



City of Madison

Conditional Use

Location
2810 Coho Street

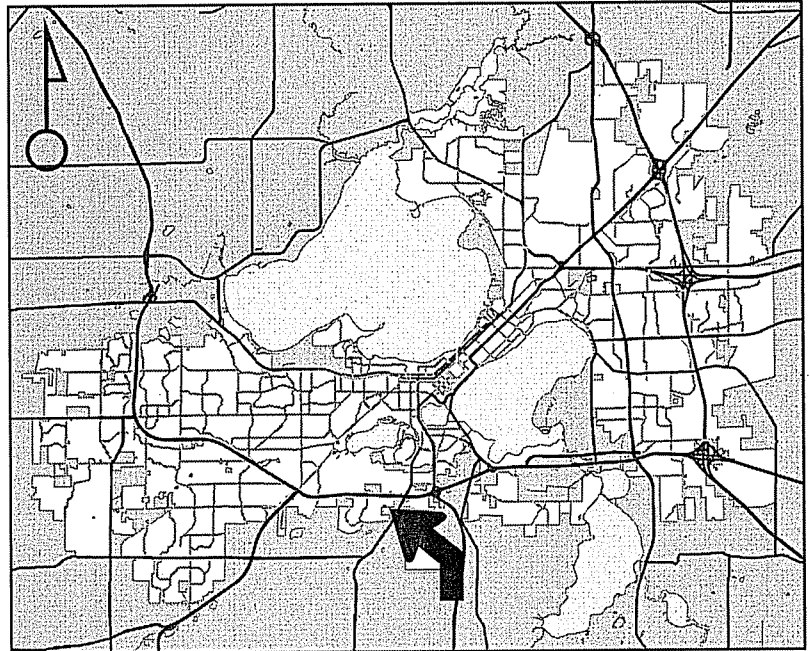
Project Name
Microtel Inn and Suites

Applicant
Prabhu Kasthunrangahan

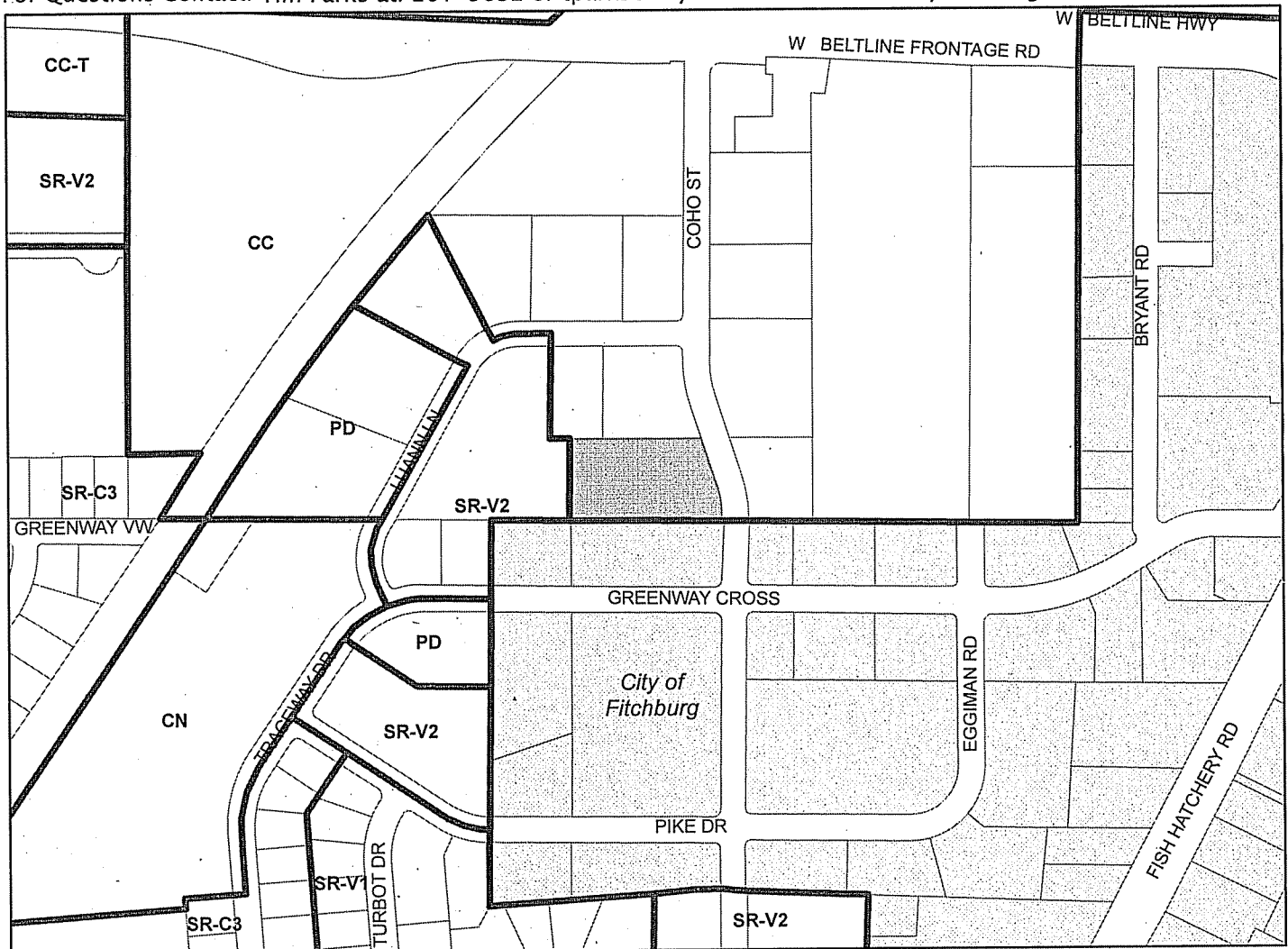
Existing Use
Vacant

Proposed Use
Construct five-story, 112-room hotel

Public Hearing Date
Plan Commission
16 October 2017

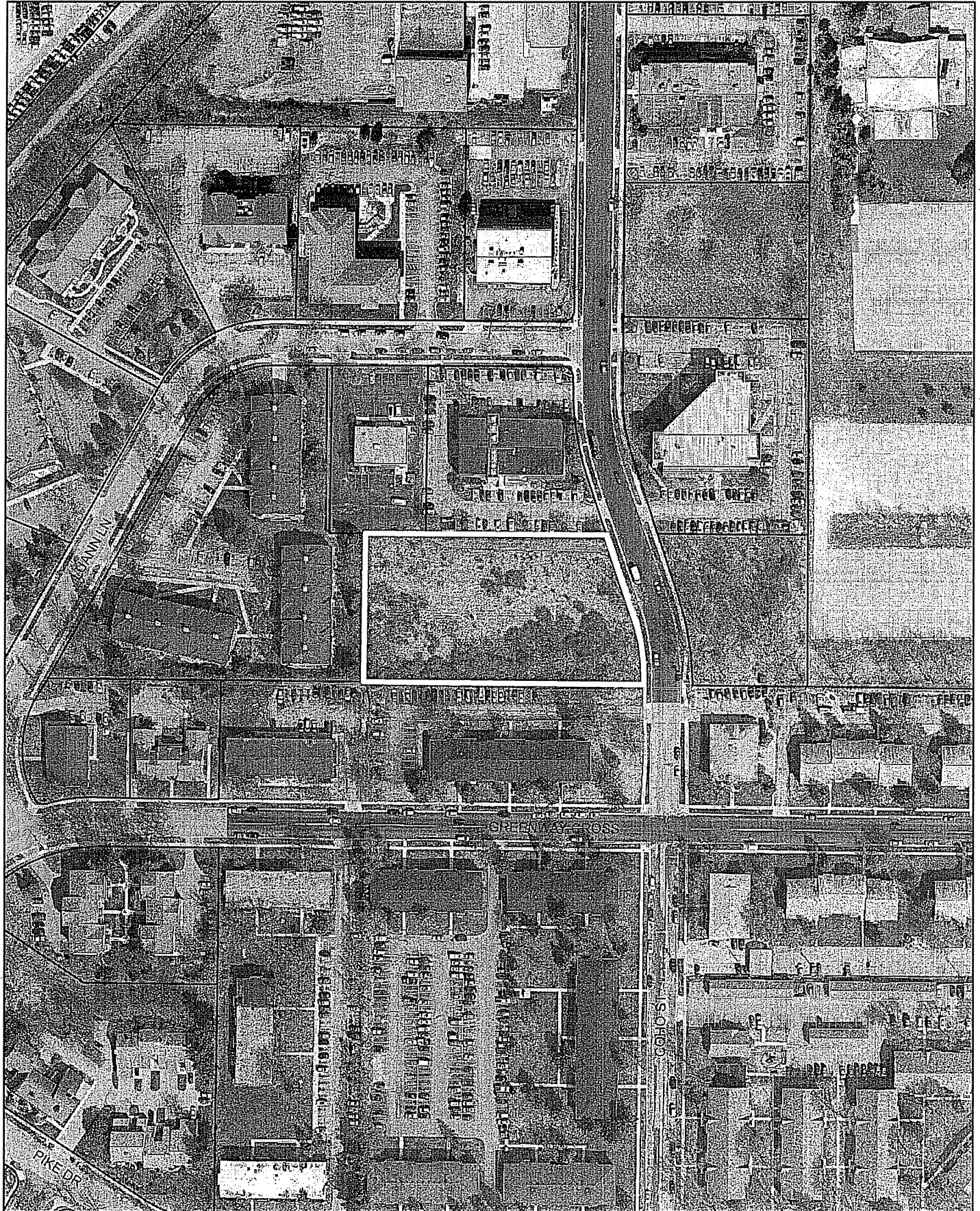


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635.



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 9 Oct 2017



LAND USE APPLICATION

LND-B

City of Madison
 Planning Division
 126 S. Hamilton St.
 P.O. Box 2985
 Madison, WI 53701-2985
 (608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Parcel # _____

Aldermanic district _____

Zoning district _____

Special requirements _____

Review required by _____

UDC PC

Common Council Other _____

Reviewed By _____

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 2810 Coho Street, Madison WI

Title: Microtel Inn and Suites

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from vacant land to Hotel
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name Patrick Prabhukasthurirangaian Company Hotel of the Arts Madison, LLC

Street address 1756 N. Humbolt Ave City/State/Zip Milwaukee, WI 53202

Telephone 414-745-8594 Email pprab@sbcglobal.net

Project contact person Prabhukasthurirangaian Company "

Street address " City/State/Zip "

Telephone " Email "

Property owner (if not applicant) Prabhukasthurirangaian

Street address " City/State/Zip "

Telephone " Email "

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4. Project Description

Provide a brief description of the project and all proposed uses of the site:

Microtel Inn and Suites has up to 112 rooms (5 story)
surrounded by surface parking

Scheduled start date NOVEMBER 2017 Planned completion date DECEMBER 2018

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Filing fee
- Land Use Application
- Letter of intent
- Legal description
- Pre-application notification
- Vicinity map
- Survey or existing conditions site plan
- Development plans
- Land Use Application Checklist (LND-C)
- Supplemental Requirements
- Electronic Submittal*

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary. An electronic submittal, as noted above, is required. Electronic submittals should be compiled on a CD or flash drive, or sent via email to udapplications@cityofmadison.com.

