URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
http://www.cityofmadison.com/planning/documents/UDCapplication.pdf

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: 9/06/17	☐ **Informational Presentation**
UDC Meeting Date: 10/04/17	☐ **Initial Approval**
Combined Schedule Plan Commission Date (if applicable):	☒ **Final Approval**

1. Project Address: 1004 & 1032 S. Park Street, Madison Wisconsin
Project Title (if any): Peloton Residences, LLC

2. This is an application for (Check all that apply to this UDC application):

☐ **New Development** ☒ **Alteration to an Existing or Previously-Approved Development**

A. Project Type:

☒ **Project in an Urban Design District*** (public hearing-$300 fee)
☐ **Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX)** ($150 fee, Minor Exterior Alterations)
☐ **Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)**
☒ **Planned Development (PD)**
  ☐ **General Development Plan (GDP)**
  ☒ **Specific Implementation Plan (SIP)**
☐ **Planned Multi-Use Site or Planned Residential Complex**

B. Signage:

☐ **Comprehensive Design Review*** (public hearing-$300 fee) ☐ **Street Graphics Variance*** (public hearing-$300 fee)
☐ **Signage Exception(s) in an Urban Design District** (public hearing-$300 fee)

C. Other:

☐ **Please specify:**

3. Applicant, Agent & Property Owner Information:

Applicant Name: Peloton Residences, LLC P.O. Box 620037 Company: Peloton Residences, LLC
Street Address: City/State: Middleton WI Zip: 53562
Telephone: (608) 826-4000 Fax: ( ) Email: Jon@twallenterprises.com

Project Contact Person: Jeffrey Davis Company: Angus Young Associates
Street Address: 16 North Carroll Street City/State: Madison, WI Zip: 53703
Telephone: (608) 284-8225 Fax: ( ) Email: jeffd@angusyoung.com

Project Owner (if not applicant):
Street Address: City/State: Zip:
Telephone: ( ) Fax: ( ) Email:

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Tim Parks (name of staff person) on 07.05.2016 (date of meeting).

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Peloton Residences, LLC By: T. Wall Enterprises, Manager, LLC, its Manager Relationship to Property Developer/ Owner

Authorized Signature By: Terrence R. Wall, President of its Manager Date 9/05/17

TO:

City of Madison – Planning Division
126 S. Hamilton Street
Madison, WI 53701

RE:

Letter of Intent – Urban Design Commission – Final Approval

PROJECT:
Peloton Residences
1004 & 1032 S. Park Street Madison, WI

September 6th, 2017

AYA Project # 59830

The following is submitted together with the plans and application for review by City staff and the Urban Design Commission. With this application we will be requesting initial and final approval of the project development and site plan layout. This letter of intent is accompanied by the Land Use application and Urban Design Application

Organizational Structure:

Owner/ Developer:
Peloton Residences, LLC
P.O. Box 620037
Middleton, WI 53562
608-345-0701
Contact: Jon Hepner
jon@twallenterprises.com

Site Engineer:
Vierbicher
999 Fourier Drive, Suite 201
Madison, WI 53717
608-821-3966
Contact: Joe Doyle
jdoy@vierbicher.com

Architect/ Structural Engineer:
Angus-Young Associates, Inc.
16 N. Carroll Street Suite 610
Madison, WI 53703
608-284-8225
Contact: Jeff Davis
jeffd@angusyoung.com

Landscape Design:
The Bruce Company
2830 Parmenter Street
PO Box 620330
Middleton, WI 53562
608-836-7041
Contact: Rich Strohmenger
rstrohmenger@brucecompany.com

Introduction:

The triangular 1.65 acre site is located on the south corner of Park Street and Fish Hatchery Road and is part of an approved PUD_GDP that established a guide for redevelopment of the former Bancroft Dairy site. The PUD-GDP was approved by the Common Council on October 4, 2011 and later approved to a PUD-SIP zoning. The site is currently an open green space after the demolition of the former Bancroft Dairy Facility.

This proposal will create a dynamic mixed-use community that features attractive architecture and landscaping with density and uses that will support the surrounding businesses and residential neighborhood with a reflection to the history of the site.

Project Description:

The proposed development consists of 3 buildings of three to six stories surrounding an elevated and landscaped courtyard. The development provides a commercial space at the “wedge” of the site (corner of Park St. and Fish Hatchery Rd.) and along Park Street, live-work commercial spaces on Park Street and residential uses throughout

the remainder of the site. Parking is below grade and the entrance is located along the South façade at the alley way between UW health and the proposed site. Residential apartments extend from the first through the fourth floors with a range of unit types available. The 4th level units are lofts, which consist of an internal 2nd level. The buildings will contain (157) apartment units, 11,541 gsf of commercial (including 1st level of live/work units and 6th level commercial/ community space), and (5) live-work units totaling 7,814 gsf of additional residential. We are providing site access via South Street (alley) from Fish Hatchery Road. Residents will be encouraged to exit the site by turning Right onto South Park Street.

The UW/ Wingra Clinic plan provided a shared drive for vehicular access to the site from either Park Street or Fish Hatchery. The proposed building has access to the parking level via ramp off this shared drive. 159 heated and secured parking stalls are provided. The parking level also provides room for 128 bicycle parking stalls, 80 of which are in a secured room. There are an additional 26 bike stalls on the grade level for guests and people visiting the commercial spaces.

The property is in the Bay Creek Neighborhood Association and within the boundaries of UDD 7, the South Madison Neighborhood Plan, the Wingra BUILD plan and an approved PD_SIP. The proposed development is generally consistent with those plans.

Building Design:

The design concept of the project reflects on the site history of Bancroft Dairy with a contemporary approach. This site was historically used as a manufacturing industrial use. With the Park Street elevation, we wanted to reflect on that history and are providing a contemporary reflection of an "industrial warehouse" feel with large divided light windows, inset balconies with soldier course and row lock brick detailing with awnings at the commercial spaces. Also, we plan to provide exposed steel canopy/ sunshade structure at the first level commercial space to further this industrial aesthetic. This warehouse look transitions into a more contemporary focus at the point – the idea being that we are transitioning to an iconic element of the design that doesn't forget about the neighborhood's history. This concept is meant to reflect the overall transition of the Park Street Corridor.

The "point" will include a 6 story glass curtain wall with an industrial sun shade canopy that jets out towards the intersection at the first level. The point will be a mixture of vision glass and spandrel glass to hide the floor structure. It will feature aluminum fins on the curtain wall to emphasize the verticality of the point element, and create an undulating appearance that changes based on your viewpoint. The top level will include a 2,795 gsf rooftop space to be leased that includes an outdoor patio. This is intended to be an amenity to the Bay Creek Neighborhood. Also included on the top level is a rooftop patio for residents and the users of the commercial space that will feature great views of the Capitol and Lake Monona.

For exterior building materials, we are proposing a mixture of limestone base, brick veneer, composite panel and composite siding, glass curtain wall and aluminum storefront. The large divided lite windows will be fiberglass, and smaller residential windows will be vinyl.

Urban Design District 7 Guidelines and Approach:

1. **Building Setbacks and Orientation**
    a. Requirements:
        i. Current setbacks meet the requirement of between 1-10'
    b. Guidelines:
        i. The main entry to the resident lobby is on Park Street. A secondary entrance is on Fish Hatchery.

2. **Building Massing and Articulation**
    a. Requirements:
        i. All 3 street facades are designed with the same high level of quality and aesthetic.
        ii. There are no "blank" street facades or walls.

iii. We have provided recessed entries, planter boxes with 18" high seat walls for pedestrians, pedestrian scale canopies and awnings, and outdoor seating around the live work units.
iv. Mechanical equipment will be located on the roof, hidden from view.

b. Guidelines:
i. The facades have much variation in both height, material, and textures to give it an interesting and varying façade. The Park Street façade is sectioned into 3 different "buildings." We have treated the loft level (top) floor as a visual termination for the building. Material changes on the top level, and a strong roofline becomes the "cap" of the façade. At the point, we are providing a contrasting roofline that terminates the curtain wall.
ii. The point contains an entry into the commercial space with a canopy that cantilevers over a small plaza space at the intersection of Fish Hatchery and Park Street.
iii. See above building design concept for more information on Building Massing and Articulation.

3. Building Height

a. Requirements:
i. The buildings range from 3-6 stories in height. Requirement is 4 stories max, with a possible bonus 2 stories where applicable.

b. Guidelines:
i. This project is located on an iconic flat iron site, which lends itself to additional height at the prow. From a code standpoint, this is a 5 story building with 6 stories of height.

4. Windows

a. Requirements:
i. The ground floor of the commercial spaces are primarily aluminum storefront windows for visibility and a pedestrian friendly streetscape.

b. Guidelines:
i. Each commercial space entry will have glass doors and a canopy or awning with signage to announce the entry.
ii. The curtain wall at the point will be a mixture of spandrel glass at the floor levels and vision glass for the remainder. This will not be mirrored and will have a slight tint to it for light control.

5. Materials and Colors

a. Requirements:
i. Exterior materials are a mixture of brick veneer, cast stone/ limestone base, and composite panels.

b. Guidelines:
i. All materials will be appropriate colors with the red accents contrasting the neutral masonry colors and are consistent with the project branding.

6. Signage

a. Guidelines:
i. Signage will be a mixture of building mounted signs and awning signs.
ii. The "Peloton" branding signs will be internally lit freestanding sign on both Fish Hatchery and Park Street at the point.
iii. The address "1010" will be a building mounted sign as shown on the renderings.
iv. Each tenant will have an awning sign, and each live work unit will have a free standing canopy sign.

7. Parking and Service Areas

a. Requirements:
i. Parking is all located underground. The entrance to this parking garage is off the South façade via garage door.

ii. The trash collection is an enclosed room, which is located on the South façade. This room is accessed via overhead door and man door.

8. Landscaping and Open Space

a. Requirements:
   i. The screening requirements are not applicable in this project.

b. Guidelines:
   i. We are providing foundation planter boxes that double as a pedestrian seat wall in several locations surrounding the 3 facades.
   ii. We are providing a 3' setback on Fish Hatchery for a landscaping buffer.
   iii. The project includes a landscaped plaza internal to the residences.

9. Site Lighting and Furnishings

a. Requirements
   i. We will be providing full cut off fixtures and this information will be submitted at a later date.

b. Guidelines
   i. The building will be accent lighted appropriately to highlight the architectural features and provide enough pedestrian light at grade.
   ii. Bike racks and planter boxes are shown on the plans and are designed to be integrated into the building design.
   iii. Bicycle storage room is located in the lower level parking garage.

Construction Schedule:

The project is intended to start construction February of 2018, and deliver by May of 2019.

Site Development Data:

Densities:	
Lot area	71,647 sf or 1.64 acres
Dwelling units	157 units
Lot Area/ D.U.	456 sf/ unit
Density	95.2 Units/ Acre
Lot Coverage	57,674 sf

Dwelling Unit Mix:	
Live/Work:	5
Studio:	31
Studio Loft:	5
1 Bedroom:	75
1 Bedroom Loft:	10
2 Bedroom:	35
2 Bedroom Loft:	1
Total:	162

Building Height: 3-6 Stories

Floor Area Ratio:

Commercial	11,541 gsf
Live/ Work Space	7,814 gsf
Parking/ Support Spaces	57,909 gsf
Residential	167,472 gsf
Gross Floor Area	244,736 gsf
Floor Area Ratio	3.416

Vehicle Parking Stalls:

Lower Level	159

Bicycle parking stalls:

Parking Level	48
Secured Bike Storage Room	80
Sidewalk/ grade level	26

Thank you for your time reviewing our proposal.

Sincerely,

Jeff Davis, AIA

PELOTON PLACE
RESIDENCES

Angus Young
1956-2016
Balance in Creativity

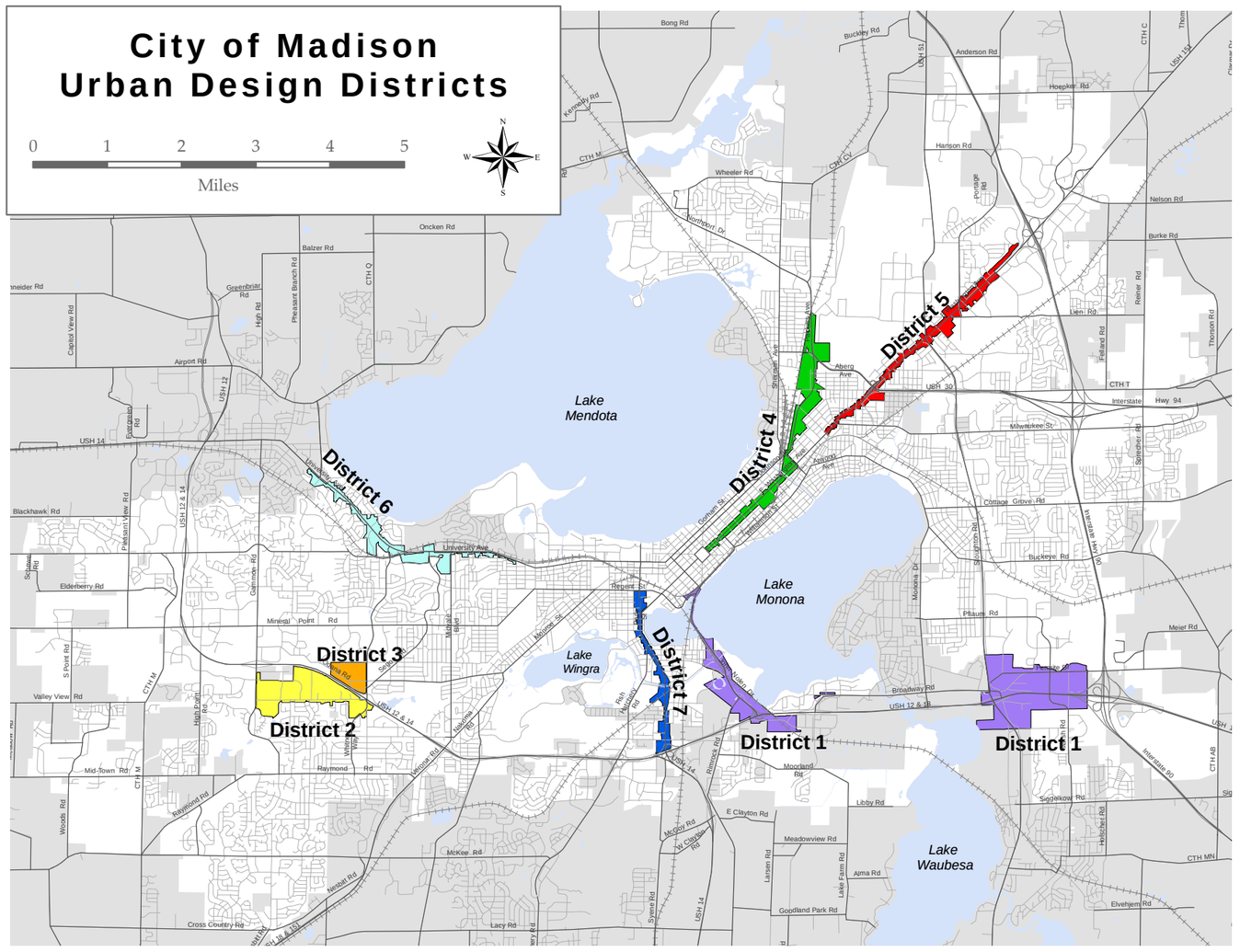
Peloton Place Residences
Peloton Residences, LLC

Urban Design Commission
Final Approval Submittal

Jeff Davis
Angus-Young Associates
jeffd@angusyoung.com
608.284.8225

Jon Hepner
Peloton Residences, LLC
jon@twallenterprises.com
608.444-5552

TABLE OF CONTENTS:



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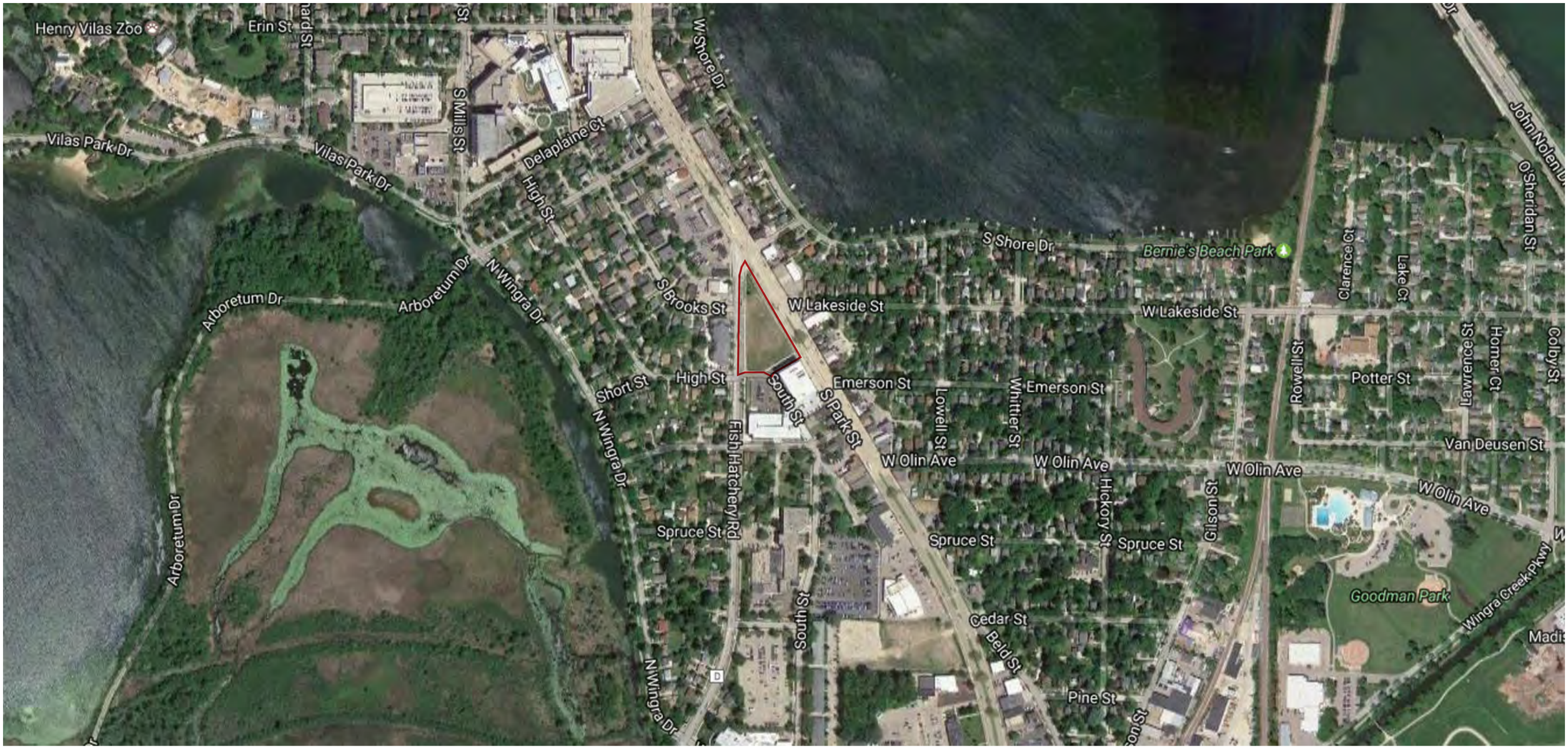
URBAN DESIGN DISTRICT 7



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ZONED PUD-SIP

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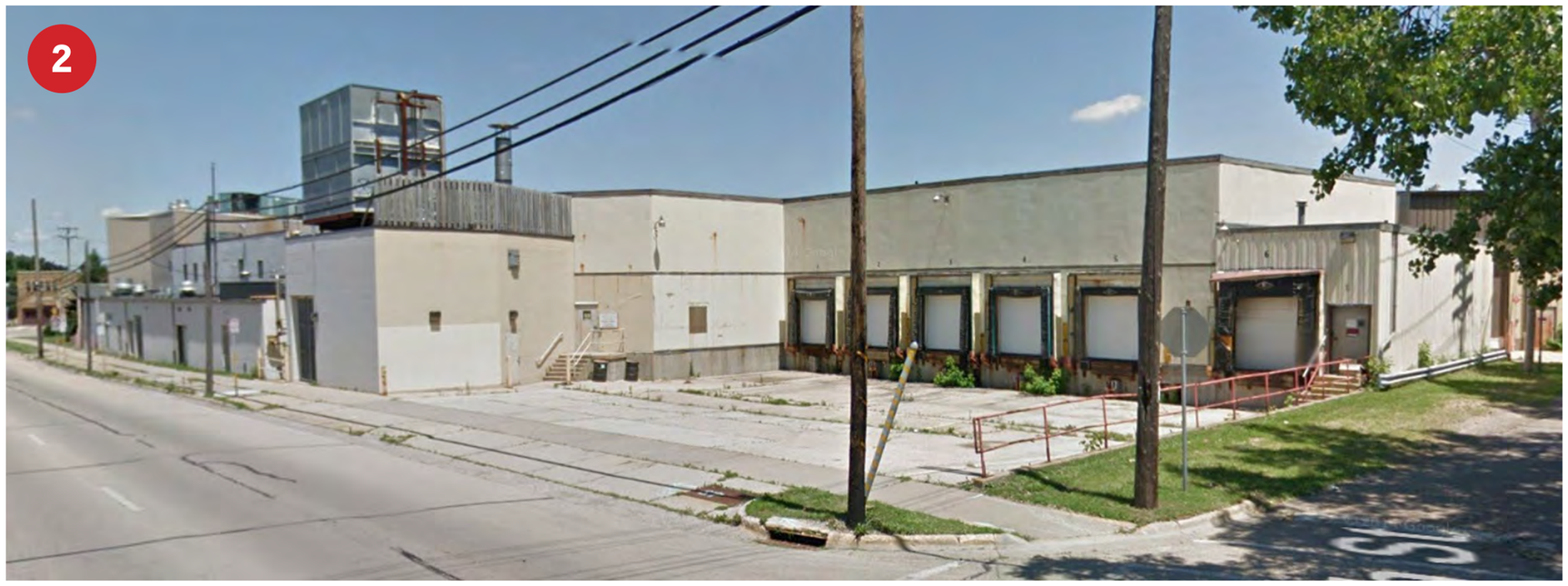
SITE HISTORY



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PRIOR TO DEMOLITION

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SITE TODAY

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SURROUNDING SITES

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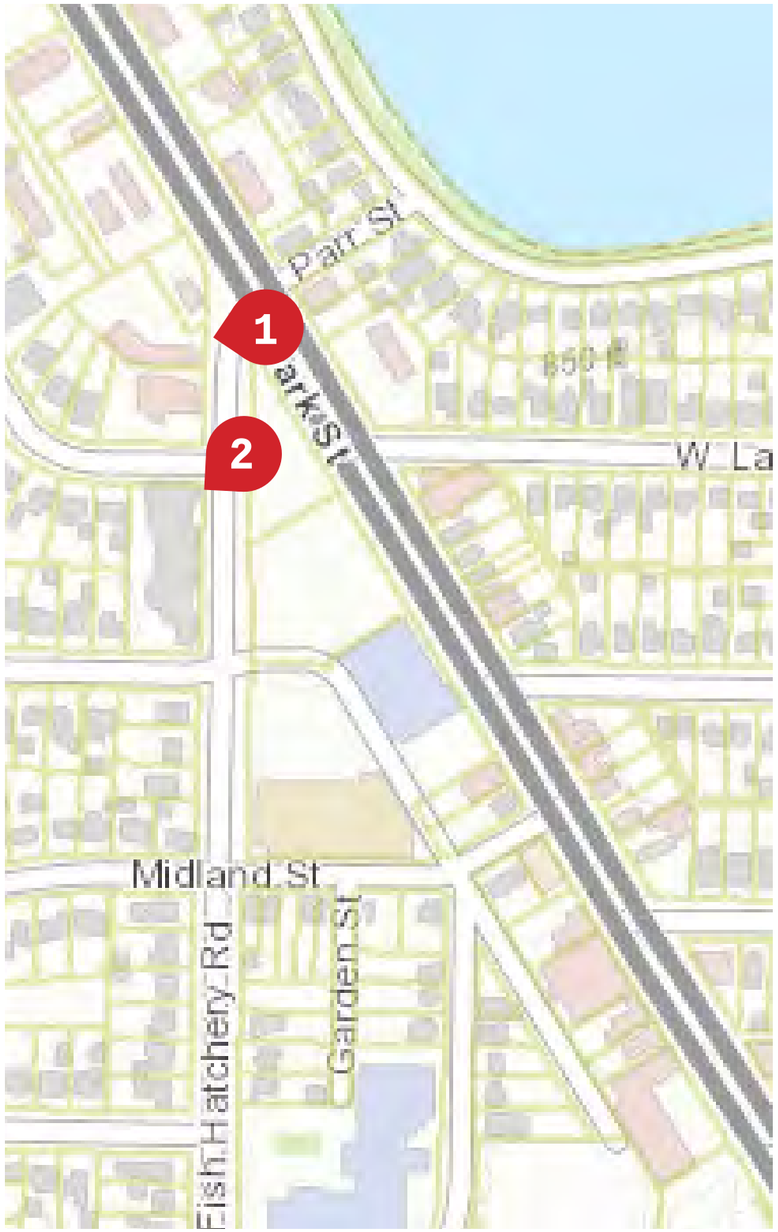
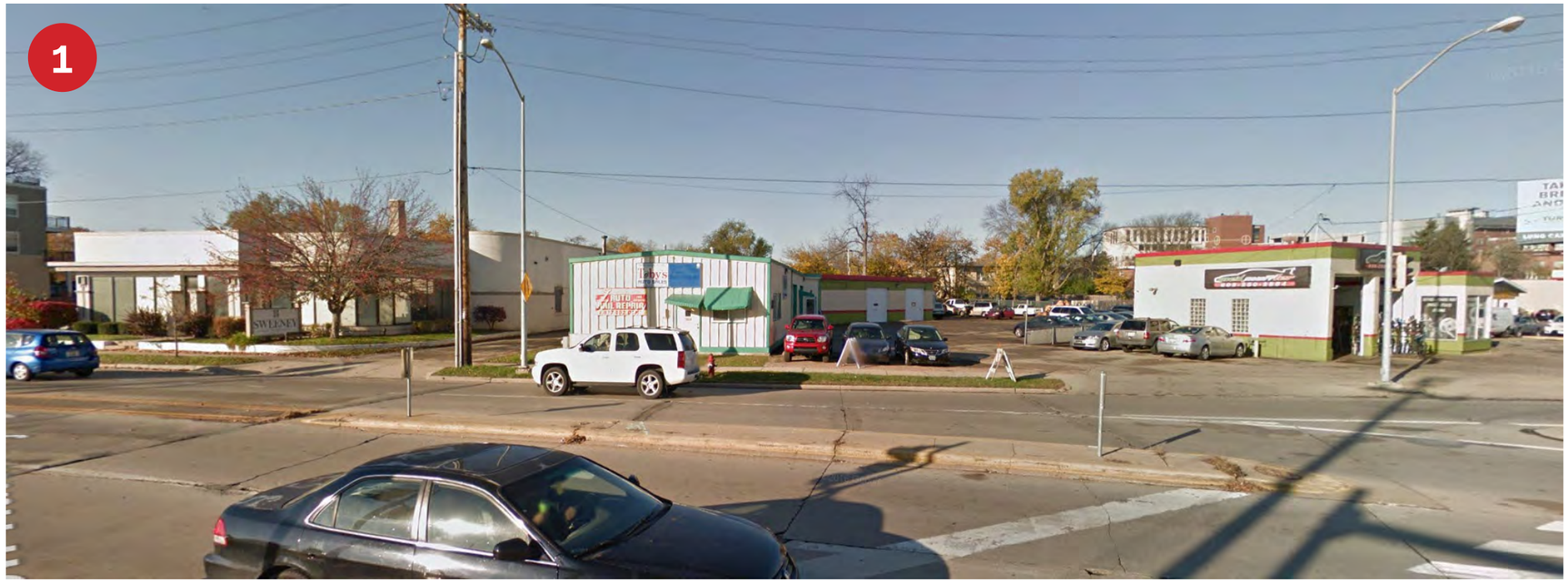
SURROUNDING SITES





