



Exterior - Front



Exterior - Side



Exterior - Side



Exterior - Side



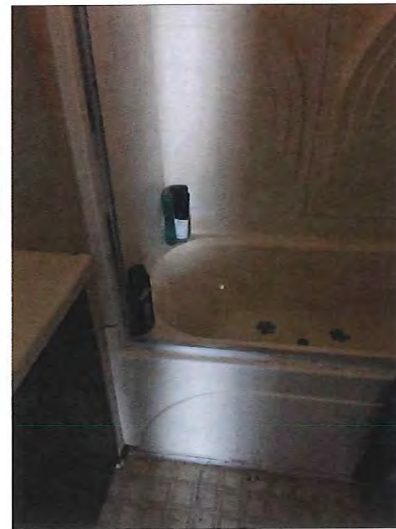
Exterior - Close Up - Front Porch



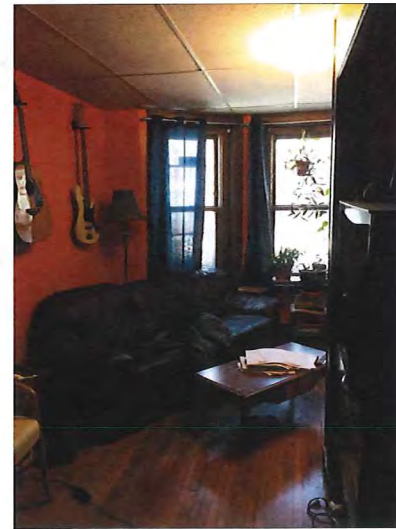
Interior - Basement



Interior - Living Room Ceiling



Interior - Bathroom



Interior - Living Room



Interior - Kitchen



InSite Consulting Architects
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866-297-1762 (fax)
info@csarc.com



RENAISSANCE PROPERTY GROUP, LLC

707-709 Johnson Street
707-709 E Johnson St
Madison, WI 53703



Exterior - South



Exterior - East



Exterior - West



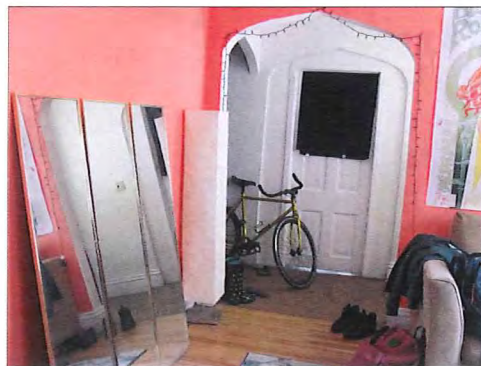
Exterior - Close Up - Front Porch



Exterior - Close Up - Back Porch



Interior - Basement



Interior - 1st Floor Living Room



Interior - 1st Floor Bedroom

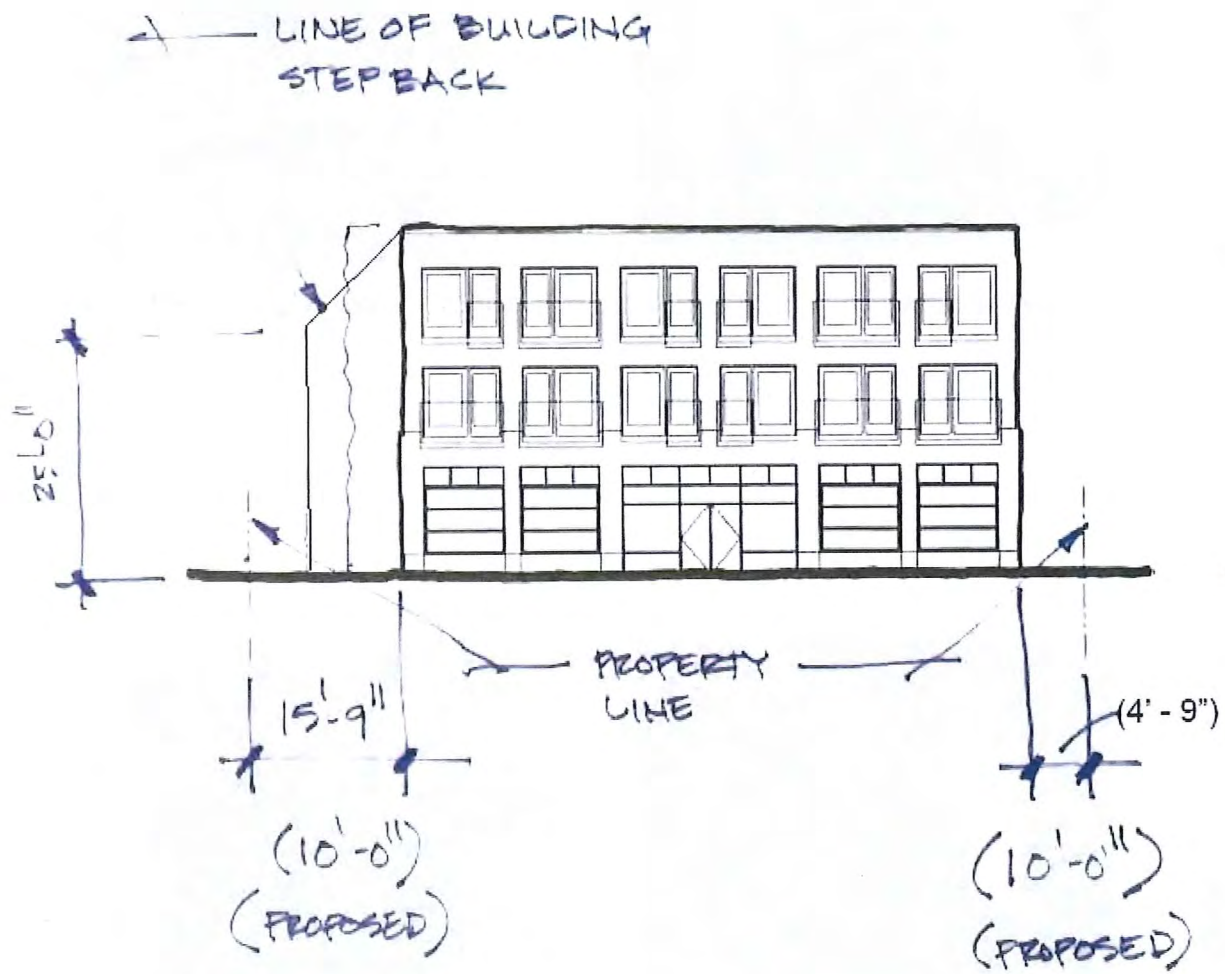


Interior - 2nd Floor Living Room

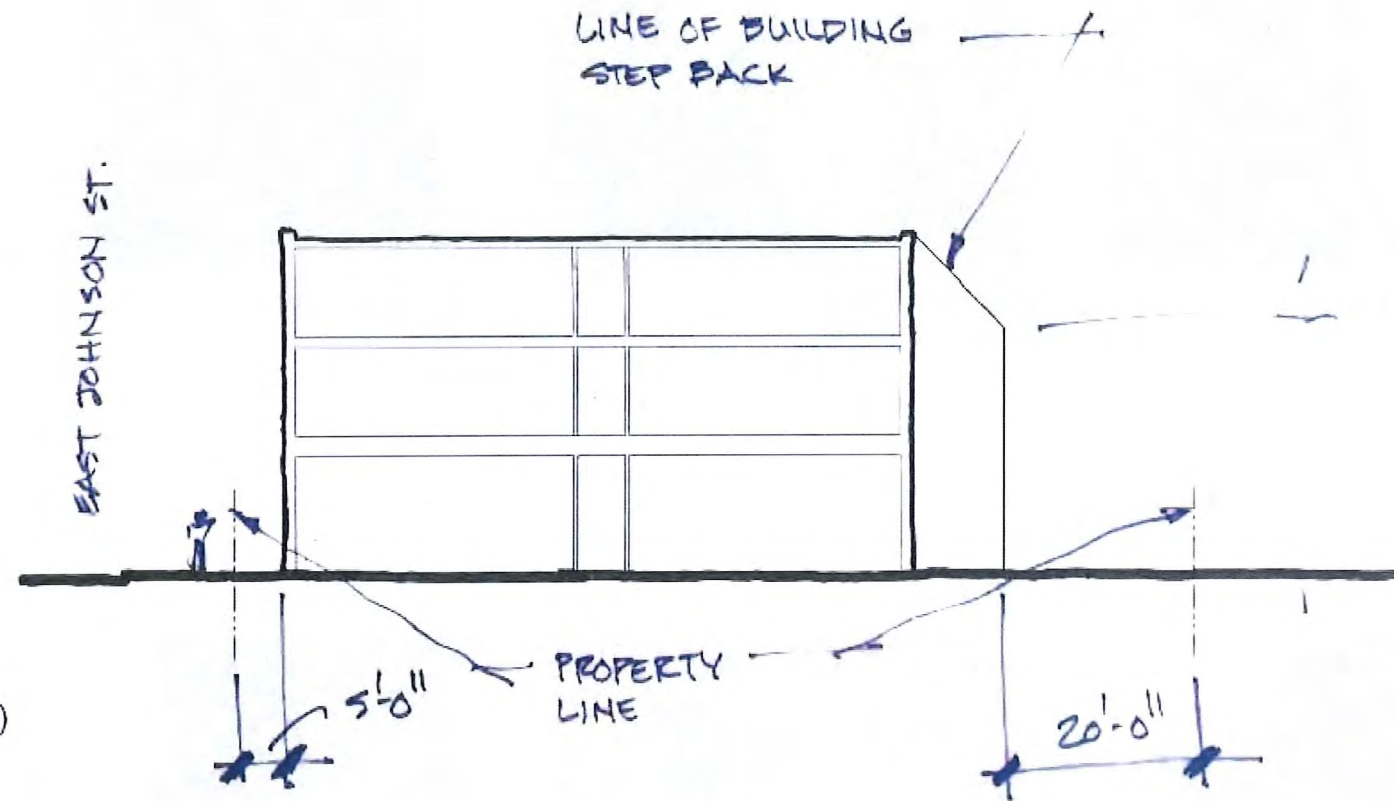


Interior - 2nd Floor Bedroom

711-713 Johnson Street - House Move
711-713 Johnson St
Madison, WI 53703



JOHNSON ST. ELEVATION



BUILDING SECTION

FRONT YARD ← → BACK YARD





Aluminum - 2" Frame Width



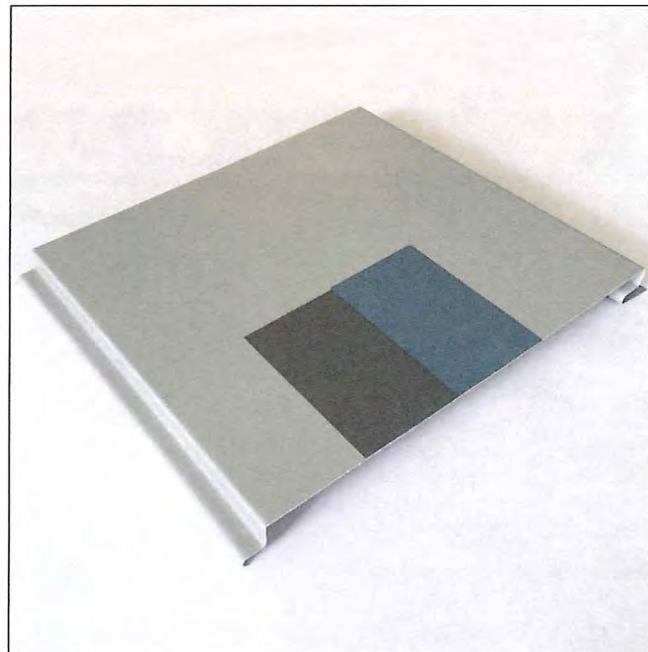
Charcoal Brick - Summit Brick & Tile
Smooth Surface at Header Courses



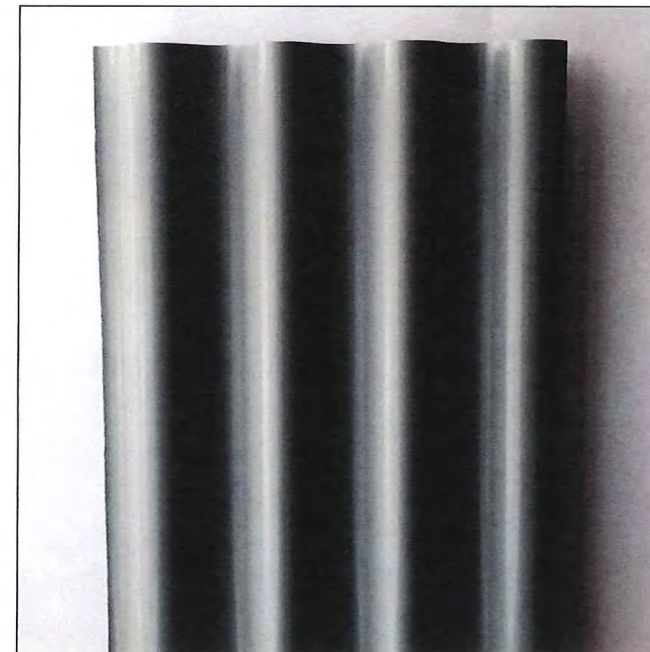
Limestone - Indiana Buff



Glass - 1" Insulated with Gray Tint



Metal Siding #1 - 10" Wide Flush Panel



Metal Siding #2 - Corrugated



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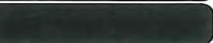
RENAISSANCE PROPERTY GROUP, LLC

MIXED USE BUILDING
700 E. Johnson St.
Madison, WI

ICA NO. RPG 15-001



LAND USE APPLICATION 6-15-16



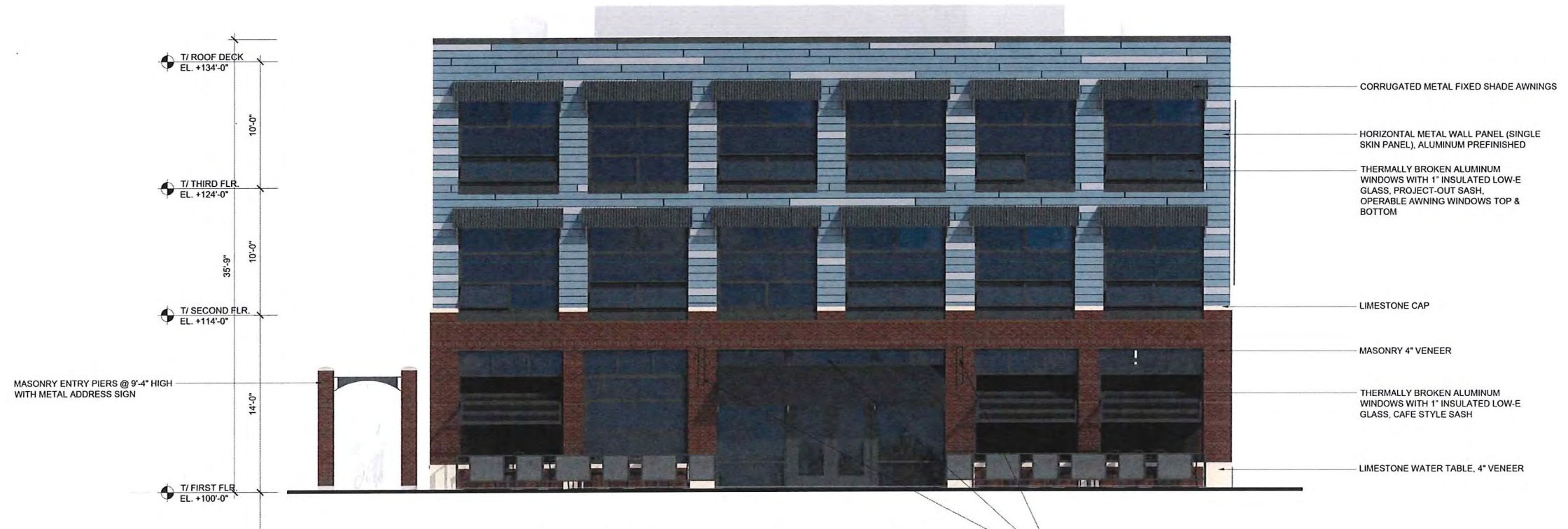


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1 WEST (JOHNSON STREET) ELEVATION
A3.1 SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
A3.1 SCALE: 3/16" = 1'-0"

