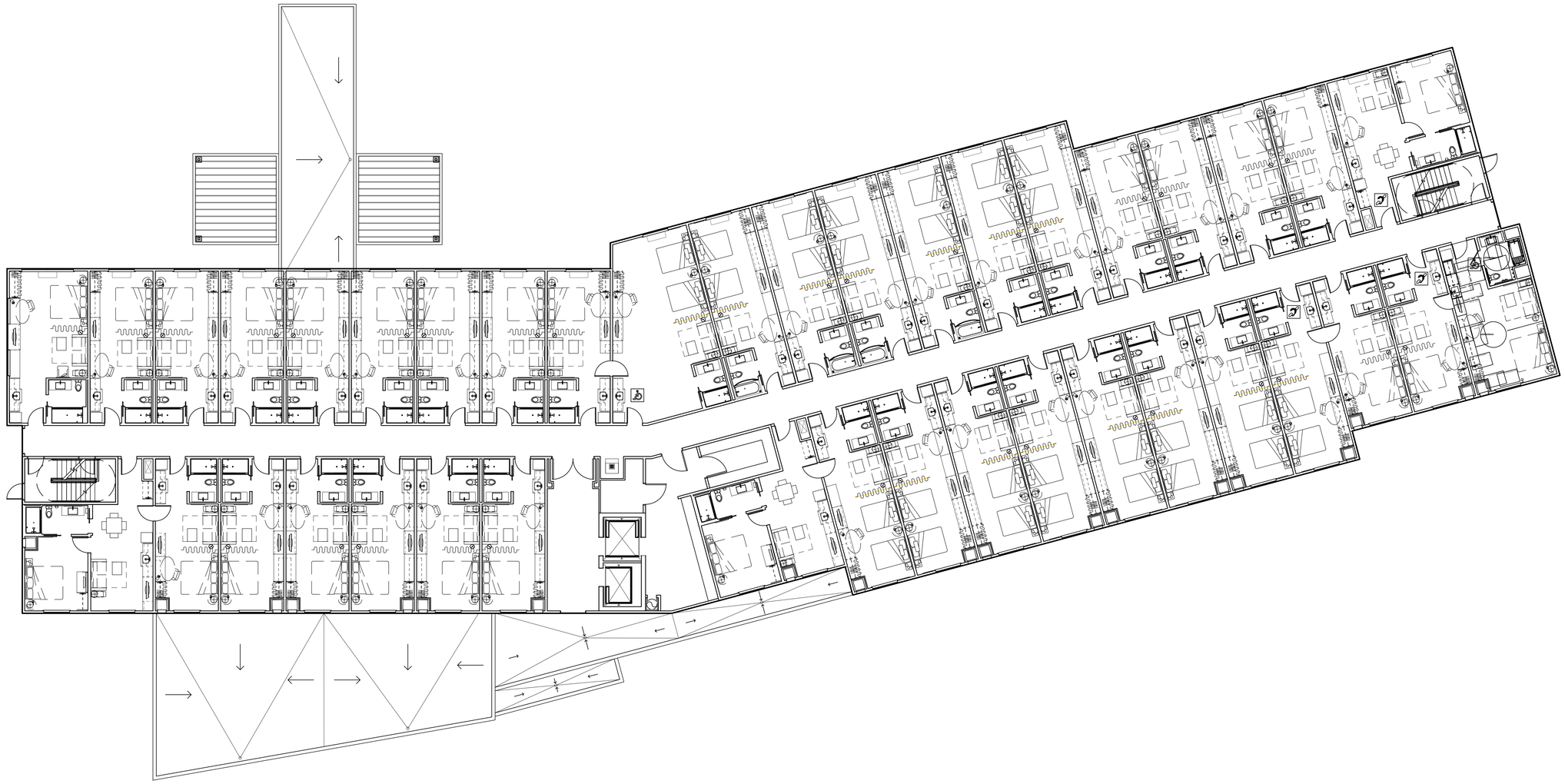
PROJECT:
HOME 2 SUITES
2155 RIMROCK ROAD
MADISON, WISCONSIN 53713-1443

CLIENT:
MADISON RIMROCK LODGING INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT: 201732
DRAWN BY: TELAIA
DATE:
SCALE: AS NOTED