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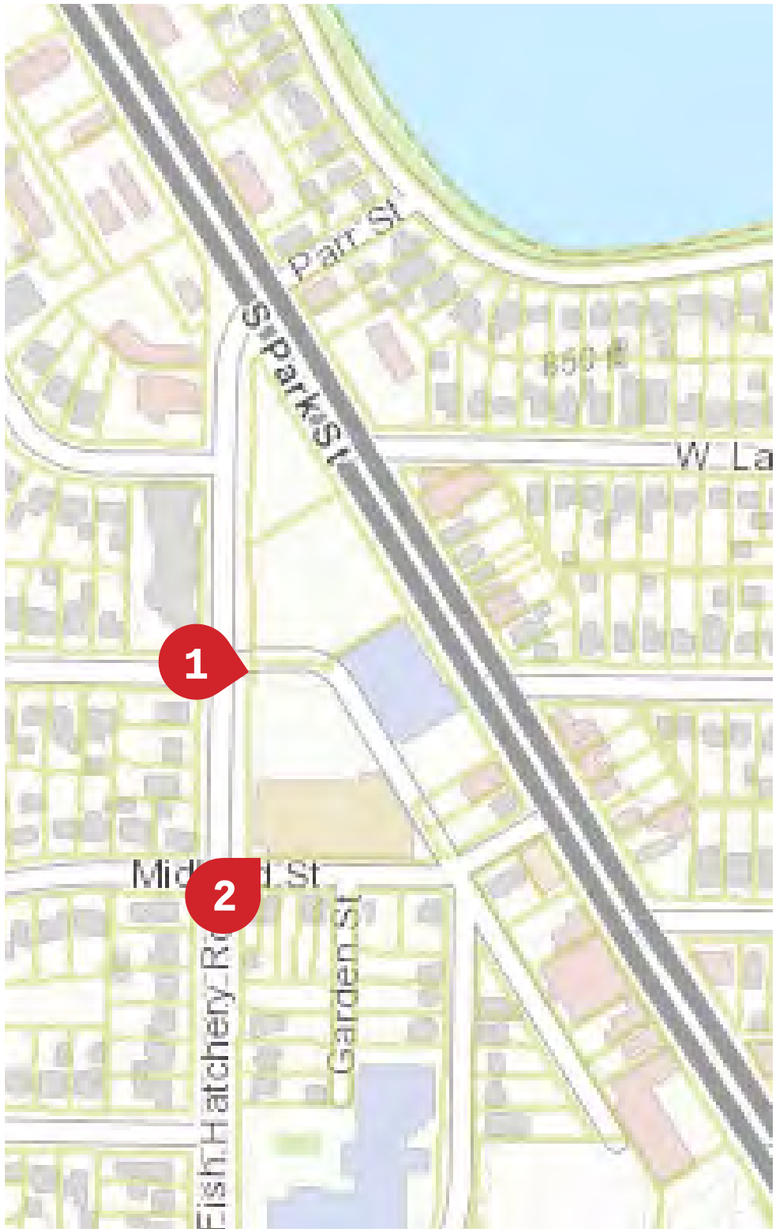
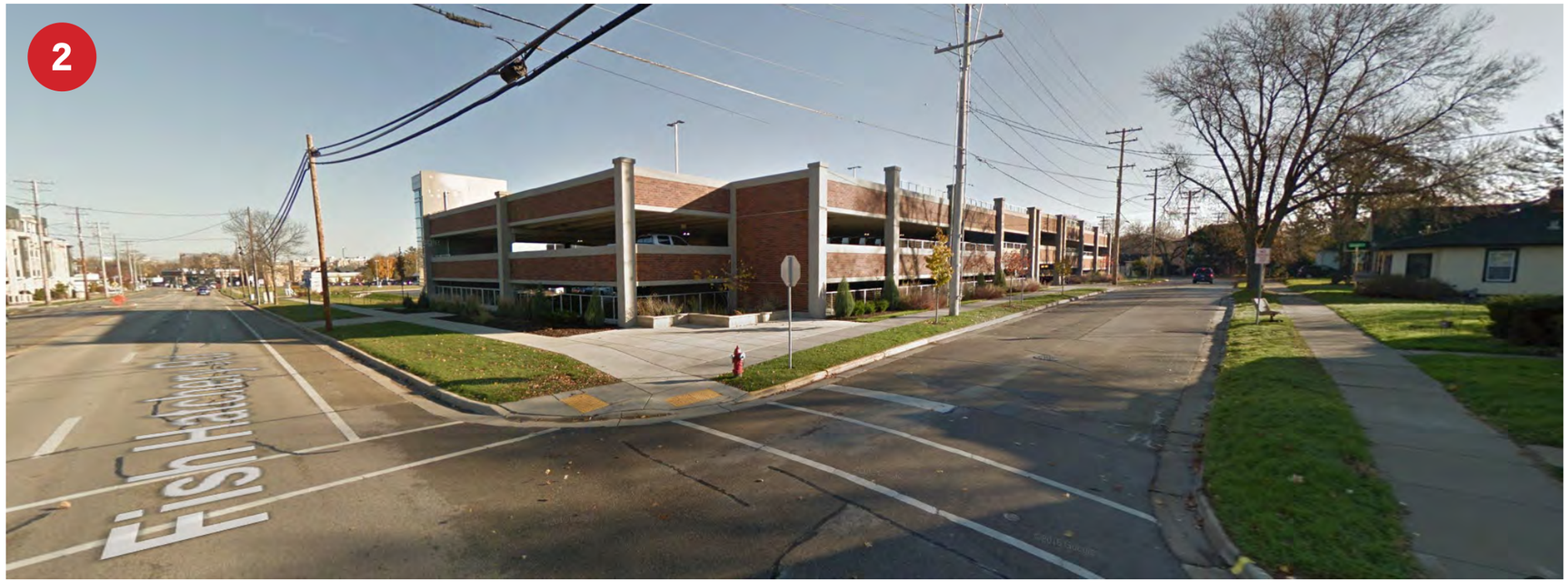
SURROUNDING SITES





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Balance in Creativity

SURROUNDING SITES

PELOTON PLACE RESIDENCES

PELOTON RESIDENCES, LLC

1010 PARK STREET
MADISON, WI

PELOTON PLACE RESIDENCES

Angus Young
Architecture | Engineering
Interiors | Landscape
Balance in Creativity
www.angusyoung.com
Janesville: 555 South River Street - Janesville, WI 53548 | Ph. 608.756.2326
Madison: 16 North Carroll Street - Madison, WI 53703 | Ph. 608.284.8225

REGULATORY DATA

PROJECT ADDRESS

BUILDING CODES

USE AND OCCUPANCY CLASSIFICATION

SHEET INDEX

PROJECT TEAM

OWNER

IAGER

ARCHITECT & STRUCTURAL ENGINEER

CONTACT: JEFF DAVIS
EMAIL: JEFFD@ANGUSYOUNG.COM

CIVIL ENGINEER/ SITE ENGINEER

VIERBICHER ASSOCIATES, INC.
999 FOURIER DR # 201
MADISON, WI 53717
CONTACT: RANDY KOLINSKI
EMAIL: RKOL@VIERBICHER.COM

LANDSCAPE ARCHITECT

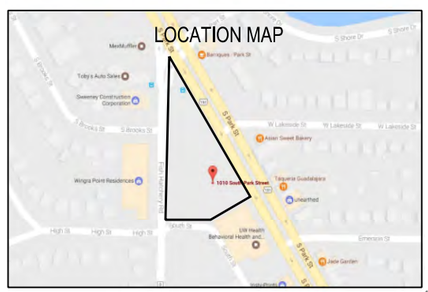
THE BRUCE COMPANY OF WISCONSIN, INC.
2830 PARMENTER ST
MIDDLETON, WI 53562
CONTACT: RICH STROHMENGER
EMAIL: RSTROHMENGER@BRUCECOMPANY.COM

FIRE PROTECTION, HVAC, ELECTRICAL, PLUMBING

UNDER DESIGN/BUILD CONTRACT

PURPOSES

LOCATION MAP



REGISTRATION STAMP AND SIGNATURE

PELOTON PLACE RESIDENCES
PELOTON RESIDENCES, LLC

PROJECT NUMBER	REVIEWED BY
59830	AYA
APPROVED BY	DRAWN BY
AYA	AYA

ISSUANCES	REVISIONS
LAND USE APPLICATION - 05/10/2017	
UDC INITIAL / FINAL - 05/10/2017	
LAND USE RE-SUBMITTAL - 08/18/2017	
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G001

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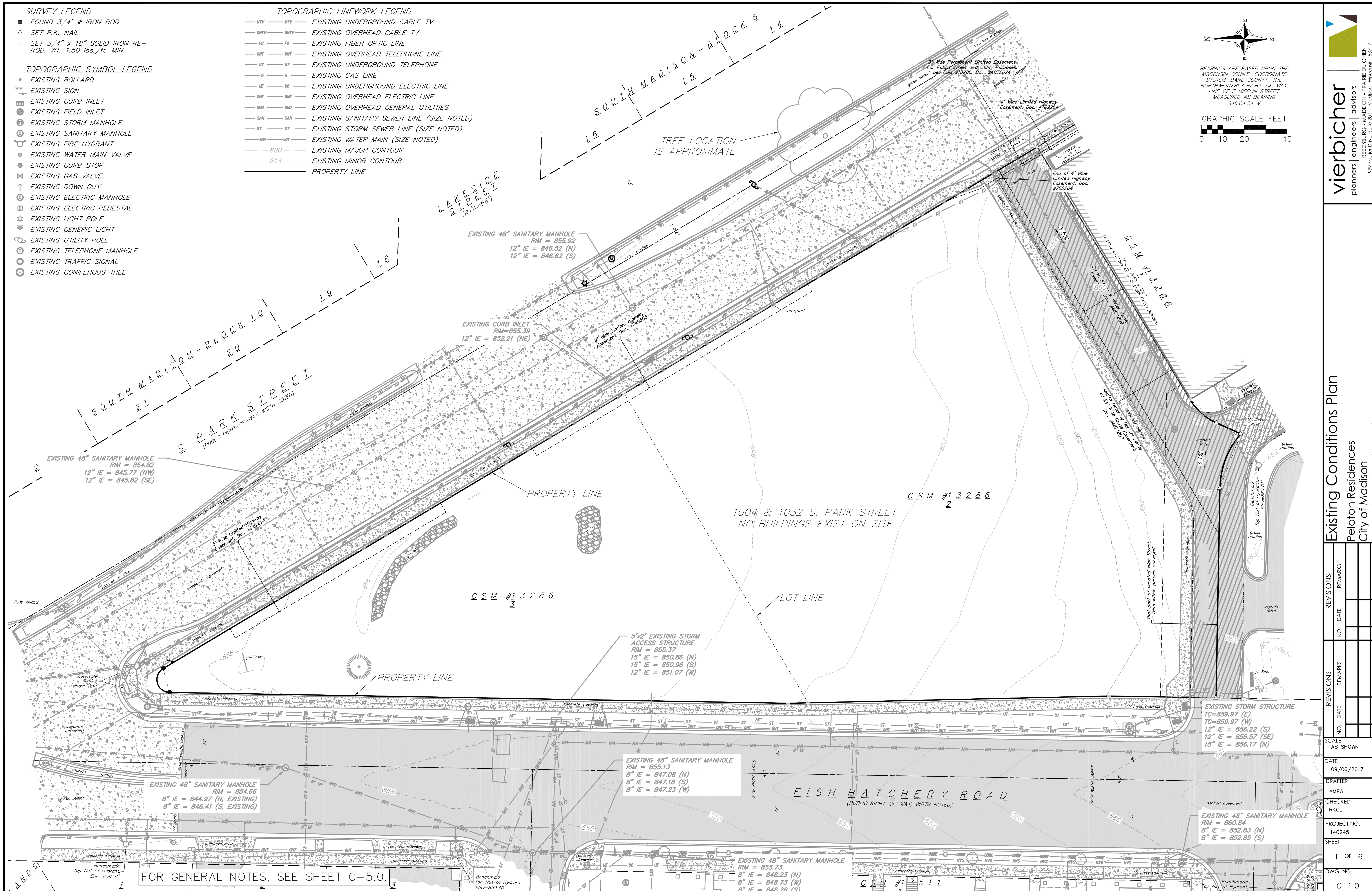

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TOPOGRAPHIC SYMBOL LEGEND
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EXISTING SIGN
EXISTING CURB INLET
EXISTING FIELD INLET
EXISTING STORM MANHOLE
EXISTING SANITARY MANHOLE
EXISTING FIRE HYDRANT
EXISTING WATER MAIN VALVE
EXISTING CURB STOP
EXISTING GAS VALVE
EXISTING DOWN GUY
EXISTING ELECTRIC MANHOLE
EXISTING ELECTRIC PEDESTAL
EXISTING LIGHT POLE
EXISTING GENERIC LIGHT
EXISTING UTILITY POLE
EXISTING TELEPHONE MANHOLE
EXISTING TRAFFIC SIGNAL
EXISTING CONIFEROUS TREE
TOPOGRAPHIC LINEWORK LEGEND
EXISTING UNDERGROUND CABLE TV
EXISTING OVERHEAD CABLE TV
EXISTING FIBER OPTIC LINE
EXISTING OVERHEAD TELEPHONE LINE
EXISTING UNDERGROUND TELEPHONE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING OVERHEAD GENERAL UTILITIES
EXISTING SANITARY SEWER LINE (SIZE NOTED)
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING WATER MAIN (SIZE NOTED)
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
PROPERTY LINE
SOUTH MADISON-BLOCK 6
SOUTH MADISON-BLOCK 10
LAKESIDE STREET (R/W=66')
S. PARK STREET (PUBLIC RIGHT-OF-WAY, WIDTH NOTED)
FISH HATCHERY ROAD (PUBLIC RIGHT-OF-WAY, WIDTH NOTED)
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EXISTING CURB INLET RIM=855.39 12" IE = 852.21 (NE)
EXISTING 48" SANITARY MANHOLE RIM = 854.82 12" IE = 845.77 (NW) 12" IE = 845.82 (SE)
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1004 & 1032 S. PARK STREET
NO BUILDINGS EXIST ON SITE
CSM #13286 2
CSM #13286 3
LOT LINE
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FOR GENERAL NOTES, SEE SHEET C-5.0.
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GRAPHIC SCALE FEET
0 10 20 40
vierbicher
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
Existing Conditions Plan
Peloton Residences
City of Madison
Dane County, Wisconsin
REVISIONS
NO. DATE REMARKS
SCALE AS SHOWN
DATE 09/06/2017
DRAFTER AMEA
CHECKED RKOL
PROJECT NO. 140245
SHEET 1 OF 6
DWG. NO. C-1.0
©2013 Vierbicher Associates, Inc.
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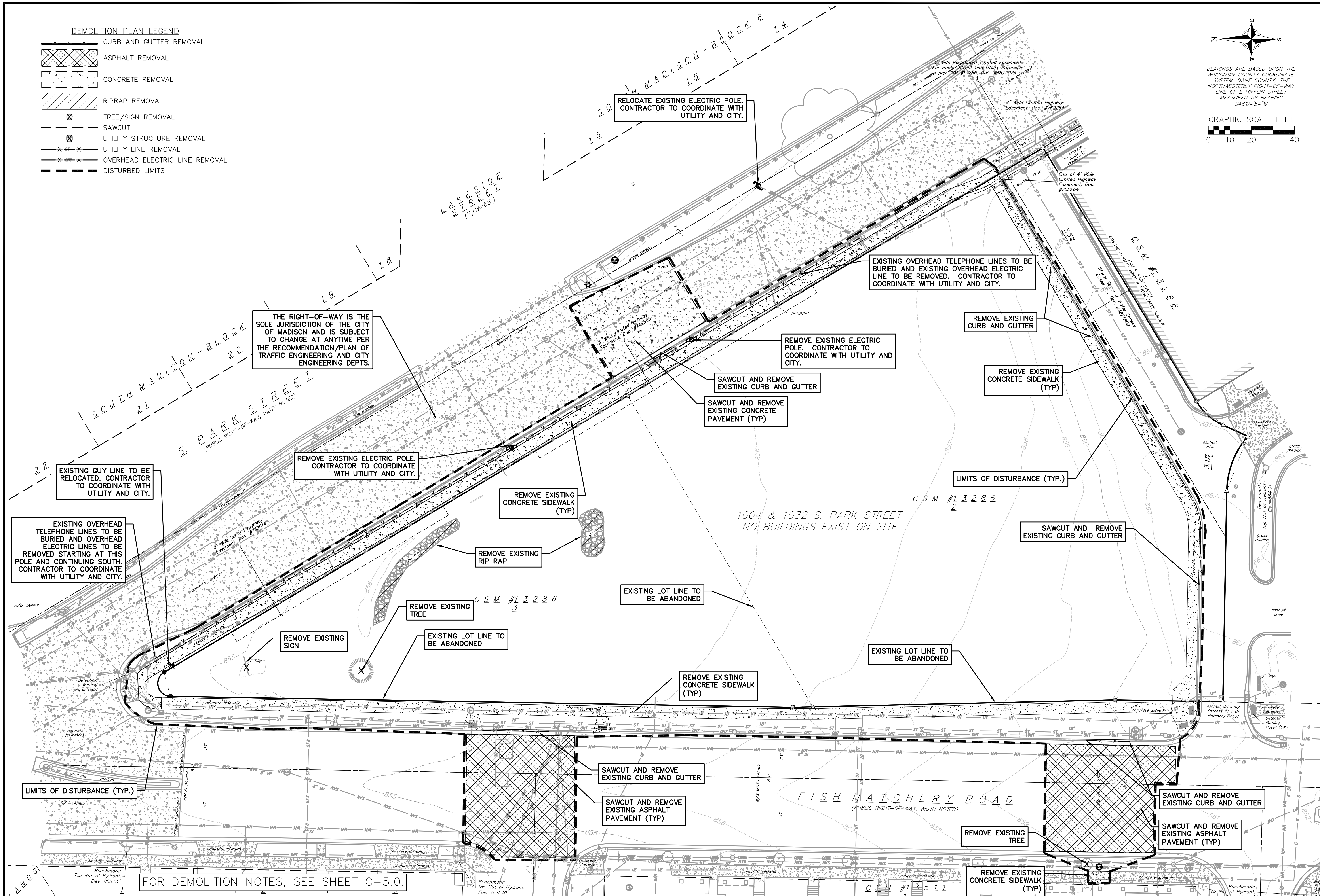
©2013 Vierbicher Associates, Inc.


DEMOLITION PLAN LEGEND
CURB AND GUTTER REMOVAL
ASPHALT REMOVAL
CONCRETE REMOVAL
RIPRAP REMOVAL
TREE/SIGN REMOVAL
SAWCUT
UTILITY STRUCTURE REMOVAL
UTILITY LINE REMOVAL
OVERHEAD ELECTRIC LINE REMOVAL
DISTURBED LIMITS
BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE NORTHWESTERLY RIGHT-OF-WAY LINE OF E MIFFLIN STREET MEASURED AS BEARING S46°04'54"W
GRAPHIC SCALE FEET
0 10 20 40
SOUTH MADISON - BLOCK 6
SOUTH MADISON - BLOCK
LAKESIDE STREET (R/W=66')
S. PARK STREET (PUBLIC RIGHT-OF-WAY, WIDTH NOTED)
FISH HATCHERY ROAD (PUBLIC RIGHT-OF-WAY, WIDTH NOTED)
1004 & 1032 S. PARK STREET
NO BUILDINGS EXIST ON SITE
CSM #13286
RELOCATE EXISTING ELECTRIC POLE. CONTRACTOR TO COORDINATE WITH UTILITY AND CITY.
EXISTING OVERHEAD TELEPHONE LINES TO BE BURIED AND EXISTING OVERHEAD ELECTRIC LINE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY AND CITY.
THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.
REMOVE EXISTING CURB AND GUTTER
REMOVE EXISTING ELECTRIC POLE. CONTRACTOR TO COORDINATE WITH UTILITY AND CITY.
SAWCUT AND REMOVE EXISTING CURB AND GUTTER
SAWCUT AND REMOVE EXISTING CONCRETE PAVEMENT (TYP)
REMOVE EXISTING CONCRETE SIDEWALK (TYP)
REMOVE EXISTING ELECTRIC POLE. CONTRACTOR TO COORDINATE WITH UTILITY AND CITY.
LIMITS OF DISTURBANCE (TYP.)
EXISTING GUY LINE TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH UTILITY AND CITY.
REMOVE EXISTING CONCRETE SIDEWALK (TYP)
SAWCUT AND REMOVE EXISTING CURB AND GUTTER
EXISTING OVERHEAD TELEPHONE LINES TO BE BURIED AND OVERHEAD ELECTRIC LINES TO BE REMOVED STARTING AT THIS POLE AND CONTINUING SOUTH. CONTRACTOR TO COORDINATE WITH UTILITY AND CITY.
REMOVE EXISTING RIP RAP
EXISTING LOT LINE TO BE ABANDONED
REMOVE EXISTING TREE
REMOVE EXISTING SIGN
EXISTING LOT LINE TO BE ABANDONED
EXISTING LOT LINE TO BE ABANDONED
REMOVE EXISTING CONCRETE SIDEWALK (TYP)
LIMITS OF DISTURBANCE (TYP.)
SAWCUT AND REMOVE EXISTING CURB AND GUTTER
SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT (TYP)
SAWCUT AND REMOVE EXISTING CURB AND GUTTER
SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT (TYP)
REMOVE EXISTING TREE
REMOVE EXISTING CONCRETE SIDEWALK (TYP)
FOR DEMOLITION NOTES, SEE SHEET C-5.0.
CSM #13511

vierbicher
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

Demolition Plan
Peloton Residences
City of Madison
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS

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NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 09/06/2017
DRAFTER: AMEA
CHECKED: RKOL
PROJECT NO.: 140245
SHEET: 2 OF 6
DWG. NO.: C-2.0

05 Sep 2017 - 11:10a M:\T Wall Enterprises LLC\140245_Wingra Point Phase 2\CADD\140245_base eng.dwg by: amea

EROSION CONTROL AND GRADING LEGEND

- 820 — EXISTING MAJOR CONTOURS
- 818 — EXISTING MINOR CONTOURS
- SILT FENCE
- DISTURBED LIMITS
- ADA ROUTE
- DRAINAGE DIRECTION
- 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- INLET PROTECTION
- TRACKING PAD

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REJECT CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED PERVIOUS CONCRETE
- PROPOSED ASPHALT
- PROPOSED PAVERS

ABBREVIATIONS

P – PAVEMENT
TC – TOP OF CURB
W – TOP OF WALK
E – ENTRANCE
TW – TOP OF WALL
BW – BOTTOM OF WALL

GRAPHIC SCALE FEET
0 10 20 40

S. PARK STREET (PUBLIC RIGHT-OF-WAY, WIDTH NOTED)

LAKE SIDE STREET (R/W=66')

FISH HATCHERY ROAD (PUBLIC RIGHT-OF-WAY, WIDTH NOTED)

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

3' Wide Perpetual Limited Easement For Public Street and Utility Purposes, per CSM #13286, Doc. #4872024

4' Wide Limited Highway Easement, Doc. #762264

End of 4' Wide Limited Highway Easement, Doc. #762264

4' Wide Limited Highway Easement, Doc. #749555

5' Wide Limited Highway Easement, Doc. #752614

TYPE D INLET PROTECTION (TYP.)

PERVIOUS CONCRETE IN CITY ROW

END 6" HEAVY DUTY MOUNTABLE CURB

LIMITS OF DISTURBANCE (TYP.)

POTENTIAL ALTERNATIVE CONSTRUCTION ENTRANCE (OWNER PERMISSION REQUIRED)

3' WIDE PERMANENT LIMITED EASEMENT FOR PUBLIC SIDEWALK

SILT FENCE (TYP.)

EXISTING 21' WIDE STORM SEWER AND WATER EASEMENT

RAMP

APARTMENTS

LIVE WORK UNITS

PLAZA

COMMERCIAL

BUS LANE

BUS STOP LOCATION

PROPOSED RIGHT OF WAY

DEWATERING OF SITE DURING CONSTRUCTION SHALL BE PER DNR STANDARDS (SEE EROSION CONTROL NOTES), AND AS REQUIRED, SEPARATE DEWATERING PLAN (BY OTHERS).

CONCRETE WASHOUT STRUCTURE

AREA WELL

START 6" HEAVY DUTY MOUNTABLE CURB (SEE DETAIL)

ALLEY NOT TO BE USED BY CONSTRUCTION VEHICLES.

SIDEWALK AND TERRACE LOCATED IN RIGHT-OF-WAY SHALL BE CONSTRUCTED PER CITY OF MADISON PLAN (PROJECT # 53B2438)

20' WIDE CONSTRUCTION ENTRANCE WITH TRACKING PAD

FOR SITE CONSTRUCTION NOTES AND EROSION CONTROL MEASURE NOTES, SEE SHEET C-5.0.

