

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submittal reviewed by \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

AGENDA ITEM # \_\_\_\_\_  
LEGISTAR # \_\_\_\_\_  
ALD. DIST. \_\_\_\_\_

CITY OF MADISON

SEP 6 2017

11:40  
Planning & Community  
& Economic Development

## 1. Project Information

Address: 5003 Tradewinds, Madison WI

Title: Lions Eye Bank of Wisconsin, Inc.

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested October 4, 2017

- ☒ New development      ☐ Alteration to an existing or previously-approved development  
☐ Informational      ☐ Initial approval      ☒ Final approval

## 3. Project Type

- ☒ Project in an Urban Design District
- ☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- ☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- ☐ Planned Development (PD)  
☐ General Development Plan (GDP)  
☐ Specific Implementation Plan (SIP)
- ☐ Planned Multi-Use Site or Residential Building Complex
- Signage**  
☐ Comprehensive Design Review (CDR)  
☐ Signage Variance (i.e. modification of signage height, area, and setback)
- Other**  
☐ Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

Applicant name Kim Spoden Company Assemblage Architects  
Street address 7433 Elmwood Avenue City/State/Zip Middleton, WI 53562  
Telephone 608-827-5047 Email spoden@assemblagearchitects.com

Project contact person Dennis Bauer Company Bauer and Raether Builders Inc  
Street address 2866 Agriculture Drive City/State/Zip Madison, WI 53718  
Telephone 608-222-8941 Email dbauer@bauer-raether.com

Property owner (if not applicant) Lions Eye Bank of Wisconsin, Inc.  
Street address 2401 American Lane City/State/Zip Madison, WI 53704  
Telephone 608-233-2354 Email dlangham@LEBW.org

**Urban Design Commission Application (continued)****UDC****5. Required Submittal Materials**

- ☐ Application Form
- ☐ Letter of Intent
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☐ Development plans (Refer to checklist provided below for plan details)
- ☐ Filing fee
- ☐ Electronic Submittal\*

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans must be full-sized. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Chris Wells on June 9, 2017.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Kim Spoden Relationship to property Architect

Authorized signature of Property Owner [Signature] Date 6-12-17

**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☒ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in an Urban Design District; Downtown Core District (DC) or Urban Mixed-Use District (UMX): \$150 (per §31.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## **Lions Eye Bank of Wisconsin**

5003 Tradewinds Parkway  
Madison, WI

The Lions Eye Bank of Wisconsin, Inc., (LEBW) is a team of professionals and volunteers dedicated to restoring the gift of sight through transplantation of corneas and other ocular tissue. We are also committed to research efforts to advance the knowledge and treatment of eye diseases as well as educational efforts to develop and perfect new ocular procedures and medical advancements. LEBW fulfills its mission by recovering, processing, and distributing eye tissue to corneal transplant surgeons, researchers, and educators. Lions Eye Bank of Wisconsin is a not for profit, 501c3.

Equally important is our commitment to raise awareness through public education by way of our network of medical professionals, Lions and Lioness members of Wisconsin, and other volunteers, many of whom are donor family members and corneal transplant recipients, who give generously of their time and ideas.

LEBW serves the entire state of Wisconsin for donation and transplantation services. It employs more than 35 full time employees in order to serve 150 hospitals and 40 cornea transplant surgeons throughout the state. In 2016, we served more than 1100 donor families and placed more than 1500 corneas for transplant, with hundreds of additional ocular tissue placements for research and education. We are committed to a high standard of quality and continuous improvement. We take the responsibility of patient safety very seriously.

LEBW continues to commit itself to the people – those in the present who receive a transplant, and those in the future who will benefit from today's research. Our ultimate aim is improving people's quality of life through The Gift of Sight.

The building is designed to accommodate the program for the eye bank including transport entry pathways for the 24/7 requirement of the recovery system. It will provide a new larger home for the eye bank serving Madison and surrounding communities.

The site to be developed is currently vacant and part of the growing area south of the beltline highway on Tradewinds Parkway. It is located in "IL" Industrial Limited District, with 15' side and 30' rear yard setbacks. The property has a 75' setback in the rear. The new building is approximately 14,000 GSF on the property located at the corner of Tradewinds and Jadon Drive. The building we serve as the new home for the Lions Eye Bank of Wisconsin.

The project consists of a one story building with the board room clad in limestone facing Tradewinds. The entry faces Tradewinds delineated with an entry canopy and glass storefront framing system. The administrative portion of the building will face north toward Tradewinds while the other entry for deliveries and transport located in the back portion of the building and facing Jadon Drive. The loading area (donor) is located on the south side of the building and screened. The parking lot area is parallel to the building with a curb cut on Tradewinds and one on Jadon for delivery and transport.

The main building material is fiber cement lap siding. It has a factory painted finish to provide 20 years plus finish system. The board room at the corner is split face limestone. The entry and rear canopies are clear anodized aluminum panel system. The window system sun shading devices is clear anodized aluminum to match the canopies.

The only existing adjacent building is the water tower. Further on Tradswinds is the Sleep In hotel which has brick masonry, EIFS, and lap siding. The hotel is currently construction a building addition. Another building on Tradswinds has split face CMU, brick masonry, EIFS, and storefront window system. We feel the lap siding is consistent with similar office buildings and being fiber cement a durable material. The real stone is a quality material adding texture and depth of color.

Roof top mechanical unit will be screened on all sides with the upper hallway siding, west portion of the building, and a mechanical screen wall clad of fiber cement siding. The upper hallway and mechanical screen wall is a lighting grey color to blend in with the sky's lighter colors. Roof top units have been strategically located behind the hallway bump up and in a small area to reduce the amount of screen wall.

The existing site is relatively flat with a water retainage area to the south. There are no major contours on the site. The building is about 8" above adjacent grade around the building. The south wet pond is graded for storm water management.

The proposed site lighting will be provided by pole-mounted, downward facing LED light fixtures. The fixtures will be mounted at or near the full canopy height of the new trees shown on the landscaping plan, so the fixtures will be less and less visible from the street as the plantings mature.

The proposed site lighting was laid out to comply with the City's Zoning Code lighting intensity requirements for a low-activity parking area. The site lighting is expected to remain on from dusk to dawn for site security since the building will be staffed 24 hours a day. However, the light trespass is minimal with less than 0.5 foot candles present at the property line. The selected LED fixtures also come with a full up-light cutoff feature to eliminate wasted light.

Building lighting is limited below the entry canopy at the front main entry and the west entry canopies. The downlight will denote the entry points and should not reflect off the storefront glass systems. A wall mounted light downlight will be located on the exterior break room door and the donor prep exterior door.

Utilities are underground from the street to building.

Signage is not part of this UDC approval.

New landscaping will be provided throughout the developed area of the lot to meet the City's Zoning Code requirements. This includes a series of canopy trees along the street frontages and throughout the parking lot for screening and shading. Ornamental trees, shrubs, and perennials are also provided near the building to soften the building lines and provide a landscaped connection to the rest of the site. Evergreen screening is proposed around the dumpster enclosure and along the loading area on the south side of the site

The existing landscape primarily consists of a mass-graded commercial subdivision with generally flat grass lots, and no street terrace trees. This project aims to add a variety of tree species and other plantings to start to break up the wide-open nature of the current landscape, but still preserve an open area to the southeast for employees and visitors to view and walk through. A mixture of upland and lowland plantings has been included in this plan as well.

The donor prep entrance is located facing south (opposite side of main entry) and will be screen by the trash enclosure and plantings. This area will be used for the delivery of a donor body.

Transport people will use the west entry.

The trash enclosure will be constructed of fiber cement board siding similar to the building siding and roof screen wall material. It will be about 6'-0" in height.





PROJECT SITE



## SITE LOCATION INFORMATION

5003 Tradewinds Parkway, Madison WI

## LOCATION AND CONTEXT

Not to scale







## LIONS EYE BANK OF WISCONSIN

5003 Tradewinds, Madison WI

9-6-2017

assemblage Architects

FINAL REVIEW RENDERING

Not to Scale  
across street 6' tall person





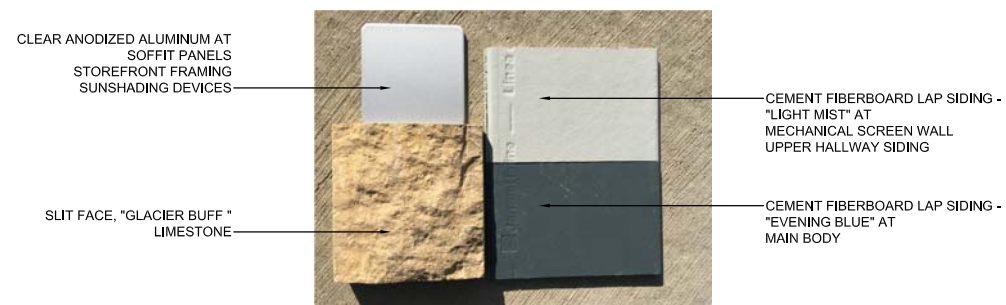
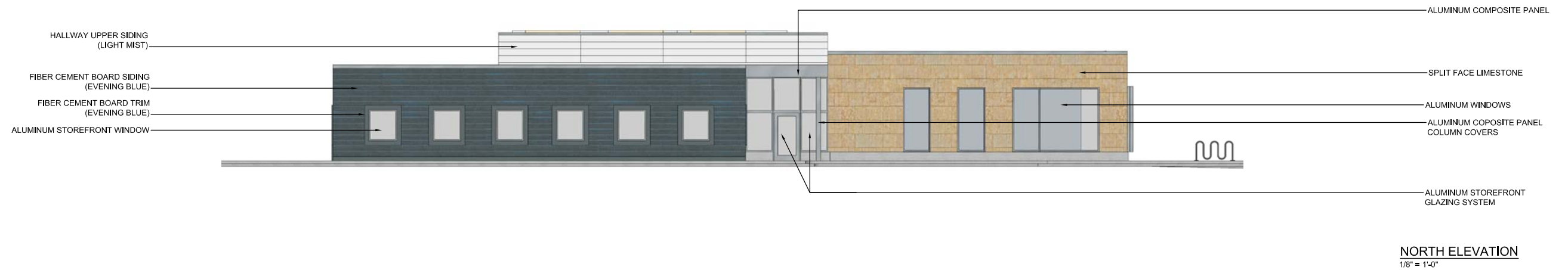
## LIONS EYE BANK OF WISCONSIN

