



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:

<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100

PO Box 2985; Madison, Wisconsin 53701-2985

Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>October 12, 2016</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>12-14-16</u>	<input checked="" type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input type="checkbox"/> Final Approval

1. Project Address: 1610 W. Washington, 700 Regent St, 740 Regent St, 780 Regent St
Project Title (if any): Rail Corridor

2. This is an application for (Check all that apply to this UDC application):

☐ New Development ☒ Alteration to an Existing or Previously-Approved Development

A. Project Type:

- ☐ Project in an Urban Design District* (public hearing-\$300 fee)
- ☐ Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- ☐ Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- ☒ Planned Development (PD)
- ☐ General Development Plan (GDP)
- ☒ Specific Implementation Plan (SIP)
- ☐ Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- ☒ Comprehensive Design Review* (public hearing-\$300 fee) ☐ Street Graphics Variance* (public hearing-\$300 fee)
- ☐ Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

☐ Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: <u>Kendra Bishop</u>	Company: <u>The Alexander company</u>
Street Address: <u>345 W. Washington Ave, Ste 301</u>	City/State: <u>Madison, WI</u> Zip: <u>53703</u>
Telephone: <u>(608) 210-8114</u> Fax: <u>(608) 258-5599</u>	Email: <u>kbishop@alexandercompany.com</u>
Project Contact Person: <u>Dave Kaul, AIA</u>	Company: <u>The Alexander Company</u>
Street Address: <u>345 W. Washington Ave, Ste 301</u>	City/State: <u>Madison WI 537</u> Zip: <u>53703</u>
Telephone: <u>(608) 210-8120</u> Fax: <u>(608) 258-5599</u>	Email: <u>dnk@alexandercompany.com</u>
Project Owner (if not applicant): <u>The Alexander Company, Inc.</u>	
Street Address: <u>345 W. Washington Ave, Ste 301</u>	City/State: <u>Madison, WI</u> Zip: <u>53713</u>
Telephone: <u>(608) 258-5580</u> Fax: <u>(608) 258-5599</u>	Email: <u>info@alexandercompany.com</u>

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Dave Kaul / Al Martin on 5/24/16.

(name of staff person)

(date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant: Kendra Bishop Relationship to Property: Director of Mktg @ Alex Co.

Authorized Signature: Kendra Bishop Date: 10/12/16

November 16, 2016

URBAN DESIGN COMMISSION APPLICATION

Rail Corridor

Alexander
Company

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November 16, 2016

Mr. Al Martin, Secretary of the Urban Design Commission
Department of Planning and Development
City of Madison
215 Martin Luther King Jr. Blvd.
Room LL-100
Madison, WI 53703

RE: Comprehensive Design Review Submittal
Addition to Existing Signage
660 West Washington Avenue, 700 Regent Street, 740 Regent Street, 780 Regent Street

Dear Mr. Martin,

The purpose of this letter is to request an addition to the signage plan of an existing development on the north side of Regent Street, owned and managed by The Alexander Company.

The development consists of four buildings, identified as "the Rail Corridor" - 700 Regent Street, 740 Regent Street, 780 Regent Street, and 660 West Washington Avenue. The sign package for 660 West Washington Avenue was approved in 2010, consisting of first floor canopy tenant signage only - attached. One additional piece of building signage is being requested for 660 West Washington Avenue, as well as new building signage for 700 Regent Street, 740 Regent Street, and 780 Regent Street - as described below and in the attached documents.

As to 660 West Washington Avenue, the majority of the existing signage is on the west elevation (front of building), suspended from the front edge of existing canopies, consisting of individual cut out letters with white acrylic faces, black aluminum boxes, and internally lit by LED bulbs. All letters are a maximum of 22" tall, contain a logo script of the tenant's choice, and are mounted to two square aluminum raceway bars.

The requested signage for 660 West Washington is for the tenant Life Style Staffing, located on the north side of the building with the entrance having zero visibility from the front of the building. Life

Style Staffing currently has the above-referenced signage on the west elevation; however, this is causing confusion amongst customers as they are searching for the entrance on the west elevation.

In light of the above, we are requesting approval to duplicate the Life Style Staffing signage on the west elevation, suspending the duplicated signage from the front edge of the canopy above their entrance on the north side of the building – identical to the signage plan in place, previously approved in 2010. This addition seamlessly matches the look and feel of our current signage plan, and provides the much-needed visibility to our tenant.

Furthermore, buildings at 700 Regent Street, 740 Regent Street, and 780 Regent Street do not have building signage; they rely solely on monument signage, as displayed in the enclosures. With parking found only behind these buildings – where monument signage isn't visible, tenants desire building signage to assist consumers in navigating to the appropriate building. Therefore, we are also seeking the addition of building signage, also displayed in the enclosures.

For your convenience, we are addressing the seven comprehensive design review standards, to-wit:

1. The Sign Plan shall create visual harmony between the signs, building(s), and building site through unique and exceptional use of materials, design, color, any lighting, and other design elements; and shall result in signs of appropriate scale and character to the uses and building(s) on the zoning lot as well as adjacent buildings, structures, and uses.

As depicted in the enclosed photography, the additional requested signage is entirely harmonious given it is identical to the signage already in place at 660 West Washington. The additions are being sought for the sole reason of improving wayfinding, at our tenants' requests.

The on-building, illuminated design standard consists of internally lit letters with a plexiglass face, appearing white at night and dark gray during the day. The signage is of a minimalist design so not to overwhelm the architectural details of the buildings. The signage is also consistent with the non-Alexander Company owned buildings at the corner of West Washington and Proudfit, so to unify all professional office buildings in close proximity and visible vicinity. The proposed signage is not to exceed 18.5", 24", or 28" in height (varies per building and elevation – further details enclosed), which we believe is the most appropriate scale for the buildings and uses.