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Grading Plan

Peloton Residences
City of Madison
Dane County, Wisconsin

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SHEET
3 OF 6

DWG. NO.
C-3.0

05 Sep 2017 - 11:13a M:\T Wall Enterprises LLC\140245_Wingra Point Phase 2\CADD\140245_base eng.dwg by: amea

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- WATER SERVICE LATERAL PIPE
- SANITARY SEWER LATERAL PIPE
- SANITARY MANHOLE
- STORM SEWER MANHOLE
- PROPOSED PIPE INSULATION

ABBREVIATIONS

ST – STORM MANHOLE
IE – INVERT ELEVATION

TOPOGRAPHIC LINEWORK LEGEND

- UTV — EXISTING UNDERGROUND CABLE TV
- OHTV — EXISTING OVERHEAD CABLE TV
- FO — EXISTING FIBER OPTIC LINE
- OHT — EXISTING OVERHEAD TELEPHONE LINE
- UT — EXISTING UNDERGROUND TELEPHONE
- G — EXISTING GAS LINE
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- OHE — EXISTING OVERHEAD ELECTRIC LINE
- OHU — EXISTING OVERHEAD GENERAL UTILITIES
- SAN — EXISTING SANITARY SEWER LINE
- ST — EXISTING STORM SEWER LINE
- WM — EXISTING WATER MAIN
- PROPERTY LINE

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING GAS VALVE
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING UTILITY POLE
- EXISTING TELEPHONE MANHOLE
- EXISTING TRAFFIC SIGNAL
- EXISTING CONIFEROUS TREE

GRAPHIC SCALE FEET
0 10 20 40

LAKE LEVEL PLACE (PUBLIC R/W=66')

S. PARK STREET (PUBLIC RIGHT-OF-WAY, WIDTH NOTED)

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EXISTING 48" SANITARY MANHOLE
RIM = 855.92
12" IE = 846.52 (N)
12" IE = 846.62 (S)

CONNECT TO EXISTING 48" SANITRAY MH
(SEE CITY PLANS PROJECT #53B2438)
8" IE = 846.95 (W)

34'-8" PVC SANITARY @ 0.55%

EXISTING CURB INLET
RIM=855.39
12" IE = 852.21 (NE)

EXISTING 48" SANITARY MANHOLE
RIM = 854.82
12" IE = 845.77 (NW)
12" IE = 845.82 (SE)

APARTMENTS

SANITARY CONNECTION TO BLDG (COORDINATE WITH PLUMBING CONTRACTOR)
IE = 847.14

LIVE WORK UNITS

CONNECT TO EXISTING CURB INLET
IE = 852.21 (SW)

PLAZA
DRAINS TO STORMWATER SEWER
(SEE PLUMBING PLANS)

11'-12" HDPE @ 0.50%
ROOF STORMWATER
CONNECTION (COORDINATE
WITH PLUMBING CONTRACTOR)

PLAZA

RAMP

COMMERCIAL

BUS LANE

BUS STOP

SANITARY CONNECTION TO BLDG (COORDINATE WITH PLUMBING CONTRACTOR)
8" IE = 847.59

ROOF STORMWATER CONNECTION (COORDINATE WITH PLUMBING CONTRACTOR)
IE = 851.49

14'-12" HDPE @ 2.0%

WATER CONNECTION TO BLDG (COORDINATE WITH PLUMBING CONTRACTOR)

COMMERCIAL

5'x2' EXISTING STORM ACCESS STRUCTURE
RIM = 855.37
15" IE = 850.86 (N)
15" IE = 850.96 (S)
12" IE = 851.07 (W)

APARTMENTS

WATER CONNECTION TO BLDG (COORDINATE WITH PLUMBING CONTRACTOR)

SANITARY CONNECTION TO BLDG (COORDINATE WITH PLUMBING CONTRACTOR)
IE = 852.59

APARTMENTS

14'-8" HDPE @ 0.50%
ROOF STORMWATER
CONNECTION (COORDINATE
WITH PLUMBING CONTRACTOR)

CONNECT TO EXISTING ACCESS STRUCTURE
IE = 856.75 (E)

CONNECT TO EXISTING STM STRUCTURE
12" IE = 851.21 (E)

PROPOSED 4'X8' PIPE INSULATION

EXISTING STORM STRUCTURE
TC=859.97 (E)
TC=859.97 (W)
12" IE = 856.22 (S)
12" IE = 856.57 (SE)
15" IE = 856.17 (N)

PROPOSED RIGHT OF WAY

PROPOSED 4'X8' PIPE INSULATION

EXISTING 48" SANITARY MANHOLE
RIM = 855.13
8" IE = 847.08 (N)
8" IE = 847.18 (S)
8" IE = 847.23 (W)

74'-6" DI WATER WITH VALVE

80'-8" PVC SANITARY @ 0.52%

28'-6" DI WATER WITH VALVE

CONNECT TO EXISTING 6" WATER MAIN

EXISTING 48" SANITARY MANHOLE
RIM = 854.66
8" IE = 844.97 (N, EXISTING)
8" IE = 846.41 (S, EXISTING)

FISH HATCHERY ROAD (PUBLIC RIGHT-OF-WAY, WIDTH NOTED)

CONNECT TO EXISTING 48" SANITRAY MH
(SEE CITY PLANS PROJECT #53B2438)
8" IE = 847.18 (E)

CONNECT TO PROPOSED 48" SANITARY MH

EXISTING 48" SANITARY MANHOLE
RIM = 860.84
8" IE = 852.83 (N)
8" IE = 852.85 (S)

CONNECT TO EXISTING 6" WATER MAIN

PROPOSED 48" SANITARY MH
(INSTALLATION BY DEVELOPER PER
CITY PLANS PROJECT #53B2438)
RIM = 859.89
8" IE = 852.07 (N,S)
8" IE = 852.17 (E)

EXISTING 48" SANITARY MANHOLE
RIM = 855.73
8" IE = 848.23 (N)
8" IE = 848.73 (W)
8" IE = 848.28 (S)

78'-8"' PVC SANITARY @ 0.52%

FOR UTILITY NOTES, SEE SHEET C-5.0.

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Utility Plan

Peloton Residences
City of Madison
Dane County, Wisconsin

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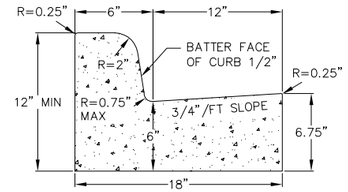
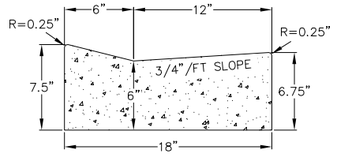
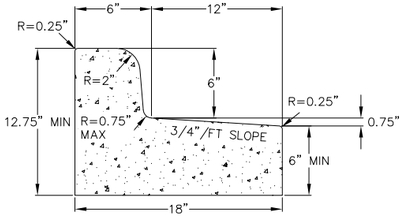


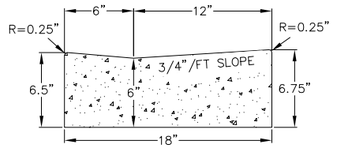
CURB AND GUTTER
CROSS SECTION



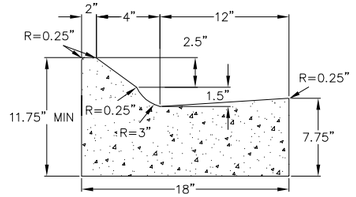
DRIVEWAY GUTTER
CROSS SECTION



CURB AND GUTTER
REJECT SECTION

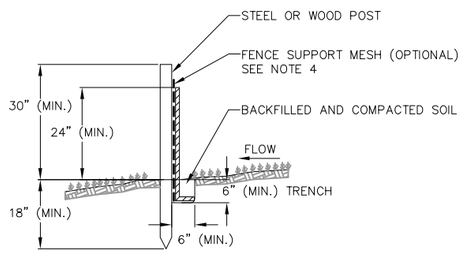


HANDICAP RAMP
GUTTER CROSS SECTION



MOUNTABLE CURB AND
GUTTER
CROSS SECTION

1/5 18" CONCRETE CURB AND GUTTER
NOT TO SCALE



NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)

   POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

2/5 SILT FENCE
NOT TO SCALE

GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
4. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
5. CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.
6. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
7. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
8. STORM AND SANITARY LATERAL SIZES/LOCATIONS WERE OBTAINED FROM CITY OF MADISON GIS DATA.

DEMOLITION NOTES:

1. ALL WORK IN THE RIGHT OF WAY SHALL BE PERFORMED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
2. ALL DAMAGE TO THE PAVEMENT ON S. PARK STREET AND FISH HATCHERY ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

SITE CONSTRUCTION NOTES:

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
4. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
6. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438) AND SHALL COMPLY WITH ALL PROVISIONS AS OUTLINED IN THE CITY OF MADISON STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

CONSTRUCTION SEQUENCE :

PHASE 1 -

1. INSTALL SILT FENCE AND TRACKING PAD. APRIL 2016
2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY. APRIL 2016
3. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT (AS NECESSARY). APRIL 2016
4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS. APRIL 2016
5. ROUGH GRADE FOR FOR BUILDINGS AND WALKS. MAY 2016
6. CONSTRUCT FOUNDATION, BASEMENT AND BUILDING JUNE 2016 - FEB 2017
7. CONSTRUCT UNDERGROUND UTILITIES. JUNE - JULY 2016
8. INSTALL INLET PROTECTION ON NEW INLETS. JUNE - JULY 2016
9. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA. SEPT - OCT 2016
10. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH. SEPT 2016

PHASE 2 -

1. CONSTRUCT BUILDING APRIL 2017 - NOV 2017
2. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH. SEPT 2017
3. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED. NOV 2017

UTILITY NOTES:

1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b.).
5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
12. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
13. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
14. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
15. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
16. ALL DAMAGE TO THE PAVEMENT ON SOUTH PARK STREET AND FISH HATCHERY ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
17. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
18. UTILITY CONTRACTOR SHALL OBTAIN A CONNECTION PERMIT AND EXCAVATION PERMIT PRIOR TO COMMENCING STORM SEWER CONSTRUCTION.

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Notes & Construction Details

Peloton Residences
City of Madison
Dane County, Wisconsin

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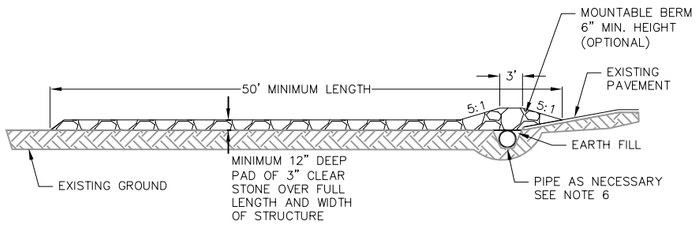
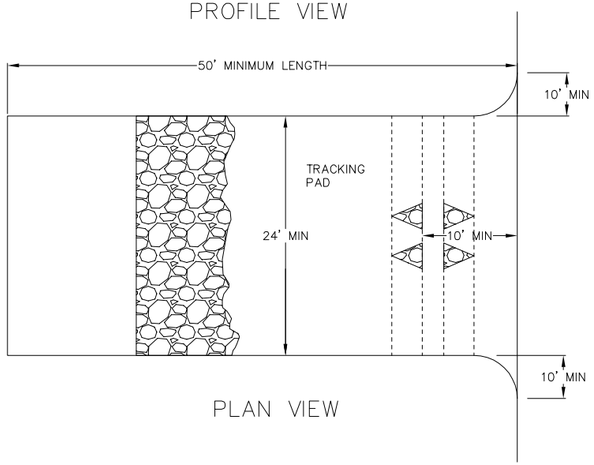


PROFILE VIEW



PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.

2. LENGTH – MINIMUM OF 50'.

3. WIDTH – 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.

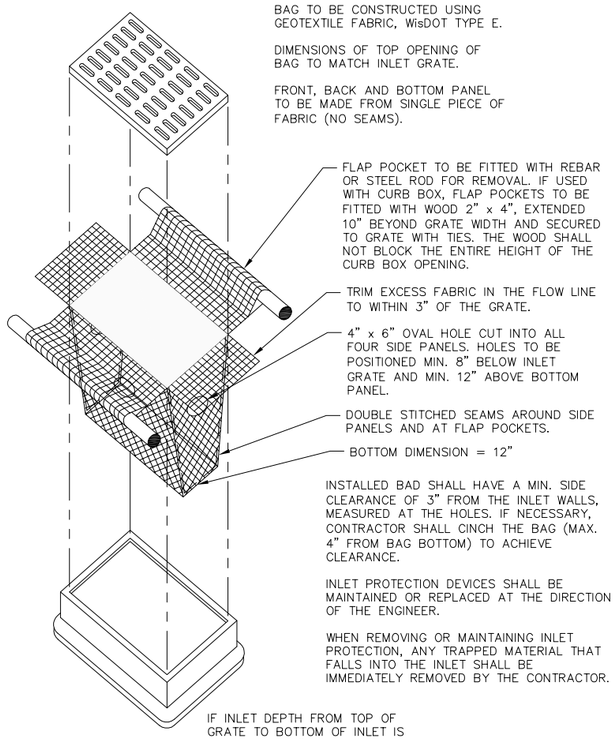
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE–HR GEOTEXTILE FABRIC.

5. STONE – CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.

6. SURFACE WATER – ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.

7. LOCATION – A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1/6 TRACKING PAD
NOT TO SCALE



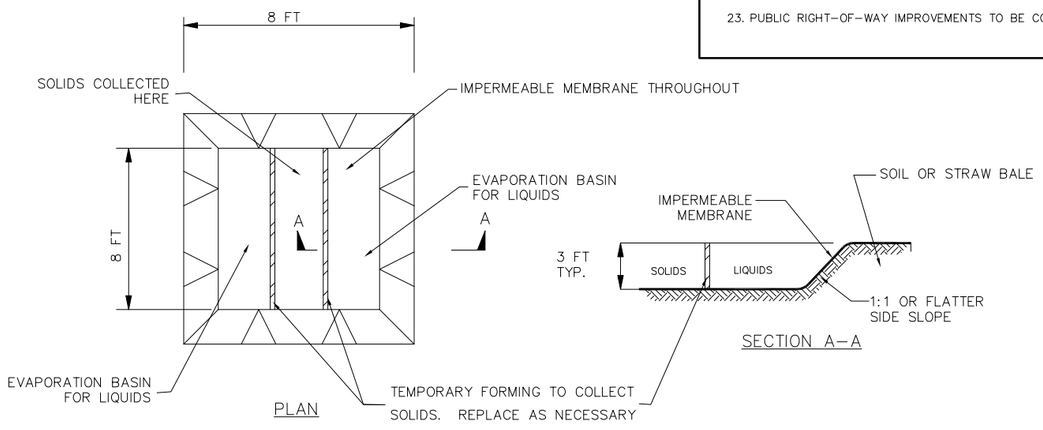
2/6 INLET PROTECTION TYPE D
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.

2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.

3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET–VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



3/6 CONCRETE WASHOUT STRUCTURE
NOT TO SCALE

EROSION CONTROL MEASURE NOTES:

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7–CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25–FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN–WORKED FOR A PERIOD OF MORE THAN 14–CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. SITE DE–WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED PER APPLICABLE DNR TECHNICAL STARDARDS, OR OTHER APPROPRIATE CONTROL MEASURES. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DEWATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE–APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
22. IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.
23. PUBLIC RIGHT–OF–WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).

SEEDING RATES:

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

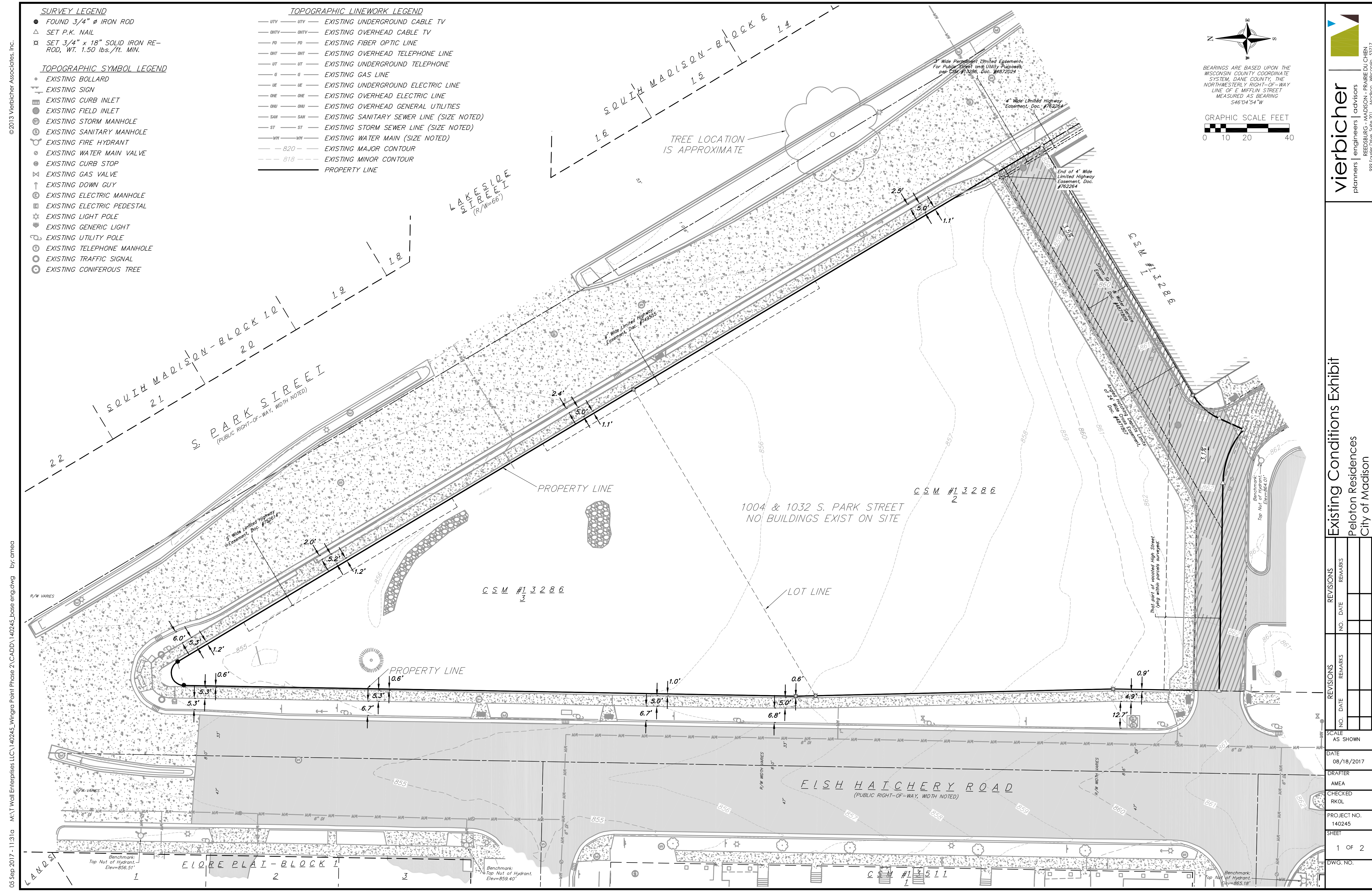
TEMPORARY AND PERMANENT:
USE ½" TO 1–½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

vierbicher
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

Erosion Control Notes and Details
Peloton Residences
City of Madison
Dane County, Wisconsin

REVISIONS			
NO.	DATE	REMARKS	
NO.	DATE	REMARKS	

SCALE: AS SHOWN
DATE: 09/06/2017
DRAFTER: AMEA
CHECKED: RKOL
PROJECT NO.: 140245
SHEET: 6 OF 6
DWG. NO.: C–6.0


SURVEY LEGEND
FOUND 3/4" ø IRON ROD
SET P.K. NAIL
SET 3/4" x 18" SOLID IRON RE-ROD, WT. 1.50 lbs./ft. MIN.
TOPOGRAPHIC SYMBOL LEGEND
EXISTING BOLLARD
EXISTING SIGN
EXISTING CURB INLET
EXISTING FIELD INLET
EXISTING STORM MANHOLE
EXISTING SANITARY MANHOLE
EXISTING FIRE HYDRANT
EXISTING WATER MAIN VALVE
EXISTING CURB STOP
EXISTING GAS VALVE
EXISTING DOWN GUY
EXISTING ELECTRIC MANHOLE
EXISTING ELECTRIC PEDESTAL
EXISTING LIGHT POLE
EXISTING GENERIC LIGHT
EXISTING UTILITY POLE
EXISTING TELEPHONE MANHOLE
EXISTING TRAFFIC SIGNAL
EXISTING CONIFEROUS TREE
TOPOGRAPHIC LINEWORK LEGEND
EXISTING UNDERGROUND CABLE TV
EXISTING OVERHEAD CABLE TV
EXISTING FIBER OPTIC LINE
EXISTING OVERHEAD TELEPHONE LINE
EXISTING UNDERGROUND TELEPHONE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING OVERHEAD GENERAL UTILITIES
EXISTING SANITARY SEWER LINE (SIZE NOTED)
EXISTING STORM SEWER LINE (SIZE NOTED)
EXISTING WATER MAIN (SIZE NOTED)
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
PROPERTY LINE
SOUTH MADISON-BLOCK 6
SOUTH MADISON-BLOCK 10
LAKESIDE STREET (R/W=66')
S. PARK STREET (PUBLIC RIGHT-OF-WAY, WIDTH NOTED)
TREE LOCATION IS APPROXIMATE
PROPERTY LINE
LOT LINE
CSM #13286 1
CSM #13286 2
CSM #13286 3
1004 & 1032 S. PARK STREET
NO BUILDINGS EXIST ON SITE
FISH HATCHERY ROAD (PUBLIC RIGHT-OF-WAY, WIDTH NOTED)
FIORE PLAT-BLOCK 1
CSM #13511 1
BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE NORTHWESTERLY RIGHT-OF-WAY LINE OF E MIFFLIN STREET MEASURED AS BEARING S46°04'54"W
GRAPHIC SCALE FEET
0 10 20 40
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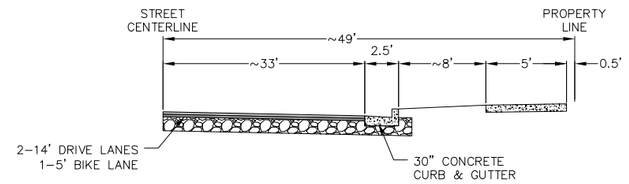
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
Existing Conditions Exhibit
Peloton Residences
City of Madison
Dane County, Wisconsin
REVISIONS
NO. DATE REMARKS
SCALE AS SHOWN
DATE 08/18/2017
DRAFTER AMEA
CHECKED RKOL
PROJECT NO. 140245
SHEET 1 OF 2
DWG. NO.
©2013 Vierbicher Associates, Inc.
05 Sep 2017 - 11:31a M:\T Wall Enterprises LLC\140245_Wingra Point Phase 2\CADD\140245_base eng.dwg by: amea



1/2 TYPICAL SECTION–FISH HATCHERY RD
NOT TO SCALE

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999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

Site Plan Exhibit

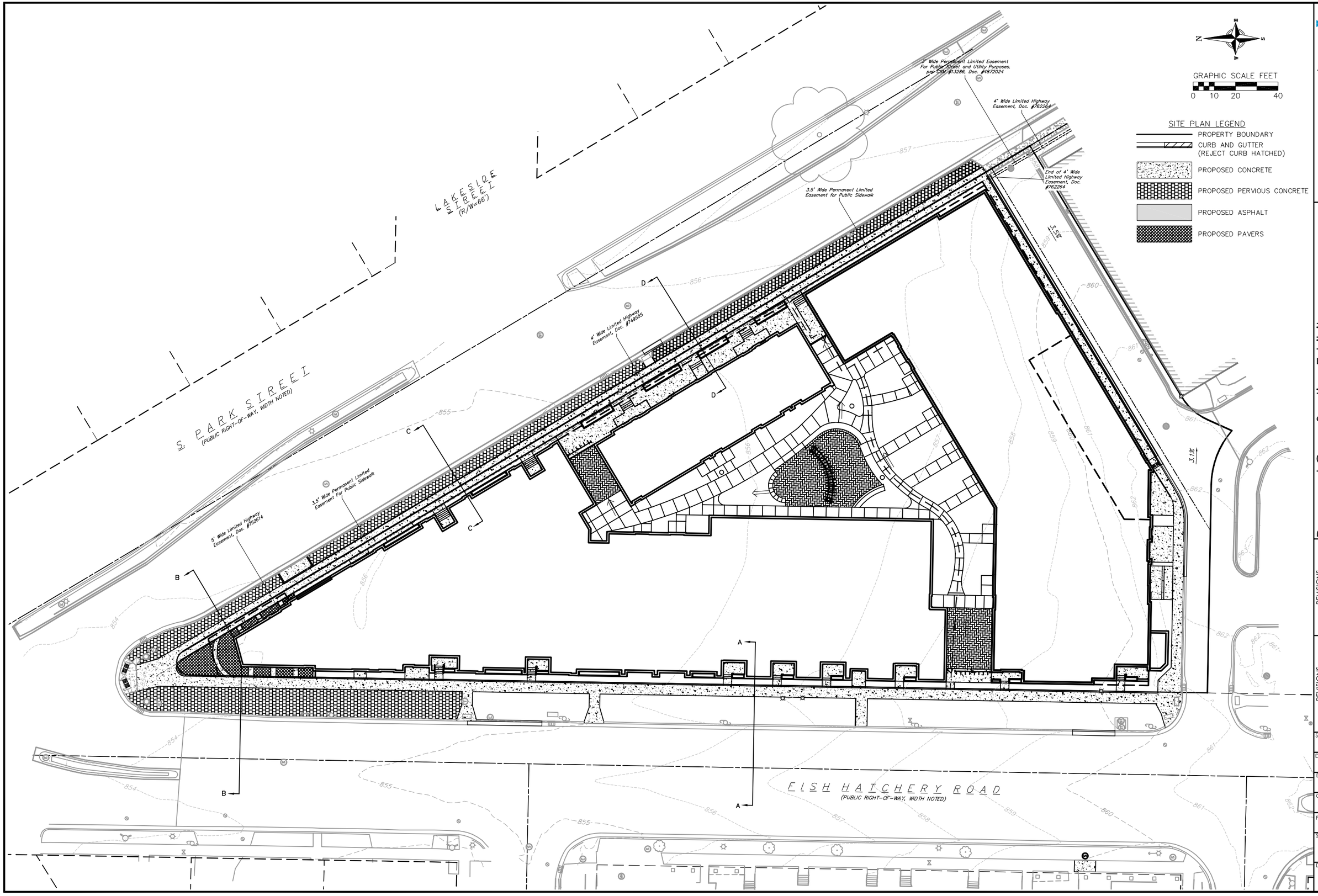
Peloton Residences
City of Madison
Dane County, Wisconsin

REVISIONS
NO. DATE REMARKS

REVISIONS
NO. DATE REMARKS

SCALE: AS SHOWN
DATE: 08/18/2017
DRAFTER: AMEA
CHECKED: RKOL
PROJECT NO.: 140245
SHEET: 2 OF 2
DWG. NO.:

05 Sep 2017 - 11:32a M:\T Wall Enterprises LLC\140245_Wingra Point Phase 2\CADD\140245_base eng.dwg by: amea



N
E
S
W

GRAPHIC SCALE FEET
0 10 20 40

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REJECT CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED PERVIOUS CONCRETE
- PROPOSED ASPHALT
- PROPOSED PAVERS

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Proposed Cross-Section Exhibit

Peloton Residences
City of Madison
Dane County, Wisconsin

REVISIONS

NO.	DATE	REMARKS

REVISIONS

NO.	DATE	REMARKS

SCALE
AS SHOWN

DATE
09/06/2017

DRAFTER
AMEA

CHECKED
RKOL

PROJECT NO.
140245

SHEET
1 OF 2

DWG. NO.