5003 Tradewinds, Madison WI

FINAL REVIEW RENDERING

Not to Scale





LIONS EYE BANK OF WISCONSIN

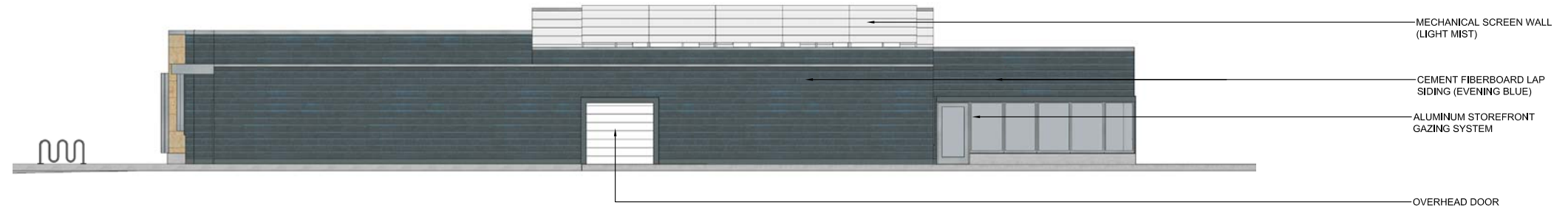
5003 Tradewinds, Madison WI

BUILDING ELEVATIONS

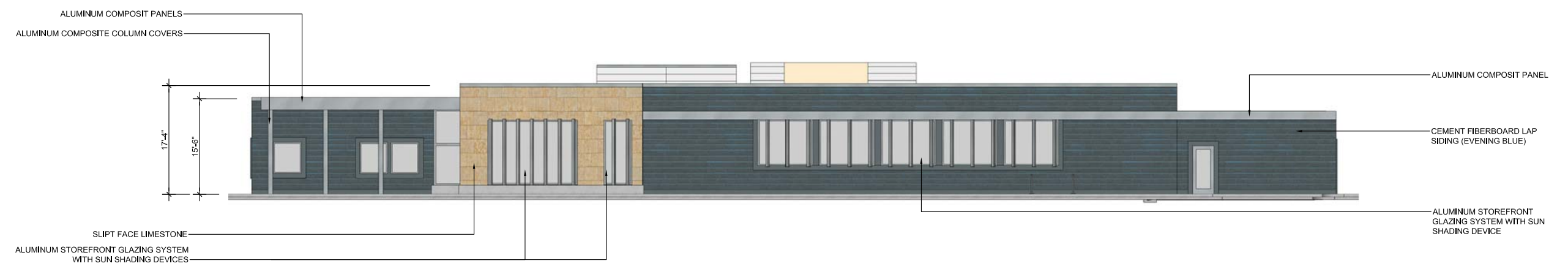
1/8" = 1'-0"

9-18-2017

assemblage Architects



**SOUTH ELEVATION**  
1/8" = 1'-0"



**WEST ELEVATION**  
1/8" = 1'-0"



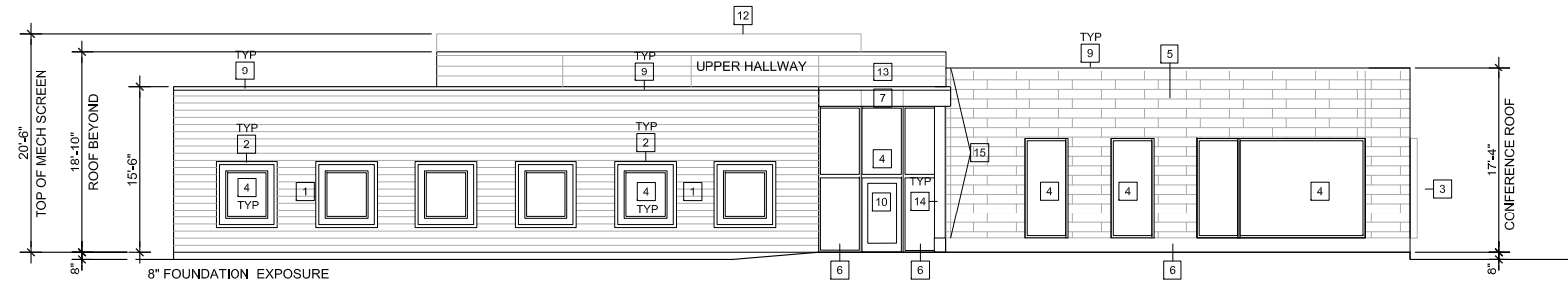
# LIONS EYE BANK OF WISCONSIN

5003 Tradewinds, Madison WI

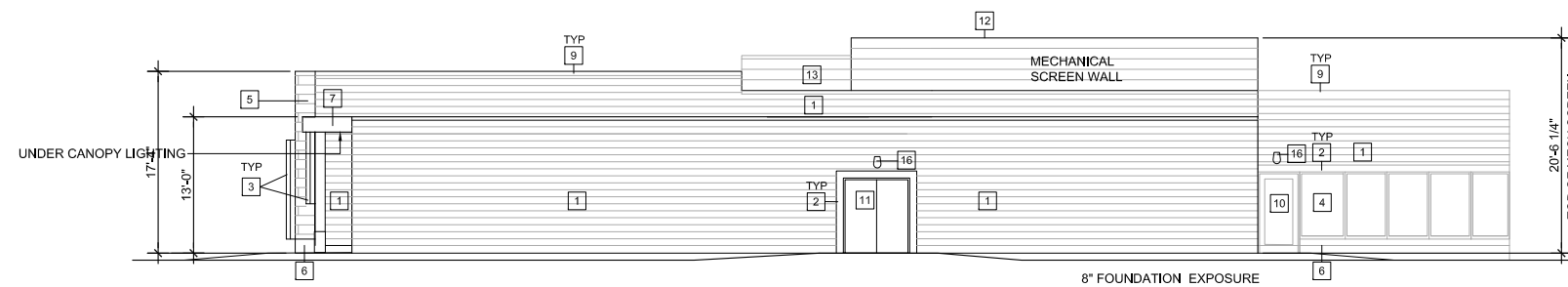
## BUILDING ELEVATIONS

1/8" = 1'-0"





3 BUILDING NORTH ELEVATION  
1/8" = 1'-0"



4 BUILDING SOUTH ELEVATION  
1/8" = 1'-0"

- KEYNOTES
- 1 CEMENT FIBER BOARD LAP SIDING
  - 2 CEMENT FIBER BOARD TRIM
  - 3 SHADING DEVICE
  - 4 ALUMINUM STOREFRONT GLAZING SYSTEM
  - 5 SPLIT FACE LIMESTONE
  - 6 ARCHITECTURAL PRECAST CONCRETE
  - 7 COMPOSITE METAL PANEL SYSTEM
  - 8 CONCRETE COLUMN
  - 9 METAL COPING SYSTEM
  - 10 ALUMINUM ENTRY SYSTEM
  - 11 DOUBLE DOOR
  - 12 SCREEN WALL SYSTEM
  - 13 CEMENT FIBER BOARD SLAT SIDING
  - 14 COMPOSITE ALUMINUM COLUMN COVER
  - 15 3" NOMINAL CUT LIMESTONE
  - 16 SURFACE EXTERIOR DOWNLIGHT

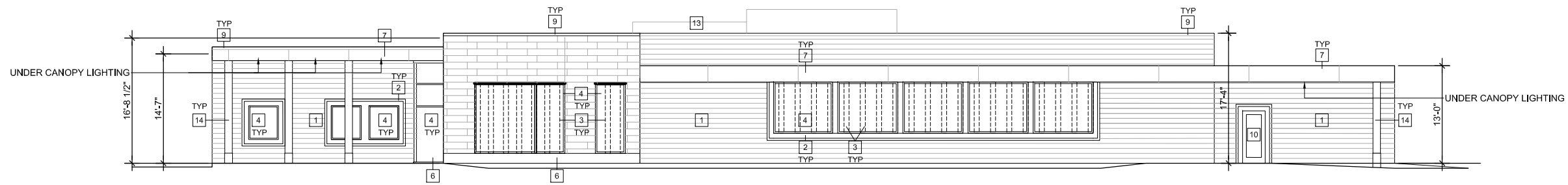
LIONS EYE BANK OF WISCONSIN

5003 Tradewinds, Madison WI

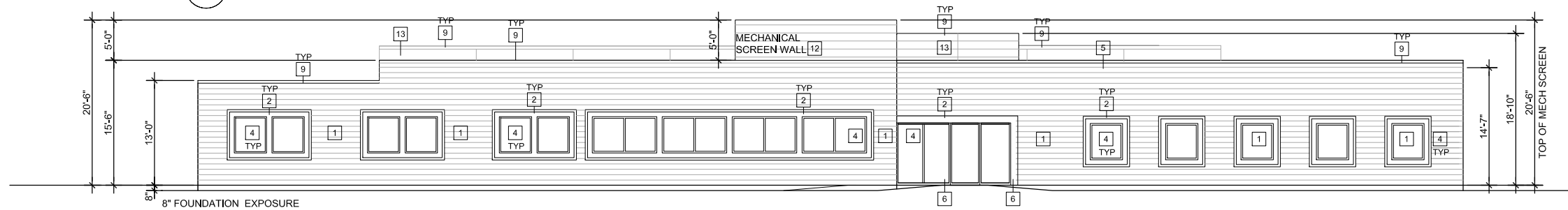
BUILDING ELEVATIONS  
1/8" = 1'-0"

9-18-2017

assemblage Architects



1 BUILDING WEST ELEVATION  
1/8" = 1'-0"



2 BUILDING EAST ELEVATION  
1/8" = 1'-0"

- KEYNOTES
- 1 CEMENT FIBER BOARD LAP SIDING
  - 2 CEMENT FIBER BOARD TRIM
  - 3 SHADING DEVICE
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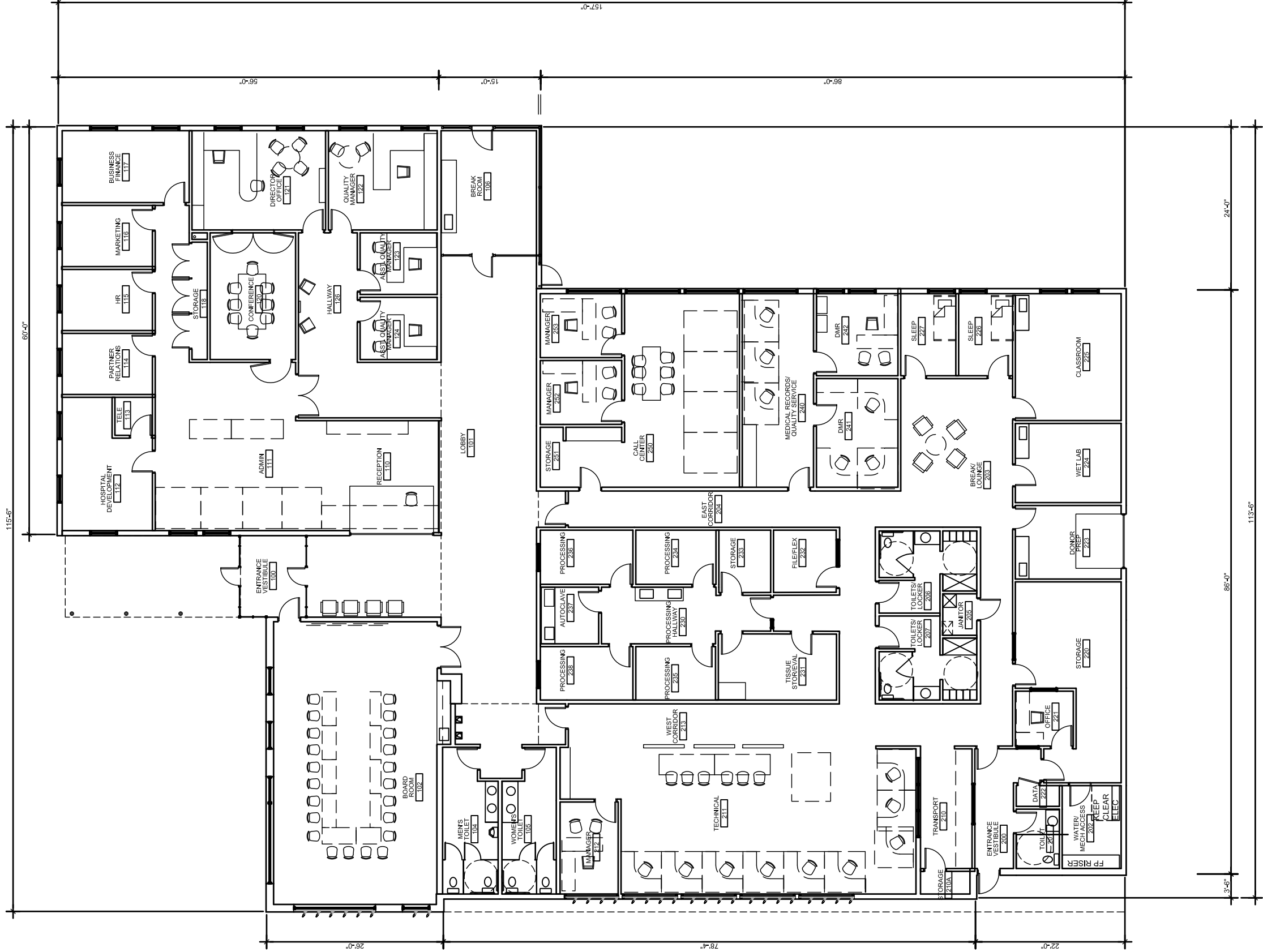
LIONS EYE BANK OF WISCONSIN

5003 Tradewinds, Madison WI

BUILDING ELEVATIONS

1/8" = 1'-0"





1 FIRST FLOOR PLAN  
1/8" = 1'-0"



# LIONS EYE BANK

5003 Tradewinds, Madison WI

BUILDING LAYOUT

SCALE: 1' = 1/16"





NORTH

**BENCHMARK**

POINT ID	ELEVATION	DESCRIPTION
BM-4	862.90	HYDRANT BURY "7-0" TAG BOLT
BM-5	859.92	HYDRANT BURY "7-0" TAG BOLT

**CONTROL POINTS**

POINT ID	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-1	471905.488	844881.911	859.703	PK NAIL SET IN ASPHALT
CP-2	472235.356	844904.452	858.067	PK NAIL SET IN ASPHALT
CP-3	472228.766	845306.873	857.848	PK NAIL SET IN ASPHALT

**SURVEY DATA**

SURVEY DATE(S)	7/20/2017
HORIZONTAL COORD. SYSTEM	DANE COUNTY - NAD83
VERTICAL DATUM	NAVD 88
CONTROL SOURCE	GPS - WISCONSIN
SURVEY UNITS	US SURVEY FOOT

**SANITARY SEWER MANHOLES**

STRUCT. ID	RIM ELEV.	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	858.20	E	848.92	8"	PVC
SAN-2	858.34	W	848.87	8"	PVC
		E	847.24	8"	PVC
		S	847.19	8"	PVC
SAN-3	860.18	N	845.92	8"	PVC
		S	845.87	8"	PVC

**STORM SEWER INLETS**

STRUCT. ID	RIM ELEV.	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	857.24	N	854.94	12"	RCP
INL-2	857.16	W	854.96	12"	RCP
		S	854.96	12"	RCP
INL-3	857.32	N	854.91	18"	RCP
		S	854.78	18"	RCP
INL-4	857.46	NE	854.73	14"x23"	RCP
		N	854.78	12"	RCP
		SW	854.73	14"x23"	RCP
		S	854.73	14"x23"	RCP
INL-5	857.31	W	854.61	14"x23"	RCP
		E	854.56	14"x23"	RCP
INL-6	857.30	W	854.52	14"x23"	RCP
		E	854.52	14"x23"	RCP

**GENERAL SURVEY NOTES: (THIS SHEET)**

- NO PROPERTY SURVEY WAS PERFORMED AS PART OF THIS PROJECT. ALL PROPERTY AND R.O.W. LINES SHOWN ARE BASED ON PLAT OF GENESIS, DATED: 06-09-2011
- HORIZONTAL COORDINATES REFERENCED TO WISCONSIN COUNTY COORDINATE SYSTEM - DANE COUNTY (NAD83).
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- CONTOUR INTERVAL IS ONE FOOT
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES AND BY LOCATING DIGGERS HOT LINE FIELD MARKINGS.
- PRIVATE UTILITIES SHOWN ARE BASED ON PRIOR PLANS AND ARE SCHEMATIC ONLY. NO FIELD VERIFICATION WAS COMPLETED. A PRIVATE UTILITY LOCATE SHALL BE PERFORMED PRIOR TO ANY EXCAVATION.
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF PUBLIC UTILITIES, CONTACT DIGGERS HOT LINE, AT 1.800.242.8511.
- THE ACCURACY OF THE CONTROL POINTS AND BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. EDGE CONSULTING ENGINEERS, INC. DOES NOT WARRANT THE ACCURACY OF THESE CONTROL POINTS AND BENCHMARKS. THE ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS AND/OR DISCREPANCIES.

**SURVEY LEGEND:**

W	EX. WATER SERVICE	⊠	SIGNAGE
SS	EX. SANITARY SEWER	⊞	TRANSFORMER
ST	EX. STORM SEWER	⊞	PEDESTAL (ELEC./CABLE/TEL.)
G	EX. GAS	⊞	METER (PARKING)
E	EX. UNDERGROUND ELECTRIC	⊞	CURB INLET (INL)
OHE	EX. OVERHEAD ELECTRIC	⊞	CATCH BASIN (CB)
⊞	EX. MAN HOLE	⊞	BENCHMARK
⊞	HYDRANT	⊞	CONTROL POINT
⊞	VALVE	⊞	SOIL BORING
⊞	UTILITY POLE	⊞	IRON PIPE - FOUND
⊞	LIGHT POLE	⊞	EXISTING CONTOUR
⊞	CONCRETE	⊞	GRAVEL
⊞	ASPHALT	⊞	LANDSCAPE/MULCH BED

**LOT 11**  
95,758 SQ. FT ±  
PARCEL # 071027104026  
ADDRESS: 4928 TRADEWINDS PKWY  
OWNER: GENESIS COMMONS LLC

**LOT 12**  
87,742 SQ. FT ±  
PARCEL # 071027104034  
ADDRESS: 5002 TRADEWINDS PKWY  
OWNER: GENESIS COMMONS LLC

**LOT 13**  
83,482 SQ. FT ±  
PARCEL # 071027104042  
ADDRESS: 5026 TRADEWINDS PKWY  
OWNER: GENESIS COMMONS LLC

**LOT 9**  
132,516 SQ. FT ±  
PARCEL # 071027105016  
ADDRESS: 4901 TRADEWINDS PKWY  
OWNER: CITY OF MADISON WATER UTILITY

**LOT 8**  
153,398 SQ. FT ±  
PARCEL # 071027106014  
ADDRESS: 3603 JADON DR  
OWNER: GENESIS COMMONS LLC

**LOT 7**  
96,121 SQ. FT ±  
PARCEL # 071027106022  
ADDRESS: 5027 TRADEWINDS PKWY  
OWNER: GENESIS COMMONS LLC

**LIONS EYE BANK**  
5003 TRADEWINDS PARKWAY  
CITY OF MADISON, DANE COUNTY, WISCONSIN

**EXISTING SITE PLAN**

**REVISIONS:**

MARK	DATE	DESCRIPTION

**ISSUE DATE:**

09/06/2017
<b>SET TYPE:</b>
PR
<b>GRAPHIC SCALE:</b>
60,000' / In.
<b>DRAWN BY:</b>
AM/FINED
<b>CHECKED BY:</b>
BJB
<b>PLOT DATE:</b>
9/6/2017
<b>PROJECT NUMBER:</b>
16532
<b>FILE NAME:</b>
V-101.dgn

**SHEET IDENTIFICATION:**

**V-101**





**REVISIONS:**

MARK	DATE	DESCRIPTION

**ISSUE DATE:**

09/06/2017

**SET TYPE:**

PR

**GRAPHIC SCALE:**

60,000' / 1" =

**DRAWN BY:**

AMF/IN

**CHECKED BY:**

BJB

**PLOT DATE:**

9/6/2017

**PROJECT NUMBER:**

16532

**FILE NAME:**

C-101.dgn

**SHEET IDENTIFICATION:**

**C-101**

**ZONING SUMMARY**

ZONING DISTRICT:	IL (INDUSTRIAL - LIMITED)
FRONT YARD SETBACK:	NONE
SIDE YARD SETBACK:	15'
REAR YARD SETBACK:	30'
MAX LOT COVERAGE:	75%

ZONING REQUIREMENTS PER SECTION 28.088 CITY ZONING CODE.

**DEVELOPMENT SUMMARY**

CURRENT LOT AREA:	153,398 SF
CURRENT IMPERVIOUS AREA:	0 SF
NEW IMPERVIOUS AREA:	45,918 SF
TOTAL IMPERVIOUS AREA:	45,918 SF (29.9%)

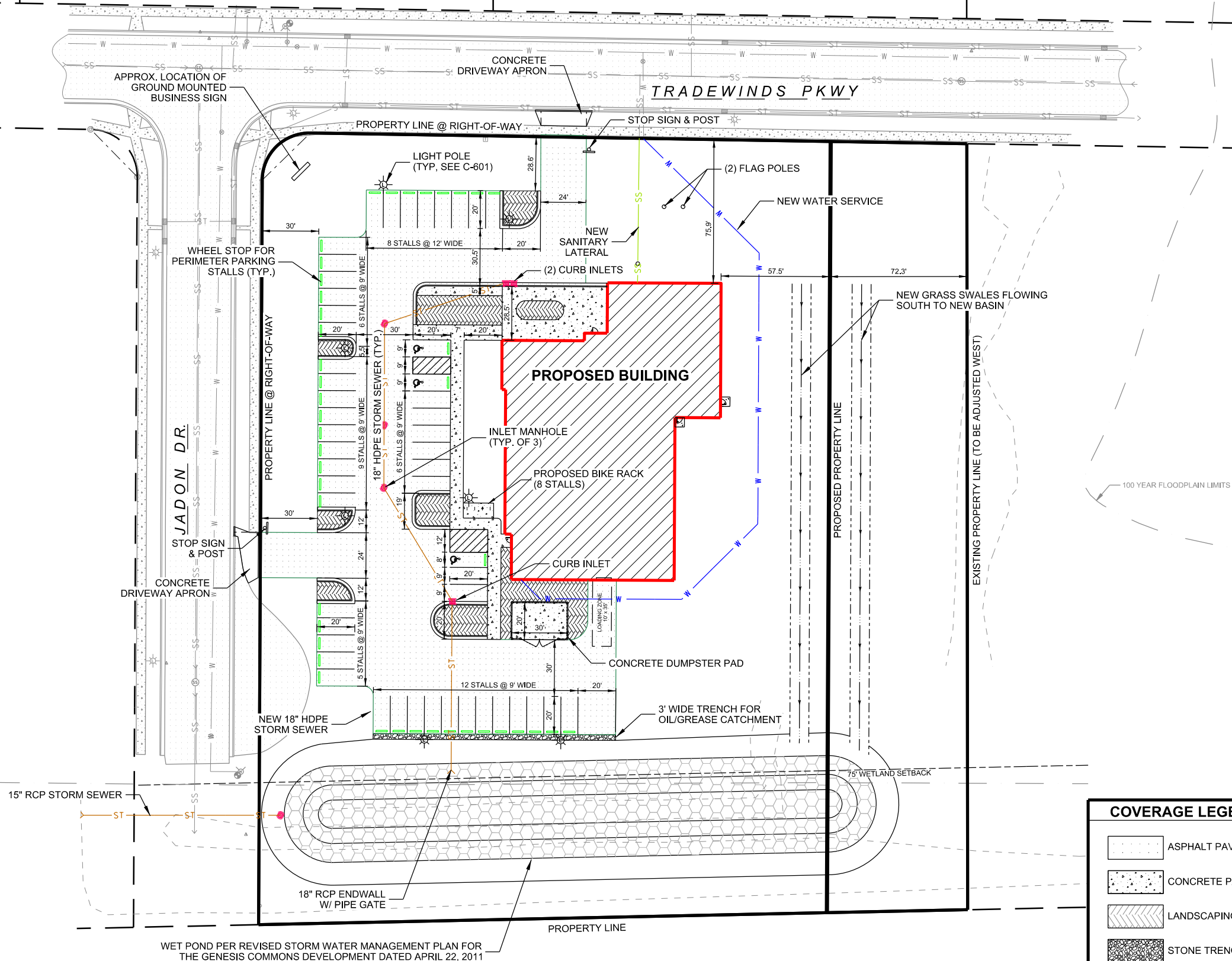
**FUTURE LOT AREA:	123,735 SF
**FUTURE LOT COVERAGE:	45,918 SF (37.1%)

\*\*NEW CSM IS BEING CREATED TO REDUCE THE OVERALL LOT SIZE.

**PARKING SUMMARY**

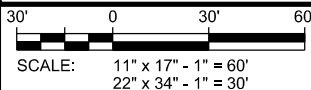
LAND USE:	PROFESSIONAL OFFICE (PERMITTED)
ASSUMED EMPLOYEES:	34
BUILDING FLOOR AREA:	14,130 SF
MINIMUM STALL COUNT:	35 (1 PER 400 SF FLOOR AREA)
MAXIMUM STALL COUNT:	56 (1 PER 250 SF FLOOR AREA)
MINIMUM BIKE STALLS:	7 (1 PER 2,000 SF FLOOR AREA)
VEHICLE STALLS PROVIDED:	51 (INCLUDES 3 ADA STALLS)
BIKE STALLS PROVIDED:	8

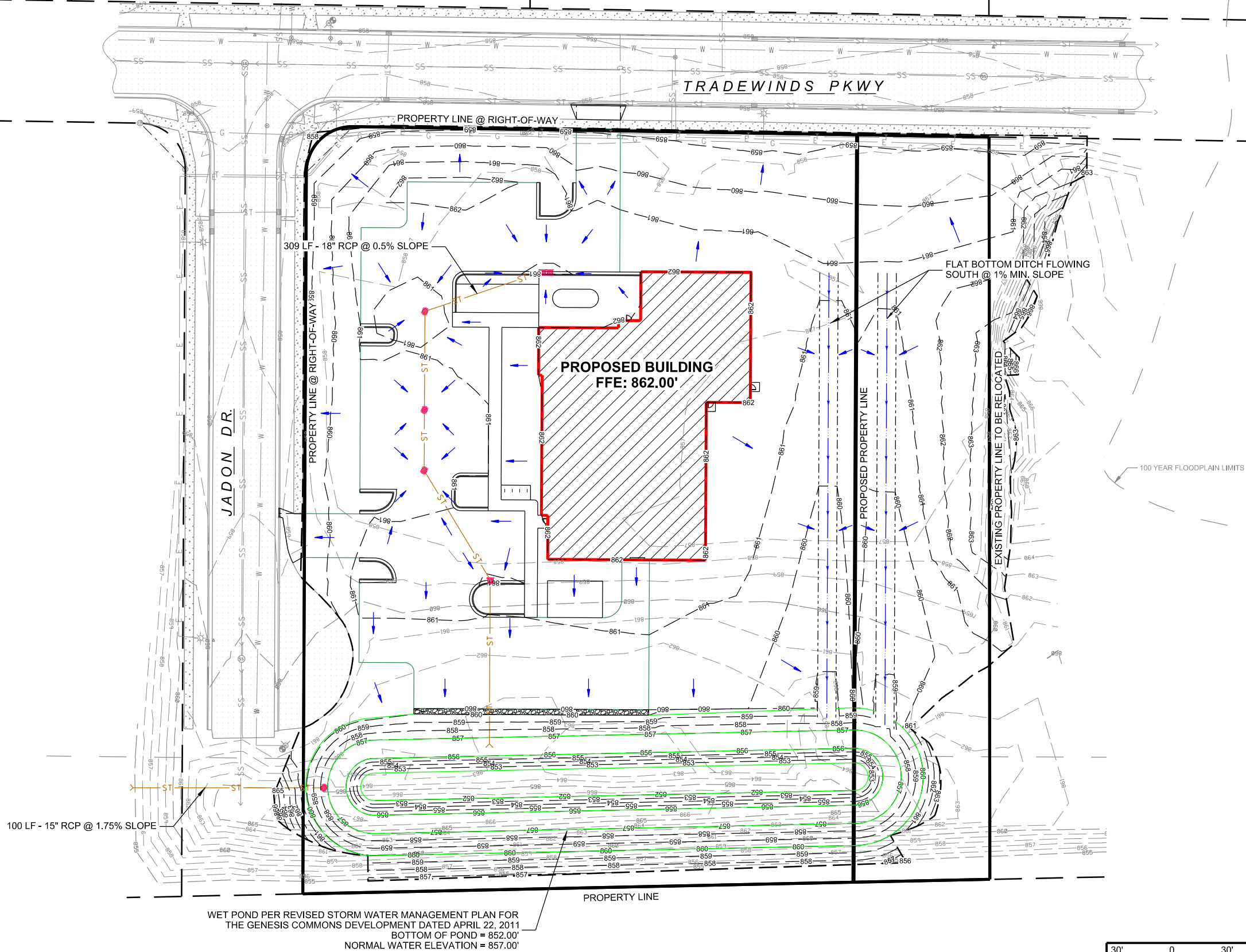
LAND USES PERMITTED PER TABLE 28F-1 OF CITY ZONING CODE.  
PARKING REQUIREMENTS PER TABLE 28I-3 OF CITY ZONING CODE.



**COVERAGE LEGEND:**

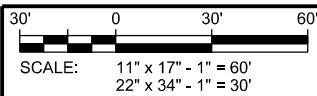
	ASPHALT PAVEMENT
	CONCRETE PAD
	LANDSCAPING BED
	STONE TRENCH





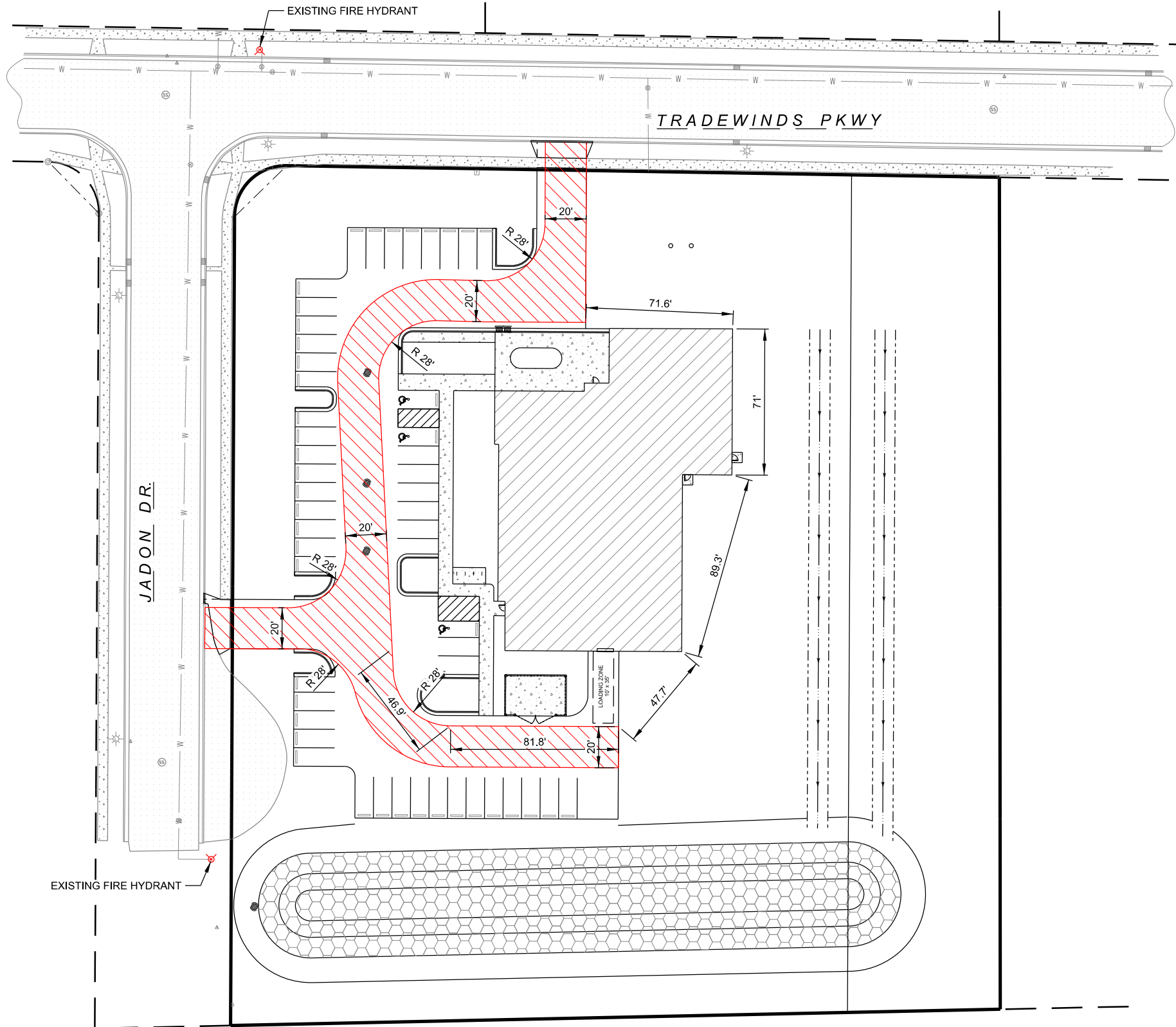
REVISIONS:	
MARK	DESCRIPTION

ISSUE DATE:	09/06/2017
SET TYPE:	PR
GRAPHIC SCALE:	60,000' / 1"
DRAWN BY:	AM/FINED
CHECKED BY:	BJB
PLOT DATE:	9/6/2017
PROJECT NUMBER:	16532
FILE NAME:	C-102.dgn





K:\16520\16532\CAD\Plan\C-401.dgn



**LIONS EYE BANK**  
5003 TRADEWINDS PARKWAY  
CITY OF MADISON, DANE COUNTY, WISCONSIN

**FIRE ACCESS PLAN**

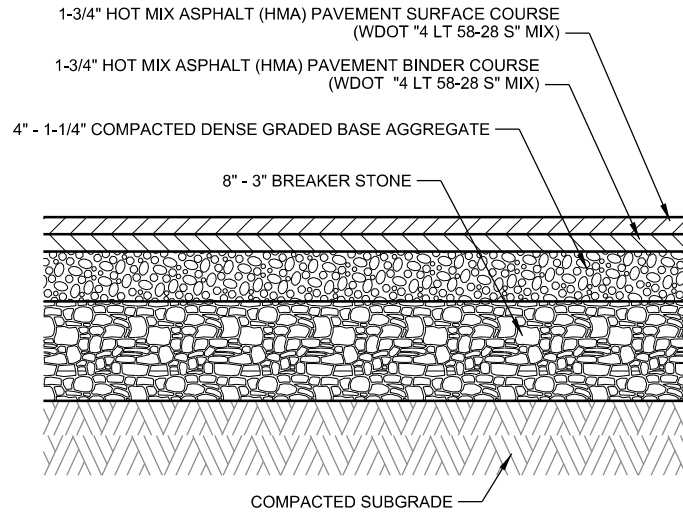
REVISIONS:	
MARK	DESCRIPTION

ISSUE DATE:	09/06/2017
SET TYPE:	PR
GRAPHIC SCALE:	60,000' / 1 in.
DRAWN BY:	AMF/NED
CHECKED BY:	BJB
PLOT DATE:	9/6/2017
PROJECT NUMBER:	16532
FILE NAME:	C-401.dgn

SHEET  
IDENTIFICATION:  
**C-401**

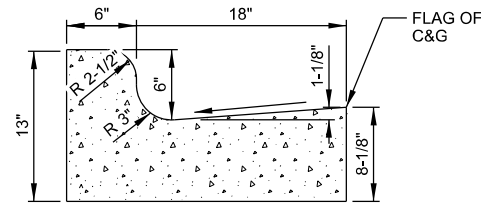
**Edge**  
Consulting Engineers, Inc.

624 Water Street  
Prairie du Sac, WI 53578  
608.644.1449 voice  
608.644.1549 fax  
www.edgeconsult.com

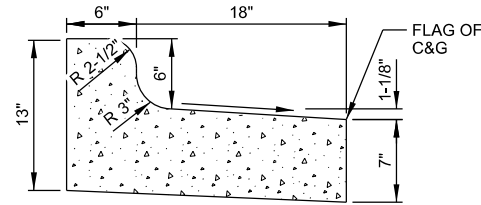


- NOTES:
1. APPLY TACK COAT BETWEEN LAYERS

**A ASPHALT PAVEMENT SECTION**  
SCALE: NTS



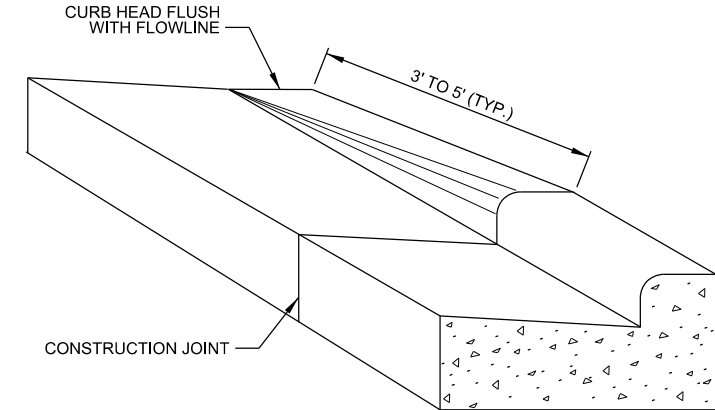
**STANDARD 24" CONCRETE CURB & GUTTER**



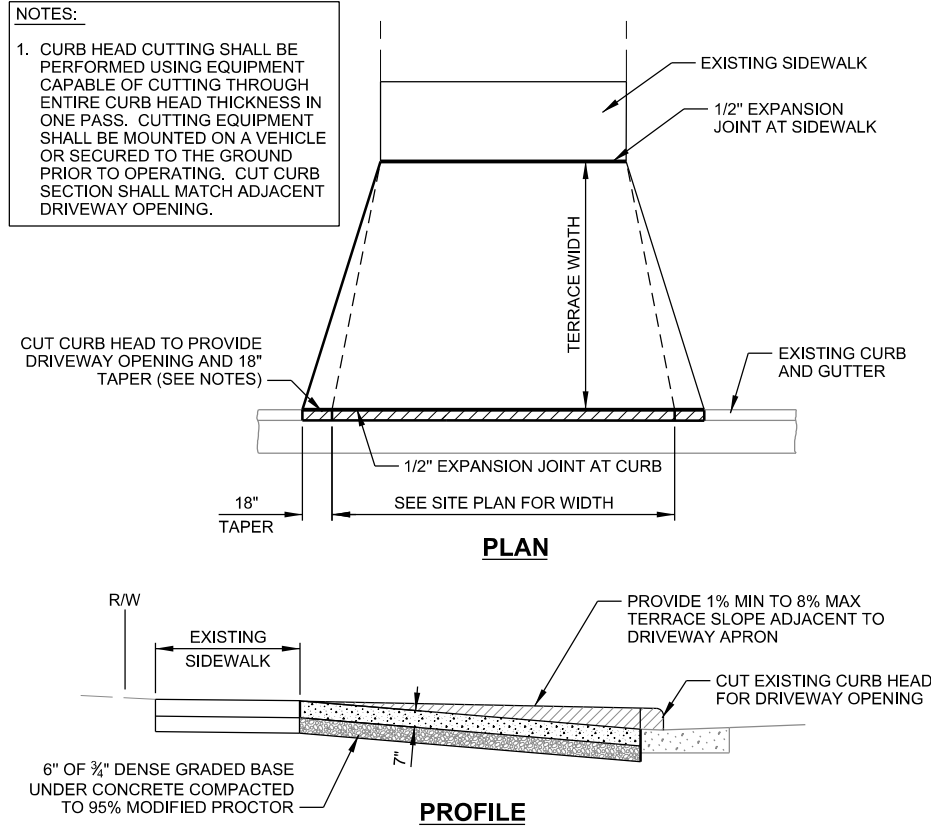
**REJECT 24" CONCRETE CURB & GUTTER**

- GENERAL NOTES:
1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
  2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF 200' OF LESS, AND AT ANGLE POINTS, OR AS DIRECTLY BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
  3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON 6" OF THOROUGHLY COMPACTED CRUSHED STONE.
  4. HAND TOOL ALL JOINTS.
  5. MEDIUM BROOM FINISH.

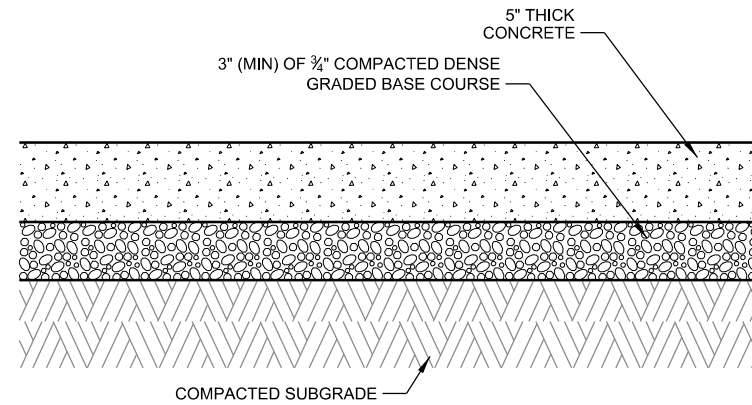
**B TYP. 24" CURB & GUTTER DETAIL**  
SCALE: NTS



**C CURB AND GUTTER TAPER DETAIL**  
SCALE: NTS

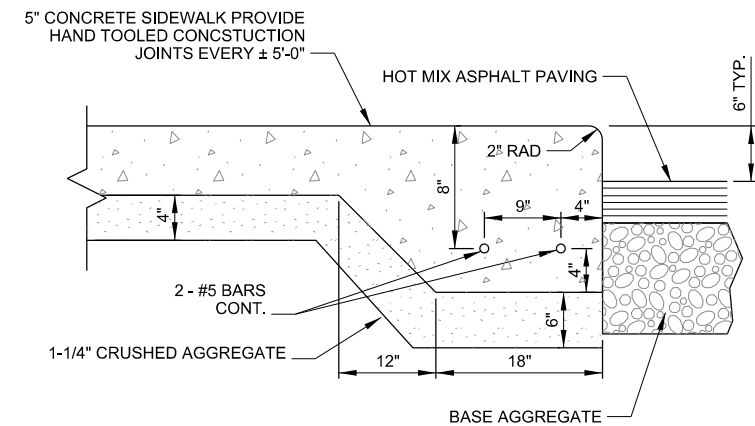


**D CONCRETE DRIVEWAY APRON DETAIL**  
SCALE: NTS



- NOTES:
1. CONCRETE TO BE 4,000 PSI @ 28 DAYS
  2. AIR ENTRAINMENT TO BE 6% AIR CONTENT MIN.
  3. APPLY 2 COATS OF HIGH SOLIDS CURING COMPOUND (ASTM C309)
  4. JOINT SPACING TO BE 12' MAX & RECTANGULAR IN SHAPE (NO SHARP ANGLES)
  5. JOINT DEPTH SHALL BE 1/4" DEEP PER INCH OF PAVEMENT THICKNESS
  6. DO NOT SEAL JOINTS
  7. MEDIUM BROOM FINISH

**E CONCRETE SIDEWALK SECTION**  
SCALE: NTS



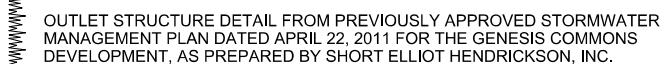
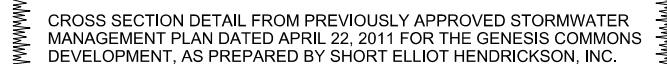
**F THICKENED EDGE SIDEWALK**  
SCALE: NTS

REVISIONS:	
MARK	DESCRIPTION

ISSUE DATE:	09/06/2017
SET TYPE:	PR
GRAPHIC SCALE:	0.167' / in.
DRAWN BY:	AMF/IN
CHECKED BY:	BJB
PLOT DATE:	9/6/2017
PROJECT NUMBER:	16532
FILE NAME:	C-501.dgn





[illegible]

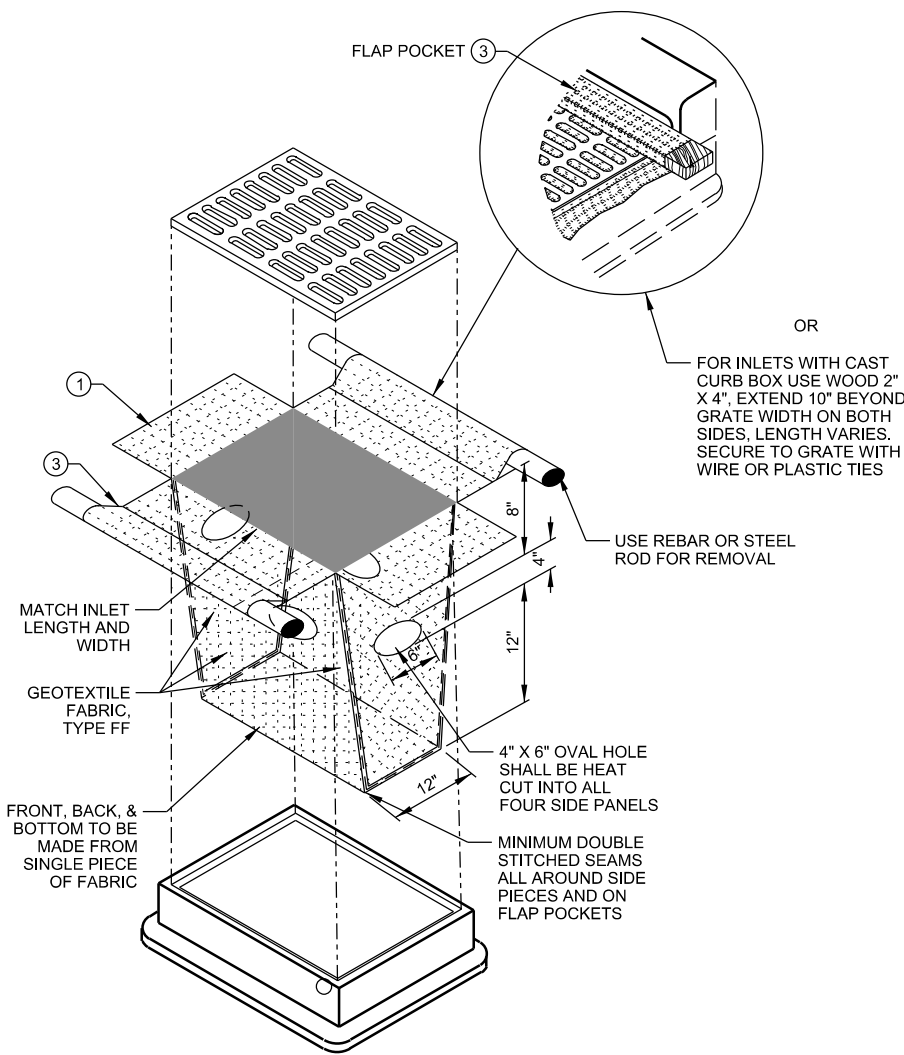
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<b>DRAWN BY:</b>	MMF/NED
<b>CHECKED BY:</b>	BJB
<b>PLOT DATE:</b>	09/06/2017
<b>PROJECT NUMBER:</b>	16532
<b>FILE NAME:</b>	C-503.dgn

GENERAL NOTES

1. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON WDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
4. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
6. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

INSTALLATION NOTES, TYPE D

1. DO NOT INSTALL TYPE D IN LETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
2. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL
3. CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

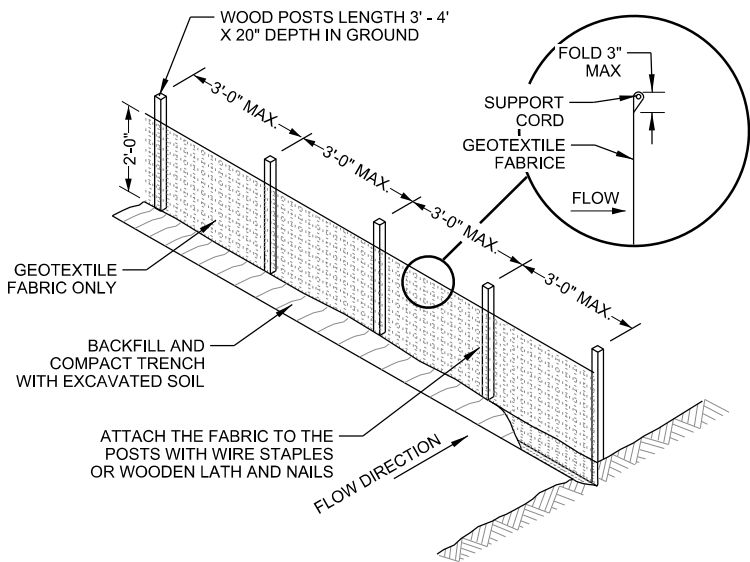


INLET PROTECTION, TYPE D

A

INLET PROTECTION DETAILS

SCALE: NTS



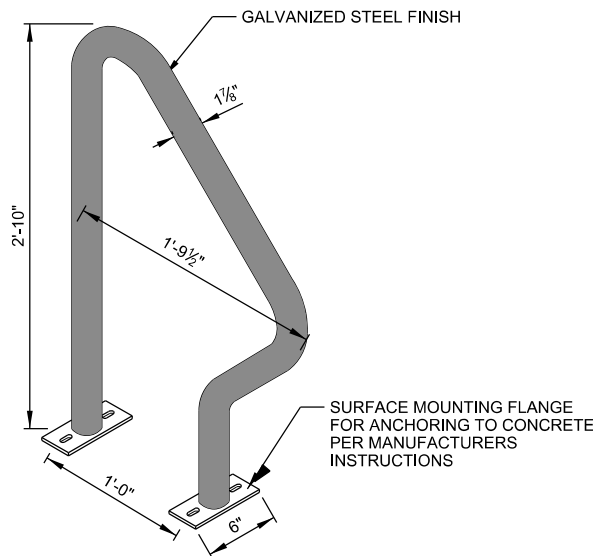
NOTES

1. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
2. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF HICKORY OR OAK.
3. 8'-0" POST SPACING ALLOWED IF WOVEN GEOTEXTILE FABRIC IS USED.
4. ADDITIONAL POST DEPTH OR TIE BACKS MAYBE REQUIRED IN UNSTABLE SOILS.

B

SILT FENCE DETAIL

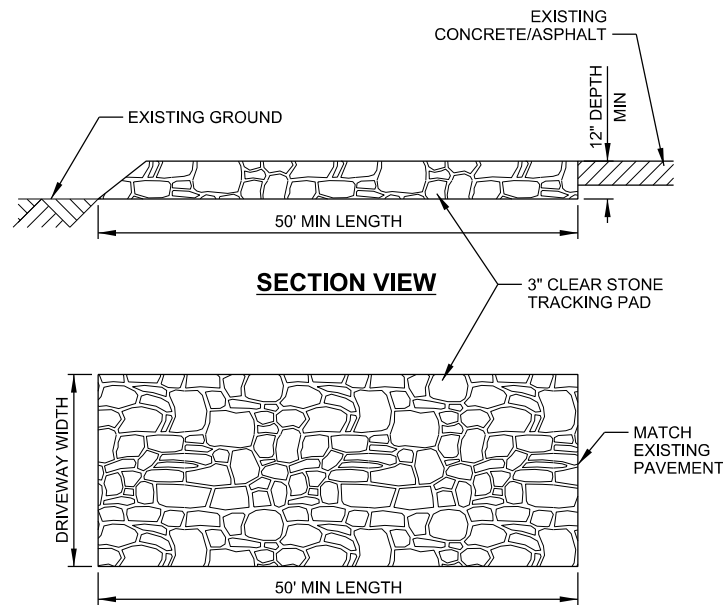
SCALE: NTS



D

BICYCLE RACK DETAIL

SCALE: NTS



SECTION VIEW

PLAN VIEW

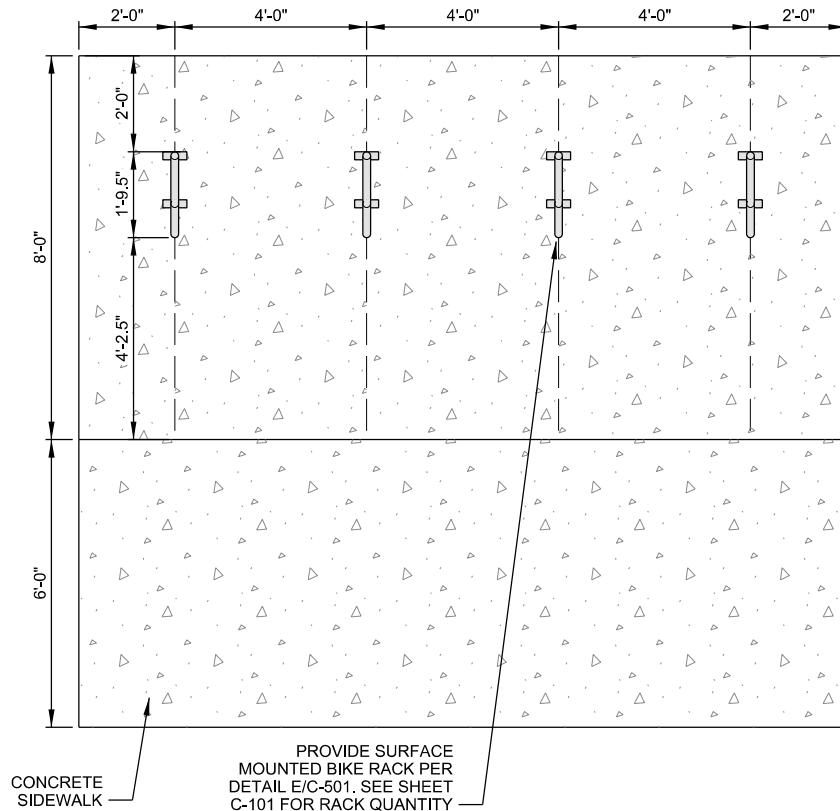
NOTES

1. TRACKING PAD WILL BE UNDERLAIN WITH A GEOTEXTILE FABRIC IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057

C

STONE TRACKING PAD

SCALE: NTS



E

BICYCLE STALL DETAIL

SCALE: NTS

REVISIONS:		DESCRIPTION:
MARK:	DATE:	

ISSUE DATE:	09/06/2017
SET TYPE:	PR
GRAPHIC SCALE:	0.167' / In.
DRAWN BY:	AM/FINED
CHECKED BY:	BJB
PLOT DATE:	9/6/2017
PROJECT NUMBER:	16532
FILE NAME:	C-504.dgn

SHEET  
IDENTIFICATION:

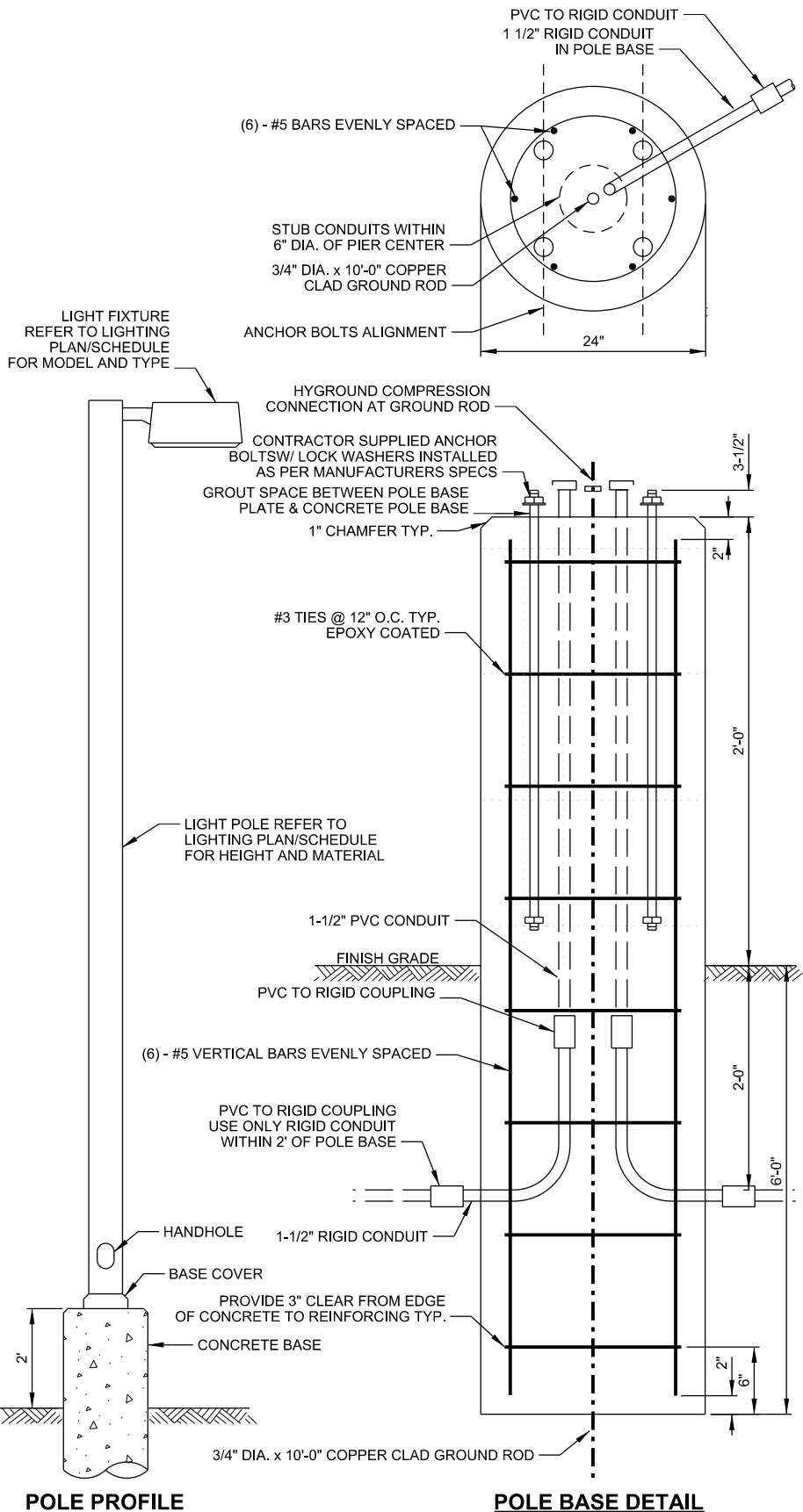
C-504



LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	A	5	AR4P35-80L3K	ARCHETYPE LED PICO-PRISM DIE-CAST ALUMINUM HOUSING AND LENS FRAME, ANODIZED DECK WITH PICO-PRISMS.	80 DIODES, 3000K.	ar4p35-80BcLes	Absolute	1,00	90.3
	B	2	AR4P35-80L3K	ARCHETYPE LED PICO-PRISM DIE-CAST ALUMINUM HOUSING AND LENS FRAME, ANODIZED DECK WITH PICO-PRISMS.	80 DIODES, 3000K.	ar4p35-80BcLes	Absolute	1,00	180.6

STATISTICS			
Description	Avg	Max	Min
Parking Area	1.5 fc	4.2 fc	0.2 fc

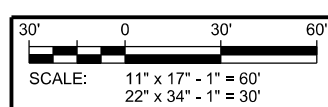
LUMINAIRE LOCATIONS				
No.	Label	MH	Orientation	Tilt
1	B	22.0	90.0	0.0
2	A	22.0	180.0	0.0
3	A	22.0	90.0	0.0
4	B	22.0	0.0	0.0
5	A	22.0	270.0	0.0
6	A	22.0	0.0	0.0
7	A	22.0	0.0	0.0



POLE PROFILE

POLE BASE DETAIL

**A** **LIGHT POLE BASE DETAIL**  
SCALE: NTS



**LIONS EYE BANK**  
**5003 TRADEWINDS PARKWAY**  
**CITY OF MADISON, DANE COUNTY, WISCONSIN**  
**PHOTOMETRIC PLAN**

REVISIONS:		DESCRIPTION:
MARK:	DATE:	

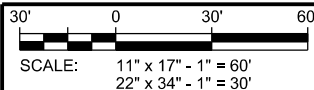
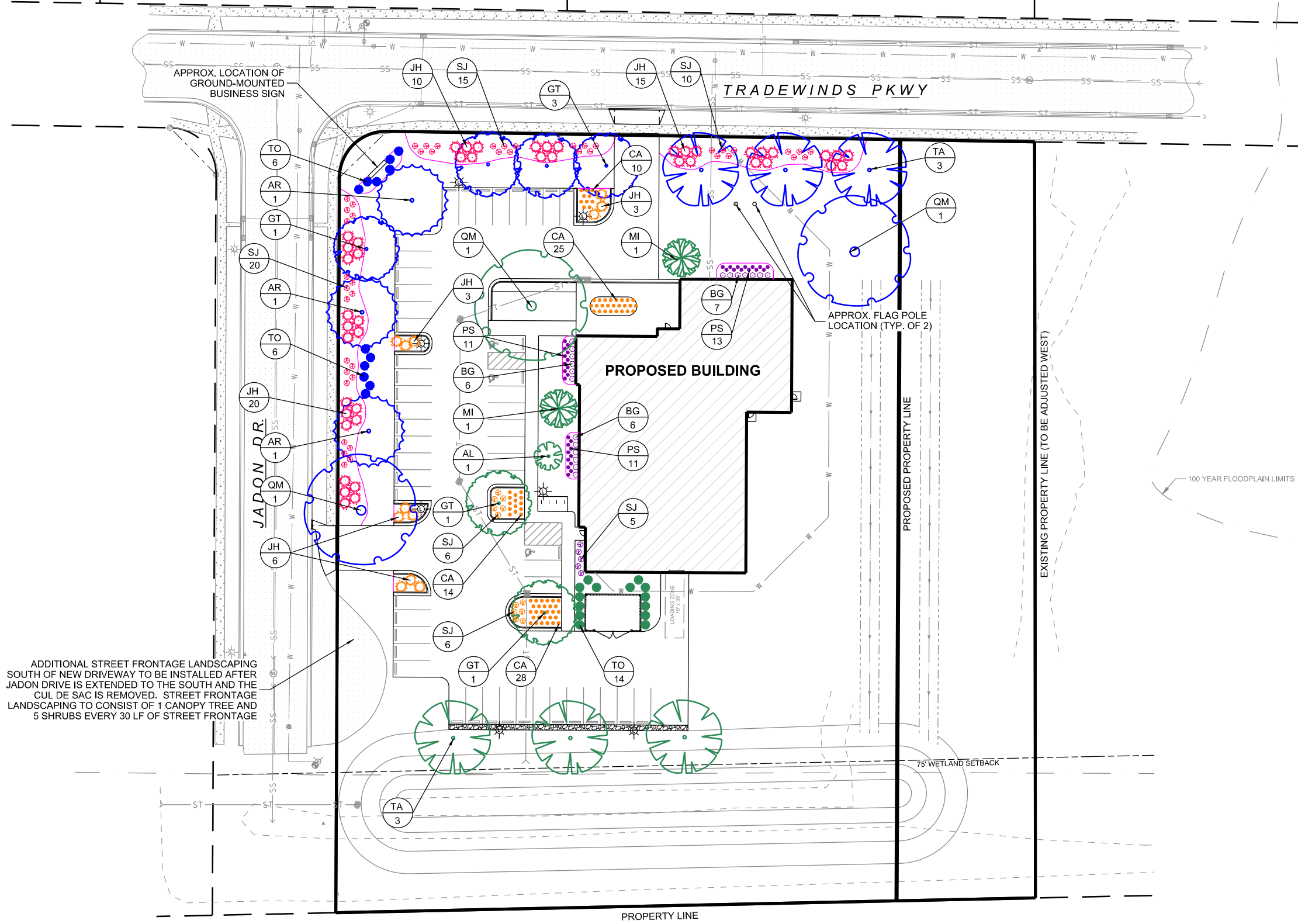
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SET TYPE:	PR
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DRAWN BY:	AMFINED
CHECKED BY:	BJB
PLOT DATE:	9/6/2017
PROJECT NUMBER:	16532
FILE NAME:	C-601.dgn





REVISIONS:	
MARK	DESCRIPTION

ISSUE DATE:	09/06/2017
SET TYPE:	PR
GRAPHIC SCALE:	60,000' / 1" = 60'
DRAWN BY:	AMF/IN
CHECKED BY:	BJB
PLOT DATE:	9/6/2017
PROJECT NUMBER:	16532
FILE NAME:	L-100.dgn



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LIONS EYE BANK

5003 Tradewinds Parkway

LANDSCAPING POINT SUMMARY

123,735 = Total Lot Area (SF)	26,070 = Site Area for New Parking Stalls (SF)
31,788 = Developed Area (SF)	2,086 = 8% of New Parking Stall Area (SF)
318 = Landscape Points Required (1/100 SF)	2,142 = Provided Landscape Island Area (SF)
294.50 = Tradewinds Pkwy Lot Frontage (LF)	
230.40 = Jadon Drive Lot Frontage (LF) - Current Phase	
182.60 = Jadon Drive Lot Frontage (LF) - Cul de Sac Area	

Interior Parking Lot Island Areas

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size	Points Each	Total Points
<b>TREES</b>								
GT	2	Gleditsia triacanthos var. inermis	Thornless Honeylocust	20-30'	20-30'	3" BB	35	70
AL	1	Amelanchier laevis	Alleghany Serviceberry	25'	15'	1-1/2" BB	15	15
MI	2	Malus ioensis	Prairie Crabapple	10-25'	20'	1-1/2" BB	15	30
TA	3	Tilia americana	American Linden	75'	40-50'	3" BB	35	105
QM	1	Quercus macrocarpa	Bur Oak	60-80'	60-80'	3" BB	35	35
TO	14	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	20-25'	3-5'	5' Height	10	140
<b>SHRUBS</b>								
JH	12	Juniperus horizontalis	Creeping Juniper	1'	6-8'	1 gal.	4	48
SJ	12	Spiraea japonica 'Goldmound'	Goldmound Spirea	2'	2-3'	3 gal.	3	36
<b>GRASSES</b>								
CA	77	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Grass	3-5'	2'	2 gal.	2	154
							<b>Subtotal</b>	<b>633</b>

Foundation Plantings

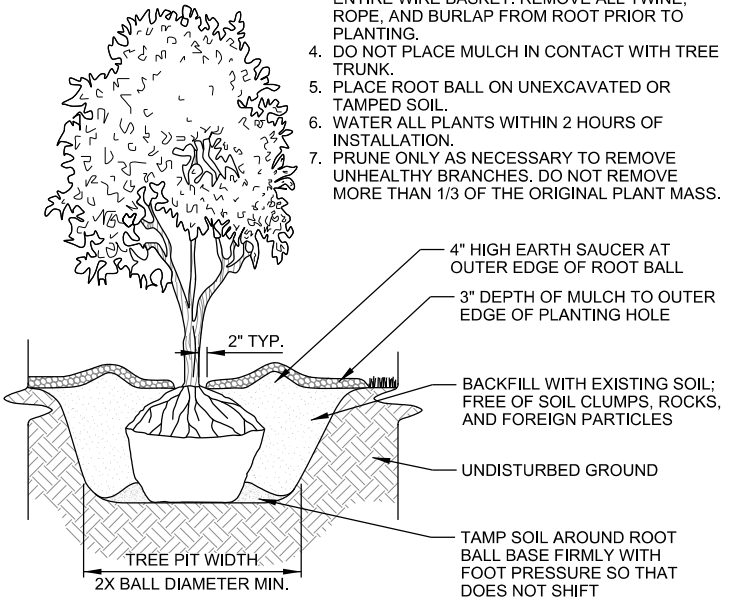
Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size	Points Each	Total Points
<b>SHRUBS</b>								
SJ	5	Spiraea japonica 'Goldmound'	Goldmound Spirea	2'	2-3'	3 gal.	3	15
BG	19	Buxus x 'Green Mound'	Green Mound Boxwood	3'	3'	3 gal.	4	76
<b>PERENNIALS</b>								
PS	35	Phlox subulata 'Blue Emerald'	Blue Emerald Creeping Phlox	4-6"	2'	1 gal.	2	70
							<b>Subtotal</b>	<b>161</b>

Frontage

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size	Points Each	Total Points
<b>TREES</b>								
AR	3	Acer rubrum	Red Maple	40-70'	30-50'	2" BB	35	105
GT	4	Gleditsia triacanthos var. inermis	Thornless Honeylocust	20-30'	20-30'	3" BB	35	140
QM	2	Quercus macrocarpa	Bur Oak	60-80'	60-80'	3" BB	35	70
TO	12	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	20-25'	3-5'	5' Height	10	120
TA	3	Tilia americana	American Linden	75'	40-50'	3" BB	35	105
<b>SHRUBS</b>								
JH	45	Juniperus horizontalis	Creeping Juniper	1'	6-8'	1 gal.	4	180
SJ	45	Spiraea japonica 'Goldmound'	Goldmound Spirea	2'	2-3'	3 gal.	3	135
							<b>Subtotal</b>	<b>140</b>
							<b>TOTAL POINTS</b>	<b>934</b>
							<b>Points Req'd</b>	<b>318</b>

NOTES:

1. PLANT EACH TREE SUCH THAT THE BASE OF THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE ENTIRE WIRE BASKET. REMOVE ALL TWINE, ROPE, AND BURLAP FROM ROOT PRIOR TO PLANTING.
4. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



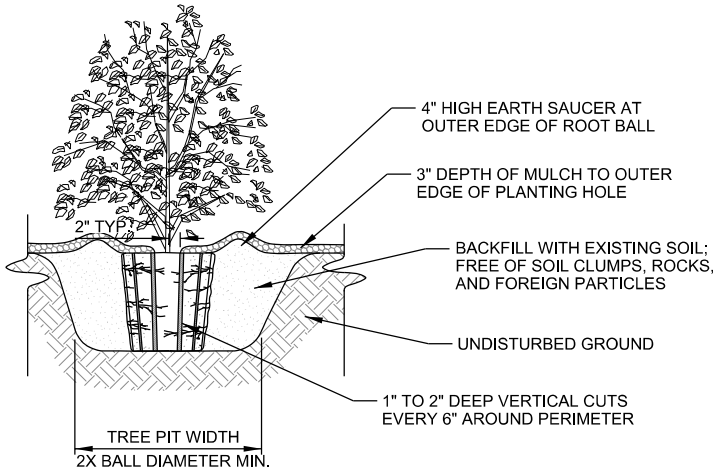
A

BALL & BURLAP TREE PLANTING DETAIL

SCALE: NTS

NOTES:

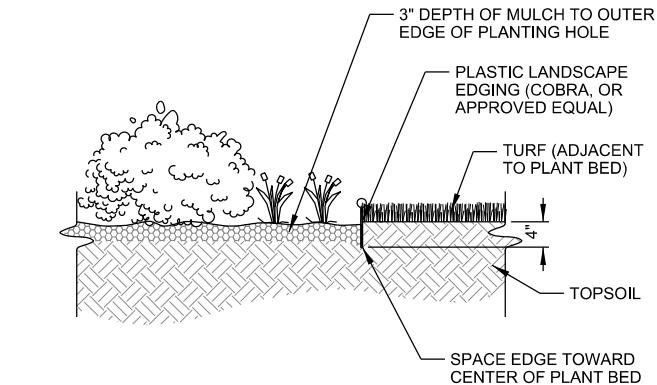
1. FOR 3 TO 10 GALLON CONTAINERS: MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING.
2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



C

LARGE CONTAINER PLANTING DETAIL

SCALE: NTS



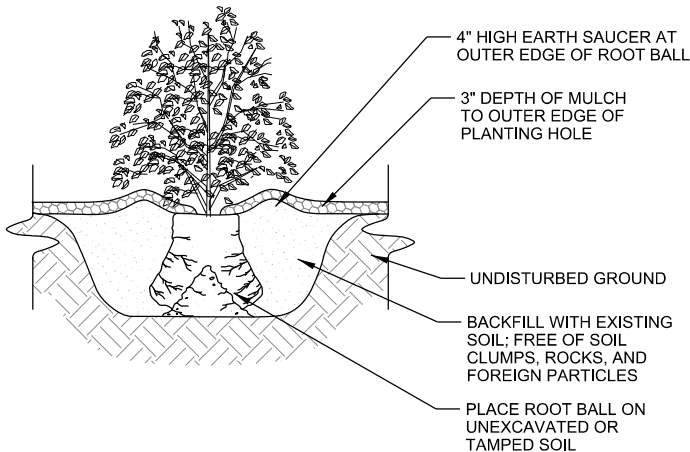
B

PLANTING BED EDGE DETAIL

SCALE: NTS

NOTES:

1. FOR 1 TO 2 GALLON CONTAINERS: BUTTERFLY ROOT BALL. SEVER LOWER 1/3 TO 1/2 OF ROOTBALL WITH A SINGLE CUT. SPREAD OPEN SEVERED ROOT BALL AND PLACE AGAINST BOTTOM OF THE MOUNDED PLANTING HOLE.
2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



D

SMALL CONTAINER PLANTING DETAIL

SCALE: NTS

REVISIONS:

MARK	DATE	DESCRIPTION

ISSUE DATE:

09/06/2017

SET TYPE:

PR

GRAPHIC SCALE:

2,000' / In.

DRAWN BY:

AMF/IN

CHECKED BY:

BJB

PLOT DATE:

9/6/2017

PROJECT NUMBER:

16532

FILE NAME:

L-101.dgn

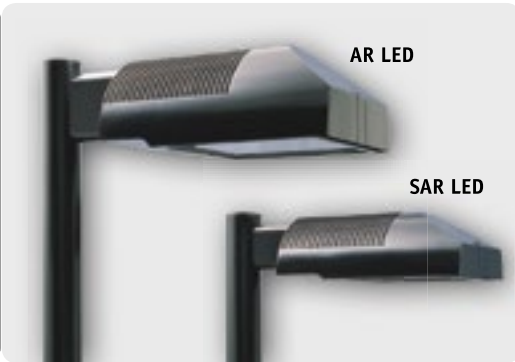
SHEET  
IDENTIFICATION:

L-101

# SAR/AR

## The Archetype® LED with PicoPrism®

SITE / AREA



### FEATURES

- LED PicoPrism technology
- Efficient, effective downward control of light with full uplight cutoff
- IES Type II, III, IV, V, and One-Way L or R Full-Cutoff distribution patterns
- Easy-access, tool-less latches for lower maintenance



3000K and warmer CCTs only

### ORDERING INFORMATION (Example)

1SA			SAR3P35			60L5K120			SG			
MOUNTING			EPA			FIXTURE FINISH						
SAR Small												
■	1SA	1 Arm Side Mt.	0.7							BL	Black	
■ ■	2SB	2 Arm Side Mt.	1.4							DB	Dark Bronze	
■ ■	2SL	2 Arm Side Mt.	1.2							LG	Light Gray	
■ ■ ■	3ST	3 Arm Side Mt.	1.9							TT	Titanium	
■ ■ ■	3SY <sup>1</sup>	3 Arm Side Mt.	1.9							PS	Platinum Silver	
■ ■ ■ ■	4SC	4 Arm Side Mt.	2.5							WH	White	
									CC	Custom Color*		
									*Consult representative			
AR Large												
■	1A	1 Arm Side Mt.	1.2							ELECTRICAL MODULE <sup>3</sup>		
■ ■	2B	2 Arm Side Mt.	2.4									
■ ■	2L	2 Arm Side Mt.	2.0									
■ ■ ■	3T	3 Arm Side Mt.	3.2									
■ ■ ■	3Y <sup>1</sup>	3 Arm Side Mt.	3.2									
■ ■ ■ ■	4C	4 Arm Side Mt.	3.9									
■ ■ ■ ■	1W <sup>2</sup>	Single Wall Mt.	n/a									
NOTE: EPA is for Fixture only												

NOTE: EPA is for Fixture only

### FIXTURE

Distribution		Current	
SAR2	Type II	AR2	Type II
SAR3	Type III	AR3	Type III
SAR4	Type IV	AR4	Type IV
SAR5	Type V	AR5	Type V
SARR	Type R	ARR	Type R
SARL	Type L	ARL	Type L
		P35	350mA PicoPrism
		P70	700mA PicoPrism

<sup>1</sup> 3Y only available on round slipfitter.

<sup>2</sup> Junction box in wall must provide adequate fixture support.

<sup>3</sup> Driver has a 0-10V dimming interface with a dimming range of 10-100%. Compatible with most control systems.

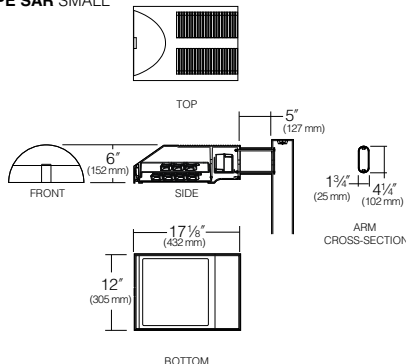
<sup>4</sup> Due to current unavailability of 347V and 480V drivers, specification of these voltages may feature an integral step-down transformer.

<sup>5</sup> Required only for vandal protection in locations where fixtures can be reached by unauthorized persons.

**Note:** HID to LED Upgrade Kits available. Contact factory.

Consult DLC Website for current qualified product listings.

### THE ARCHETYPE SAR SMALL



### THE ARCHETYPE AR LARGE