The canopies found at 660 West Washington are consistent with the original canopies of the building, approved and replaced in 2010 for a more modern color, aluminum framing system, and appearance. Signage is suspended from the front edge of the canopy, with the canopy hiding the raceway bars for aesthetic purposes. The remaining signage's raceway bars are masked between columns, thus eliminating the need for additional canopies.

Currently, four ground signs exist on site – one representing the tenants in each building. The signable area of these double-sided ground signs totals 220 SF: 660 West Washington entails 64 SF; 700 Regent Street entails 40 SF; 740 Regent Street entails 64 SF; and 780 Regent Street entails 52 SF. At this time the ground signs at 660 West Washington and 740 Regent are harmonious while 700 and 780 Regent are dated. It is our plan to update the latter two ground signs in the future so that all four ground signs are unified within the zoning area. We do not anticipate that the updated ground signs will increase the total square footage.

For future review and approval purposes, we wish to limit the building signage areas and size, to-wit:

700 REGENT STREET

- **South Elevation:** Two illuminated signs not to exceed 30 SF per sign. No letter or logo will exceed 24" in height. The signs will be located between the second and third floor levels. The location of the signage was selected to complement the symmetry and architectures of the building and may not directly relate to tenant location.
- **East/West Elevation:** To allow for one wall sign on each elevation, not to exceed 30 SF per sign. No letter or logo will exceed 24" in height. The signs will be located between the second and third floor levels.

740 REGENT STREET

- **South Elevation:** To allow for two wall signs, not to exceed 40 SF per sign. No letter or logo will exceed 28" in height. The signs will be located above the columns, between the second and third floor levels, one on each side of the central architectural feature.
- **North Elevation:** To allow for two wall signs not to exceed 30 SF each, located above the second floor windows, on either side of the north side entrance. No letter or logo shall exceed 18.5" in height.

780 REGENT STREET

- **South Elevation:** To allow for one wall sign, not to exceed 30 SF. No letter or logo will exceed 24" in height. The sign will be located between the second and third floors at the center of the south elevation.
- **East Elevation:** To allow for two wall signs, not to exceed 30 SF each. No letter or logo will exceed 24" in height. One sign to be located between the second and third floor, one sign to be located above the third floor above the central entry feature.

660 WEST WASHINGTON AVENUE

- **South Elevation:** to allow for nine wall signs. No letter or logo will exceed 22" in height. Six signs are to be located on the first level between the columns to the southwest side, and three signs are to be located on the first level underneath the canopies to the southeast side.
- **East Elevation:** To allow for two wall sign. No letter or logo will exceed 22" in height. The sign will be located on the first level between the columns.
- **West Elevation:** To allow for one wall sign. No letter or logo will exceed 22" in height. The sign will be located on the first level between the columns, above the entrance.

2. Each element of the Sign Plan shall be found to be necessary due to unique or unusual design aspects in the architecture or limitations in the building site or surrounding environment.

The requested signage for 660 West Washington is for the tenant Life Style Staffing, located on the north side of the building with the entrance having zero visibility from the front of the building. Life Style Staffing currently has signage on the west elevation; however, this is causing confusion amongst customers as they are searching for the entrance on the west elevation. Thus, the signage at 660 West Washington is desired to bring much-needed visibility to Life Style Staffing given their low-visibility entrance, tucked behind the Summit Credit Union drive-through.

For buildings 700, 740, and 780 Regent, the desire for additional signage is for wayfinding purposes. The buildings referenced do not have building signage; they rely solely on ground signage displayed off of Regent Street. Given the interconnected parking lot, customers often enter the premises through a driveway that does not provide visibility to the respective building's ground signage. With all parking found behind these buildings, it

presents confusion in customer wayfinding – they are not certain which building holds the office user they are seeking.

We're requesting two pieces of signage on 780 Regent that technically do not face the street, or a parking lot. This request is being made in light of that building not facing the street or a parking lot; rather, it faces the driveway to the parking lot. The requested signage on the east elevation will grant the greatest visibility from Regent Street, and will properly reinforce the front façade of the building. Further, the centrally requested signage on the east elevation of 780 Regent Street is in fact more than four feet above the roofline.

Lastly, the sign on the west elevation at 700 Regent also does not face the street or a parking lot. However, this location grants the greatest visibility to vehicular traffic traveling east on Regent Street, where the ground signage isn't visible until directly in front of or past the building.

3. The Sign Plan shall not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2).

I confirm that the sign plan is designed to further the goals of safety and aesthetics and achieve the purposes outlined in § 31.02(1) and § 33.24(2).

4. All signs must meet minimum construction requirements under Sec. 31.04(5).

I confirm that all signage meets the minimum construction requirements under § 31.04(5).

5. The Sign Plan shall not approve Advertising beyond the restrictions in Sec. 31.11 or Off-Premise Directional Signs beyond the restrictions in Sec. 31.115.

I confirm that that the sign plan does not approve advertising beyond the restrictions in § 31.11 and § 31.115.

6. The Sign Plan shall not be approved if any element of the plan:

- a. presents a hazard to vehicular or pedestrian traffic on public or private property.
- b. obstructs views at points of ingress and egress of adjoining properties,
- c. obstructs or impedes the visibility of existing lawful signs on adjacent property, or
- d. negatively impacts the visual quality of public or private open space.

The additional signage requested does not present a hazard to vehicular or pedestrian traffic, does not obstruct views, does not obstruct or impede visibility of existing lawful signs, and does not negatively impact the visual quality of public or private open space.

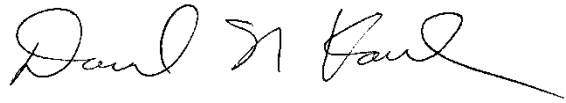
7. The Sign Plan may only encompass signs on private property of the zoning lot or building site in question, and shall not approve any signs in the right of way or on public property.

I confirm that the sign plan only encompasses signs on private property of the zoning lot.

Should you have any questions please do not hesitate to contact me at (608) 268-8128 or dnk@alexandercompany.com.