LAND USE SUBMITTAL 11/20/2017
LAND USE RESUBMITTAL 12/01/2017
LAND USE RESUBMITTAL 1/03/2018

FIRST
FLOOR PLAN
A2.01



SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"

0' 4' 8' 16' 24' 32'

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MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

NCG NORTH CENTRAL GROUP

HOME 2 SUITES BY HILTON

PROJECT:
HOME 2 SUITES
2155 RIMROCK ROAD
MADISON, WISCONSIN 53713-1443

CLIENT:
MADISON RIMROCK LODGING INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT: 201732
DRAWN BY: TELAIA
DATE:
SCALE: AS NOTED

LAND USE SUBMITTAL 11/20/2017
LAND USE RESUBMITTAL 12/01/2017
LAND USE RESUBMITTAL 1/03/2018

SECOND
FLOOR PLAN

A2.02

THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"
0' 4' 8' 16' 24' 32'

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NCG NORTH CENTRAL GROUP

HOME 2 SUITES BY HILTON

PROJECT:
HOME 2 SUITES
2155 RIMROCK ROAD
MADISON, WISCONSIN 53713-1443

CLIENT:
MADISON RIMROCK LODGING INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT:	201732
DRAWN BY:	TELAIA
DATE:	
SCALE:	AS NOTED

LAND USE SUBMITTAL	11/20/2017
LAND USE RESUBMITTAL	12/01/2017
LAND USE RESUBMITTAL	1/03/2018

THIRD
FLOOR PLAN

A2.03

FOURTH FLOOR PLAN

SCALE: 3/32" = 1'-0"

0' 4' 8' 16' 24' 32'

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608-829-1750
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NCG NORTH CENTRAL GROUP

HOME 2 SUITES BY HILTON

PROJECT:
HOME 2 SUITES
2155 RIMROCK ROAD
MADISON, WISCONSIN 53713-1443

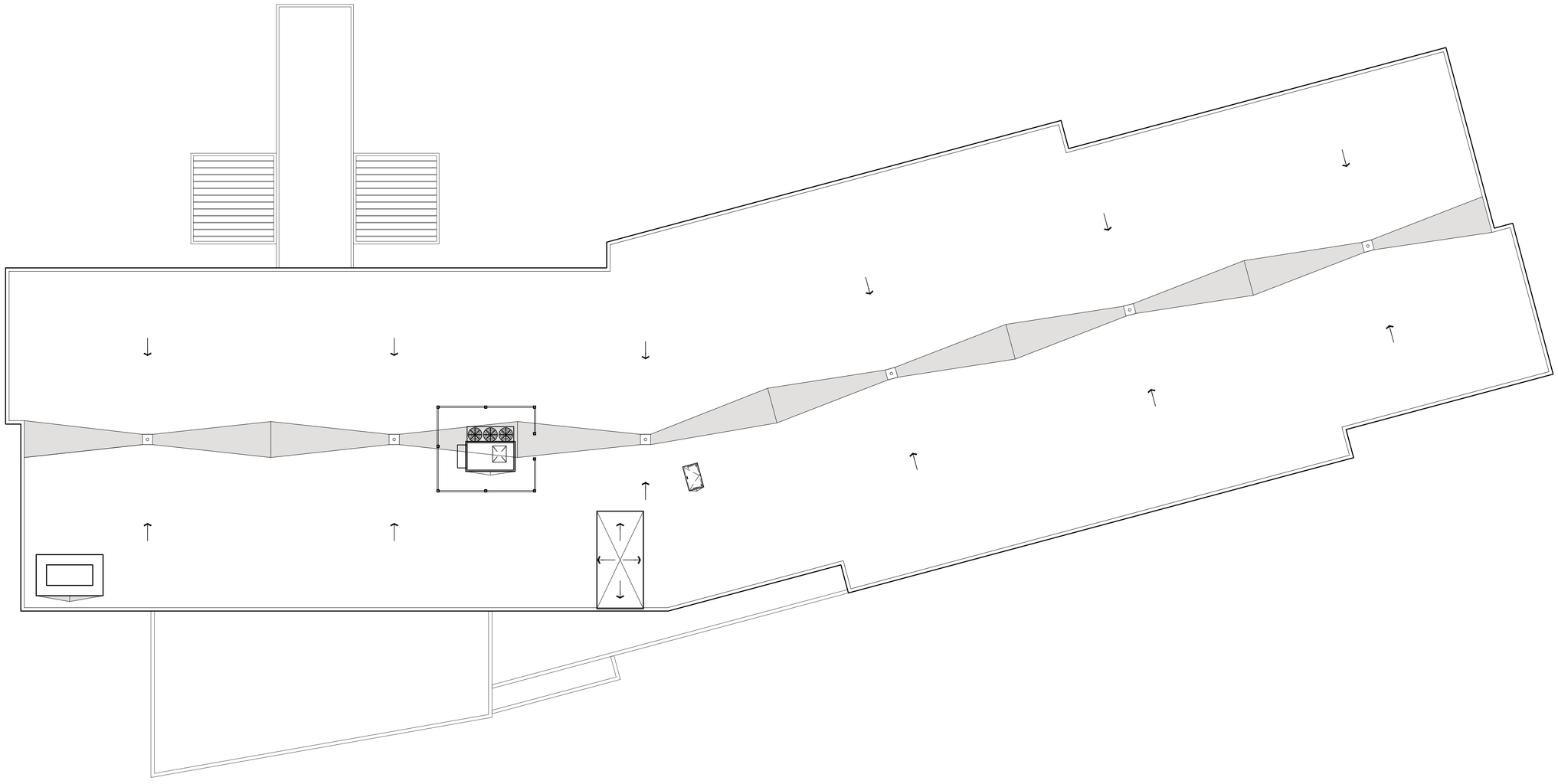
CLIENT:
MADISON RIMROCK LODGING INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT: 201732
DRAWN BY: TELAIA
DATE:
SCALE: AS NOTED