6. Applicant Declarations

- Pre-application meeting with staff.** Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff Timothy Parks, Planner Date June 15th, 2017

Zoning staff _____ Date _____

- Demolition Listserv
- Public subsidy is being requested (indicate in letter of intent)

- Pre-application notification:** The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:

Alder person Sheri Carter
Leopold Neighborhood Association

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant (Patrick) Patrick [unclear] Relationship to property Property Owner

Authorizing signature of property owner [Signature] Date 8/16/2017

Hotel of the Arts-Microtel Inn and Suites

www.Hotelofthearts.com.com

Microtel Inn and Suites

2810 Coho st.

Madison, WI 53711

"Best Value for your travels"

Operational Plan

Updated August 15, 2017



Mission statement

We believe in the passionate pursuit of excellence and financial success with uncompromising services and integrity. We are certain that our values will help us drive the business to enviable heights and also help us attract the number of clients that will make our hotel enjoy high occupancy and rates all through the year.

We are going to be a customer-centric hotel with a service culture that will be deeply rooted in the fabric of our organizational structure and indeed at all levels of the organization. With that, we know that we will be able to consistently achieve our set business goals, increase our profitability and reinforce our positive long-term relationships with our clientele, partners, and all our employees as well.

Business Structure

The success of any business is to a larger extent dependent on the business structure of the organization and the people who occupy the available roles. The Microtel Inn and Suites will work with a flat business structure that will require all managers to continue to work with hotel Guests directly on a day to day basis and give room to employees to explore their creativity, give a sense of belonging, as well as grow through the corporate ladder of the organization.

We will work hard to ensure that we only recruit the right set of people with the right mindset to help us achieve our business goals and objectives in record time. We intend building SHotel on this structure;

- President and CFO: Karl Rajani
- General Manager: Patrick Prabhu Kasthurirangaian
- Operations Manager: To be determined.
- Front desk manager: To be determined
- Guest service representatives
- Facility / Maintenance Manager
- Security/ shuttle service manager
- Housekeeping supervisor/manager
- Housekeepers
- Security/ Shuttle drivers

Roles and Responsibilities

President and CFO:

- Responsible for providing strategic direction for the business
- Responsible for financial management of the company
- Responsible for payment of bills and salaries
- Responsible for all financial matters including bank balancing and timely filing of tax documents

- Responsible for signing checks and documents on behalf of the company
- Evaluates the success of the organization

General Manager:

- Creates, communicates, and implements the organization's vision, mission, and overall direction – i.e. leading the development and implementation of the overall organization's strategy.
- Responsible for Revenue management and signing business deals
- Reports to the President
- Prepares budget and reports for the organization
- Responsible for recruitment

Operations Manager

- Responsible for managing the daily activities in the hotel
- Ensures that the facility is in tip top shape and conducive enough to welcome customers
- Reports to the General manager
- Interfaces with vendors
- Attends to Customers complains and inquiries
- Responsible for Training and Development in the organization
- Handles procurement
- Handles any other duty as assigned by the General Manager

Front Desk Manager

- Oversees the smooth running of the daily office activities.
- Schedules Guest service representatives to man the front desk 24 hours a day 7 days a week
- Responsible for hiring and training Guest serve representatives
- Responsible for reconciling reservations with online travel agencies
- Responsible for handling charge backs and providing payment processors with necessary documentation
- Responsible for making sure the front desk is stocked with supplies at all times

Facility/Maintenance Manager

- Responsible for planning and overseeing building work/renovation
- Responsible for allocating and managing space within buildings
- Responsible for managing building maintenance activities
- Responsible for coordinating cleaning, parking lot
- Responsible for organizing security and general administrative services

- Ensures that facilities meet government regulations and environmental, health and security standards
- Advises on energy efficiency and cost-effectiveness
- Supervises multi-disciplinary teams of staff including maintenance, grounds workers

Guest service representatives (5):

- Interacts with customers, handle check ins and check outs
- Pre-charges customers due to check in for the day.
- Checks identification of the guest to make sure they meet age requirements and documents guests as determined by the front desk manager
- Addresses customer complains in a timely manner and communicates with superiors as necessary
- Opens cash Drawers, counts starting cash and keeps track of cash receipts and expenses
- Print Cash transactions reports at the end of the shift and and drops all cash taken in less expenses along with necessary reports and receipts at the end of the shift and hand over to next shift
- Answer phones and take reservations and return phone calls in a timely manner
- Answer shuttle requests and dispatch shuttle as need in a timely manner.
- Assesses customers` needs and preferences and make recommendations

Security Manager:

- Schedules work for all security officers and shuttle drivers
- Responsible for hiring and training security officers and shuttle drivers
- responsible for grounds maintenance and scheduling contractors as needed
- Responsible for procuring grounds, Sam's club and Restaurant Depot supplies

Housekeeping Manager:

- Responsible for printing the checklist and assigning work to the Housekeepers
- Responsible for hiring and training the housekeepers
- Responsible for scheduling housekeepers
- Responsible for ordering all housekeeping supplies and replacement furniture needed along with the operations manager
- Responsible for secure storage of supplies and Lost and found items and log.
- Responsible for timely reporting of damage to hotel property to operations manager
- Responsible for training breakfast attendant and ordering breakfast supplies.

Housekeepers (6):

- Cleans rooms during the stay of guests and after they check out
- Cleans up after customers and clean common areas

- Provide clean laundry and towels to the guests as needed
- Remove any items from rooms left behind by guest and turn over to supervisor for appropriate disposition
- Report any smells to supervisor for appropriate action
- Notify supervisor immediately when room is finished so it may be inspected and added to the clean room list in the property management system
- Responsible for stripping the rooms off dirty laundry and handling laundry if assigned as laundry attendant for the day
- Handles any other duty as assigned by the Housekeeping manager.

Security Officers

- Ensures that the facility is secured at all times
- Controls traffic and organize parking
- Gives security tips to staff members from time to time
- Patrols around the building while on duty and ensures guest and hotel vehicles are kept safe
- Submits security reports daily
- Any other duty as assigned by the Security manager

Hotel and guest security

Securing hotel premises and guest safety and prevention of any unlawful and unsafe acts within the hotel premises is paramount to the success of the proposed hotel. We are very experienced in running a hotel in a challenging urban environment and well versed in the precautions necessary to ensure that any such illegal activities do not occur at the proposed Microtel Inn and Suites.

Facilities design and management:

The hotel will be equipped with state of the arts Closed circuit television monitoring system that will be recorded continuously 24 hours a day in all common areas and exterior of the building. If requested at any time, we will be able to provide law enforcement real-time access to the system via the internet or recorded footage from any of the cameras. All exits and entrances will require key cards to enter at all times except for the main entrance. The main entrance may also be locked late at night and will require key card access. CCTV cameras will be strategically located to record all person entering and leaving the building.

The exterior of the building and the hallways will be well lit to make sure guests feel safe and be kept clear of any non guests by the security officers.

Guest screening and guest age requirement policy

All guests will need to be 21 or older to stay at the hotel. All guests under the age of 21 will have to be accompanied by a parent or legal guardian to be able to stay at the hotel. At no time will anyone under the age of 21 from Dane county will be allowed to stay at the hotel unaccompanied by a legal guardian

or parent. Anyone from Dane county under the age of 25 will be background checked to ensure they are not attempting to rent a hotel room for any unlawful or unsafe activities. The backgrounds of all local public attempting to rent a hotel room will be check and their state issued identifications documented to deter anyone from any illegal activities.

Front desk personnel and managers will monitor any suspicious activities by guests or visitors and an identification may be requested at anytime from anyone within the hotel premises. Such identification when presented will be documented as necessary. Anyone refusing to provide identification will immediately be asked to leave the premises.

Front desk personnel will monitor website such as backpage.com or arrangementfinders.com, which solicit escort services. Anyone advertising such services will not be allowed to stay at the hotel and will be asked to leave immediately.

Accomplishing guest safety will go a long way to providing excellent guest service thus ensuring that guests return to our hotel during their future visits paving way to success of our hotel.

Everbest Commercial Development LLC

www.evr.cd.com

1840 N 6th St.
Milwaukee, WI-53212
P:414-265-5629
Cell: 414-745-8594

Letter of Intent for Proposed Development

Project Name : Microtel Inn and Suites

Project Address: 2810 Coho St., Madison WI-53713

Project owners: Karl Rajani, Patrick Prabhu Kasthurirangaian

Natalie Erdman, Director
Department of Planning, Community & Economic Development
215 Martin Luther King Jr. Blvd.
Madison, Wisconsin 53703

Dear Ms. Erdman:

It is our pleasure to submit this letter of intent to pursue land use and related approvals for the development of the 1.66 acre (72,273 square feet) property in the City of Madison at 2810 Coho St (Parcel Number 070934303052), currently owned by the state of Wisconsin Investment corporation . Alternatively we pursue land use and related approvals to construct a hotel on the 1 acre site located at 2737 Coho St. (Parcel No.: 070934304050) with additional parking at 2809 Coho St. (Parcel No.: 070934304076)

Project Summary

The Project will include a, five story interconnected building to house a Microtel Inn and Suites (or similar franchised) hotel surrounded by surface parking serving hotel guests and employees, landscaping , retention pond and adequate landscaping.

The Project will be comprised of approximately 112 rooms, approximately 12,000 square feet of ground-floor including a large lobby area, front desk, fitness center, micro mart, a small bar, breakfast area, pantry area, guest rooms and a porte co-chère, where guests can pull under to load and unload their vehicles. The second, third, fourth and fifth floors will have identical floor plans consisting mostly of guest rooms.

The applicant is requesting appropriate zoning to allow for the hotel construction and the removal of an existing covenant attached to the property prevention construction of such a hotel.

Existing Site Conditions

Currently zoned CC, the property is vacant and does not appear to have ever been developed. The site is bordered by Coho Street to the east with approximately 205 ft. of street frontage, apartment buildings to the south and west and a commercial office building to the North.

Construction and building materials:

The ground floor of the building will be constructed using Concrete block and Plank and will be adequately insulated to meet the SBA green building criteria. Commercially rated porcelain tile will be used in the lobby. Hallway corridors will have carpeting to provide a quiet and peaceful environment for our guestrooms. Siding for the ground floor will be mostly comprised of brick or stone.

The second, third, fourth and fifth floors will be constructed using wood frame and truss. The floors will be surfaced with commercial hospitality grade carpeting. Flooring will be covered with about an inch of gypcrete to prevent transmission of noise between floors and will be topped with Hospitality grade carpeting. Walls separating adjacent rooms and corridors will be double framed and insulated to achieve a high (Sound Transmission Class (STC) rating. Siding for the upper floors will be made of hardboard panels or other wall panel systems such as those made by Nichiha USA.

No Exterior insulation and finishing systems (EIFS) or vinyl siding will be used in any portion of the building.

Guest rooms

Microtel employs unique floor plans and trademark exterior bump outs that make efficient use of floor space inside the guest rooms. Room furniture is typically wall hung to enable easier cleaning of the rooms and efficient use of floor space. Rooms are decorated with hospitality grade carpeting, furniture, beds and bedding materials. Indirect LED lighting will be used in the rooms and hallways to save energy and provide glare free light.

Hallways will be well lit to provide a safe and secure environment for our guests.

