



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:

<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>Prior to noon on February 8, 2017</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>March 22, 2017</u>	<input checked="" type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): <u>April 3, 2017</u>	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 3758 East Washington Avenue, Madison
Project Title (if any): Klein's Floral and Greenhouses Redevelopment

2. This is an application for (Check all that apply to this UDC application):

☒ New Development ☐ Alteration to an Existing or Previously-Approved Development

A. Project Type:

- ☒ Project in an Urban Design District ^{#5} (public hearing-\$300 fee)
☐ Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
☐ Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
☐ Planned Development (PD)
☐ General Development Plan (GDP)
☐ Specific Implementation Plan (SIP)
☐ Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- ☐ Comprehensive Design Review* (public hearing-\$300 fee) ☐ Street Graphics Variance* (public hearing-\$300 fee)
☐ Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

☐ Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Susan H. Klein, sole member of each LLC (see below) Company: JOT Properties, LLC and SUB Properties, LLC
 Street Address: 709 Augusta Drive City/State: Waunakee, WI Zip: 53597
 Telephone: (608) 244-5661 Fax: () Email: sue@kleinsfloral.com

Project Contact Person: Tim Anderson Company: Tim Anderson, Consulting, LLC
 Street Address: 2126 Yahara Place City/State: Madison, WI Zip: 53704
 Telephone: (608) 514-5402 Fax: () Email: tander2126@gmail.com

Project Owner (if not applicant): JOT Properties, LLC and SUB Properties, LLC
 Street Address: 709 Augusta Drive City/State: Waunakee, WI Zip: 53597
 Telephone: (608) 244-5661 Fax: () Email: sue@kleinsfloral.com

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn on 2/1/17.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Susan H. Klein Relationship to Property Sole member of JOT Properties, LLC and SUB Properties, LLC

Authorized Signature Susan H. Klein Date 2/8/17
 SUSAN H. KLEIN



March 6, 2017

City of Madison Planning Department
126 S. Hamilton St.
Madison, Wisconsin 53701-2985

ATTENTION: Jessica Vaughn, Julie Cleveland and Urban Design Commission

**Re: UDC Application for Final Approval of the Klein Project and Narrative
addressing the Requirements and Guidelines of Urban Design District #5**

PROJECT TITLE: Klein's Floral & Greenhouse Redevelopment

To Whom It May Concern:

The Project Team for Klein's Floral & Greenhouse Redevelopment (hereafter the "Klein Project") submitted its Land Use Application and UDC Application on February 8, 2017. After its initial review by Planning Staff, we were advised that certain drawings submitted with the UDC application needed to be revised and supplemented and a Narrative discussing the relationship between the Klein Project and the Requirements and Guidelines of Urban Design District #5 needed to be provided and delivered not later than noon on March 6, 2017.

Attached to this letter are 14 copies of the UDC Application for approval of Klein Project, revised as requested. **The balance of this letter constitutes the requested Narrative.**

**RELATIONSHIP OF THE KLEIN PROJECT TO
THE REQUIREMENTS AND GUIDELINES OF URBAN DESIGN DISTRICT #5**

Klein's Floral & Greenhouse has been at its present location since 1913. Sue Klein, the present sole member of the two limited liability companies which own the property upon which this business operates, is the granddaughter of the founder of the business, Frederick Klein. She is the 3rd generation owner and two of her children are intending to become the 4th generation owners when Sue retires.

The present facility has been modified and upgraded from time to time but it is also showing its age. The house presently sitting on property (where Sue grew up) has been converted to administrative offices but it is in need of substantial repair. In fact, it is subject to pending City repair orders issued by the City Building Inspector which have been placed on hold until

June 30, 2017 pending the completion of this project which includes demolition of the house and other buildings on the property. After much agonizing over the correct decision, Sue decided that the combination of the aged condition of the buildings and the desire of her sons to continue the business at the same location meant that she needed to redevelop the infrastructure of her business and create a state of the art facility.

The reason I prepared this brief history of Sue's business life and decision-making process is that we are mindful of the purposes of Urban Design District #5 and firmly and strongly believe that the development of this new facility fronting on East Washington Avenue with its new buildings and proposed landscaping is 100% consistent with and in compliance with the purposes for which District #5 was created. **Specifically, these new buildings, surrounded by the proposed landscaping will positively "improve the appearance of a major transportation corridor" (i.e., E. Washington Ave.). These improvements will definitely "preserve and enhance the property values in the District" and help "avoid a substantial depreciation of property values in the District."** Accordingly, we believe that the Klein Project squarely addresses and fully satisfies the purpose of this District #5.

The following narrative supplements the graphic exhibits included with this application and summarizes how the Klein's project fits the district guidelines.

1. Public Rights-of-Way

The proposed Klein's building and site design complement the scale, character and use mix of adjoining properties. Home Savings to the east and Walgreens to the west and improves the visual continuity and appearance of the East Washington Avenue corridor between Mendota Street and Stoughton Road (STH 51).

2. Off-Street Parking and Loading

The proposed Klein's parking lot and loading area have been carefully integrated into the site development. A 61 stall customer and employee parking lot is located on the westside of the building that fronts on East Washington Avenue. The main loading area is located on the northwesterly side of the property northly of the parking lot and will not be visible from the street or residences adjacent to the property. The relationship between the parking/loading areas and the building has been carefully planned. The parking area has been located and designed so customers can move easily and safely to the main business entrance. Trucks will use Stoughton Road (STH 51) to access the loading area to minimize conflicts with automobile and pedestrian circulation. We believe that this design and configuration is in compliance with the revised "New Approach to Parking Lot Landscaping adopted by the Common Council and with Chapter 28 of the MGO per the requirements and guidelines of Urban Design District #5.

3. Signs

The existing double sign panel will be relocated next to the driveway and mounted to a base constructed with concrete block matching the building. The sign panel is the same size and will be mounted at the same height as the existing sign. The existing lights at the top of the sign will be remain on the sign. All other site signage is directional. This reconstructed sign will not be

electronic. As described and to be constructed, we believe that this signage will comply with the requirements and guidelines of Urban Design District #5.

4. Building Design

The proposed Klein's redevelopment includes a new 29,000 SF 'L' shaped building that combines two main architectural components. One main component is a 18,000 SF greenhouse structure oriented north-south on the site with a short gable end facing East Washington Avenue. The north-south orientation allows for an efficient product flow from existing growing greenhouses at the rear of the property to the seasonal and retail greenhouses located in the new facility. Another major architectural component is a 11,000 SF two-story flat roof retail building that will house the business retail sales and administration functions. This structure, which is defined by zoning as a one story building with a mezzanine, has been designed with a scale, proportion, composition of architectural elements, and mix of exterior materials and colors to be the focal point for the Klein's redevelopment and to present a compatible and harmonious relationship to adjoining buildings. The Klein's architectural design allows two different building types to express their individual identities and functions while blending together to create an overall cohesive composition. The addition of concrete masonry block pilasters as a common design element and attractive foundation landscaping assists in visually connecting the two structures and creating a unified appearance for East Washington Avenue frontage.

The Kleins Floral & Greenhouses main entrance is located on the northside of the two story retail building. This location is critical to achieve the desired Klein's customer flow where customers can experience all facets of the Klein's product line starting with the exterior retail courtyard and moving through the facility's greenhouse and retail sales areas before reaching the checkout. Since the main entrance is not directly visible from East Washington Avenue, the site design has created an "invitational entrance" that directs pedestrians along a 'gardenwalk' with landscaping, lighting and pergola structures that leads to the main entrance. A strong vertical element has been added to the southwest corner of the two story retail building as the starting point for this invitational entrance. Windows in this corner element provide a view to one of Klein's historic delivery trucks that will be displayed in the retail building. Planter boxes will be placed on top of the roof edge facing East Washington Avenue to enhance the visual character and interest of the building.

5. Lighting

The Klein's exterior lighting design includes a combination parking lot lighting, walkway lighting, building mounted lighting, accent lighting and security lighting that will enhance the beauty and safety of the Klein's property and present a complimentary relationship to adjoining properties. The lighting design proposes efficient and attractive fixtures that will provide the necessary illumination to insure the safe use of the property while minimizing impacts to adjoining properties. The lighting design assumes some contribution of light from the greenhouses in determining location, quantity and of types of light fixtures.

6. Landscaping

The planting design is intended to serve in these functions: frames views toward the entrances (both the building and driveways) and corner display window, screens parking lot views, complements the architecture in the rhythm of the greenhouse mass and the retail center and provides a showcase of plant types that display the Klein's plant materials which they grow and sell. Plant combinations and display gardens will provide consumers with multiple ideas to borrow for their own personal landscape projects. The talented Klein's horticultural staff will maintain the plantings in all seasons including the use of mulch materials with well edged plant beds and mowed lawn areas.

Shade and ornamental trees screen views and provide shading. Perennial grasses and flowers and annual flowers will be displayed with background shrubs. There will be seasonal displays along East Washington Avenue and at the entrances. The seasonal plant combinations will be displayed in borders and raised planters. Annual plant types will shift with the seasons and include: spring bulbs, summer annuals, fall plants and holiday greenery and decorations. Both perennial and annual vines will accent the pergolas.

With respect to the utilities to be serving this new facility, all utility services requiring wiring will be placed underground,

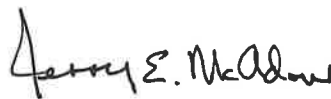
We are asking you to agree with us that we satisfy the stated purpose of Urban Design District #5 and meet all of the requirements and guidelines set forth in the Ordinance. For over 100 years, this business has projected a positive influence on its neighbors and neighborhood and these proposed improvements represent a commitment and dedication to not only continue but to also strengthen this influence for the next generation.

The preparation of this summary and narrative has been the joint work product of the Project Team.

Thank you for your review and consideration.

Sincerely,

BOARDMAN & CLARK LLP



Jerry E. McAdow

JEM:pr



February 8, 2017

City of Madison Planning Department
215 Martin Luther King Jr., Blvd, Room LL-100
P.O. Box 2985
Madison, Wisconsin 53701-2985

**RE: LETTER OF INTENT for Land Use Application (LUA) for Rezoning,
Conditional Use Permit and Demolition Permit for JOT Properties, LLC and
SUB Properties, LLC d/b/a Klein's Floral & Greenhouses (hereafter "Klein
Floral") located at 3758 East Washington Ave., Madison WI**

PROJECT TITLE: Klein's Floral & Greenhouses Redevelopment

To Whom It May Concern:

We begin this Letter of Intent (LOI) with a brief history of Klein's Floral & Greenhouses. The present owners of the Property (see "legal description" attached to this LOI as Exhibit A) subject to this LUA are JOT Properties, LLC and SUB Properties, LLC both of which entities are owned and controlled by Susan H. Klein who is the sole member of each LLC. JOT, Properties, LLC is also the operator of Klein Floral. Ms. Klein is the 3rd generation of Kleins owning and operating Klein Floral. Her grandfather, Frederick Klein, started the business in 1913 at this same location and it has remained in the family ever since. Sue has 4 children, 2 of whom are planning to follow in her footsteps and will continue operation of the business into a fourth generation.

It is in anticipation of this 4th generation of family operation that is the motivation for this massive modernization and upgrade of this greenhouse and floral facility to a "state of the art" status. A complicating factor in her decision to undertake this project has been the long-term (but vague and uncertain) plan of the Wisconsin Department of Transportation (DOT) to rebuild the intersection of Hwy 51 and East Washington Avenue (Hwy 151). Sue has participated in several meetings with WDOT and the City of Madison to discuss this intersection project and has viewed several different planning scenarios. At the same time that it appears that the intersection project (if or when it occurs) will impact her greenhouse and floral business with respect to visibility and access, there has been no way to determine what the actual impact will be because of the significant uncertainty of what DOT will ultimately decide to do. In addition, the timing for the reconstruction of the intersection is likewise very uncertain. It has been suggested that reconstruction of the intersection will not come earlier than 2025 and could easily be later than that. In the meantime, as a business person, Sue has no real choice but to go forward with the

modernization of her business because a failure on her part to do so, would lead to the eventual demise of her family business. She is not willing to allow that to happen when she has two sons who are anxious to continue in the family footsteps.

This history leads us directly to the LUA and this LOI in support of the LUA.

The presently existing structures on the site are old and inefficient. The house on the premises was the original homestead of Sue's grandfather, Sue's father, and is the house in which Sue grew up. It is obviously a place of untold precious memories for Sue but it is also very old and is in significant need of repair or demolition. With regret, Sue has chosen demolition because of the overriding needs of the business in order to keep the business viable.

In this context, we submit the following specific information regarding this proposed project:

1] **Project Team:**

- a. Land Use Planner / Project Coordinator: Tim Anderson Consulting, LLC
Contact Person: Tim Anderson
2126 Yahara Place
Madison WI 53704
- b. Architect: Linville Architects, LLC
Contact Person: Ed Linville
408 E. Wilson St.
Madison WI 53703
- c. Engineer and Surveyor: Burse Surveying & Engineering, Inc.
Contact Person: Michelle Burse
2801 International Lane, Suite 101
Madison WI 53704
- d. Landscape Architect: Ken Saiki Design
Contact Person: Pat Saiki
303 S. Patterson St., Suite 1
Madison WI 53703
- e. Garden Center Consultant: Growing Places Marketing
Contact Person: Judy Sharpton
32 Navigator Lane
Savannah, Georgia 31410
Phone No: 770-815-1052
- f. Construction Contractor: To be determined



g. Attorney: Jerry E. McAdow
Boardman & Clark, LLP
1 So. Pinckney St., 4th Floor
P.O. Box 927
Madison WI 53701-0927
Ph: 608-286-7203

2] **Existing Conditions:**

Klein Floral & Greenhouses is currently a fully functioning, year-around greenhouse and retail business with an emphasis on growing a wide variety of plants and flowers for sale. The business intends to stay open during the new construction operating out of temporary quarters which will consist of converting a portion of the existing growing greenhouses (hoop houses) at the rear of the Klein's site to accommodate retail sales and administrative offices. Building Inspection has reviewed and accepted this plan pending additional details that will be provided as part of a temporary permit request. The existing house is part of the retail center and contains administrative offices. That house is currently subject to repair and maintenance orders issued by the City Building Inspector but those orders are in a state of suspension subject to the demolition and construction which is the subject of this LUA. The north side of the site that includes the growing greenhouses (hoop houses) will remain undisturbed and will not be included in the proposed construction. This portion of the property will be reconstructed at a later date to be determined.

3] **Project Schedule:**

With the filing of this LUA on February 8, 2017, we are aiming at our appearance before the UDC on March 22, 2017, the Plan Commission on April 3, 2017 and the Common Council on April 18, 2017. We will be asking the UDC for "Initial/Final" approval at our meeting on March 22 so that we can stay on the rest of our proposed schedule. Subject to getting all of the required City recommendations and approvals, we would apply for the Demolition permit in late April or May, 2017. Modification of the existing greenhouse to allow for the continuation of the business during construction would occur in May/June, 2017 with actual demolition and construction commencing in June, 2017. It is anticipated that construction would be completed in late November or early December, 2017 with an Open House for the new facility being held in early 2018. It is the intention of Sue Klein to have the new facility actually in full operation in early December in order to not miss participation in the December holiday season.

4] **Proposed Uses:**

Greenhouse (growing plants and flowers)	
plus storage and equipment:	18,000 sq. ft.
Retail sales:.....	8,480 sq. ft.
Administrative:.....	2,584 sq. ft.
Parking:.....	31,772 sq. ft.
Landscaping:.....	29,261 sq. ft.

Square footage as presented above is approximate, but accurate to +/- 5%.

5] **Hours of Operation:**

Weekdays: 8:00 a.m. to 6:00 p.m.
Saturday: 9:00 a.m. to 5:00 p.m.
Sunday: 10:00 a.m. to 4:00 p.m.
Springtime hours:
 Weekdays: 8:00 a.m. to 8:00 p.m.
 Saturday: 8:00 a.m. to 6:00 p.m.
 Sunday: 9:00 a.m. to 5:00 p.m.

Holidays hours are variable and all hours of operation are subject to reasonable adjustment according to needs and circumstances.

6] **Building Square footage:**

Greenhouses:	16,650 sq. ft.
Storage:	1,350 sq. ft.
Retail:	8,480 sq. ft.
Administrative:	2,584 sq. ft.

Square footage as presented above is approximate, but accurate to +/- 5%.

7] **Number of Dwelling Units:**

None.

8] **Number of Auto and Bike Parking Stalls:**

Auto parking stalls (customer):	61
Auto parking stalls (employees):	8
Bike parking stalls:	9 (5/customers; 4/employees)

9] **Lot Coverage and & Useable Open Space Calculations:**

Lot Coverage:: 29,261 sq. ft.
Useable Open Space: 107,368 sq. ft.

Square footage as presented above is approximate, but accurate to +/- 5%.

10] **Value of Land (excluding presently existing buildings):**

2016 assessed valuation (land only):

JOT Properties, LLC (Parcel No. 251-0810-332-0317-6): \$517,500

SUB Properties, LLC (Parcel No. 251-0810-332-0320-9) \$304,000

Total: \$ 821,500

(No recent appraisal.)

11] **Estimated Project Cost:**

\$2,500,000

12] **Number of Construction and Full-time Equivalent Jobs Created:**

Construction jobs created:.....: ?*
Full-time equivalent jobs:.....: 5**

* As of the date of this LOI, a contractor has not yet been selected and as a result, this number is not currently known.

** It is not anticipated that the Klein employee force will substantially increase as a result of the new construction because it will be the continuation of an ongoing business. At the same time, however, the facility will be larger and the Owner anticipates needing to expand her work force by the above estimate. Also, depending upon the season or holiday, part-time employees are hired from time to time and with growth of the business and with the new facility, it is expected that the part-time work force will also increase.

13] **Public Subsidy Requested:**

None



14] **Rezoning Request**

A small portion of the subject property has not been appropriately zoned (See Ex. B attached to this LOI). The area designated in Ex. B has been used by the Greenhouse operation for many, many years, at the same time that it is zoned for residential use. This has been largely overlooked by everyone as a kind of “grandfathered” use which was not being objected to by nor harming anyone. We are seeking the rezoning of the entire Property described in attached Exhibit A (referred to as Lot 1 in proposed CSM) to zoning classification CC-T (Commercial Corridor Transitional District) in order to resolve this concern for all future purposes.

15] **Conditional Use Permits**

To facilitate the continued operation of this floral facility and the new construction, we request the granting of the following conditional uses:

- a. To permit outdoor storage in an area having an approximate size of 8’ x 70’ which will be covered by a metal roof. The product to be stored in this area is bagged soils and mulches, open to the view of customers so they will be aware of its availability for their purchase. It is proposed to be located as far away as possible from any residential area, specifically the outdoor storage area will be located on the NWly side of the Property, away from the residences which are located on the Ely side of the Property. It will be in a fenced in area and securely locked up at the end of each business day.
- b. To permit the construction of a building having an area in excess of 25,000 sq. ft. (see Project Plans)

16] **Curbside Landscaping**

Based upon the planned location of the new building, Sue Klein wishes to provide seasonal landscaping along the expanse of the building which fronts on East Washington Ave. She specifically wishes to avoid any requirement for planting trees along this street because they would shade and detract from the seasonal landscaping. Her landscaping plans include the planting of attractive spring annuals which mature into summer “annuals”. In the fall, she would change out the summer annuals and plant fall mums, grasses, kale and other fall plants. In the winter, there would be evergreens. Some plants will be in containers which can be moved from time to time. With these plans in mind, she is requesting that any requirement for the planting of curbside trees would be waived.

17] **Fire Access**

The proposed building will be fully "sprinkled" for fire suppression. In addition, based upon conversations we have had with the Madison Fire Department, it is our understanding that we will have adequate emergency vehicle and hydrant access for the proposed new structures subject to the Fire Department confirming sufficient pressure in the existing hydrants.

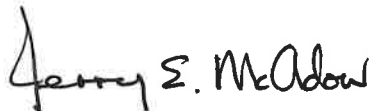
18] **Joint Access Easement**

SUB Properties, LLC and Washington East LLC (Scott Faust) entered into a "Grant of Reciprocal Easements" on March 4, 1999 under the terms of which a joint and mutual access easement (and other easement access rights) was agreed to by the parties. A copy of that easement agreement is attached to this LOI as Exhibit C (consisting of 16 pages). We have maintained contact with Mr. Faust (as required by the easement agreement) and it is our belief and understanding that Mr. Faust does not object to the project being constructed in accordance with the plans submitted by the LUA.

Please call the undersigned if there are any questions regarding this LOI or if anyone feels that additional information is needed or would be useful in order to proceed. Thank you for your consideration.

Sincerely,

BOARDMAN & CLARK LLP



Jerry E. McAdow

JEM:pr

Klein's Floral and Greenhouses, Inc. Proposed Lot 1
Metes and Bounds Description For Rezone

Part of Lot 2, Certified Survey Map Number 9499, as recorded in Volume 54 of Certified Survey Maps, on pages 136-139, as Document Number 3169025, Dane County Registry and part of Outlots 109, 111, 112 and 113, Burke Assessor's Plat No. 1, as recorded in Volume 9 of plats, on pages 15-21, as Document Number 593673, Dane County Registry, located in the Northwest Quarter of the Northwest Quarter of Section 33, Township 08 North, Range 10 East, City of Madison, Dane County, Wisconsin, more fully described as follows:

Beginning at the west corner of said Lot 2;
thence North 48 degrees 43 minutes 50 seconds East along the northwest line of said Lot 2, 381.92 feet;
thence South 42 degrees 51 minutes 37 seconds East, 212.91 feet;
thence South 48 degrees 43 minutes 04 seconds West, 10.00 feet;
thence North 42 degrees 45 minutes 47 seconds West, 50.75 feet;
thence South 48 degrees 08 minutes 27 seconds West, 49.94 feet;
thence South 42 degrees 48 minutes 12 seconds East, 235.00 feet to the northwest right of way line of East Washington Avenue;
thence South 48 degrees 43 minutes 04 seconds West along said northwest right of way line, 200.15 feet;
thence North 42 degrees 49 minutes 28 seconds West along said northwest right of way line, 3.10 feet to a point of curvature;
thence 13.08 feet along the arc of a curve to the right and along said northwest right of way line, through a central angle of 21 degrees 07 minutes 01 second, a radius of 35.50 feet, a chord bearing North 74 degrees 22 minutes 31 seconds West and a chord length of 13.01 feet;
thence South 48 degrees 43 minutes 04 seconds West along said northwest right of way line, 114.88 feet to the south corner of aforementioned Lot 2;
thence North 42 degrees 49 minutes 10 seconds West along the southwest line of said Lot 2, 383.75 feet to the Point of Beginning.
This description contains 138, 779 square feet or 3.1859 acres,

Bearings are based upon the Wisconsin County Coordinate System (Dane Zone)

Prepared By:
Burse Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison WI, 53704

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EXHIBIT A

REZONING MAP

PART OF OUTLOT 111, BURKE ASSESSOR'S PLAT NO.1, AS RECORDED IN VOLUME 9 OF PLATS, ON PAGES 15-21, AS DOCUMENT NUMBER 593673, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

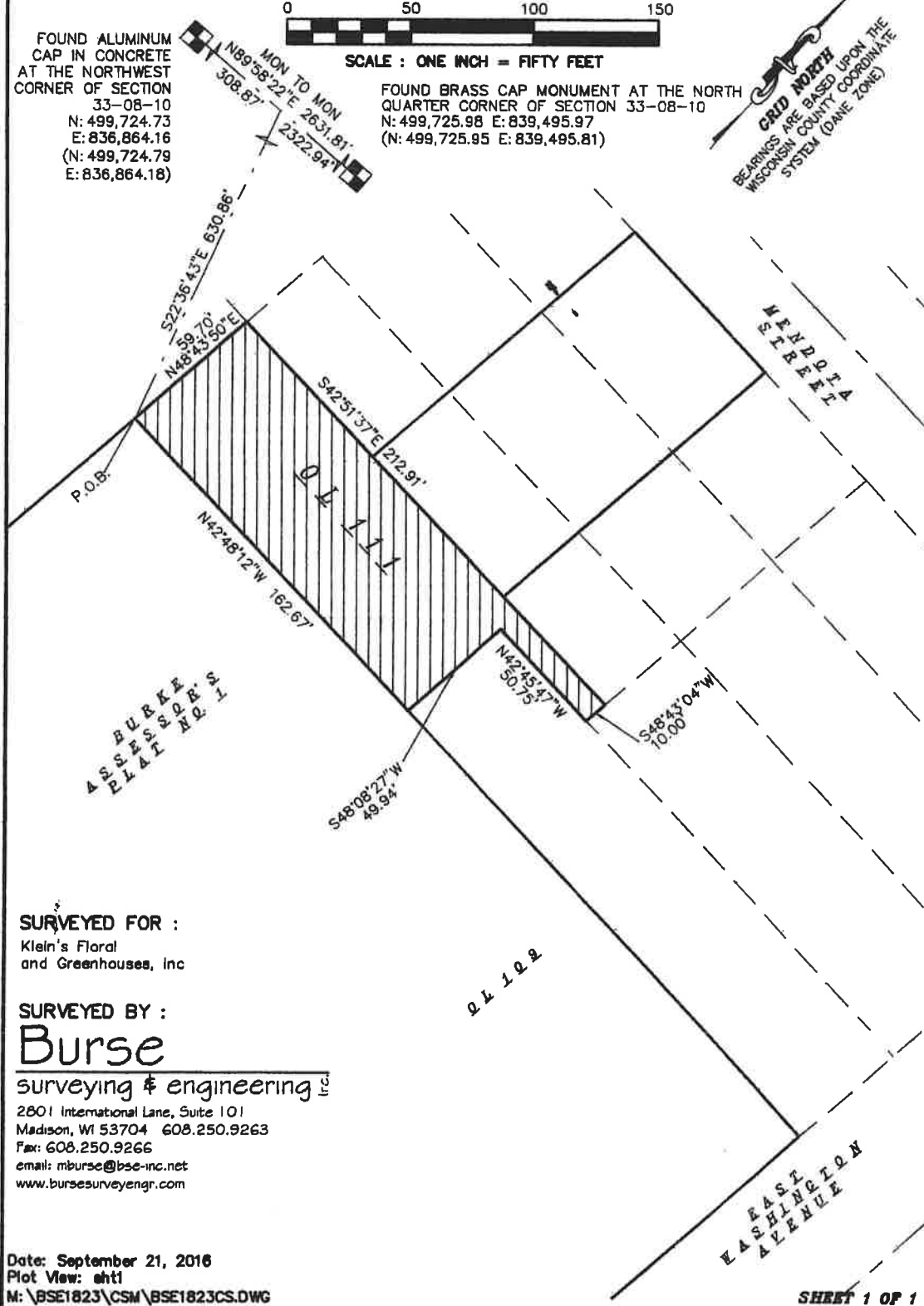


SCALE : ONE INCH = FIFTY FEET

FOUND ALUMINUM
CAP IN CONCRETE
AT THE NORTHWEST
CORNER OF SECTION
33-08-10
N: 499,724.73
E: 836,864.16
(N: 499,724.79
E: 836,864.18)