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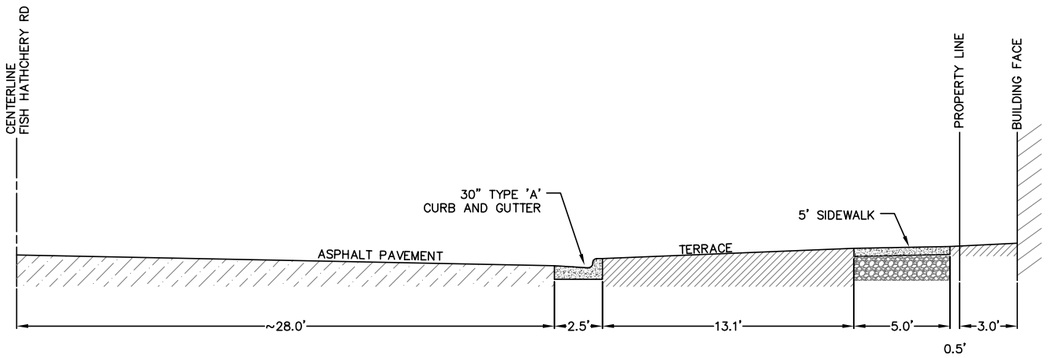
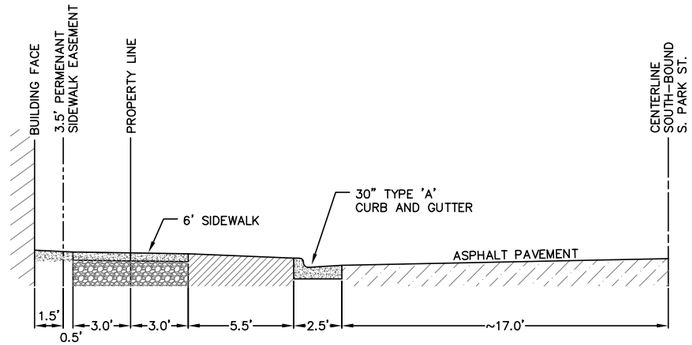
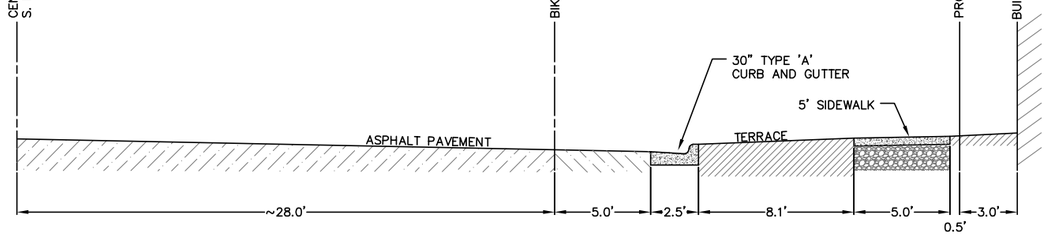


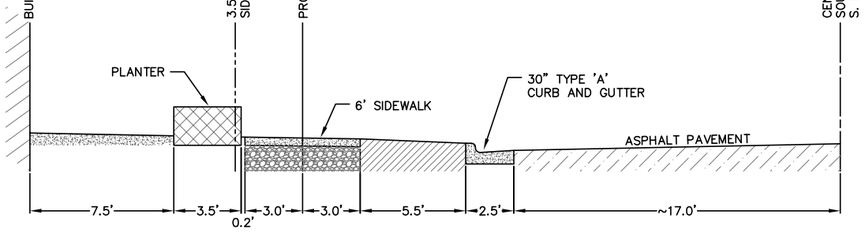
1/2 CROSS–SECTION A–A (FISH HATCHERY RD W/O BIKE LANE)
NOT TO SCALE



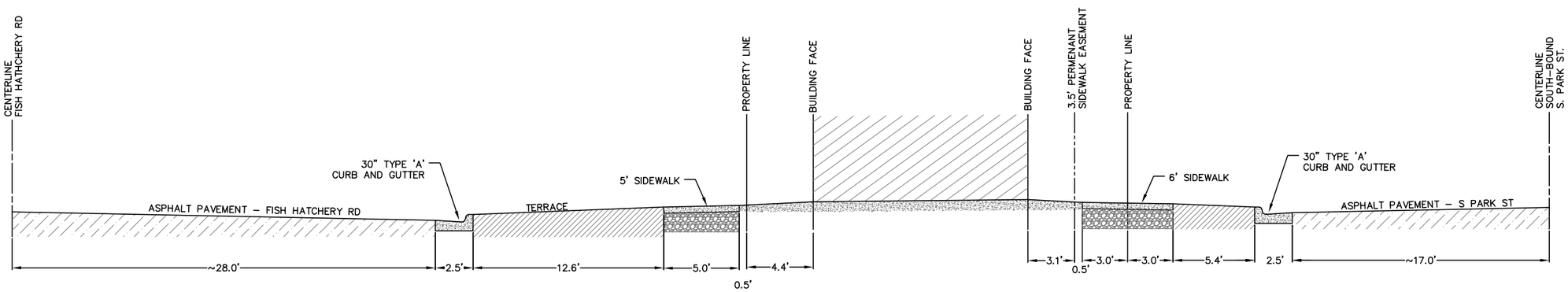
3/2 CROSS–SECTION C–C (S PARK ST)
NOT TO SCALE



2/2 CROSS–SECTION A–A (FISH HATCHERY RD W/ BIKE LANE)
NOT TO SCALE



4/2 CROSS–SECTION D–D (S PARK ST)
NOT TO SCALE



5/2 CROSS–SECTION B–B (PROW)
NOT TO SCALE

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Proposed Cross-Sections Exhibit

Peloton Residences
City of Madison
Dane County, Wisconsin

REVISIONS
NO. DATE REMARKS

REVISIONS
NO. DATE REMARKS

SCALE
AS SHOWN

DATE
09/06/2017

DRAFTER
AMEA

CHECKED
RKOL

PROJECT NO.
140245

SHEET
2 OF 2

DWG. NO.

Plant Material List

Broadleaf Deciduous

Quantity	Code Name	Common Name	Scientific Name	Planting Size
12	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
3	AHH	Amer Hornbeam	Carpinus Caroliniana	2 1/2" B&B

Conifer Evergreen

Quantity	Code Name	Common Name	Scientific Name	Planting Size
18	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'	4' B&B
7	ELY	Everlow Yew	Taxus X Media 'everlow'	18" B&B
6	TY	Taunton Yew	Taxus X Media 'tauntonii'	#5 CONT.

Perennial

Quantity	Code Name	Common Name	Scientific Name	Planting Size
49	SBA	Summer Beauty Allium	Allium 'summer Beauty'	#1 CONT.
91	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
9	JH	June Hosta	Hosta 'june'	#1 CONT.
28	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.
101	VMOG	Variegated Moor Grass	Molina Caerulea 'variegata'	#1 CONT.
44	TSLF	Tassel Fern	Polystichum Polyblepharum	#1 CONT.
62	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.

Shrub

Quantity	Code Name	Common Name	Scientific Name	Planting Size
1	FBWE	Fire Ball Winged Euonymus	Euonymus Alatus 'select'	3' B&B
25	AH	Annabelle Hydrangea	Hydrangea Arborescens 'annabelle'	#3 CONT.
3	KV	Koreanspice Viburnum	Viburnum Carlesii	30" B&B
2	LJAV	Little Joe Arwd Viburnum	Viburnum Dentatum 'klmseventeen'	5 GAL.

GENERAL NOTES

A) Areas labeled "Brown Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.

B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3' wide beds for shrub groupings).

C) "Spaded Edge" to be Hand Trenched to depth of 4".

D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.

E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.

F) Seed shall consist of the following mixture:
- 10% Palmer IV Perennial Ryegrass
- 20% Dragon Kentucky Bluegrass
- 20% Diva Kentucky Bluegrass
- 20% Foxy II Creeping Red Fescue
- 15% Vail II Perennial Ryegrass
- 15% Ginney Kentucky Bluegrass

G) Areas labeled "Seed/Mat" shall be seeded with the above-noted premium lawn seed mixture and overblid with Class I Urban Type A organic straw erosion control netting that is then pegged into the soil with biodegradable staples.

H) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.

I) Plant beds adjacent to building foundation to be mulched with brown colored wood mulch spread to a 3" depth with pre-emergent herbicide.

J) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If Excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction- http://www.cityofmadison.com/business/pw/documents/StdSpecs/2013/Part1.pdf.

K) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.

MADISON LANDSCAPE WORKSHEET

Zoning district is GDP/SIP
Total square footage of developed area ..... 12,500 SF
Total square footage of first 5 acres of developed area ÷ 300 square feet = ... 42 Landscape Units
Total square footage of 0 additional acres of developed area ÷ 100 square feet = ... 0 Landscape Units

NUMBER OF LANDSCAPE POINT REQUIRED
42 Landscape Units x 5 landscape points for first 5 acres..... 210 points
0 Landscape Units x 1 landscape point for additional ___acres..... 0 points
TOTAL LANDSCAPE POINTS REQUIRED..... 210 points

PLANT TYPE or ELEMENT	Point Value	NEW Qty.	NEW Points Achieved	EXISTING Qty.	EXISTING Points Achieved	
Overstory Deciduous Tree : 2-1/2" (dbh)	35	3	105			
Tall Evergreen Tree : 5-6 feet tall	35					
Ornamental Tree : 1-1/2" Caliper (dbh)	15	12	180			
Upright Evergreen Shrub : 3-4 feet tall	10	18	180			
Shrub, deciduous : 3 gallon / 12"-24"	3	31	93			
Shrub, evergreen : 3 gallon / 12"-24"	4	13	52			
Ornamental grass/perennial : 1gallon / 8"-18"	2	394	788			
Ornamental / Decorative fencing or wall	4 per 10 l.f.					
Existing significant specimen tree	14 per Cal. In.					TOTAL POINTS PROVIDED
Landscape furniture for public seating and /or transit connections	5 per 'seat'					
		Sub Totals	1,398	+	NA	= 1,398

Street Frontage Landscape Required

Street Frontage = 1,000 LF
Canopy Trees Required: 1 per 30 LF Frontage = ... 33
Shrubs Required : 5 per 30 LF Frontage = ... 165

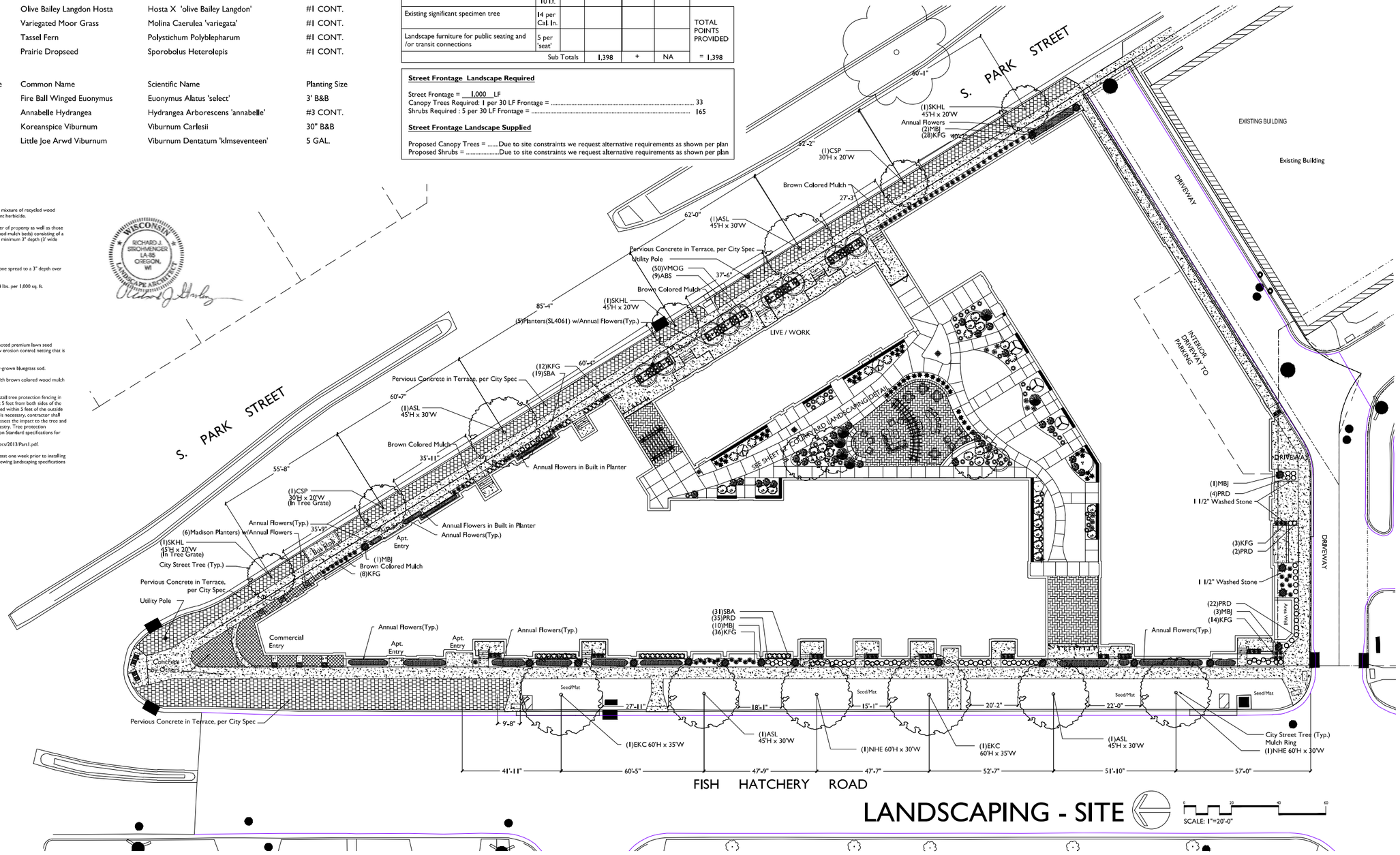
Street Frontage Landscape Supplied

Proposed Canopy Trees = ...Due to site constraints we request alternative requirements as shown per plan
Proposed Shrubs = ...Due to site constraints we request alternative requirements as shown per plan

City Street Trees at Park Street and Fish Hatchery Road -- Plant Material List

Broadleaf Deciduous

Quantity	Code Name	Common Name (Mature Size)	Scientific Name	Planting Size
3	SKHL	Street Keeper Honeylocust (45'H x 20'W)	Gleditsia Triacan 'draves'	2 1/2" B&B
2	EKC	Espresso Kentucky Coffeetree (60'H x 35'W)	Gymnocladus Dioicus 'espresso-Jfs'	2 1/2" B&B
2	CSP	Cleveland Select Pear (30'H x 20'W)	Pyrus Calleryana 'Cleveland Select'	2 1/2" B&B
4	ASL	American Sentry Linden (45'H x 30'W)	Tilia Americana 'McKSentry'	2 1/2" B&B
2	NHE	New Horizon Elm (60'H x 30' W)	Ulmus 'new Horizon'	2 1/2" B&B



FISH HATCHERY ROAD

LANDSCAPING - SITE

SCALE: 1"=20'-0"

the bruce company OF WISCONSIN, INC.
LANDSCAPE ARCHITECTS
LANDSCAPE CONTRACTORS
2830 PARMENTER STREET
P.O. BOX 620330
MIDDLETON, WI 53562-0330
TEL (608) 836-7041
FAX (608) 831-6266

PELOTON
1004-1032 S. PARK STREET
MADISON, WISCONSIN

Checked By: SS
Drawn By: 8/17/16 RS

Revised: 9/20/16 RS
Revised: 4/5/17 RS
Revised: 5/10/17 RS
Revised: 8/2/17 RS
Revised: 8/17/17 JH
Revised: 9/5/17 RS
Revised: ----
Revised: ----
Revised: ----
Revised: ----

L-1.1

L:\2016 CAD\STEVE SHORT\WINGRA POINT II\PELETON\72C18.DWG Created: 9/2/2017, Saved: 9/5/2017, Printed: 9/5/2017

Plant Material List

Broadleaf Deciduous

Quantity	Code Name	Common Name	Scientific Name	Planting Size
12	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
3	AHH	Amer Hornbeam	Carpinus Caroliniana	2 1/2" B&B

Conifer Evergreen

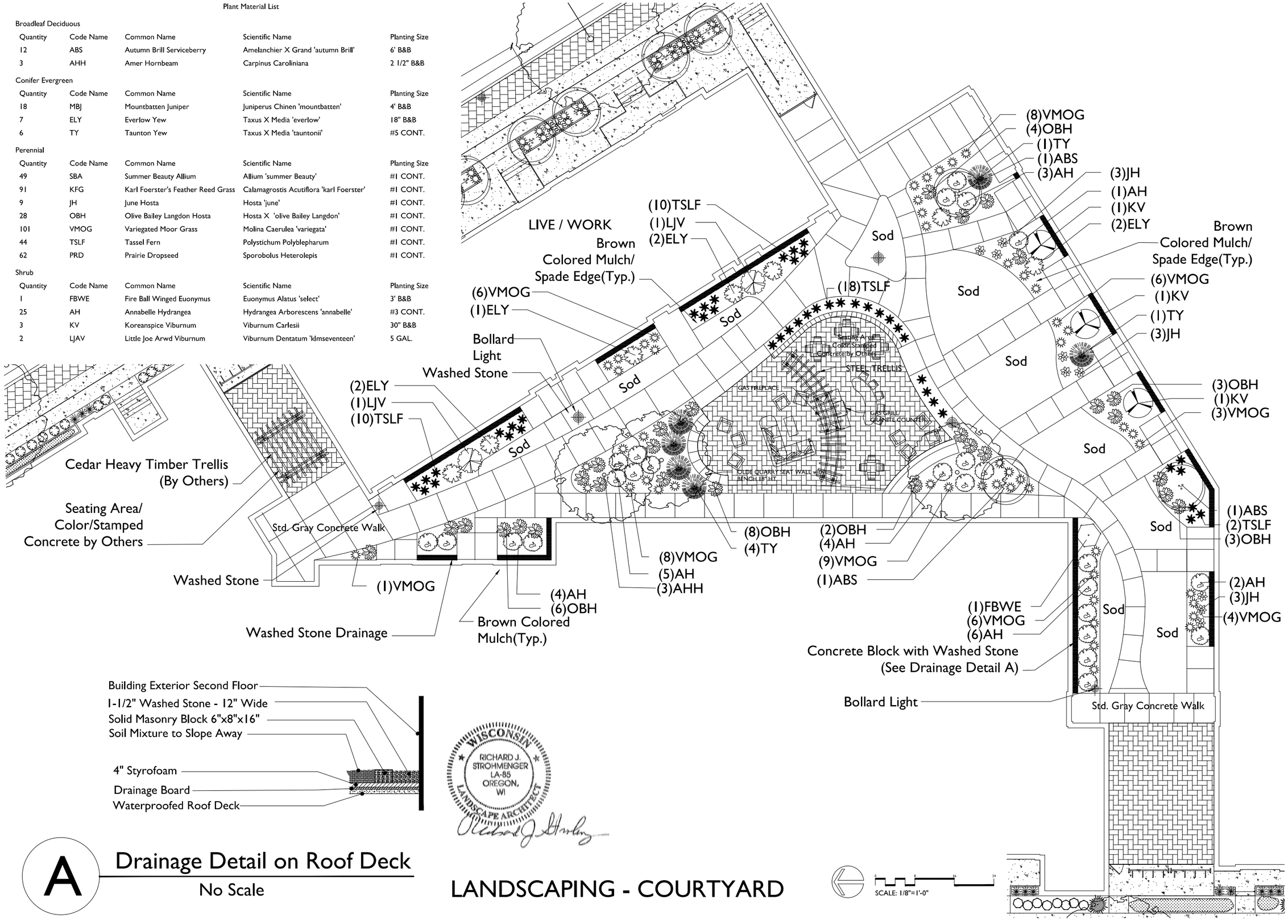
Quantity	Code Name	Common Name	Scientific Name	Planting Size
18	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'	4' B&B
7	ELY	Everlow Yew	Taxus X Media 'everlow'	18" B&B
6	TY	Taunton Yew	Taxus X Media 'tauntonii'	#5 CONT.

Perennial

Quantity	Code Name	Common Name	Scientific Name	Planting Size
49	SBA	Summer Beauty Allium	Allium 'summer Beauty'	#1 CONT.
91	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
9	JH	June Hosta	Hosta 'june'	#1 CONT.
28	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.
101	VMOG	Variegated Moor Grass	Molina Caerulea 'variegata'	#1 CONT.
44	TSLF	Tassel Fern	Polystichum Polyblepharum	#1 CONT.
62	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.

Shrub

Quantity	Code Name	Common Name	Scientific Name	Planting Size
1	FBWE	Fire Ball Winged Euonymus	Euonymus Alatus 'select'	3' B&B
25	AH	Annabelle Hydrangea	Hydrangea Arborescens 'annabelle'	#3 CONT.
3	KV	Koreanspice Viburnum	Viburnum Carlesii	30" B&B
2	LJAV	Little Joe Arwd Viburnum	Viburnum Dentatum 'ldmseventeen'	5 GAL.



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RICHARD J. STROHMENGER
LA-85
OREGON, WI
LANDSCAPE ARCHITECT

A Drainage Detail on Roof Deck

No Scale

LANDSCAPING - COURTYARD

SCALE: 1/8"=1'-0"

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PELOTON
1004-1032 S. PARK STREET
MADISON, WISCONSIN

Checked By: SS
Drawn By: 8/17/16 RS

Revised: 9/20/16 RS
Revised: 4/5/17 RS
Revised: 5/10/17 RS
Revised: 8/2/17 RS
Revised: 8/17/17 JH
Revised: 9/5/17 RS
Revised: ----
Revised: ----
Revised: ----
Revised: ----

L-2.1

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OLDE QUARRY®

Whether your plans call for constructing a curved wall, seat wall, planters, steps, edging or even an outdoor kitchen, the look will be commanding and impressive with the antiqued finish of Olde Quarry. The flexibility of Olde Quarry makes it one of the most significant landscape design products available today. Available in a variety of colors, it can be matched to almost any paver project.

COLORS*

COFFEE CREEK

PRAIRIE

RIVER

SANDSTONE

SIERRA

We recommend Unilock's Ledgestone™ coping and pillar caps (page 96) to complement this great wall system.

PRODUCT SPECIFICATIONS

STANDARD/CORNER
4½" x 9" x 12"
(11.5cm x 23cm x 30cm)

15" UNIT
15" x 4½" x 9"
(38cm x 11.5cm x 23cm)

12" UNIT
12" x 4½" x 9"
(30.5cm x 11.5cm x 23cm)

9" UNIT
9" x 4½" x 9"
(23cm x 11.5cm x 23cm)

COPING
12" x 3" x 9"
(30.5cm x 7.5cm x 23cm)

100

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Crescent Garden
(6)Madison Planter-'Lemongrass'
Round Planter 34"x34"Ht.

Typical Summer Flower Display

POT STYLE
SHOWN NOT
TYPICAL

DETAILS

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PELOTON
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MADISON, WISCONSIN

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L-3.1

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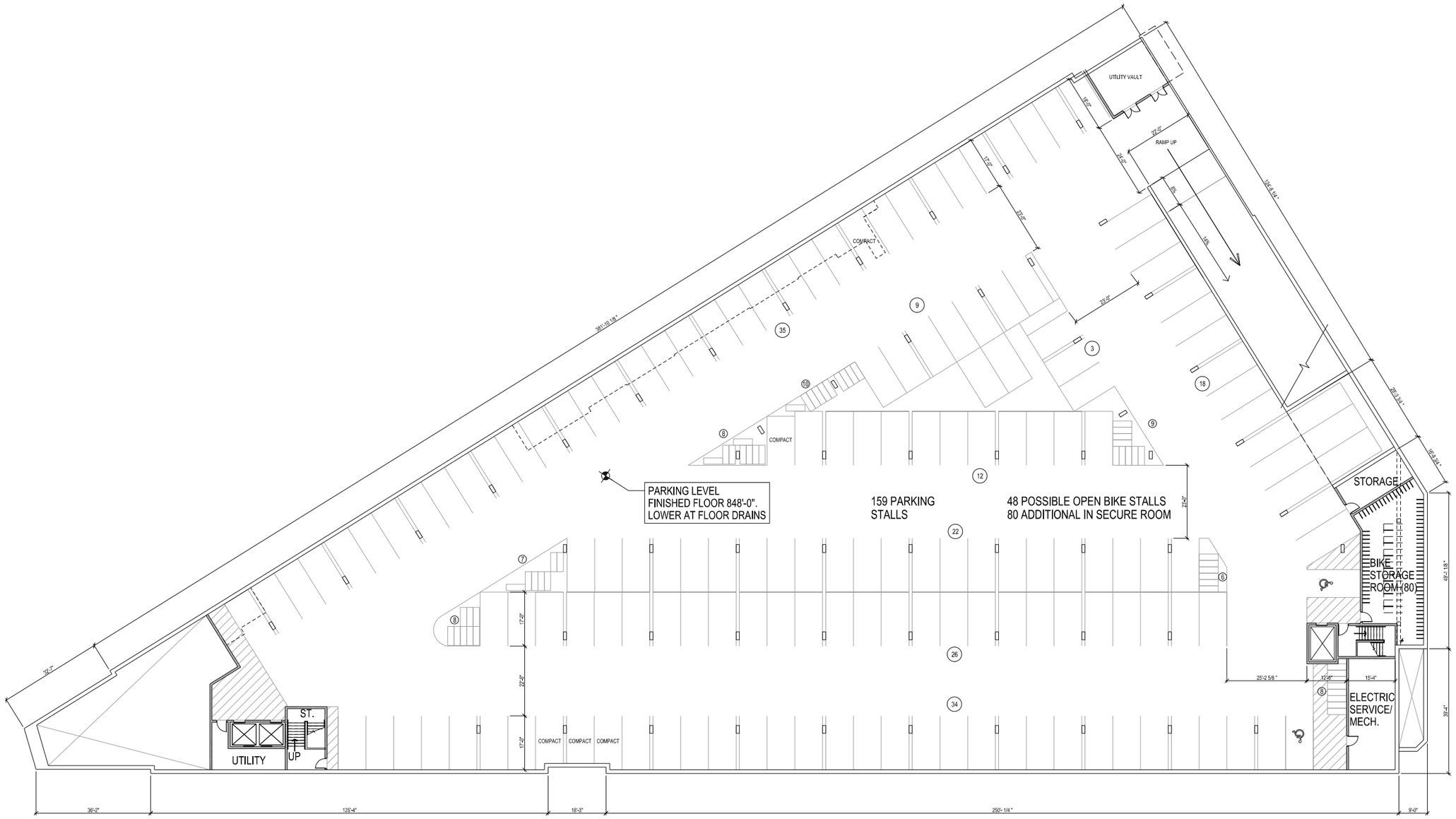

NORTH

PARKING LEVEL

SCALE: 1/16"=1'-0"