Bathrooms will be surfaced using commercial grade porcelain floors, 5ft. x 3ft. Shower bases and glass shower doors. All countertops will be made of Granite or quartz. High quality faucets and shower bodies will be used in the guest bathrooms and in the public restrooms.

Guestroom and Guest Amenities

All guestrooms will be equipped with 43 inch to 50 inch, flat screen, LED, smart TVs that are Wi-Fi capable so as to enable guests to access Streaming services such as Netflix, Amazon prime or HULU. The TV system will be integrated to the Property management system, so guests if they wish so, can check out from their rooms using the TV and they can be automatically logged out of their streaming services

such as Netflix. High speed Wi-Fi utilizing zone controlled Access points will be provided throughout the building so guests can stay connected to their wireless devices as they move about the building. A guest laundry will be incorporated in the building for the convenience of our guests.

The fitness center will be equipped with modern fitness equipment, TV and WiFi and will be open 24 hours a day.

Shuttle service will be provided to our guests to State capitol, Alliant energy center, EPIC, bus and train station, Camp Randall and Kohl's center and other University of Wisconsin locations.

Parking lot and exterior

The parking lot will consist of approximately 95 parking spots inter spaced with landscaped islands every 12 parking spaces . The entire building will be surrounded by landscaping to provide an aesthetically pleasing and serene view for our guests and neighbors.

The Project will benefit the City of Madison in the following ways:

- ☑ Increase annual real estate taxes generated by this property by an estimated \$171,600.
- ☑ Add 112 hotel rooms to the Madison Hotel market.
- ☑ Provide 25 to 30 additional full time jobs to the area.
- ☑ Offer a new, unique hotel alternative, to this part of Madison.
- ☑ Include a high-end and value oriented hotel, desirable and targeted to millennial visitor to the Madison area.
- ☑ Provide the community with visitors who will eat , possibly work and shop in the area.

The Project will invigorate the South Madison Neighborhood, provide additional employment that Complements the diverse make-up of the neighborhood, create both construction and long-term Employment opportunities and encourages the use of multi-modal transportation options.

Project Specifics

Number of Hotel rooms: Approximately 112

Location: 2810 Coho St. Madison, WI-53713

Total Sq. Ft.: 61,100

Avg. Sq. Ft. per guestroom: 250

Start Construction: Approximately November, 2017

Finish construction: December 2018

Type of Building: One, Five -story building

Land Area: 1.66 Acres (72,273 square feet)

Real Estate Taxes: Current Taxes :\$6,951.83

Estimated New Taxes :\$171,600

Total Estimated Increase: \$164,650

Vehicle Parking: Approximately 95 vehicle parking spaces

Site Access: Coho St.

The hotel can be accessed easily by car from the belt-line via Fish hatchery road and Greenway cross, Madison Metro bus stops, and by train and using the hotel shuttle service.

Room and common area Specifics

The Project anticipates attracting a mix of business and leisure visitors to the greater Madison area . The rooms will include high-quality features and amenities, easy and quick access to a variety of destinations Including EPIC, Alliant Energy Center, University of Wisconsin Campus, State capitol, Camp Randall and Kohl's center.

Room type Mix:

Single King rooms - 25

Double Queen rooms –51

Two bedroom family Suites – 4

Room Features:

- Distinctive floors plans
- Professionally designed interiors
- Nine and ten foot ceilings
- Electronic Fire alarm system
- Sprinkler system
- Quartz or granite counter tops
- Upgraded beds and bedding
- In room refrigerator and Microwaves
- Settee by window in each room
- High-end Television systems

Common area amenities:

- large spacious digital lobby and café/community area for guests
- 24 hour state of the art fitness center
- Micro mart and bar in the lobby
 - Free hot Buffet breakfast
 - Guest laundry

The Project site is in Alder-manic District 14 (Sheri Carter), is part of the Leopold Neighborhood, and is currently zoned Commercial Corridor.

The Project complies with the Urban Design District No. 14 Requirements pertaining to building height, location, orientation, setbacks, massing, articulation, and materials; parking and circulation; and the aesthetics of landscaping, open space, lighting, colors, windows, entrances, and signage.

Site Lighting and Furnishings

☑ The Project includes architectural accent lighting at primary corners, lighting at the residential and commercial entries, and illuminated signage at the entrance and along the front of the building. . Appropriate measures are in place to screen lighting from

disturbing residents. ☑ Building rooftop lighting are full cut-off fixtures.

Building Massing and Articulation

- ☑ High quality, durable, low maintenance exterior building materials are being used including brick, hardiboard siding, metal wall panel and storefront glazing.
- ☑ Colors and building textures are consistent with surrounding properties and are typical for urban projects.

Windows and Entrances

- ☑ No clear existing window and door pattern exists near the Project. The rhythm shown in the commercial and residential uses is typical and indicative of an urban project.
- ☑ All windows on the ground floor of the Project are transparent and Unobstructed.
- ☑ The commercial entrances are each distinctive and clearly discernible to the public from the street.
- ☑ Signage is integrated with the Project's architecture.
- ☑ Colors and low-level lighting coordinate with the building façade and enhance the character of the Project.

Project Financial Information

Value of Land: The land is currently assessed at \$319,000

Estimated Project Cost: Approximately \$8,008,000

Number of Full-time Equivalent Jobs Created: 30 Hotel employees + construction jobs

Public Subsidy Requested: None.

Project Construction Schedule

Estimated to commence November 2017 with a completion approximately 12 months after commencement.

Project Team

This is a joint effort between Everbest Commercial Development, the project owners and Wyndham worldwide.

Architect: Form Architectural Group

Civil Engineering: Quam Engineering LLC

Landscape Design: Quam Engineering LLC

Structural Engineering: Jendusa Engineering

Mechanical Engineering: Form Architectural Group

Traffic Engineer: Quam Engineering LLC.

Legal/Land Use Approvals: DK Attorneys

Interior Designer: TBD

Sincerely,

Karl Rajani and Patrick Prabhu Kasthurirangaian

Vicinity Map

2810 Coho St. Madison, WI 53713

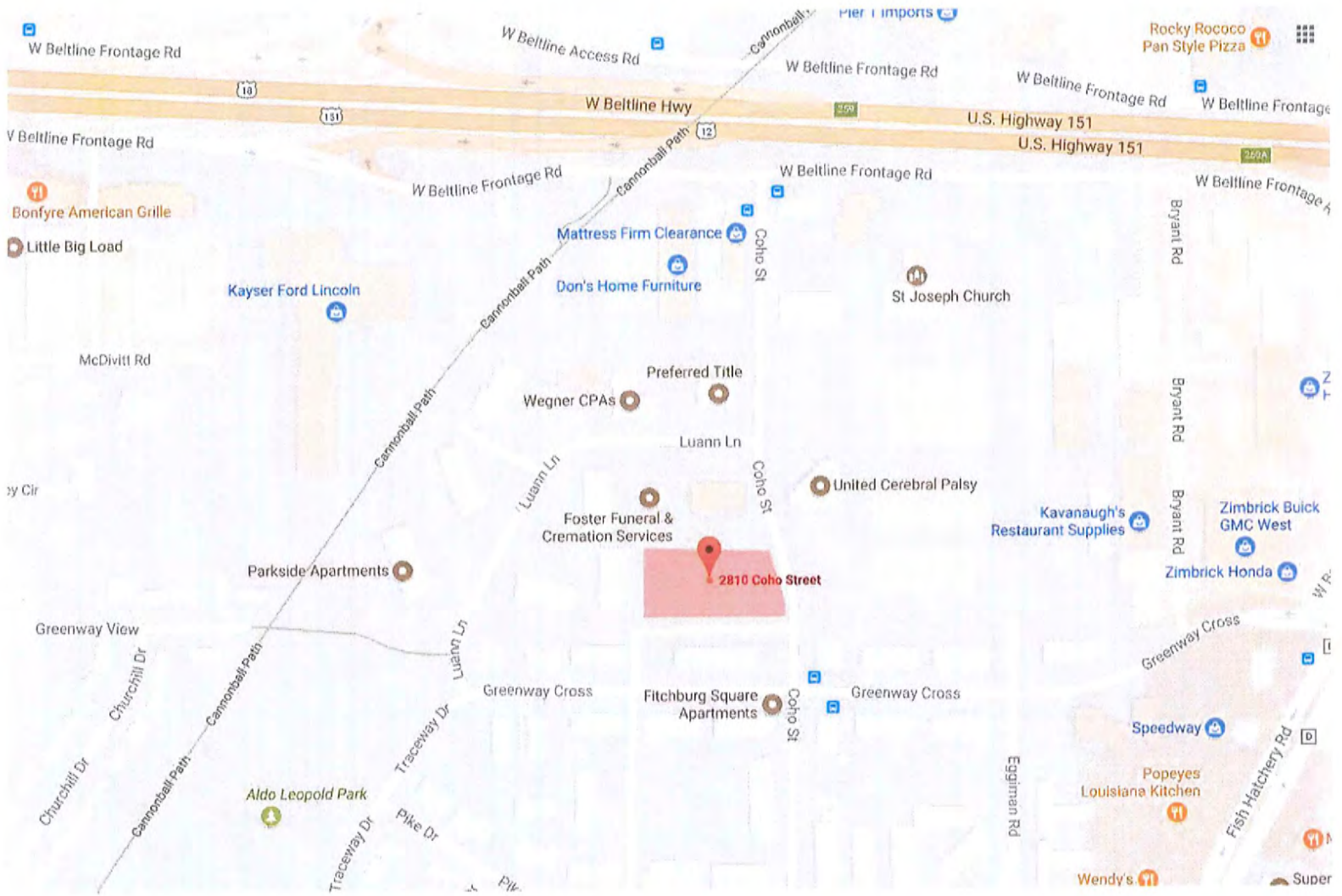
Surrounding Streets:

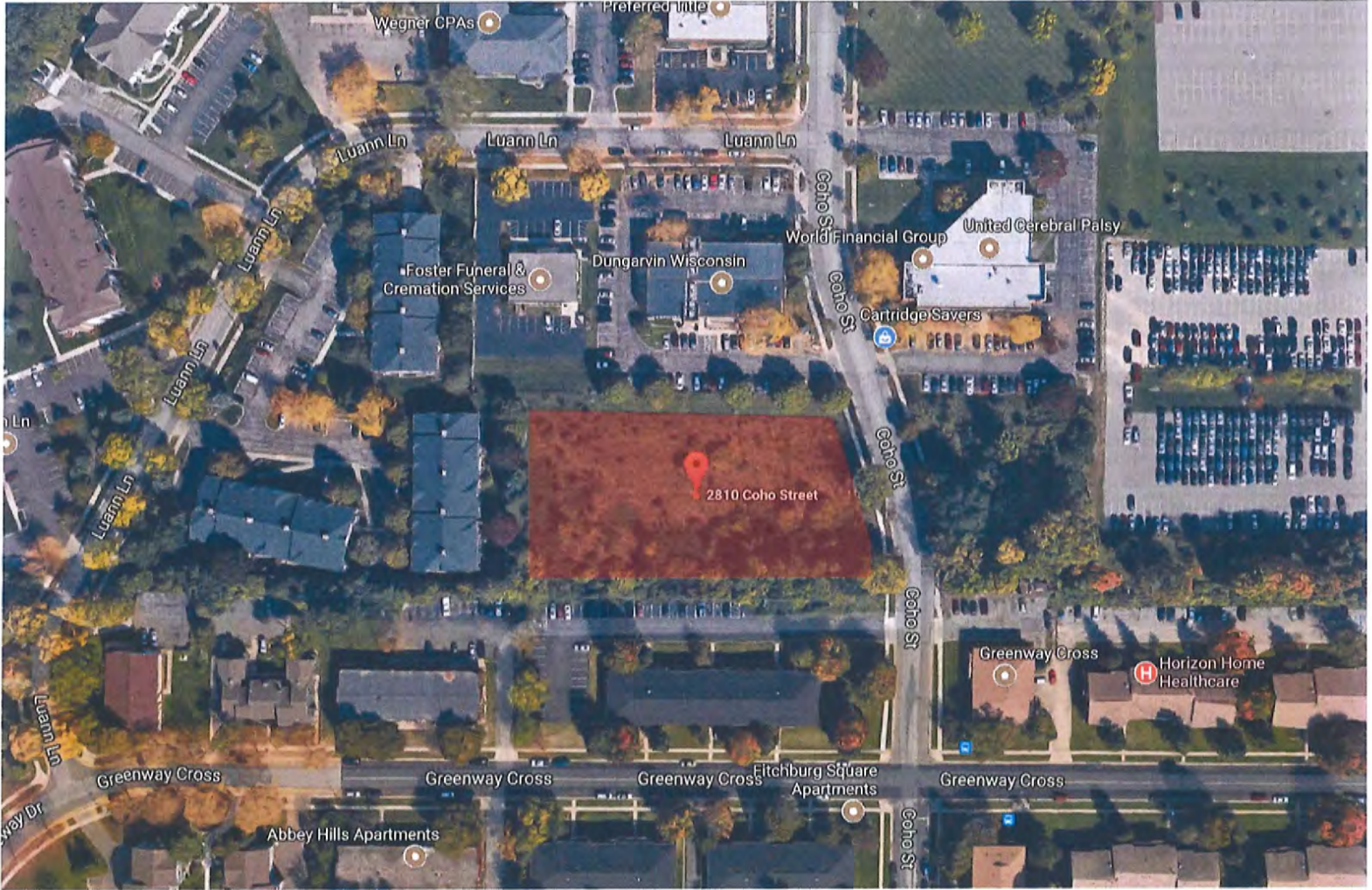
Luann Ln

Greenway Cross

Coho St.

See maps on following pages.









August 15, 2017

City of Madison Engineering Dept.

Attn: Jeff Benedict
210 Martin Luther King Jr. Blvd., Rm #115
Madison, WI 53710

Re: 2810 Coho Street-Microtel Inn and Suites

Enclosed are the following documents for the above referenced project. The documents are being submitted to address the Erosion Control and Stormwater Management for the proposed development.

- 1) Existing Site Plan;
- 2) Pre-Development Drainage plan
- 3) Proposed Drainage Plan;
- 4) Grading and Erosion Control Plan;
- 5) Utility plan;
- 6) Pre-Development Reports;
- 7) Post-Development Reports;
- 8) Sediment Control and Infiltration Calculations;
- 9) USLE Calculation Worksheet;
- 10) Storm Sewer Rational Method;
- 11) Soils Information;
- 12) Maintenance Agreement;
- 13) City of Madison Erosion Control and Stormwater Management Permit

The erosion control measures and storm water management system for the proposed development will meet the following performance standards as defined in the City of Madison Ordinance as follows:

Erosion Control

The proposed construction shall include erosion control measures to prevent gully and bank erosion and limit total off-site erosion to less than 7.5 tons per acre per year.

All runoff during construction shall be directed to flow through erosion control measures as shown on the Grading & Erosion Control Plan. The USLE worksheet indicates that soil loss will be less than 7.5 tons per acre per year.

Sediment Control

The proposed development shall include design practices to reduce, to the maximum extent practicable, total suspended solids leaving the site by eighty percent (80%), based on the average annual rainfall, as compared to no runoff management controls.

The proposed bio-retention system will reduce total suspended solids by 80% based on the average annual rainfall. The Sediment Control and Infiltration Calculations are included as Appendix C.

Oil and Grease Control

The first ½" runoff shall be treated using oil and grease removal technology.

Oil and grease will be controlled by inlet skimmers. These will be placed on all inlets collecting water from the parking lot.

Runoff Rate Control

All stormwater facilities shall be designed, installed and maintained to effectively maintain pre-development peak runoff rates for the 1, 2, 10 and 100-year, 24-hour storm event.

The proposed bio-retention system will maintain the pre-development peak runoff rates for the 1, 2, 10 and 100-year, 24-hour storm events. The pre- and post-development peak flow rates are included in the table below:

Storm Event (Year)	Pre-Development Flow Rate (cfs)	Post-Development Flow Rate With Controls (cfs)
1	0.31	0.31
2	0.69	0.66
10	2.98	2.60
100	9.77	8.36

Outlets

Discharges from the site must have a stable outlet capable of carrying the designed flow at a non-erosive velocity.

The storm water runoff from the site will be directed to the existing storm sewer system in Greenway Crossing which is capable of carrying the storm water runoff from the site.

Infiltration

All developments within the City of Madison, regardless of development type, shall be required to infiltrate sufficient runoff volume so that the post-development infiltration volume shall be at least ninety percent (90%) of the pre-development infiltration volume, based on an average annual rainfall, regardless of area necessary for this requirement. Should the applicant prove not able to meet the infiltration requirement without dedicating more than two percent (2%) of the site area for this purpose, they may optionally choose to meet the secondary recharge standard.

The infiltration requirement will be met by the use of the proposed bio-retention area. The Sediment Control and Infiltration Calculations are included as Appendix C.

Thermal Control

The stormwater management plan shall include provisions and practices to reduce the temperature of runoff for sites located within the watershed of a river or stream identified by the Wisconsin DNR as a coldwater community.

Proposed infiltration of stormwater runoff by the use of the bio-retention area will be used to reduce the rate of the stormwater runoff.

Please feel free to contact me if you have any questions or comments.

Sincerely,



Kevin J. Parish, P.E.



City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: flre@cityofmadison.com

Project Address: 2810 Coho Street

Contact Name & Phone #: Patrick Prabhu (414) 745-8594

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

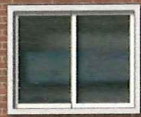
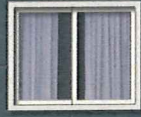
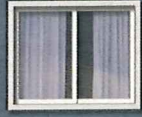
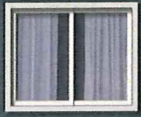
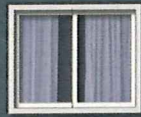
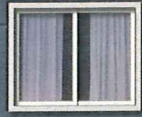
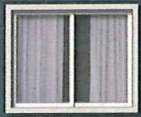
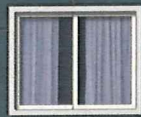
1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2012 Edition Chapter 5 and Appendix D**; please see the codes for further information.



MICROTEL
INN & SUITES
BY WYNDHAM





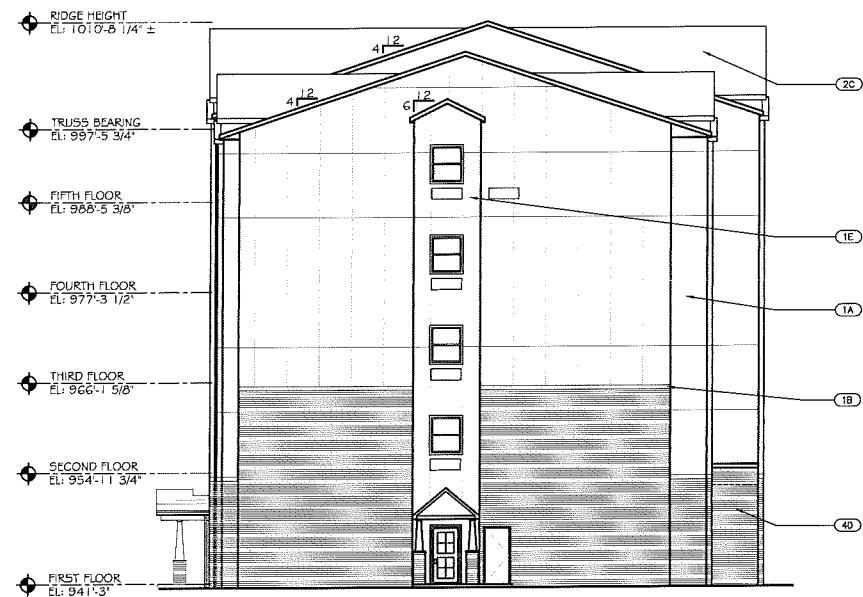




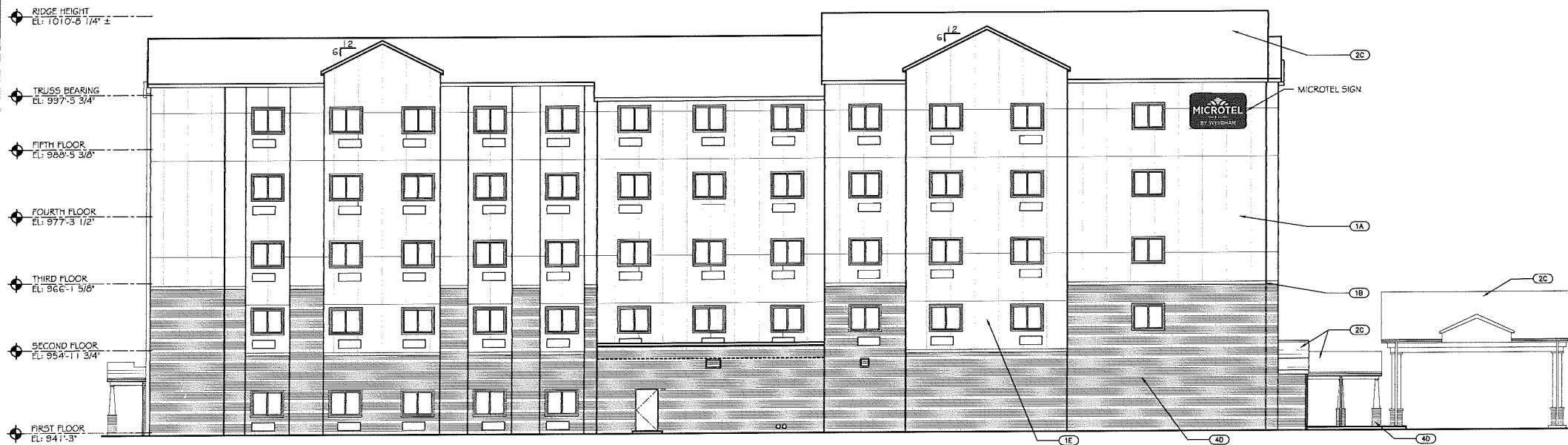


PROPOSED HOTEL - 2810 COHO STREET
CITY OF MADISON
CONTEXTUAL SITE INFORMATION
DATED: AUGUST 20, 2017

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



2 WEST ELEVATION
SCALE: 3/32"=1'-0"



1 SOUTH ELEVATION
SCALE: 3/32"=1'-0"

EXTERIOR FINISH SCHEDULE

MATERIAL	COLOR
1 - FIBER CEMENT BOARD	
2 - 30 YEAR ARCHITECTURAL ROOF SHINGLES	
3 - NOT USED	
4 - BRICK	
COLOR	
A - BOOTHBAY BLUE	
B - ARCTIC WHITE	
C - THUNDERSTORM GRAY	
D - ADMIRAL RED	
E - EVENING BLUE	

- NOTES:**
- SIDING TO BE HARDY BOARD - COLOR PER ABOVE.
 - 30 YEAR ARCHITECTURAL ROOF SHINGLES.
 - ALL WINDOWS TO BE DOUBLE PANE, THERMAL INSULATED.
 - ALL ROOF PENETRATIONS TO BE LOCATED TO THE REAR OF THE BUILDING.