FOUND BRASS CAP MONUMENT AT THE NORTH
QUARTER CORNER OF SECTION 33-08-10
N: 499,725.98 E: 839,495.97
(N: 499,725.95 E: 839,495.81)

GRID NORTH
BEARINGS ARE BASED UPON THE
WISCONSIN COUNTY COORDINATE
SYSTEM (DANE ZONE)



SURVEYED FOR :
Klein's Floral
and Greenhouses, Inc

SURVEYED BY :
Burse

surveying & engineering

2801 International Lane, Suite 101
Madison, WI 53704 608.250.9263
Fax: 608.250.9266
email: mburse@bse-inc.net
www.bursesurveyengr.com

Date: September 21, 2016
Plot View: hnt1

M: \BSE1823\CSM\BSE1823CS.DWG

SHEET 1 OF 1

Klein's Floral and Greenhouses, Inc. Proposed Lot 1
Metes and Bounds Description For Rezone

Part of Outlot 111, Burke Assessor's Plat No. 1, as recorded in Volume 9 of plats, on pages 15-21, as Document Number 593673, Dane County Registry, located in the Northwest Quarter of the Northwest Quarter of Section 33, Township 08 North, Range 10 East, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the northwest corner of said Section 33;
thence North 89 degrees 58 minutes 22 seconds East, 551.15 feet;
thence South 00 degrees 01 minutes 38 seconds, 582.48 feet to the northwest corner of said Outlot 111 and the Point of Beginning;
thence North 48 degrees 43 minutes 50 seconds East along the northwest line of said Outlot 111, 59.70 feet;
thence South 42 degrees 51 minutes 37 seconds East, 212.91 feet;
thence South 48 degrees 43 minutes 04 seconds West, 10.00 feet;
thence North 42 degrees 45 minutes 47 seconds West, 50.75 feet;
thence South 48 degrees 08 minutes 27 seconds West, 49.94 feet to the west line of said Outlot 111;
thence North 42 degrees 48 minutes 12 seconds West along the said west line, 162.67 feet to the Point of Beginning.

This description contains 10,207 square feet or 0.2343 acres.

Bearings are based upon the Wisconsin County Coordinate System (Dane Zone)

Prepared By:
Burse Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison WI, 53704

BSE1823\CSM\Descriptions\Rezone.doc

DANE COUNTY
REGISTER OF DEEDS

31061.1L(2)

04-26-1999 2:55 PM

Trans. Fee

Rec. Fee 40.00
Pages 16

RESTRICTIVE COVENANT,
GRANT OF RECIPROCAL EASEMENTS
AND TERMINATION OF PRIOR
EASEMENTS

000581

Name & Return Address:

Bruce Newinger
122 West Washington Avenue, 6th Floor
Madison, WI 53703

Parcel Identification Nos.: 60-0810-332-0318-4
60-0810-332-0319-2
60-0810-332-0317-6

This Agreement for Restrictive Covenant, to Grant Reciprocal Easements and to Terminate Prior Easements made this 4 day of March, 1999, by and between the SUB Properties, LLC (hereafter referred to as the "SUB"), the Klein Trust dated 12/8/92 (hereafter referred to as the "Klein Trust") and Washington East LLC (hereafter referred to as "Washington"),

RECITALS

WHEREAS, on the effective date of this restrictive covenant and reciprocal grant of easement rights, SUB owns parcel 1 as identified on EXHIBIT A attached hereto and incorporated herein by reference; and

WHEREAS, Washington owns parcel 2 as identified on EXHIBIT A; and

WHEREAS, the Klein Trust owns parcel 3 as identified on EXHIBIT A; and

EXHIBIT C

16
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WHEREAS, it is intended that the driveway access points designated as A, B, C and D on **EXHIBIT A** are the four exclusive points at which vehicles can accomplish ingress and egress to and from the three numbered parcels at the time of completion of construction of a retail building for Walgreen Co. on parcel 2; and

WHEREAS, the legal descriptions and tax parcel numbers of Parcels of 1, 2 and 3 are set forth in attached **Exhibit B** and the legal descriptions of the center points of Access Points A, B, C and D are set forth in attached **Exhibit C**;

WHEREAS, the parties hereto wish to mutually grant rights and interests to each other to the end that their respective invitees, permittees and assignees will be perpetually authorized and entitled to have access to all four access points subject to the terms and conditions of this Agreement, and

WHEREAS, Parcels 1, 2 and 3 are subject to certain existing easements (the Prior Easements) described on attached **Exhibit D**.

NOW, THEREFORE, for and in consideration of the above-stated recitals and the mutual covenants and agreements hereinafter set forth, the Parties hereto covenant, grant and agree as follows:

1. **Grant of Reciprocal Easements.** Subject to the conditions, limitations and/or reservations set forth in this Agreement, SUB and the Klein Trust hereby grant to Washington, its invitees, permittees and assignees and Washington hereby grants to SUB and the Klein Trust and their invitees, permittees and assignees the following non-exclusive, perpetual, reciprocal easement:

An easement for vehicular and pedestrian ingress, egress and access on and over the paved driveways and roadways designated on **EXHIBIT A** by the dashed line which interconnects all four access points designated as A, B, C and D. This grant of easement shall and hereby does reciprocally permit the passage of motor vehicles and pedestrians between all such access points and to and from the parking areas on each of the three parcels. The curb cuts at the four access points shall be approximately thirty (30) feet in width. The paved driveways and roadways shall be generally thirty (30) feet in width, except that each owner, subject to approval by the City of Madison, shall have the right for reasonable cause to decrease that width provided the driveway or roadway as reduced in width continues to provide reasonable two-way travel by motor vehicles (included trucks which normally service the needs of the owners).

000583

There shall be no cross parking among the parcels, except that this shall not apply to cross parking between Parcels 1 and 2 after conveyance of Parcel 1 to Washington.

Parcel 1 is included as a part of the Walgrove's Leased Premises pursuant to the Walgrove's Lease (as described in paragraph 8).

2. **Modification to Grant of Easement.**

(a) Access point C shall not be relocated without the prior written consent of the owners of both Parcels 2 and Parcels 3.

(b) With respect to Access Point D as located on Exhibit A, as between the parties hereto, the Klein Trust reserves the right to develop an additional or alternative roadway access along its easterly property line to its northerly property line and then moving in a westerly direction to provide connection to the northerly portion of Parcel 2 (but not to interfere with truck loading areas) and to also provide access to and across Parcel 2 and to Access Points A, B and C. Simultaneously, motor vehicles shall be entitled to move from Parcel 2 on and over such newly created roadway easement to Parcel 3 so that Washington and/or its assigns shall have continuing and additional access to Access Point D.

(c) Except as provided in paragraph 2(a), the owner of each of Parcels 1, 2 and 3 shall have the right from time to time to relocate the access points and driveways located within the owner's parcel (including specifically the right to modify access between Parcels 1 and 2 to accommodate the creation of a joint parking lot at such time as Parcel 1 is conveyed to Washington), and to demolish and construct buildings within each owner's parcel, but only upon fulfillment of the conditions in paragraph 2(d).

(d) The conditions to the exercise of the rights described in paragraph 2(c) are:

(i) The parcel undergoing relocation or improvement (the Affected Parcel) shall meet all parking requirements required by the City of Madison without reliance on parking on any other parcel.

(ii) Access Point B shall not be relocated prior to April 1, 2009 or such earlier date as the parties may mutually agree.

(iii) Reasonable access across the Affected Parcel to the other two parcels shall be preserved.

000584

(iv) The building setback from East Washington Avenue as required by applicable City of Madison ordinances, shall be followed.

(v) If the Affected Parcel is parcel 2, and if Walgreen, Co. is a tenant of that parcel, any relocation or construction on said Parcel 2 shall require the consent of Walgreen Co., which shall not be unreasonably withheld or delayed.

(vi) Any relocation of any access point or driveway within the Affected Parcel shall be done expeditiously and in a manner to minimize interference with the access rights of the owners of the other parcels. The owner of the Affected Parcel shall at all times during construction maintain reasonable access over some portion of the Affected Parcel for the benefit other parcels.

(vii) Each party hereto agrees to give the other party written notice of any intended significant modification and thereby provide the non-modifying party an opportunity to comment upon the modification in or at any required City hearing on the subject. Subject to the approval of the modification by the City of Madison and compliance with the terms of this Agreement, the parties hereto agree to execute a modification of this Easement Agreement in recordable form in order to ratify and preserve reciprocal easement rights for each party on, over and across any relocated reciprocal easement, including but not limited to the conceptual easement over the new roadway as approximately located on attached Exhibit E.

3. **Indemnification.** Each party hereto having rights with respect to an easement granted to the other party hereunder shall indemnify and hold harmless the party whose parcel is subject to the easement from and against all claims, liabilities and expenses (including reasonable attorneys' fees) relating to accidents, injuries, loss or damage of or to any person or property arising from or in any manner relating to the use by the indemnifying party or its invitees, permittees or assignees of any easement granted hereunder, except as may result from the gross negligence or intentional misconduct of the party whose parcel is subject to the easement.
4. **No Public Rights or Implied Easements.** Nothing contained in this Easement Agreement shall create or be construed as creating any rights in the general public or as dedicating for public use any portion of the driveway and roadway easements described above.

5. **Maintenance.** Each party shall maintain the easement roadway and driveway access points located within its particular parcel in a safe and clean condition at its sole cost and expense. This obligation shall include but not be limited to snow removal, repair of potholes and cracks and cleaning as needed. In the event a party (the defaulting party) hereto fails to maintain the roadway or access point in a safe condition as defined by reasonable standards of maintenance, any other party shall have the right to give the defaulting party notice of default. If the defaulting party does not commence and diligently pursue completion of the needed maintenance within 30 days after the giving of the notice, any other party may undertake the needed repair and bill the defaulting party for the costs of the repair and the reasonable costs of collection, including attorneys' fees. No prior notice need be given to the defaulting party in case of an emergency but any other party shall give the defaulting party such oral or written notice as is possible under the circumstances of the emergency. If the defaulting party does not pay such costs within 10 days after demand, the defaulting party shall be liable for interest on those costs from the date of demand until paid at the rate of 12 percent per year.

Notwithstanding any other provision in this paragraph to the contrary, the parties hereto agree that the joint driveway at Access Point C and easement area serving this Access Point and the 24-hour pharmacy drive-up service of Walgreens shall be snowplowed and maintained for winter driving conditions solely by Washington (or its tenant) at its sole cost and expense.

6. **Remedies and Enforcement in the Event of Default.** In the event of any default by any of the Parties to this Agreement in the performance of their obligations hereunder, any non-defaulting party shall be entitled to full and adequate relief by injunction and/or all such other available legal and equitable remedies on the consequences of any such default, including the remedy of specific performance. It is agreed by the Parties that no default under this Agreement shall entitle any party to cancel, rescind or otherwise terminate this Easement Agreement.

As long as Walgreens is a tenant of Washington with respect to Parcel 2, it shall be deemed to be a third party beneficiary of this Agreement and shall have the right but not the obligation to enforce this Agreement and/or to cure defaults under this Agreement committed by the owner of Parcel 2. Any other tenant of Parcels 1, 2 or 3 may be provided with the rights of a third party beneficiary of this Agreement by the Tenant's Landlord, but only on a lease by lease basis and such tenants shall have the right but not

000586

the obligation to enforce this Agreement and/or to cure defaults under this Agreement committed by their respective landlords.

Any owner of a parcel who as landlord gives such rights to a tenant shall promptly give written notice of such fact and the name and address of the tenant to the other owners. No tenant other than Walgreen Co. shall have the right to approve or disapprove amendments to this agreement unless all owners so agree in writing.

7. **Term of Easement.** This Easement Agreement shall remain in full force and effect in perpetuity, subject to the modification of location of easements as set forth in paragraph 2 of this Agreement.
8. **Restrictive Covenant.** SUB covenants and agrees that at no time between the date of this Agreement and ~~prior to the conveyance of Parcel 1 to~~ Washington shall Parcel 1 be used as or for a prescription pharmacy, drug store, the sale of health or beauty aids, the providing of photo finishing services or the sale of photo film or greeting cards.

9. **Miscellaneous.**

- 9.1 **Attorneys' Fees.** In the event any party institutes any legal action or proceeding for the enforcement of any right or obligation under the terms of this Agreement, the prevailing party shall be entitled to recover its costs and reasonable attorneys' fees incurred in the preparation and prosecution of such action or proceeding.
- 9.2 **No Waiver.** No waiver of any default of any obligation by any party to this Agreement shall be implied from any omission to enforce the terms of this Agreement by the other party with respect to such default.
- 9.3 **No Agency.** Nothing in this Agreement shall be deemed or construed by either party or by any third person to create the relationship of principal and agent or of limited or general partners or of joint venturers or of any other association between the parties hereto.
- 9.4 **Covenants to Run With the Land.** It is intended and agreed that the reciprocal easement, rights and obligations set forth in this Agreement shall run with the land and create equitable servitudes in favor of the real estate benefited thereby and shall bind every person

Walgreens' Lease of Parcel 2 includes rights in favor of Walgreens for Parcel 1 (at a future date at Walgreens' option) to be incorporated as a part of Walgreens' Leased Premises under the Walgreens Lease. Said rights are recorded as a part of the Memorandum of the Walgreens Lease and notice of said rights is hereby given.

SKL

until Parcel 1 is included as a part of the Walgreens Leased Premises pursuant to the Walgreens Lease (or if Walgreen shall become the owner thereof)

SKL

or entity having any fee, leasehold or other interest therein and shall inure to the benefit of and be binding upon the Parties hereto and their respective successors, assigns, heirs, and personal representatives.

- 9.5 **Severability and Enforceability.** Each provision of this Grant of Reciprocal Easement is hereby agreed to be independent of and severable from the remainder of the agreement. If any provision contained herein shall be held to be invalid or unenforceable or not to run with the land, such holdings shall not affect the validity or enforceability of the remainder of this Agreement.
- 9.6 **Entire Agreement.** This Agreement contains the complete understanding and agreement of the parties hereto with respect to all matters referred to herein and all prior representations, negotiations and understandings are superseded hereby.
- 9.7. **Governing Law.** The laws of the state of Wisconsin shall govern the interpretation, validity and enforcement of this Agreement.
- 9.8 **Amendment.** Any amendment to this agreement shall be in writing and signed by the owners of each of parcels 1, 2 and 3 and, as long as Walgreen Co. is a tenant of parcel 2, by Walgreen Co.
- 9.9 **Consents.** No consent required or contemplated by this Agreement shall be unreasonably withheld or delayed.
- 9.10 **The Prior Easements** are terminated in their entirety, except any utility easements described in the Prior Easements shall continue in effect.
- 9.11 **In the event any of parcels 1, 2 or 3 are encumbered by mortgages or other liens, the owners of any such parcel covenant and agree to obtain the written consent of any such mortgagees or lienholders to the easements established by this Agreement.**

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the date first above written.

KLEIN TRUST dated 12/8/92

By: Susan Klein-Larson, Trustee
Susan Klein Larson, Trustee

000588

SUB PROPERTIES, LLC

By: Susan Klein-Larson, Member
Susan Klein Larson, Member

WASHINGTON EAST LLC

By: Nevac Group Ltd., Manager

By: Bruce D. Neviasser
Bruce D. Neviasser, Secretary

Walgreen Co., as evidenced by its signature below, joins in this Agreement for the purpose of acknowledging and approving the form and substance of this Agreement and in consideration of the rights which it acquires hereunder, to agree to comply with all of the terms and provisions of this Agreement which impose obligations upon it.

WALGREEN CO.

By: [Signature]
Vice President

STATE OF WISCONSIN)
)ss.
COUNTY OF DANE)

Personally came before me this 5th day of March, 1999 the above named Susan Klein Larson, Trustee of the Klein Trust dated 12/8/92, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Jerry E. McAdams
Jerry E. McAdams
Notary Public, State of Wisconsin
My commission: is permanent

000589

STATE OF WISCONSIN)
)ss.
COUNTY OF DANE)

Personally came before me this 5th day of March, 1999 the above named Susan Klein Larson, Member of SUB Properties, LLC, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Jerry E. McAdow
Jerry E. McAdow
Notary Public, State of Wisconsin
My commission: is permanent

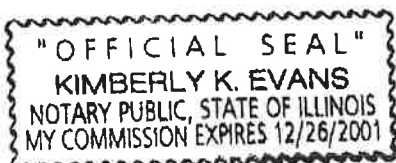
STATE OF WISCONSIN)
)ss.
COUNTY OF DANE)

Personally came before me this 4th day of March, 1999 the above named Bruce D. Neviasser, Secretary of Nevac Group, Ltd. to me known to be the person who executed the foregoing instrument and acknowledged the same.

Jerry E. McAdow
Jerry E. McAdow
Notary Public, State of Wisconsin
My commission: is permanent

STATE OF ILLINOIS)
)ss.
COUNTY OF LAKE)

Personally came before me this 16th day of ~~March~~ ^{April}, 1999 the above named Allan M. Resnick, Vice President of Walgreen Co., to me known to be the person who executed the foregoing instrument and acknowledged the same.



K. K. Evans
Notary Public, State of Illinois
My commission:

000590

NOTE: PLEASE BE ADVISED THAT THE DOCUMENT (GRANTOR'S) HEREBY DIRECT VIEWERS TO IGNORE THE PRINTED TEXT MATERIAL ON THIS MAP. THE SPATIAL RELATIONSHIPS OF THE ILLUSTRATIONS ON THE MAP ARE BEING PRESENTED FOR YOUR INFORMATION.

Signed by grantor(s) or grantor(s) agent

Name of grantor(s) or grantor(s) agent printed: (use black ink)

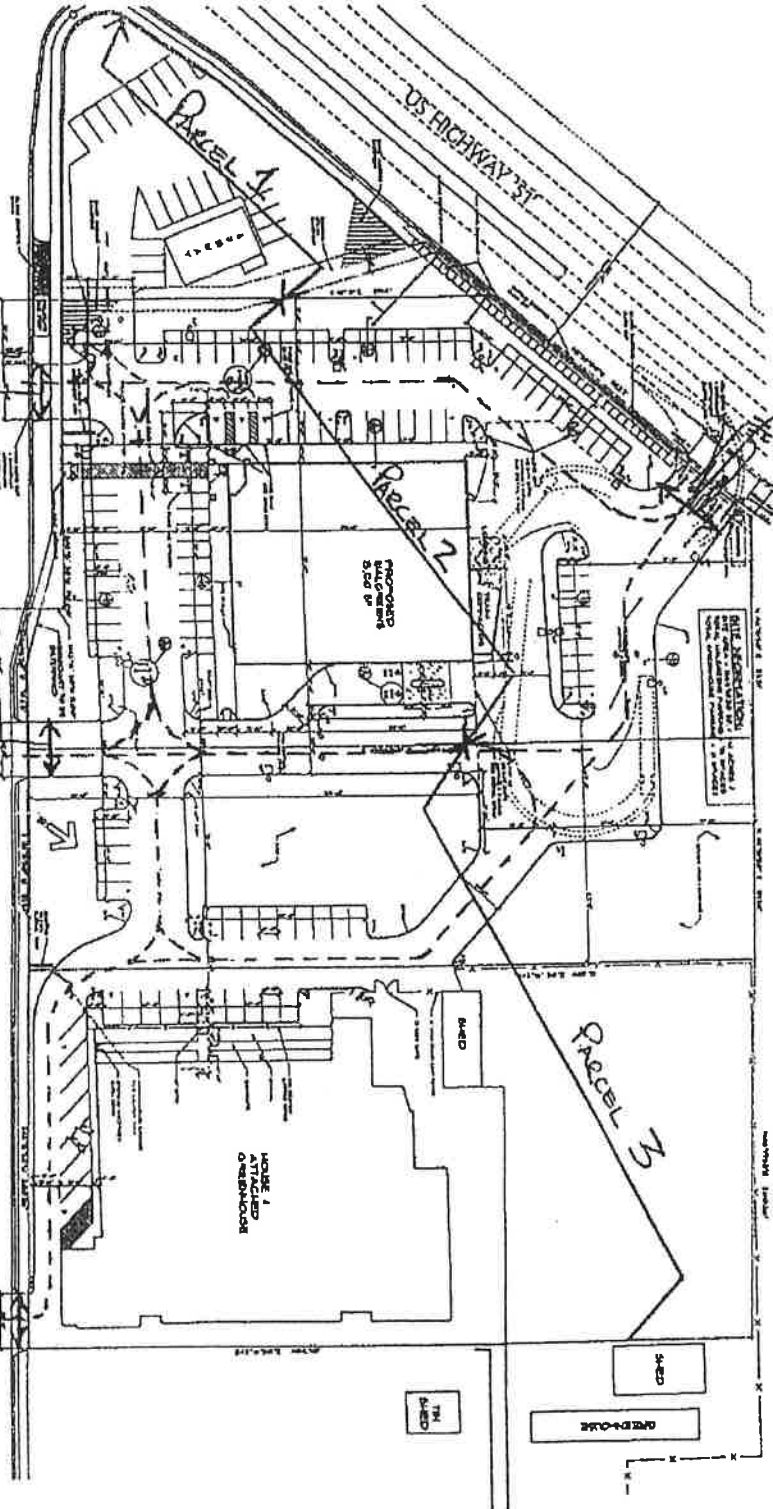
Patrick C. Anderson

Date (use black ink)

4/24/10

Exhibit A

THE ABOVE ITEMS MAY BE CUT AND TAPED OR PASTED TO THE MAP BEING PRESENTED FOR RECORDING AS AN ATTACHMENT TO THE DOCUMENT. This procedure may be used unless corp counsel or WRDA rules otherwise. Please check on acceptance of this procedure periodically. Jane Licht, Dane County Register of Deeds 608-266-4141



US HWY 51
(E WASHINGTON AVE)

Access Point B

Access Point C

Access Point D

SITE PLAN 28

THE ALBION GROUP 378 E WASHINGTON AVE MADISON, WISCONSIN	
PROJECT <i>Washington</i>	
PROJECT TYPE 378 E WASHINGTON AVE MADISON, WISCONSIN	

REVISIONS 1. INITIALING DESIGN 2. INITIALING DESIGN	
CERTIFICATION & SEAL I, the undersigned, being a duly qualified and licensed professional engineer, do hereby certify that the foregoing is a true and correct copy of the original as submitted to me for record.	
DRAWING TITLE SITE PLAN	
MISC INFO SHEET	
C1.1	

000591

EXHIBIT B

Parcel 1:

Lot 1, Certified Survey Map No. 150-A, recorded in Volume 1 of Certified Survey Maps, page 150, as Document No. 1107113, in the City of Madison, Dane County, Wisconsin. EXCEPT those parts described as follows:

1. That part conveyed by Quit Claim Deed, recorded in Volume 782 of Deeds, page 338, as Document No. 1107912; and
2. That part awarded by Award of Damages, recorded in Volume 188 of Records, page 410, as Document No. 1268861.

(Being a part of Outlot 109, Burke Assessor's Plat No. 1, in the City of Madison.)

Parcel No.: 60-0810-332-0319-2

Parcel 3:

The NE 200 ft of Outlot 109, Assessor's Plat No. 1, Town of Burke, except SE 5 feet thereof for street as awarded by Award of Damages, recorded in Volume 188 of Records, page 407, as Document No. 1268860.