Sincerely,

The Alexander Company, Inc.

A handwritten signature in black ink, appearing to read "David N. Kaul", with a long horizontal flourish extending to the right.

David Kaul, AIA

Director of Design/Construction Services

Enclosures

DNK/klb



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Phone: 608.266.4635 | Facsimile: 608.267.8739

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☐ Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

☐ Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Kendra Bishop
Street Address: 345 W. Washington Ave, Ste 301
Telephone: (608) 268-8114 Fax: (608) 258-5599

Company: The Alexander Company
City/State: Madison, WI Zip: 53703
Email: kbishop@alexandercompany.com

Project Contact Person: Dave Kaul, AIA
Street Address: 345 W. Washington Ave, Ste 301
Telephone: (608) 268-8128 Fax: (608) 258-5599

Company: The Alexander Company
City/State: Madison WI 537 Zip: 53703
Email: dnk@alexandercompany.com

Project Owner (if not applicant): The Alexander Company, Inc.

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(name of staff person)

(date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Kendra Bishop

Relationship to Property Director of Mktg @ Alex co.

Authorized Signature Kendra Bishop

Date 10/12/16

8-18-2010
UDC Application
PUD SIP / Minor Alteration
Modifications to Existing Signage and Awnings
660 West Washington Avenue
Madison, Wisconsin

The Alexander Company proposes to revise the building signage and awnings at 660 West Washington, as described below and in the attached documents.

The majority of the existing signage is on the west elevation, (front of building) incorporated into the canvas canopies. There is one existing sign canopy on the north elevation and one on the south elevation. The existing sign text is a backlit integral part of the canopy. All of the existing canopies and signage will be removed, with the exception of the Summit Credit Union drive through structure signage

For the west elevation, south of the building main entrance:

The canopies will be replaced with a new canvas canopy on an aluminum frame, in the locations shown on the plan. (Note that the existing canopy covers the length of this side of the building, where the new canopy is divided into 3 separate sections) The signage will be suspended from the front edge of the canopy, and will consist of individual cut out letters, with a white acrylic face, and black aluminum box, internally lit by LED bulbs. The letters will be a maximum of 22" tall and will be in the logo script of the proposed tenants, mounted to two square aluminum raceway bars.

For the west elevation, north of the main entrance:

The existing green canvas signage panels between the columns will be removed. Where tenant signage is required, letters and raceway bars as described above will be mounted between the columns.

There are 9 potential sign locations on the west elevation, one on the north elevation and one each on the two south elevations. It is not likely that all available signage locations will be filled, as some tenants will occupy more than one bay of the building.

One tenant space (Lifestyle Staffing) located on the north side of the building has no visibility from the front of the building, as it is located behind the bank drive through canopy. There is currently one sign above the entry to this space, and an additional sign on the west side of the building. Two signs are being requesting for this space because of the limited visibility. With the exception of this one space, it is proposed to have one sign per tenant, unless the tenant occupies a corner space, in which case they would be allowed 2 signs, one on each side of the corner.

This alteration does not affect any of the existing ground signage.

Contact Person:

David Kaul

The Alexander Company

145 East Badger Road

Madison Wi. 53713

608-268-8128

dnk@alexandercompany.com

PRELIMINARY
FOR INFORMATION PURPOSE ONLY
NOT FOR CONSTRUCTION

7-6-10 SCHEMATIC DESIGN
7-22-10 DESIGN DEVELOPMENT
8-2-10 BID DOCUMENTS
8-16-10 CITY SUBMITTAL

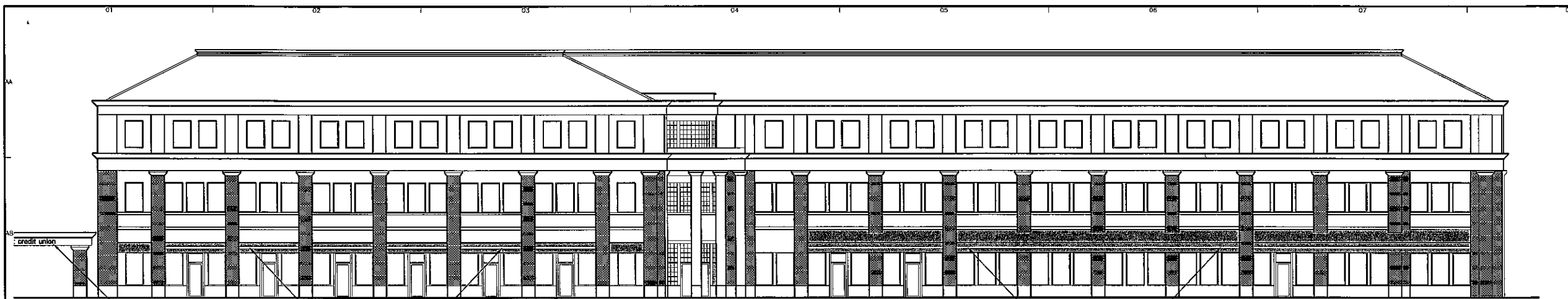
DRAWN: DZ APPR.: DDK

CITY STATION
660 REGENT STREET
MADISON WI

PROJECT # 10-709

EXTERIOR
BUILDING
ELEVATIONS

A5.1

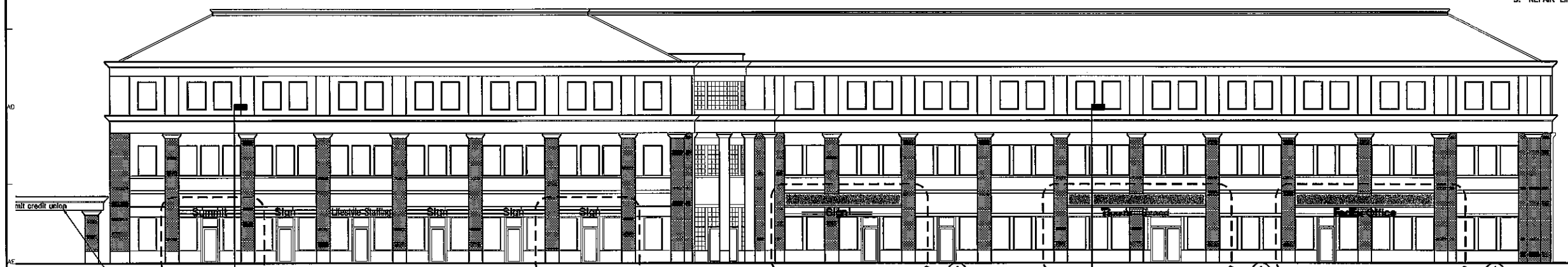


1 SOUTH ELEVATION - EXISTING
SCALE: 3/32" = 1'-0"



GENERAL ELEVATION NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS. NO ALLOWANCE WILL BE MADE FOR THE CONTRACTOR'S FAILURE TO DETERMINE THE FULL EXTENT OF WORK TO BE PERFORMED.
2. REMOVE ALL EXISTING CANVAS AWNINGS, LIGHT BOXES, AND FRAMING.
3. REPAIR EIFS AT ALL CONNECTION POINTS.



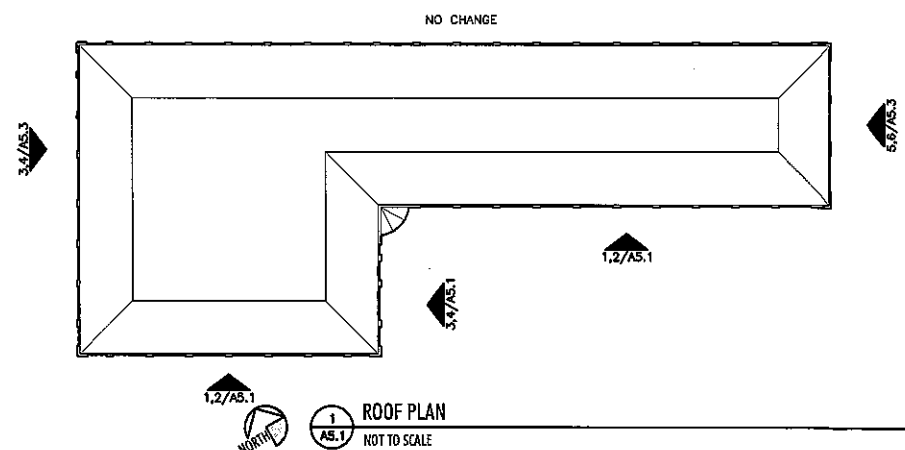
2 SOUTH ELEVATION - NEW
SCALE: 3/32" = 1'-0"



3 EAST ELEVATION - EXISTING
SCALE: 3/32" = 1'-0"



4 EAST ELEVATION - NEW
SCALE: 3/32" = 1'-0"



1 ROOF PLAN
NOT TO SCALE

PRELIMINARY
FOR INFORMATION PURPOSE ONLY
NOT FOR CONSTRUCTION

7-6-10 SCHEMATIC DESIGN
7-22-10 DESIGN DEVELOPMENT
8-2-10 BID DOCUMENTS
8-16-10 CITY SUBMITTAL

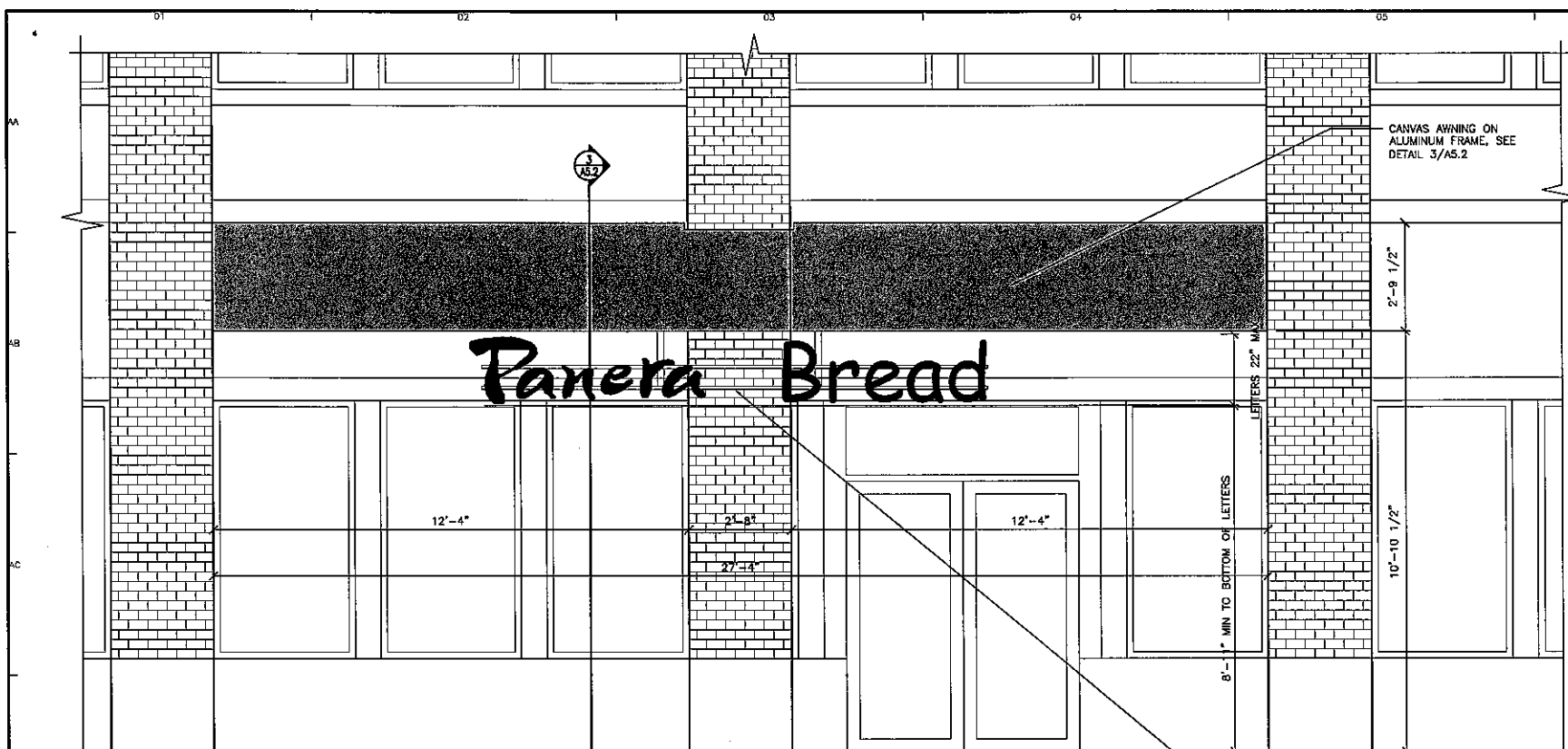
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CITY STATION
660 REGENT STREET
MADISON WI