Owen F. Siagle III - Architect
2170 Hullon Road
Verona, PA 15147
Ph: (412) 828-5710
Fax: (412) 828-5715

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Franchisee Information
Patrick K Prabhu
1840 N 6th Street
Milwaukee, WI 53212

Project location
MICROTEL INN & SUITES
2810 Coho Street
Madison, WI 53713

REVISIONS

NO	DATE

- DRAWINGS ISSUED FOR:**
- PRELIM. FLOOR PLAN
 - 30%
 - CLIENT/CORP. REVIEW (90%)
 - BIDDING
 - PERMITTING
 - PERMIT REVISIONS
 - FINAL CONST.
- DRAWING ISSUE DATE:
8-21-17

EXTERIOR ELEVATIONS

PROJ. NO.:
FD17-104

DATE:
8/21/17

SHEET NUMBER

A-11.1



2 EAST ELEVATION
SCALE: 3/32"=1'-0"



3 EAST ELEVATION w/ PORTE COCHERE
SCALE: 3/32"=1'-0"



1 NORTH ELEVATION
SCALE: 3/32"=1'-0"

EXTERIOR FINISH SCHEDULE	
MATERIAL	COLOR
MATERIAL	
1 - FIBER CEMENT BOARD	
2 - 30 YEAR ARCHITECTURAL ROOF SHINGLES	
3 - NOT USED	
4 - BRICK	
COLOR	
A - BOOTHBAY BLUE	
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NOTES:	
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REVISIONS	
NO	DATE

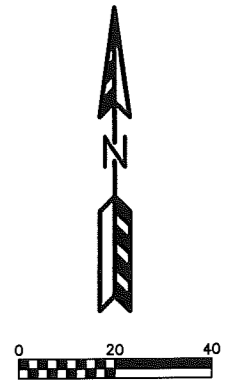
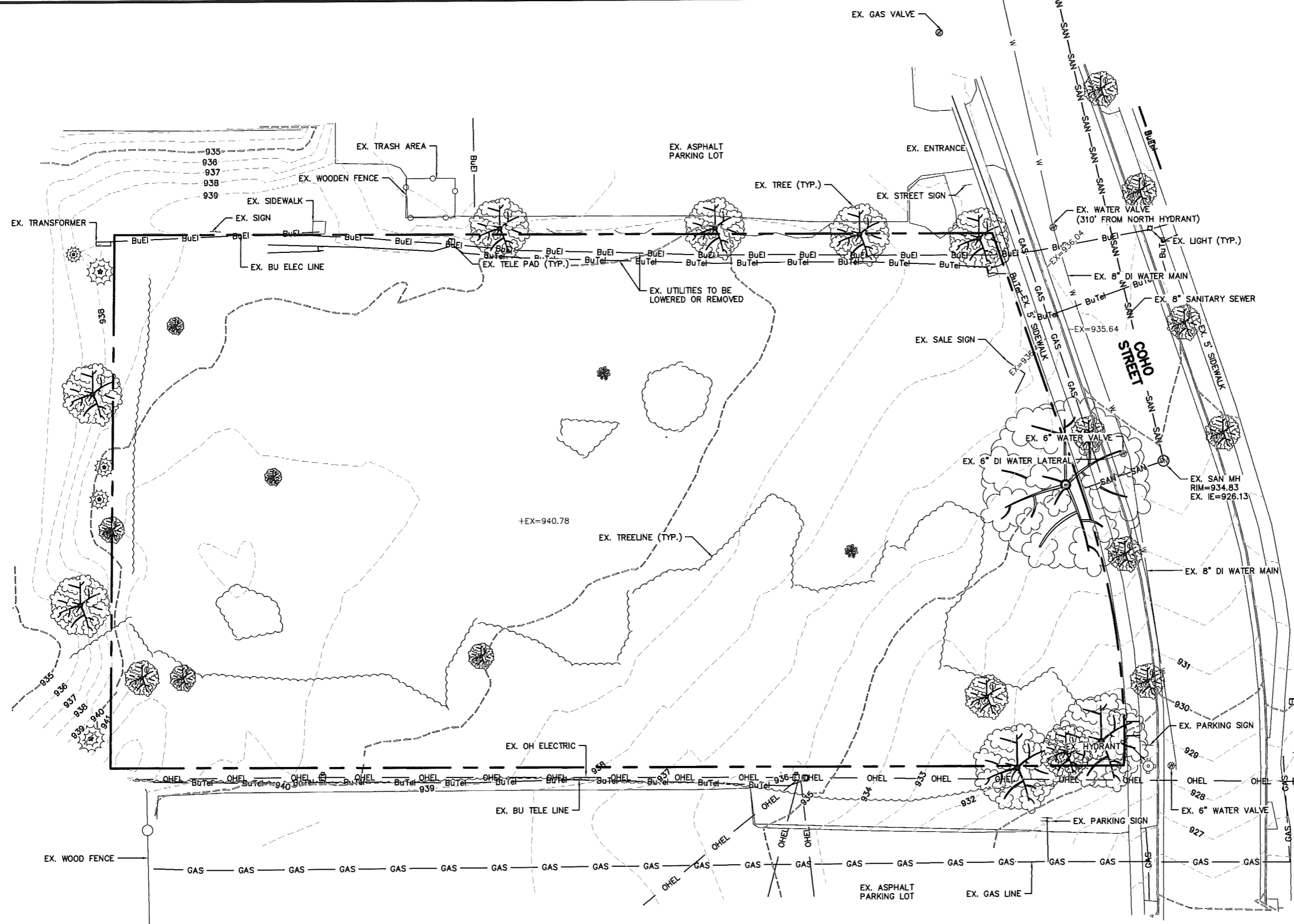
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8-21-17

EXTERIOR ELEVATIONS

PROJ. NO.:
FD17-104

DATE:
8/21/17

SHEET NUMBER
A-11

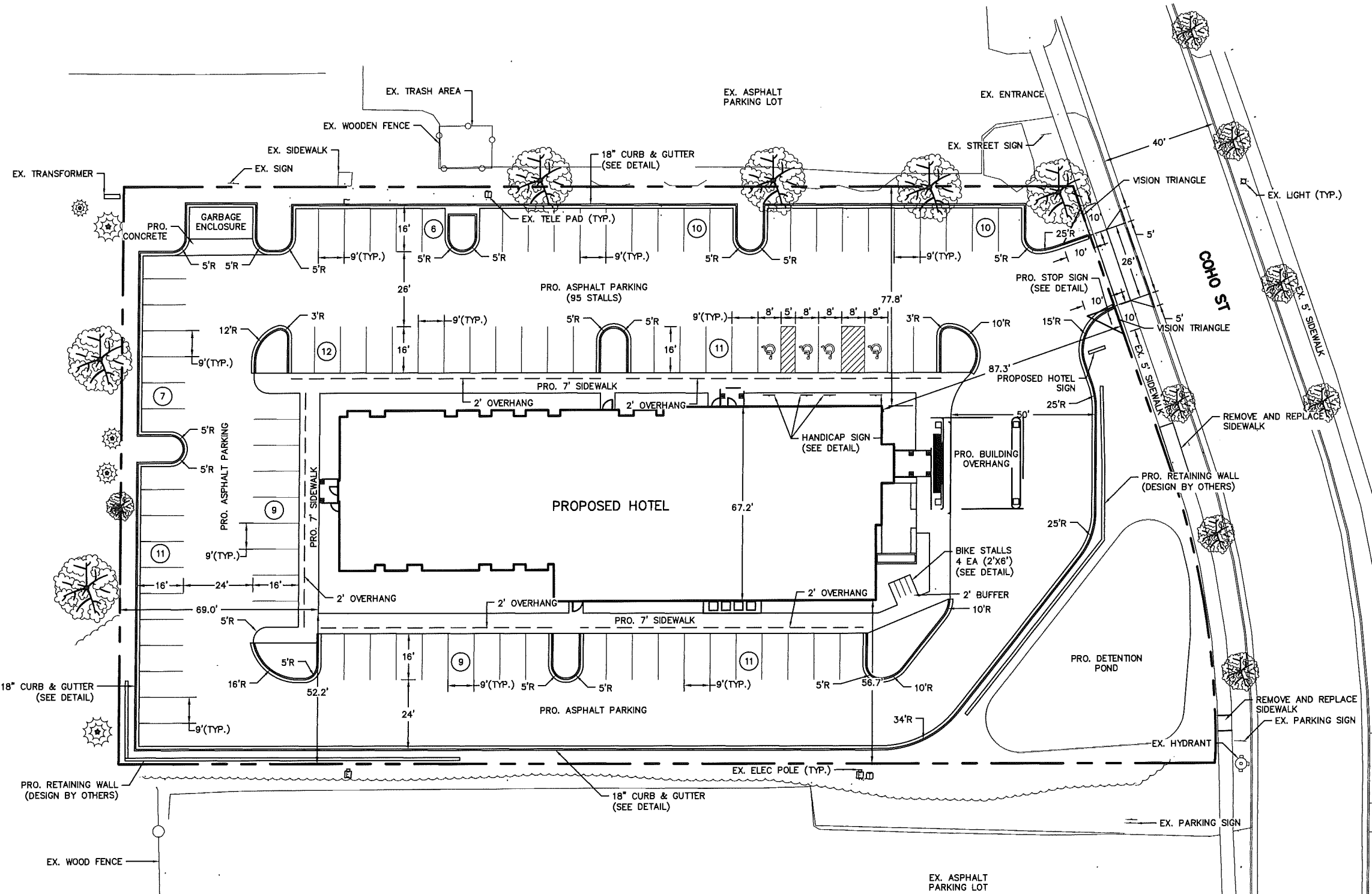


PROPOSED HOTEL - 2810 COHO STREET
CITY OF MADISON
 EXISTING SITE PLAN
 SHEET: C-1
 DATED: AUGUST 23, 2017

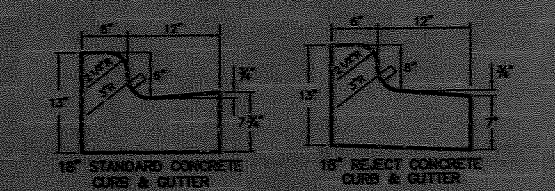
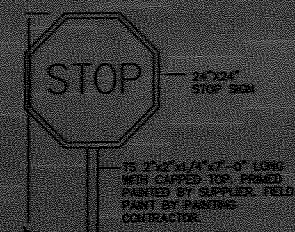
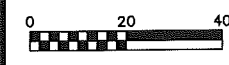
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Residential and Commercial Site Design Consultants

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 Phone (608) 838-7750; Fax (608) 838-7752