Parcel No.: 60-0810-332-0317-6

000592

Parcel 2:

Parcel 2 consists of a Retail Parcel and a Surplus Parcel described as follows:

Retail Parcel

Part of Lot 2 of Certified Survey Map Number 150-A, recorded in Volume 1 of Certified Survey Maps of Dane County on Pages 150 and 150-A, Document Number 1107113, Dane County Registry, and located in the NW 1/4 of the NW 1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the most easterly corner of said Lot 2;

Thence S 48°15'30"W, 121.66 feet along the northwesterly line of U.S. Highway 151, also known as East Washington Avenue, to the point of beginning of this description (previously recorded as bearing N 48°22'E);

Thence continuing S 48°15'30"W, 44.34 feet along said northwesterly line, (previously recorded as bearing N 48°22'E);

Thence S 62°58'48"W, 35.40 feet;

Thence N 43°16'30"W, 10.00 feet along said northwesterly line (previously recorded as bearing S 43°15'E);

Thence S 48°15'30"W, 170.00 feet continuing along said northwesterly line (previously recorded as bearing N 48°22'E);

Thence N 43°16'26"W, 235.60 feet along the southwesterly line of said Lot 2 (previously recorded as bearing S 43°15'E);

Thence N 02°28'00"W, 191.27 feet along the East line of U.S. Highway 51, also known as North Stoughton Road (previously recorded as 191.6 feet);

Thence N 48°15'30"E, 123.29 feet along the northwest line of said Lot 2, (previously recorded as bearing S 48°21'W);

Thence S 43°16'30"E, 402.72 feet to the point of beginning of this description.

This parcel contains 87,335 square feet, (or 2.005 acres) of land, more or less and is subject to easements of record.

000593

Surplus Parcel

Part of Lot 2 of Certified Survey Map Number 150-A, recorded in Volume 1 of Certified Survey Maps of Dane County on Pages 150 and 150-A, Document Number 1107113, Dane County Registry, and located in the NW 1/4 of the NW 1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin, more fully described as follows:

Beginning at the most easterly corner of said Lot 2;

Thence S 48° 15' 30" W, 121.66 feet along the northwesterly line of U.S. Highway 151, also known as East Washington Avenue, (previously recorded as bearing N 48° 22' E);

Thence N 43° 16' 30" W, 402.72 feet;

Thence N 48° 15' 30" E, 121.66 feet along the northwest line of said Lot 2, (previously recorded as bearing S 48° 21' W);

Thence S 43° 16' 30" E, 402.72 feet along the northeast line of said Lot 2 to the point of beginning of this description (previously recorded as 402.6 feet and as N 43° 15' W, 403.4 feet).

This parcel contains 48,977 square feet, (or 1.124 acres) on land, more or less and is subject to easements of record.

Parcel No.: 60-0810-332-0318-4

EXHIBIT C**Access Point A:**

A point 9.0 feet east of the easterly line of USH 51 (North Stoughton Road) said line being the westerly line of Lot 2 of Certified Survey Map No. 150-A, recorded in Volume 1 of Certified Survey Maps of Dane County on Pages 150 and 150-A, Document No. 1107113, Dane county registry, and located in the NW1/4 of the NW1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the northwest corner of said Lot 2, said point also being the northerly point of said Lot 2 on the easterly line of USH 51; thence S2°28'00"E, 107.70 feet along said easterly line; thence N87°32'00"E, 9.00 feet to the point of beginning of the centerline of a driveway.

Access Point B:

A point on the Northwesterly line of East Washington Avenue, also known as U.S. Highway 151, said line also being the Southeast line of Lot 2 of Certified Survey Map Number 150-A, recorded in Volume 1 of Certified Survey Maps of Dane County on Pages 150 and 150-A, Document Number 1107113, Dane County Registry, and located in the NW 1/4 of the NW 1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the most Southerly corner of said Lot 2;

Thence N 48°15'30" E, 51.00 feet along the Southeast line of said Lot 2 to the point of beginning of the centerline of a driveway.

Access Point C:

A point on the Northwesterly line of East Washington Avenue, also known as U.S. Highway 151, said line also being the Southeast line of Lot 2 of Certified Survey Map Number 150-A, recorded in Volume 1 of Certified Survey Maps of Dane County on Pages 150 and 150-A, Document Number 1107113, Dane County Registry, and located in the NW 1/4 of the NW 1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin, more fully described as follows:

Commencing at the most Easterly corner of said Lot 2;

Thence S 48°15'30" W, 121.66 feet along the Southeast line of said Lot 2 to the point of beginning of the centerline of a driveway.

Access Point D:

20' southwesterly of the most easterly corner of Parcel 3 as discussed in Exhibit B of this Agreement.

- l. Easement and conditions contained in instrument recorded on November 24, 1987, in Volume 10849 of Records, page 34, as Document No. 2055798.
- m. Terms, conditions, restrictions, and provisions relating to the use and maintenance of the easement described as PARCEL 2 of the subject premises contained in instrument recorded on July 24, 1964, in Volume 412 of Records, page 442, as Document No. 1107889 and in instrument recorded on July 24, 1964, in Volume 412 of Records, page 447, as Document No. 1107891.
- n. Easement and conditions recorded on July 24, 1964 in Volume 412 of Misc. Page 445, as Document No. 1107890.
- o. Terms, conditions, restrictions, and provisions relating to the use and maintenance of the easement described at m of the subject premises contained in instrument recorded on February 12, 1988, in Volume 11093 of Records, page 51, as Document No. 2066582.
- p. Easement and conditions contained in instrument recorded on February 12, 1988, in Volume 11093 of Records, page 48, as Document No. 2066581.
- g. Terms, conditions, restrictions, and provisions contained in Easement Agreement and Amendment to Easement Agreement, dated September 25, 1986, as disclosed in Notice of Right of First Refusal, recorded on May 8, 1989 in Volume 12803 of Records, page 7, as Document No. 2139579.

EXHIBIT D

NOTE: PLEASED BE ADVISED THAT THE DOCUMENT GRANTOR(S) HEREBY DIRECT VIEWERS TO IGNORE THE PRINTED TEXT MATERIAL ON THIS MAP. ~~THE~~ THE SPATIAL RELATIONSHIPS OF THE ILLUSTRATIONS ON THE MAP ARE BEING PRESENTED FOR YOUR INFORMATION.

Signed by grantor(s) or grantor(s) agent:

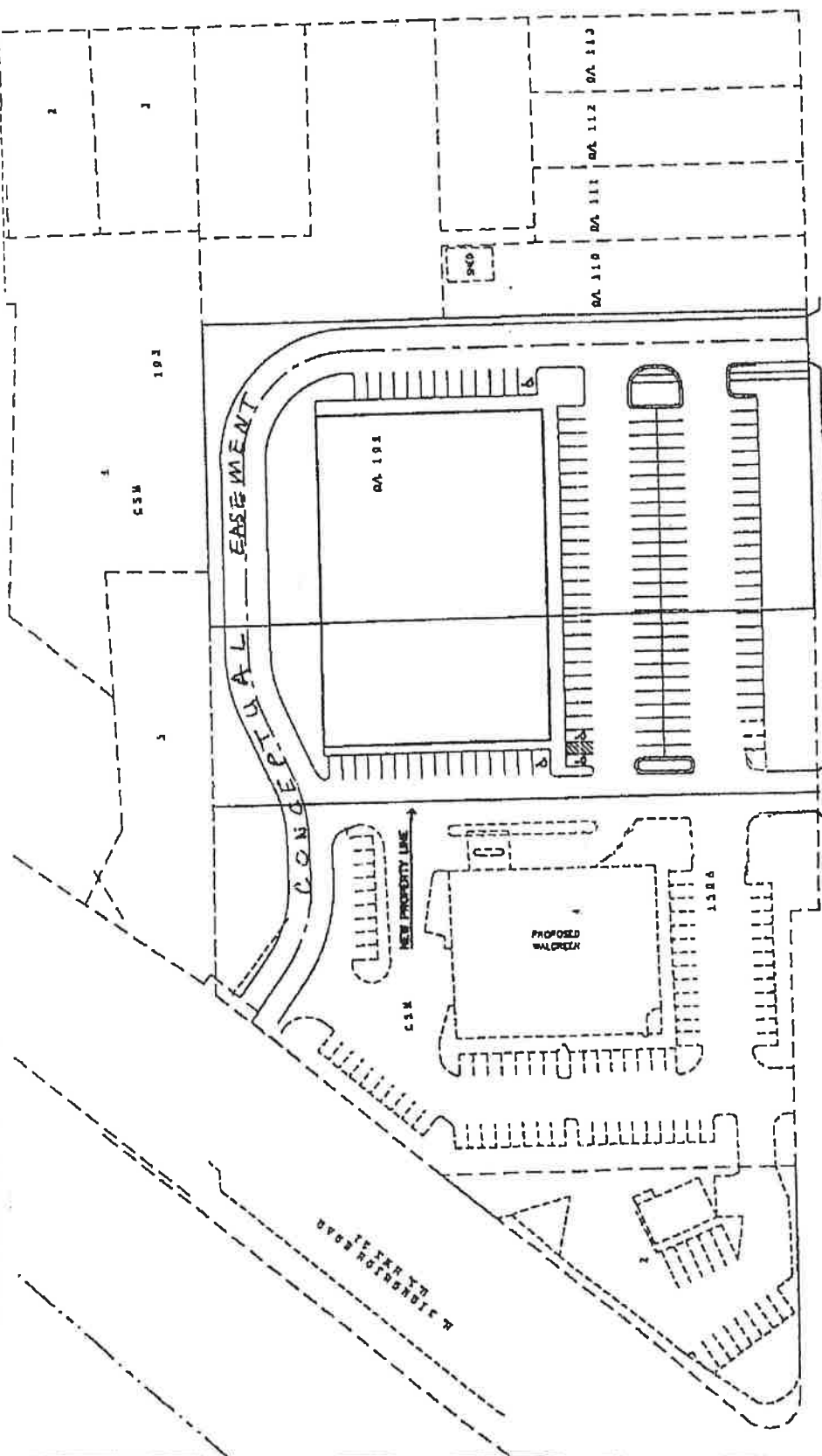
Date (use black ink)

Name of grantor(s) or grantor(s) agent printed: (use black ink)

Patrick C. Anderson

4/26/99

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EAST WASHINGTON ROAD

EXHIBIT E

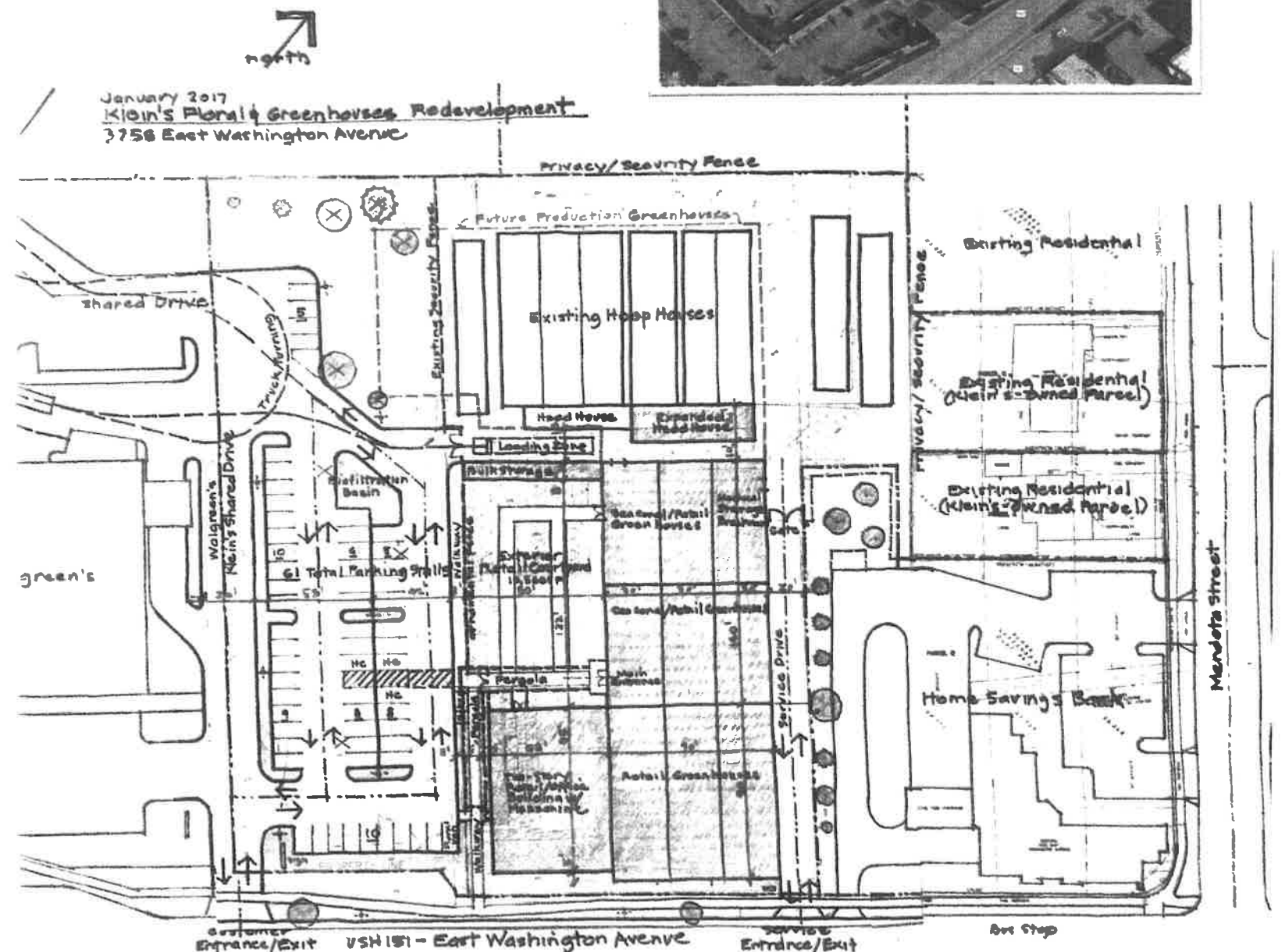
Klein's Floral & Greenhouses Redevelopment
3758 East Washington Avenue, Madison, WI 53704

Land Use Planner: Tim Anderson Consulting
Engineer: Burse Surveying and Engineering
Landscape Architect: Ken Saiki

Existing Klein's Site Looking North



- S-100 Locator Map
- S-200 Site Context Photos
- S-300 Site Context Photos
- C-100 Existing Conditions Plan
- C-200 Demolition Plan
- C-300 Site Plan
- C-400 Utility Plan
- C-500 Grading Plan
- C-600 Erosion Control Plan
- C-700 Truck Movement Plan
- L-100 Landscape Plan
- L-200 Planting Details
- L-300 Plant List and Landscape Worksheet
- L-400 Lighting Photometrics Plan
and Fixture Cut Sheets
- L-500 Luminaire Schedule
- A-100 Building Floor Plan
- A-200 Colored Building Elevations
- A-300 Colored Building Elevations





Klein's Floral & Greenhouses Redevelopment - Locator Map



Klein's Floral & Greenhouse Redevelopment

Site Context Photos - South side of East Washington
Avenue between Mendota Street and Stoughton Road



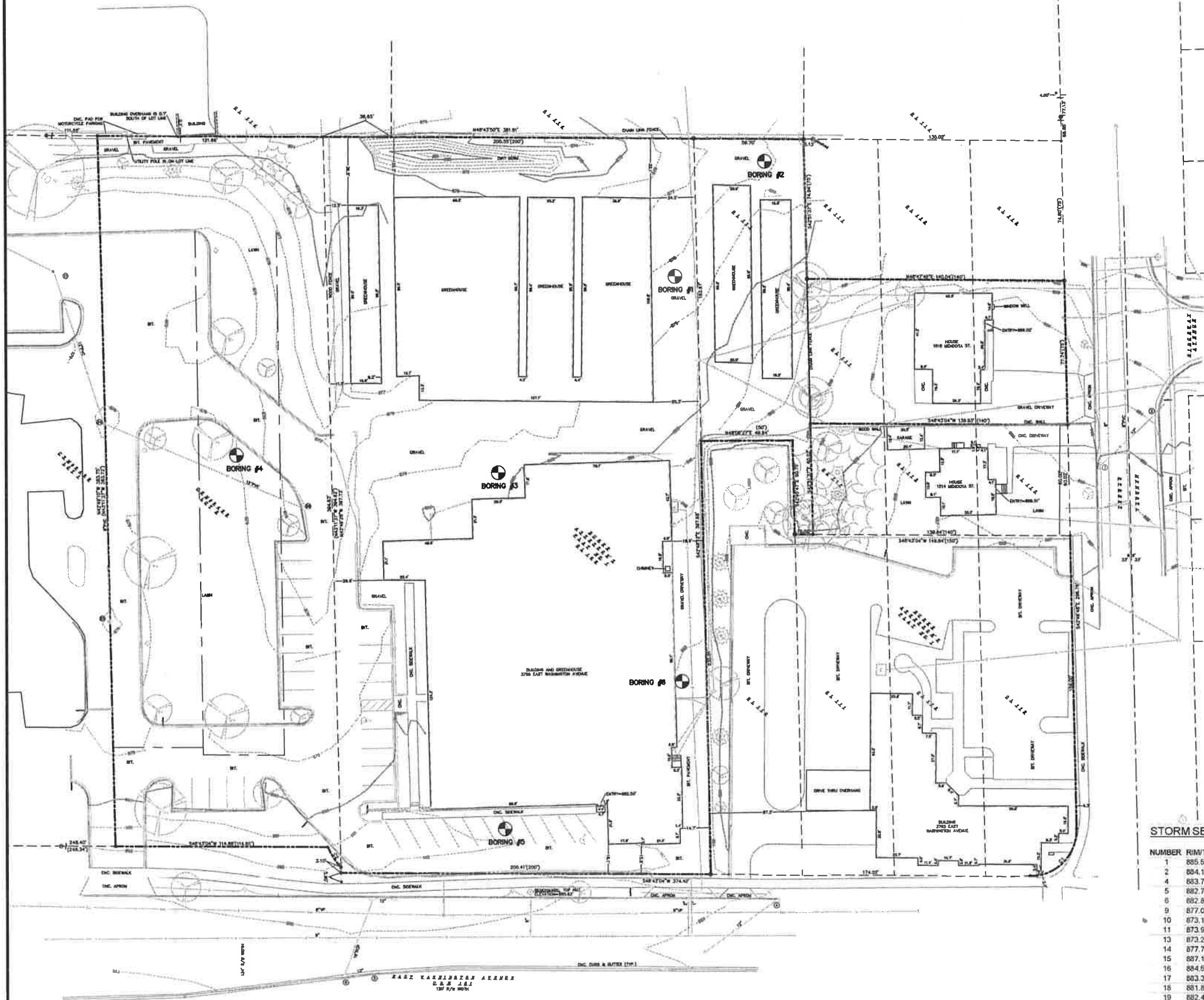


Klein's Floral & Greenhouse Redevelopment

Site Context Photos - North side of East Washington
Avenue between Mendota Street and Stoughton Road



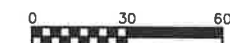
PART OF LOT 2, CERTIFIED SURVEY MAP NUMBER 9499, AS RECORDED IN VOLUME 54 OF CERTIFIED SURVEY MAPS, ON PAGES 136-139, AS DOCUMENT NUMBER 3169025, DANE COUNTY REGISTRY AND PART OF OUTLOTS 109, 111, 112 AND 113, BURKE ASSESSOR'S PLAT NO. 1, AS RECORDED IN VOLUME 9 OF PLATS, ON PAGES 15-21, AS DOCUMENT NUMBER 593673, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



LEGEND

- 3/4" SOLID IRON ROD FOUND UNLESS NOTED
- 1" IRON PIPE FOUND UNLESS NOTED
- RAILROAD SPIKE FOUND
- SET CUT X
- SET MAG NAIL
- 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
- SPOT ELEVATION
- OVERHEAD UTILITY WIRE
- BURIED GAS LINE
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- BURIED TELEPHONE
- BURIED ELECTRIC
- BURIED CABLE ACCESS TELEVISION LINE
- BURIED FIBER OPTIC
- WATER VALVE
- GAS VALVE
- GAS METER
- AIR CONDITIONER
- ELECTRIC PEDESTAL
- UTILITY POLE
- LIGHT POLE
- TELEPHONE PEDESTAL
- FIRE HYDRANT
- SIGN
- GUY WIRE
- MAILBOX
- STORM SEWER INLET
- STORM SEWER MANHOLE
- ROUND CATCH BASIN
- SANITARY SEWER MANHOLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.
- BOLLARD
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR

- NOTES:**
- 1) Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
 - 2) No attempt has been made as a part of this survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
 - 3) Dates of field work:
 - 4) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
 - 5) All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
 - 6) All trees, hedges and ground cover on the site may not necessarily be shown hereon.
 - 7) Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Numbers 20162901252, 20162901176, 20162904682, 20162904696, 20162904719, 20162904735 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. Before excavations are performed contact Digger's Hotline.
 - 8) Elevations are based upon NAVD83 datum. Surveyor transferred elevations to the site with RTK GPS surveying observing the WSCORS network.



DIGGERS! HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

STORM SEWER AND SANITARY SEWER ELEVATION TABLE

NUMBER	RIM/TC	ELEVATION	ELEVATION	ELEVATION	DESCRIPTION
1	885.53	NE 881.83			STORM SEWER - CURB INLET
2	884.12	FLR 890.96			STORM SEWER - CURB INLET NO VISIBLE PIPES
4	883.70	SE 881.04	N 880.69		STORM SEWER - CURB INLET
5	882.75	SW 879.74			STORM SEWER - CURB INLET
6	882.80	N 879.04	S 879	NE 879.36	STORM SEWER - CURB INLET
9	877.00	N 867.31	SE 867.55		SANITARY SEWER - MANHOLE
10	873.17	N 862.77	S 863		SANITARY SEWER - MANHOLE
11	873.96	SW 869.22	NE 869.81		STORM SEWER - MANHOLE
13	873.28	SW 870.12			STORM SEWER - CATCH BASIN
14	877.72	NW 867.74	SE 867.72		SANITARY SEWER - MANHOLE
15	887.12	NW 875.73	E 875.82		SANITARY SEWER - MANHOLE
16	884.66	N 876.64	SW 876.39		SANITARY SEWER - MANHOLE
17	883.30	S 880.45	N 880.48		STORM SEWER - MANHOLE
18	881.81	SW 874.83	NW 874.95	NE 874.83	SANITARY SEWER - MANHOLE
19	882.42	SW 871.72	NW 871.8	NE 873.23	SANITARY SEWER - MANHOLE
20	882.00	SW 878.29	S 879.11	NE 879.4	STORM SEWER - CURB INLET
21	882.00	SW 879.53	NE 879.7		STORM SEWER - CURB INLET
22	873.97	W 869.06	E 868.94		STORM SEWER - CURB INLET
24	877.66	FLR 872.11			STORM SEWER - 2' DIAMETER CATCH BASIN
25	877.70	FLR 873.67			STORM SEWER - 2' DIAMETER CATCH BASIN
26	877.58	SW 874.17			STORM SEWER - CURB INLET

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APPROVALS	DATE	BY
PROJECT ENG.	MLB	
DESIGNED BY	PDF	
CHECKED BY	PDF	
IN CHARGE	MLB	
OFFICIAL	MLB	

Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin
Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

PROJECT #:	BSE1823-15
PLOT DATE:	02/06/2017
REVISION DATES:	
ISSUE DATES:	
LUA Submittal	02/06/2017

EXISTING CONDITIONS PLAN

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DRAWING NUMBER
C-100

E WASHINGTON AVE.