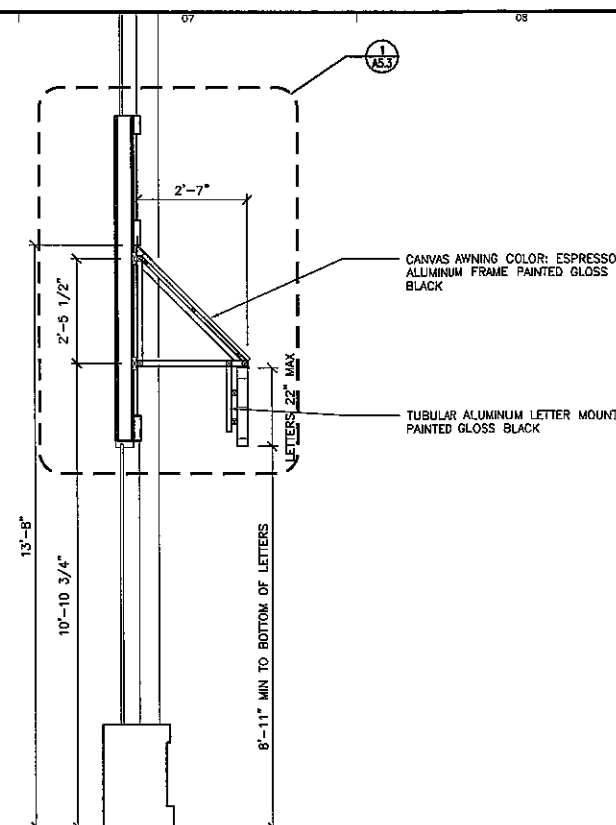
PROJECT # 10-709

ELEVATION
DETAIL &
SECTIONS

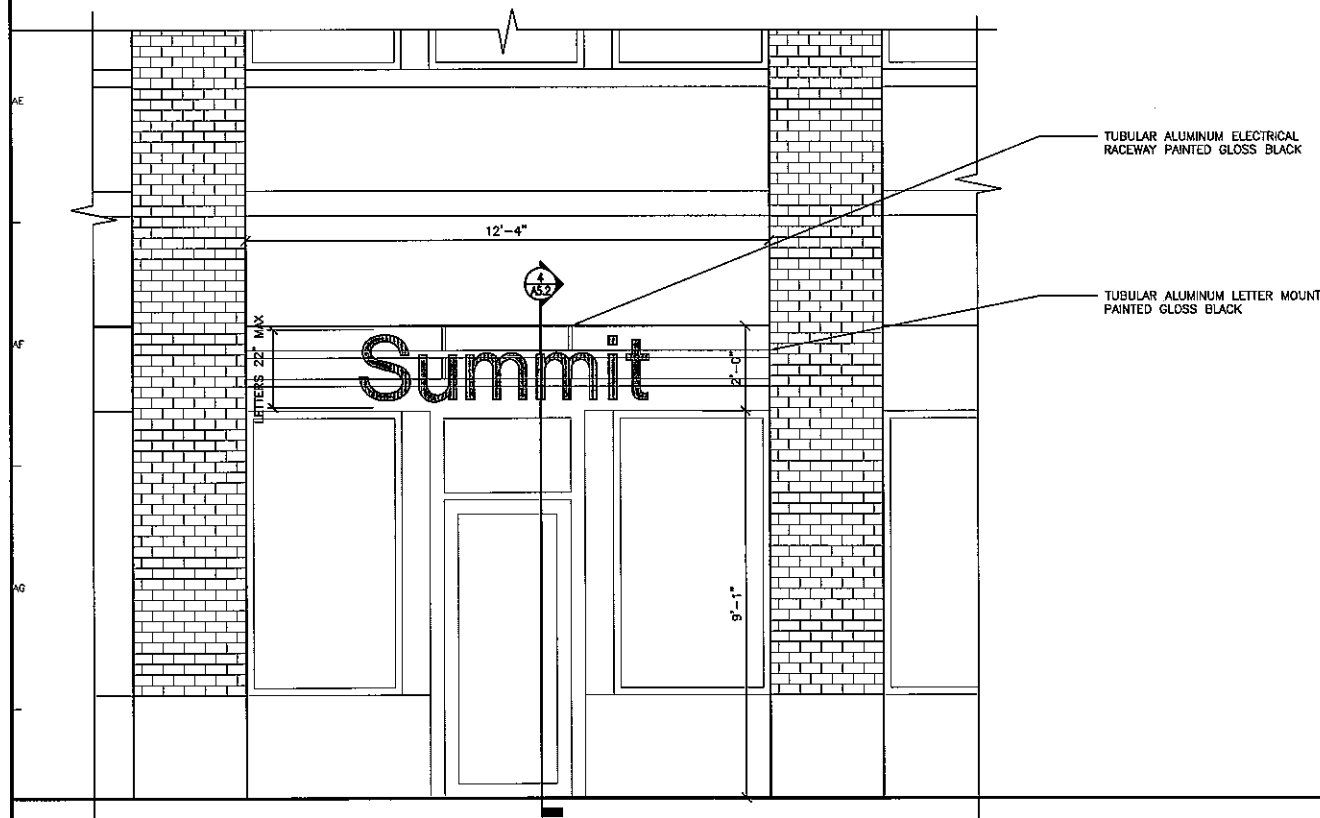
A5.2



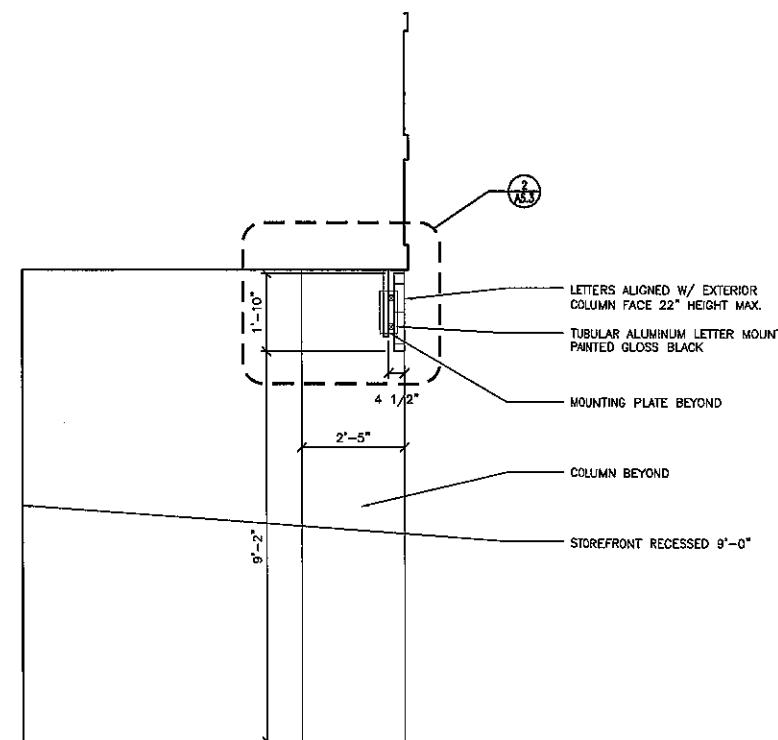
1 SOUTH ELEVATION - EAST WING
SCALE: 1/2" = 1'-0"



3 EAST WING SECTION
SCALE: 1/2" = 1'-0"



2 SOUTH ELEVATION - PROMENADE
SCALE: 1/2" = 1'-0"