LAND USE SUBMITTAL 11/20/2017
LAND USE RESUBMITTAL 12/01/2017
LAND USE RESUBMITTAL 1/03/2018

FOURTH
FLOOR PLAN

A2.04



ROOF PLAN

SCALE: 3/32" = 1' Ø"

Ø' 4' 8' 16' 24' 32'

GBA
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MIDDLETON, WI 53562
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608-829-3056 (FAX)

NCG
NORTH CENTRAL GROUP

HOME 2
SUITES BY HILTON

PROJECT:
HOME 2 SUITES
2155 RIMROCK ROAD
MADISON, WISCONSIN 53713-1443

CLIENT:
MADISON RIMROCK LODGING INVESTORS I, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT:	201732
DRAWN BY:	TELAIA
DATE:	
SCALE:	AS NOTED

LAND USE SUBMITTAL	11/20/2017
LAND USE RESUBMITTAL	12/01/2017
LAND USE RESUBMITTAL	1/03/2018

ROOF PLAN

A2.05

PARAPET VARIES

4TH FLOOR 35'-0"

3RD FLOOR 24'-0"

2ND FLOOR 13'-0"

1ST FLOOR 0'-0"

2 EAST ELEVATION

SCALE: 3/32" = 1'-0"

PARAPET VARIES

4TH FLOOR 35'-0"

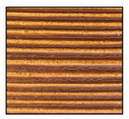
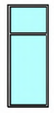
3RD FLOOR 24'-0"

2ND FLOOR 13'-0"

1ST FLOOR 0'-0"

1 WEST ELEVATION

SCALE: 3/32" = 1'-0"

MATERIAL IMAGE	MATERIAL DESCRIPTION
	EIFS-1: Sandpebble dryvit
	Metal-1: Charcoal Grey Berridge
	Wood-1: Hazlenut Nichiha
	Brick-1: Dark Iron Spot Smooth County Materials Corporation
	Windows: Clear Glass w/ Dark Bronze Frame
	Beacon: Design Concept