GENERAL NOTES:
 - EXCAVATION BY CONCRETE CONTRACTOR
 - FORMS SHALL BE SET BY CONCRETE CONTRACTOR & PROVIDED BY STEEL SUPPLIER
 - SIGN PROVIDED BY HARDWARE SUPPLIER & INSTALLED BY CARPENTER
 - PIPE CLEAN EXCESS CONCRETE FROM JOINT BY CONCRETE CONTRACTOR
 - CARPENTER TO DRILL HOLES IN STEEL POST FOR SIGN ATTACHMENT



PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address: 2810 COHO STREET
 Site coverage (total): 1.66 ACRES

Number of building stories (above grade): 3
 Building height: 45.1'
 Total building height above existing grade: 57.8'
 CURR type of construction (First Floor): CMU
 CURR type of construction (2nd to 3rd Floor): CMU

Total square footage of building: 11,640 sq ft
 Use of property: HOTEL

Impervious area: 52,812 sq ft
 Open space area: 15,112 sq ft
 Lot coverage: 74.2%

Number of bicycle stalls shown: 4

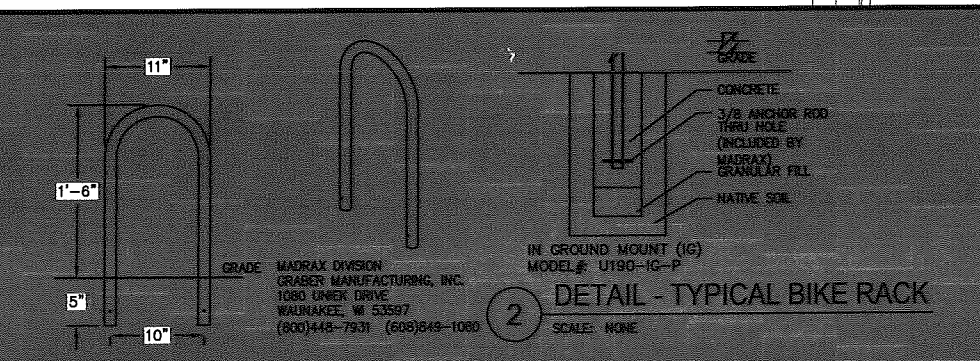
Number of parking stalls:

DESCRIPTION	SHOWN
Customer Parking	57
Employee Parking	5
Accessible	4
Total	66

Number of trees shown (See Landscape Plan)

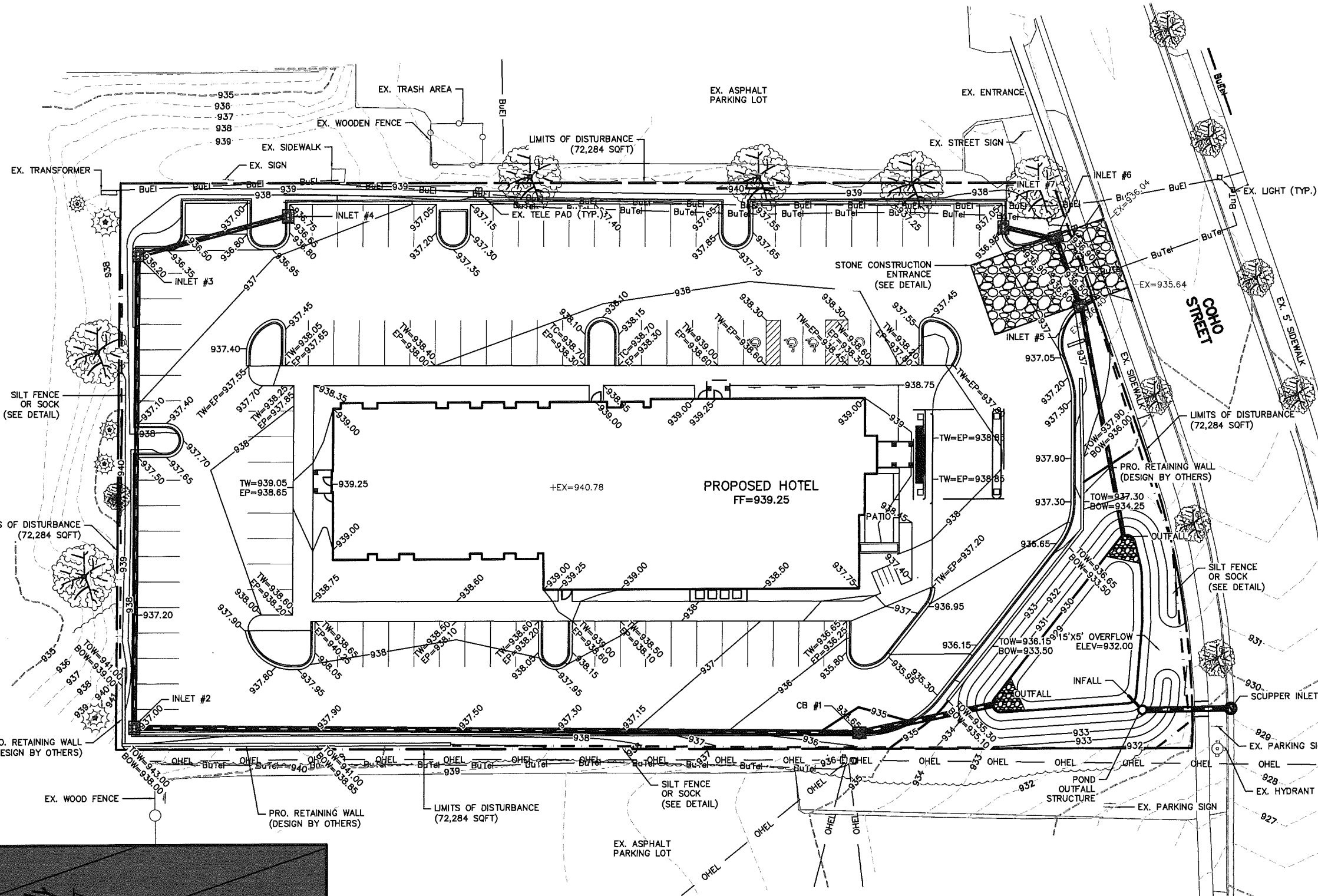
CURB & GUTTER NOTES:
 LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
 EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
 IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.
PAVING NOTES:
 PAVEMENT SHALL BE 3" ASPHALT PAVEMENT OVER 10" BASE COURSE.
 THE FIRE LANE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.

GENERAL NOTES:
 CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT City Forestry (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.



PROPOSED HOTEL - 2810 COHO STREET
CITY OF MADISON
 SITE PLAN
 SHEET: C-2
 DATED: AUGUST 23, 2017

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 Phone (608) 838-7750; Fax (608) 838-7752



EROSION NOTES:
 SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 THE EROSION CONTROL ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRUCKING ROAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKS OF WHEELS FROM REACHING THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH PER HOUR EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THE PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

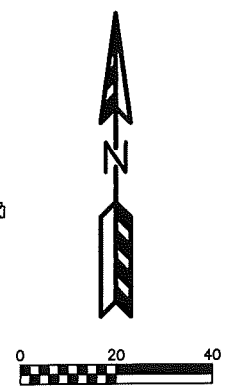
THE SCHEDULE:
 OCTOBER 30, 2017 - NOVEMBER 8, 2017 INSTALL INITIAL EROSION CONTROL DEVICES AND CONSTRUCT DETENTION POND.
 NOVEMBER 8, 2017 - JULY 30, 2017 CONSTRUCT BUILDING & PARKING LOT AND RESTORE PERVIOUSLY DISTURBED AREAS.

RESTORATION NOTES:
 ALL PERVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. NET EROSION CONTROL DEVICES MUST BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURES AS SHOWN BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

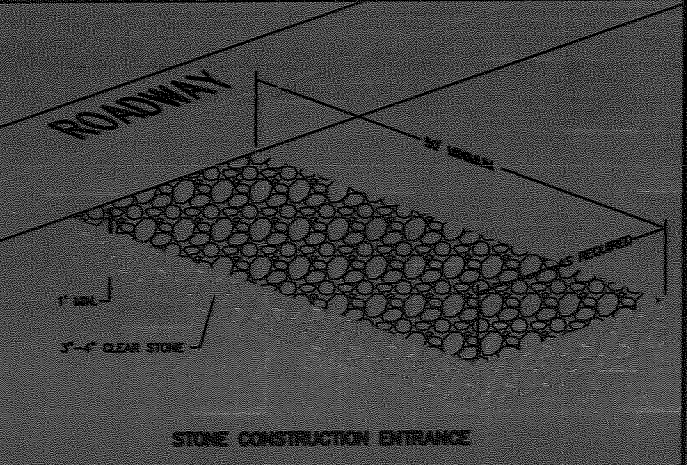
CONSTRUCTION NOTES:
 ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED CONTRACTOR.
 ALL DAMAGE TO THE PAVEMENT ON ODANA ROAD, ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 THERE WILL BE REPLACEMENT OF ALL SIDEWALK AND CURB AND GUTTER WHICH ASSISTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

OWNER:
 PATRICK J. PRABHU
 1840 N 5TH ST
 MILWAUKEE, WI 53212

ENGINEER:
 QUAM ENGINEERING, LLC
 4604 SIGGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558

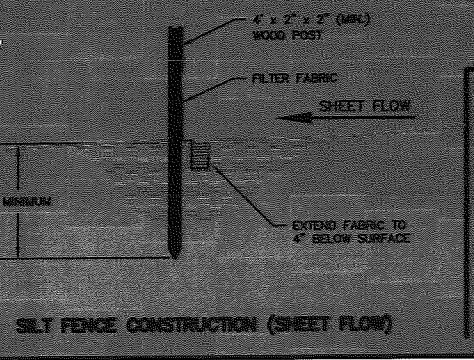
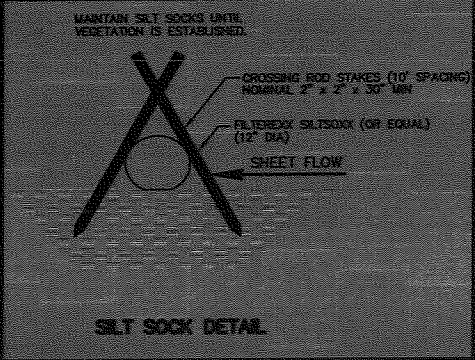


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TDD (FOR THE HEARING IMPAIRED) (800) 542-2289
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