ISSUANCES

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OVERALL
PARKING LEVEL
PLAN

A100

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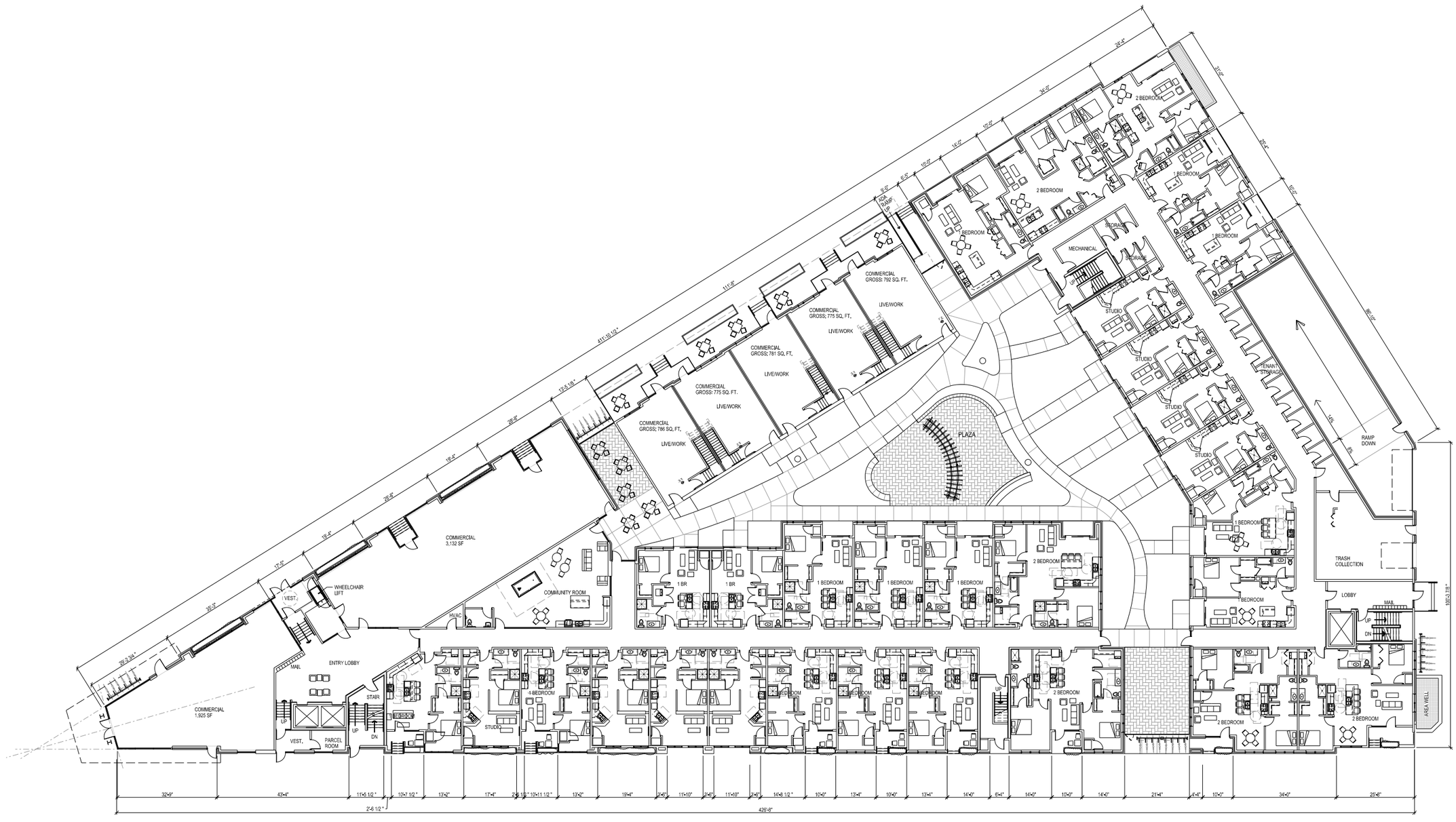

NORTH

FIRST FLOOR PLAN

SCALE: 1/16"=1'-0"

0 8' 16' 32'

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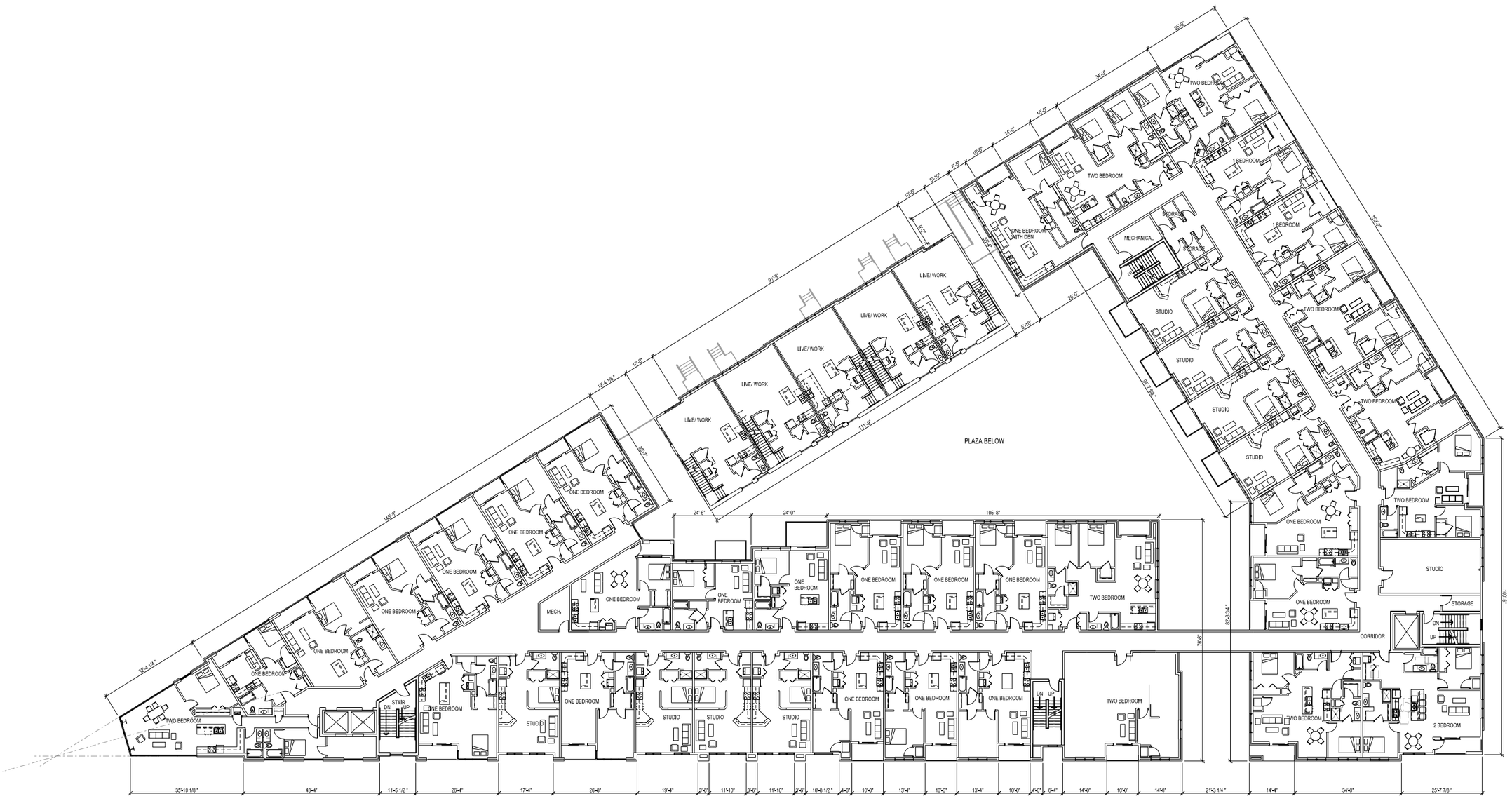
OVERALL FIRST FLOOR PLAN

A101



NORTH

SECOND FLOOR PLAN

SCALE: 1/16"=1'-0"

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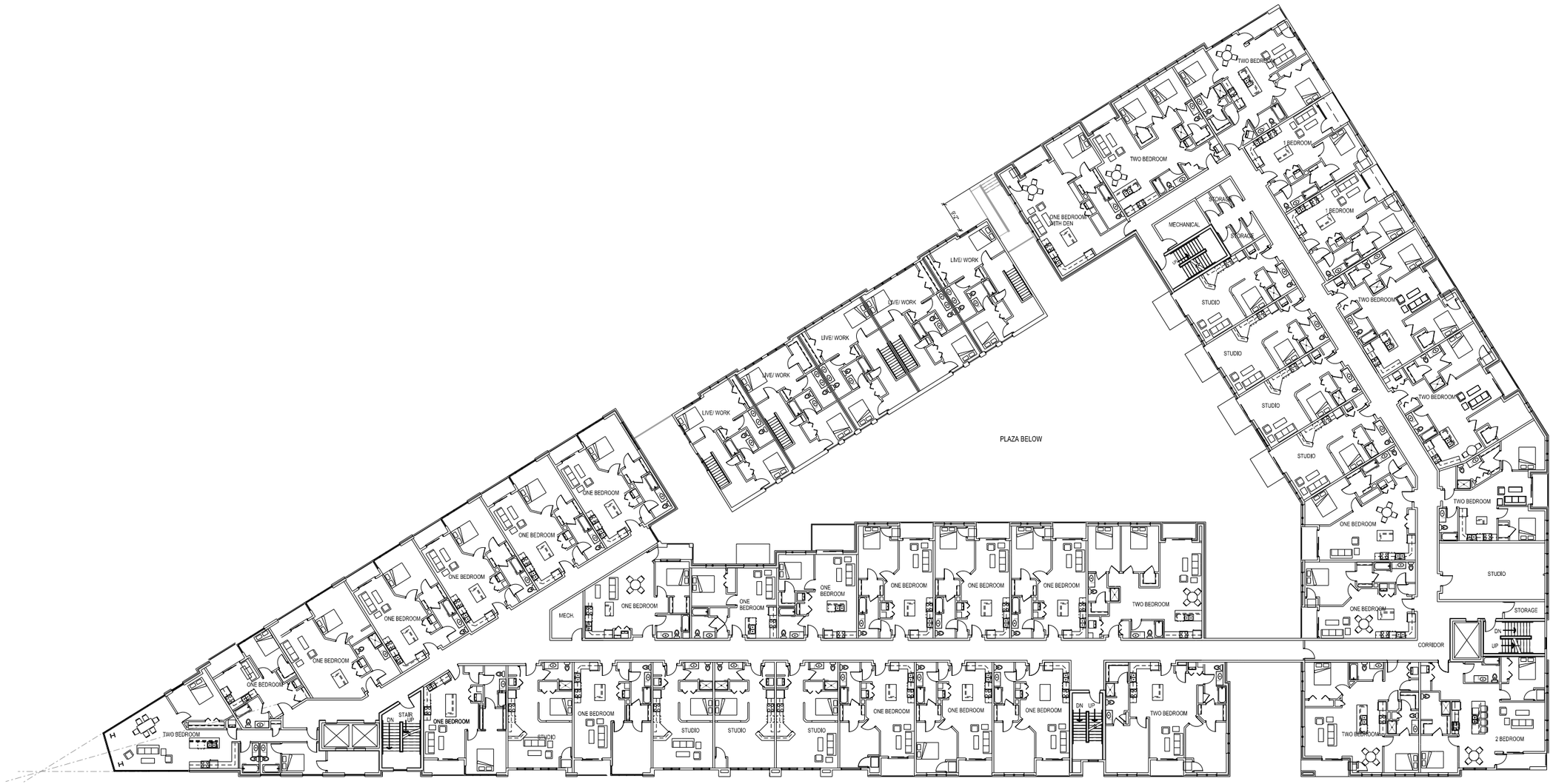
OVERALL SECOND FLOOR PLAN

A102



NORTH

THIRD FLOOR PLAN

SCALE: 1/16"=1'-0"

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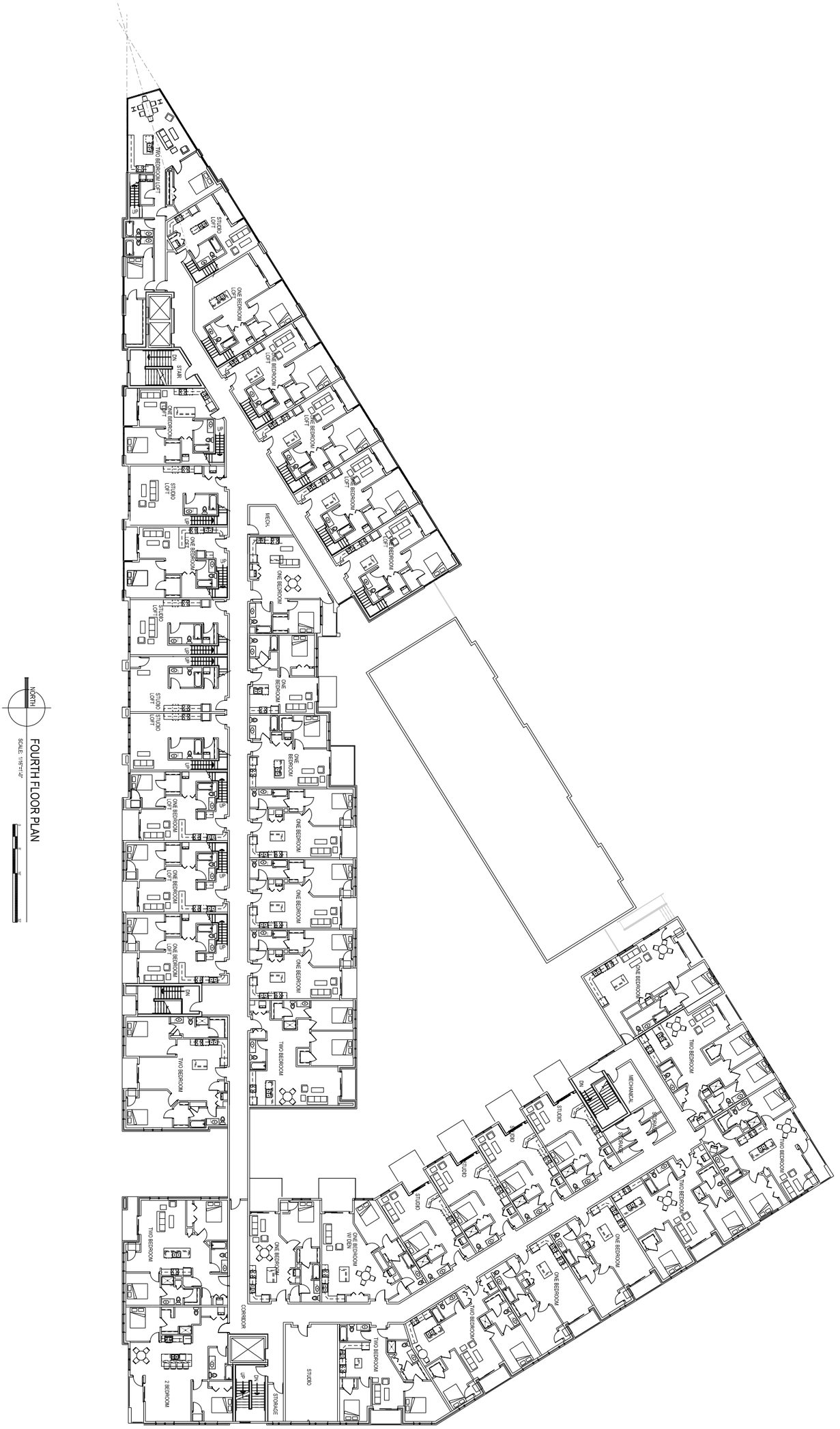
OVERALL THIRD FLOOR PLAN

A103



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A104

OVERALL FOURTH FLOOR PLAN

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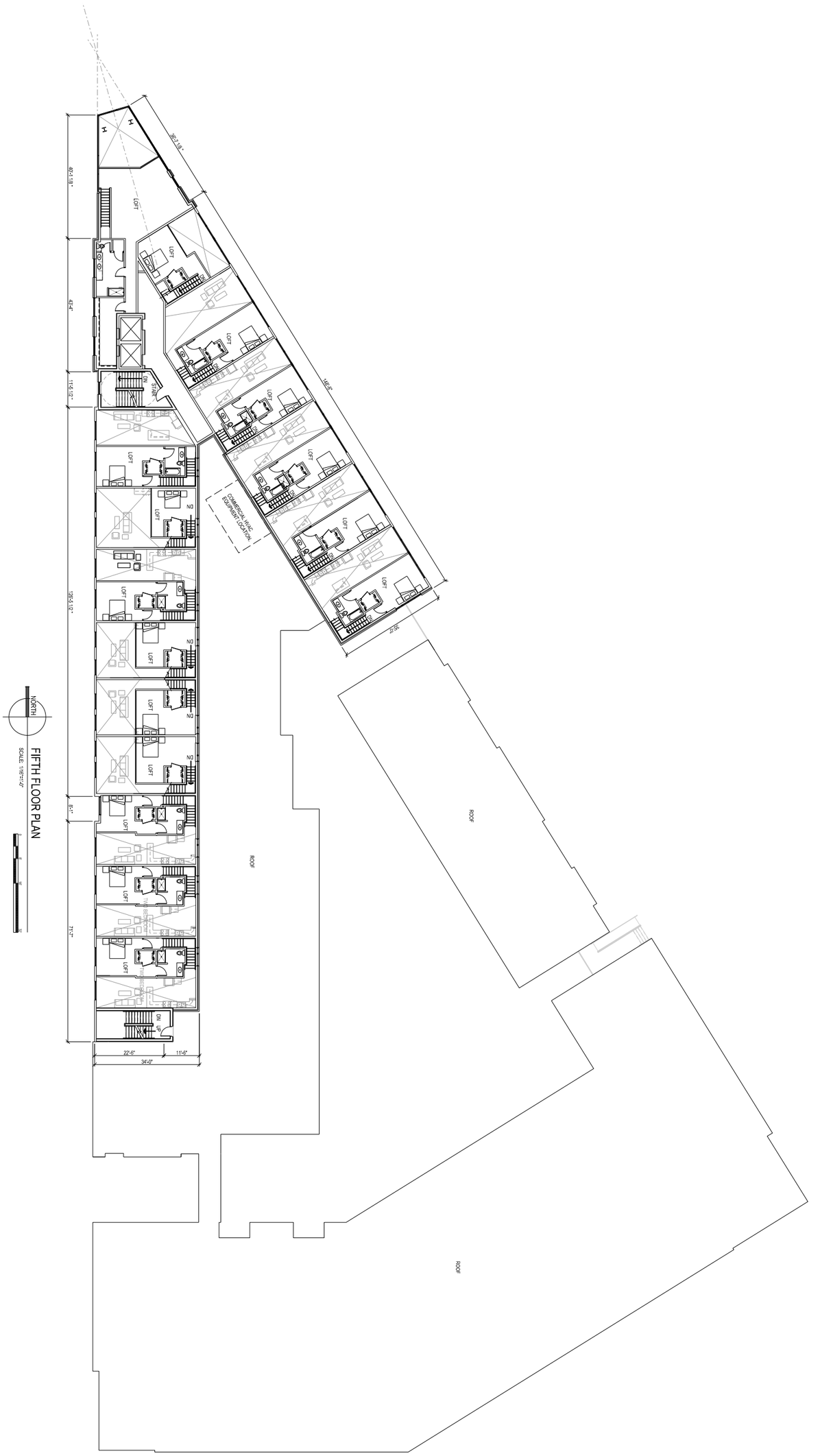

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A105

OVERALL FOURTH FLOOR PLAN

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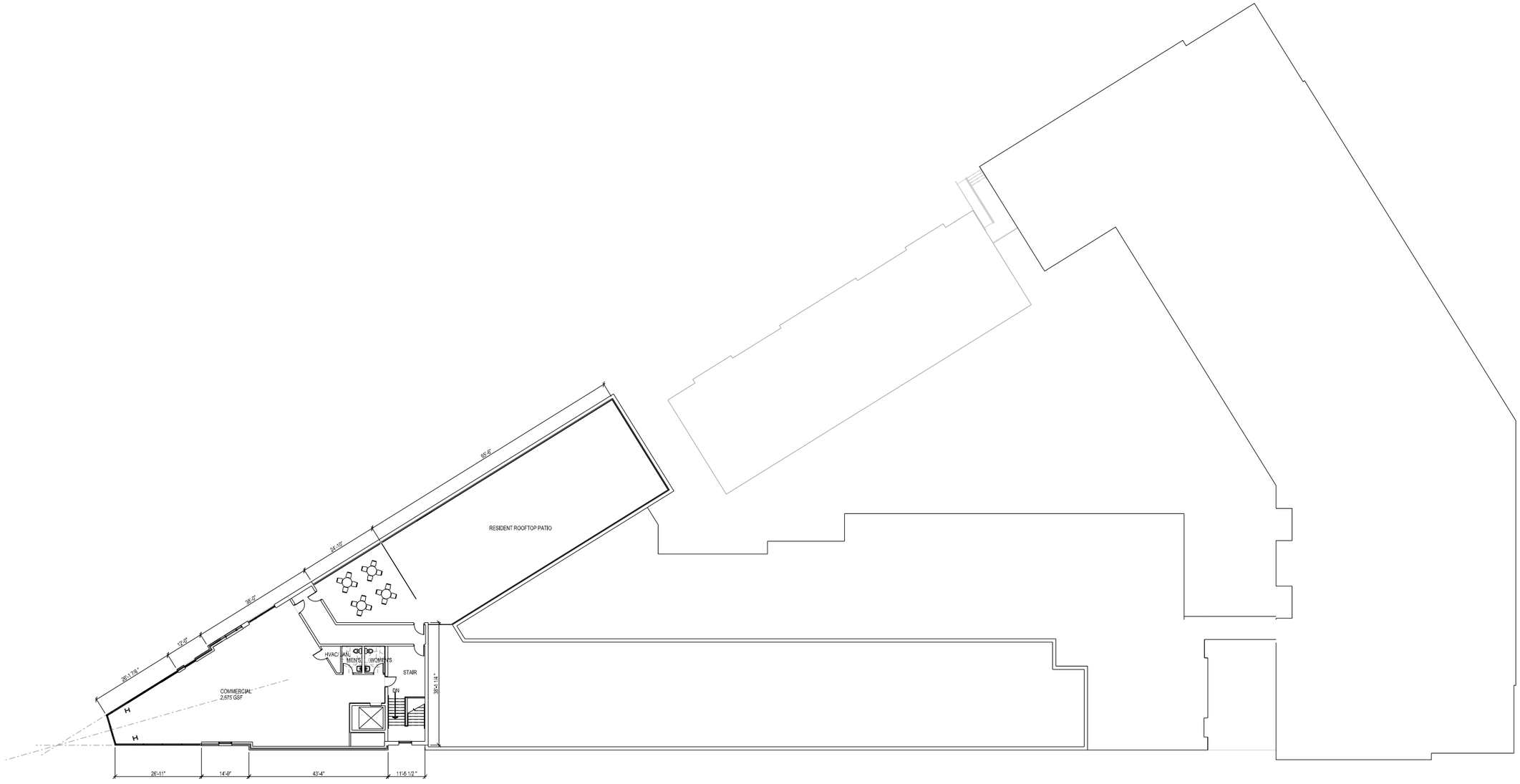

NORTH

SIXTH FLOOR PLAN

SCALE: 1/16"=1'-0"

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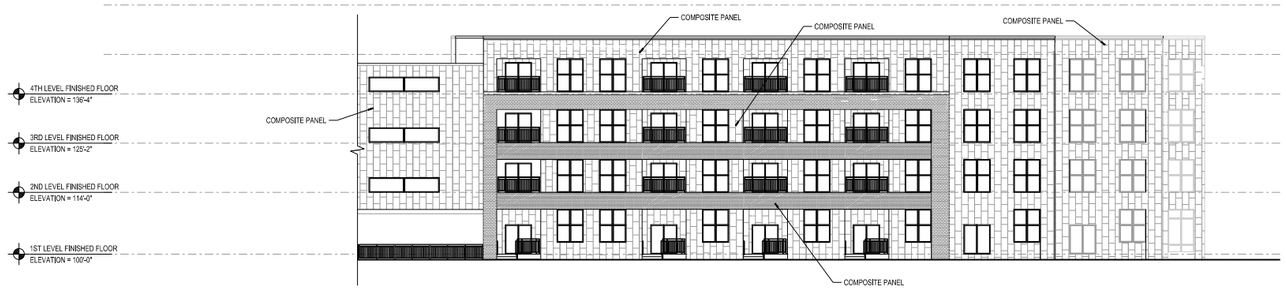
OVERALL 6TH FLOOR PLAN PLAN

A106

01 A401 PARK STREET ELEVATION (WEST)
SCALE: 1/16" = 1'-0"

02 A401 FISH HATCHERY STREET ELEVATION (EAST)
SCALE: 1/16" = 1'-0"



03 A401 WEST FACING COURTYARD ELEVATION
SCALE: 1/16" = 1'-0"

NOTE: FIXTURE TYPES DETNOTED WITH (XX), SEE ELECTRIAL FIXTURE SCHEDULE FOR TYPES.

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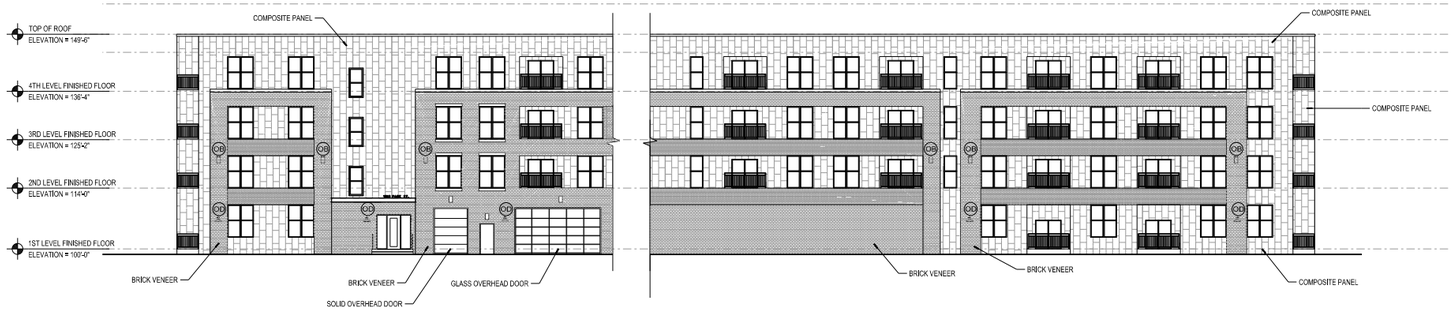
PROPOSED EXTERIOR ELEVATIONS

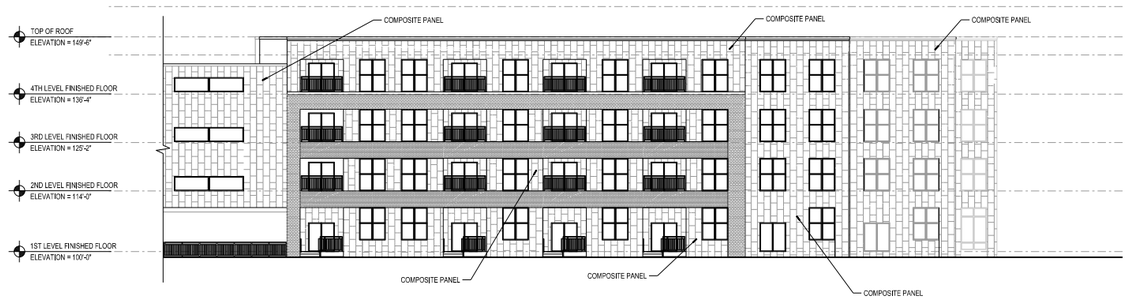
A401

SCALE: 1/16"=1'-0" JeffD
PLOTTED BY:
ORIGINAL SIZE = 24" x 36" X:\35830\cad\35830ph1A401.dgn



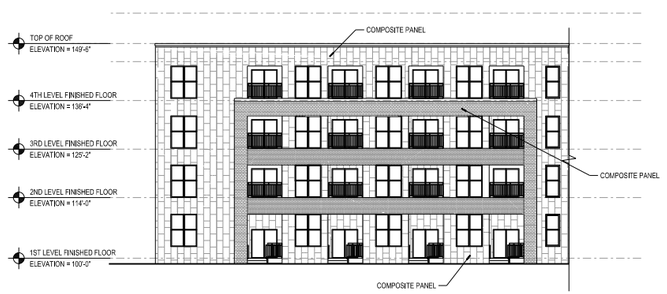
01 A401 SOUTH STREET ELEVATION (SOUTH)

SCALE: 1/16" = 1'-0"



02 A401 INTERIOR COURTYARD (WEST)

SCALE: 1/16" = 1'-0"



03 A401 INTERIOR COURTYARD (SOUTH)

SCALE: 1/16" = 1'-0"

NOTE: FIXTURE TYPES DETNOTED WITH (XX) , SEE ELECTRIAL FIXTURE PACKET FOR TYPES.