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HOME 2
SUITES BY HILTON

PROJECT:
HOME 2 SUITES
2155 RIMROCK ROAD
MADISON, WISCONSIN 53713-1443

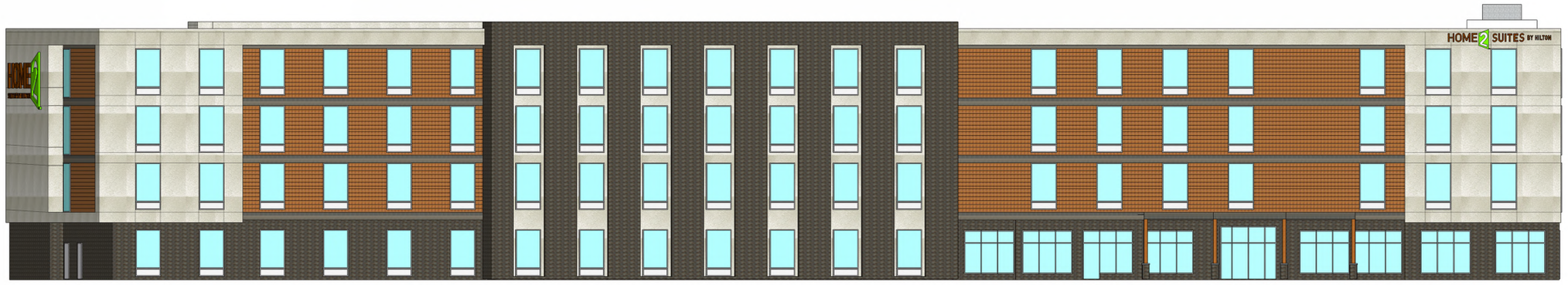
CLIENT:
MADISON RIMROCK LODGING INVESTORS I, LLC
c/o NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT: 201732
DRAWN BY:
DATE:
SCALE: AS NOTED

LAND USE SUBMITTAL 11/20/2017
LAND USE RESUBMITTAL 12/01/2017
LAND USE RESUBMITTAL 1/03/2018

BUILDING ELEVATIONS

A6.01



PARAPET VARIES

4TH FLOOR 35'-0"

3RD FLOOR 24'-0"

2ND FLOOR 13'-0"

1ST FLOOR 0'-0"

2 NORTH ELEVATION

SCALE: 3/32" = 1'-0"

PARAPET VARIES

4TH FLOOR 35'-0"

3RD FLOOR 24'-0"

2ND FLOOR 13'-0"

1ST FLOOR 0'-0"

1 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

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608-829-1750
608-829-3056 (FAX)

NCG NORTH CENTRAL GROUP

HOME 2 SUITES BY HILTON

PROJECT:
HOME 2 SUITES
2155 RIMROCK ROAD
MADISON, WISCONSIN 53713-1443

CLIENT:
MADISON RIMROCK LODGING INVESTORS I, LLC
c/o NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT: 201732
DRAWN BY:
DATE:
SCALE: AS NOTED

LAND USE SUBMITTAL 11/20/2017
LAND USE RESUBMITTAL 12/01/2017
LAND USE RESUBMITTAL 1/03/2018

BUILDING ELEVATIONS

A6.02

GBA
architecture | design
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MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

NCG
NORTH CENTRAL GROUP

HOME2 SUITES BY HILTON

PROJECT:
HOME 2 SUITES
2155 RIMROCK ROAD
MADISON, WISCONSIN 53713-1443

CLIENT:
MADISON RIMROCK LODGING INVESTORS, LLC
c/o NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN

PROJECT: 201732
DRAWN BY:
DATE:
SCALE: AS NOTED

LAND USE SUBMITTAL 11/20/2017
LAND USE RESUBMITTAL 12/01/2017
LAND USE RESUBMITTAL 1/03/2018

CONCEPTUAL RENDERING

A6.03

CITY OF MADISON
LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address Lot 2, Rimrock Road

Name of Project Home 2 Suites

Owner / Contact Vierbicher, Attn: Matt Schreiner PE

Contact Phone 608.821.3961 Contact Email msch@vierbicher.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.

(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.

(c) No demolition of a principal building is involved.

(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 75,456 sf

Total landscape points required 1258

(b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

(c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			21	735
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			2	70
Ornamental tree	1 1/2 inch caliper	15			4	60
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			10	100
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3			101	303
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4			65	260
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2			179	358
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals						1886

Total Number of Points Provided 1886

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

CITY OF MADISON
LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address Lot 3, Rimrock Road

Name of Project Remnant Parking Lot

Owner / Contact Vierbicher, Attn: Matt Schreiner PE

Contact Phone 608.821.3961 Contact Email msch@vierbicher.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.

(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.

(c) No demolition of a principal building is involved.

(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 7939 sf

Total landscape points required 133

(b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

(c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			3	105
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3			24	72
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4			11	44
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2				
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals						221

Total Number of Points Provided 221

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.