PROPERTY LINE

REMOVE, SAVE, AND
REPLACE EXISTING
LIGHT POLE

SAVE AND PROTECT LIGHT POLES
AND BURIED ELECTRIC

SAWCUT EXISTING
PAVEMENT FULL DEPTH

SAVE THIS SECTION OF EXISTING CURB & GUTTER

LEAVE EXISTING BITUMINOUS PAVEMENT IN
PLACE AS LONG AS FEASIBLE AS A TRACKING
SURFACE AND DUST CONTROL MEASURE

EXISTING BITUMINOUS PAVEMENT CAN REMAIN IN
PLACE AS PART OF THE NEW PAVEMENT BASE
COURSE WHERE GRADES ALLOW

CONSTRUCTION
LIMITS

SAWCUT EXISTING
PAVEMENT FULL DEPTH

DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, FADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
7. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
8. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
10. DAMAGE TO ALL EXISTING CONDITION TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES

LEGEND

- | | |
|--|----------------------------|
| | REMOVE BITUMINOUS PAVEMENT |
| | REMOVE CONCRETE |
| | RAZE BUILDING |
| | REMOVE GRAVEL |
| | REMOVE UTILITY LINE |
| | REMOVE TREE |

DIGGERS! HOTLINE

Dial **811** or (800) 242-8511
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APPROVALS	PROJECT	MLB	PDF	PDF	MLB	MLB

Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin

Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

PROJECT #: BSE1823-15
PLOT DATE: 02/08/2017

REVISION DATES:

ISSUE DATES:
LUA Submittal 02/08/2017

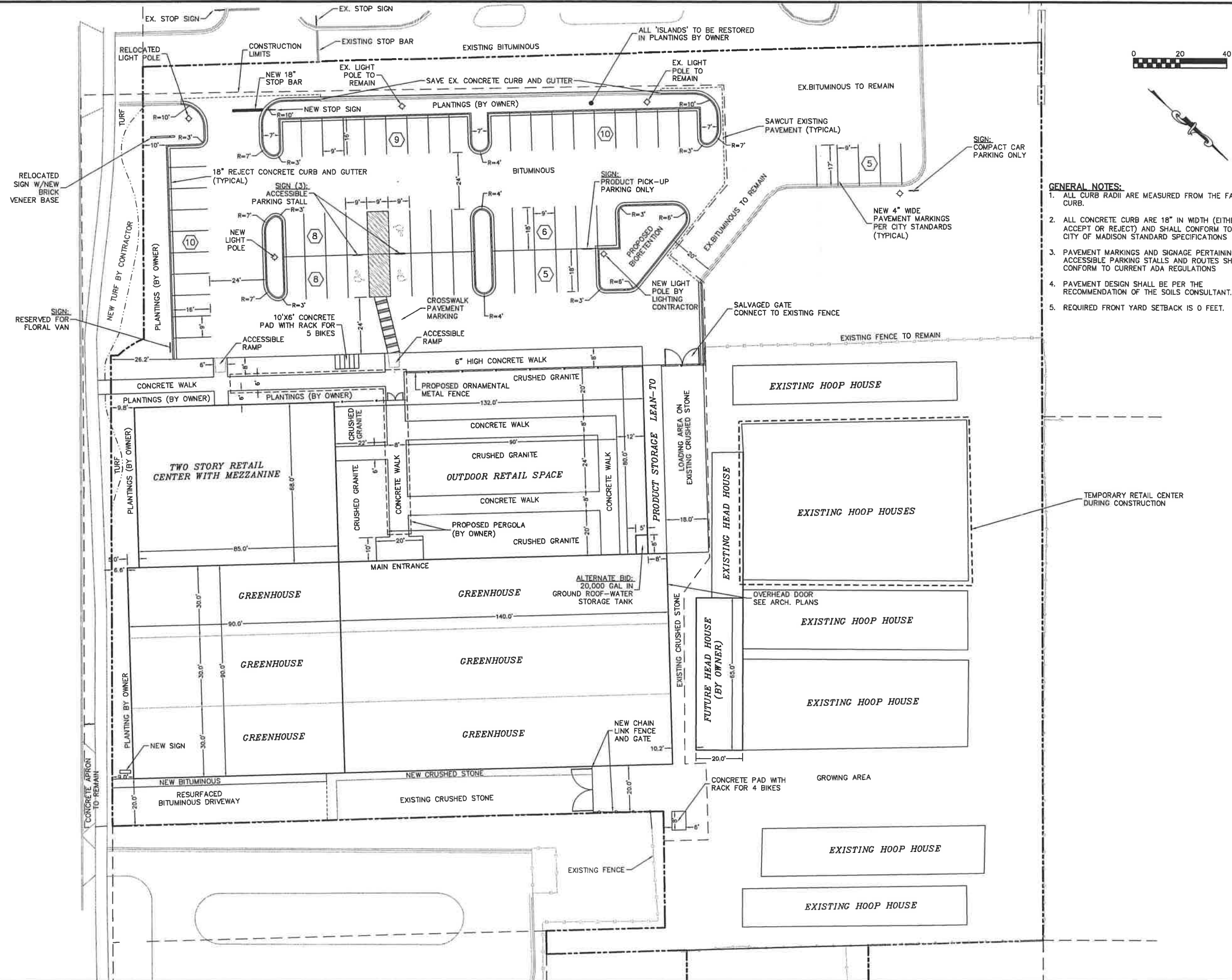
DEMOLITION PLAN

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DRAWING NUMBER

C-200

E WASHINGTON AVE.



- GENERAL NOTES:**
1. ALL CURB RADII ARE MEASURED FROM THE FACE OF CURB.
 2. ALL CONCRETE CURB ARE 18" IN WIDTH (EITHER ACCEPT OR REJECT) AND SHALL CONFORM TO THE CITY OF MADISON STANDARD SPECIFICATIONS
 3. PAVEMENT MARKINGS AND SIGNAGE PERTAINING TO ACCESSIBLE PARKING STALLS AND ROUTES SHALL CONFORM TO CURRENT ADA REGULATIONS
 4. PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATION OF THE SOILS CONSULTANT.
 5. REQUIRED FRONT YARD SETBACK IS 0 FEET.

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APPROVALS	MLB	PDF	MLB	MLB
PROJECT	MLB	DATE	MLB	DATE
REVISION	MLB	DATE	MLB	DATE
REVISION	MLB	DATE	MLB	DATE
REVISION	MLB	DATE	MLB	DATE
REVISION	MLB	DATE	MLB	DATE
REVISION	MLB	DATE	MLB	DATE
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REVISION	MLB	DATE	MLB	DATE
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Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin
Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

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LUA Submittal	02/08/2017

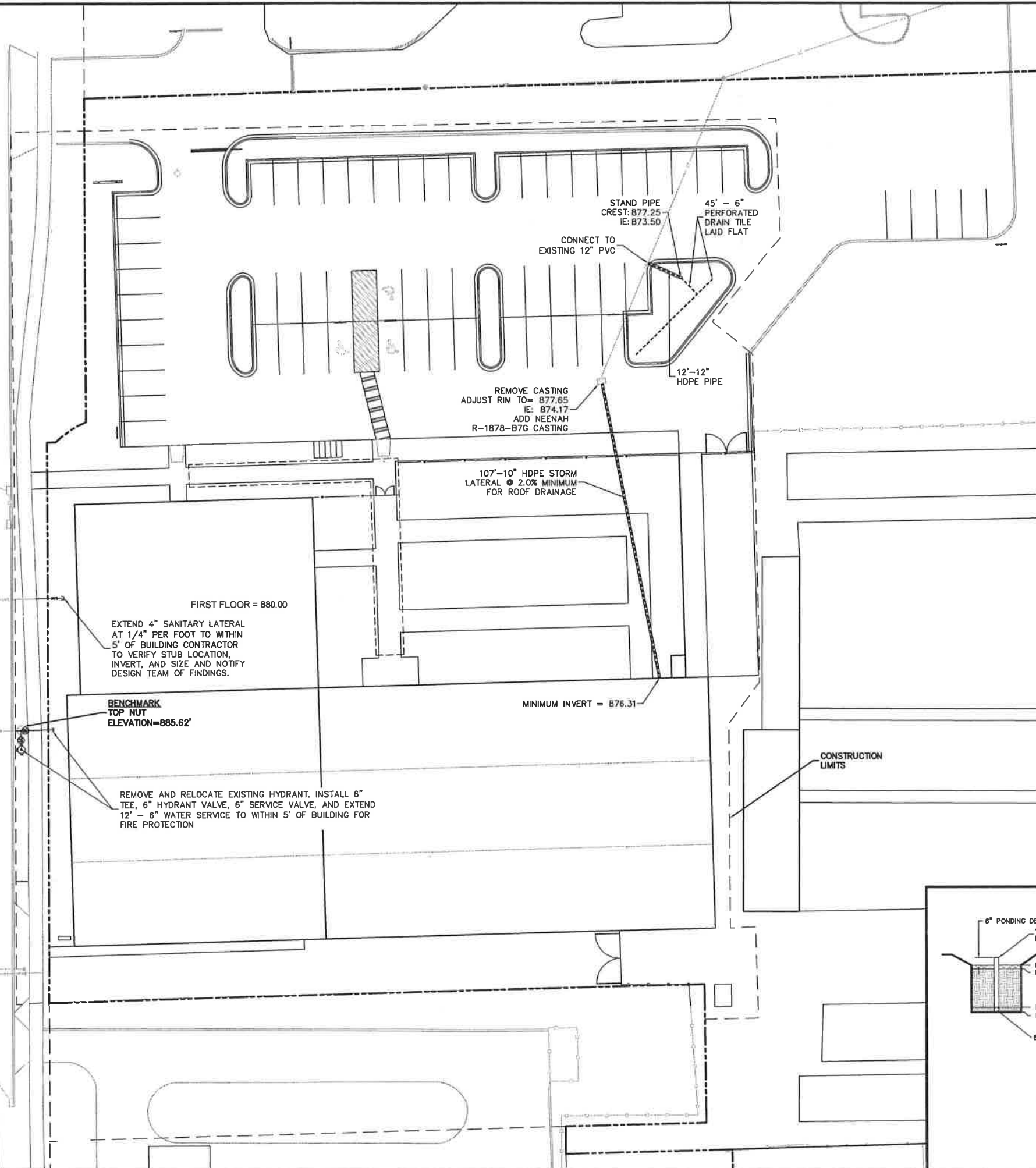
CIVIL SITE PLAN

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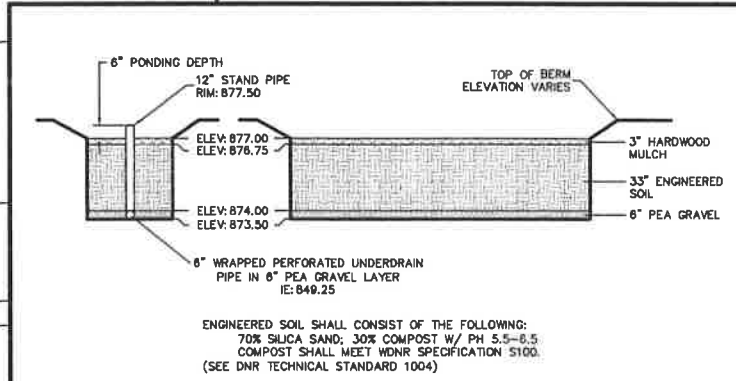
DRAWING NUMBER
C-300

E WASHINGTON AVE.

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
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- NOTES:
1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
 3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
 4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.



BIORETENTION DETAIL

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APPROVALS	PROJECT	DATE	BY
MLB	MLB	PDF	PDF
MLB	MLB	PDF	PDF
MLB	MLB	PDF	PDF

Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin

Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

PROJECT #:	BSE1823-15
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LUA Submittal	02/08/2017

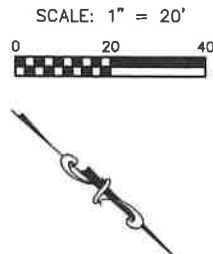
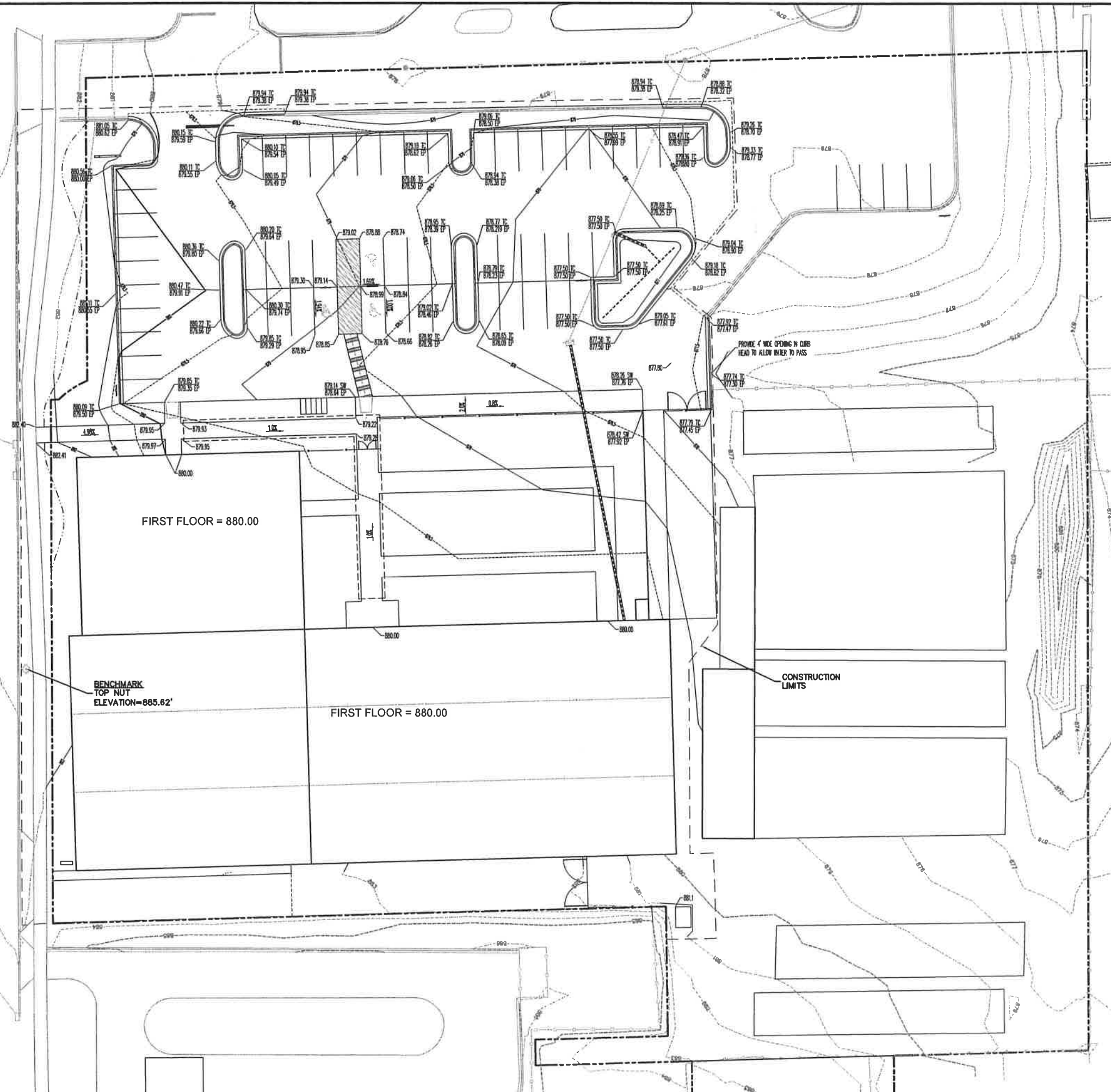
UTILITY PLAN

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DRAWING NUMBER
C-400

E WASHINGTON AVE.

EAST WASHINGTON AVENUE



- LEGEND**
- 874 --- EXISTING MINOR CONTOUR
 - 875 --- EXISTING MAJOR CONTOUR
 - 874 — PROPOSED MINOR CONTOUR
 - 875 — PROPOSED MAJOR CONTOUR
 - PROPOSED STORM SEWER
 - 875.00 TP PROPOSED EDGE OF PAVEMENT ELEVATION
 - 875.00 SW PROPOSED SIDEWALK ELEVATION
 - 875.00 TC PROPOSED TOP OF CURB ELEVATION
 - ALL GRADES ARE FINISH ELEVATION

- NOTES:**
1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
 3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
 4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
 5. SEE UTILITY PLAN FOR BIORETENTION BASIN DETAIL

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www.bursesurveying.com

APPROVALS	MLB	PDF	MLB
PROJECTED	PROJECTED	PROJECTED	PROJECTED

Klein's Floral and Greenhouses
3758 E. Washington Avenue
Madison, Wisconsin

Klein's Floral and Greenhouses, Inc
3758 E. Washington Avenue
Madison, WI 53704

PROJECT #:	BSE1823-15
PLOT DATE:	02/06/2017
REVISION DATES:	
ISSUE DATES:	
LUA Submittal	02/08/2017

GRADING PLAN

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DRAWING NUMBER
C-500

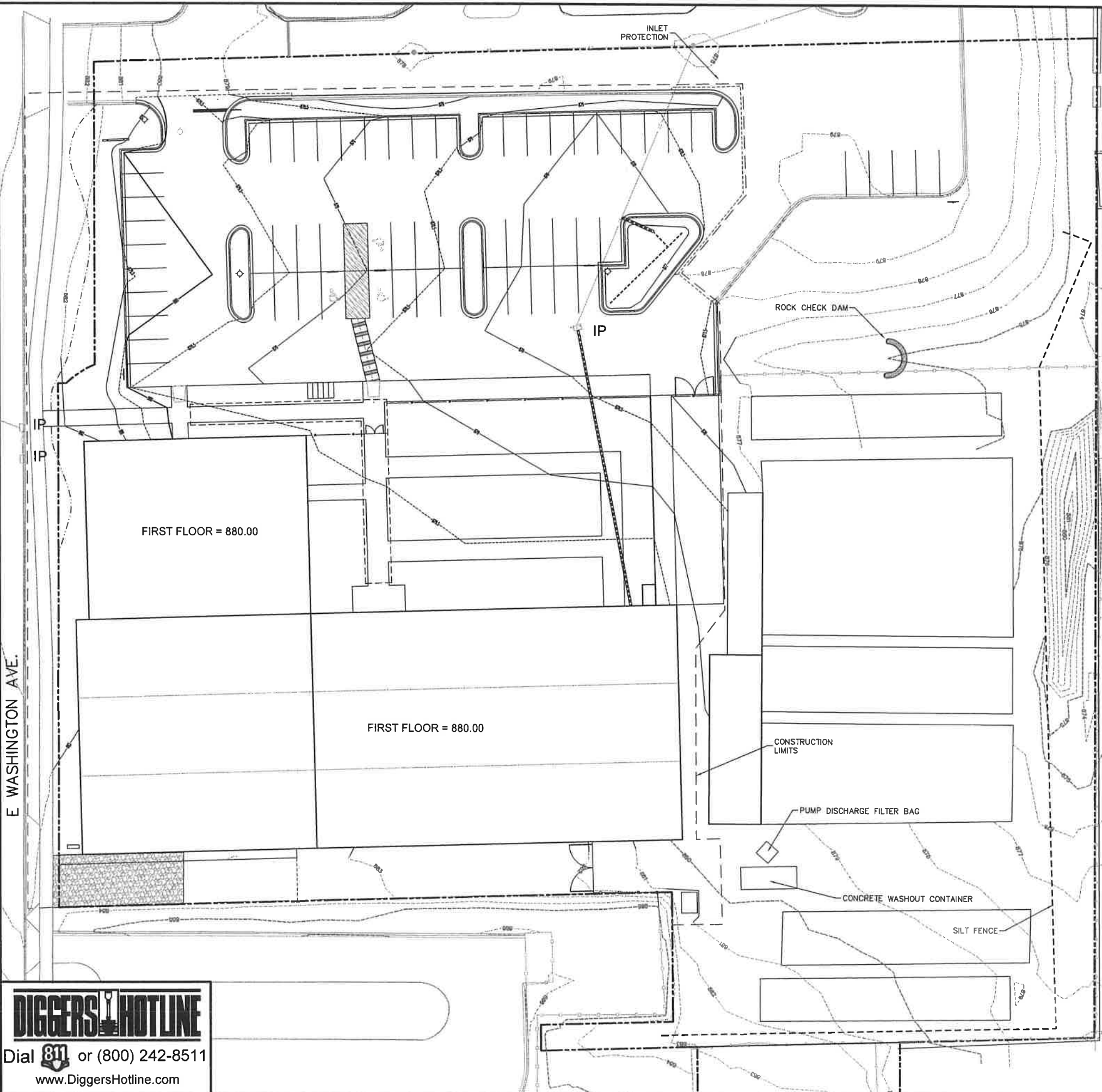
DIGGERS HOTLINE

Dial 811 or (800) 242-8511

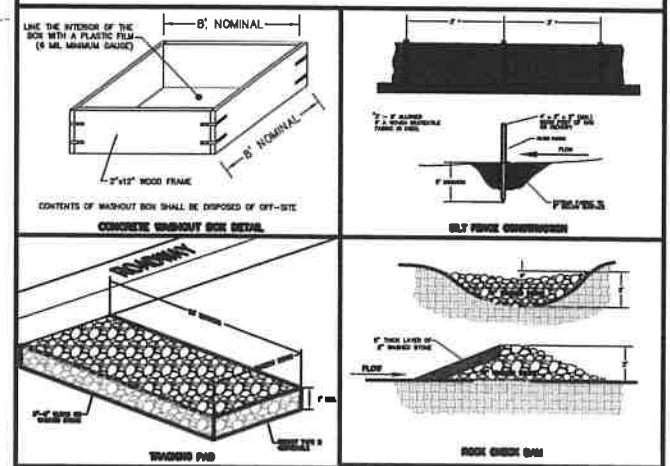
www.DiggersHotline.com

E WASHINGTON AVE.

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- EROSION CONTROL NOTES**
1. Post WDNR certificate of permit coverage on site and maintain until construction activities have ceased, the site is stabilized, and a notice of termination is filed with WDNR.
 2. Keep a copy of the current erosion control plan on site throughout the duration of the project.
 3. Submit plan revisions or amendments to the WDNR at least 5 days prior to field implementation.
 4. The General Contractor is responsible for routine site inspections at least once every 7 days and within 24 hours after a rainfall event of 0.5 inches or greater. Keep inspection reports on-site and make them available upon request.
 5. Inspect and maintain all installed erosion control practices until the contributing drainage area has been stabilized.
 6. Refer to the WDNR Technical Standards for storm water construction at http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
 7. Install perimeter controls and rock construction entrance(s) prior to any land-disturbing activities, including clearing and grubbing. Use WDNR Technical Standard Stone Tracking Pad and Tire Washing #1057 for rock construction entrance(s).
 8. Install inlet protection prior to land-disturbing activities in the tributary area and/or immediately upon inlet installation. Comply with WDNR Technical Standard Storm Drain Inlet Protection for Construction Sites #1060.
 9. Notify the project engineer if dewatering is scheduled to occur in areas of soil and/or groundwater contamination, or if dewatering will occur from a high capacity well (70 gpm or more). Dewater only after the appropriate WDNR dewatering discharge permit has been obtained.
 10. Provide anti-scur protection and maintain non-erosive flow during dewatering. Limit pumping rates to either (a) the sediment basin/trap design discharge rate, or (b) the basin design release rate with the correctly fitted hose and grate. Perform dewatering of accumulated surface runoff in accordance with WDNR Technical Standard De-watering #1061.
 11. Remove sediment from behind silt fences and sediment barriers before sediment reaches a depth that is equal to one-half of the fence and/or barrier height. Install and maintain silt fencing per WDNR Technical Standard Silt Fence #1058.
 12. Repair breaks and gaps in silt fences and barriers immediately.
 13. Immediately stabilize stockpiles and surround stockpiles with silt fence or other perimeter control if stockpiles will remain inactive for 7 days or longer.
 14. Stabilize areas of final grading within 7 days.
 15. Sweep/clean up all sediment that moves off-site due to construction activity or storm events before the end of the same workday or as directed by the City of Madison. Separate swept materials (soils and trash) and dispose of appropriately.
 16. The General Contractor is responsible for controlling dust per WDNR technical standard dust control on construction sites #1058.
 17. Properly dispose of all waste and unused building materials (including garbage, debris, cleaning wastes, or other construction materials) and do not allow these materials to be carried by runoff into the receiving channel.
 18. Make provisions for watering during the first 8 weeks following seeding or planting of disturbed areas whenever more than 7 consecutive days of dry weather occur.
 19. Install additional erosion and sediment control measures as needed (such as temporary sediment basins, ditch checks, erosion control matting, silt fencing, filter socks, swales, etc.), or as directed by the City of Madison.
 20. The General Contractor is responsible for complying with all applicable WDNR remediation and waste management requirements for handling and disposing of contaminated materials, site-specific information for areas with known or suspected soil and/or groundwater contamination can be found on WDNR's Bureau of Remediation and Redevelopment tracking system (brria) public database at: <http://dnr.wi.gov/botw/>



LEGEND

- 874 --- EXISTING MINOR CONTOUR
- 875 --- EXISTING MAJOR CONTOUR
- 874 --- PROPOSED MINOR CONTOUR
- 875 --- PROPOSED MAJOR CONTOUR
- STORM SEWER
- TRACKING PAD
- SILT FENCE
- IP INSTALL INLET PROTECTION

0 20 40

Schedule:

June 13, 2017	Install silt fence and construction entrance.
June 14, 2017	Begin disturbance of site ground cover.
September 15, 2017	Apply seed and mulch to all disturbed areas.
October 1, 2014	Base course installed.
October 15, 2017	Vegetation established.