4 PROMENADE SECTION
SCALE: 1/2" = 1'-0"

PRELIMINARY
FOR INFORMATION PURPOSE ONLY
NOT FOR CONSTRUCTION

7-5-10	SCHEMATIC DESIGN
7-22-10	DESIGN DEVELOPMENT
8-2-10	BD DOCUMENTS
8-18-10	CITY SUBMITTAL

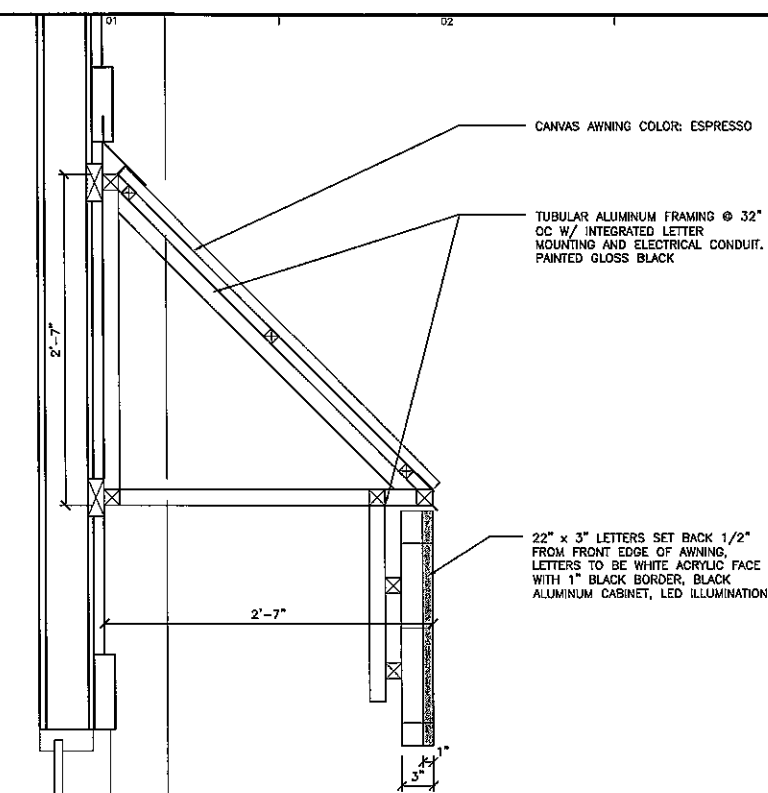
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CITY STATION
660 REGENT STREET
MADISON WI