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PROPOSED EXTERIOR ELEVATIONS

A401

SCALE: 1/16"=1'-0"
PLOTTED BY: JeffD

ORIGINAL SIZE = 24" x 36"
X:\59830\cad\59830sht\A402.dgn

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Wattage
	OA1	6	EATON - LUMARK (FORMER COOPER LIGHTING)	XTOR1B-W	CROSSTOUR 12W WALL MOUNT LED	EATON LED 4000K	1	1396	12.2
	OA2	5	COOPER LIGHTING - LUMARK	XTOR2A-N	LUMARK CROSSTOUR LED WALL PACK - 20W - 3500K WITH SPECULAR REFLECTOR, CLEAR LENS AND ALUMINUM HEATSINK		1	947	19.8
	OB	7	LIGMAN	UJE-31771-M-W40	Jet square wall up-down light 4.02 LED	2X7 LED 4000K	2	680	24.6
	OC	125	EATON - HALO (FORMER COOPER LIGHTING)	ML5606840-691WB	HALO 6 INCH ML56 600 SERIES LED DOWNLIGHT WITH WHITE POLYMER BAFFLE REFLECTOR	(1) HIGH LUMEN LED 80CRI / 4000K CCT ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHYTOMETER WITH TEST DISTANCE OF 28.75 FEET	1	648	9
	OD	16	RAB LIGHTING, INC.	GNLED13YACB/FLOOD REF/FROSTED LENS	CAST FINNED METAL HOUSING, ONE CIRCUIT BOARD WITH ONE LED, SPUN SEMI-SPECULAR METAL REFLECTOR, FROSTED FLAT GLASS LENS IN CAST BLACK PAINTED METAL TRIM RING, LENS FROSTED SIDE UP.	ONE WHITE MULTI-CHIP LIGHT EMITTING DIODE (LED) WITH LEDS ARRANGED IN AN ARRAY OF THREE LINEAR ROWS, VERTICAL BASE-UP POSITION.	1	343	15.6

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ALLEYWAY	+	0.4 fc	8.0 fc	0.0 fc	N/A	N/A
EAST CURB	+	0.2 fc	0.4 fc	0.0 fc	N/A	N/A
FISH HATCHERY SIDEWALK PASSED THE PROPERTY LINE	+	0.2 fc	1.6 fc	0.0 fc	N/A	N/A
PARK ST SIDEWALK	+	1.2 fc	26.2 fc	0.0 fc	N/A	N/A
PARK ST SIDEWALK PASSED PROPERTY LINE	+	0.5 fc	2.1 fc	0.0 fc	N/A	N/A
PLAZA AREA	+	1.9 fc	19.0 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	0.3 fc	2.2 fc	0.0 fc	N/A	N/A

GENERAL EXTERIOR LIGHTING NOTES

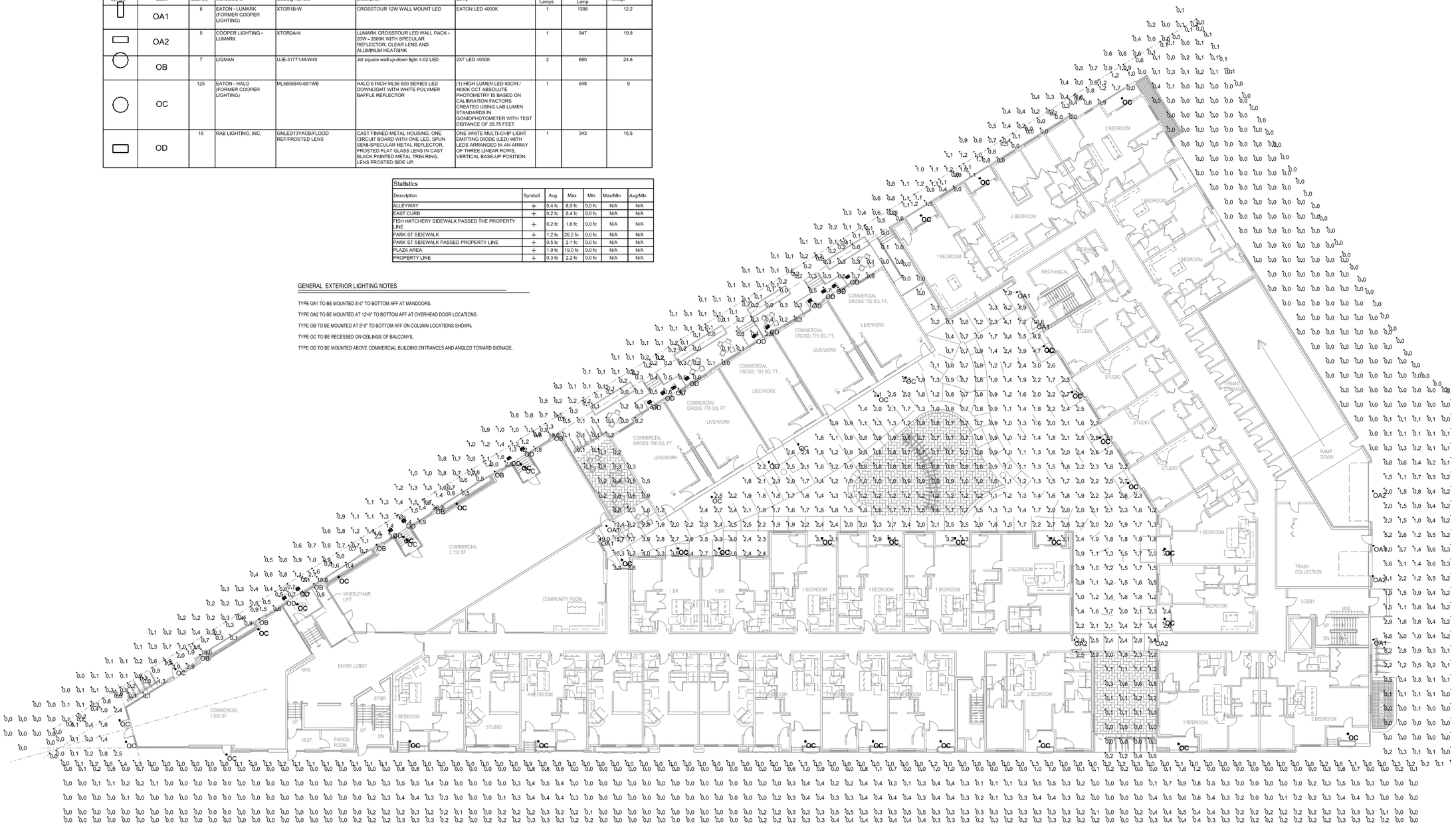
TYPE OA1 TO BE MOUNTED 8'-0" TO BOTTOM AFF AT MANDOORS.

TYPE OA2 TO BE MOUNTED AT 12'-0" TO BOTTOM AFF AT OVERHEAD DOOR LOCATIONS.

TYPE OB TO BE MOUNTED AT 8'-0" TO BOTTOM AFF ON COLUMN LOCATIONS SHOWN.

TYPE OC TO BE RECESSED ON CEILINGS OF BALCONYS.

TYPE OD TO BE MOUNTED ABOVE COMMERCIAL BUILDING ENTRANCES AND ANGLED TOWARD SIGNAGE.



NORTH

SITE LIGHTING PHOTOMETRICS

SCALE: 1/16"=1'-0"

0 8' 16' 32'

SCALE: 1/16"=1'-0"
PLOTTED BY: cdlink
ORIGINAL SIZE = 24" x 36"
X:\0843\cad\59830\e510.dgn

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MADISON, WISCONSIN

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REVIEWED BY XXX
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9/5/2017 2:26:53 PM

SITE LIGHTING PHOTOMETRICS

E510

"BUILDING" A:

TOTAL EXTERIOR PERIMETER = 527'-11"
AERIAL ACCESS = 164'-8" (31.19%)
Note: If existing overhead power lines on Fish Hatchery are buried, we will gain an additional 65'-0" of perimeter aerial access.

"BUILDING" B:

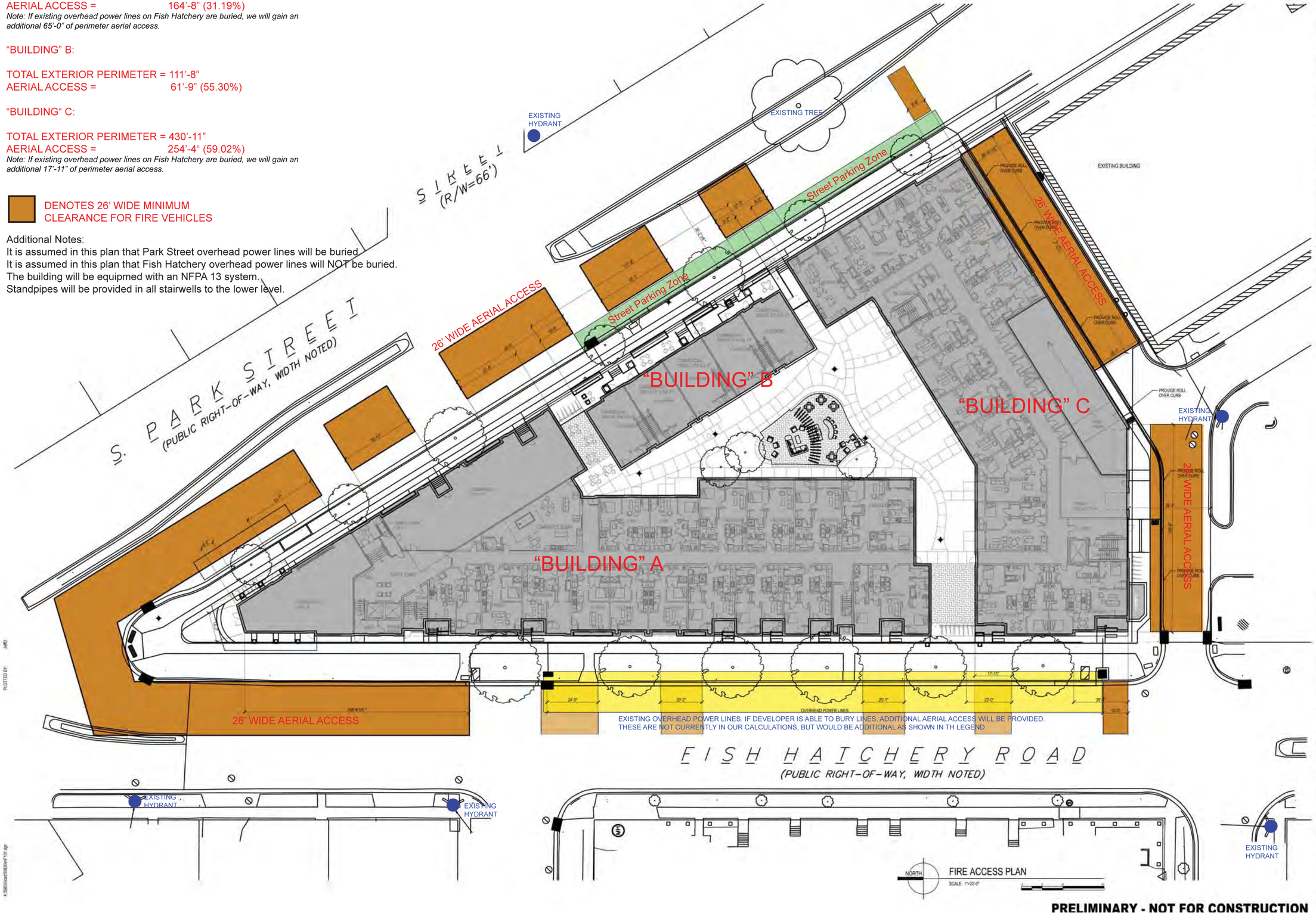
TOTAL EXTERIOR PERIMETER = 111'-8"
AERIAL ACCESS = 61'-9" (55.30%)

"BUILDING" C:

TOTAL EXTERIOR PERIMETER = 430'-11"
AERIAL ACCESS = 254'-4" (59.02%)
Note: If existing overhead power lines on Fish Hatchery are buried, we will gain an additional 17'-11" of perimeter aerial access.

DENOTES 26' WIDE MINIMUM CLEARANCE FOR FIRE VEHICLES

Additional Notes:
It is assumed in this plan that Park Street overhead power lines will be buried.
It is assumed in this plan that Fish Hatchery overhead power lines will NOT be buried.
The building will be equipmed with an NFPA 13 system.
Standpipes will be provided in all stairwells to the lower level.



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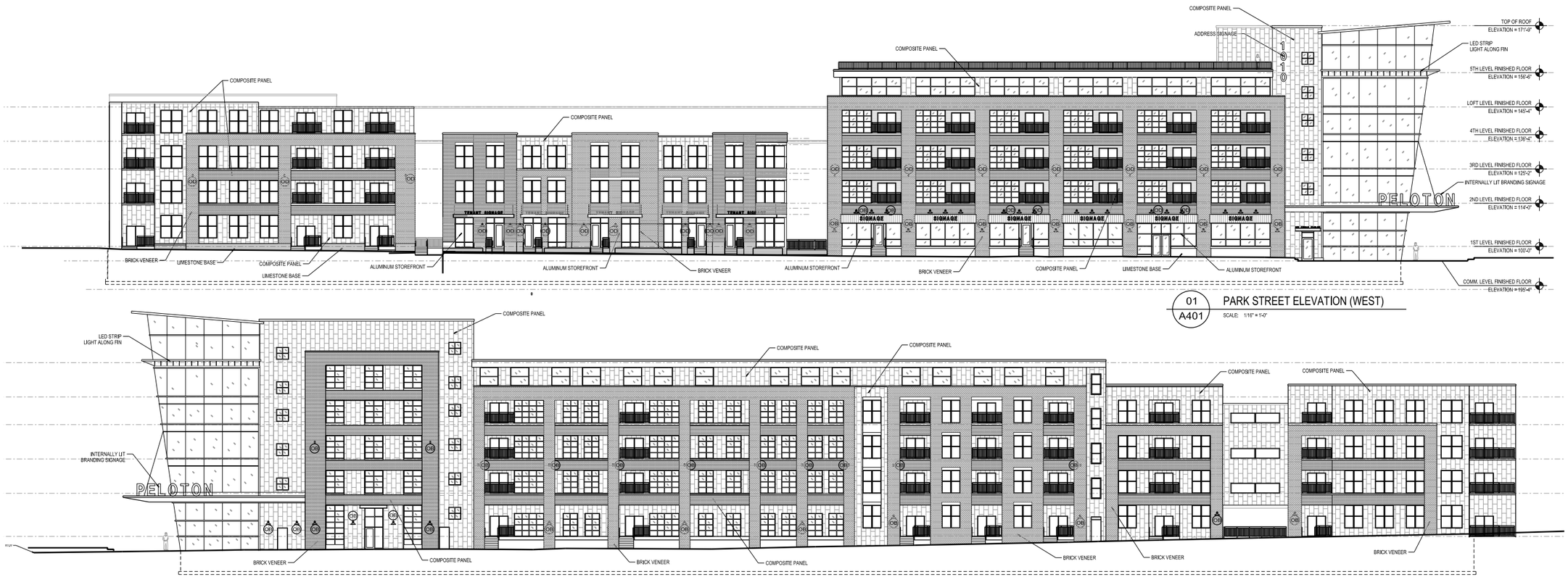
FIRE ACCESS PLAN

F101



01 A401 PARK STREET ELEVATION (WEST)

SCALE: 1/16" = 1'-0"

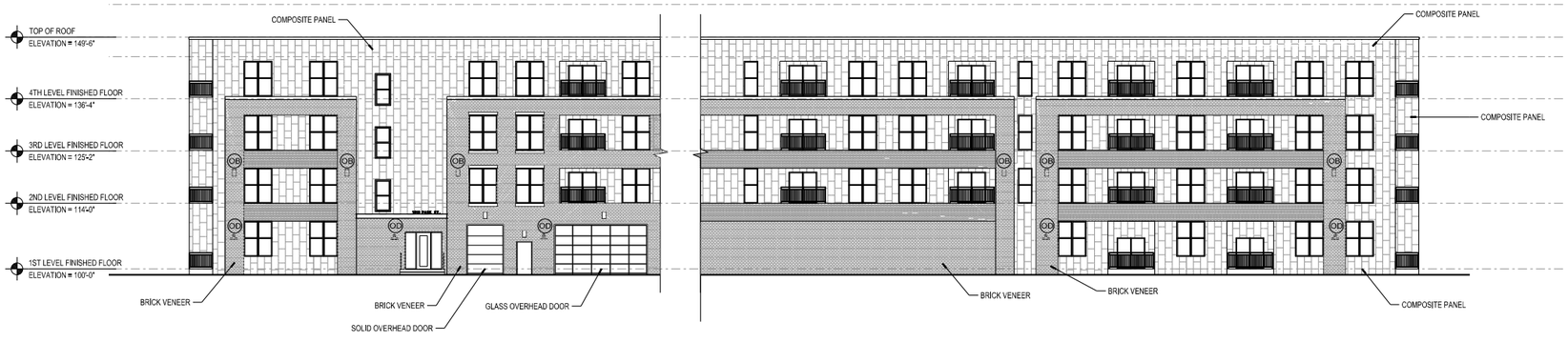
Exterior Materials:
Limestone Base
Brick Veneer
Composite siding and flat panel
Fiberglass and Vinyl Windows for residential
Aluminum storefront for commercial
Aluminum curtainwall at prow
Aluminum trim and fascia

PELOTON PLACE RESIDENCES

Angus Young 1956-2016 Balance in Creativity

PARK STREET and FISH HATCHERY ELEVATIONS

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017



01 A401 SOUTH STREET ELEVATION (SOUTH)
SCALE: 1/16" = 1'-0"

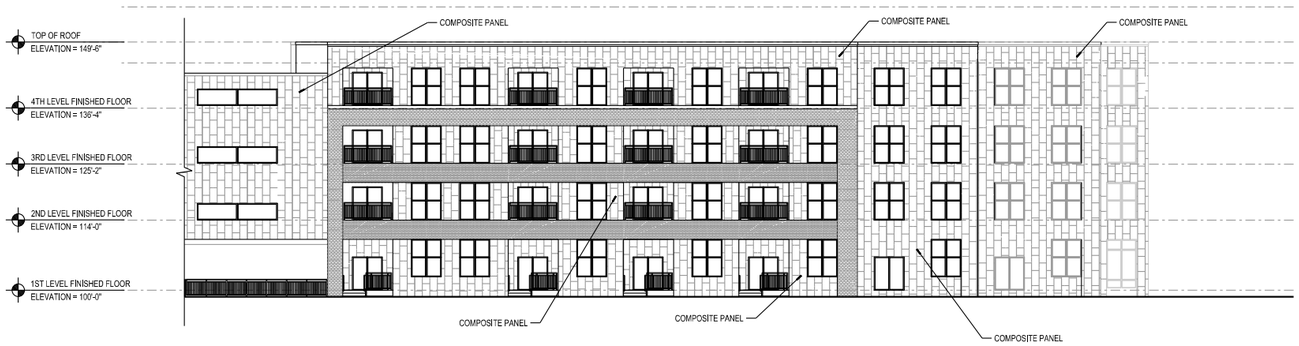
Exterior Materials:
Limestone Base
Brick Veneer
Composite siding and flat panel
Fiberglass and Vinyl Windows for residential
Aluminum storefront for commercial
Aluminum curtainwall at prow
Aluminum trim and fascia

PELOTON PLACE RESIDENCES

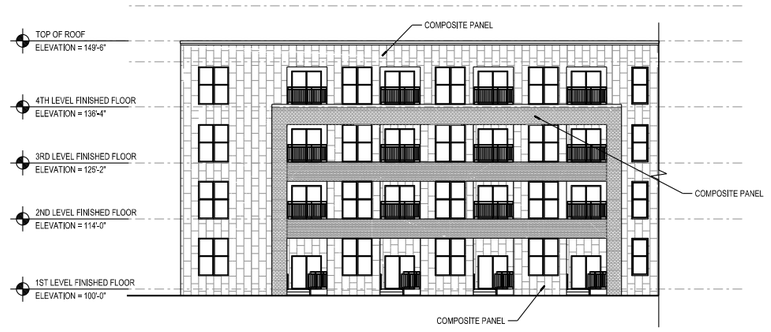
Angus Young 1956-2016 Balance in Creativity

SOUTH ELEVATIONS

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017



02 A401 INTERIOR COURTYARD (WEST)
SCALE: 1/16" = 1'-0"



03 A401 INTERIOR COURTYARD (SOUTH)
SCALE: 1/16" = 1'-0"

NOTE: FIXTURE TYPES DETNOTED WITH (XX) . SEE ELECTRIAL FIXTURE PACKET FOR TYPES.

Exterior Materials:

Limestone Base
Brick Veneer
Composite siding and flat panel
Fiberglass and Vinyl Windows for residential
Aluminum storefront for commercial
Aluminum curtainwall at prow
Aluminum trim and fascia

PELOTON PLACE RESIDENCES

Angus Young 1956-2016 Balance in Creativity

INTERIOR COURTYARD ELEVATIONS

PELOTON PLACE
RESIDENCES

RENDERED AND SHADOWED ELEVATIONS - Fish Hatch

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017

PELOTON PLACE
RESIDENCES

RENDERED AND SHADOWED ELEVATIONS - Park St.

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017

PELOTON PLACE
RESIDENCES

RENDERED AND SHADOWED ELEVATIONS - South St.

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017

PELOTON PLACE
RESIDENCES

PROPOSED PERSPECTIVE RENDERINGS - Prow

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017

PELOTON PLACE
RESIDENCES

PROPOSED PERSPECTIVE RENDERINGS - Prow

PELOTON PLACE
RESIDENCES

Angus
Young
1956-2016
Balance in Creativity

PROPOSED PERSPECTIVE RENDERINGS - Live/Work

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017

PELOTON PLACE
RESIDENCES

PROPOSED PERSPECTIVE RENDERINGS - Fish Hatchery

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017

PELOTON PLACE
RESIDENCES

Angus Young 1956-2016 Balance in Creativity

PROPOSED PERSPECTIVE RENDERINGS - Fish Hatchery

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017

PELOTON PLACE
RESIDENCES

Angus Young
1956-2016
Balance in Creativity

PROPOSED PERSPECTIVE RENDERINGS - Park Street

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017

PELOTON PLACE
RESIDENCES

PROPOSED PERSPECTIVE RENDERINGS - South Street

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017

PELOTON PLACE
RESIDENCES

Angus Young
1956-2016
Balance in Creativity

PROPOSED PERSPECTIVE RENDERINGS - Courtyard

1010-1024 SOUTH PARK STREET · URBAN DISTRICT 7 · PELOTON PLACE RESIDENCES September 6, 2017

PELOTON PLACE
RESIDENCES

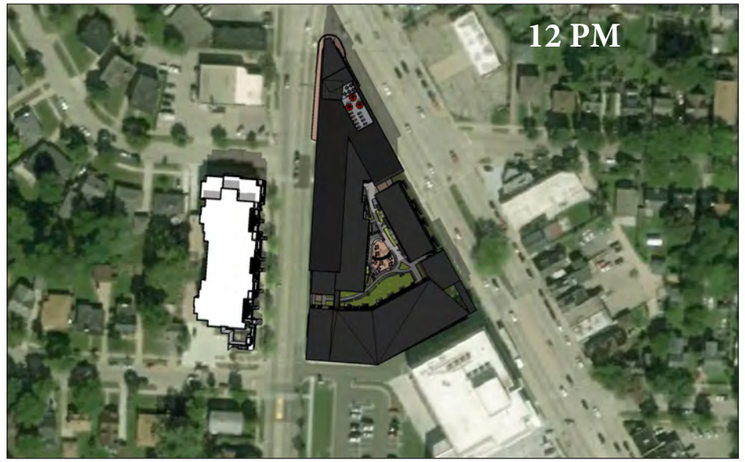
Angus Young
1956-2016
Balance in Creativity

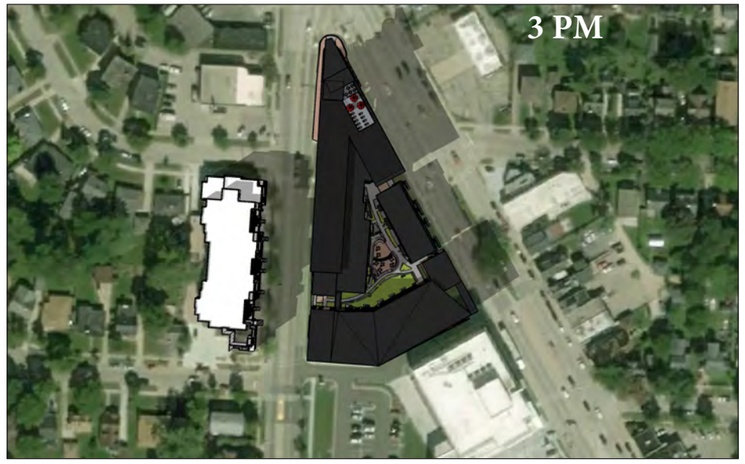
PROPOSED PERSPECTIVE RENDERINGS - Courtyard

PELOTON PLACE
RESIDENCES

Angus Young
1956-2016
Balance in Creativity

PROPOSED PERSPECTIVE RENDERINGS - Courtyard



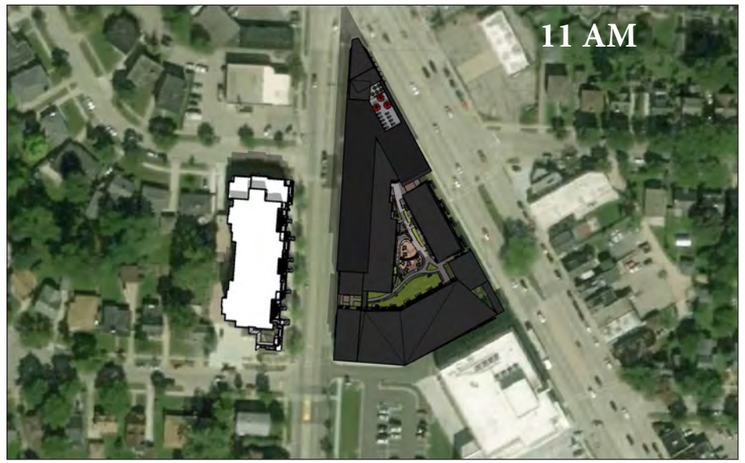


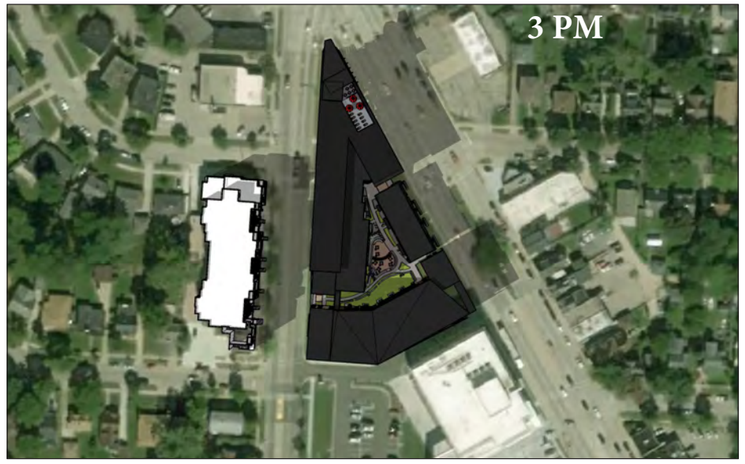
EXTERIOR SHADOW STUDY: MARCH 21ST

Angus Young
1956 - 2016
Balance in Creativity

EXTERIOR SHADOW STUDY: JUNE 21ST

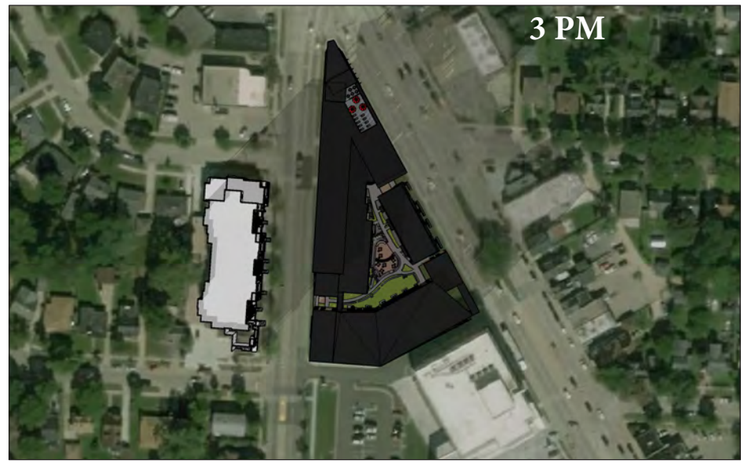
Angus Young
1956-2016
Balance in Creativity





EXTERIOR SHADOW STUDY: SEPTEMBER 21ST

Angus Young
1956 - 2016
Balance in Creativity



EXTERIOR SHADOW STUDY: DECEMBER 21ST

Angus Young
1956-2016
Balance in Creativity

Lumark

DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaries provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

Catalog #		**Type**
Project		OA1 & OA2
Comments	OA1 MOUNT 8'-0" TO BOTTOM AFF AT MAN DOOR OA2 MOUNT 12'-0" TO BOTTOM AFF AT OVERHEAD DOOR	**Date**
Prepared by		

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K and 4000K CCT.