THE KM2 BUILDING
Mixed Use Building
707-713 E. Johnson St.
Madison, WI 53703

ICA NO. RPG 15-001

ELEVATIONS

LAND USE APPLICATION UPDATES
07-25-16

A3.1



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INSITE CONSULTING ARCHITECTS



T/ ROOF DECK
EL. +134'-0"

10'-0"

T/ THIRD FLR.
EL. +124'-0"

35'-9"

10'-0"

T/ SECOND FLR.
EL. +114'-0"

14'-0"

T/ FIRST FLR.
EL. +100'-0"

1 EAST ELEVATION
 A3.2 SCALE: 3/16" = 1'-0"



T/ ROOF DECK
EL. +134'-0"

10'-0"

T/ THIRD FLR.
EL. +124'-0"

35'-9"

10'-0"

T/ SECOND FLR.
EL. +114'-0"

14'-0"

T/ FIRST FLR.
EL. +100'-0"

2 NORTH ELEVATION
 A3.2 SCALE: 3/16" = 1'-0"

THE KM2 BUILDING
 Mixed Use Building
 707-713 E. Johnson St.
 Madison, WI 53703

ICA NO. RPG 15-001

ELEVATIONS

LAND USE APPLICATION UPDATES
 07-25-16

A3.2



VICINITY MAP
SCALE: NONE

The KM2 Building

Mixed Use Building

707-713 E. Johnson St.
Madison, WI 53703



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RENAISSANCE PROPERTY GROUP, LLC

INSITE CONSULTING ARCHITECTS

GENERAL NOTES

- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN BUILDING CODE LATEST EDITION.
- CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFICATION OF, AND COORDINATION WITH, ALL DIMENSIONS SHOWN ON THESE DRAWINGS RELATIVE TO EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL REPORT IMMEDIATELY TO THE ARCHITECT ANY DIMENSION(S) OR DISCREPANCIES VERBALLY, A WRITTEN REPORT SHOULD PROMPTLY FOLLOW. CONTRACTOR SHALL CEASE WORK IN THE AFFECTED AREA UNTIL DIRECTED BY THE ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE ALL METHODS AND EQUIPMENT FOR PROTECTING THE BUILDING, ALL MATERIALS, AND PERSONNEL FROM FIRE OR OTHER DAMAGE PRIOR TO STARTING. THE CONTRACTOR SHALL SUBMIT THE APPROVED METHODS AND EQUIPMENT IN WRITING FOR THE OWNER AND ARCHITECT'S REVIEW PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SHEATHING, REQUIRED FOR THE SAFETY AND PROPER EXECUTION OF THE WORK.
- EXECUTION OF THE WORK WILL INVOLVE CONSIDERATION FOR ALLOWING THE OWNER TO CONTINUE THE OPERATION OF THE BUILDING AND THE BUSINESS IN THE FACILITY AND ADJACENT FACILITIES. PRIOR TO THE AWARD OF THE CONTRACT, THE CONSTRUCTION SCHEDULE PREPARED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT AND SHALL BE COORDINATED WITH THE FACILITIES DEPARTMENT. OWNER'S APPROVAL OF THE PROPOSED SCHEDULE SHALL SUPERCEDE THE CONTRACT PROVIDED THE OVERALL TIME IS NOT CHANGED.
- THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL SERVICES (ELECTRICAL, MECHANICAL AND PLUMBING) AFFECTED BY THE REPAIR WORK. THE CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE BUILDING DIRECTLY AND INDIRECTLY AFFECTED BY THE WORK. THE CONTRACTOR SHALL SUBMIT METHODS AND SCHEDULE OF CONNECTIONS TO THE OWNER FOR APPROVAL PRIOR TO BEGINNING WORK.
- AS THE WORK PROGRESSES, THE CONTRACTOR SHALL PRODUCE "AS-BUILT" DRAWINGS FOR THE INSTALLATION OF ALL REPAIR ITEMS UNDER THE CONTRACT. THE ARCHITECT WILL PROVIDE THE GENERAL CONTRACTOR WITH A SET OF REPRODUCIBLE PLANS FOR THIS PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE AS-BUILT DRAWINGS ACCORDING TO THE JOB PROGRESS. EACH PAY REQUEST SUBMITTED BY THE CONTRACTOR SHALL BE ACCOMPANIED BY A COPY OF THE UPDATED AS-BUILT DRAWINGS.
- THE CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" AT 800-242-8511, 48 HOURS (EXCLUDING WEEKENDS AND/OR HOLIDAYS) PRIOR TO DIGGING ANY EXCAVATION. "DIGGER'S HOTLINE" WILL CONTACT UTILITY COMPANIES TO LOCATE AND MARK THEIR UNDERGROUND FACILITIES. NO SUCH WORK SHALL COMMENCE PRIOR TO VERIFICATION THAT ALL UTILITIES HAVE RESPONDED.
- PROTECT TREES, SHRUBS, LAWNS, AND OTHER FEATURES WITHIN PROJECT LIMITS. RESTORE DAMAGED FEATURES TO ORIGINAL CONDITION.



LOCATION MAP
SCALE: NONE

DRAWING INDEX

GENERAL

- A0.01 COVER SHEET, INDEX, GENERAL NOTES
- A0.02 CODE REVIEW SUMMARY
- A0.03 CODE REVIEW PLANS

SURVEY (ISSUED FOR REFERENCE ONLY)

SITE DESIGN

- A1.01 SITE DEMO PLAN
- A1.02 SITE CONTEXT PLAN
- A1.03 ARCHITECTURAL SITE PLAN
- L1.01 LANDSCAPE PLAN
- E1.01 SITE LIGHTING PLAN

STRUCTURAL

- S0.01 STRUCTURAL NOTES
- S1.01 FOUNDATION PLAN
- S1.02 GROUND FLOOR FRAMING PLAN
- S1.03 SECOND FLOOR FRAMING PLAN
- S1.04 THIRD FLOOR FRAMING PLAN
- S1.05 ROOF FRAMING PLAN
- S2.01 STRUCTURAL SCHEDULES
- S3.01 STRUCTURAL DETAILS
- S3.02 STRUCTURAL DETAILS
- S3.03 STRUCTURAL DETAILS

ARCHITECTURAL

- A2.00 LOWER LEVEL FLOOR PLAN
- A2.01 GROUND FLOOR PLAN
- A2.02 SECOND FLOOR PLAN
- A2.03 THIRD FLOOR PLAN
- A2.04 ROOF PLAN
- A3.00 EXTERIOR PERSPECTIVES
- A3.01 BUILDING ELEVATION
- A3.02 BUILDING ELEVATION
- A4.01 BUILDING SECTIONS
- A5.01 WALL SECTIONS
- A5.02 WALL SECTIONS
- A5.21 EXTERIOR ENCLOSURE & ROOF DETAILS
- A5.22 EXTERIOR ENCLOSURE & ROOF DETAILS
- A5.23 EXTERIOR ENCLOSURE & ROOF DETAILS
- A6.01 ENLARGED PLANS
- A6.02 ENLARGED PLANS
- A7.01 PARTITION TYPES & DETAILS
- A8.01 DOOR SCHEDULE
- A8.02 DOOR & FRAME TYPES
- A8.03 DOOR DETAILS
- A8.11 WINDOW TYPES
- A8.12 WINDOW DETAILS
- A9.00 ROOM FINISH SCHEDULE & MATERIAL LEGEND
- A9.01 INTERIOR ELEVATIONS, TOILET ROOMS
- A9.02 INTERIOR ELEVATIONS, KITCHEN
- A10.00 LOWER LEVEL REFLECTED CEILING PLAN (M.E.P. CONCEPT)
- A10.01 FIRST FLOOR REFLECTED CEILING PLAN (M.E.P. CONCEPT)
- A10.02 SECOND FLOOR REFLECTED CEILING PLAN (M.E.P. CONCEPT)
- A10.03 THIRD FLOOR REFLECTED CEILING PLAN (M.E.P. CONCEPT)
- A11.01 VERTICAL CIRCULATION
- A11.02 VERTICAL CIRCULATION
- A11.03 VERTICAL CIRCULATION

THE KM2 BUILDING
Mixed Use Building
707-713 E. Johnson St.
Madison, WI 53703

ICA NO. RPG 15-001

TITLE SHEET, INDEX,
GENERAL NOTES

LAND USE APPLICATION UPDATES
07-25-16

A0.01

CODE ANALYSIS

707 - 713 EAST JOHNSON - PROPOSED NEW MIXED USE BUILDING, MADISON WISCONSIN

BUILDING DATA

NUMBER OF UNITS:	(21) MICRO UNITS
NUMBER OF BEDROOMS:	(21) BEDROOMS
NUMBER OF VEHICLE PARKING STALLS (TOTAL):	(0) TOTAL
NUMBER OF VEHICLE ACC PARKING STALLS:	(0) ACCESSIBLE
NUMBER OF BIKE STALLS - COVERED:	(21) STALLS
NUMBER OF BIKE STALLS - OUTSIDE:	(6) STALLS

BUILDING OVERALL HEIGHT 36 FEET

BASEMENT AREA	= (S-1 OCCUPANCY)	3,584 SF (NET)
FIRST FLOOR AREA	= (A/B/M OCCUPANCY)	3,029 SF (GROSS)
FIRST FLOOR AREA	= (R-2 OCCUPANCY)	900 SF (GROSS)
SECOND FLOOR AREA	=	3,929 SF (GROSS)
THIRD FLOOR AREA	=	3,929 SF (GROSS)
TOTAL AREA	=	15,371 SF (TOTAL)

APPLICABLE CODES

ZONING/MUNICIPAL CODE:	THE CITY OF MADISON GENERAL ORDINANCE
BUILDING CODE:	2009 INTERNATIONAL BUILDING CODE (WITH WI AMENDMENTS)
PLUMBING CODE:	2009 WI COMMERCIAL BUILDING CODE, CHAPTERS 81-84
MECHANICAL CODE:	2009 INTERNATIONAL MECHANICAL CODE (WITH WI AMENDMENTS)
ELECTRICAL CODE:	2009 NATIONAL ELECTRIC CODE (WITH WI AMENDMENTS)
ACCESSIBILITY CODE:	2003 ICC / ANSI A117.1
ENERGY CODE:	2009 INTERNATIONAL ENERGY CONSERVATION CODE
FIRE PREVENTION CODE:	2009 INTERNATIONAL FIRE CODE
	2009 INTERNATIONAL FUEL GAS CODE

IN THE EVENT OF A CONFLICT BETWEEN CODES, STANDARDS OR COVENANTS, THE MORE STRINGENT REQUIREMENT WILL APPLY

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

MULTI-FAMILY RESIDENTIAL	R-2	FIRST, SECOND & THIRD FLOORS
ASSEMBLY, COMMERCIAL & RESIDENTIAL	B & R-1	FIRST FLOOR
MODERATE HAZARD STORAGE	S-1	BASEMENT

CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY

420.2 SEPARATION WALLS.

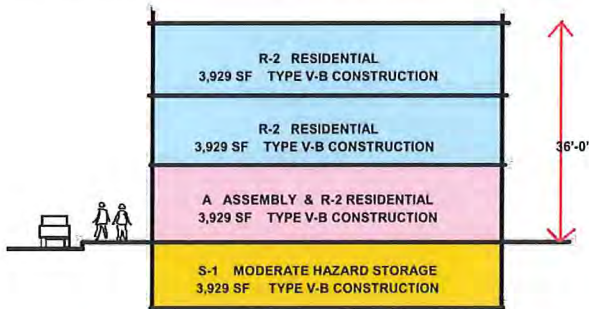
WALLS SEPARATING DWELLING UNITS IN THE SAME BUILDING, WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND WALLS SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 709.

420.3 HORIZONTAL SEPARATION.

FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDINGS, FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND FLOOR ASSEMBLIES SEPARATING DWELLING OR SLEEPING UNITS FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM IN THE SAME BUILDING SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 712.

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

NOTE: BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM (NFPA 13)



503	USING R-2 WITH TYPE V-B CONSTRUCTION	40' MAX HEIGHT	2 STORIES	7,000 SF
	USING R-2 WITH NFPA 13 HEIGHT INCREASE	60' MAX HEIGHT	3 STORIES	7,000 SF
	HEIGHT AND AREA PROPOSED	36' MAX HEIGHT	3 STORIES	3,929 SF

508.4 SEPARATION OF OCCUPANCIES

508.4 TABLE	1 HOUR SEPARATION BETWEEN A & R-2	FULLY SPRINKLERED
	0 HOUR SEPARATION BETWEEN A & S-1	FULLY SPRINKLERED

508.4.1 OCCUPANCY CLASSIFICATION

SEPARATED OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1. EACH SEPARATED SPACE SHALL COMPLY WITH THIS CODE BASED ON THE OCCUPANCY CLASSIFICATION OF THAT PORTION OF THE BUILDING.

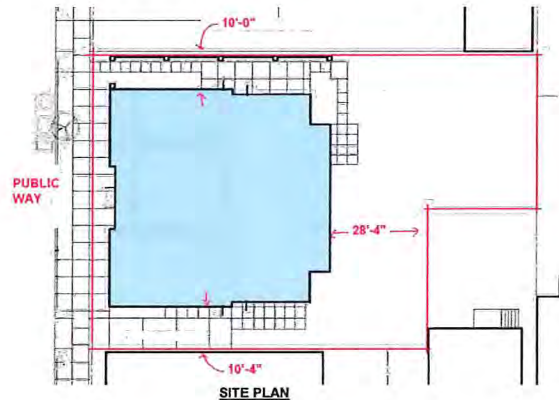
CHAPTER 6 - TYPES OF CONSTRUCTION

601 TABLE RESIDENTIAL & ASSEMBLY, TYPE V-B MINIMUM REQUIREMENTS

PRIMARY STRUCTURAL FRAME	0 HR
BEARING WALLS EXTERIOR	0 HR
BEARING WALLS INTERIOR	0 HR
NONBEARING INTERIOR WALLS	0 HR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HR

602 TABLE EXTERIOR WALL FIRE RESISTANCE RATING BASED ON FIRE SEPARATION DISTANCE

10' < FIRE SEPARATION DISTANCE < 30'
 A OCCUPANCY = 1 HR EXTERIOR WALL RATING
 R OCCUPANCY = 0 HR EXTERIOR WALL RATING



CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

705.8 TABLE EXTERIOR WALLS - MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION

MAXIMUM UNPROTECTED OPENINGS ALLOWED = 45%
 (10 FEET TO LESS THAN 15 FEET; UNPROTECTED, SPRINKLERED)

NORTH ELEVATION OPENINGS =	7.5 % OF WALL AREA	(171 SF / 2,274 SF)
EAST ELEVATION OPENINGS =	29.0 % OF WALL AREA	(670 SF / 2,277 SF)
SOUTH ELEVATION OPENINGS =	7.5 % OF WALL AREA	(171 SF / 2,274 SF)

707 FIRE BARRIERS

707.3.1 SHAFT ENCLOSURES	2 HOUR FIRE RATING
THE FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM A SHAFT SHALL COMPLY WITH SECTION 708.4.	
707.3.2 EXIT ENCLOSURES	1 HOUR FIRE RATING
THE FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM AN EXIT SHALL COMPLY WITH SECTION 1022.1.	
707.3.3 EXIT PASSAGEWAY	1 HOUR FIRE RATING
THE FIRE-RESISTANCE RATING OF THE FIRE BARRIER SEPARATING BUILDING AREAS FROM AN EXIT PASSAGEWAY SHALL COMPLY WITH SECTION 1023.3.	
707.3.8 SEPARATED OCCUPANCIES	BETWEEN A & R = 1 HOUR FIRE RATING

WHERE THE PROVISIONS OF SECTION 508.4 ARE APPLICABLE, THE FIRE BARRIER SEPARATING MIXED OCCUPANCIES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT INDICATED IN TABLE 508.4 BASED ON THE OCCUPANCIES BEING SEPARATED.

709 FIRE PARTITIONS 1 HOUR FIRE RATING

709.3 FIRE-RESISTANCE RATING. FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR.

EXCEPTIONS:

- CORRIDORS**
 R OCCUPANCY - CORRIDOR WALLS PERMITTED TO HAVE A 1/2 HOUR FIRE-RESISTANCE RATING BY TABLE 1018.1.
 A & S OCCUPANCY - CORRIDOR WALLS PERMITTED TO HAVE A 0 HOUR FIRE-RESISTANCE RATING BY TABLE 1018.1.
- DWELLING UNIT & SLEEPING UNIT SEPARATIONS 1/2 HOUR FIRE RATING**
 DWELLING UNIT AND SLEEPING UNIT SEPARATIONS IN BUILDINGS OF TYPE IIB, IIB AND VB CONSTRUCTION SHALL HAVE FIRE-RESISTANCE RATINGS OF NOT LESS THAN 1/2-HOUR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

712.3 HORIZONTAL ASSEMBLIES: 1 HOUR FIRE RATING

HORIZONTAL ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING AND HORIZONTAL ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING SHALL BE A MINIMUM OF 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION.

CHAPTER 8 - INTERIOR FINISHES

803.1 WALLS AND CEILING FINISHES

CLASS A FLAME SPREAD INDEX 0-25 SMOKE DEVELOPED INDEX 0-450
 CLASS B FLAME SPREAD INDEX 26-75 SMOKE DEVELOPED INDEX 0-450
 CLASS C FLAME SPREAD INDEX 76-200, SMOKE DEVELOPED INDEX 0-450

803.9 TABLE INTERIOR WALL AND CEILING FINISH BY OCCUPANCY, SPRINKLERED

		CLASS FLAME SPREAD	
A	EXIT ENCLOSURES AND PASSAGEWAYS	B	
A	CORRIDORS	B	
R-2 & S	EXIT ENCLOSURES AND PASSAGEWAYS	C	
R-2 & S	CORRIDORS	C	
A & R-2 & S	ROOMS AND ENCLOSED SPACES	C	

CHAPTER 9 - FIRE PROTECTION SYSTEMS

903.2.8 GROUP R. AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA.

903.3.1.1 NFPA 13 SPRINKLER SYSTEMS WHERE PROVISIONS OF THE CODE REQUIRE THAT A BUILDING OR PORTION THEREOF BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13

CHAPTER 10 - MEANS OF EGRESS

1004.1 TABLE MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

ASSEMBLY AREAS	= 11 SF GROSS / OCCUPANT (3,000 SF / 11 SF = 272)
BUSINESS AREAS	= 100 SF GROSS / OCCUPANT (3,000 SF / 100 SF = 30)
RESIDENTIAL AREAS	= 200 SF GROSS / OCCUPANT OR (2) PER BEDROOM

1005.1 MINIMUM REQUIRED EGRESS WIDTH

STAIRWAYS WIDTH	= 0.3' PER OCCUPANT LOAD
EXIST DOORS WIDTH	= 0.2' PER OCCUPANT LOAD
THIRD FLOOR OCCUPANT LOAD = 20	
STAIRWAYS	= 0.3' X 20 = 6.0" REQUIRED 88" PROVIDED
EXIT DOOR WIDTH	= 0.2' X 20 = 4.0" REQUIRED 72" PROVIDED
SECOND FLOOR OCCUPANT LOAD = 20	
STAIRWAYS	= 0.3' X 20 = 6.0" REQUIRED 88" PROVIDED
EXIT DOOR WIDTH	= 0.2' X 20 = 4.0" REQUIRED 72" PROVIDED
FIRST FLOOR OCCUPANT LOAD = (POSTED OCCUPANCY = 98 TOTAL OCCUPANT = ASSUMES (2) PERSON TABLES + (10) STAFF)	
STAIRWAYS (N/A)	
EXIT DOOR WIDTH	= 0.2' X 98 = 19.6" REQUIRED 144" PROVIDED
FIRST FLOOR OCCUPANT LOAD = 21 (R-2 = 2 OCCUPANTS MAX)	
STAIRWAYS (N/A)	
EXIT DOOR WIDTH	= 0.2' X 21 = 4.2" REQUIRED 72" PROVIDED

BASEMENT FLOOR OCCUPANT LOAD = 21 (ASSUMES 21 FOR NON-OCCUPIED SPACES)

STAIRWAYS	= 0.3' X 21 = 6.3" REQUIRED 88" PROVIDED
EXIT DOOR WIDTH	= 0.2' X 21 = 4.2" REQUIRED 72" PROVIDED

1007.3 STAIRWAYS

EXIT ACCESS STAIRWAY CLEAR WIDTH OF 48" MINIMUM (SEE EXCEPTION 2 & 1009.1 BELOW)

EXCEPTION:

- THE CLEAR WIDTH OF 48 INCHES BETWEEN HANDRAILS IS NOT REQUIRED AT EXIT ACCESS STAIRWAY AS PERMITTED BY SECTION 1016.1 OR EXIT STAIRWAYS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2

AREA OF REFUGE NOT REQUIRED (SEE EXCEPTION 3 & 7)

EXCEPTION:

- AREAS OF REFUGE ARE NOT REQUIRED AT EXIT STAIRWAYS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 AREAS OF
- THE AREAS OF REFUGE ARE NOT REQUIRED IN GROUP R-2 OCCUPANCIES.

1009.1 STAIRWAY WIDTH

EXIT STAIRWAYS CLEAR WIDTH OF 44" MINIMUM (SEE EXCEPTION 1)

EXCEPTION:

- STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES.

1014.3 COMMON PATH OF EGRESS TRAVEL (SEE EXCEPTIONS 1 & 4)

B OCCUPANCY:	100 FEET MAXIMUM (EXCEPTION 1)
R-2 OCCUPANCY:	125 FEET MAXIMUM (EXCEPTION 4)

1015.1 EXIT AND EXIT ACCESS DOORWAY

TWO EXITS OR EXIT ACCESS DOORWAYS FROM ANY SPACE SHALL BE PROVIDED WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:

1015.2.1 EXIT OR EXIT ACCESS DOORWAY ARRANGEMENT (SEE EXCEPTION 2)

"...EXITS OR EXIT ACCESS DOORWAYS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED..."

EXCEPTION:

- WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPARATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.

1016.1 TABLE EXIT ACCESS TRAVEL DISTANCE

R & A & S-1 OCCUPANCY (W/ SPRINKLER)	250 FEET MAXIMUM TRAVEL DISTANCE
B OCCUPANCY (W/ SPRINKLER)	300 FEET MAXIMUM TRAVEL DISTANCE

NOTE: C. BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

1018.1 TABLE CORRIDOR FIRE-RESISTANCE RATING

R OCCUPANCY (W/ SPRINKLERS) 1/2 HOUR FIRE RATING

1018.2 CORRIDOR WIDTH (SEE EXCEPTION 2 & 3)

THE MINIMUM CORRIDOR WIDTH SHALL BE AS DETERMINED IN SECTION 1005.1, BUT NOT LESS THAN 44 INCHES.

EXCEPTIONS:

- THIRTY SIX INCHES WITH A REQUIRED OCCUPANT CAPACITY OF LESS THAN 50.
- THIRTY SIX INCHES WITHIN A DWELLING UNIT.

1022.1 EXIT ENCLOSURES

INTERIOR EXIT STAIRWAYS AND INTERIOR EXIT RAMPS SHALL BE ENCLOSED WITH FIRE BARRIERS CONSTRUCTED IN ACCORDANCE WITH SECTION 707.

ENCLOSURES REQUIRED 2 HOUR FIRE RATING

EXIT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE. THE NUMBER OF STORIES CONNECTED BY THE EXIT ENCLOSURE SHALL INCLUDE ANY BASEMENTS.

1022.8 FLOOR IDENTIFICATION SIGNS

A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN EXIT ENCLOSURES CONNECTING MORE THAN THREE STORIES DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE EXIT ENCLOSURE AND THE IDENTIFICATION OF THE STAIR.

1027.5.2 AN EGRESS COURT SHALL HAVE AT LEAST 10' CLEARANCE TO ADJACENT BUILDINGS, UNLESS THE WALLS ARE ONE-HOUR RATED FOR A HEIGHT OF 10'.

CHAPTER 11 - ACCESSIBILITY

1107.2 DESIGN DWELLING UNITS AND SLEEPING UNITS THAT ARE REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS AND TYPE B UNITS SHALL COMPLY WITH THE APPLICABLE PORTIONS OF CHAPTER 10 OF ICC A117.1.

1107.6 GROUP R, ACCESSIBLE UNITS, TYPE A UNITS AND TYPE B UNITS SHALL BE PROVIDED IN GROUP R OCCUPANCIES IN ACCORDANCE WITH SECTIONS 1107.6.1 THROUGH 1107.6.4.

1107.6.2.1.1 TYPE A UNITS. IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 20 DWELLING UNITS OR SLEEPING UNITS, AT LEAST 2% BUT NOT LESS THAN ONE OF THE UNITS SHALL BE A TYPE A UNIT.

PROVIDED IN APARTMENT UNIT ON FIRST FLOOR IS TYPE A (4.8%)
 PROVIDED IN APARTMENT UNITS ON SECOND AND THIRD FLOORS ARE ALL TYPE B

CHAPTER 29 - PLUMBING SYSTEMS

2902.1 TABLE R-2 APARTMENT HOUSE (PER DWELLING UNIT)

WATER CLOSETS:	(1) REQUIRED, (1) PROVIDED
LAVATORIES:	(1) REQUIRED, (1) PROVIDED
KITCHEN SINK:	(1) REQUIRED, (1) PROVIDED

LOCAL AMMENDMENTS

SPS 362.3002(1)(B)2. - WHERE ELEVATOR SERVICE IS PROVIDED IN R-2 BUILDINGS, AT LEAST ONE SHALL BE STRETCHER-SIZED. - N/A

SPS 362.1107(2)(B) - ALL DWELLING UNITS SHALL BE TYPE B UNITS UNLESS AN EXCEPTION APPLIES.

A. IBC 1107.7 REQUIRES AT LEAST ONE STORY OF AN UN-ELEVATED BUILDING TO HAVE TYPE B UNITS AS WELL AS ANY OTHER STORIES WITH GRADE LEVEL ENTRANCES, UNLESS SITE IMPRACTICALITY IS SHOWN PER SPS 362.1107(3).



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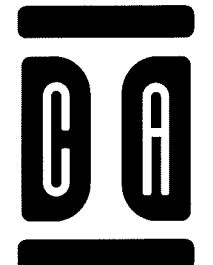
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 Mixed Use Building
 707-713 E. Johnson St.
 Madison, WI 53703

ICA NO. RPG 15-001

CODE REVIEW SUMMARY

LAND USE APPLICATION UPDATES
 07-25-16

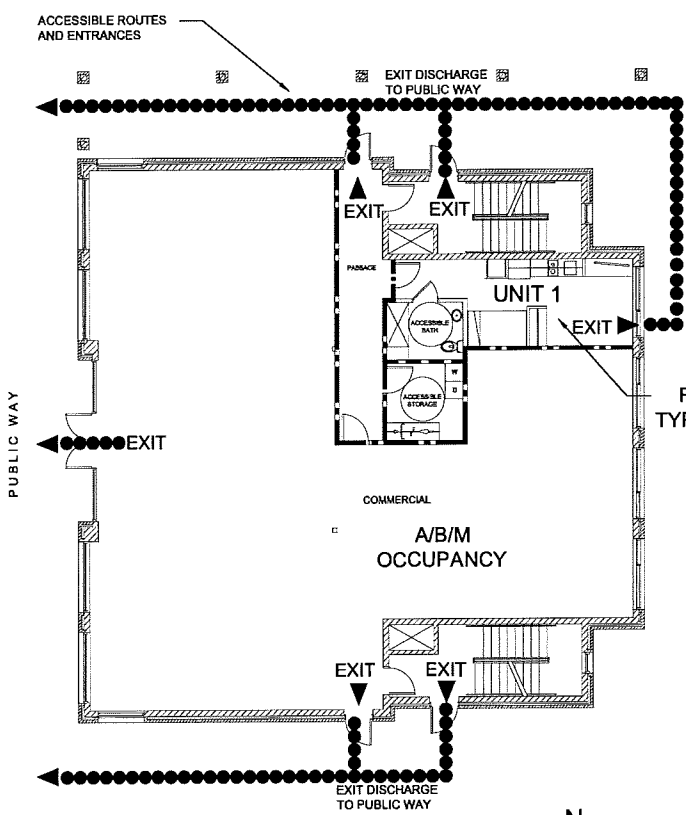
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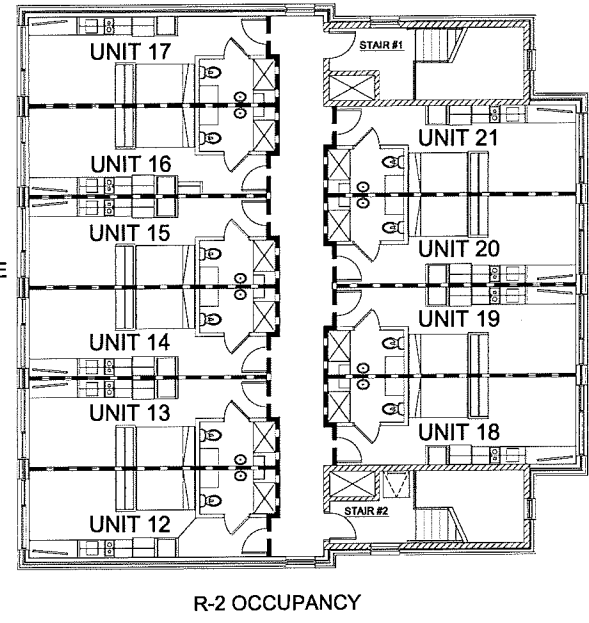
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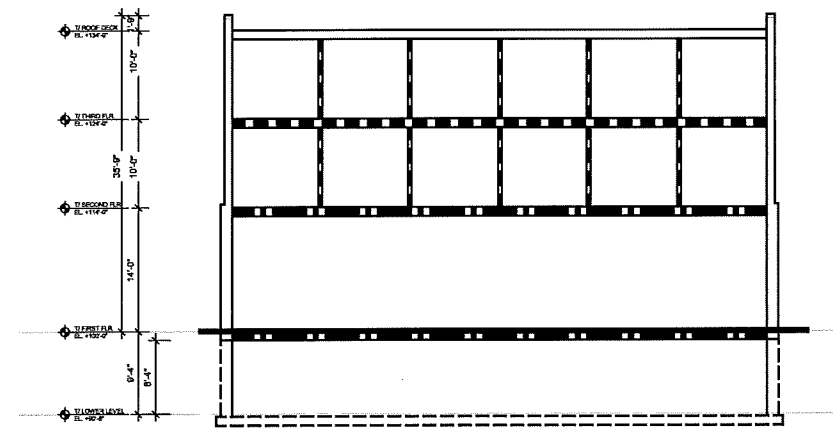


1 FIRST FLOOR PLAN
A0.03 SCALE: 3/32" = 1'-0"

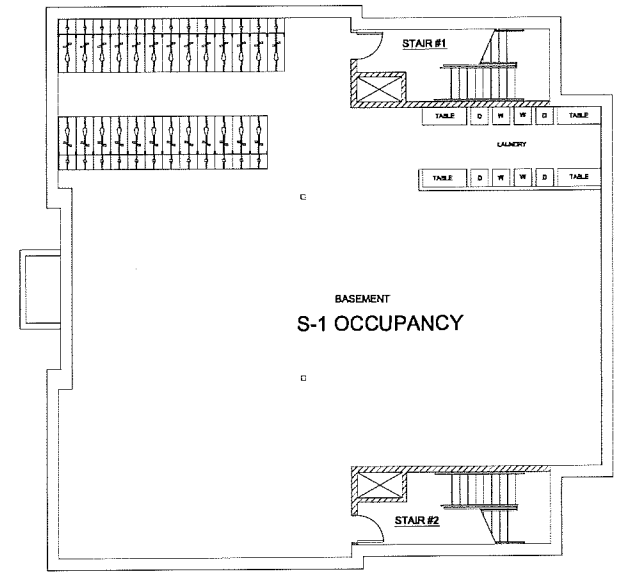


3 THIRD FLOOR PLAN
A0.03 SCALE: 3/32" = 1'-0"

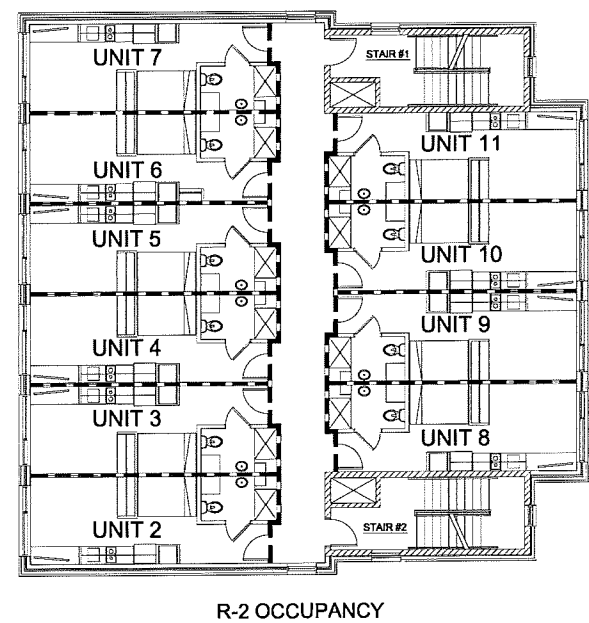
SECTION ANALYSIS



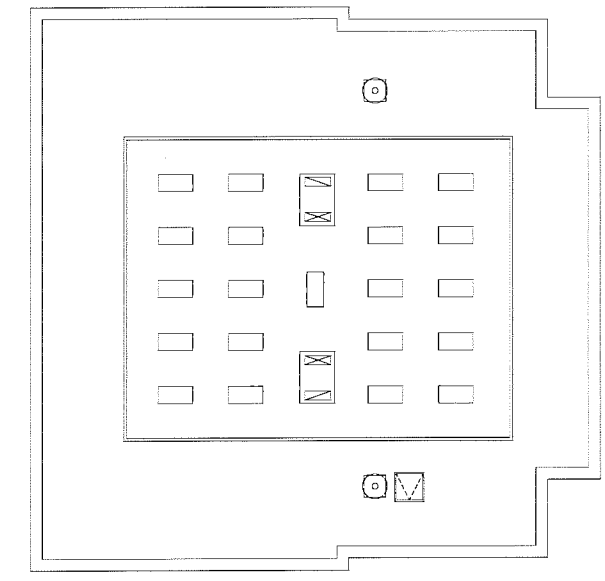
5 SECTION DIAGRAM
A0.03 SCALE: 3/32" = 1'-0"



B BASEMENT LEVEL FLOOR PLAN
A0.03 SCALE: 3/32" = 1'-0"



2 SECOND FLOOR PLAN
A0.03 SCALE: 3/32" = 1'-0"



R ROOF PLAN
A0.03 SCALE: 3/32" = 1'-0"

FIRE RATED SEPARATION LEGEND:
—— (2) HOUR RATED SEPARATION
- - - (1) HOUR RATED SEPARATION
- · - · (1/2) HOUR RATED SEPARATION

NOTE: AUTOMATIC FIRE SUPPRESSION SYSTEM THROUGHOUT BUILDING

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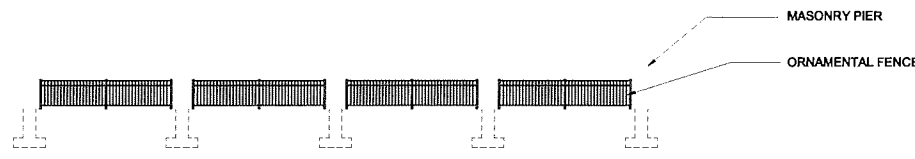
ICA NO. RPG 15-001

CODE REVIEW PLANS

PROGRESS SET
10-25-16

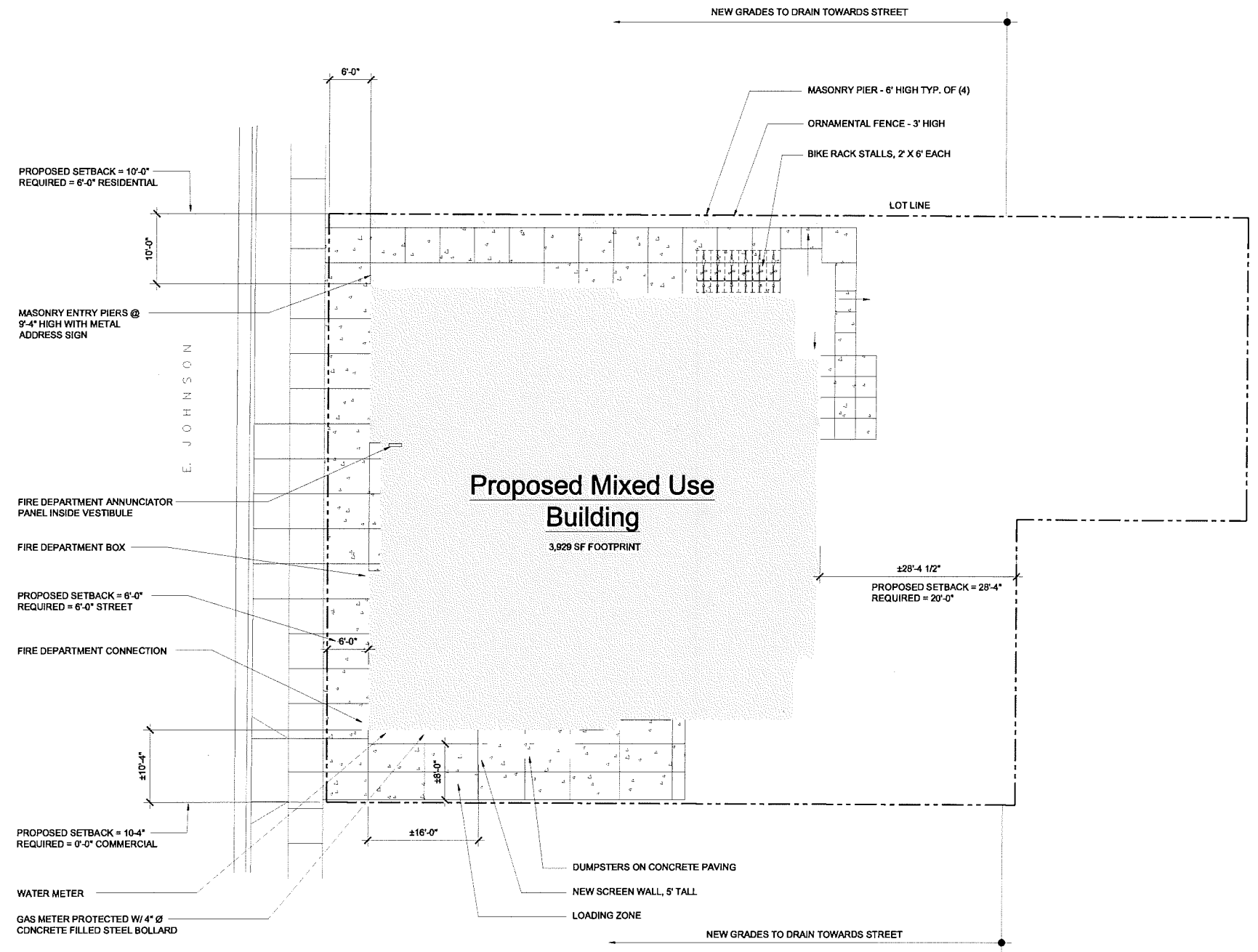
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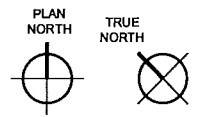


2 FENCE ELEVATION
 A1.4 SCALE: 1" = 10'-0"

- GENERAL NOTES:**
- RESTORE ALL PAVING SURFACES AND CURBS IMPACTED BY WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR OF EXISTING PAVING IMPACTED BY CONSTRUCTION OPERATIONS. PATCH EXISTING SITE PAVING AFFECTED, EVEN IF NOT SPECIFICALLY INDICATED ON THESE PLANS.
 - MATCH EXISTING ELEVATION OF PAVEMENT ELEVATIONS TO MAINTAIN EXISTING GRADES. PITCH SLABS TO PROVIDE POSITIVE SIDEWALK DRAINAGE WHERE REQUIRED. DOVETAIL ALL NEW SIDEWALK PAVING WITH EXISTING.
 - PRIOR TO FABRICATION OF SIDEWALK OR FRAMING OF FORM-WORK, CONTRACTOR(S) SHALL SUBMIT A FIELD LAYOUT DRAWING DEPICTING REPLACEMENT SIDEWALK PLAN WITH TOOLED JOINT LOCATIONS. ALLOW FOR OWNER & ARCHITECT REVIEW. INCLUDE STAKE MARKS ON PROPERTY FOR ON-SITE REVIEW.



1 ARCHITECTURAL SITE PLAN
 A1.03 SCALE: 1" = 10'-0"



LEGEND

- NEW CONCRETE PAVING
- NEW ASPHALT PAVING
- NEW LANDSCAPE BED SEE LANDSCAPE PLAN

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ARCHITECTURAL SITE PLAN

LAND USE APPLICATION UPDATES
 07-25-16

A1.03

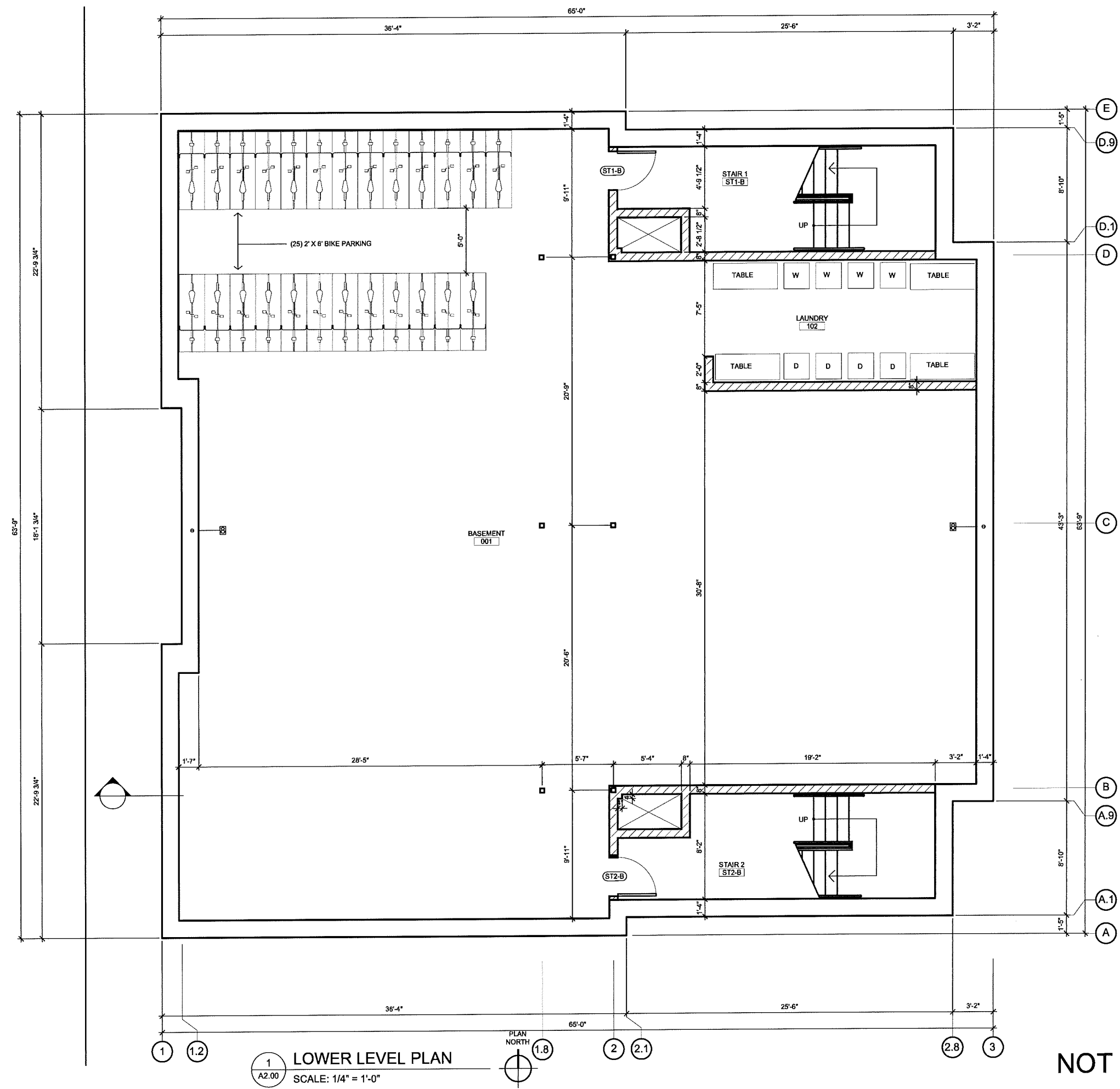


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PLAN NOTES

- 1. BUILDING SHALL BE OF TYPE V-B, UN-PROTECTED CONSTRUCTION. PROVIDE SPRINKLER SYSTEM THROUGHOUT. SEE CODE COMPLIANCE DATA. SEE ALSO FIRE PROTECTION PLANS.
2. DIMENSIONS ARE TO FACE OF MASONRY, CMU OR CONCRETE, OR FACE OF STAND ALONE GYP. PARTITION.
3. CONCENTRATED LOADS FROM BEAMS OR GIRDER TRUSSES TO TRANSFER TO FOUNDATION VIA POSTS, BEAMS AND/OR SOLID BLOCKING.
4. ELECTRICAL AND MECHANICAL EQUIPMENT, INCLUDING A/C CONDENSERS, ARE SUBJECT TO FIELD RELOCATION DUE TO ACTUAL JOB SITE CONDITIONS. CONTRACTOR TO VERIFY.
5. COORDINATE ALL M.E.P. ROUGH-IN WITH APPROVED CASEWORK.
6. PROVIDE SOUND ATTENUATION INSULATION AND INSULATION INDICATED.
7. WHERE PLAN INDICATES PRE-ENGINEERED BUILDING SYSTEMS: (IE. WOOD JOISTS, T.J'S, RETAINING WALL, ETC.) THE CONTRACTOR SHALL INCLUDE THE COST (\$) OF PREPARING AND OBTAINING APPROVAL OF FULL SYSTEM ENGINEERED SHOP DRAWINGS FOR SUBMITTAL TO THE AUTHORITY HAVING JURISDICTION. ENGINEERED SHOP DRAWINGS SHALL INDICATE ALL DESIGN LOADS PER APPLICABLE CODES, AND SHALL BEAR THE STAMP AND SEAL OF A LICENSED P.E.
8. ALL FLOOR PENETRATIONS SHALL BE FIRESTOPPED WITH DRYWALL OR APPROVED CAULK, TYPICAL.
9. REFER TO A8.00 SERIES DRAWINGS FOR DOOR AND DOOR HARDWARE.
10. REFER TO A9.00 SERIES DRAWING(S) FOR ROOM FINISH AND INTERIOR ELEVATIONS.
11. REFER TO A10.00 SERIES DRAWING(S) FOR REFLECTED CEILING INFORMATION.
12. INSTALL FLUSH FLOOR DRAINS IN ALL WASHER/DRYER AREAS.
13. PROVIDE 12" DEEP SHELF AND ROD IN CLOSETS AS INDICATED ON PLAN.

SYMBOLS

- 100A DOOR TAG, BUILDING. SEE DOOR SCHEDULE
PARTITION TYPE
TRASH ROOM NAME AND NUMBER
FEC FIRE EXTINGUISHER IN 30 MIN. RATED CABINET
30"x48" WHEELCHAIR SPACE
5' DIAMETER WHEELCHAIR TURNING SPACE
BIKE STORAGE AND RACKING

PLAN KEY NOTES

- 1 STUD FRAMING CHASE AROUND MECHANICAL UTILITY. SEE MEP PLANS. CONFIRM SIZE DURING FRAMING/ FABRICATION.
2 STAIRS SHALL BE PROVIDED SUCH THAT THE MAXIMUM RISER IS 7", MINIMUM TREAD IS 11", AND THE MINIMUM HEADROOM IS +7'-0" A.F.F.
3 HANDRAIL AT +34" ABOVE STAIR NOSING, BOTH SIDES. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. END SHALL BE RETURNED TO THE WALL OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. PROVIDE RETURNS AS PER CODE.
ACCESS PANEL.
INTERIOR BORROWED LIGHT. STAINED WOOD FRAME, STOPS, AND CLEAR LAMINATED GLASS. SAFETY GLAZING AS REQUIRED BY CODE.

1 LOWER LEVEL PLAN SCALE: 1/4" = 1'-0"

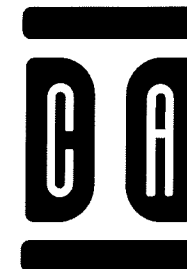
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LOWER LEVEL PLAN

PROGRESS SET 10-25-16

A2.00



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PLAN NOTES

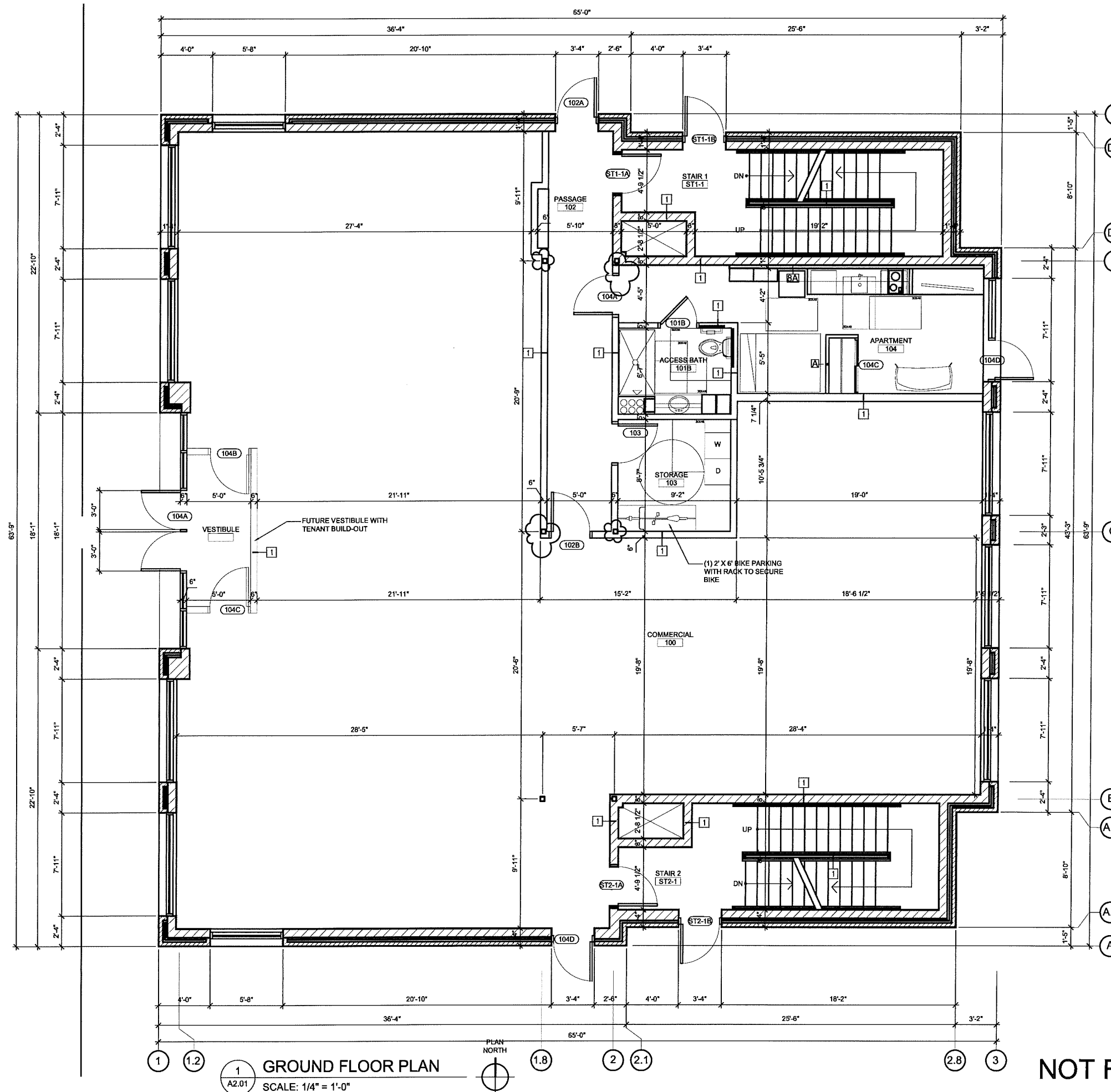
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1
 A2.01
GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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GROUND FLOOR PLAN

PROGRESS SET
 10-25-16

A2.01

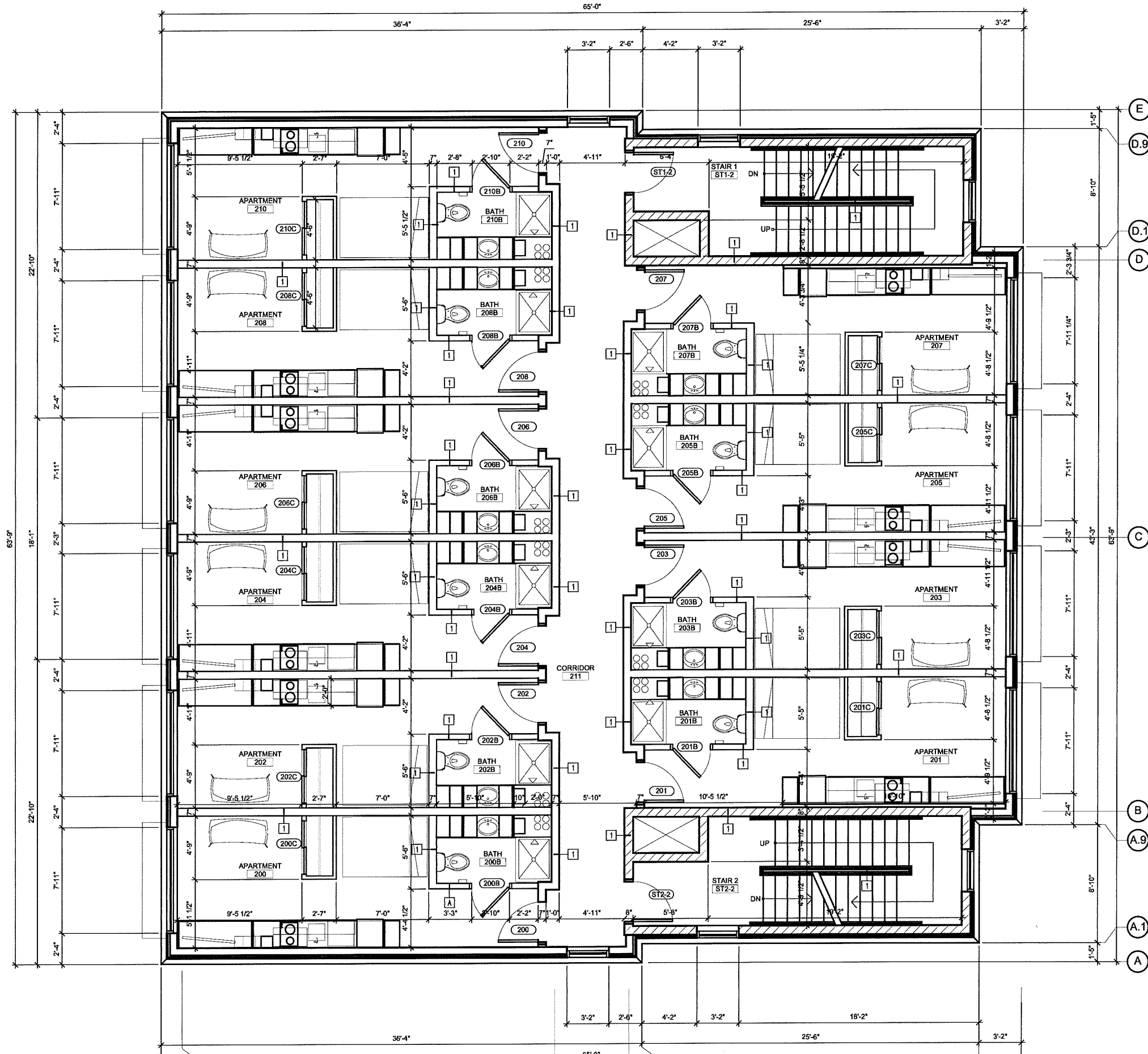


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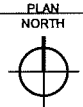
SYMBOLS

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- 1 PARTITION TYPE
- TRASH 111 ROOM NAME AND NUMBER
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1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



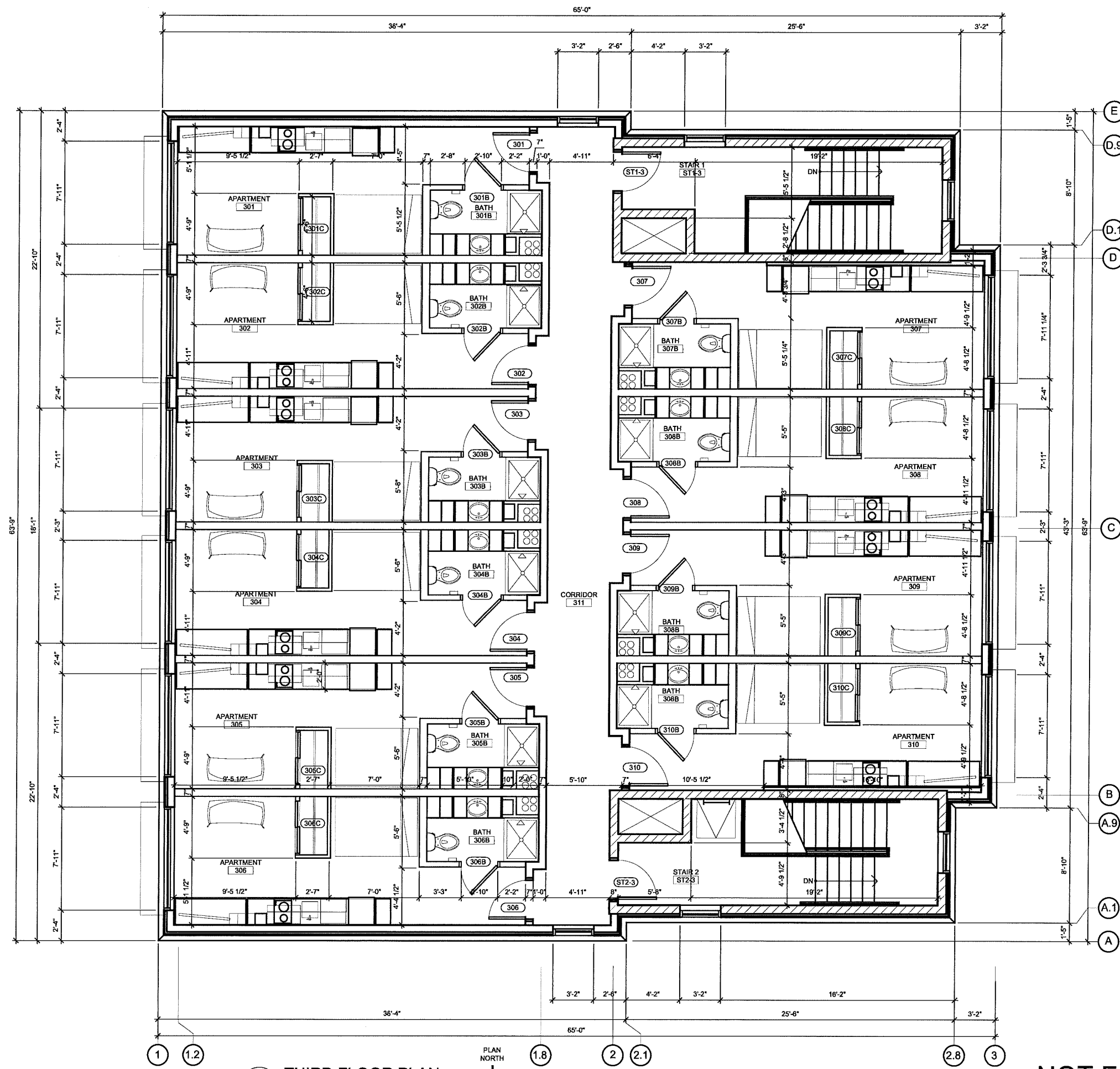
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SECOND FLOOR PLAN

PROGRESS SET
10-25-16

A2.02



1 THIRD FLOOR PLAN
 A2.03 SCALE: 1/4" = 1'-0"



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- PARTITION TYPE
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THIRD FLOOR PLAN

PROGRESS SET
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A2.03

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





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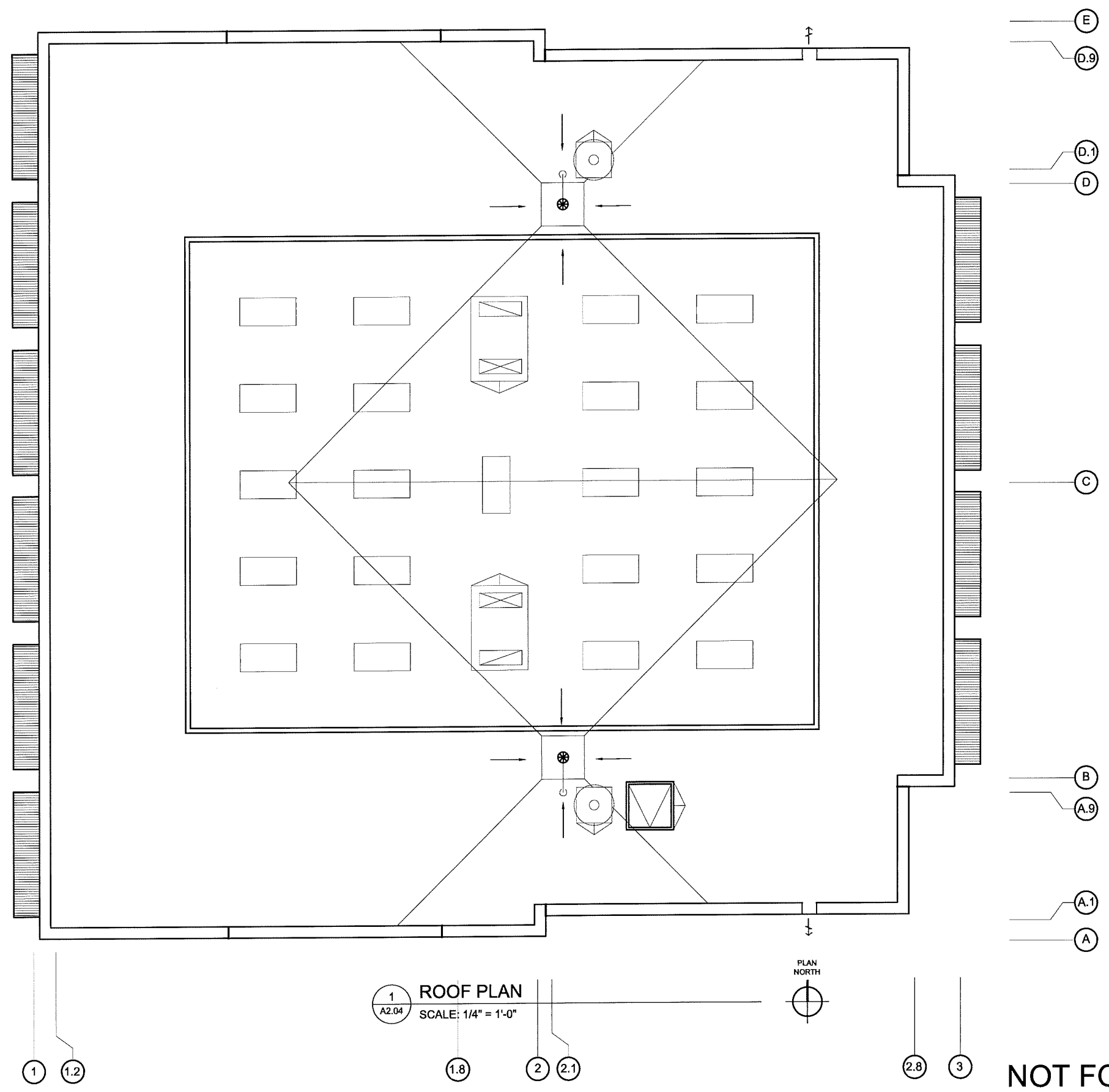
ROOF PLAN

PROGRESS SET
10-25-16

A2.04

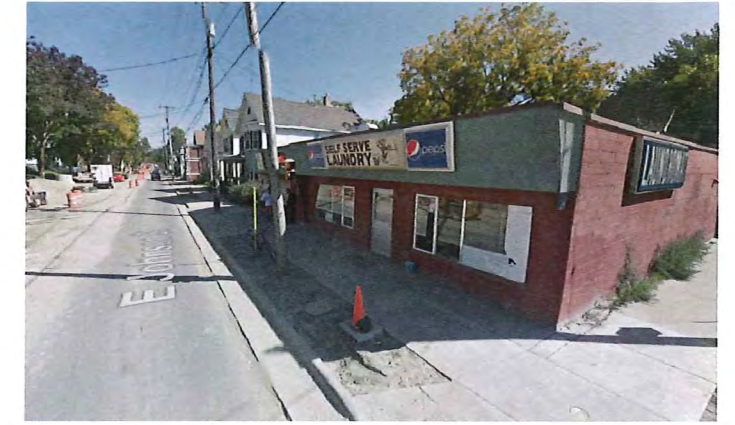
ROOF LEGEND

-  3' X 3' ROOF HATCH
-  LOCATION OF POSSIBLE (FUTURE) ROOF TOP UNIT SERVING COMMERCIAL SPACE
-  AC CONDENSING UNIT SERVING APARTMENT
-  LOCATION OF POSSIBLE (FUTURE) EXHAUST HOOD SERVING COMMERCIAL SPACE
-  TAPERED INSULATION 1/8" PER FT
-  ROOF DRAIN WITH 3' SQ. SUMP



1 ROOF PLAN
A2.04 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



KM₂

Blount & Johnson





Mixed Use

Inspirational Images



INSITE CONSULTING ARCHITECTS

Mixed Use

Inspirational Images

RPG

RENAISSANCE PROPERTY GROUP LLC





InSite Consulting Architects
 115 E. Main / STE 200
 Madison, Wisconsin 53703
 608-204-0525
 866-297-1762 (fax)
 info@icsarc.com



RENAISSANCE PROPERTY GROUP, LLC

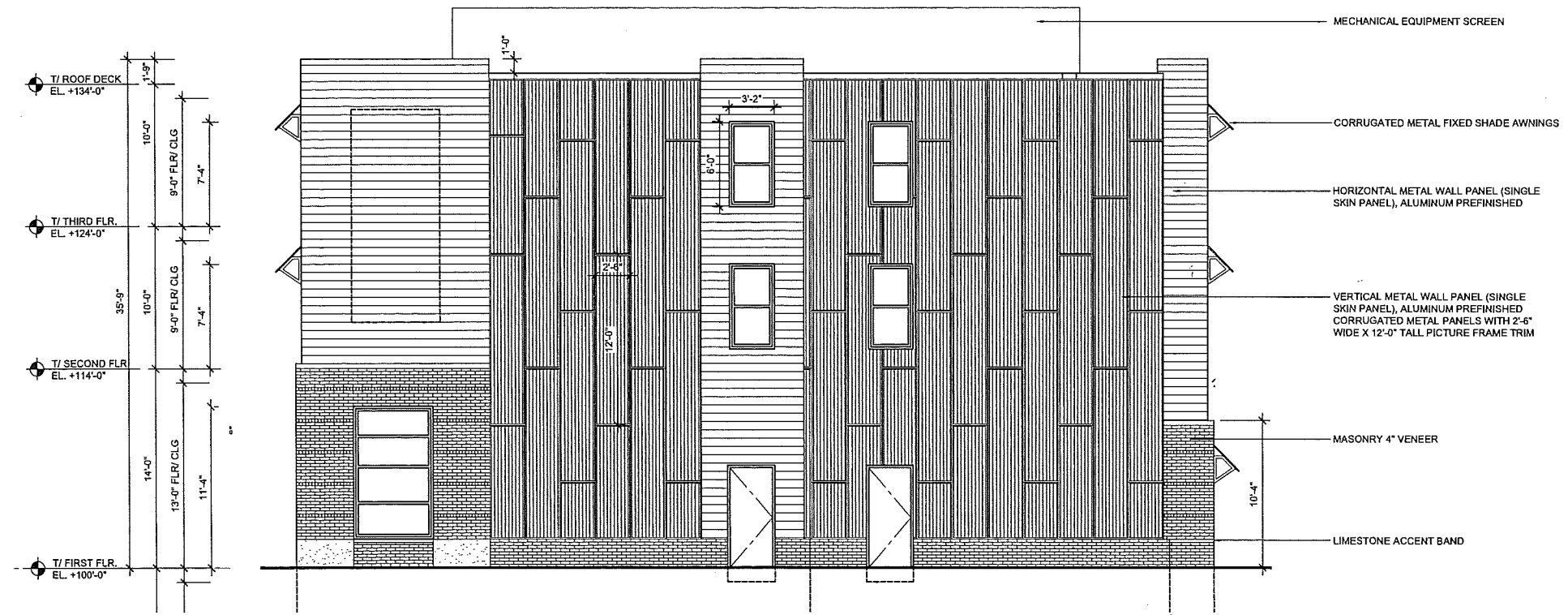
INSITE CONSULTING ARCHITECTS



- CORRUGATED METAL FIXED SHADE AWNINGS (NOT SHOWN - SEE DETAIL)
- HORIZONTAL METAL WALL PANEL (SINGLE SKIN PANEL), ALUMINUM PREFINISHED
- THERMALLY BROKEN ALUMINUM WINDOWS WITH 1" INSULATED LOW-E GLASS, PROJECT-OUT SASH, OPERABLE AWNING WINDOWS TOP & BOTTOM
- LIMESTONE CAP
- MASONRY 4" VENEER
- THERMALLY BROKEN ALUMINUM WINDOWS WITH 1" INSULATED LOW-E GLASS, CAFE STYLE SASH
- LIMESTONE WATER TABLE, 4" VENEER

1 NORTH (JOHNSON STREET) ELEVATION
 A3.01 SCALE: 3/16" = 1'-0"

POTENTIAL COMMERCIAL SIGN LOCATIONS



- MECHANICAL EQUIPMENT SCREEN
- CORRUGATED METAL FIXED SHADE AWNINGS
- HORIZONTAL METAL WALL PANEL (SINGLE SKIN PANEL), ALUMINUM PREFINISHED
- VERTICAL METAL WALL PANEL (SINGLE SKIN PANEL), ALUMINUM PREFINISHED
 CORRUGATED METAL PANELS WITH 2'-6" WIDE X 12'-0" TALL PICTURE FRAME TRIM
- MASONRY 4" VENEER
- LIMESTONE ACCENT BAND

2 WEST ELEVATION
 A3.01 SCALE: 3/16" = 1'-0"

THE KM2 BUILDING
 Mixed Use Building
 707-713 E. Johnson St.
 Madison, WI 53703

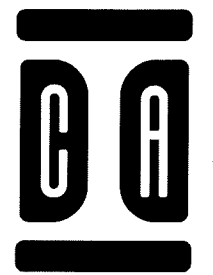
ICA NO. RPG 15-001

BUILDING ELEVATIONS

PROGRESS SET
 10-25-16

A3.01

NOT FOR CONSTRUCTION

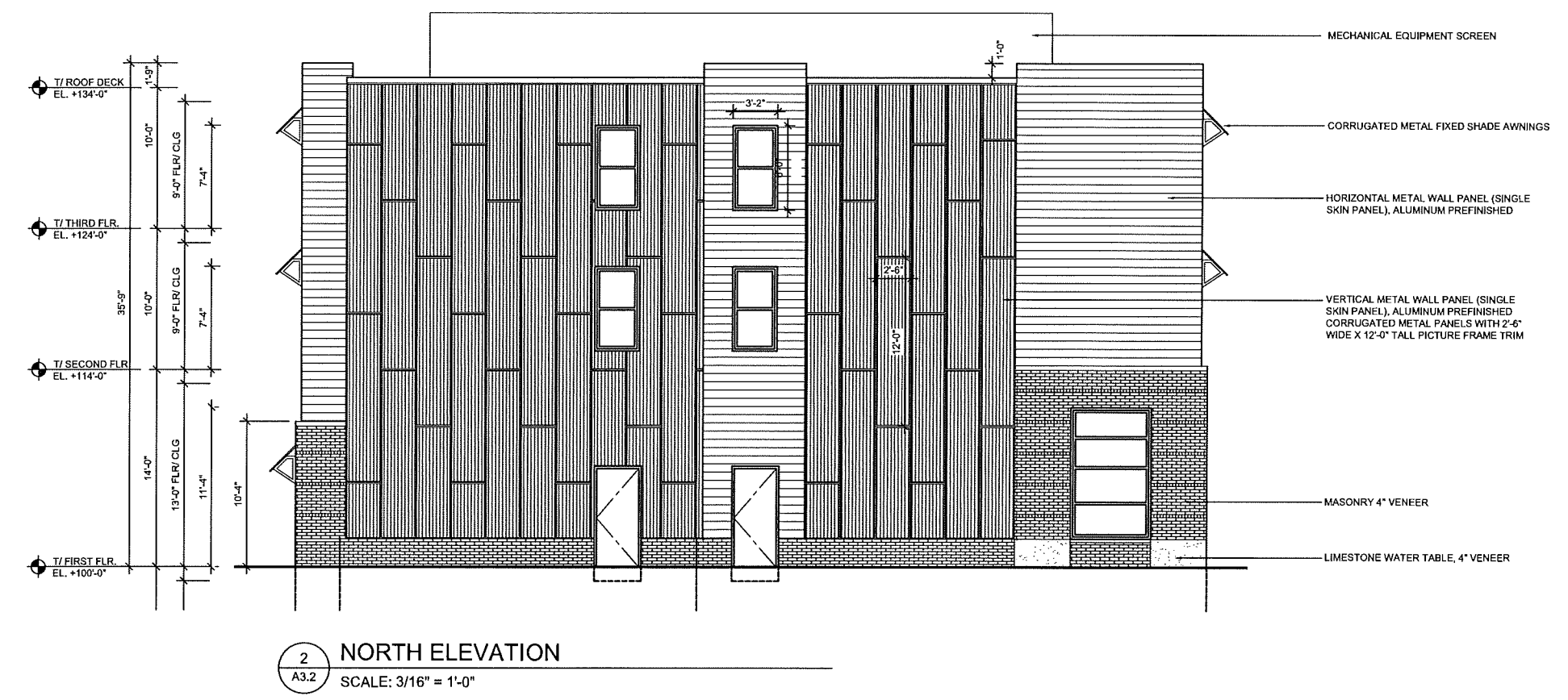
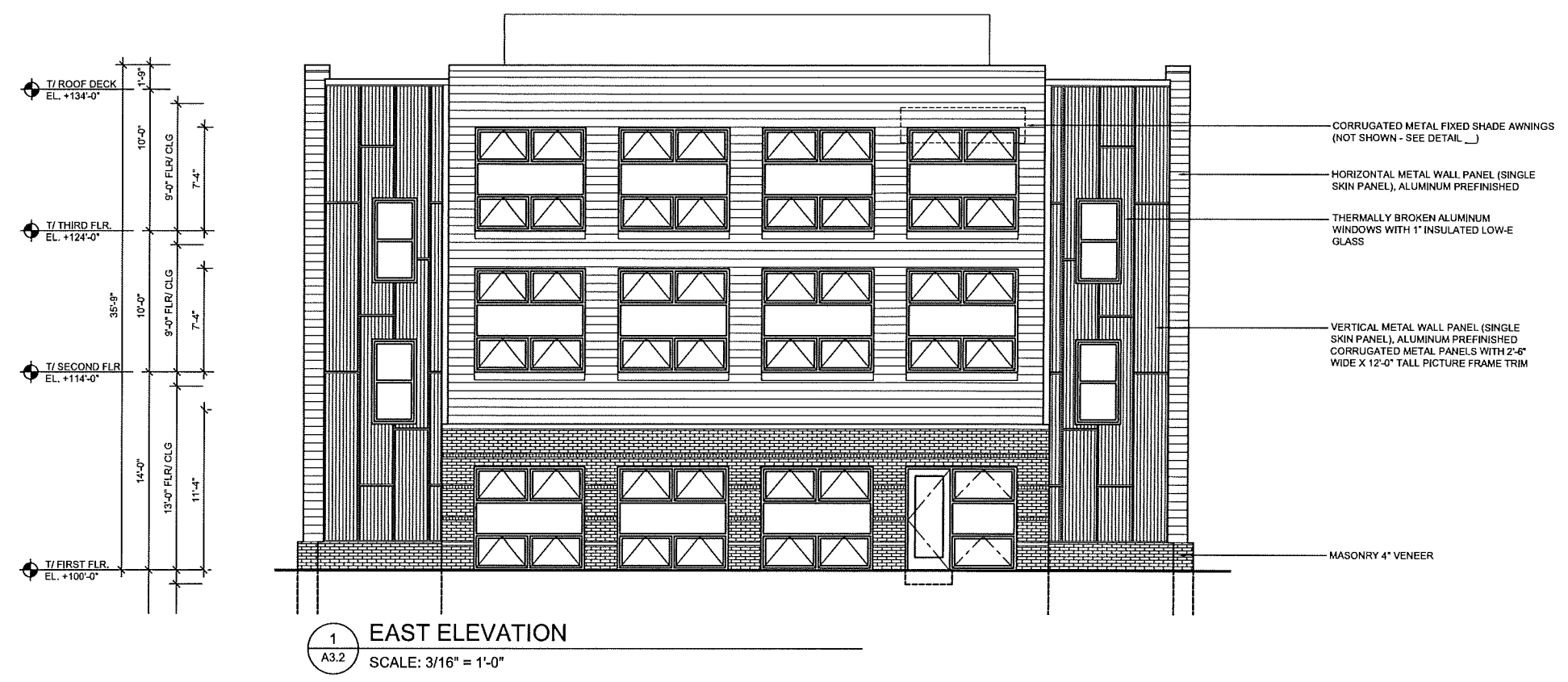


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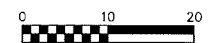
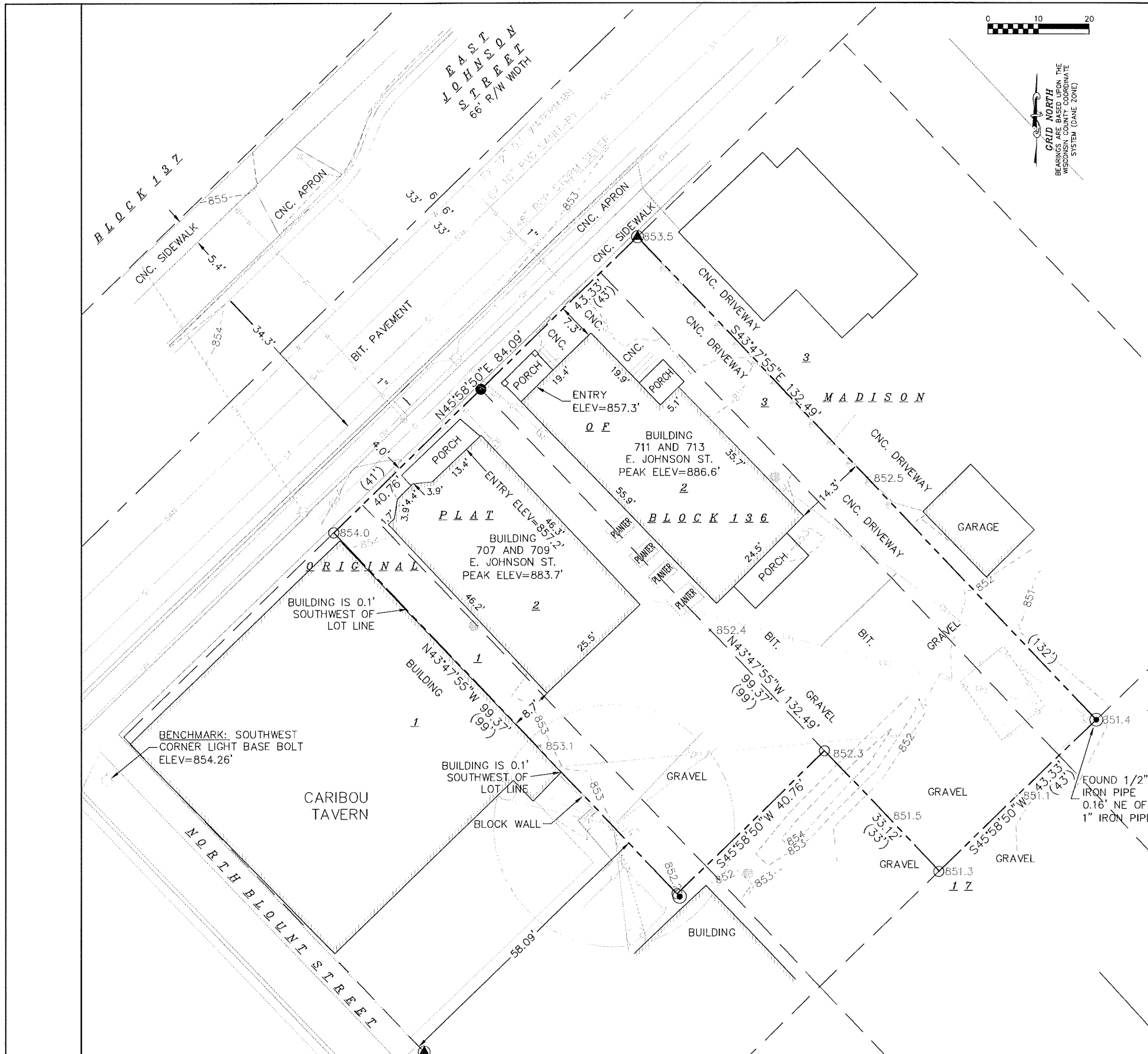
THE KM2 BUILDING
Mixed Use Building
707-713 E. Johnson St.
Madison, WI 53703

ICA NO. RPG 15-001

ELEVATIONS

LAND USE APPLICATION UPDATES
07-25-16

A3.02



GRID NORTH BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM (DANE ZONE)

PART OF LOTS 1, 2 AND 3, BLOCK 136, ORIGINAL PLAT OF MADISON, AS RECORDED IN VOLUME A OF PLATS, ON PAGE 3, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST AND NORTHEAST QUARTERS OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

LEGEND	
●	1-1/4" SOLID IRON ROD FOUND
⊙	1" IRON PIPE FOUND
X	FOUND CHISELED "X" IN CONCRETE
⊗	FOUND SURVEY NAIL
○	3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
---	OVERHEAD UTILITY WIRE
---	BURIED GAS LINE
---	WATER MAIN
---	SANITARY SEWER
---	STORM SEWER
---	BURIED ELECTRIC
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	EXISTING SPOT ELEVATION
⊘	BOLLARD
⊙	CISTERN
⊗	WATER VALVE
⊘	GAS METER
⊙	UTILITY POLE
⊗	CHAIN LINK FENCE
⊘	LIGHT POLE
⊙	GUY WIRE
⊗	DECIDUOUS TREE
()	INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

- NOTES:**
- 1) Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose. Survey was performed without the benefit of a title report.
 - 2) No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
 - 3) Date of field work: May 24 and 25, 2016. June 02, 2016
 - 4) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
 - 5) All surface and subsurface improvements on and adjacent to the site are not necessarily shown herein.
 - 6) All trees, hedges and ground cover on the site may not necessarily be shown herein.
 - 7) Routing of public utilities is based upon markings provided by Digger's Hotline Ticket Numbers 20162202570, 20162202530 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. Before excavations are performed contact Digger's Hotline.
 - 8) 707 and 709 E. Johnson St. parcel area = 4,082 square feet
711 and 713 E. Johnson St. parcel area = 3,740 square feet
 - 9) Elevations are based upon NAVD83 datum. The Surveyor transferred elevations to the site utilizing the MISCORS network AND RTK GPS surveying methods.

Burse
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Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: MBurse@BSE-INC.net
www.bursesurveying.com

APPROVALS	PROJECT ENG	MLB	REVISIONS	MLB	DATE	MLB

The KM2 Building
707-713 E. Johnson St
Madison, WI 53704

Renaissance Property Group LLC
2132 Foreman Ave Suite #1400
Madison, WI 53704

PROJECT #:	BSE1908
PLOT DATE:	03-15-2017
REVISION DATES:	
ISSUE DATES:	03-15-2017

EXISTING CONDITIONS PLAN

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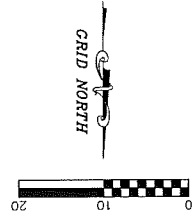
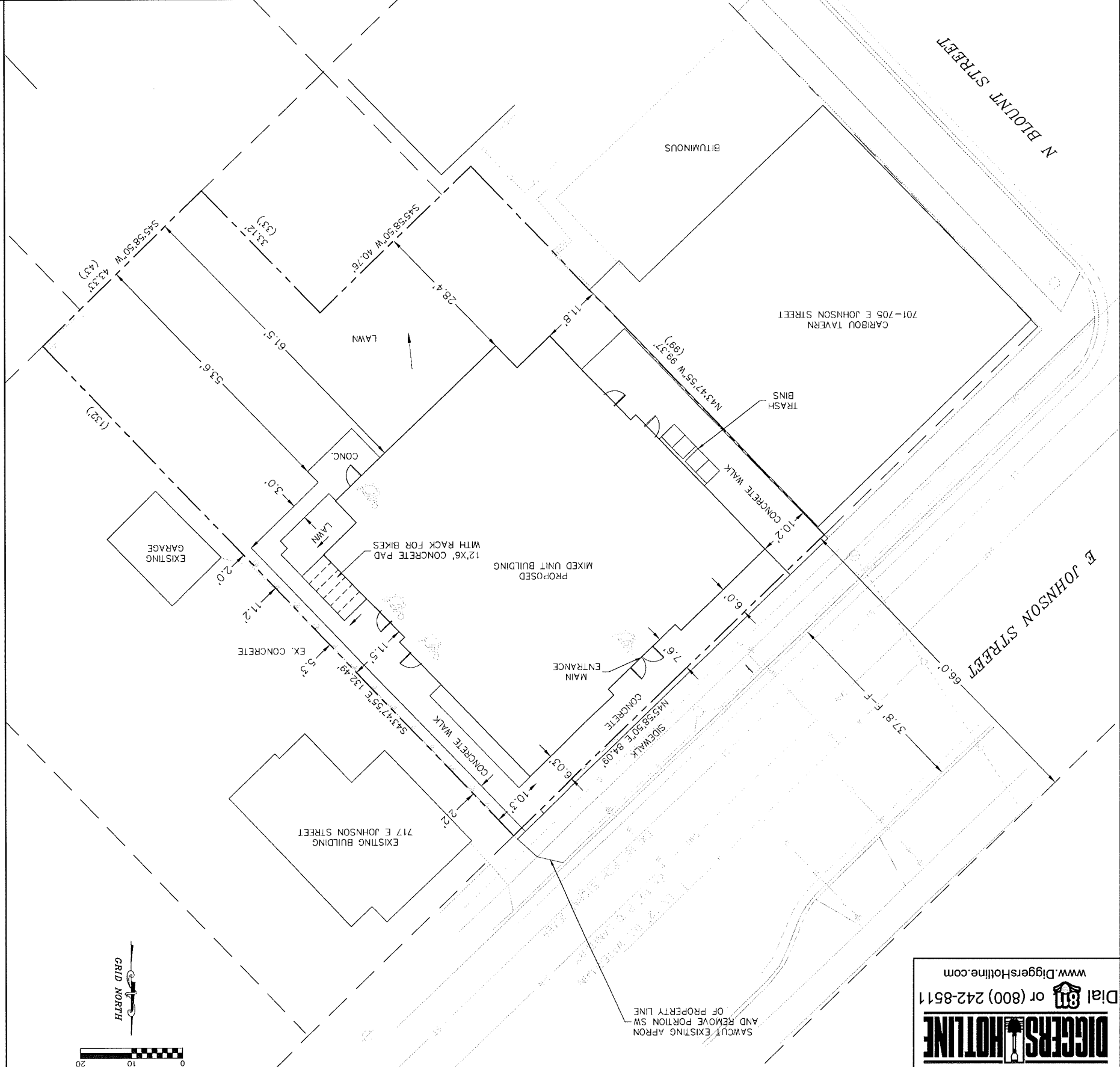
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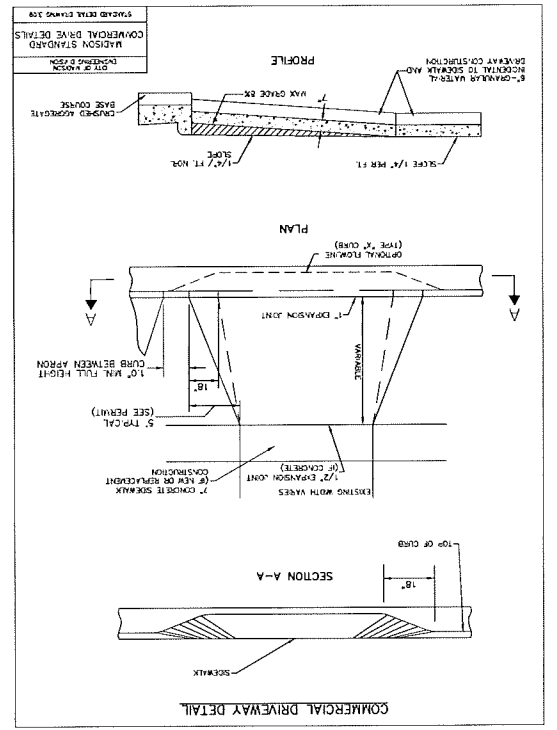
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LEGEND

●	1-1/4" SOLID IRON ROD FOUND
○	1" IRON PIPE FOUND
⊗	FOUND CHISELED "X" IN CONCRETE
⊙	FOUND SURVEY NAIL
○	UTILITY POLE
○	3/4" X 1/8" SOLID IRON RE-ROD
○	CHAIN LINK FENCE
○	UTILITY POLE
○	GUY WIRE
○	BURIED GAS LINE
○	DECEASED TREE
()	INDICATES RECORDED AS
()	SANITARY SEWER
()	STORM SEWER
()	BURIED ELECTRIC
()	MAJOR CONTOUR
()	MINOR CONTOUR
()	EXISTING SPOT ELEVATION

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NOTES:
 1. ALL SIDEWALK, PAVEMENT, AND CURB & GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB & GUTTER THAT THE CITY ENGINEER DETERMINES THAT IT NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTS PRIOR TO BEGINNING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
 2. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY ISSUED PLANS FOR PROJECT NO. [TBD].

C200
 DRAWING NUMBER



CIVIL SITE PLAN

ISSUE DATES:

03-15-2017

REVISION DATES:

03-15-2017

PROJECT #: BSE1908

PLAT DATE: 03-15-2017

The KM2 Building
 707-713 E. Johnson St
 Madison, WI 53704
Renaissance Property Group LLC
 2132 Forbush Ave Suite #1400
 Madison, WI 53704

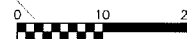
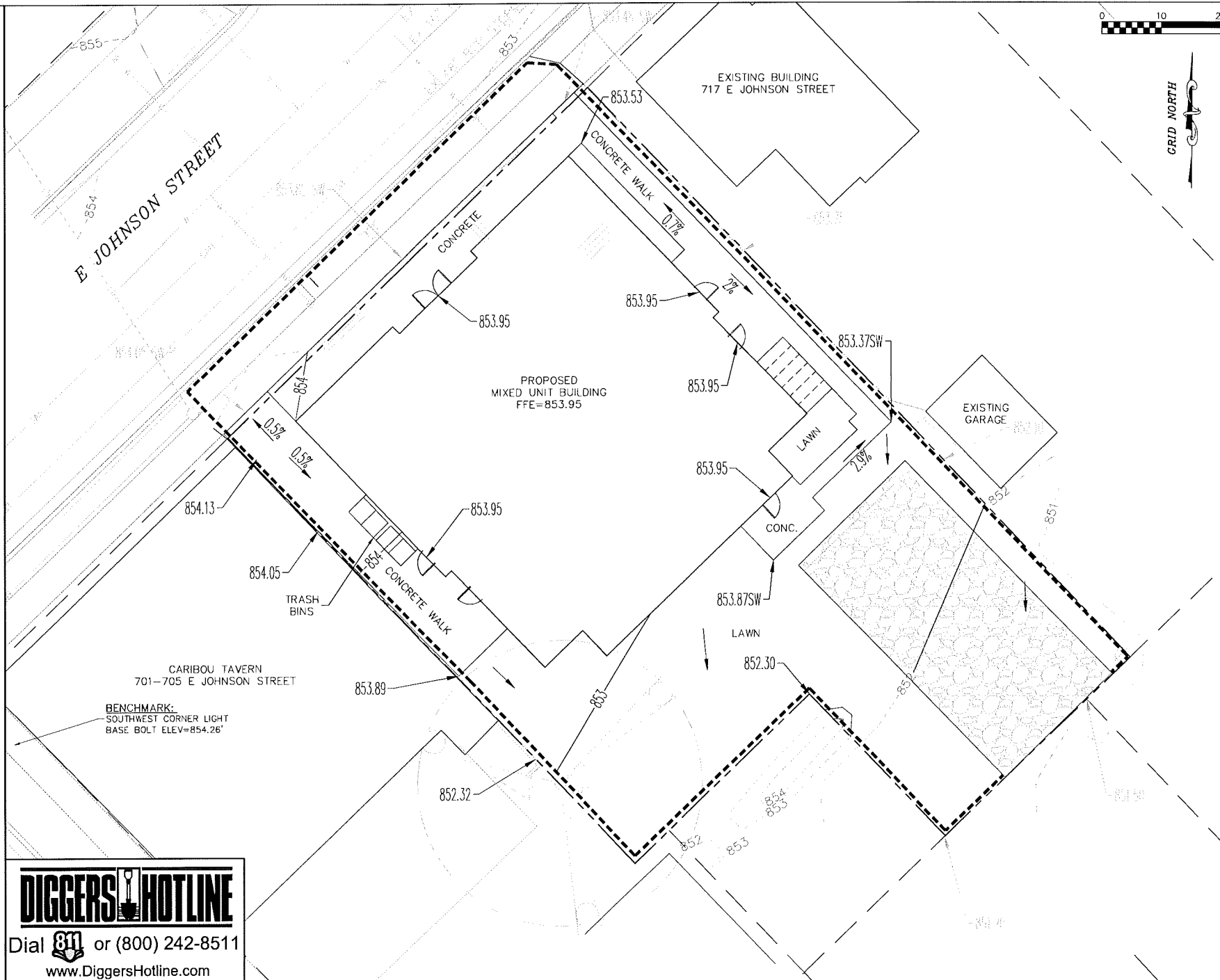
EXISTING HOUSE



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 www.burseeng.com

MA: BSE1908.dwg
 Engineering: BSE1908.dwg
 Annotations: BSE1908.dwg

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- Erosion Control Notes/Specifications:**
- Erosion control devices and/or structures shall be installed prior to clearing and grubbing operations. These shall be properly maintained for maximum effectiveness until vegetation is re-established.
 - Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
 - All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours. Inspection schedule and record keeping shall comply with NR 216.46(9), Wis. Adm. Code.
 - Construction Entrances - Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057. Refer to WDNR's stormwater web page of technical standards at: http://dnr.wis.gov/topic/stormwater/standards/const_standards.html. The Tracking Pad must be maintained in a condition that prevents the tracking of material onto the public street.
 - Soil Stockpiles - A row of silt fence placed downslope and at least 10 feet away from the stockpile shall protect all stockpiles. Soil stockpiles that are inactive for more than 14 consecutive days shall be stabilized with seed & mulch, erosion mat, polymer, or covered with tarps or similar material. No stockpile shall be placed within 20 feet of a drainage way.
 - Dewatering - Water pumped from the site shall be treated by using a temporary sedimentation basin, portable dewatering basin, geotextile bag, or an equivalent device. Show on the plan the anticipated locations of dewatering activity, and provide an engineering detail of the dewatering system. Devices shall comply with WDNR Technical Standard 1061 found at: http://dnr.wis.gov/topic/stormwater/standards/const_standards.html. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.
 - Storm Sewer Inlets - Provide WDOT Type D "CatchAll" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engserv/pal.htm>. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until plot-level stabilization is complete.
 - Building and waste materials shall be prevented from running-off the site and entering waters of the state in conformance with NR151.12(6m).
 - No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 13 USC 1344 permits.
 - Erosion control devices shall adhere to the technical standards found at: <http://dnr.wis.gov/runoff/stormwater/techstds.htm> and comply with all City of Madison ordinances.
 - All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
 - All building and waste material shall be handled properly to prevent runoff of these materials off of the site.
 - All disturbed areas shall be seeded immediately after grading activities have been completed.
 - All disturbed areas, except paved areas, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed, and mulch. Seed mixtures shall be selected appropriate to the intended function. A qualified Landscaping Contractor, Landscape Architect or Nursery can be consulted for recommendations. Seeding rates shall be based on pounds or ounces of Pure Live Seed per acre and shall be provided by the seed supplier. Fertilizer can be applied to help promote growth, but a soil test is recommended to determine the type and amount of fertilizer to be applied. All seeding and restoration shall be in conformance to WDNR Technical Standard 1059 found at http://dnr.wis.gov/topic/stormwater/standards/const_standards.html. Seeding and sodding may only be used from May 1st to September 15th of any year. Temporary seed shall be used after September 15. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.
 - For the first six (6) weeks after the initial stabilization of a disturbed area, watering shall be performed whenever more than seven (7) days of dry weather elapse.

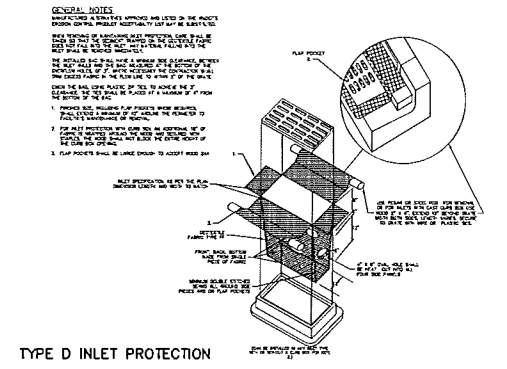
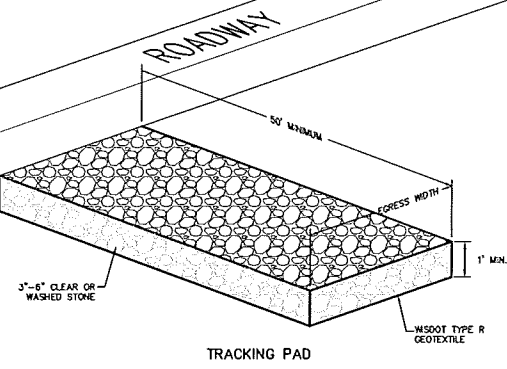
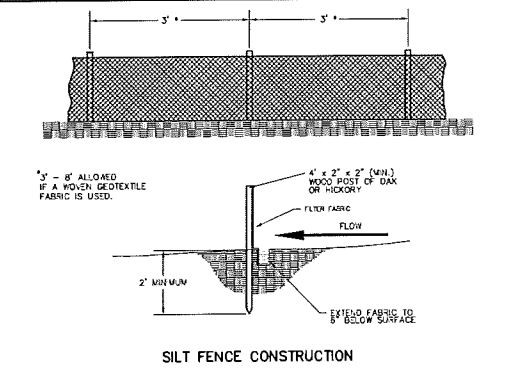
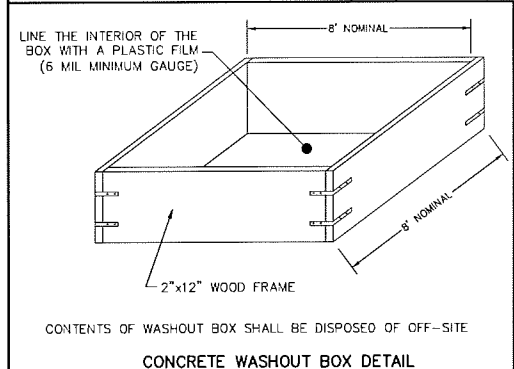
Emergency Contact
 Michael Matty
 2132 Foreman Avenue Suite #1400
 Madison WI 53704
 608.301.0000
 mmatty@pprentals.com
 www.pprentals.com

Schedule:

June 1, 2017	Install silt fence and construction entrance.
June 2, 2017	Raise existing buildings
July 1, 2017	Begin construction of new building
May 1, 2018	Building complete and all site work completed. Seed and mulch all disturbed area and/or install landscaping
July 1, 2018	Vegetation established.

- NOTES:**
- ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
 - CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
 - ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
 - ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY ISSUED PLANS FOR PROJECT NO. (TBD).
 - ALL GRADES SHOWN ARE TO BE FINISHED SURFACE

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LEGEND

-855-	EXISTING MAJOR CONTOUR
-857-	EXISTING MAJOR CONTOUR
-852-	PROPOSED MAJOR CONTOUR
-855-	PROPOSED MAJOR CONTOUR
861.81	PROPOSED SPOT ELEVATION
861.81 TC	PROPOSED TO-OFF-CURB ELEVATION
861.81 EP	PROPOSED EDGE-OF-PAVEMENT ELEVATION
853	EXISTING SPOT ELEVATION
861.81SW	EXISTING SIDE WALK
→	DRAINAGE ARROW

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 www.burse-surveying.com

APPROVALS:

PROJECT ENGINEER	DATE	PROJECT ENGINEER	DATE
PROJECT MANAGER	DATE	PROJECT MANAGER	DATE
PROJECT SUPERVISOR	DATE	PROJECT SUPERVISOR	DATE
PROJECT CHECKER	DATE	PROJECT CHECKER	DATE
PROJECT APPROVER	DATE	PROJECT APPROVER	DATE

The KM2 Building
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 Madison, WI 53704

Renaissance Property Group LLC
 2132 Foreman Ave Suite #1400
 Madison, WI 53704

PROJECT #: BSE1908
PLOT DATE: 03-15-2017

REVISION DATES:

NO.	DATE	DESCRIPTION

ISSUE DATES:

NO.	DATE	DESCRIPTION

GRADING AND EROSION CONTROL PLAN

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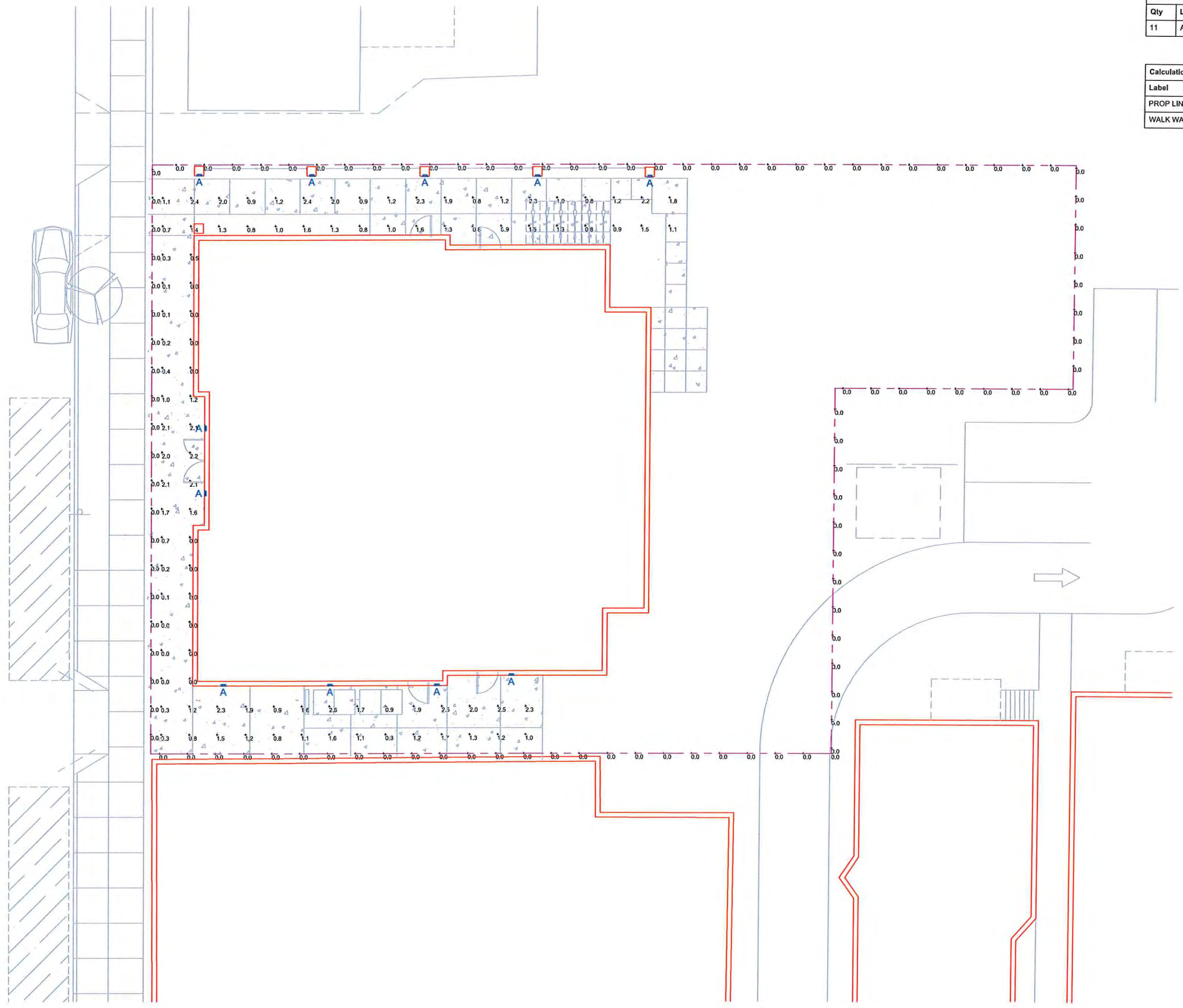
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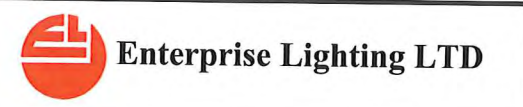
10/2/2017

E. JOHNSON STREET



Luminaire Schedule						
Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
11	A	SINGLE	369	5.8	0.900	FC LIGHTING + FC SL495-120V-4K-370LM (5' AFG)

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PROP LINE (4' AFG)	Illuminance	Fc	0.00	0.0	0.0	N.A.
WALK WAY (AT GRADE)	Illuminance	Fc	1.15	2.6	0.0	N.A.



711-123-EAST JOHNSON STREET
700 EAST DAYTON STREET
MADISON, WISCONSIN

LIGHTING LAYOUT
OPTION #2

DATE MAR. 21, 2017	SCALE 1/8" = 1'- 0"	SHEET NUMBER E2
-----------------------	------------------------	--------------------