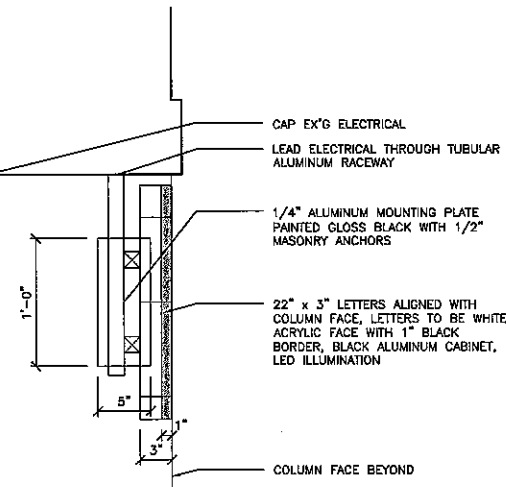
PROJECT # 10-709

SECTION DETAILS &
EXTERIOR BUILDING
ELEVATIONS

A5.3



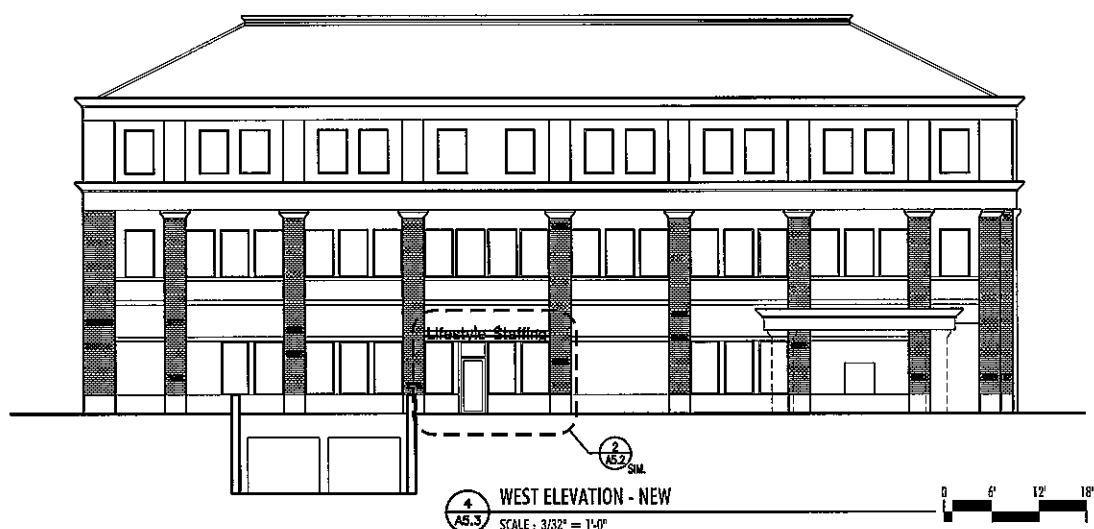
1 AWNING DETAIL
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2 PROMENADE SIGNAGE
SCALE: 1 1/2" = 1'-0"



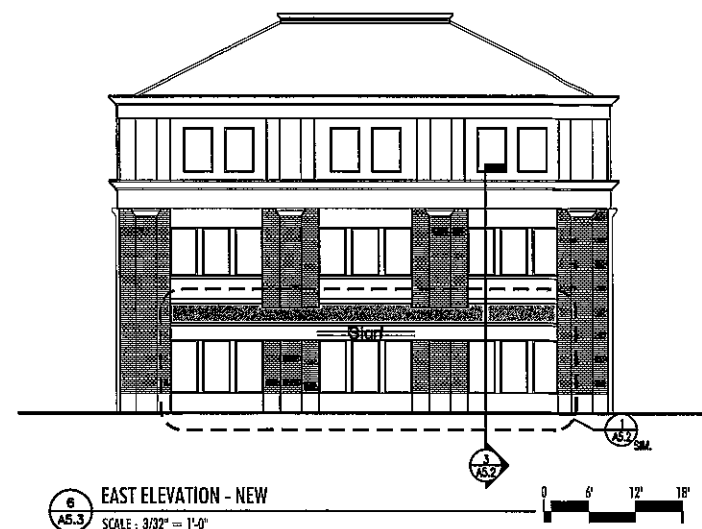
3 WEST ELEVATION - EXISTING
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4 WEST ELEVATION - NEW
SCALE: 3/32" = 1'-0"

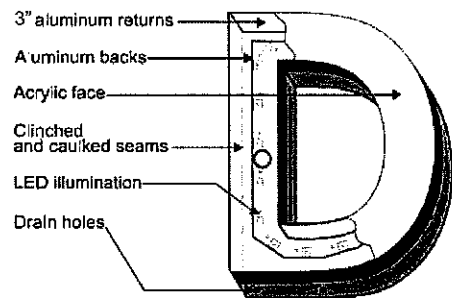
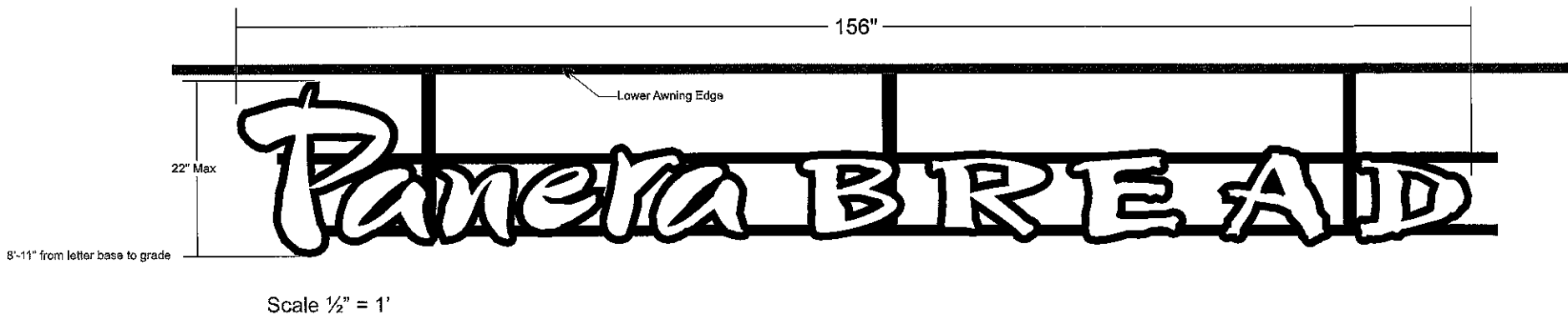
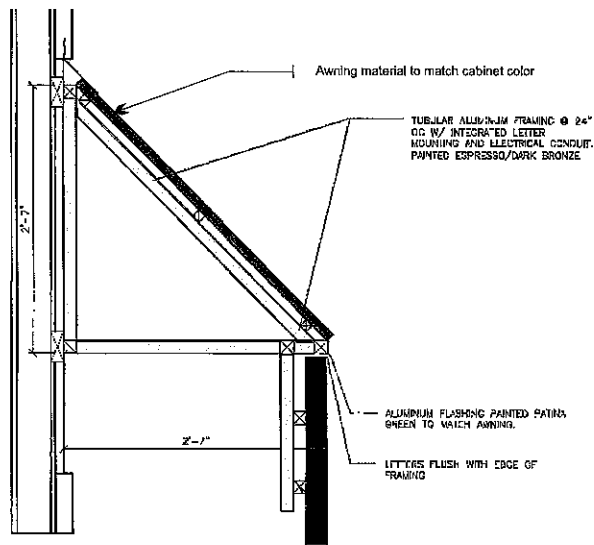