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

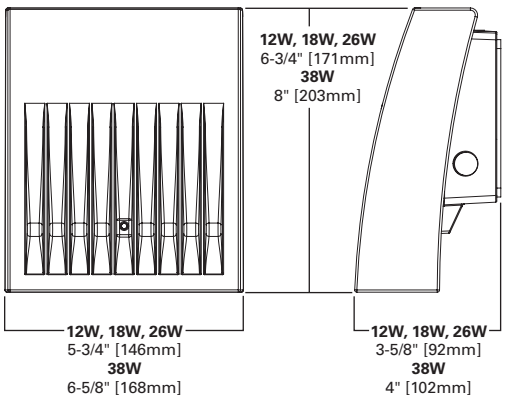
Warranty

Five-year warranty.

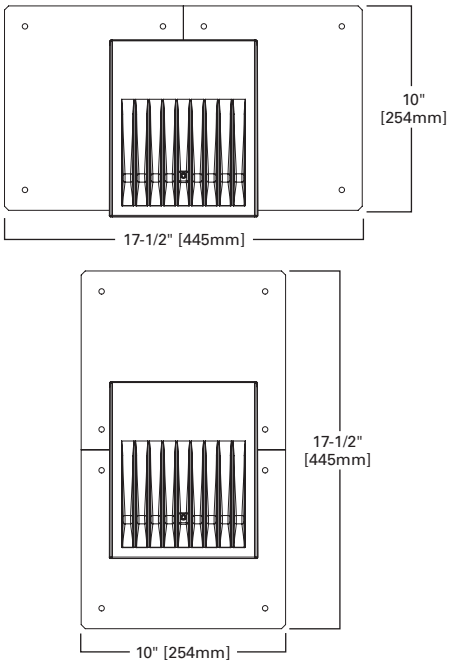
XTOR
CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA

UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingressed Protection Rated
Title 24 Compliant
DesignLights Consortium™ Qualified*

TECHNICAL DATA

40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

Effective Projected Area (Sq. Ft.):
XTOR1B, XT0R2B, XT0R3B=0.34
XTOR4B=0.45

SHIPPING DATA:

Approximate Net Weight:
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

*www.designlights.org

LUMENS - CRI/CCT TABLE

LED Information	XTOR1B	XTOR1B-W	XTOR2B	XTOR2B-W	XTOR3B	XTOR3B-W	XTOR4B	XTOR4B-W
Delivered Lumens (Wall Mount)	1,418	1,396	2,135	2,103	2,751	2,710	4,269	4,205
Delivered Lumens (With Flood Accessory Kit) [1]	1,005	990	1,495	1,472	2,099	2,068	3,168	3,121
B.U.G. Rating [2]	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B2-U0-G0	B2-U0-G0
CCT (Kelvin)	5,000	4,000	5,000	4,000	5,000	4,000	5,000	4,000
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70
Power Consumption (Watts)	12W	12W	18W	18W	26W	26W	38W	38W

NOTES: 1 Includes shield and visor. **2** B.U.G. Rating does not apply to floodlighting.

CURRENT DRAW

Voltage	Model Series			
	XTOR1B	XTOR2B	XTOR3B	XTOR4B
120V	0.103A	0.15A	0.22A	0.34A
208V	0.060A	0.09A	0.13A	0.17A
240V	0.053A	0.08A	0.11A	0.17A
277V	0.048A	0.07A	0.10A	0.15A
347V	0.039A	0.06A	0.082A	0.12A

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
XTOR1B Model		
25°C	> 90%	255,000
40°C	> 89%	234,000
50°C	> 88%	215,000
XTOR2B Model		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR3B Model		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR4B Model		
25°C	> 89%	222,000
40°C	> 87%	198,000
50°C	> 87%	184,000

ORDERING INFORMATION

Sample Number: XTOR2B-W-WT-PC1

OA1

OA2

Series	**LED Kelvin Color**	**Housing Color**	**Options** (Add as Suffix)	**Accessories** (Order Separately)
XTOR1B=Small Door, 12W **XTOR2B**=Small Door, 18W **XTOR3B**=Small Door, 26W **XTOR4B**=Medium Door, 38W	**[Blank]**=Bright White (Standard), 5000K **W**=Neutral White, 4000K	**[Blank]**=Carbon Bronze (Standard) **WT**=Summit White **BK**=Black **BZ**=Bronze **AP**=Grey **GM**=Graphite Metallic **DP**=Dark Platinum	**PC1**=Photocontrol 120V [1] **PC2**=Photocontrol 208-277V [1, 2] **347V**=347V [3] **HA**=50°C High Ambient [3]	**WG/XTOR**=Wire Guard [4] **XTORFLD-KNC**=Knuckle Floodlight Kit [5] **XTORFLD-TRN**=Trunnion Floodlight Kit [5] **XTORFLD-KNC-WT**=Knuckle Floodlight Kit, Summit White [5] **XTORFLD-TRN-WT**=Trunnion Floodlight Kit, Summit White [5] **EWP/XTOR**=Escutcheon Wall Plate, Carbon Bronze **EWP/XTOR-WT**=Escutcheon Wall Plate, Summit White

NOTES:
1. Photocontrols are factory installed.
2. Order PC2 for 347V models.
3. Thru-branch wiring not available with HA option or with 347V. Not available with XTOR3B and XTOR4B.
4. Wire guard for wall/surface mount. Not for use with floodlight kit accessory.
5. Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

STOCK ORDERING INFORMATION

12W Series	18W Series	26W Series	38W Series
XTOR1B=7W, 5000K, Carbon Bronze	**XTOR2B**=18W, 5000K, Carbon Bronze	**XTOR3B**=26W, 5000K, Carbon Bronze	**XTOR4B**=38W, 5000K, Carbon Bronze
XTOR1B-WT=12W, 5000K, Summit White	**XTOR2B-W**=18W, 4000K, Carbon Bronze	**XTOR3B-W**=26W, 4000K, Carbon Bronze	**XTOR4B-W**=38W, 4000K, Carbon Bronze
XTOR1B-PC1=12W, 5000K, 120V PC, Carbon Bronze	**XTOR2B-WT**=18W, 5000K, Summit White	**XTOR3B-WT**=26W, 5000K, Summit White	**XTOR4B-WT**=38W, 5000K, Summit White
XTOR1B-W=12W, 4000K, Carbon Bronze	**XTOR2B-PC1**=18W, 5000K, 120V PC, Carbon Bronze	**XTOR3B-PC1**=26W, 5000K, 120V PC, Carbon Bronze	**XTOR4B-PC1**=38W, 5000K, 120V PC, Carbon Bronze
XTOR1B-W-PC1=12W, 4000K, 120V PC, Carbon Bronze	**XTOR2B-W-PC1**=18W, 4000K, 120V PC, Carbon Bronze		**XTOR4B-W-PC1**=38W, 4000K, 120V PC, Carbon Bronze

LUMINAIRE SPECIFICATION

Head Office:
7144 NW Progress Ct
Hillsboro, Oregon 97124
Tel: 503-645-0500
Fax: 503-645-8100
www.ligmanlightingusa.com

IP65 : Suitable for Wet Locations
IK08 : Impact Resistant (Vandal Resistant)

UJE-31771

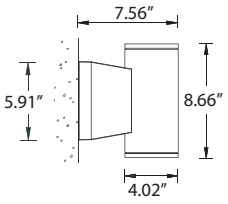
OB

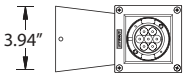
Jet square wall up-down light LED

Wall luminaires with a selection of beam distributions for various downward or upward lighting requirements. Designed to illuminate the wall surface and for light accents on vertical surfaces.
They are suitable for many applications such as residential and pedestrian areas, shopping malls, parks and gardens, as well as commercial, historic or modern architectural interiors and exteriors. The luminaires have features such as long life, limited maintenance and constant lifetime performance. The cool lens is perfect for public and pedestrian areas. The luminaires use a high quality LED source with low energy consumption and long service life 50,000 - 80,000 hrs.
The luminaire is rated as class I with the high power LED integral driver. Low copper content die-cast aluminum housing and frame. Stainless steel screws. Durable silicone rubber gasket and clear toughened glass. Single cable entry. Housing is treated with a chemical chromatized protection before powder coating, ensuring high corrosion resistance. Anodized high purity aluminum reflector.
High power LED with three different beam distribution options in 2700K, 3000K and 4000K. Consult factory for additional colors. Mounting plate for 3" junction box is provided with the fixture.

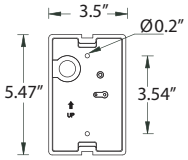
Physical Data

Length: 7.56"
Height: 8.66"
Weight: 6.8 lbs

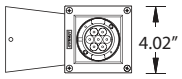




Top view



Mounting detail



Bottom view

Lamp

☒ 24w - 1420lm - White - LED

Beam Angle (Please Specify)
☐ N - Narrow Beam: 19 Deg
☒ M - Medium Beam: 25 Deg
☐ W - Wide Beam: 34 Deg

LED Color (Please Specify)

☐ W27 - 2700K
☒ W30 - 3000K
☐ W40 - 4000K

Voltage (Please Specify)

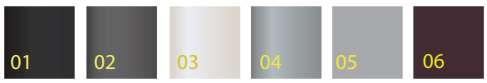
☒ 120V
☐ 277V
☐ Other _____

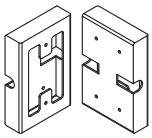
Options (Please Specify)

☐ F - Frosted Lens
☐ C - Clear Lens

Color (Please Specify)

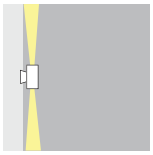
☐ 01-Black - RAL 9011
☐ 02- Dark Grey - RAL 7043
☐ 03-White - RAL 9003
☐ 04 - Metallic Silver - RAL 9006
☐ 05-Matt Silver - RAL 9006
☐ 07- Custom - RAL _____
☐ 06-Bronze - RAL 6014

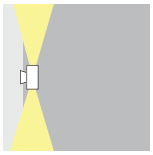


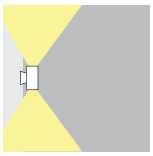


☐ SCE - Surface Conduit Entry Box - ☐ 1/2" ☐ 3/4"

☐ 4" Mounting Plate for Junction Box


Narrow


Medium


Wide

Ordering Example : UJE - 31771 - White-24w - N - W30 - 120v - Options

PROJECT: _____ DATE: _____

TYPE: _____ QUANTITY: _____ NOTE: _____

Rev: 11/13

HALO®

Description

The Halo ML56 LED Downlighting System is a series of modular LED Light Modules for use with designated 5" or 6" ML56 LED trims in new construction, remodel and retrofit installation. Compatible with Halo 5" H550 and 6" H750, H2750 Series LED housings. And in retrofit of existing housings the ML56 Series fits 5" or 6" Halo, All-Pro, and others. ML56 system offers shallow trims for installation in Halo, All-Pro and others shallow housings. ML56 Light Modules are offered in 600 Series, 900 Series, and 1200 Series, 80CRI or 90CRI, and four color temperatures 2700K, 3000K, 3500K, 4000K. ML56 Light Modules are universal voltage 120V – 277V and dimmable at 120V. The ML56 lens provides uniform diffuse illumination standard.

Catalog #		Type
Project		OC
Comments		Date
Prepared by		9/20/2016

Specification Features

Mechanical

Light Module
- Module includes LED package, LED driver, heat sink, and lens
- Durable die-cast aluminum construction.
- Heat sink designed to conduct heat away from the LED keeping the junction temperatures below specified maximums, including insulated ceiling environments

Lens
- Impact-resistant polycarbonate
- Convex form for lamp-like appearance
- High lumen transmission
- Diffusing for even illumination

Mounting
- Light Modules attach to reflector and baffle trims via locking tabs, and attach to eyeballs via keyed twist-to-lock mating bosses
- The complete light module and trim assembly installs into housings with precision formed torsion springs located on the trim
- Friction Blade mounting is an alternate option using the accessory 6" Friction Blade Kit model ML56CLIP (order separately). Friction blades provide alternative to torsion springs for retrofit in 6" housings without torsion mounting tabs. The stainless steel friction blades allow the ML56 to be installed in a wider range of housings, and allow rotation in the housing aperture (360 degrees).

Housing Compatibility

A complete ML56 system includes a LED Light Module, LED trim, and a compatible housing (new construction, remodel, or existing retrofit). Housing compatibility in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims). Refer to Housing – Trim Section in this document.

LED
- 600 Series = 600 design lumens typical.
- Delivered lumens vary depending upon CRI, color temperature, and trim finish.
- Color Temperature options: 2700K, 3000K, 3500K, 4000K
- CRI: 80
- L70 at 50,000 hours, projected in accordance with IES TM-21
- LED is a chip on board design consisting of a multiple LED package to create one virtual light source for a productive "cone of light"

Color Specification & Quality Standards
- A tight chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED color uniformity of 3 SDCM, exceeds ENERGY STAR® color standards per ANSI C78.377- 2008.
- Every Halo LED Light Module is quality tested and performance measured, and then serialized in a permanent record to register lumens, wattage, CRI and CCT.
- Halo LED serialized testing and measurement process ensures color and lumen consistency on a per-unit basis, and validates long-term product consistency over time
- Halo ML56 LED Light Modules include lumen, CRI, and CCT designations in the model number
- Example: **ML5606830**
  56 = 5" / 6" aperture series
  06 = 600 lumen series
  8 = >80 CRI
  30 = 3000K nominal CCT

Electrical Power Connections
- LED connector is a non-screw base luminaire disconnect offering easy installation with the matching Halo 5" H550 series and 6" H750 and H2750 series housings (housing selected depends upon LED trim 5" or 6").
- LED Connector is a non-screw base, and where required to qualify as a high-efficacy luminaire.
- The included E26 medium screw-base Edison adapter provides easy retrofit of incandescent housings (see Housing Section).

Ground Connection

Separate grounding cable included on the module for attachment to the housing during installation.

LED Driver
- Driver is universal voltage 120V-277V, and may be controlled from a switch in this range of main inputs (switchable at 120V, 220V, 230V, 240V, and 277V)
- Driver is dimmable at 120V operation when connected to a compatible dimmer.
- Driver is a high efficiency, electronic power supply providing DC power to the LED.
- Driver meets FCC EMI/RFI Consumer Level limits on 120V main inputs, and is compliant for use in residential and commercial installations.
- Driver features high power factor, low THD, and has integral thermal protection in the event of over temperature or internal failure.
- Driver is replaceable, if replacement should be required.

Dimming

Designed for dimming capability to nominal 5% in normal operation with standard 120V Leading Edge (LE) and Trailing Edge (TE) phase control dimmers. (Consult dimmer manufacturer for dimmer compatibility and details. Note, some dimmers require a neutral in the wallbox.)

Warranty

Cooper Lighting provides a (5) five year limited warranty on the Halo ML56 LED Light Module.

LED Module in New or Retrofit Existing Construction – Housings other than Halo or All-Pro
- If used in recessed housings other than Halo or All-Pro the Cooper Lighting 5-year limited warranty applies to the LED Light Module and Trim only.
- As with any electrical installation, a qualified electrician must ensure compatibility of use with a particular housing; this includes all applicable national and local electrical and building codes. Installer is responsible to properly and securely retain the LED Module and LED Trim in the housing at time of installation.

ML56 LED System

600 Series / 80 CRI

ML5606827
ML5606830
ML5606835
ML5606840

5-Inch and 6-Inch 600 Lumen LED Light Module for New Construction, Remodel and Retrofit

For use with 59x and 69x Series Trims

FOR USE IN INSULATED CEILING AND NON-INSULATED CEILING RATED HOUSINGS

HIGH EFFICACY LED WITH INTEGRAL DRIVER - DIMMABLE

Energy Data
ML56 600/80 Series
(Values at non-dimming line voltage)
Minimum Starting Temp: -30°C (-22°F)
EMI/RFI: FCC Title 47 CFR, Part 15, (Consumer)
Sound Rating: Class A
Input Voltage: UNV 120V-277V
Power Factor: >0.95 @ 120V and >0.9 @277V
Input Frequency: 50/60Hz
THD: <20%
Max. Rated Wattage: 10W
Input Power: 9.0W
Input Current at 120V: 0.15A
Input Current at 277V: 0.08A
Driver Compliance: UL8750, Class II rated
Maximum IC (Insulated Ceiling) Ambient Continuous Operating Temperature: 25°C (77°F)
Maximum Non-IC Ambient Continuous Operating Temperature: 40°C (104°F)

ML5606827
5" or 6" LED 600 Series

ML5606830
5" or 6" LED 600 Series

ML5606835
5" or 6" LED 600 Series

ML5606840
5" or 6" LED 600 Series

Cooper Lighting
by EATON

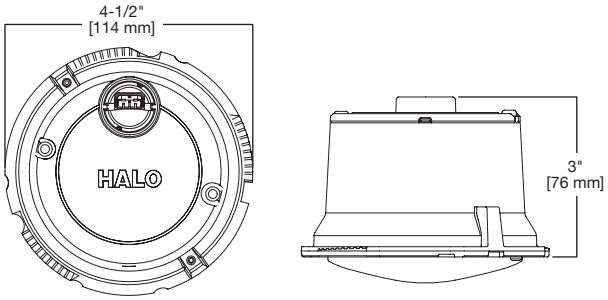
Compliance

- cULus listed 1598 Luminaire (Halo and All-Pro housings)
- UL Classified when used in retrofit (refer to housing section)
- cULus listed for damp locations
- cULus Wet location listed with baffle and reflector trims only
- Airtight certified per ASTM E283 (not exceeding 2.0 CFM under 57 Pascals pressure difference)
- IP66 ingress protection rated with baffle and reflector trims only
- RoHS compliant
- May be used in IC (insulated ceiling) housings in direct contact with insulation* and combustible material
- Can be used as a California Title 24 compliant Non-Residential LED Luminaire
- Can be used for International Energy Conservation Code (IECC) high efficiency luminaire compliance.
- Can be used for Washington State Energy Code compliance
- ENERGY STAR® certified luminaire - consult ENERGY STAR® Certified product list
- EMI/RFI per FCC 47CFR Part 15 Class B Consumer limits (commercial and residential compliant)
- Photometric testing in accordance with IES LM-79
- Lumen maintenance projections in accordance with IES LM-80 and TM-21
- CE Mark - "Conformité Européene" conformity with the Council of European Communities Directives, meeting internationally recognized compliance when used with Halo H550, H750, and H2750 Series LED housings only

* Not for use with housings in direct contact with spray foam insulation.

Refer to ENERGY STAR® Certified Products List.
Can be used to comply with California Title 24 Non-Residential Lighting Controls requirements as a LED Luminaire

Dimensions



Cooper Lighting by EATON

Ordering Information

Sample Number: **ML5606830 593WB**
Order LED Module and trim separately.
A complete system also includes a compatible housing (new construction, remodel, or existing retrofit). Housing aperture size in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims). Refer to Housing Section in this document.

ML56 LED Light Modules 600 Series / 80 CRI

ML5606827= 5"/6" LED light module, 600 lumen, 80CRI, 2700K
ML5606830= 5"/6" LED light module, 600 lumen, 80CRI, 3000K
ML5606835= 5"/6" LED light module, 600 lumen, 80CRI, 3500K
ML5606840= 5"/6" LED light module, 600 lumen, 80CRI, 4000K

ML56 LED 5" and 6" Trims

590 Series - 5" LED Trims

591WB=5" LED trim, polymer "dead-front", shallow white baffle & flange – shallow and standard housings (For use with 600 Series LED light modules only)
592SC=5" LED trim, specular reflector & white flange
592H=5" LED trim, haze reflector & white flange
592W=5" LED trim, white reflector & flange
593WB=5" LED trim, white micro-step baffle & flange
593BB=5" LED trim, black micro-step baffle & white flange
593SNB=5" LED trim, satin nickel micro-step baffle & flange
593TBZB=5" LED trim, tuscan bronze micro-step baffle & flange
594WB=5" LED directional trim, white eyeball, baffle & flange – shallow and standard housings
594SNB=5" LED directional trim, satin nickel eyeball, baffle & flange – shallow and standard housings
594TBZB=5" LED directional trim, tuscan bronze eyeball, baffle & flange – shallow and standard housings
595WW=5" LED trim, wall wash - specular reflector, repositionable specular kick reflector, white flange
596WB=5" LED trim, white shallow baffle & flange – shallow and standard housings

690 Series - 6" LED Trims

691WB=6" LED trim, polymer "dead-front", white shallow baffle & flange – shallow and standard housings (For use with 600 Series LED light modules only)
692SC=6" LED trim, specular reflector & white flange
692H=6" LED trim, haze reflector & white flange
692W=6" LED trim, white reflector & flange
693WB=6" LED trim, white micro-step baffle & flange
693BB=6" LED trim, black micro-step baffle & white flange
693SNB=6" LED trim, satin nickel micro-step baffle & flange
693TBZB=6" LED trim, tuscan bronze micro-step baffle & flange
694WB=6" LED directional trim, white eyeball, baffle & flange – shallow and standard housings
694SNB=6" LED directional trim, satin nickel eyeball, baffle & flange – shallow and standard housings
694TBZB=6" LED directional trim, tuscan bronze eyeball, baffle & flange – shallow and standard housings
695WW=6" LED trim, wall wash - specular reflector, repositionable specular kick reflector, white flange
696WB=6" LED trim, white shallow baffle & flange – for use with shallow and standard housings

ML56 System Accessories

ML56CLIP=Friction clip mounting kit - for retrofitting non-torsion spring housings, 6" clips*
WW595SC=5" Wall wash insert - kick reflector for 595WW (1-included with trim) double or corner wall wash**
WW695SC=6" Wall wash insert - kick reflector for 695WW (1-included with trim) double or corner wall wash**
TRM590WH=5" LED oversize trim ring for use with 59* series trims, white 6.3" I.D., 7.5" O.D. Ring slips over LED trim. Inset design allows 5" trim to fit into oversize ring for an even trim surface
TRM690WH=6" LED oversize trim ring for use with 69* series trims, white 6.9" I.D., 9.5" O.D. Ring slips over LED trim. Inset design allows 6" trim to fit into oversize ring for an even trim surface

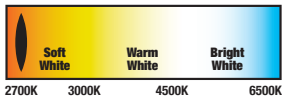
*ML56CLIP is compatible with 6" baffle and reflector trims only (691, 692, 693, 695, 696 series).
For eyeball trim (694 series) use ML7RAB retrofit adpater band.

**Wall wash trims 595WW and 695WW feature an exclusive repositionable kick reflector for fine-tuning adjustment of the wall wash effect. The WW595SC and WW695SC are repositionable kick reflectors sold separately for addition to the wall wash trim when a double or corner wall wash is needed, or for replacement of original kick reflector included with the trim.

Lighting Facts

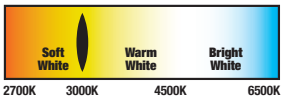
ML5606827

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	648
Watts	9
Lumens Per Watt (Efficacy)	72
Color Accuracy (CRI)	82
Light Color (CCT)	2700K
Correlated Color Temperature (CCT)	



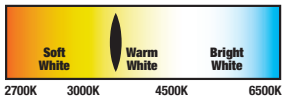
ML5606830

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	668
Watts	9
Lumens Per Watt (Efficacy)	74.2
Color Accuracy (CRI)	82
Light Color (CCT)	3000K
Correlated Color Temperature (CCT)	



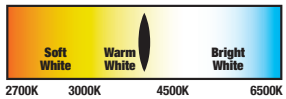
ML5606835

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	737
Watts	9
Lumens Per Watt (Efficacy)	81.9
Color Accuracy (CRI)	82
Light Color (CCT)	3500K
Correlated Color Temperature (CCT)	



ML5606840

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	759
Watts	9
Lumens Per Watt (Efficacy)	84.3
Color Accuracy (CRI)	81
Light Color (CCT)	4000K
Correlated Color Temperature (CCT)	



Housing – Trim Compatibility

Housing aperture size in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims).
Refer to ML56 TRIMS in this document. (Note "X" in the trim model number denotes finish code.)