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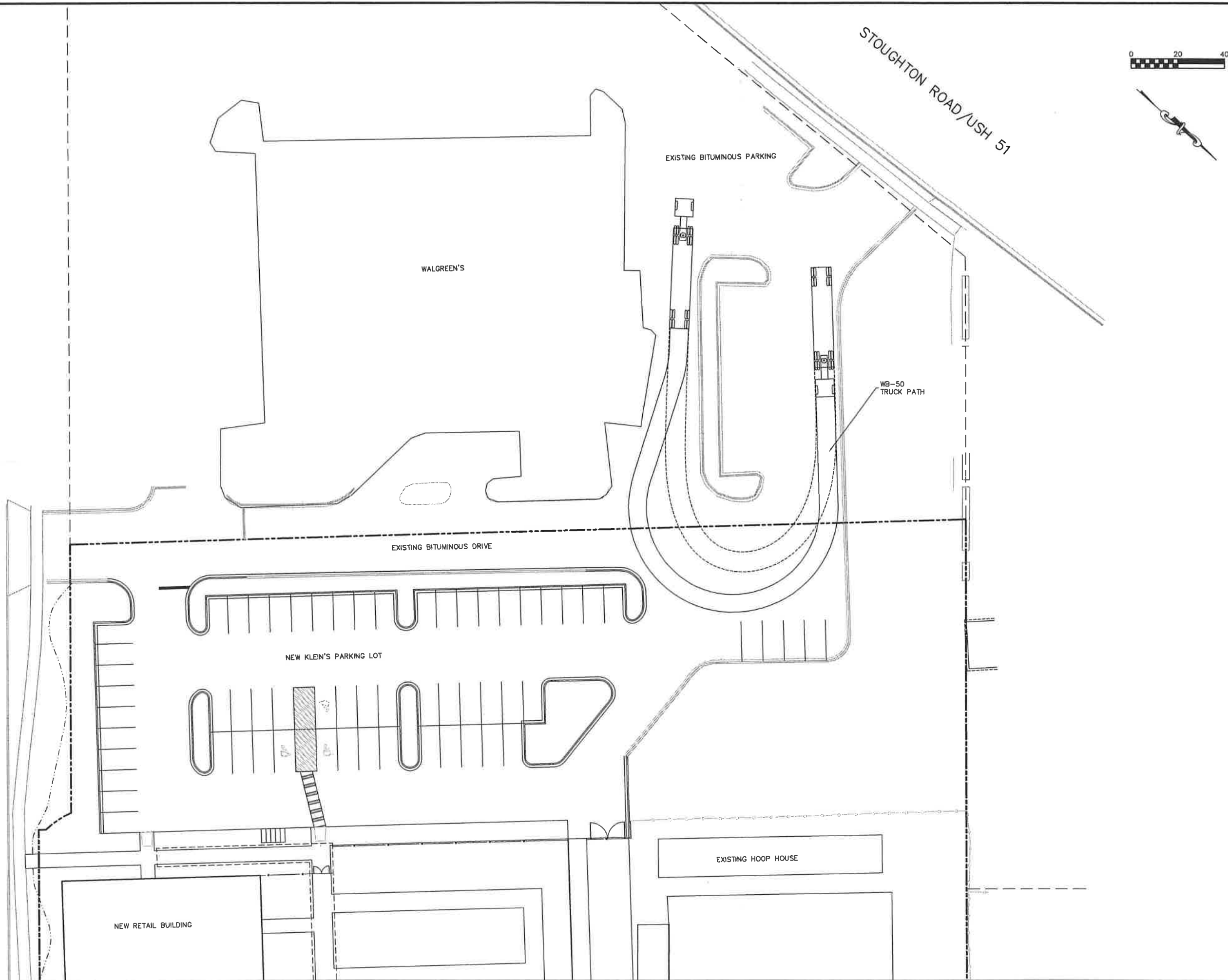
APPROVAL	PROJECT	DATE	BY
MLB	MLB	02/06/2017	MLB
PDF	PDF	02/06/2017	MLB
PDF	PDF	02/06/2017	MLB
PDF	PDF	02/06/2017	MLB
PDF	PDF	02/06/2017	MLB

Klein's Floral and Greenhouses
3759 E. Washington Avenue
Madison, Wisconsin
Klein's Floral and Greenhouses, Inc
3759 E. Washington Avenue
Madison, WI 53704

PROJECT #:	BSE1823-15
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DRAWING NUMBER
C-600

E WASHINGTON AVE.



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APPROVALS	MLB	MLB	PDF	MLB	MLB
PROJECT	DESIGNED	CHECKED	DATE	DATE	DATE

Klein's Floral and Greenhouses

3758 E. Washington Avenue
Madison, Wisconsin

Klein's Floral and Greenhouses, Inc

3758 E. Washington Avenue
Madison, WI 53704

PROJECT #: BSE1823-15
PLOT DATE: 02/08/2017

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LUA Submittal 02/08/2017

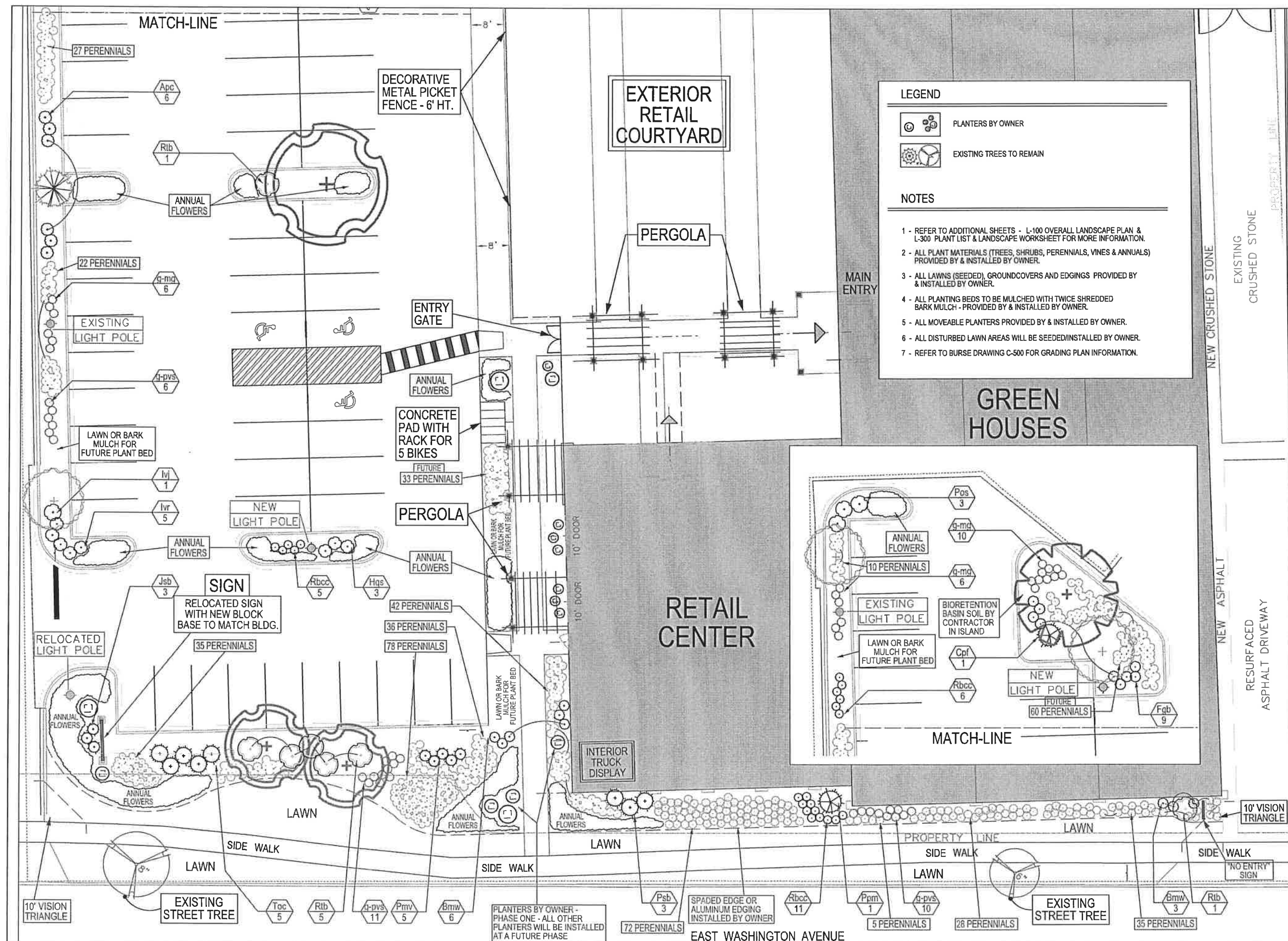
WALGREEN'S
DELIVERY TRUCK
MOVEMENT

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DRAWING NUMBER

C-700

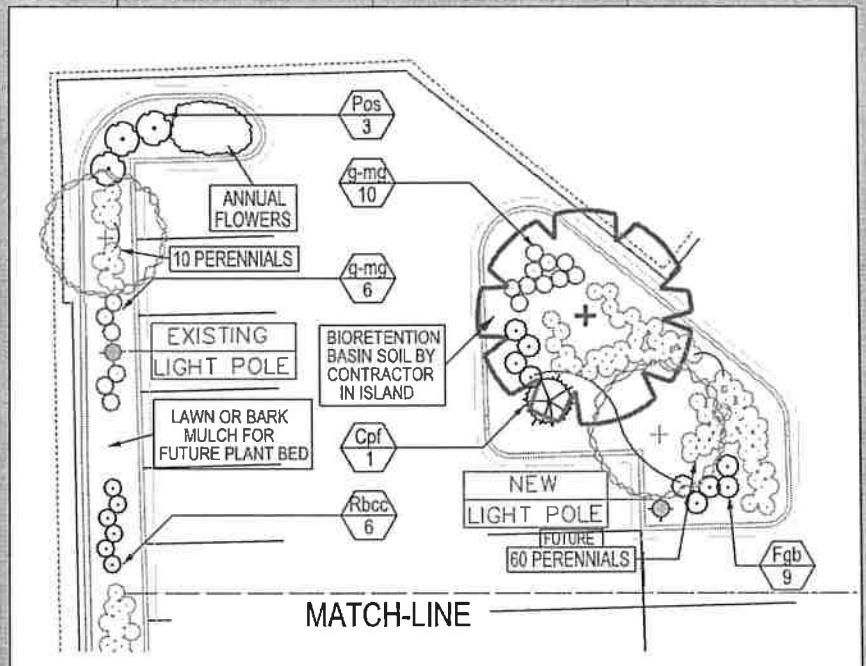


LEGEND

PLANTERS BY OWNER
 EXISTING TREES TO REMAIN

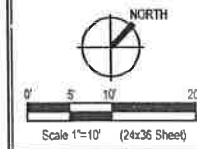
NOTES

- 1 - REFER TO ADDITIONAL SHEETS - L-100 OVERALL LANDSCAPE PLAN & L-300 PLANT LIST & LANDSCAPE WORKSHEET FOR MORE INFORMATION.
- 2 - ALL PLANT MATERIALS (TREES, SHRUBS, PERENNIALS, VINES & ANNUALS) PROVIDED BY & INSTALLED BY OWNER.
- 3 - ALL LAWNS (SEEDED), GROUNDCOVERS AND EDGINGS PROVIDED BY & INSTALLED BY OWNER.
- 4 - ALL PLANTING BEDS TO BE MULCHED WITH TWICE SHREDDED BARK MULCH - PROVIDED BY & INSTALLED BY OWNER.
- 5 - ALL MOVEABLE PLANTERS PROVIDED BY & INSTALLED BY OWNER.
- 6 - ALL DISTURBED LAWN AREAS WILL BE SEEDED/INSTALLED BY OWNER.
- 7 - REFER TO BURSE DRAWING C-500 FOR GRADING PLAN INFORMATION.



KEN SAIKI DESIGN
 LANDSCAPE ARCHITECTS
 303 S. PATERSON
 SUITE ONE
 MADISON, WI 53703
 Phone: 608 951-3600

KLEIN'S FLORAL & GREENHOUSES
 3758 E. Washington Ave.
 Madison, WI



Issuance/Revision	Date
FOR PRELIM REVIEW	09-23-16
LUA / UDC SUBMITTAL	02-08-17

KSD Project No. 2016-052
 Drawn By PAS
 Checked By PAS
 Date 02-08-17
 Sheet Title
PLANTING DETAIL PLAN
 Sheet No.
L-200

PLANT LIST & PLANT PALETTE

Key Label	Botanical Name	Common Name	Quantity	Size	Root	Comments	Nursery / Availability	Mature Size
Deciduous Shade Trees								
AFB	<i>Acer x freemanii</i> 'Ballston'	First Editions Matador Maple	1	2 1/2" Cal.	B&B		Bailey Nursery	40-45' Ht. x 20-40' Spr.
BN	<i>Betula nigra</i>	River Birch	2	8-10' Ht.	B&B	Clump form, 3 stems min. / 1" Cal. Min.	Bailey Nursery	40-50' Ht. x 30-40' Spr.
GD	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	1	2 1/2" Cal.	B&B		Bailey Nursery	50-60' Ht. x 40-50' Spr.
GDE	<i>Gymnocladus dioica</i> 'Espresso'	Espresso Kentucky Coffeetree	**	2 1/2" Cal.	B&B	(Seedless variety)	Johnson's Nursery	50' Ht. x 35' Spr.
Ornamental Trees								
AG	<i>Acer griseum</i>	Paperbark Maple	2	1 1/2" Cal.	B&B/Cont.		Bailey Nursery	20-30' Ht. x 10-15' Spr.
APR	<i>Acer palmatum</i> 'Red Emperor'	Red Emperor Japanese Maple	**	1 1/2" Cal.	B&B/Cont.	(or use 'Bloodgood' Japanese Maple)	Bailey Nursery	15-18' Ht. x 12-15' Spr.
AP	<i>Acer pseudosieboldianum</i>	Korean Maple	**	1 1/2" Cal.	B&B/Cont.	(Tolerates partial shade)	Bailey Nursery	15' Ht. x 10' Spr.
AGA	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	**	8-10' Ht.	B&B/Cont.	Low branched	Bailey Nursery	20-25' Ht. x 15' Spr.
CC	<i>Cornus canadensis</i>	MN Strain Redbud	**	1 1/2" Cal.	B&B/Cont.		Bailey Nursery	20-30' Ht. x 10-15' Spr.
CV	<i>Cornus x KN39-6'</i> PP16,309	Venus Dogwood	1	8-10' Ht.	B&B/Cont.	Low branched	Bailey Nursery	15-18' Ht. x 18-22' Spr.
Evergreen Trees								
JSM	<i>Juniperus scopulorum</i> 'Medora'	Medora Juniper	1	7' Ht. Heavy	B&B	Full to bottom, Add Holiday Lights	Bailey Nursery	12' Ht. x 8-10' Spr.
PMT	<i>Pinus leucodermis</i> 'Mint Truffle'	Mint Truffle Bosnian Pine	**	7' Ht. Heavy	B&B	Low branched, full to bottom	Blron, Intl, Monrovia	12' Ht. x 8-10' Spr.
PS	<i>Pinus strobus</i>	Eastern White Pine	**	4' Ht.	B&B/Cont.	Low branched, full to bottom	Bailey Nursery	50-80' Ht. x 20-40' Spr.
Deciduous Shrubs								
App	<i>Acer palmatum</i> 'Cynthia's Crown Jewel'	Cynthia's Crown Jewel Japanese Maple	6	3' Ht.	B&B/Cont.	Space 3'-0" O.C., 3 Gal. min.	Bailey Nursery	4' Ht. x 3' Spr.
Ch	<i>Coloreaster x 'Hessii'</i>	Hess Coloreaster	**	18" Ht./Spr.	Cont.	Space 5'-0" O.C., 3 Gal. min.	Johnson's	1-2' Ht. x 5-8' Spr.
Eaf	<i>Euonymus alatus</i> 'Fire Ball'	Fire Ball Burning Bush	**	4' Ht.	B&B/Cont.	Space 5' 1/2" O.C., 5 Gal. min.	Johnson's, Beaver Creek	5-7' Ht. x 5-7' Spr.
Ear	<i>Euonymus alatus</i> 'Rudy Haag'	Rudy Haag Burning Bush	**	2' Ht.	Cont.	Space 4' O.C., 3 Gal. min.	Johnson's, Beaver Creek	3-5' Ht. x 3-5' Spr.
Fgb	<i>Fothergilla gardenii</i> 'Beaver Creek'	Beaver Creek Dwarf Fothergilla	9	30" Ht.	Cont.	Space 2'-6" - 3'-0" O.C., 3 Gal. min.	Johnson's, Beaver Creek	2-3' Ht. x 3-4' Spr.
Hqs	<i>Hydrangea quercifolia</i> 'Sikes Dwarf'	Sikes Dwarf Hydrangea	3	2' Ht.	Cont.	Space 3'-0" O.C., 3 Gal. min.	Bailey Nursery	3-4' Ht. x 3-4' Spr.
Iv	<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Winterberry Holly	1	24" Ht.	Cont.	Space 4' O.C., 3 Gal. min.	Bailey Nursery	3-4' Ht. x 3-4' Spr.
Ivr	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry Holly	5	18" Ht.	Cont.	Space 3' O.C., 3 Gal. min.	Bailey Nursery	3-4' Ht. x 3-4' Spr.
Pos	<i>Physocarpus opulifolius</i> 'Seward'	Summer Wine Ninebark - Tree Form	3	2' Ht.	Cont.	Space 4' O.C., 3 Gal. min.	Bailey Nursery	3-4' Ht. x 4-5' Spr.
Rth	<i>Rhus typhina</i> 'Bailtiger' PP16,165	First Editions Tiger Eyes Cutleaf Staghorn Sumac	7	4' Ht.	B&B/Cont.	Space 5'-6" O.C., 5 Gal. min.	Bailey Nursery	6' Ht. x 6' Spr.
Rbccc	<i>Rosa 'Blaze'</i>	Easy Elegance Coral Cove Rose	22	18" Ht.	Cont.	Space 2' O.C., 2 Gal. min.	Bailey Nursery	2' (3") Ht. x 2' Spr.
Rmcd	<i>Rosa 'MEKritora'</i> PP19,148	Coral Dali Rose	**	12" Ht.	Cont.	Space 1'-6" O.C., 3 Gal. min.	Bailey Nursery	1 1/2' Ht. x 1 1/2' Spr.
Smp	<i>Syringa meyeri</i> 'Palibin'	Meyer Korean Lilac	**	30" Ht.	Cont.	Space 4'-0" O.C., 3 Gal. min.	Johnson's, Beaver Creek	4-5' Ht. x 4-6' Spr.
Evergreen Shrubs								
Bmw	<i>Buxus microphylla</i> 'Wintergreen'	Wintergreen Littleleaf Boxwood	9	18" Ht.	Cont.	Space 2'-6" O.C., 3 Gal. min.	Bailey Nursery	2-3' Ht. x 3' Spr.
Cpf	<i>Chamaecyparis pisifera</i> 'Filiformis'	Green Threadleaf Falsecypress	1	30" Ht.	B&B/Cont.	Space 5' 1/2" O.C., 5 Gal. min.	Johnson's, Intl	6-8' Ht. x 6-8' Spr.
Cpq	<i>Chamaecyparis pisifera</i> 'Golden Mops'	Golden Mops Threadleaf Falsecypress	**	30" Ht.	B&B/Cont.	Space 6' O.C., 5 Gal. min.	Bailey Nursery	5' Ht. x 7' Spr.
Jsb	<i>Juniperus sabina</i> 'Blue Forest'	Blue Forest Juniper	3	9" Ht.	Cont.	Space 3' O.C., 3 Gal.	Bailey Nursery	12" Ht. x 3' Spr.
Ppm	<i>Picea pungens</i> 'Montgomery'	Montgomery Blue Spruce	1	3' Ht.	B&B/Cont.	5 Gal. min.	Blron, Intl, Johnson's	4-6' Ht. x 5-7' Spr.
Pmp	<i>Pinus mugo</i> 'pumilio'	Mugo Pine	**	18" Ht./Spr.	B&B/Cont.	Space 5' O.C., 3 Gal. min.	Bailey Nursery	3-5' Ht. x 3-5' Spr.
Pms	<i>Pinus mugo</i> 'Sherwood Compact'	Sherwood Compact Mugo Pine	**	18" Ht./Spr.	B&B/Cont.	Space 4' O.C., 3 Gal. min.	Badchman's, Beaver Creek	3' Ht. x 4' Spr.
Pmv	<i>Pinus mugo</i> 'Valley Cushion'	Valley Cushion Mugo Pine	5	18" Ht./Spr.	Cont.	Space 2'-6" O.C., 3 Gal. min.	Blron, Intl, Monrovia	2-3' Ht. x 2-3' Spr.
Psb	<i>Pinus strobus</i> 'Blue Shag'	Blue Shag White Pine	3	18" Ht./Spr.	Cont.	Space 4' O.C., 3 Gal. min.	Bailey Nursery	3-4' Ht. x 4-5' Spr.
Psm	<i>Pinus strobus</i> 'Minuta'	Minuta Dwarf White Pine	**	18" Ht./Spr.	Cont.	Space 3' O.C., 3 Gal. min. Bush form	Blron, Intl, Monrovia	2' Ht. x 3' Spr.
Psn	<i>Pinus strobus</i> 'Niagara Falls'	Niagara Falls	**	24" Spr.	Cont.	Space 4' O.C., 3 Gal. min.	Blron, Intl, Monrovia	3' Ht. x 4' Spr.
Toc	<i>Thuja occidentalis</i> 'Congabe' PP19,009	Fire Chief Arborvitae	5	18" Ht./Spr.	Cont.	Space 3'-4" O.C., 2 Gal. min.	Bailey Nursery	3-4' Ht. x 3-4' Spr.
Perennials & Groundcovers								
* PERENNIALS & GRASSES TO BE SELECTED BY KLEIN'S DESIGNER STAFF FROM THIS LISTING OR OTHER NEW BAILEY NURSERY VARIETY - TOTAL PERENNIALS SHOWN ON PLAN = 390								
at	<i>Allium luxitanum</i> 'Summer Beauty'	Summer Beauty Ornamental Onion	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery	18-24" Ht. x 20-24" Spr.
abl	<i>Amsonia</i> 'Blue Ice'	Blue Ice Bleeding Heart	*	#1 Pot	CG	Space 15-18" O.C.	Bailey Nursery	12-15" Ht. x 20" Spr.
ahm	<i>Anemone hybrida</i> 'Misty Lace' PP15,798	Misty Lace Hybrid Goatsbeard	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	18-24" Ht. x 18-24" Spr.
at	<i>Asclepias tuberosa</i>	Butterfly Flower	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	18-24" Ht. x 18-24" Spr.
acvcp	<i>Astilbe chinensis</i> 'Vision in Pink' PP11,860	Vision in Pink Astilbe	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	32" Ht. x 18-30" Spr.
ass	<i>Astilbe x simplicifolia</i> 'Sprite'	Sprite Astilbe	*	#1 Pot	CG	Space 12" O.C.	Bailey Nursery	15" Ht. x 9-12" Spr.
bsf	<i>Baptisia</i> 'Solar Flare' PP20,408	Solar Flare Prairietubes False Indigo	*	#1 Pot	CG	Space 3' 1/2" O.C.	Bailey Nursery	3' Ht. x 4-5' Spr.
bvt	<i>Baptisia x varicolor</i> 'Twilight' PP19,011	Twilight Prairietubes False Indigo	*	#1 Pot	CG	Space 3' 1/2" O.C.	Bailey Nursery	3-5' Ht. x 4-5' Spr.
cnn	<i>Calamintha nepeta</i> ssp. 'Nepeta'	Lesser Calamintha	*	#1 Pot	CG	Space 18" O.C., Sterile variety ONLY	Bailey Nursery	12-15" Ht. x 12-18" Spr.
cp	<i>Ceratostigma plumbaginoides</i>	Dwarf Plumbago, Leadwort	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery	8-10" Ht. x 12" Spr.
dfl	<i>Dianthus</i> 'Fire & Ice' PPAF	Fire & Ice Pinks	*	#1 Pot	CG	Space 12" O.C.	Bailey Nursery	10" Ht. x 14" Spr.
epp	<i>Echinacea purpurea</i> 'PowWow Wild Berry'	PowWow Wild Berry Coneflower	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery	16-24" Ht. x 12-16" Spr.
gcb	<i>Geranium x cantabrigiense</i> 'Blokovo'	Blokovo Geranium / Cranesbill	*	#1 Pot	CG	Space 20" O.C.	Bailey Nursery	10-12" Ht. x 15-24" Spr.
hrs	<i>Hemerocallis</i> 'Ruby Stella' PPAF	Ruby Stella Daylily	*	#1 Pot	CG	Space 20" O.C.	Bailey Nursery	25-27" Ht. x 18-24" Spr.
hgp	<i>Heuchera</i> 'Georgia Peach' PP19,375	Georgia Peach Coral Bells	*	#1 Pot	CG	Space 22-24" O.C.	Bailey Nursery	14" Ht. x 24" Spr.
hg	<i>Hosta</i> 'Guacamole'	Guacamole Hosta	*	#1 Pot	CG	Space 30" O.C.	Bailey Nursery	22-24" Ht. x 32-38" Spr.
isc	<i>Iris sibirica</i> 'Caesar's Brother'	Caesar's Brother Siberian Iris	*	#1 Pot	CG	Space 15" O.C. / For Bioretention Basin	Bailey Nursery	24-36" Ht. x 15-24" Spr.
isd	<i>Leucanthemum superbum</i> 'Daisy Duke' PP21,914	Daisy Duke Shasta Daisy	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	20-24" Ht. x 18-24" Spr.
isf	<i>Liabris spicata</i> 'Floristan Weiss'	Floristan White Spike Gayfeather / Blazingstar	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery	18-24" Ht. x 12-18" Spr.
isk	<i>Liabris spicata</i> 'Kobold'	Kobold Spike Gayfeather	*	#1 Pot	CG	Space 15" O.C.	Bailey Nursery	18-24" Ht. x 12-18" Spr.
lab	<i>Lilium asiaticum</i> 'Black Bird'	Black Bird Asiatic Lily	*	#1 Pot	CG	Space 12-15" O.C.	Hoffie	16-18" Ht. x 12-15" Spr.
nrb	<i>Nepeta racemosa</i> 'Blue Wonder'	Blue Wonder Catmint	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	12-18" Ht. x 12-18" Spr.
psb	<i>Paeonia</i> 'Sarah Bernhardt'	Sarah Bernhardt Peony	*	#1 Pot	CG	Space 30" O.C.	Bailey Nursery	3' Ht. x 2 1/2 - 3' Spr.
pd	<i>Pentstemon digitalis</i> 'Husker Red'	Husker Red Foxglove / Beardtongue	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	30-36" Ht. x 18-24" Spr.
snc	<i>Salvia nemerosa</i> 'Caradonna' or 'Blue Queen'	Caradonna or Blue Queen Sage / Salvia	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	18-30" Ht. x 18" Spr.
smm	<i>Salvia nemerosa</i> 'Marcus'	Marcus Dwarf Meadow Sage / Salvia	*	#1 Pot	CG	Space 12" O.C.	Bailey Nursery	12" Ht. x 8-15" Spr.
sm	<i>Sedum</i> 'Matrona'	Matrona Sedum	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	18-24" Ht. x 18-24" Spr.
ssi	<i>Sedum spectabile</i> 'Iceberg' (or 'Stardust')	Iceberg Sedum (or Stardust Sedum)	*	#1 Pot	CG	Space 18" O.C.	W. & E. Radiko	16-24" Ht. x 18" Spr.
arf	<i>Solidago rugosa</i> 'Fireworks'	Fireworks Goldenrod	*	#1 Pot	CG	Space 22-24" O.C.	W. & E. Radiko	30-48" Ht. x 18-24" Spr.
sbh	<i>Stachys byzantina</i> 'Helene von Stein'	Big Ears Lamb's Ears	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery	8-10" Ht. x 24" Spr.
vlm	<i>Veronica longifolia</i> 'Marietta' PPAF	Marietta Veronica	*	#1 Pot	CG	Space 18" O.C.	Bailey Nursery	2-3' Ht. x 18-24" Spr.
Grasses, Sedges & Rushes								
g-bb	<i>Bouteloua gracilis</i> 'Blonde Ambition' PP22,048	Blonde Ambition Blue Grama Grass	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery	24-36" Ht. x 24-36" Spr.
g-cv	<i>Carex vulpinoidea</i>	Fox Sedge	*	#1 Pot	CG	Space 24" O.C. For Bioretention Basin	W. & E. Radiko	12-36" Ht. x 6-24" Spr.
g-dc	<i>Deschampsia caespitosa</i>	Tufted Hair Grass	*	#1 Pot	CG	Space 24" O.C. For park-shade areas	Bailey Nursery	3' Ht. x 2-3' Spr.
g-hm	<i>Hakonechloa macra</i> 'All Gold'	All Gold Japanese Hakone Grass	*	#1 Pot	CG	Space 24" O.C. For shaded areas	Bailey Nursery	9-14" Ht. x 18-24" Spr.
c-jb	<i>Juncus tenuissimus</i> 'Blue Dart'	Blue Dart Rush	*	#1 Pot	CG	Space 24" O.C. For Bioretention Basin	Bailey Nursery	12-18" Ht. x 9-12" Spr.
g-mg	<i>Miscanthus sinensis</i> 'Gracillimus'	Malden Grass	22	#1 Pot	CG	Space 30" O.C.	Bailey Nursery	5-6' Ht. x 3-4' Spr.
g-pvs	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	27	#1 Pot	CG	Space 24" O.C.	Bailey Nursery	3-4' Ht. x 18-24" Spr.
g-sa	<i>Sesleria autumnalis</i>	Autumn Moor Grass	*	#1 Pot	CG	Space 20" O.C.	Bailey Nursery	15-30" Ht. x 18-20" Spr.
g-sh	<i>Sesleria heuffiana</i>	Blue-green Moor Grass	*	#1 Pot	CG	Space 20" O.C. For shaded areas	W. & E. Radiko	12-24" Ht. x 12-18" Spr.
g-sp	<i>Sporobolus heterolepis</i>	Prairie Dropseed	*	#1 Pot	CG	Space 24" O.C.	Bailey Nursery	2-3' Ht. x 2-3' Spr.
g-shf	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	*	#1 Pot	CG	Space 20" O.C.	W. & E. Radiko	18-24" Ht. x 24-36" Spr.
Vines @ Pergola								
v-cb	<i>Clematis</i> 'Eipo073'	Boulevard The Countess of Wessex Clematis	*	18" Ht. min. staked	CG	Space per plan, 2 Gal. min.	Bailey Nursery	4-6' Ht.
v-es	<i>Clematis</i> 'Eipo026'	Shimmer Clematis	*	18" Ht. min. staked	CG	Space per plan, 2 Gal. min.	Bailey Nursery	8-10' Ht.
Annual Vines will also be installed at Pergola. * Number of vines to be determined by Owner. Provide cables @ pergola columns / train vines toward supports.								
Annual Flowers -								
Annuaals	New Selections & Arrangements will be chosen by Klein's each year.		Varies	Varies	CG	Space 12" O.C.	Bailey Nursery & Others	Varies
Planters -								
Planters	New Plant Selections & Arrangements will be chosen by Klein's each year.		Varies	Varies	CG	Varies	Bailey Nursery & Others	Varies
** NOTE - LIST SHOWS OPTIONAL PLANTS THAT KLEIN'S CAN SUBSTITUTE WITH BASED ON AVAILABILITY. NEWER VARIETIES MAY BE SUBSTITUTED FOR THOSE LISTED.								