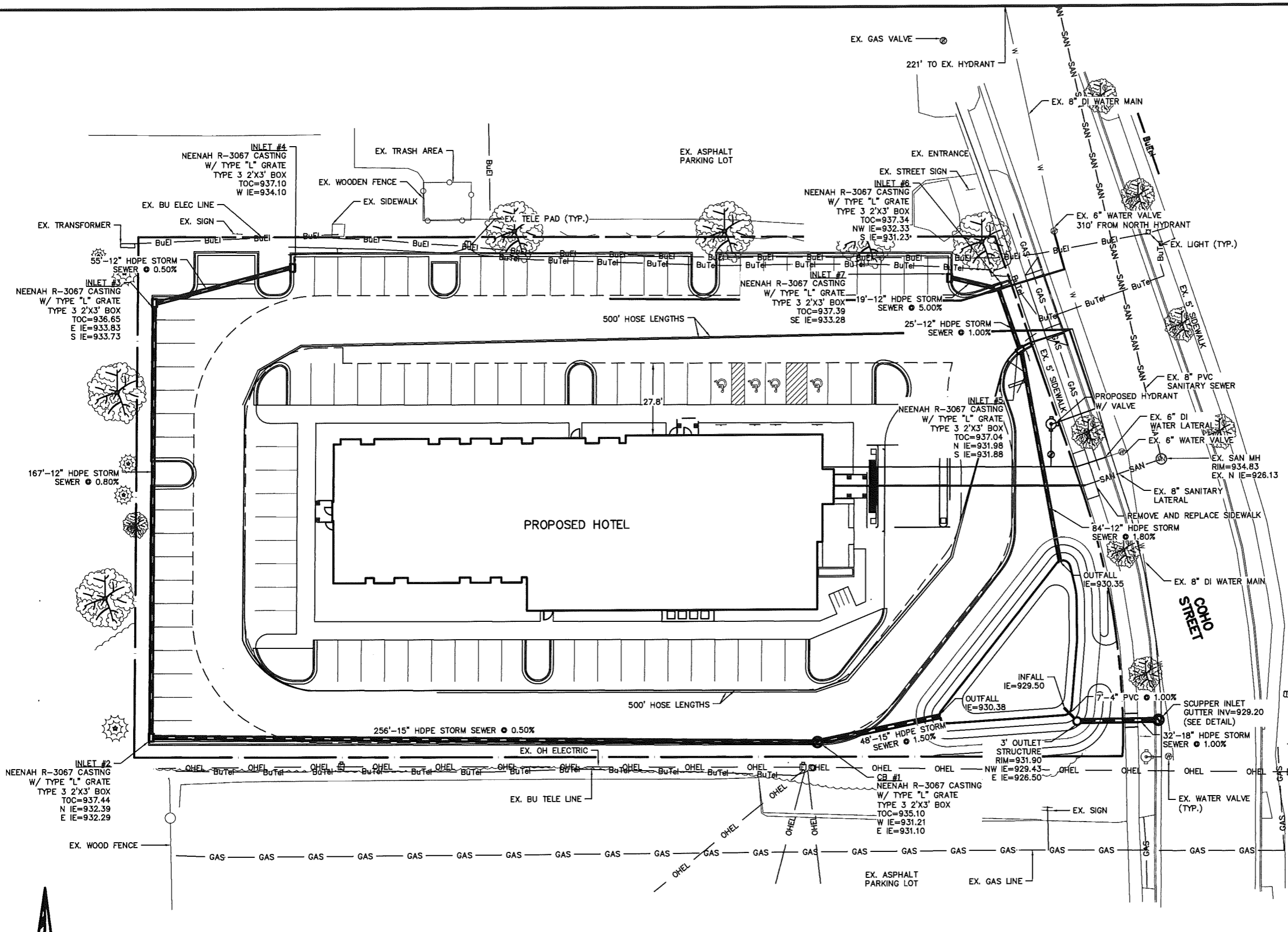
LEGEND:

- - - - - EXISTING MINOR CONTOUR.
- — — — EXISTING MAJOR CONTOUR.
- 934 — PROPOSED MINOR CONTOUR.
- 935 — PROPOSED MAJOR CONTOUR.
- 939.50 - PROPOSED EDGE OF PAVEMENT ELEVATION
- TW=939.50 - TOP OF WALK ELEVATION.
- EP=939.50 - EDGE OF PAVEMENT ELEVATION.
- TOW=939.50 - TOP OF WALL ELEVATION.
- BOW=939.50 - BOTTOM OF WALL ELEVATION.
- - INSTALL WOOD TYPE D INLET PROTECTION.



PROPOSED HOTEL - 2810 COHO STREET
CITY OF MADISON
 GRADING AND EROSION CONTROL PLAN
 SHEET: C-3
 DATED: AUGUST 23, 2017

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 Residential and Commercial Site Design Consultants
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 Phone (608) 838-7750, Fax (608) 838-7752



UTILITY NOTES:

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.

PLUMBER SHALL VERIFY SANITARY LATERAL AND WATER SERVICE SIZE TO PROPOSED BUILDINGS

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

ANY DAMAGE TO COHO STREET PAVEMENT WILL REQUIRE PATCHING IN ACCORDANCE WITH THE CITY ENGINEERING STREET PATCHING CRITERIA.

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

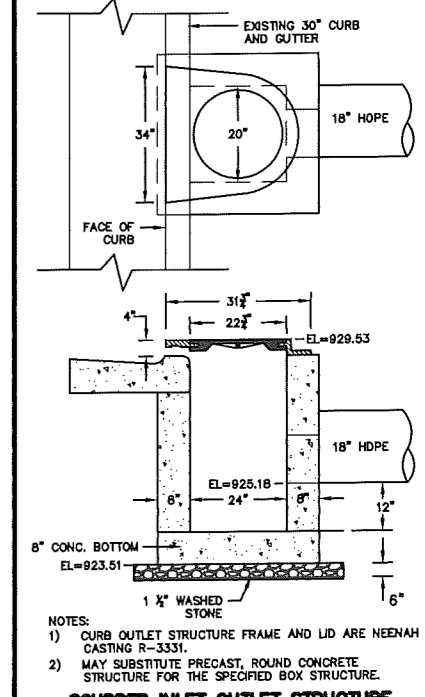
SANITARY SEWER SHALL BE PVC ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.

WATER MAIN SHALL BE AWWA C900 CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.

ALL STORM SEWER SHALL BE HDPE SMOOTH WALL INTERIOR CORRUGATED PIPE AS MANUFACTURED BY ADS OR APPROVED EQUAL. PIPE SHALL HAVE WATERTIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.

THE CONTRACTOR SHALL OBTAIN A CONNECTION PERMIT AND EXCAVATION PERMIT PRIOR TO COMMENCING THE STORM SEWER CONSTRUCTION.

CATCH BASINS AND INLETS SHALL BE CONCRETE AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS OR APPROVED EQUAL.



PROPOSED HOTEL - 2810 COHO STREET
CITY OF MADISON
UTILITY AND FIRE LANE PLAN
SHEET: C-4
DATED: AUGUST 23, 2017

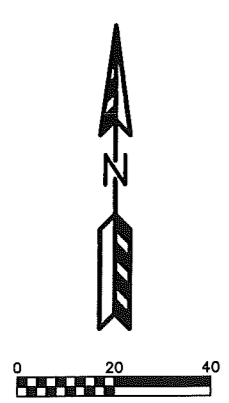
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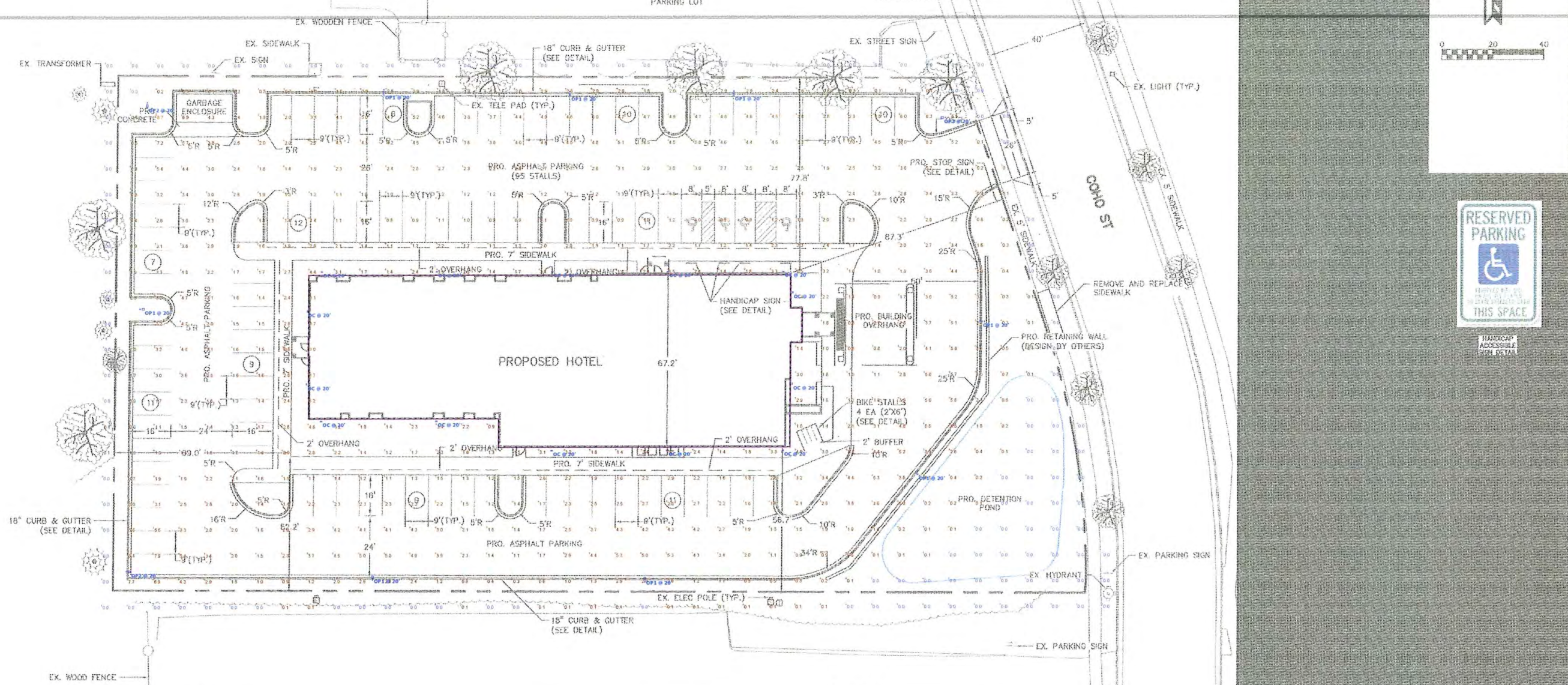
GENERAL NOTES:

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL DAMAGED SIDEWALK AND CURB AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.



RING L.C. 4604 Siggeikow Road, Suite A - McFarland, WI 53558 (608) 836-7750 VPP-05



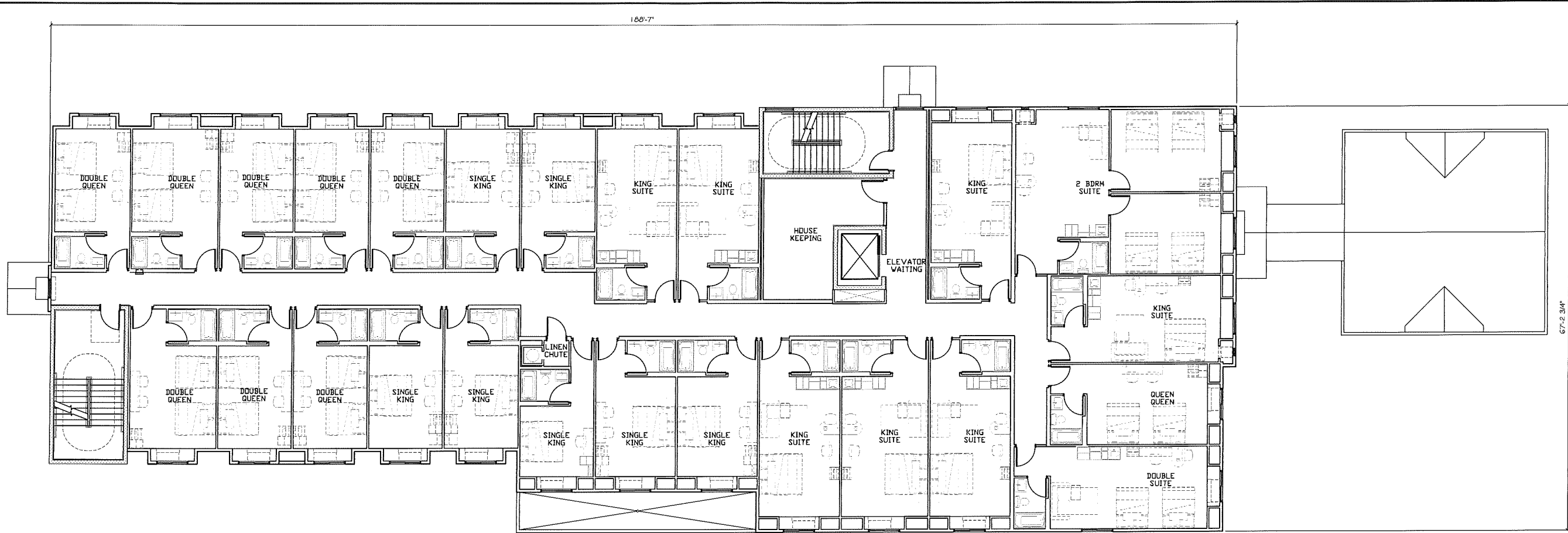
elano LIGHTING
Your Trained Source for Innovative Lighting Solutions

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	OP1	8	Lithonia Lighting	DSX1 LED 40C 1000 40K BLC MVOLT	DSX1 LED WITH 40 LEDs @1000 mA, 4000K, BACKLIGHT CONTROL OPTIC	LED	1	DSX1_LED_40C_1000_40K_BLC_MVOLT.ies	11291	0.9	138
□	OP2	3	Lithonia Lighting	DSX1 LED 40C 1000 40K RCCO MVOLT	DSX1 LED WITH 40 LEDs @1000 mA, 4000K, RIGHT CORNER CUTOFF OPTIC	LED	1	DSX1_LED_40C_1000_40K_RCCO_MVOLT.ies	10970	0.9	138
□	OC	14	Lithonia Lighting	OLWX1 LED 40W 40K DDB	40W 4000K LED WALL PACK	LED	1	OLWX1_LED_40W_40K_DDB.ies	4000	0.9	38.82

Plan View
Scale - 1" = 20'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.0 fc	8.7 fc	0.0 fc	N/A	N/A

Designer
Date 6/18/2017
Scale Not to Scale
Drawing No.
Summary



1
A-2 TYPICAL UPPER FLOOR PLAN
SCALE: 1/8" = 1' - 0"

ROOM MIX	ROOM TYPE	TOTAL
	KING SINGLE	33
	DOUBLE QUEEN	43
	SINGLE SUITE	28
	DOUBLE SUITE	4
	2-BR SUITE	4
	TOTAL	112

BUILDING SQUARE FOOTAGES - 112 ROOM	
FLOOR	TOTAL
FIRST	11,642 SQ. FT.
SECOND	11,343 SQ. FT.
THIRD	11,343 SQ. FT.
FOURTH	11,343 SQ. FT.
FIFTH	11,343 SQ. FT.
TOTAL	57,014 SQ. FT.

Owen F. Slagle III - Architect
 2170 Hulston Road
 Verona, PA 15147
 Ph: (412) 828-5710
 Fax: (412) 828-5715

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Franchisee Information
 Patrick K Prabhu
 1840 N 6th Street
 Milwaukee, WI 53212

Project location
 MICROTEL INN & SUITES
 2810 Coho Street
 Madison, WI 53713

REVISIONS

NO	DATE

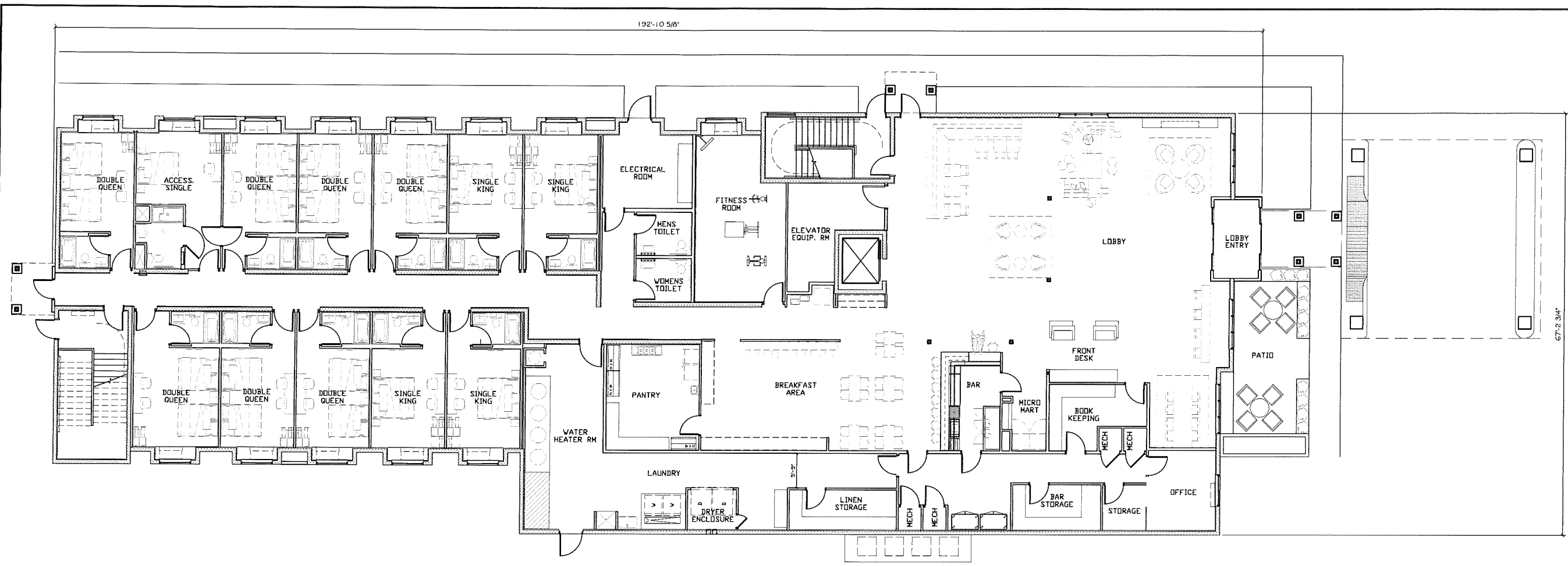
DRAWINGS ISSUED FOR:
 PRELIM. FLOOR PLAN
 30%
 CLIENT/CORP. REVIEW (90%)
 BIDDING
 PERMITTING
 PERMIT REVISIONS
 FINAL CONST.
 DRAWING ISSUE DATE:
 8-18-17

TYPICAL UPPER FLOOR PLAN

PROJ. NO.:
 FD 17-104

DATE:
 8/16/17

SHEET NUMBER
 A-2

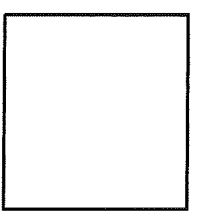


1
A-1 **FIRST FLOOR PLAN**
SCALE: 1/8" = 1' - 0"

ROOM MIX	
ROOM TYPE	TOTAL
KING SINGLE	33
DOUBLE QUEEN	43
SINGLE SUITE	28
DOUBLE SUITE	4
2-BR SUITE	4
TOTAL	112

BUILDING SQUARE FOOTAGES - 112 ROOM	
FLOOR	TOTAL
FIRST	11,642 SQ. FT.
SECOND	11,343 SQ. FT.
THIRD	11,343 SQ. FT.
FOURTH	11,343 SQ. FT.
FIFTH	11,343 SQ. FT.
TOTAL	57,014 SQ. FT.

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MICROTEL
 INN & SUITES
 BY WYNDHAM

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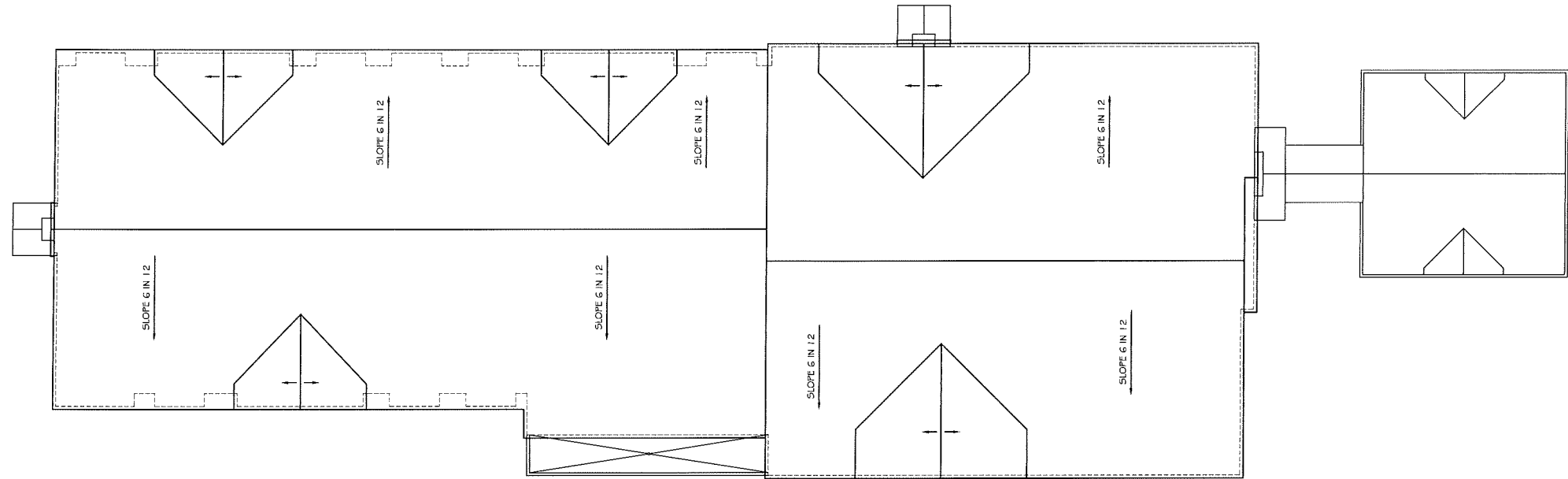
REVISIONS	
NO	DATE

- DRAWINGS ISSUED FOR:**
- PRELIM. FLOOR PLAN
 - 30%
 - CLIENT/CORP. REVIEW (90%)
 - BIDDING
 - PERMITTING
 - PERMIT REVISIONS
 - FINAL CONST.
- DRAWING ISSUE DATE:
8-16-17

FIRST FLOOR PLAN

PROJ. NO.:
FD17-104
DATE:
8/16/17

SHEET NUMBER
A-1



5 ROOF PLAN
A-5 SCALE: 3/32" = 1' - 0"

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Madison, WI 53713

REVISIONS

NO	DATE

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 - FINAL CONST.
- DRAWING ISSUE DATE:
8-16-17

ROOF PLAN & DETAILS

PROJ. NO.:
FD17-104

DATE:
8/16/17

SHEET NUMBER
A-5