Housing – Compatibility

The ML56 LED light module - trim combination is cULus Listed or UL Classified for use with any 5" or 6" diameter recessed housing constructed of steel or aluminum with an internal volume that exceeds 115 in^3 in addition to those noted below.

Housing and All-Pro UL Listed Compatibility

6" Trims: 691X, 692X, 693X, 694X, 695X, 696X
(Note shallow housings for use with 691X, 694X, 696X trims only)

HALO - LED Housings with LED Luminaire Connector - High-Efficacy Compliant

Brand	Housing Type	Catalog Number	Description
Halo	**Standard Housings**	H750ICAT	6" LED, Insulated Ceiling, Air-Tite, New Construction Housing
		H750RICAT	6" LED, Insulated Ceiling, Air-Tite, Remodel Housing
		H750T	6" LED, Non-IC, Air-Tite, New Construction Housing
		H750TCP	6" LED, Non-IC, New Construction/Remodel Chicago Plenum Housing
Halo	**Shallow Housings**	H2750ICAT	6" LED, Shallow, Insulated Ceiling, Air-Tite, New Constr. (use with 691X, 694X, 696X trims only)

HALO and All-Pro - Incandescent E26 Screwbase Housings

Brand	Housing Type	Catalog Number	Description
Halo	**Standard Housings**	H7ICAT	6" Insulated Ceiling, Air-Tite New Construction Housing
		H7RICAT	6" Insulated Ceiling, Air-Tite Remodel Housing
		H7ICT	6" Insulated Ceiling, New Construction Housing
		H7RICT	6" Insulated Ceiling, Remodel Housing
		H7ICATNB	6" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket
		H7ICTNB	6" Insulated Ceiling, New Construction Housing, No Socket Bracket
		H7T	6" Non-IC, New Construction Housing
		H7RT	6" Non-IC, Remodel Housing
		H7TNB	6" Non-IC, New Construction Housing, No Socket Bracket
		H7TCP	6" Non-IC, Chicago Plenum, New Construction/Remodel Housing
		H7UICT	6" Insulated Ceiling, Universal New Construction Housing
		H7UICAT	6" Insulated Ceiling, Universal, Air-Tite, New Construction Housing
All-Pro	**Standard Housings**	EI700AT	6" Insulated Ceiling, Air-Tite New Construction Housing
		EI700RAT	6" Insulated Ceiling, Air-Tite Remodel Housing
		EI700	6" Insulated Ceiling, New Construction Housing
		EI700R	6" Insulated Ceiling, Remodel Housing
		EI700ATNB	6" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket
		EI700NB	6" Insulated Ceiling, New Construction Housing, No Socket Bracket
		EI700U	6" Insulated Ceiling, Universal New Construction Housing
		EI700UAT	6" Insulated Ceiling, Universal, Air-Tite, New Construction Housing
		ET700	6" Non-IC, New Construction Housing
		ET700R	6" Non-IC, Remodel Housing
Halo	**Shallow Housings**	H27ICAT	6" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 691X, 694X, 696X trims only)
		H27RICAT	6" Shallow, Insulated Ceiling, Air-Tite Remodel Housing (use with 691X, 694X, 696X trims only)
		H27ICT	6" Shallow, Insulated Ceiling, New Construction Housing (use with 691X, 694X, 696X trims only)
		H27RICT	6" Shallow, Insulated Ceiling, Remodel Housing (use with 691X, 694X, 696X trims only)
		H27T	6" Shallow, Non-IC, New Construction Housing (use with 691X, 694X, 696X trims only)
		H27RT	6" Shallow, Non-IC, Remodel Housing (use with 691X, 694X, 696X trims only)
All-Pro	**Shallow Housings**	EI2700AT	6" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 691X, 694X, 696X trims only)
		EI2700	6" Shallow, Insulated Ceiling, New Construction Housing (use with 691X, 694X, 696X trims only)
		EI2700R	6" Shallow, Insulated Ceiling, Air-Tite Remodel Housing (use with 691X, 694X, 696X trims only)
		ET2700	6" Shallow, Non-IC, New Construction Housing (use with 691X, 694X, 696X trims only)
		ET2700R	6" Shallow, Non-IC, Remodel Housing (use with 691X, 694X, 696X trims only)

Halo LED Retrofit Enclosures

Brand	Type	Catalog Number	Description
Halo	**Retrofit**	ML7BXRFK	6" Retrofit Enclosure, Non-IC, BX Whip
		ML7E26RFK	6" Retrofit Enclosure, Non-IC, E26 Screw base Interface

HALO - LED Housings with LED Luminaire Connector - High-Efficacy Compliant

Brand	Housing Type	Catalog Number	Description

Housing Compatibility Continued

5" Trims: 591X, 592X, 593X, 594X, 595X, 596X
(Note shallow housings for use with 591X, 594X, 596X trims only)

Halo	**Standard Housings**	H550ICAT	5" LED, Insulated Ceiling, Air-Tite, New Construction Housing
		H550RICAT	5" LED, Insulated Ceiling, Air-Tite, Remodel Housing

HALO and All-Pro - Incandescent E26 Screwbase Housings

Brand	Housing Type	Catalog Number	Description
Halo	**Standard Housings**	H5ICAT	5" Insulated Ceiling, Air-Tite New Construction Housing
		H5RICAT	5" Insulated Ceiling, Air-Tite Remodel Housing
		H5T	5" Non-IC, New Construction Housing
		H5RT	5" Non-IC, Remodel Housing
		H5TM	5" Non-IC, New Construction Housing (Canada)
All-Pro	**Standard Housings**	EI500AT	5" Insulated Ceiling, Air-Tite New Construction Housing
		EI500RAT	5" Insulated Ceiling, Air-Tite Remodel Housing
		ET500	5" Non-IC, New Construction Housing
		ET500R	5" Non-IC, Remodel Housing
Halo	**Shallow Housings**	H25ICAT	5" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 591X, 594X, 596X trims only)

Housings - UL Classified for Retrofit Compatibility

6" Trims: 691X, 692X, 693X, 694X, 695X, 696X
(Note shallow housings for use with 691X, 694X, 696X trims only)

Brand	Housing Type	Catalog Number
Juno	**Standard Housings**	IC22, IC22R, IC22W, IC22S, IC23, IC23W, TC2, TC2R, IC2
	Shallow Housings	IC21, IC21R (use with 691X, 694X, 696X trims only)
Capri	**Standard Housings**	CR1, PR1, QL1
	Shallow Housings	R9ASIC/PS9RM (use with 691X, 694X, 696X trims only)
Elco		HL7ICA (EL7ICA)
Lithonia	**Standard Housings**	LC6, L7X
	Shallow Housings	L7XP (use with 691X, 694X, 696X trims only)
Thomas		PS1
Commercial Electric		C7ICA, H3
Progress	**Standard Housings**	P87-AT † *
	Shallow Housings	P86TG (use with 691X, 694X, 696X trims only)
Lightolier		1104ICS †*, 1104ICR †*

† Requires replacement of torsion springs with Friction Clips. Order Friction Clip Kit separately: ML56CLIP
* ML56CLIP is compatible with only baffle and reflector trims.

5" Trims: 591X, 596X

Brand	Housing Type	Catalog Number
Juno	**Standard Housings**	IC20, IC25S, IC25W, TC20

ML56 600 Series Compliance Table

80 CRI LED Modules with ML56 Trims

	ML5606827	ML5606830	ML5606835	ML5606840
593BB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC
693BB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC
593TBZB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC
693TBZB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
593SNB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
693SNB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
592H	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
592W	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
593WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
592SC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
692H	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
595WW	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
695WW	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
693WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
692SC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
692W	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
596WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694TBZB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594TBZB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
696WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694SNB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594SNB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594WB-30	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694WB-30	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC

Code Descriptions:

ES = ENERGY STAR® Certified Luminaire
T24 = Can be used to comply with California Title 24 Non-Residential Lighting Controls requirements as a LED Luminaire
IECC = International Energy Conservation Code "High Efficacy"
WSEC = Washington State Energy Code - "High Efficacy" Luminaire

ML56 600 Series Lumen Table

80 CRI LED Modules with ML56 trims

		ML5606827		ML5606830		ML5606835		ML5606840	
	Trim Catalog #	**Lumens**	**LPW**	**Lumens**	**LPW**	**Lumens**	**LPW**	**Lumens**	**LPW**
0° Tilt Angle	593BB	427.3	47.5	440.5	48.9	486.0	54.0	500.5	55.6
	693BB	473.0	52.6	487.6	54.2	537.9	59.8	554.0	61.6
	593TBZB	479.5	53.3	494.3	54.9	545.3	60.6	561.6	62.4
	693TBZB	496.9	55.2	512.2	56.9	565.1	62.8	582.0	64.7
	593SNB	531.7	59.1	548.1	60.9	604.7	67.2	622.7	69.2
	693SNB	549.1	61.0	566.0	62.9	624.5	69.4	643.1	71.5
	592H	599.1	66.6	617.6	68.6	681.4	75.7	701.7	78.0
	592W	617.6	68.6	636.6	70.7	702.4	78.0	723.3	80.4
	593WB	628.4	69.8	647.8	72.0	714.7	79.4	736.1	81.8
	592SC	632.8	70.3	652.3	72.5	719.7	80.0	741.2	82.4
	692H	635.0	70.6	654.6	72.7	722.2	80.2	743.7	82.6
	595WW	637.1	70.8	656.8	73.0	724.6	80.5	746.3	82.9
	695WW	638.2	70.9	657.9	73.1	725.9	80.7	747.5	83.1
	693WB	648.0	72.0	668.0	74.2	737.0	81.9	759.0	84.3
	692SC	648.0	72.0	668.0	74.2	737.0	81.9	759.0	84.3
	692W	650.2	72.2	670.2	74.5	739.5	82.2	761.5	84.6
	596WB	662.1	73.6	682.6	75.8	753.1	83.7	775.6	86.2
	694TBZB	667.6	74.2	688.2	76.5	759.3	84.4	781.9	86.9
	594TBZB	668.7	74.3	689.3	76.6	760.5	84.5	783.2	87.0
	696WB	673.0	74.8	693.8	77.1	765.4	85.0	788.3	87.6
	694SNB	681.7	75.7	702.7	78.1	775.3	86.1	798.5	88.7
	594SNB	683.9	76.0	705.0	78.3	777.8	86.4	801.0	89.0
	694WB	704.5	78.3	726.3	80.7	801.3	89.0	825.2	91.7
	594WB	706.7	78.5	728.5	80.9	803.8	89.3	827.8	92.0
30° Tilt Angle	594WB-30	685.0	76.1	706.1	78.5	779.0	86.6	802.3	89.1
	694WB-30	654.5	72.7	674.7	75.0	744.4	82.7	766.6	85.2

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.

Photometry 5" Trims • 600 Series • 80 CRI

Multiplier Table

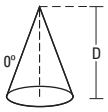
CCT Option	2700 K	3000 K	3500 K	4000 K
CCT Multiplier	0.970	1.000	1.103	1.136

Table based upon testing with 3000°K color temperature, 80CRI.
Multipliers may be used to determine relative lumen values with other color temperatures.

ML5606830-592SC

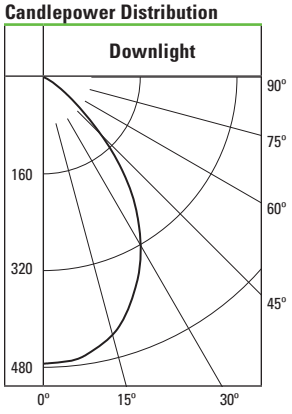
Test Number	P130228
Light Module	600 Series, 80CRI
Trim	5" Aperture, Specular Clear Trim
Lumens	652.0
Efficacy	72.5 Lm/W
SC	1.06

Cone of Light



D	FC	L	W
5.5	15.7	5.8	5.8
7	9.7	7.2	7.2
8	7.4	8.4	8.4
9	5.9	9.4	9.4
10	4.7	10.4	10.4
12	3.3	12.6	12.6

Candlepower Distribution

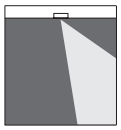


Zonal Lumen Summary

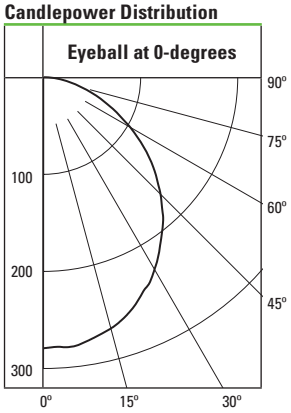
Zone	Lumens	%Fixture
0-30	337	51.7
0-40	502	77
0-60	644	98.7
0-90	652	100
90-180	0	0
0-180	652	100

ML5606830-594WB

Test Number	P130276
Light Module	600 Series, 80CRI
Trim	5" Aperture, Directional Eyeball
Lumens	729
Efficacy	80.9 Lm/W
SC	1.22



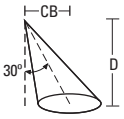
Candlepower Distribution



Zonal Lumen Summary

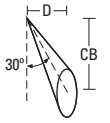
Zone	Lumens	%Fixture
0-30	214	29.4
0-40	346	47.5
0-60	590	81
0-90	729	100
90-180	0	0
0-180	729	100

30° Horizontal Plane



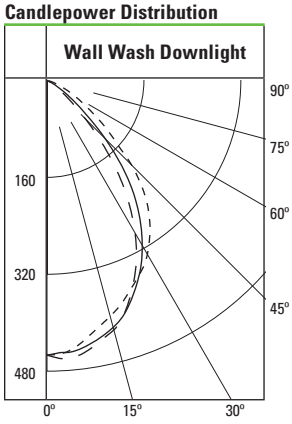
D	FC	L	W	CB
5.5	8.1	6.6	6.6	3.2
7	5	8.3	8.4	4
8	3.8	9.6	9.8	4.6
9	3	10.7	11	5.2
10	2.5	12	12.2	5.8
12	1.7	14.3	14.6	6.9

30° Vertical Plane



D	FC	L	W	CB
1'	159.1	1.1	1.2	1.7
2'	39.8	2.2	2.6	3.5
3'	17.7	3.3	3.8	5.2
4'	9.9	4.5	5.2	6.9
5'	6.4	5.6	6.6	8.7
6'	4.4	6.7	7.8	10.4

Candlepower Distribution

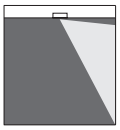


Legend

0-deg: — — — — — Wall
90-deg: ——————— Side
180-deg: —— —— —— Room

ML5606830-595WW

Test Number	P130300
Light Module	600 Series, 80CRI
Trim	5" Aperture, Wall Wash with Specular Clear Trim and Specular Clear Kick Reflector
Lumens	657
Efficacy	73 Lm/W
SC	1.1



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	322	49
0-40	485	73.8
0-60	639	97.4
0-90	657	100
90-180	0	0
0-180	657	100

Single Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	●	1'	2'	3'	4'	5'	6'
1'	2.8	1.8	0.7	0.2	0.1	0	0
2'	9.4	6.8	3	1	0.3	0.1	0
3'	10.8	8.9	4.8	2	0.7	0.2	0.1
4'	7.6	6.8	4.9	2.7	1.2	0.5	0.2
5'	5	4.6	3.7	2.5	1.5	0.7	0.3
6'	3.4	3.2	2.7	2.1	1.4	0.9	0.5
7'	2.3	2.2	2	1.6	1.2	0.8	0.5
8'	1.7	1.6	1.5	1.2	1	0.8	0.5
9'	1.2	1.2	1.1	1	0.8	0.6	0.5
10'	0.9	0.9	0.9	0.8	0.7	0.5	0.4

Multiple Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	--3'--			--4'--		
1'	3	2.3	3	2.8	1.3	2.8
2'	10.3	9.5	10.3	9.6	5.9	9.6
3'	12.7	14	12.7	11.5	9.7	11.5
4'	10.3	11.9	10.3	8.7	9.7	8.7
5'	7.6	8.6	7.6	6.5	7.5	6.5
6'	5.4	6	5.4	4.8	5.5	4.8
7'	3.9	4.3	3.9	3.5	4	3.5
8'	2.9	3.1	2.9	2.7	3	2.7
9'	2.2	2.4	2.2	2	2.2	2
10'	1.7	1.8	1.7	1.6	1.7	1.6

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.

Photometry 6" Trims • 600 Series • 80 CRI

Multiplier Table

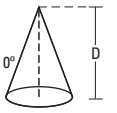
CCT Option	2700 K	3000 K	3500 K	4000 K
CCT Multiplier	0.97	1.00	1.10	1.14

Table based upon testing with 3000°K color temperature, 80CRI.
Multipliers may be used to determine relative lumen values with other color temperatures.

ML5606830-692SC

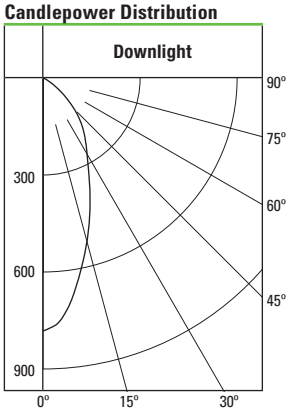
Test Number	P130316
Light Module	600 Series, 80CRI
Trim	6" Aperture, Specular Clear Trim
Lumens	668
Efficacy	74.2 Lm/W
SC	0.66

Cone of Light



D	FC	L	W
5.5	25.9	3.6	3.6
7	16	4.6	4.6
8	12.2	5.2	5.2
9	9.7	5.8	5.8
10	7.8	6.6	6.6
12	5.4	7.8	7.8

Candlepower Distribution

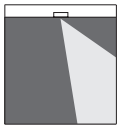


Zonal Lumen Summary

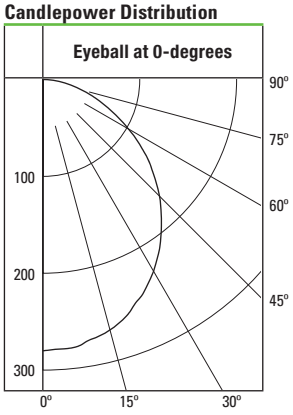
Zone	Lumens	%Fixture
0-30	368	55.1
0-40	509	76.3
0-60	659	98.7
0-90	668	100
90-180	0	0
0-180	668	100

ML5606830-694WB

Test Number	P130372
Light Module	600 Series, 80CRI
Trim	6" Aperture, Directional Eyeball
Lumens	726
Efficacy	80.7 Lm/W
SC	1.21



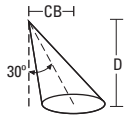
Candlepower Distribution



Zonal Lumen Summary

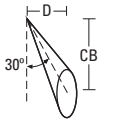
Zone	Lumens	%Fixture
0-30	214	29.5
0-40	346	47.6
0-60	589	81.1
0-90	726	100
90-180	0	0
0-180	726	100

30° Horizontal Plane



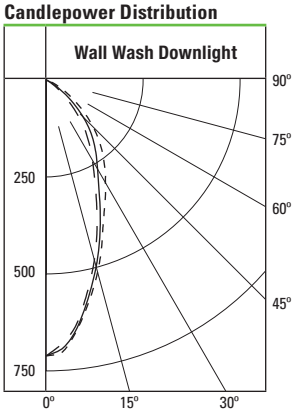
D	FC	L	W	CB
5.5	8.1	6.5	6.6	3.2
7	5	8.3	8.6	4
8	3.8	9.6	9.8	4.6
9	3	10.7	11	5.2
10	2.5	11.9	12.2	5.8
12	1.7	14.3	14.6	6.9

30° Vertical Plane



D	FC	L	W	CB
1'	158.1	1.1	1.2	1.7
2'	39.5	2.2	2.6	3.5
3'	17.6	3.3	3.8	5.2
4'	9.9	4.5	5.2	6.9
5'	6.3	5.6	6.6	8.7
6'	4.4	6.7	7.8	10.4

Candlepower Distribution

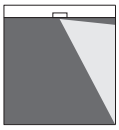


Legend

0-deg:	Wall
90-deg:	Side
180-deg:	Room

ML5606830-695WW

Test Number	P130396
Light Module	600 Series, 80CRI
Trim	6" Aperture, Wall Wash with Specular Clear Trim and Specular Clear Kick Reflector
Lumens	658
Efficacy	73.1 Lm/W
SC	0.69



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	352	53.5
0-40	492	74.8
0-60	643	97.7
0-90	658	100
90-180	0	0
0-180	658	100

Single Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	●	1'	2'	3'	4'	5'	6'
1'	1.9	1.2	0.4	0.1	0	0	0
2'	8.6	6.2	2.7	0.8	0.2	0.1	0
3'	9.2	7.5	4.4	1.9	0.7	0.2	0.1
4'	6.9	5.9	4.1	2.4	1.2	0.5	0.2
5'	4.9	4.4	3.3	2.2	1.3	0.7	0.4
6'	3.5	3.2	2.5	1.8	1.2	0.8	0.5
7'	2.6	2.4	1.9	1.5	1	0.7	0.5
8'	2	1.8	1.5	1.2	0.9	0.6	0.5
9'	1.5	1.4	1.2	1	0.7	0.6	0.4
10'	1.2	1.1	1	0.8	0.6	0.5	0.4

Multiple Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	--3'--			--4'--		
1'	2	1.5	2	1.9	0.9	1.9
2'	9.5	8.5	9.5	8.9	5.3	8.9
3'	11.1	11.9	11.1	9.9	8.8	9.9
4'	9.3	10.1	9.3	8	8.2	8
5'	7.1	7.7	7.1	6.2	6.5	6.2
6'	5.3	5.8	5.3	4.7	5	4.7
7'	4.1	4.4	4.1	3.7	3.9	3.7
8'	3.2	3.4	3.2	2.9	3.1	2.9
9'	2.5	2.7	2.5	2.3	2.4	2.3
10'	2	2.1	2	1.8	2	1.8

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.

Cooper Lighting by EATON

Eaton
1000 Eaton Boulevard
Cleveland, OH 44122
United States
Eaton.com

Eaton's Cooper Lighting Business
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.cooperlighting.com

GN1LED13YSTA

13 & 26 Watt Straight Shade LED Gooseneck Luminaire designed to match the architecture of Main Street storefronts and building perimeters. LED Gooseneck Straight Shade with 24" Goose Arm Style 1.

Color: Bronze

Weight: 14.0 lbs

Project: 59830 PELOTON	**Type:** OD
Prepared By: CTK	**Date:** 5/9/2017

Driver Info		LED Info	
Type:	Constant Current	Watts:	13W
120V:	0.3A	Color Temp:	3000K (Warm)
208V:	0.3A	Color Accuracy:	86 CRI
240V:	0.3A	L70 Lifespan:	100000
277V:	0.15A	Lumens:	514
Input Watts:	16W	Efficacy:	33 LPW
Efficiency:	83%		

Technical Specifications

LED Characteristics

Color Accuracy (CRI):

CRI can change due to the fixture color. Please contact the RAB Lighting Design department for more details.

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

LED:

Single multi-chip, 13W high-output, long-life LED.

Correlated Color Temp. (Nominal CCT):

3000K

Color Stability:

LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Sensor Characteristics

Lead Time:

3 weeks expedited shipping. 6 weeks standard shipping.

Construction

Fixture:

The GN1LED13YSTA comes with the GOOSE1A arm.

Thermal Management:

Custom heat sink assembly in thermal contact with die-cast aluminum housing for superior heat sinking.

Housing:

Precision die-cast aluminum housing, lens frame and mounting plate.

Gaskets:

High Temperature Silicone

Mounting:

Heavy-duty mounting arm with "O" ring seal and stainless steel screw.

Cold Weather Starting:

The minimum starting temperature is -40°F/-40°C

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals. Offers significantly improved gloss retention and resistance to color change.

Green Technology:

Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

Electrical

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz, 100-240VAC 0.3 - 0.15A, 277VAC 0.15A, THD ≤20%, PF 97.5%.

Surge Protection:

4kv

Other

Shades:

15" Straight Shade offered.

Equivalency:

The GNLED13 is equivalent in delivered lumens to 75W incandescent, 50W MH or 18W CFL.

California Title 24:

Goosenecks complies with 2013 California Title 24 building and electrical codes as a commercial outdoor non-pole-mounted fixture < 30 Watts when used with a photosensor control. Select catalog number PCS900(120V) or PCS900/277 to order a photosensor.

Patents:

The design of the Gooseneck is protected by patents pending in US, Canada, China and Taiwan.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. See our full warranty

Country of Origin:

Designed by RAB in New Jersey and assembled in Taiwan.

Trade Agreements Act Compliant:

This product is a product of Taiwan and a "designated country" end product that complies with the Trade Agreements Act.

GN1LED13YSTA

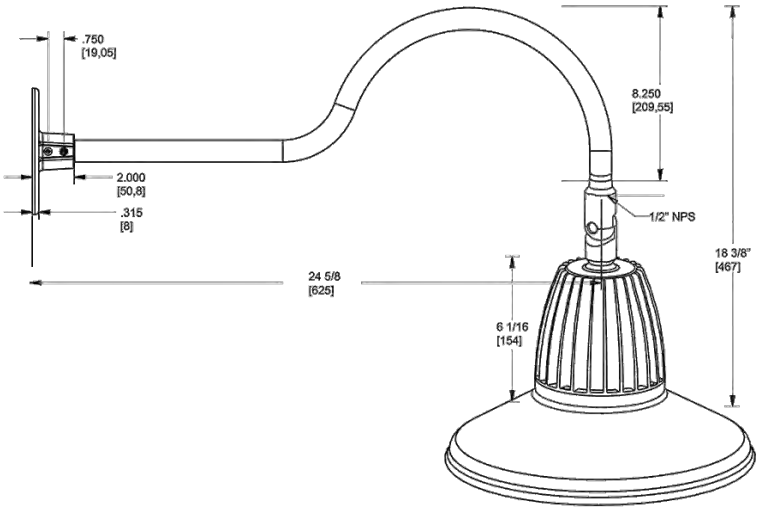
Technical Specifications (continued)

Other

GSA Schedule:

Suitable in accordance with FAR Subpart 25.4.

Dimensions



Features

- Adjustable 45° swivel joint
- Superior heat sink
- Die-cast aluminum housing
- 5 year LED warranty

Ordering Matrix

Family	Watts	Color Temp	Reflector	Shade	ShadeSize	Finish
GN1LED	13	Y		NS		A
	13 = 13W **26** = 26W	**Y** = 3000K (Warm) **N** = 4000K (Neutral)	= Flood **R** = Rectangular **S** = Spot	**ST** = Straight Shade	**11** = 11" = 15"	**B** = Black **W** = White **A** = Bronze **S** = Silver **G** = Hunter Green **YL** = Yellow **LB** = Light Blue **BL** = Royal Blue **BWN** = Brown **I** = Ivory **R** = Red