LANDSCAPE WORKSHEET

City of Madison, WI Landscape Worksheet

8-Feb-17

KLEIN FLORAL & GREENHOUSES - Zoning - CC-T - Mixed Use & Commercial Districts

Developed Lots	SF	5 Landscape Points For Every 300 SF of Developed Area	LANDSCAPE POINTS REQUIRED
Total NEW Developed Area	45,867	45,867 x 5 / 300	
Landscape Points Required			765

Development Frontage	LF	**Overstory Trees Required	Shrubs Required
Total LF of Street Frontage Between Bldg./Parking & street	311	10	52

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	2		70
Ex. Significant Specimen Tree	0		0	0
Ornamental Tree	15	0		0
Shrub, deciduous	3	17		51
Shrub, evergreen	4	26		104
Ornamental Grass/Perennial	2	352		704

Development Frontage Total 929

**We request waiver of tree & shrub requirement due to limited space & type of facility. Klein's Floral & Greenhouses will be installing seasonal displays along East Washington Avenue frontage which exhibit plants that they grow and sell. Perennial grasses & flowers and annual flowers will encompass the majority of the plantings including back-ground shrubs. The seasonal plant combinations will be displayed in planting bed borders and raised decorative planters. Annual plants may shift with the seasons and include - spring bulbs, summer annuals, fall plants and holiday greenery and decorations.

General Site, Foundation, Screening

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	2		70
Ornamental Tree	15	3		45
Evergreen Tree	15	1		15
Shrub, deciduous	3	39		117
Shrub, evergreen	4	1		4
Ornamental Grass/Perennial	2	87		174
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0		0
Foundation Plantings Total				425

TOTAL LANDSCAPE POINTS PROVIDED 1354

TOTAL LANDSCAPE POINTS REQUIRED 765

NOTE: Required Point Total is achieved with plants shown on the plan. The Annual / Seasonal plantings are not included in this point total.

NOTES

1 - REFER TO ADDITIONAL SHEETS - L-100 OVERALL LANDSCAPE PLAN & L-200 PLANTING DETAIL PLAN FOR MORE INFORMATION.

KEN SAIKI DESIGN

LANDSCAPE ARCHITECTS

303 S. PATERSON SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600

Consultants

KLEIN'S FLORAL & GREENHOUSES

3758 E. Washington Ave.
Madison, WI

Cree Edge™ Series

LED Pathway Luminaire

Product Description

Durable die-cast aluminum luminaire housing mounts directly to 4" (102mm) diameter pole (included) without visible mounting hardware for clean appearance. Pole mounts to rugged die cast aluminum internal flange secured by three 3/8" - 16x6" anchor bolts with 1-1/4" hook (provided). **Note:** T45 Torx 3/8" socket required for head installation. Top mounted LEDs for superior optical performance and light control.

Applications: Landscape, walk-ways and general site lighting

Performance Summary

Patented NanoOptic® Product Technology

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://lighting.cree.com/warranty> for warranty terms

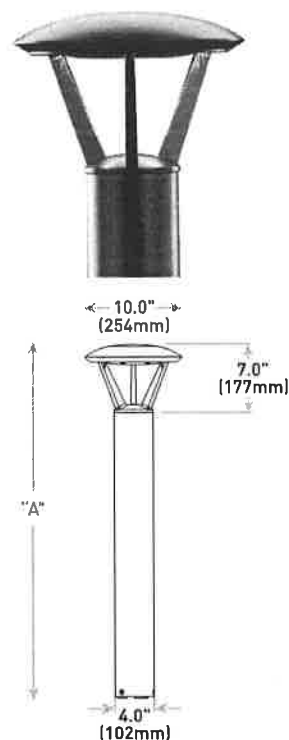
Accessories

Field-Installed

Upgrade Kit

- Used for replacement of existing bollards with a bolt hole circle of 5.75" (146mm)

XA-XBP8RSV XA-XBP8RWH
XA-XBP8RBK XA-XBP8RBZ



Model	Dim. "A"	Weight*
Landscape (P0)	13" (330mm)	12.7 lbs. (5.8kg)
Landscape (P1)	18" (457mm)	13.3 lbs. (6.0kg)
Pathway (P3)	36" (914mm)	17.9 lbs. (8.1kg)
Pathway (P4)	42" (1068mm)	18.6 lbs. (8.4kg)
Pedestrian (P8)	96" (2438mm)	28.4 lbs (12.9kg)

* Add 4.5 lbs. (2.0kg) for 347-480V

Ordering Information

Example: PWY-EDG-2M-P0-02-E-UL-SV-350

PWY-EDG			02	E				
Product	Optic	Mounting	LED Count (x9)	Series	Voltage	Color Options	Drive Current	Options
PWY-EDG	2M Type II Medium 3M Type III Medium 5M Type V Medium 5S Type V Short	P0 13" (330mm) landscape P1 18" (457mm) landscape P3 36" (914mm) pathway P4 42" (1067mm) pathway P8 96" (2438mm) pedestrian	02	E	UL Universal 120-277V UH* Universal 347-480V - Available with P3, P4, and P8 mounts only 12 120V 27 277V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA - Available with P1, P3, P4, and P8 mounts only	F Fuse - When code dictates fusing, use time delay fuse - Refer to ML spec sheet for availability with ML options HL Hi/Low (Dual Circuit Input) - Available with UL voltage and 525mA driver current only - Refer to HL spec sheet for details - Sensor not included TL Two-Level (175/525 w/integrated sensor control) - Available with 12 or 27 voltages only - Refer to TL spec sheet for details TL2 Two-Level (0/350 w/integrated sensor control) - Available with 12 or 27 voltages only - Refer to TL spec sheet for details TL3 Two-Level (0/525 w/integrated sensor control) - Available with 12 or 27 voltages only - Refer to TL spec sheet for details WB Welded Base Plate - Standard on P8 mount option, available with P3 and P4 mount - Includes welded base cover 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire

* 347-480V utilizes magnetic step-down transformer. For input power for 347-480V, refer to the Electrical Data table



Rev. Date: V5 08/11/2016



US: lighting.cree.com/lighting

T (800) 236-6800 F (262) 504-5415

Canada: www.cree.com/canada

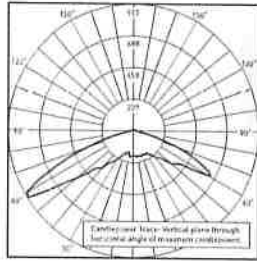
T (800) 473-1234 F (800) 890-7507

Cree Edge™ LED Pathway Luminaire

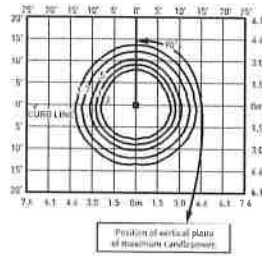
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/bollards-and-pathway/cree-edge-pathway>

55



RESTL Test Report #: PL5759-001
PWY-EDG-55-**-02-E-UL-350-40K
Initial Delivered Lumens: 1,897



PWY-EDG-55-**-02-E-UL-350-40K
Mounting Height: 3' (0.9m) A.F.G.
Initial Delivered Lumens: 1,868
Initial FC at grade

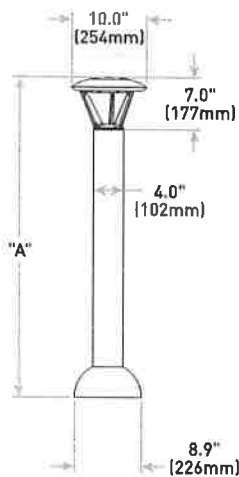
Type V Short Distribution

LED Count (x9)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,868	B1 U2 G1	1,940	B1 U2 G1
525mA				
02	2,615	B1 U2 G1	2,716	B1 U2 G1

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BUGRatingsAddendum.pdf

with Welded Base



Model	Dim. "A"	Weight*
Pathway (P3)	36" (914mm)	17.9 lbs. (8.1kg)
Pathway (P4)	42" (1068mm)	18.6 lbs. (8.4kg)
Pedestrian (P8)	96" (2438mm)	28.4 lbs (12.9kg)

* Add 4.5 lbs. (2.0kg) for 347-480V



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B

Photometric Report (Type C)

Filename: B Cree PWY-EDG-5M-xx-02-E-UL-350-40K_PL05798-001A.IES

[TEST] PL5798-001A

[TESTLAB] Cree-RECTL

[ISSUEDATE] 4/6/2015

[MANUFAC] Cree Inc

[LUMCAT] PWY-EDG-5M-xx-02-E-UL-350-40K / BXBPx518E-UH7

[LUMINAIRE] Cree Edge Pathway Luminaire, Type V Medium
, 18 LEDs, 120-277V, 350mA, 4000K

[LAMP] Eighteen type XP-G2 LEDs

Maximum Candela = 655.5 at 60 H 65 V

Classification:

Road Classification: Type IV, Short, N.A. (deprecated)

Upward Wast Light Ratio: 0.02

Luminaire Efficacy Rating (LER): 84

Indoor Classification: Direct

BUG Rating : B1-U2-G1

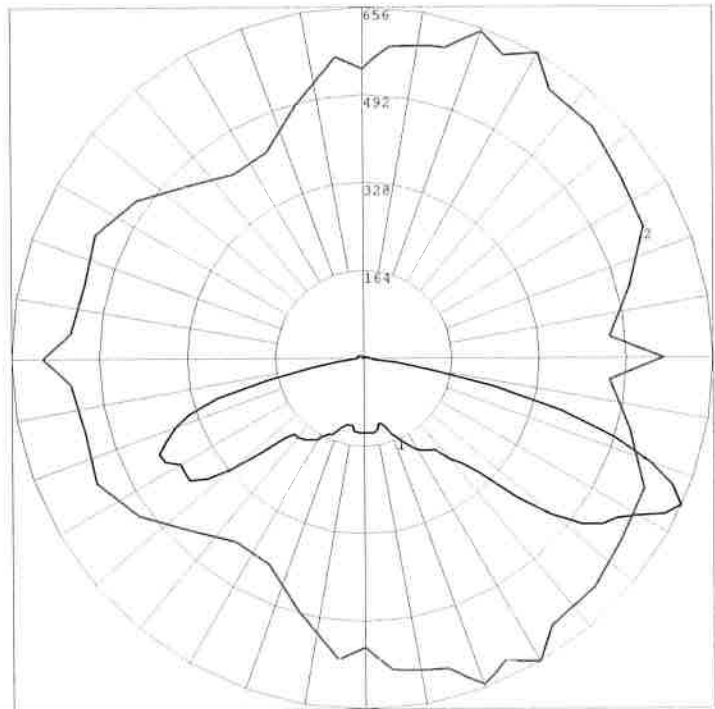
Polar Candela Curves:

Vertical Plane Through:

1) 60 - 240 Horizontal

Horizontal Cone Through:

2) 65 Vertical





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www.agi32.com

Photometric Report (Type C)

Filename: B_Cree_PWY-EDG-5M-xx-02-E-UL-350-40K_PL05798-001A.IES

[TEST] PL5798-001A

[TESTLAB] Cree-RECTL

[ISSUEDATE] 4/6/2015

[MANUFAC] Cree Inc

[LUMCAT] PWY-EDG-5M-xx-02-E-UL-350-40K / BXBpx518E-UH7

[LUMINAIRE] Cree Edge Pathway Luminaire, Type V Medium
, 18 LEDs, 120-277V, 350mA, 4000K

[LAMP] Eighteen type XP-G2 LEDs

Maximum Candela = 655.5 at 60 H 65 V

Classification:

Road Classification: Type IV, Short, N.A. (deprecated)

Upward Waste Light Ratio: 0.02

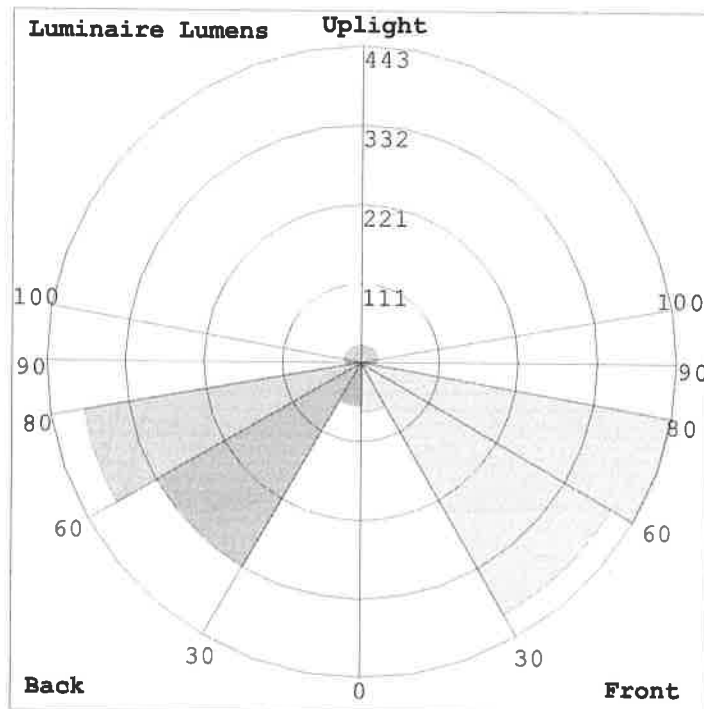
Luminaire Efficacy Rating (LER): 84

Indoor Classification: Direct

BUG Rating : B1-U2-G1

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	68.7	N.A.	3.9
FM (30-60)	406.4	N.A.	22.8
FH (60-80)	442.6	N.A.	24.9
FVH (80-90)	21.3	N.A.	1.2
BL (0-30)	59.4	N.A.	3.3
BM (30-60)	328.9	N.A.	18.5
BH (60-80)	395.2	N.A.	22.2
BVH (80-90)	20.6	N.A.	1.2
UL (90-100)	12.7	N.A.	0.7
UH (100-180)	23.4	N.A.	1.3
Total	1779.2	N.A.	100.0
BUG Rating	B1-U2-G1		



DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type	P
Project		Date	
Comments			
Prepared by			

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.



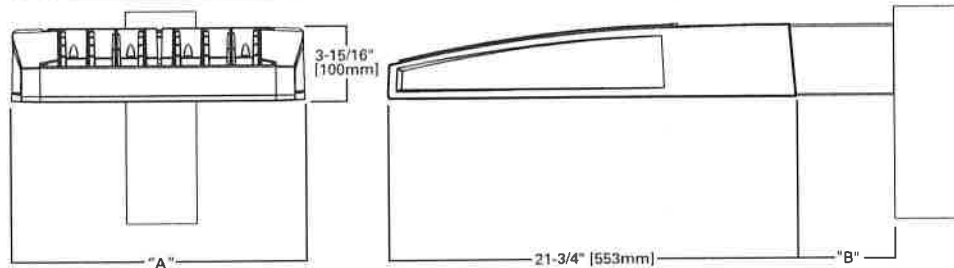
GLEON GALLEON LED

1-10 Light Squares

Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS

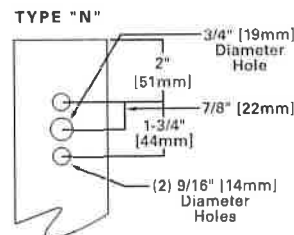


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27 5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.6 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA

UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)



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Photometric Report (Type C)

Filename: GLEON-AF-03-LED-E1-5WQ-7030.ies
 [TEST] P192631 TEST IS SCALED FROM IESNA LM-79-08 TEST
 DATA (P24143)
 [TESTLAB] Innovations Center P2
 [ISSUE DATE] 7/21/2016
 [MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
 LIGHTING)
 [LUMCAT] GLEON-AF-03-LED-E1-5WQ-7030
 [LUMINAIRE] GALLEON AREA AND ROADWAY LUMINAIRE (3) 70
 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND
 TYPE V WIDE OPTICS

Maximum Candela = 6785.2 at 45 H 72.5 V

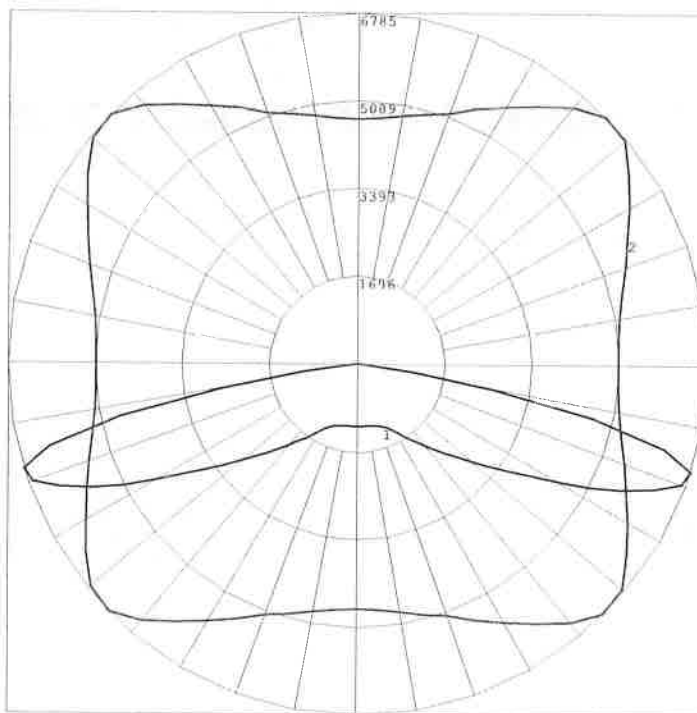
Classification:

Road Classification: Type VS, Short, N.A. (deprecated)
 Upward Wast Light Ratio: 0.00
 Luminaire Efficacy Rating (LER): 102
 Indoor Classification: Direct
 BUG Rating : B4-U0-G2

Polar Candela Curves:

Vertical Plane Through:
 1) 45 - 225 Horizontal

Horizontal Cone Through:
 2) 72.5 Vertical





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Photometric Report (Type C)

Filename: GLEON-AF-03-LED-E1-5WQ-7030.ies
[TEST] P192631 TEST IS SCALED FROM IESNA LM-79-08 TEST
DATA (P24143)
[TESTLAB] Innovations Center P2
[ISSUEDATE] 7/21/2016
[MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
LIGHTING)
[LUMCAT] GLEON-AF-03-LED-E1-5WQ-7030
[LUMINAIRE] GALLEON AREA AND ROADWAY LUMINAIRE (3) 70
CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND
TYPE V WIDE OPTICS

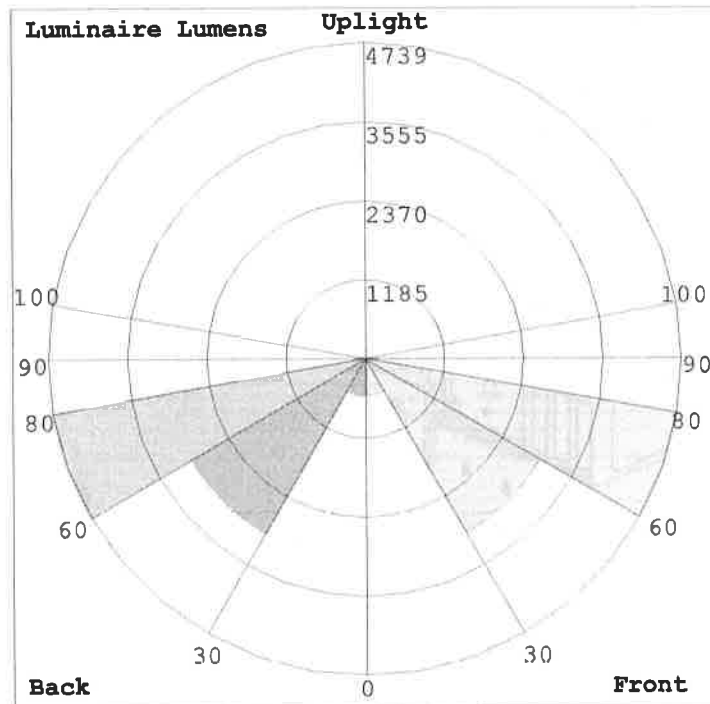
Maximum Candela = 6785.2 at 45 H 72.5 V

Classification:

Road Classification: Type VS, Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 102
Indoor Classification: Direct
BUG Rating : B4-U0-G2

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	549.2	N.A.	3.2
FM (30-60)	3004.4	N.A.	17.7
FH (60-80)	4739.5	N.A.	28.0
FVH (80-90)	178.9	N.A.	1.1
BL (0-30)	549.2	N.A.	3.2
BM (30-60)	3004.4	N.A.	17.7
BH (60-80)	4739.5	N.A.	28.0
BVH (80-90)	178.9	N.A.	1.1
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	16944.0	N.A.	100.0
BUG Rating	B4-U0-G2		



DESCRIPTION

The Galleon™ wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

SPECIFICATION FEATURES

Construction

Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UPLIGHTING: Specify with the UPL option for inverted mount upright housing with additional protections to maintain IP rating.