5 EAST ELEVATION - EXISTING
SCALE: 3/32" = 1'-0"

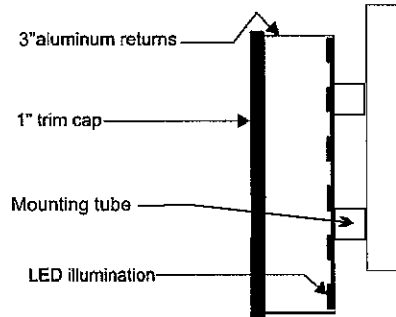


6 EAST ELEVATION - NEW
SCALE: 3/32" = 1'-0"

City Station / Madison, WI



FRONT VIEW



SIDE VIEW FLUSH MOUNT

Construction Notes:

- Channel letters 22" x 3" deep with .063 aluminum backs.
- Welded .063 aluminum returns for good visual appearance from back of letters
- Gloss black letter returns and tube support brackets
- White acrylic faces with 1" black vinyl border
- 1" Black letter trim
- GE Tetra Minimax White for illuminating 3" deep letters
- Letters mount to sq tube frame supported by awning frame



1/8" = 1'

Sample image of new awning with front illuminated channel letters



Customer City Station
Street Madison, WI
City

Date: 8.18.10
Account Rep. Dave Remitz

Designer: M Studnicka
Drawing No. City station awning
Revision 1.1
Scale

Client Approval:
Date:

Landlord Approval:
Date:

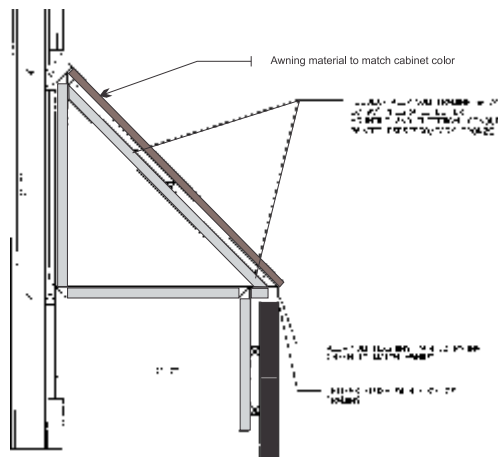
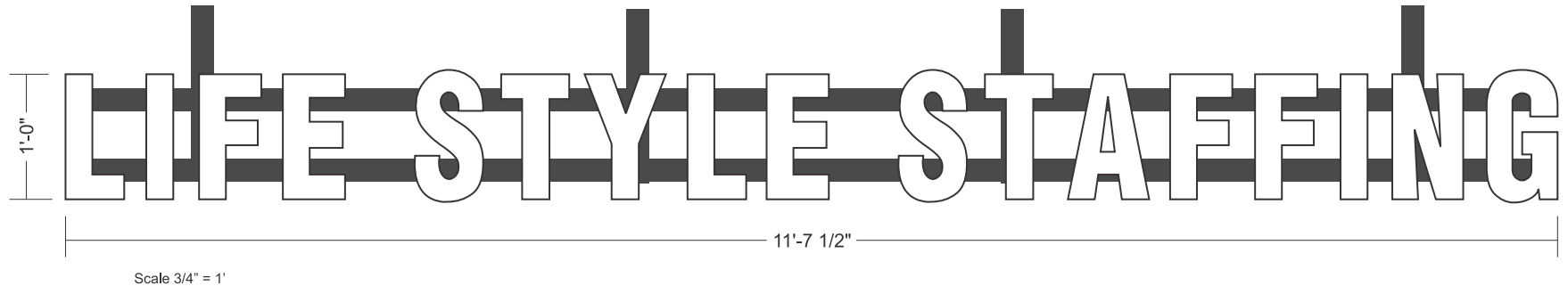
Wisconsin Sign & Graphics, LLC is the sole owner of this artwork (Drawings, color renderings and/or sign concepts) used to submit to client for approval. Reproduction in whole or part without written permission by Wisconsin Sign & Graphics, LLC is prohibited.

Copyright Wisconsin Sign & Graphics, LLC 2010

Signs For Your Success!

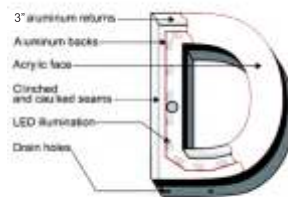
2182 County Hwy. MM • Fitchburg, WI 53575 • 1.608.291.0240 • 877.870.5705 • www.wissign.com

Life Style Staffing / Madison, WI

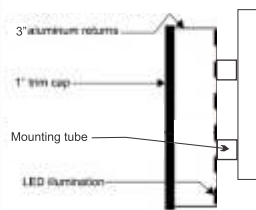


Construction Notes:

- Channel letters 12" x 3" deep with .063 aluminum backs.
- