

City of Madison, Wisconsin

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REPORT OF: FAÇADE IMPROVEMENT GRANT STAFF TEAM

TO: URBAN DESIGN COMMISSION

Façade Improvement Grant Application:  
1: 117 E. Main Street

AUTHOR: Craig Wilson  
Office of Economic Revitalization  
Economic Development Division

DATED: March 9, 2017

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**SUMMARY:**

On October 3, 2000, the Common Council adopted Resolution No. 61179, approving the Objectives and Criteria for the Façade Improvement Grant Program. The resolution specifies that all Façade Improvement proposals be referred to the Urban Design Commission for comments and recommendations.

Attached for your review is the following Facade Improvement proposal:

- 1. 117 E. Main Street**  
**Grantee: Daniel Kessenich**

The scope of the exterior work will include:

- a. Rehabilitation and preservation of the exterior stone. The majority of the existing stones will be reused in their existing locations. Some will be redressed and some will be patched or have an existing patch replaced.
- b. Replacement of severely deteriorated stone. Four existing stones will be removed and replaced with new stone to match the existing stone in its treatment and appearance.

- c. Careful cleaning of all of the masonry surfaces.
- d. Repair, restoration and painting of all wooden window frames, sashes, and troughs. Surface irregularities and voids will be filled with ABATRON epoxy, sanded smooth and painted to match existing color scheme.
- e. Recondition framing members revealed by the removal, repair, and replacement of damaged stones.
- f. Replace the sill blocks under the first floor store front windows with Dolomitic limestone blocks and install new lead coated copper flashings.
- g. Replace wood panels below the storefront window frames with clear cedar and MDO panels painted to match existing color scheme.
- h. Reconstruction of parapet wall to accommodate future project that will replicate historic decorative cornice.

#### **See Attachments for Specifications**

Total project cost for 117 E. Main Street exterior work is estimated at \$147,421. Façade Improvement Grant not to exceed \$10,000

#### **RECOMMENDATION:**

117 E. Main Street is located within the Simeon Mills Historic District. The Madison Landmarks Commission, at its meeting of March 20, 2017 will consider issuance of a Certificate of Appropriateness for the scope of work covered in this Façade Grant project.

The above Façade Improvement Grant proposal has been reviewed by the Façade Improvement Grant Program staff team and meets the requirements of the program. The Staff Team recommends approval of the above Facade Improvement Grant proposal.



**CITY OF MADISON**  
**FAÇADE IMPROVEMENT GRANT PROGRAM**  
*Building and beautifying Madison, one storefront at a time*



Department of Planning & Community & Economic Development  
Economic Development Division  
215 Martin Luther King Jr., Boulevard  
Craig Wilson, 266-6557  
cwilson@cityofmadison.com

KESSENICA @ CHARTER.NET

**PROGRAM APPLICATION**

Applicant: DANIEL KESSENICH Phone: 608.206.4937

Business Name: \_\_\_\_\_

Building Name: PHILIP SCHOEN BUILDING

Business Address: 117 E. MAIN ST Zip Code 53703

E-mail Address: KESSENICH@CHARTER.NET

Property Owner: DANIEL KESSENICH

Address: 4623 TONYAWATTA TEL MONONA, WI 53716

Name of Grantee: DANIEL KESSENICH

Lease Terms: \_\_\_\_\_

Definition of Project Scope: FACADE RESTORATION INCLUDING  
MASONRY REPAIR, REPOINTING, AND CLEANING.  
WINDOW & WOOD ELEMENTS REPAIR AND  
PAINTING.

**ATTACHMENT**

Please provide photographs and copy of lease, land contract, or deed. Tenants must provide owner's written authorization.

**PROJECT BUDGET**

List Individual Project Elements (Awning, sign, painting of trim, etc.)	Total Cost	Grant \$	Private \$
• <u>MASONRY CLEANING</u>	<u>124,684</u>	<u>10,000</u>	<u>114,684</u>
• <u>&amp; RESTORATION</u>	_____	_____	_____
• <u>WINDOW &amp; WOOD</u>	<u>9,540</u>	<u>—</u>	<u>9,540</u>
• <u>FACADE REPAIR</u>	_____	_____	_____
• <u>PAINTING</u>	<u>15,000</u>	<u>—</u>	<u>15,000</u>
Total:	_____	<u>\$ 10,000</u>	<u>\$ 139,224</u>



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215 Martin Luther King Jr., Boulevard  
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[cwilson@cityofmadison.com](mailto:cwilson@cityofmadison.com)

Contractor/Supplier: INSTE CONSULTING ARCH  
Address: STEVE MAR. FOHL  
608.204.0825

**ATTACHMENT**

\* Bids, estimates, and/or contracts, product brochures, locator map and design drawings, if appropriate.

**REMARKS** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**APPLICANT'S CERTIFICATION**

The Applicant certifies that all information in this application and all information furnished in support of this application is given for the purpose of obtaining a grant under the City of Madison Façade Grant Program and is true and complete to the best of the applicant's knowledge and belief.

Signature: [Signature] Date: MAR 6, 2017  
Signature: [Signature] Date: MAR 6, 2017

Please send this completed application, accompanying materials, and application fee of \$100 to:

Economic Development Division  
Attn: Craig Wilson  
215 Martin Luther King Jr. Boulevard, Room 312  
P.O. Box 2983  
Madison, WI 53701-2983





## PROPOSAL

TO: Mr. Stephen Mar-Pohl  
InSite Consulting Architects  
115 E. Main Street, Suite 200  
Madison, WI 53703  
cell: 608-513-1992  
email: [steve@icsarc.com](mailto:steve@icsarc.com)

RE: 117 E. Main Street, Madison, Wisconsin 53703

2017 Exterior Investigation - Masonry Restoration

DATE: December 7, 2016 REVISED

CC: Don Zuidema & Chris Rizzi, RestoreWorks, Inc.

QUOTE: \$ 124,684.00

**PROJECT:** 117 E. Main Street, Madison, Wisconsin 53703  
2017 Exterior Investigation - Masonry Restoration

### SCOPE INCLUDES:

- Masonry Restoration as identified in ICA plans dated May 2016 and specifically noted below:
- Mobilize materials and equipment to jobsite, install scaffolding with walk-thru canopy main elevation (northwest);
- Perform all masonry restoration items per Rehab Code's A, D, F, G, H, I, J, K, X & Y as noted on elevation sheets A1, A10, A20 & A30;
- An allowance of \$2,000.00 has been included for work related to Rehab Code E;
- Demo existing and rebuild a new 3 wythe brick masonry parapet wall as shown on sheet A40
- Clean up and demobilize all equipment and debris.

### SCOPE EXCLUDES:

- Repair and/or Restoration Work not specifically noted above (i.e., new brackets, cornice, roofing and parapet wall flashing, windows, etc)
- Temporary heat and enclosures. We will work while temperatures allow.
- Special insurance. RestoreWorks standard insurance coverage will be provided.
- Tree/bush trimming, landscape or hardscape restoration. This may be required for/following boom lift or scaffold access to work area.
- Removal or relocation of mechanical, electrical, and/or plumbing interferences. We will work around.
- Permits & Bonds, Minority Participation & Liquidated Damages

### CLARIFICATIONS:

- Please note that this scope was derived from site inspections made from the ground. Actual conditions may vary once a hands on inspection is performed when access equipment is available on site.
- Stones labeled Rehab Code B & C will now be treated as Rehab Code A.
- All work to be performed during regular business hours.
- Water and electric to be provided by Owner.
- Owner to have any power lines covered that are within ten (10) feet of work area, prior to start of work.
- Additional repairs to be performed on a time and material basis.
- Pricing assumes work will be completed before next scheduled labor rate increase (6/1/2017).

All material is guaranteed to be as specified. All work is to be completed in a substantial workmanship manner according to specifications submitted per standard practices. Any alterations or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. Owner is to carry fire, tornado and other necessary insurance. RestoreWorks workers are fully covered by Workman's Compensation insurance.

### Authorized Signature:

Hafid Cristobal

Note: this proposal may be withdrawn by RestoreWorks if not accepted within 30 days

### Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. RestoreWorks is authorized to do the work as specified. Payment will be made as outlined above. By accepting this quote, you are agreeing to pay 1 1/2% accumulating interest every 30 days (not to exceed 18% annually) beginning on the 30th day after due date for any unpaid balance and to pay for any fees incurred by RestoreWorks in the collection of the accepted quoted amount that includes but is not limited to: attorney fees, collection fees and court costs.

Signature:

Date:

# Phili Schoen Building Exterior Restoration

February 15, 2017

Eric Statz  
Bay Creek Remodeling LLC  
940 Lawrence St  
Madison, WI 53715  
Office 608-209-8330  
eric63@charter.net

## Estimate



### Project: 013

Phili Schoen Building Exterior Restoration  
117 E Main St  
Madison, WI 53703

### Customer

Dan Kessenich  
4623 Tonyawatha Tr  
Monona, WI 53716

Mobile (608) 206-4937  
kessenich@charter.net

Exterior restoration

Description	Cost
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<b>Project Management</b>	<b>\$9,072.00</b>
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#### Project Management/Support Allowance:

\$9,072.00

Develop Request for Proposal for project not developed by Insite Architects. Review contracts for accuracy to the requested work. Manage all phases of the project: Manage owners contractors, waste, site set up and clean up. Develop and manage project schedule. 120 hours estimated allowance will be tracked and billed on an hourly basis. Any materials or subcontractors provided by Bay Creek Remodeling LLC will include a 20% builders markup. Owner will contract directly with trade contractors. This includes masonry, painting, concrete, excavation, and all mechanical contractors as needed.

<b>Exterior Repairs</b>	<b>\$9,540.00</b>
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#### 1st floor window panel replacements Allowance

\$3,060.00

Replace base panels and necessary trim. Replace flat panels on either side of 1st floor entry with MDO panels and trims with clear cedar. All materials to be back primed before installation. Finish painting will be performed by Owners Painting Contractor

#### Window repair Allowance

\$6,480.00

Make repairs to existing window frames and jambs as needed before finish paint. Will use ABATRON epoxy for as many of the repairs as possible. Allowance based on 80 hours of labor and materials.

<b>Interior Repairs</b>	<b>\$2,940.00</b>
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#### Misc. Repair Allowance

\$2,940.00

Misc. repairs to apartment will be determined by list created by owner and tenant. Based on 40 hours of labor and materials

<b>Project Total</b>	<b>\$21,552.00</b>
Tax	\$1,185.36
<b>Total with Tax</b>	<b>\$22,737.36</b>

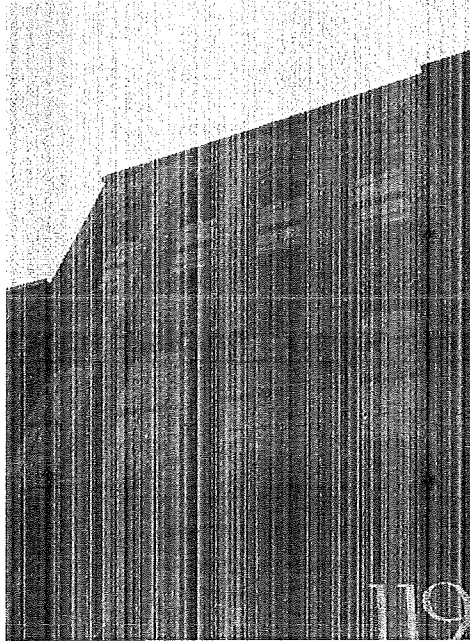
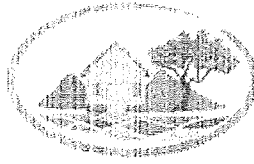
Bay Creek Remodeling proposes to provide labor and materials as listed above.

All phases of the project will be billed as Time and Material Progress billing for work completed at that time. Labor rate for project Management is \$72.00 per hour and all other skilled labor will be billed at \$60.00 per hour. Laborers will be billed at \$45.00 per hour. A builders mark up of 20% will be added to all materials or subcontractors provided by Bay Creek Remodeling LLC.

Final Payment: The entire unpaid balance of the Contract Sum is due and payable upon Substantial Completion.

Payments due and unpaid bear interest from the date payment is due at the rate of twelve percent (12%) per annum. Owner's obligation to pay the Contract Sum is unconditional and not subject to offset.

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**Phili Schoen Building Exterior Restoration**

117 E Main St  
Madison, WI 53703

Submitted by:

**Eric Statz**

**Bay Creek Remodeling LLC**

940 Lawrence St  
Madison , WI 53715

Office: 608-209-8330

eric63@charter.net



# 117 E MAIN STREET

## 2017 EXTERIOR INVESTIGATION

MADISON, WI

THE FOLLOWING GENERAL NOTES SHALL APPLY:

ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN BUILDING CODE LATEST EDITION.

CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF, AND COORDINATION WITH, ALL DIMENSIONS SHOWN ON THESE DRAWINGS RELATIVE TO EXISTING CONDITIONS PRIOR TO BEGINNING WORK.

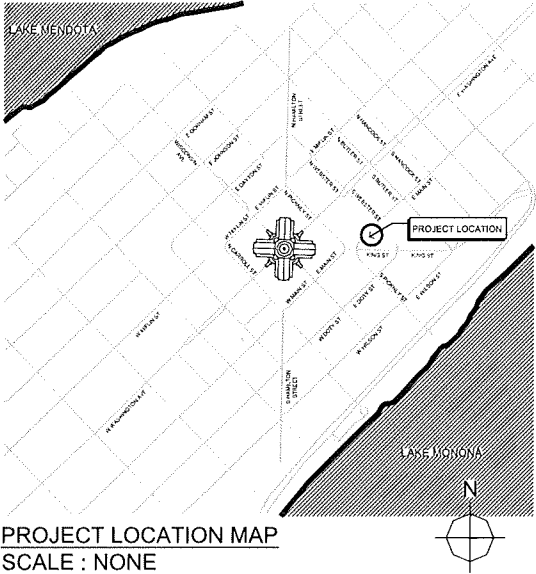
CONTRACTOR SHALL REPORT IMMEDIATELY TO THE ARCHITECT ANY DIMENSION(S) OR DISCREPANCIES VERBALLY. A WRITTEN REPORT SHOULD PROMPTLY FOLLOW. CONTRACTOR SHALL CEASE WORK IN THE AFFECTED AREA UNTIL DIRECTED BY THE ARCHITECT.

THE CONTRACTOR SHALL PROVIDE ALL METHODS AND EQUIPMENT FOR PROTECTING THE BUILDING, ALL MATERIALS, AND PERSONNEL FROM FIRE OR OTHER DAMAGE PRIOR TO STARTING. THE CONTRACTOR SHALL SUBMIT THE APPROVED METHODS AND EQUIPMENT IN WRITING FOR THE OWNER AND ARCHITECT'S REVIEW PRIOR TO STARTING WORK.

THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS.

6. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SHEATHING, REQUIRED FOR THE SAFETY AND PROPER EXECUTION OF THE WORK.
7. EXECUTION OF THE WORK WILL INVOLVE CONSIDERATION FOR ALLOWING THE OWNER TO CONTINUE THE OPERATION OF THE BUILDING AND THE BUSINESS IN THE FACILITY AND ADJACENT FACILITIES. PRIOR TO THE AWARD OF THE CONTRACT, THE CONSTRUCTION SCHEDULE PREPARED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT AND SHALL BE COORDINATED WITH THE FACILITIES DEPARTMENT. OWNER'S APPROVAL OF THE PROPOSED SCHEDULE SHALL SUPERCEDE THE CONTRACT, PROVIDED THE OVERALL TIME IS NOT CHANGED.
8. THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL SERVICES (ELECTRICAL, MECHANICAL AND PLUMBING) AFFECTED BY THE REPAIR WORK. THE CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE BUILDING DIRECTLY AND INDIRECTLY AFFECTED BY THE WORK. THE CONTRACTOR SHALL SUBMIT METHODS AND SCHEDULE OF CONNECTIONS TO THE OWNER FOR APPROVAL PRIOR TO BEGINNING WORK.

9. AS THE WORK PROGRESSES, THE CONTRACTOR SHALL PRODUCE "AS-BUILT" DRAWINGS FOR THE INSTALLATION OF ALL REPAIR ITEMS UNDER THE CONTRACT. THE ARCHITECT WILL PROVIDE THE GENERAL CONTRACTOR WITH A SET OF REPRODUCIBLE PLANS FOR THIS PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE AS-BUILT DRAWINGS ACCORDING TO THE JOB PROGRESS. EACH PAY REQUEST SUBMITTED BY THE CONTRACTOR SHALL BE ACCOMPANIED BY A COPY OF THE UPDATED AS-BUILT DRAWINGS.
10. THE CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" AT 800-242-8511, 48 HOURS (EXCLUDING WEEKENDS AND/OR HOLIDAYS) PRIOR TO DIGGING ANY EXCAVATION. "DIGGER'S HOTLINE" WILL CONTACT UTILITY COMPANIES TO LOCATE AND MARK THEIR UNDERGROUND FACILITIES. NO SUCH WORK SHALL COMMENCE PRIOR TO VERIFICATION THAT ALL UTILITIES HAVE RESPONDED.
11. PROTECT TREES, SHRUBS, LAWNS, AND OTHER FEATURES WITHIN PROJECT LIMITS. RESTORE DAMAGED FEATURES TO ORIGINAL CONDITION.
12. ALL WORK MUST BE COMPLETED BY WORKERS WHO ARE SPECIFICALLY TRAINED FOR ALL WORK INCLUDED HEREIN - SEE SPECIFICATIONS FOR MORE INFORMATION.



## SHEET INDEX

### GENERAL

TS TITLE SHEET

### ARCHITECTURAL

A1 OVERALL ELEVATION  
A10 PARTIAL ELEVATION (LOWER LEVEL)  
A20 PARTIAL ELEVATION (SECOND LEVEL)  
A30 PARTIAL ELEVATION (THIRD LEVEL)  
A40 PARTIAL ELEVATION (NEW CORNICE)



InSite Consulting Architects  
115 E. Main / STE 200  
Madison, Wisconsin 53703  
608-204-0825  
608-297-1762 (fax)  
info@ksarc.com

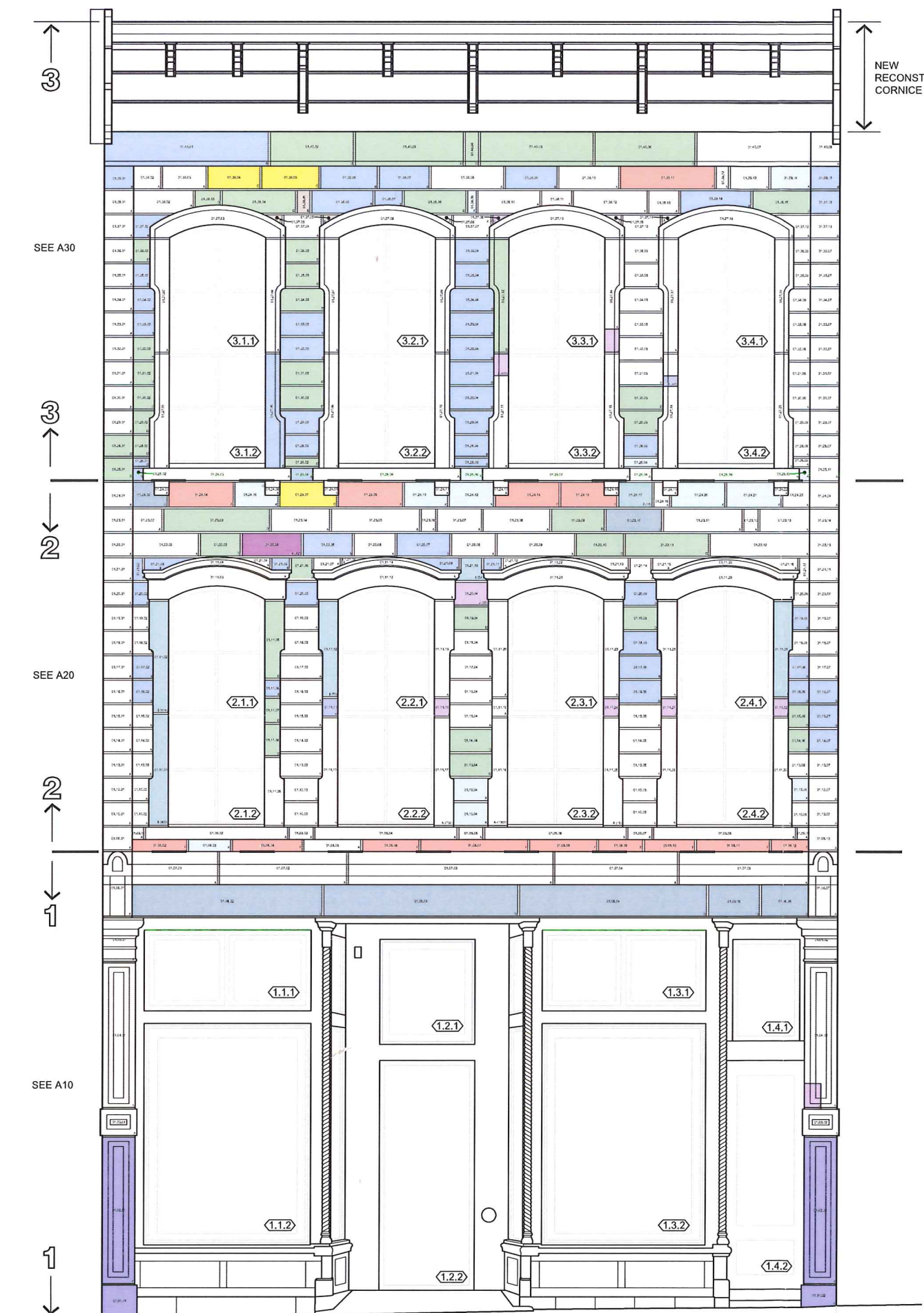
2016 EXTERIOR RESTORATION  
117 EAST MAIN STREET  
MADISON, WI 53703

TITLE SHEET

MAY 2016

TS





1 OVERALL ELEVATION  
A1 SCALE: 1/2" = 1'-0"

**LEGEND:**

- REHAB CODE A: REPOINT AND 100% CLEAN
- REHAB CODE B: REMOVE - EXAMINE BACKUP - REPAIR - RESET
- REHAB CODE C: REMOVE - EXAMINE BACKUP - REPAIR - REDRESS - RESET
- REHAB CODE D: REPOINT AND 100% CLEAN AND EXAMINE WHEN ADJACENT STONES ARE REMOVED - BACK PACK MORTAR AT COLLAR JOINT
- REHAB CODE E: DECIDE BASED ON ADJACENT STONES
- REHAB CODE F: REMOVE - REVERSE - REDRESS - REINSTALL
- REHAB CODE G: REDRESS IN-SITU
- REHAB CODE H: EPOXY INJECTION AT CRACK
- REHAB CODE I: REMOVE OLD PATCH - INSTALL NEW PATCH (250 CI)
- REHAB CODE J: DUTCHMAN (750 C.U.)
- REHAB CODE K: NEW PATCH
- REHAB CODE X: REPLACE WITH STONE QUARRIED FROM WALL ON FROM OFFSITE
- REHAB CODE Y: REPLACE WITH MINNESOTA DOLOMITIC LIMESTONE (HIGH SALT AREAS ONLY)

**SASH / WINDOW RESTORATION SCHEDULE**

SASH #	REPAIR CODE	UNITS	NOTES
1.1.1			
1.1.2			
1.2.1			
1.2.2			
1.3.1			
1.3.2			
1.4.1			
1.4.2			
2.1.1			
2.1.2			
2.2.1			
2.2.2			
2.3.1			
2.3.2			
2.4.1			
2.4.2			
3.1.1			
3.1.2			
3.2.1			
3.2.2			
3.3.1			
3.3.2			
3.4.1			
3.4.2			

**REPAIR CODES:**

FLOOR 1 (WINDOWS)

A CAREFULLY REMOVE EXISTING GLASS AND EXAMINE CONDITION OF EXISTING WOOD FRAME - REPAIR AS REQUIRED. SCRAPE, PRIME AND PAINT ALL AREAS 100%. REINSTALL GLASS AND INSTALL NEW GLAZING FLOOR 1 (DOORS)

B [FORTHCOMING]

FLOORS 2 & 3

C CAREFULLY REMOVE EXISTING SASH AND MARK IN AN UNEXPOSED LOCATION FOR FUTURE REFERENCE - REMOVE ALL PAINT, GLAZING AND OTHER MATERIALS TO EXPOSE BARE WOOD. REPAIR SASH AS DIRECTED BY ARCHITECT - SHOP RE-GLAZE, PRIME, AND PAINT ALL SASHES AND REINSTALL IN RESTORED FRAMES. INSTALL NEW WEATHER STRIPPING ON ALL SASHES. INSTALL NEW SASH ROPES AND RE-HANG ALL COUNTER WEIGHTS.

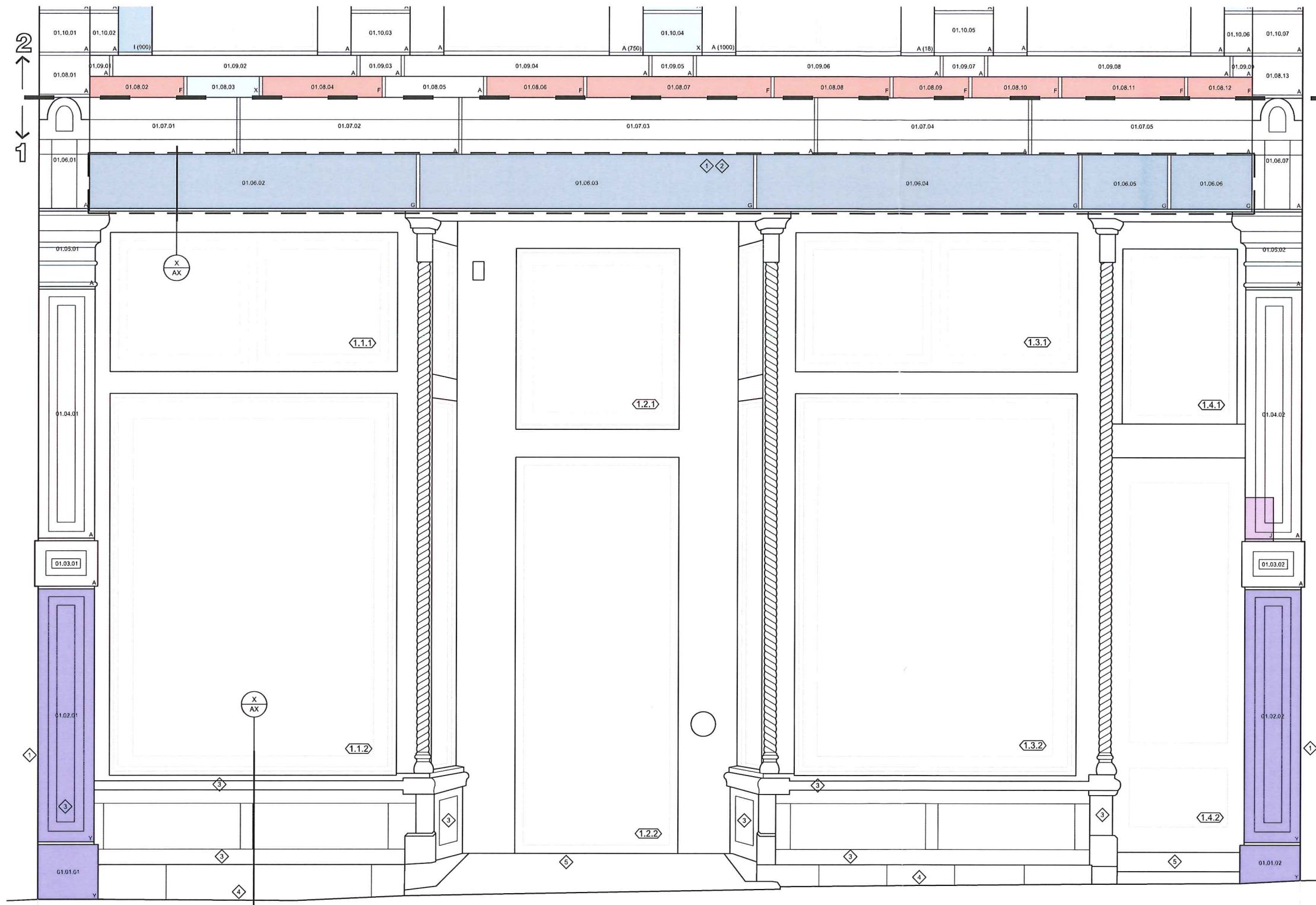
D RESTORE EXISTING WINDOW FRAMES PRIOR TO INSTALLING NEWLY RESTORED SASHES. INSPECT THE EXISTING FRAMES TO DETERMINE SCOPE OF REPAIRS REQUIRED.

InSite Consulting Architects  
115 E. Main / STE 200  
Madison, Wisconsin 53703  
608-204-0825  
608-297-1762 (fax)  
info@icsarc.com