Optics

Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90%

lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

Electrical

LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in -30°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for -20°C ambient environments and occupancy sensor available.

Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" J-box or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.

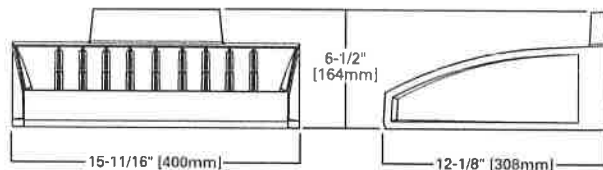


GWC GALLEON WALL LUMINAIRE

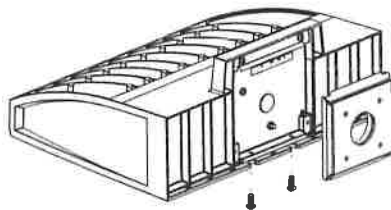
1-2 Light Squares
Solid State LED

WALL MOUNT LUMINAIRE

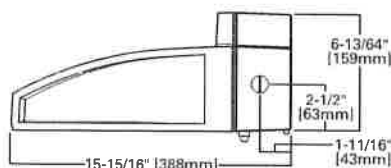
DIMENSIONS



HOOK-N-LOCK MOUNTING



BATTERY BACKUP AND THRU-BRANCH BACK BOX



CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 Housing
ISO 9001
DesignLights Consortium™ Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-30°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

Approximate Net Weight:
27 lbs. (12.2 kgs.)





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Photometric Report (Type C)

Filename: GWC-AF-01-LED-E1-SL4-7030-800 (1).ies
 [TEST] P199989 TEST IS SCALED FROM IESNA LM-79-08 TEST
 DATA (P24294)
 [TESTLAB] Innovations Center P2
 [ISSUEDATE] 8/30/2016
 [MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
 LIGHTING)
 [LUMCAT] GWC-AF-01-LED-E1-SL4-7030-800
 [LUMINAIRE] GALLEON WALL LUMINAIRE (1) 70 CRI, 3000K,
 800mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV SPILL
 LIGHT ELIMINATOR OPTICS

Maximum Candela = 3628.7 at 39 H 70 V

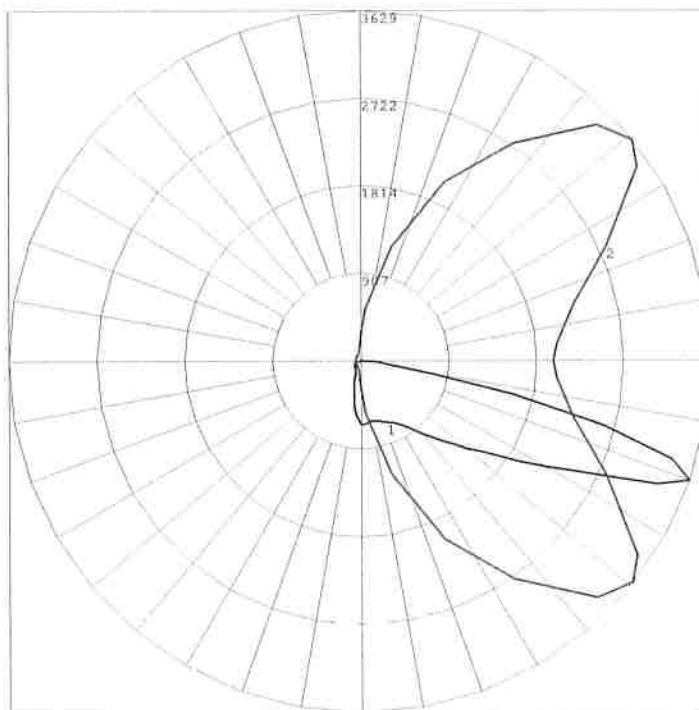
Classification:

Road Classification: Type IV, Short, N.A. (deprecated)
 Upward Wast Light Ratio: 0.00
 Luminaire Efficacy Rating (LER): 98
 Indoor Classification: Direct
 BUG Rating : B1-U0-G2

Polar Candela Curves:

Vertical Plane Through:
 1) 39 - 219 Horizontal

Horizontal Cone Through:
 2) 70 Vertical





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Photometric Report (Type C)

Filename: GWC-AF-01-LED-E1-SL4-7030-800 (1).ies
[TEST] P199989 TEST IS SCALED FROM IESNA LM-79-08 TEST
DATA (P24294)
[TESTLAB] Innovations Center P2
[ISSUEDATE] 8/30/2016
[MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
LIGHTING)
[LUMCAT] GWC-AF-01-LED-E1-SL4-7030-800
[LUMINAIRE] GALLEON WALL LUMINAIRE (1) 70 CRI, 3000K,
800mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV SPILL
LIGHT ELIMINATOR OPTICS

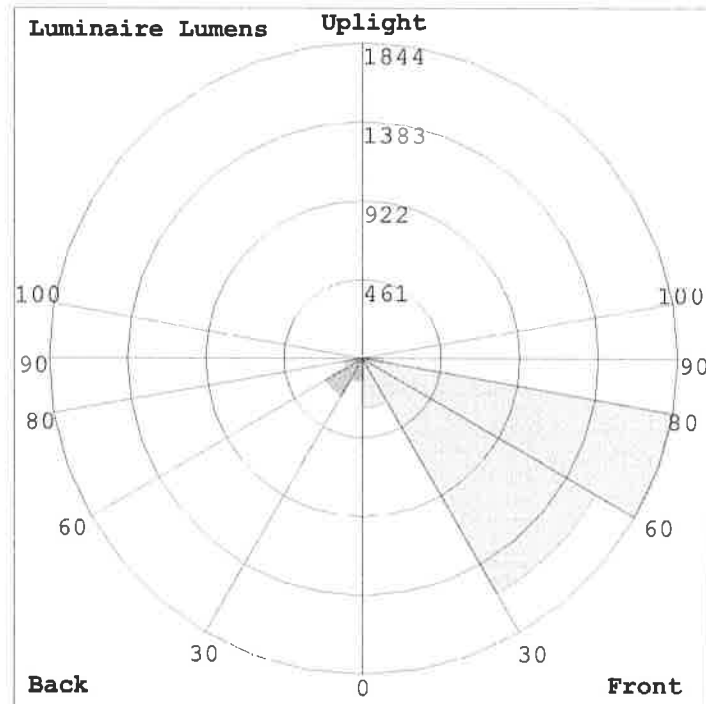
Maximum Candela = 3628.7 at 39 H 70 V

Classification:

Road Classification: Type IV, Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 98
Indoor Classification: Direct
BUG Rating : B1-U0-G2

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	285.7	N.A.	6.6
FM (30-60)	1578.4	N.A.	36.5
FH (60-80)	1843.9	N.A.	42.7
FVH (80-90)	120.7	N.A.	2.8
BL (0-30)	130.3	N.A.	3.0
BM (30-60)	245.9	N.A.	5.7
BH (60-80)	103.1	N.A.	2.4
BVH (80-90)	12.0	N.A.	0.3
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	4320.0	N.A.	100.0
BUG Rating	B1-U0-G2		





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Photometric Report (Type C)

Filename: GWC-AF-01-LED-E1-SL2-7030-600.ies
 [TEST] P199955 TEST IS SCALED FROM IESNA LM-79-08 TEST
 DATA (P24286)
 [TESTLAB] Innovations Center P2
 [ISSUEDATE] 8/30/2016
 [MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
 LIGHTING)
 [LUMCAT] GWC-AF-01-LED-E1-SL2-7030-600
 [LUMINAIRE] GALLEON WALL LUMINAIRE (1) 70 CRI, 3000K,
 615mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE II SPILL
 LIGHT ELIMINATOR OPTICS

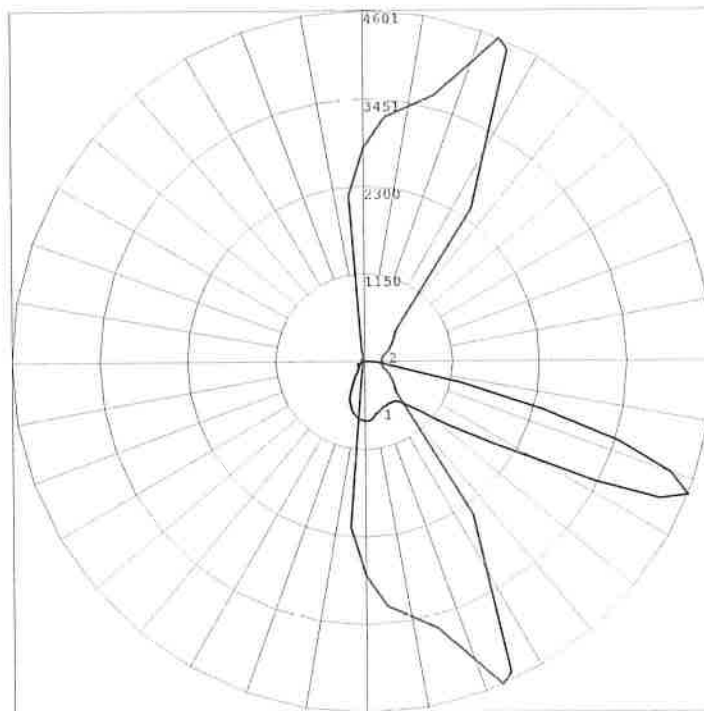
Maximum Candela = 4600.7 at 67 H 67.5 V

Classification:

Road Classification: Type II, Short, N.A. (deprecated)
 Upward Wast Light Ratio: 0.00
 Luminaire Efficacy Rating (LER): 107
 Indoor Classification: Direct
 BUG Rating : B1-U0-G1

Polar Candela Curves:

Vertical Plane Through:
 1) 67 - 247 Horizontal
 Horizontal Cone Through:
 2) 67.5 Vertical





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Photometric Report (Type C)

Filename: GWC-AF-01-LED-E1-SL2-7030-600.ies
 [TEST] P199955 TEST IS SCALED FROM IESNA LM-79-08 TEST
 DATA (P24286)
 [TESTLAB] Innovations Center P2
 [ISSUEDATE] 8/30/2016
 [MANUFAC] EATON - MCGRAW-EDISON (FORMER COOPER
 LIGHTING)
 [LUMCAT] GWC-AF-01-LED-E1-SL2-7030-600
 [LUMINAIRE] GALLEON WALL LUMINAIRE (1) 70 CRI, 3000K,
 615mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE II SPILL
 LIGHT ELIMINATOR OPTICS

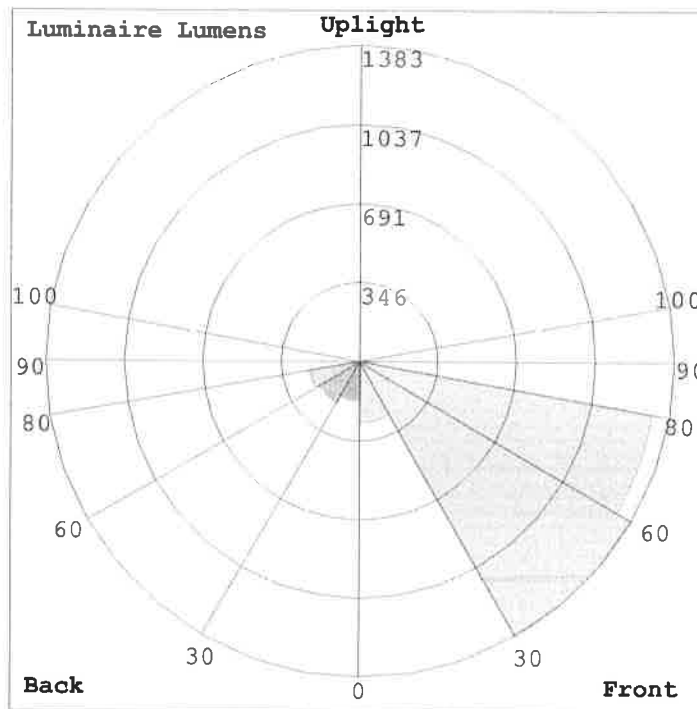
Maximum Candela = 4600.7 at 67 H 67.5 V

Classification:

Road Classification: Type II, Short, N.A. (deprecated)
 Upward Waste Light Ratio: 0.00
 Luminaire Efficacy Rating (LER): 107
 Indoor Classification: Direct
 BUG Rating : B1-U0-G1

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	264.3	N.A.	7.3
FM (30-60)	1382.8	N.A.	38.1
FH (60-80)	1308.2	N.A.	36.0
FVH (80-90)	74.2	N.A.	2.0
BL (0-30)	166.8	N.A.	4.6
BM (30-60)	202.2	N.A.	5.6
BH (60-80)	222.5	N.A.	6.1
BVH (80-90)	10.2	N.A.	0.3
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	3631.2	N.A.	100.0
BUG Rating	B1-U0-G1		



Specifications/Features

Specification grade 3-1/2" diameter aluminum housing for indoor and outdoor applications.

Six (6) mounting options available: ceiling, flexible cable, rigid stem, track, wall mount, or up/down mount.

Driver canopy for flexible cable option is cast aluminum.

Ceiling, pendant, up/down, and wall mount versions are available in either dry/damp (indoor) or wet (outdoor) location types. Flexible cable and track versions are only available in dry/damp location type.

Available in 6" and 10" high cylinders.

Available in matte white, matte black, matte silver, and satin bronze finishes. Black flexible cable with black or bronze cylinders, white with white and gray with silver.

Available in spot (12°), medium (27°), and flood (40°) distributions. Each molded TIR optic has been optically engineered to provide a smooth, uniform beam; maximizing output and minimizing glare.

Mounting

Pendant mount cylinders feature a sloped ceiling canopy. Stem thread: 1/4-18NPS. Stem lengths ordered separately.

Ceiling and Pendant cylinders provide a hang support for hands-free wiring.

Flexible cable mount cylinders come with 120" of field adjustable cable.

Lamp/Electrical

Light engine consists of a high output multi-chip LED array arranged into a single LED package, enabling precise optical control without requiring lensing to diffuse multiple LED sources.

Excellent fixture-to-fixture color consistency within a 3-step MacAdam Ellipse tolerance.

System designed and rated for 50,000 hours at 70% lumen maintenance.

UL8750 and Class 2 compliant: RoHS compliant, U.S. only.

Output over voltage, over current and short circuit protected.

Flexible cable cylinder utilizes 18/3 or 18/5 SJT cable.

Dimming

All CY3 cylinders are available for non-dimming and dimming applications.

Warranty

This complete fixture is covered by ConTech's full five (5) year replacement guarantee after date of purchase.

Labels/Usage

cCSAus Certified for use in the U.S. and Canada.

Ceiling, Pendant, Up/down, and Wall mount models available as Damp/Dry or Wet location models. Flexible Cable mount only available as Damp/Dry location model. Wet location models must be installed per specific product installation instructions and all appropriate National Electrical Codes.

Energy Star Certified for all mounting options except the Up/Down Wall Mount.

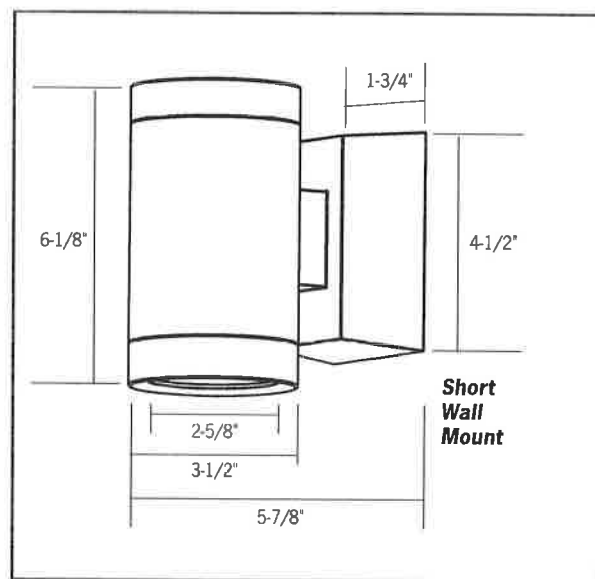
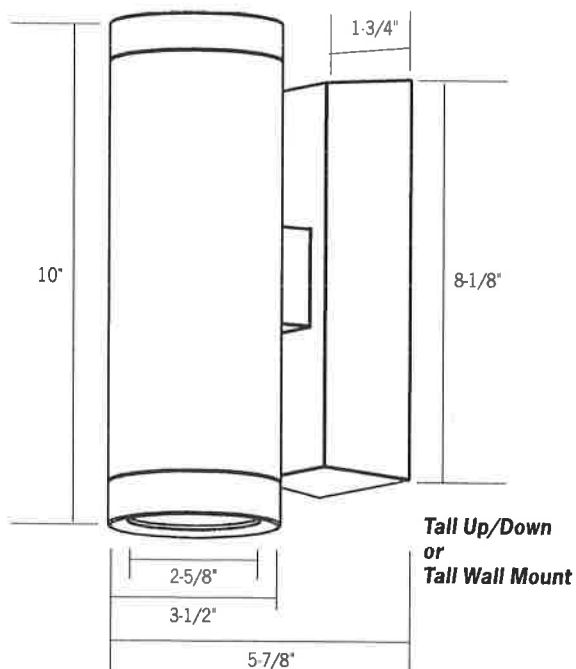
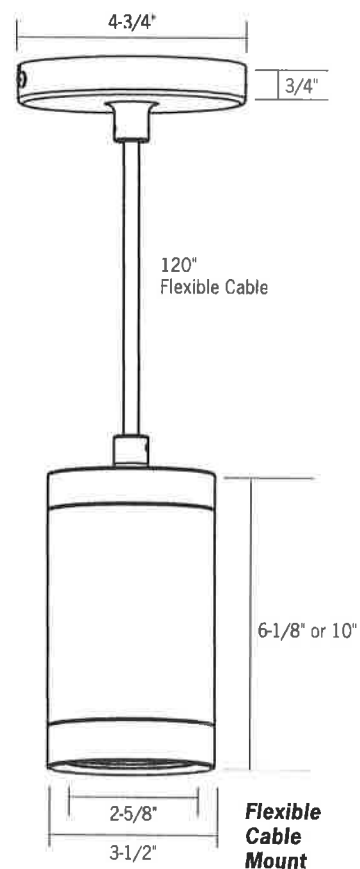
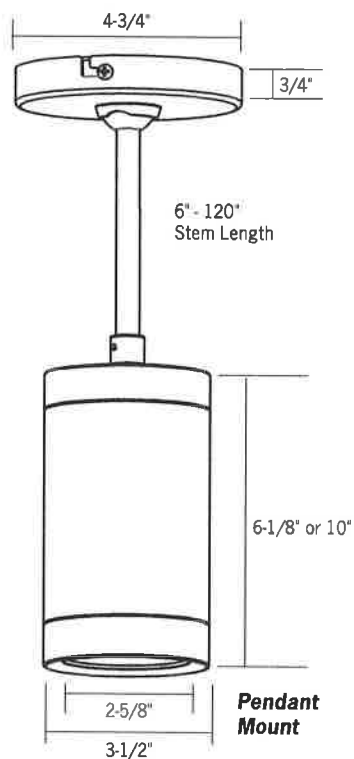
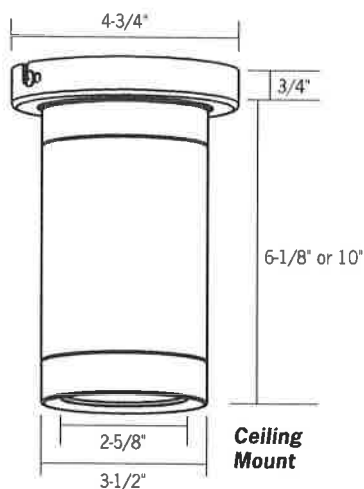
Wet Location models achieve IP65 Rating.

Assembled in the U.S.A

**Pendant Mount**

Line drawings and dimensions on page 2

Dimensions



CY3 3-1/2" Integrated LED Indoor and Outdoor Cylinders

Catalog No. _____

Type _____

Project _____

Ordering Information

Example Order: CY3T227KMVD2UDXM - BZ

Fixture	Height	LED Series	Color Temp	Driver/Dimming	Mounting	Mounting Location	Beam	Finish
CY3	S	1	30K	12D1	W	X	F	B
CY3	S - 6" Tall T - 10" Tall	1 - 10W, 1100lm 2 - 14W, 1400lm 3 - 20W, 1800lm	27K - 2700K 30K - 3000K 35K - 3500K 40K - 4000K 27KC - 2700K, 90+ CRI 30KC - 3000K, 90+ CRI 35KC - 3500K, 90+ CRI 40KC - 4000K, 90+ CRI	12D1 - 120V TRIAC/ELV Dimming MVD2 ¹ - 120V- 277V, 0-10V Dimming	C - Ceiling Mount FC ² - Flexible Cable RS - Rigid Stem W ³ - Wall Mount UD ⁴ - Up/Down Wall Mount TFC ⁵ - Track Adapter	- Interior Dry/Damp (Leave Blank) X - Exterior/Wet	S - Spot M - Medium F - Flood	B - Matte Black BZ - Satin Bronze P - Matte White S - Matte Silver

1. 6" Series 1 fixtures are NOT available with MVD2 drivers for ceiling, flexible cable, or rigid stem mounting options
2. Flex Cable only available in interior (damp) location
3. Wall Mount fixtures may be installed in the up or down orientation
4. Up/Down mounting available in 10" height only
5. TFC Mounting is only available with 12D1 driver option
6. Consult factory when different lumen packages, color temperatures or beam spreads are required in a single up/down luminaire.

Accessories

Extra Optics

2INOPTIC-S - 2" TIR Optic, Spot Beam
2INOPTIC-M - 2" TIR Optic, Medium Beam
2INOPTIC-F - 2" TIR Optic, Flood Beam

Lenses and Accessory Holder

FA-47 - Accessory Holder
LF16-* 60MM
2-3/8" Dia. tempered glass lenses and filters.
1/8" Thick, typ. Requires FA-47 Accessory Holder.

***Color/Pattern Legend**
-A (Amber), -B (Blue), -CL (Clear), -DPE (Dichroic Peach),
-G (Green), -LB (Light Blue), -R (Red), -RO (Rose),
-Y (Yellow), -73 (Spread Lens), -LS (Linear Spread Lens),
-SL (Soft Light), -SOL (Solite Lens),

Stems for RS Mounting

Each RS mount fixture includes one 6" Stem; order extra lengths and couplings as needed.

6" STEM(A) - 6" Stem
12" STEM(A) - 12" Stem
18" STEM(A) - 18" Stem
24" STEM(A) - 24" Stem
30" STEM(A) - 30" Stem
36" STEM(A) - 36" Stem
42" STEM(A) - 42" Stem
48" STEM(A) - 48" Stem
COUPLING - Stem Coupling

Finish

B - Matte Black
BZ - Satin Bronze
P - Matte White
S - Matte Silver





Photometric Report (Type C)

Filename: cy3s330k12d1cf-p-g16122003_0.ies

[TEST] G16122003

[TESTLAB] CONTECH LIGHTING

[ISSUEDATE] 1/4/2017

[MANUFAC] CONTECH LIGHTING

[LUMCAT] CY3S330K12D1CF-P

[LUMINAIRE] 3-1/2" CEILING MOUNT CYLINDER, SERIES 3,
3000K, FLOOD OPTIC, WHITE

[LAMP] LED COB 9mm LES

[BALLAST] LED DRIVER 500mA

Maximum Candela = 4849 at 0 H 0 V

Classification:

Road Classification: Type V, Very Short, N.A. (deprecated)

Upward Wast Light Ratio: 0.00

Luminaire Efficacy Rating (LER): 185

Indoor Classification: Direct

BUG Rating : B2-U0-G0

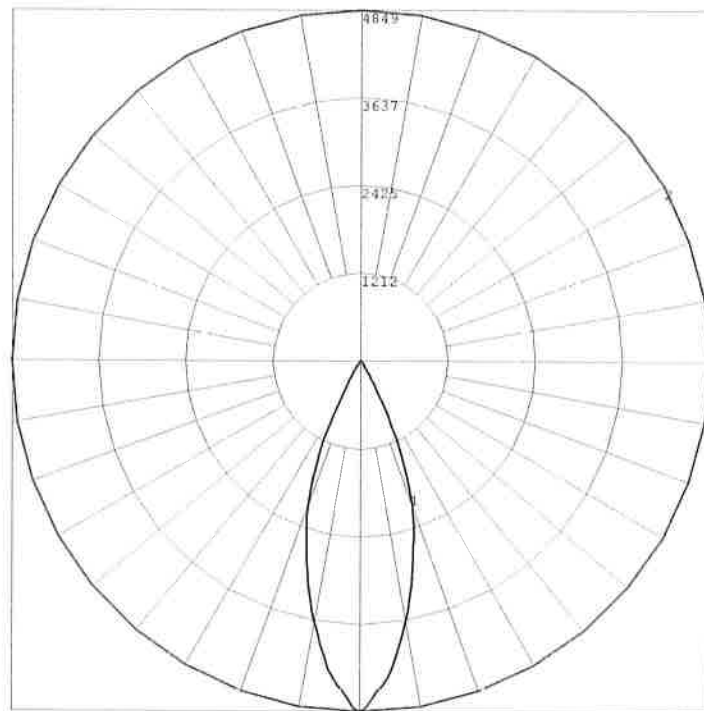
Polar Candela Curves:

Vertical Plane Through:

1) 0 - 180 Horizontal

Horizontal Cone Through:

2) 0 Vertical





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Photometric Report (Type C)

Filename: cy3s330k12d1cf-p-g16122003_0.ies

[TEST] G16122003
[TESTLAB] CONTECH LIGHTING
[ISSUEDATE] 1/4/2017
[MANUFAC] CONTECH LIGHTING
[LUMCAT] CY3S330K12D1CF-P
[LUMINAIRE] 3-1/2" CEILING MOUNT CYLINDER, SERIES 3,
3000K, FLOOD OPTIC, WHITE
[LAMP] LED COB 9mm LES
[BALLAST] LED DRIVER 500mA

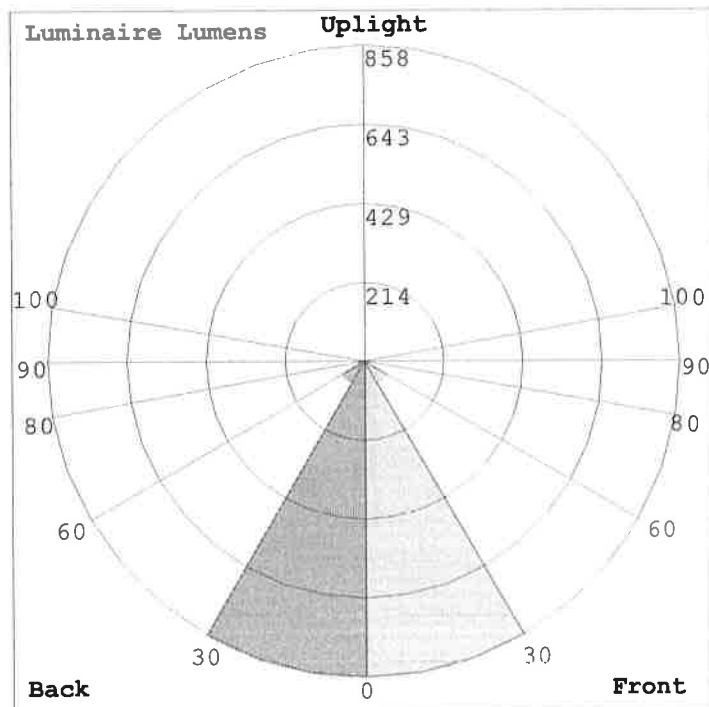
Maximum Candela = 4849 at 0 H 0 V

Classification:

Road Classification: Type V, Very Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 185
Indoor Classification: Direct
BUG Rating : B2-U0-G0

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	857.6	N.A.	46.3
FM (30-60)	66.6	N.A.	3.6
FH (60-80)	2.6	N.A.	0.1
FVH (80-90)	0.1	N.A.	0.0
BL (0-30)	857.6	N.A.	46.3
BM (30-60)	66.6	N.A.	3.6
BH (60-80)	2.6	N.A.	0.1
BVH (80-90)	0.1	N.A.	0.0
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	1853.8	N.A.	100.0
BUG Rating	B2-U0-G0		



DESCRIPTION

The Lumark Wal-Pak wall luminaire provides traditional architectural style with high performance energy efficient illumination. Rugged die-cast aluminum construction, stainless steel hardware along with a sealed and gasketed optical compartment make the Wal-Pak virtually impenetrable to contaminants. IP66 Rated. Three available lamp sources including patented energy efficient LED, pulse start metal halide and high pressure sodium. UL/cUL wet location listed. The Wal Pak wall luminaire is ideal for pathway illumination, building entrances, vehicle ramps, schools, tunnels, stairways and loading docks.

SPECIFICATION FEATURES

Housing

Rugged one-piece die-cast aluminum housing and hinged, removable die-cast aluminum door. One-piece silicone gasket seals the optical chamber. UL 1598 wet location listed and IP66 ingress protection rated.

Electrical

Ballasts, LED driver and related electrical components are hard mounted to the die-cast housing for optimal heat sinking and operating efficiency. Wiring is extended through a silicone gasket at the back of the housing. Three 1/2" threaded conduit entry points allow for thru-branch wiring. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from LED source. Integral LED electronic driver incorporates internal fusing designed to withstand a 6kV surge test and is Class 2 rated for 120-277V with an operating temperature of -40° to 55°C. Wal-

Pak LED systems maintain greater than 93% of the initial light output after 72,000 hours of operation. UL listed HID high power factor ballasts are Class H insulation rated (high pressure sodium: 250, 400W [-40°C / -40°F]. High efficiency HID ballasts are available in 120, 208, 240, 277, 347 and 480V.

Optical

Highly reflective anodized aluminum reflectors provide high efficiency illumination. Optical assemblies include impact resistant borosilicate refractive glass, and full cutoff IESNA compliant configurations. Patented, solid state LED luminaires are thermally optimized with three lumen packages. HID models are offered in horizontal medium or mogul based metal halide [MP] or high pressure sodium [HP] lamps.

Door Assembly

Single point, captive stainless steel hardware secures the removable hinged door allowing for ease of

installation and maintenance. Door assembly is hinged at the bottom for easy removal, installation and re-lamping.

Finish

Finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, bronze, black, dark platinum and graphite metallic. Consult your lighting representative at Eaton for a complete selection of standard colors.

Efficiency Standards Notice
Select luminaires are manufactured to USA and California efficiency regulations.



WP WAL-PAK

27, 32 and 46W

LED

250 - 400W

Pulse Start Metal Halide

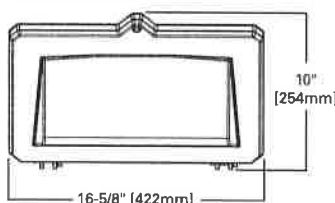
250 - 400W

High Pressure Sodium

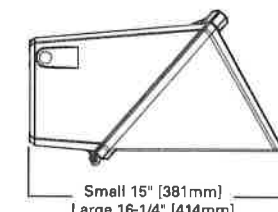
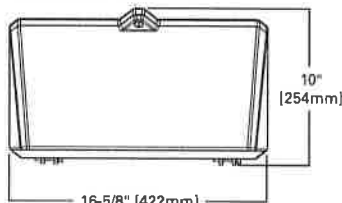
WALL MOUNT LUMINAIRE

DIMENSIONS

BOROSILICATE GLASS DOOR (GL)



FULL CUTOFF DOOR (FC)



TECHNICAL DATA

UL/cUL Wet Location Listed
IP66 Rated
40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum
EISA @, ARRA, Title 20 Compliant
LM79 / LM80 Compliant

ENERGY DATA

CWA Ballast Input Watts
200W HPS HPF (250 Watts)
250W MP HPF (283 Watts) @
400W HPS HPF (465 Watts)
400W MP HPF (452 Watts) @

SHIPPING DATA

Approximate Net Weight:
32-42 lbs. (15-19 kgs.)





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www.agi32.com

Photometric Report (Type C)

Filename: LDWP-FC-3B-ED-7040.ies
 [TEST] P26563
 [TESTLAB] INNOVATIONS CENTER-P2
 [ISSUEDATE] 08/11/15
 [MANUFAC] EATON - LUMARK (FORMER COOPER LIGHTING)
 [LUMCAT] LDWP-FC-3B-ED-7040
 [LUMINAIRE] LUMARK WALPAK CUTOFF 2LED 4000K
 [LAMP] (2) 4000K COB LEDS
 [BALLAST] [1] ELECTRONIC DRIVER

Maximum Candela = 1023 at 75 H 40 V

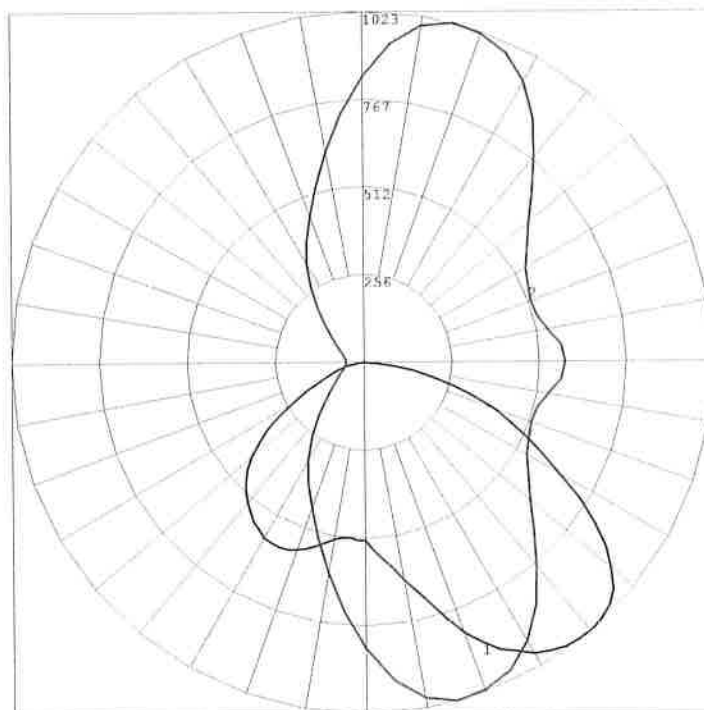
Classification:

Road Classification: Type II, Very Short, N.A. (deprecated)
 Upward Wast Light Ratio: 0.00
 Luminaire Efficacy Rating (LER): 69
 Indoor Classification: Direct
 BUG Rating : B1-U0-G1

Polar Candela Curves:

Vertical Plane Through:
 1) 75 - 255 Horizontal

Horizontal Cone Through:
 2) 40 Vertical





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Photometric Report (Type C)

Filename: LDWP-FC-3B-ED-7040.ies
[TEST] P26563
[TESTLAB] INNOVATIONS CENTER-P2
[ISSUEDATE] 08/11/15
[MANUFAC] EATON - LUMARK (FORMER COOPER LIGHTING)
[LUMCAT] LDWP-FC-3B-ED-7040
[LUMINAIRE] LUMARK WALPAK CUTOFF 2LED 4000K
[LAMP] (2) 4000K COB LEDS
[BALLAST] [1] ELECTRONIC DRIVER

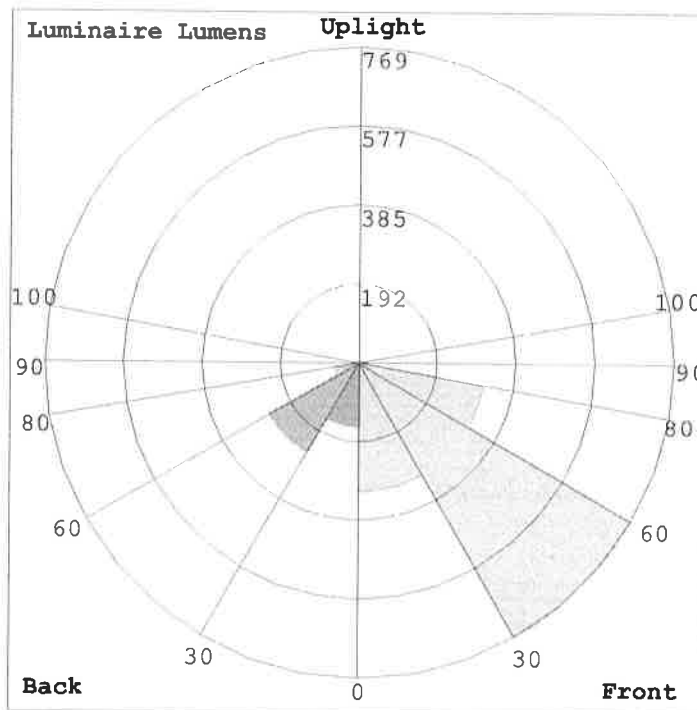
Maximum Candela = 1023 at 75 H 40 V

Classification:

Road Classification: Type II, Very Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 69
Indoor Classification: Direct
BUG Rating : B1-U0-G1

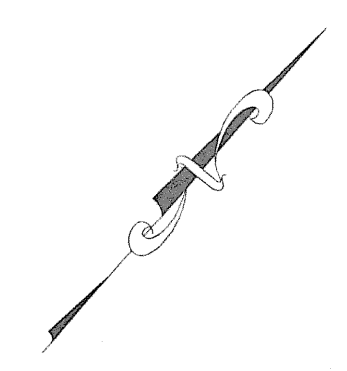
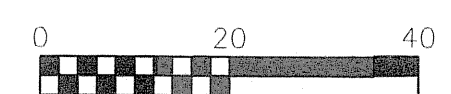
LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	314.6	N.A.	16.7
FM (30-60)	769.3	N.A.	40.8
FH (60-80)	309.3	N.A.	16.4
FVH (80-90)	23.5	N.A.	1.2
BL (0-30)	154.3	N.A.	8.2
BM (30-60)	250.8	N.A.	13.3
BH (60-80)	58.7	N.A.	3.1
BVH (80-90)	3.1	N.A.	0.2
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	1883.6	N.A.	100.0
BUG Rating	B1-U0-G1		



	KLEIN'S GREENHOUSE LUMINIAIRE SCHEDULE							
QTY	TYPE	DESCRIPTION	CCT	NOMINAL DELIVERED LUMENS	NOMINAL WATTAGE	MFTR	MODEL #	NOTES
3	B	36" BOLLARD, TYPE 5 DISTRIBUTION, BLACK FINISH.	4000	1,780	22	CREE	PATHWAY EDGE PWY-EDG-5M -P3-02-E-UL-BK-350-40K	
2	P	POLE MOUNTED TYPE 5 DISTRIBUTION AREA LIGHT. MOUNT ON 20' ROUND STRAIGHT STEEL POLE WITH 2.5' HIGH CONCRETE RAISED BASE. FINISH TO BE DETERMINED.	3000	17,000	166	MC-GRAW EDISON	GALLEON GLEON-AF-03-LED-E1-6WQ-XX-7030	
2	W1	WALL MOUNTED FULL CUTOFF WALL PACK. TYPE 4 DISTRIBUTION WITH INTEGRAL HOUSE SIDE SHIELD. MOUNT AT 10' AFG. BLACK FINISH.	3000	3631	34	MC-GRAW EDISON	GALLEON WALL GWC-AF-01-LED-E1-SL4-XX-7030-HSS	
5	W2	WALL MOUNTED FULL CUTOFF WALL PACK. TYPE 2 DISTRIBUTION WITH INTEGRAL HOUSE SIDE SHIELD. MOUNT AT NOMINAL ELEVATIONS AS SHOWN ON CALCULATIONS TO COORDINATE WITH GREENHOUSE REQUIREMENTS. BLACK FINISH	3000	3631	34	MC-GRAW EDISON	GALLEON WALL GWC-AF-01-LED-E1-SL2-XX-7030--600-HSS	
12	W3	WALL MOUNTED FULL CUTOFF CYLINDRICAL DOWNLIGHT, WIDE DISTRIBUTION. BLACK FINISH. MOUNT AT 9' AFG TO SURFACE CONDUIT ON TRELLIS	3000	870	10	CON-TECH LIGHTING	CY3-S-3-35K-12D1-W-X-S-X	
1	W4	WALL MOUNTED FULL CUTOFF WALL PACK. MOUNT 12" ABOVE DOOR FRAME. BLACK FINISH	4000	1885	27	LUMARK	LDWP-FC-3B-ED-7040	
3	EX-1	EXISTING LIGHT POLE TO REMAIN. USED 250W PSMH TYPE 5 DISTRIBUTION AT 27.5' MOUNTING HEIGHT FOR CALCULATIONS.	xxxx	17,015	283	file used for estimation of existing lighting Streetworks GMX25PXX5SF		
1	EX-2	EXISTING LIGHT POLE TO REMAIN. USED 250W PSMH TYPE 2 DISTRIBUTION AT 27.5' MOUNTING HEIGHT FOR CALCULATIONS.	xxxx	17,015	283	file used for estimation of existing lighting Streetworks GMX25PXX2SF		

Klein's Floral & Greenhouses Redevelopment



Calculation Summary - Including Existing Lighting						
Label	CalcType	Units	Ave	Max	Min	Ave/Min
Back Access Drive	Illuminance	Fc	2.42	4.10	0.70	3.46
East Drive	Illuminance	Fc	1.66	6.80	0.20	8.30
Entrance and Exterior Display	Illuminance	Fc	1.65	29.0	0.00	N.A.
Entry Drive	Illuminance	Fc	1.30	4.20	0.20	6.50
Ground at Property Line	Illuminance	Fc	0.12	6.40	0.00	N.A.
Parking	Illuminance	Fc	1.53	3.40	0.40	3.84
Upper Parking	Illuminance	Fc	1.39	2.60	0.80	1.74
						3.25

WALGREEN'S

HOME SAVINGS

EAST WASHINGTON AVENUE

L-400
Lighting Photometrics Plan



exit
beam
DMS

KLING GARDEN -
~ FLOKAL ~
WISCONSIN
KARSTEN

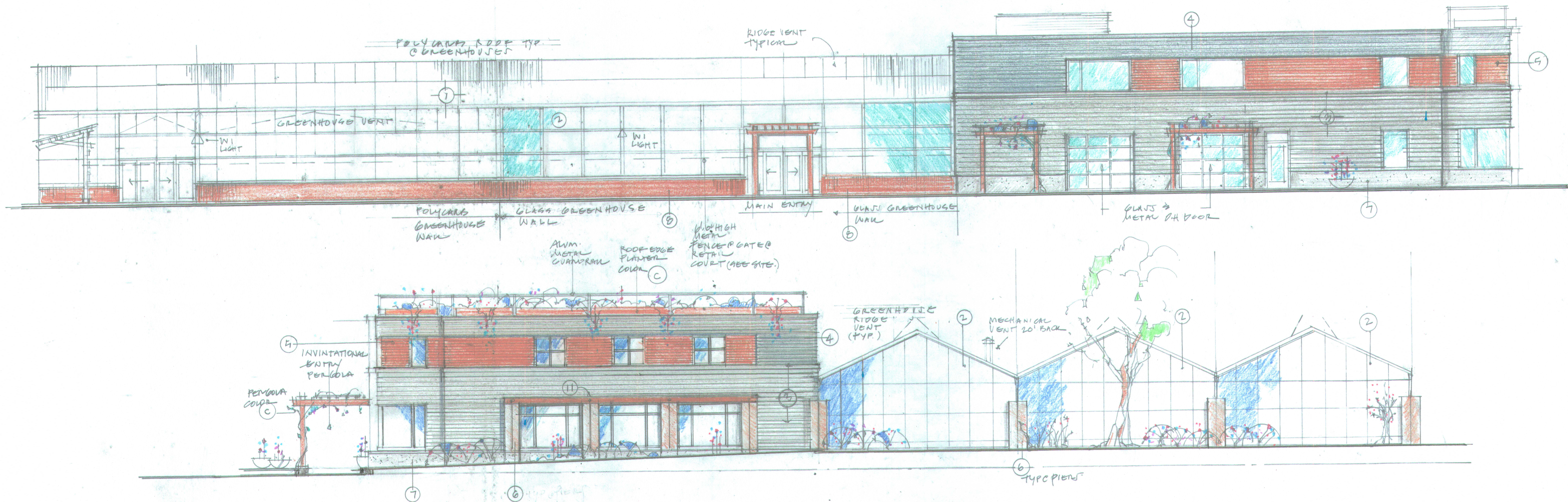
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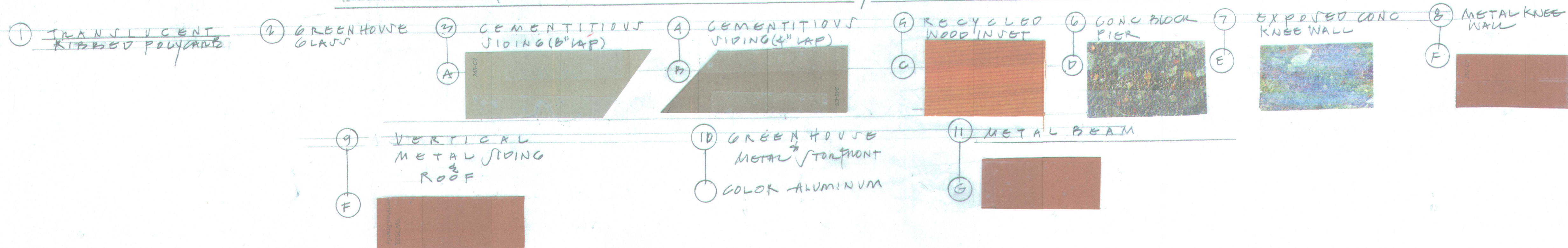
REVISION DATED
△ FEB 27, 2011

100



EAST WASHINGTON
ELEVATION

MATERIALS / COLOR KEY



PROJECT NUMBER:
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CHECKED BY:
ISSUE DATE:
ISSUED FOR:

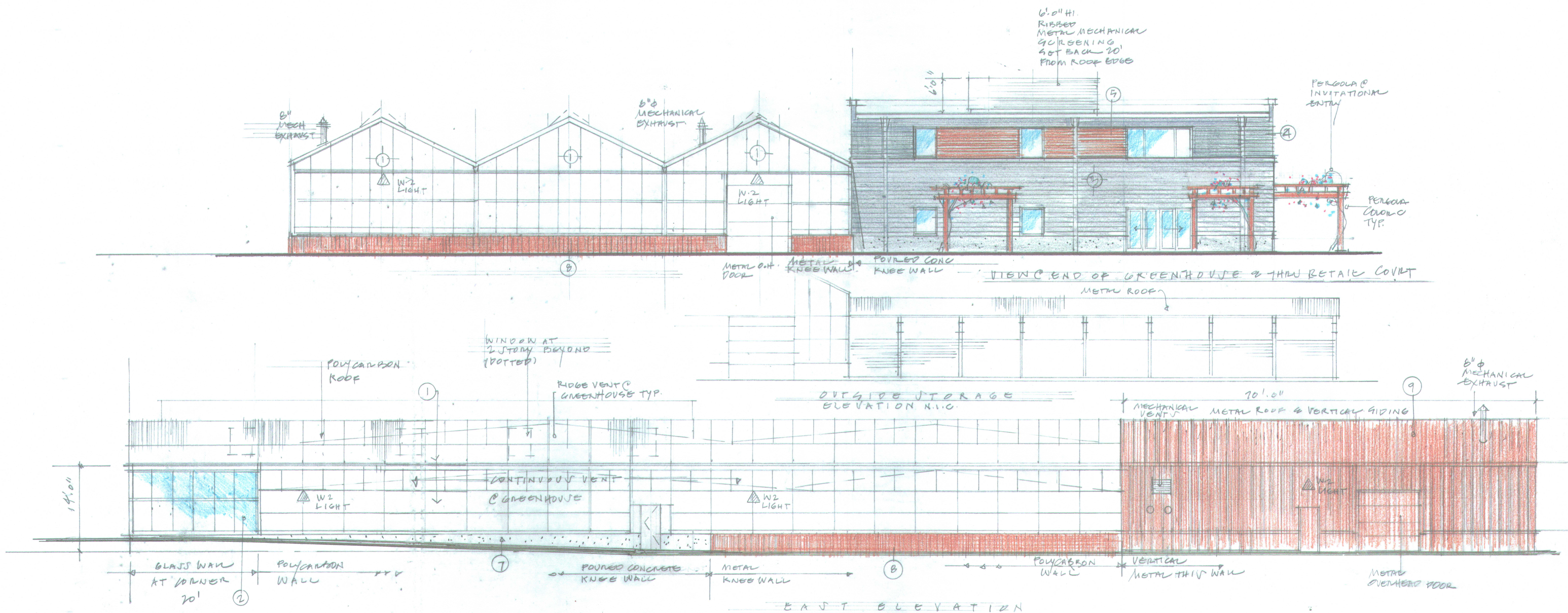
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