2016 EXTERIOR RESTORATION  
117 EAST MAIN STREET  
MADISON, WI 53703

ELEVATION  
MAY 2016  
**A1**





LEGEND:	
<span style="background-color: #f0f0f0; border: 1px solid black; display: inline-block; width: 15px; height: 15px;"></span>	REHAB CODE A: REPOINT AND 100% CLEAN
<span style="background-color: #d0d0ff; border: 1px solid black; display: inline-block; width: 15px; height: 15px;"></span>	REHAB CODE B: REMOVE - EXAMINE BACKUP - REPAIR - RESET
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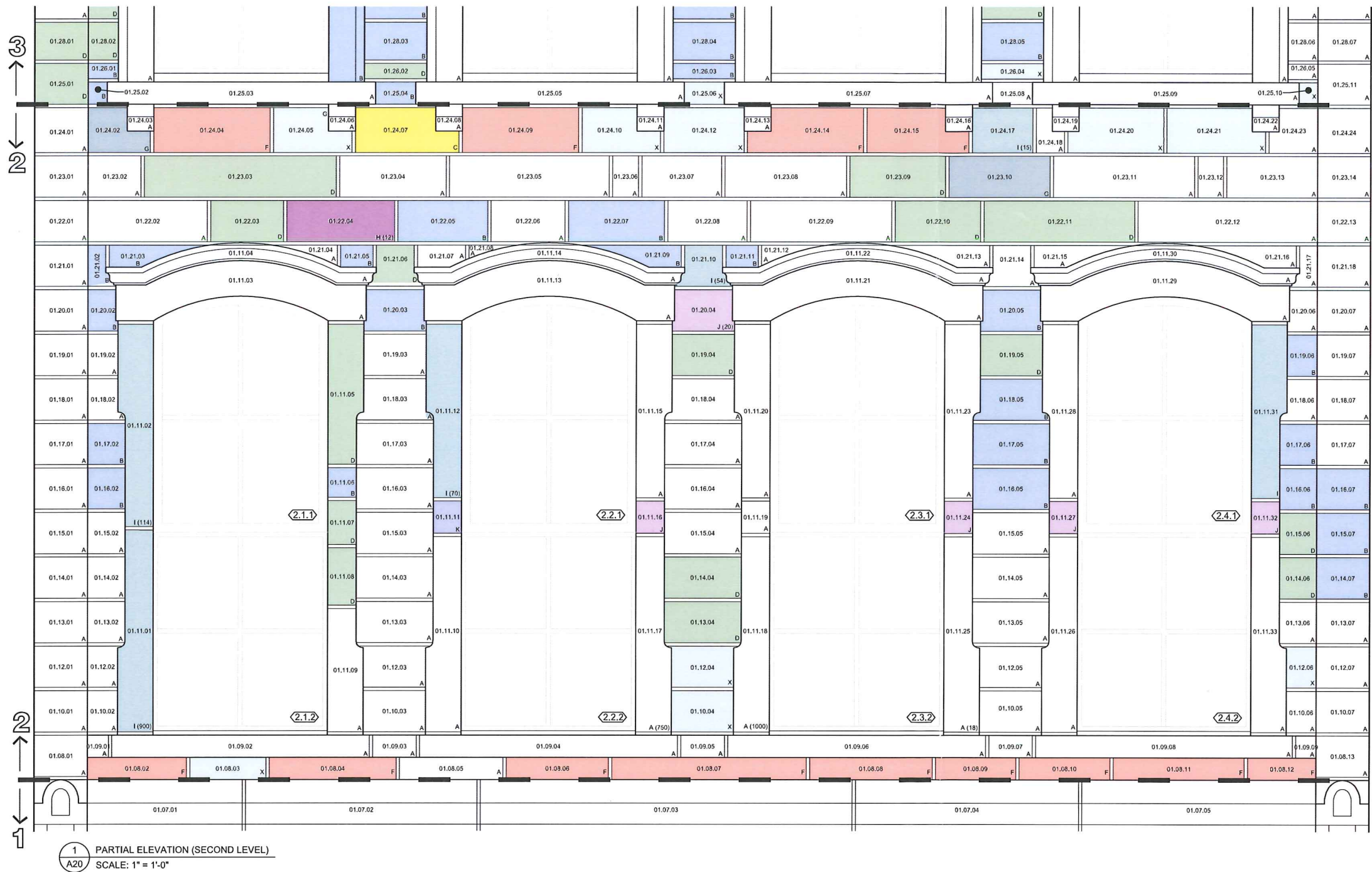
- DESIGN NOTES:
- 1 REMOVE EXISTING STONE. INSPECT BACK-UP BRICK MASONRY AND REPAIR AS DIRECTED BY THE ARCHITECT.
  - 2 RECONDITION EXISTING STEEL (EXPOSED) AS REQUIRED AND AS DIRECTED BY THE ARCHITECT.
  - 3 REMOVE ALL FINISH/TRIM WOOD TO ACCOMMODATE NEW FLASHING INSTALLATION - SEE SHEET A11.
  - 4 INSTALL NEW LEAD COATED COPPER FLASHING AT SILL TRANSITIONS.
  - 5 PROTECT AND MAINTAIN EXISTING STOOP.

2016 EXTERIOR RESTORATION  
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DESIGN NOTES:

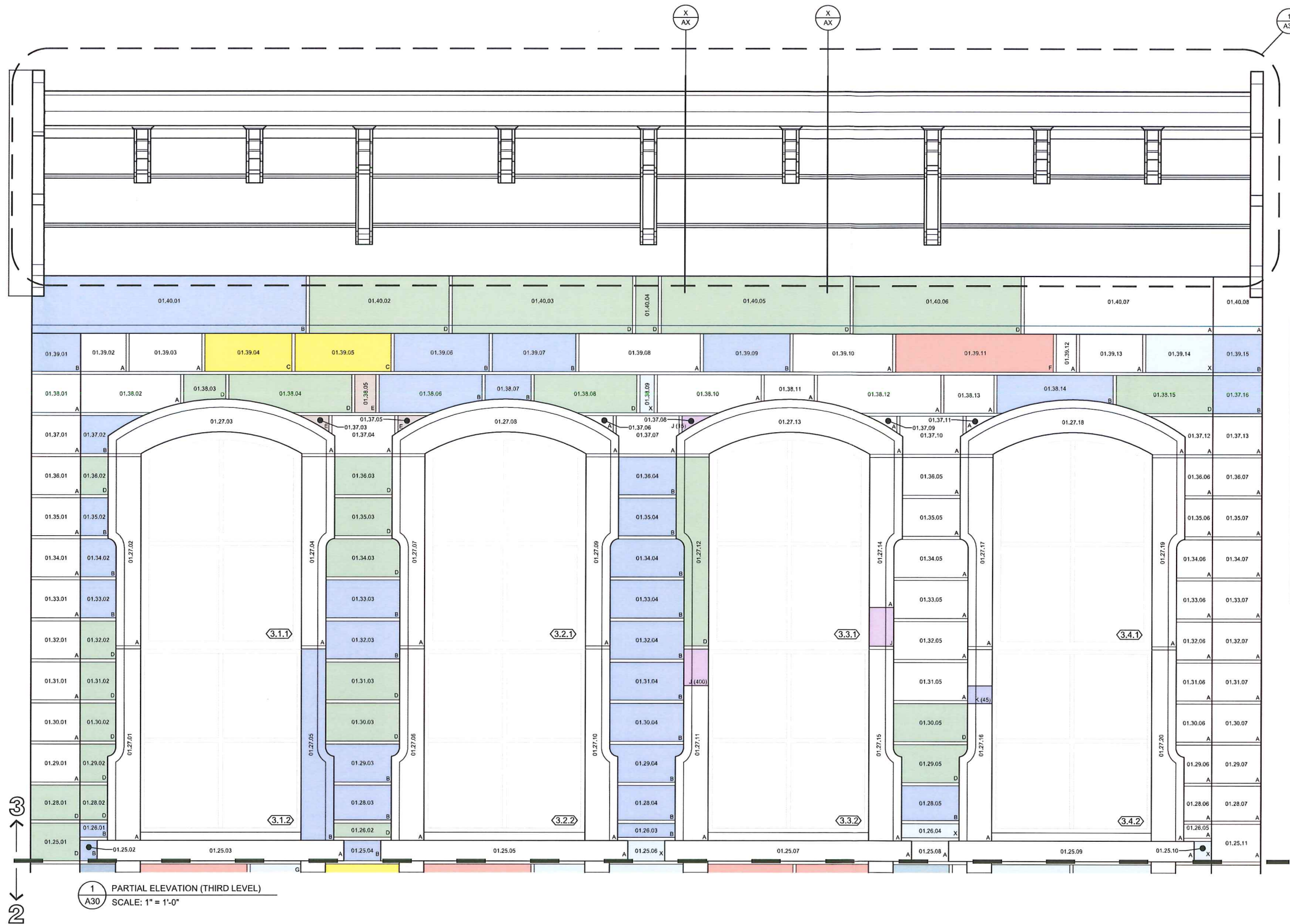
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- INSTALL NEW LEAD COATED COPPER FLASHING AT SILL TRANSITIONS.
- PROTECT AND MAINTAIN EXISTING STOOP.

ENLARGED ELEVATION

MAY 2016

A20





**LEGEND:**

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<span style="background-color: #ffccff; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	REHAB CODE E: DECIDE BASED ON ADJACENT STONES
<span style="background-color: #ff9999; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	REHAB CODE F: REMOVE - REVERSE - REDRESS - REINSTALL
<span style="background-color: #add8e6; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	REHAB CODE G: REDRESS IN-SITU
<span style="background-color: #800080; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	REHAB CODE H: EPOXY INJECTION AT CRACK
<span style="background-color: #d8bfd8; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	REHAB CODE I: REMOVE OLD PATCH - INSTALL NEW PATCH (250 CI)
<span style="background-color: #b0c4de; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	REHAB CODE J: DUTCHMAN (750 C.U.)
<span style="background-color: #f0f0f0; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	REHAB CODE K: NEW PATCH
<span style="background-color: #add8e6; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	REHAB CODE X: REPLACE WITH STONE QUARRIED FROM WALL ON FROM OFFSITE
<span style="background-color: #4682b4; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	REHAB CODE Y: REPLACE WITH MINNESOTA DOLOMITIC LIMESTONE (HIGH SALT AREAS ONLY)

- DESIGN NOTES:**
- 1 REMOVE EXISTING STONE. INSPECT BACK-UP BRICK MASONRY AND REPAIR AS DIRECTED BY THE ARCHITECT.
  - 2 RECONDITION EXISTING STEEL (EXPOSED) AS REQUIRED AND AS DIRECTED BY THE ARCHITECT.
  - 3 REMOVE ALL FINISH/TRIM WOOD TO ACCOMMODATE NEW FLASHING INSTALLATION - SEE SHEET A11.
  - 4 INSTALL NEW LEAD COATED COPPER FLASHING AT SILL TRANSITIONS.
  - 5 PROTECT AND MAINTAIN EXISTING STOOP.

2016 EXTERIOR RESTORATION  
117 EAST MAIN STREET  
MADISON, WI 53703









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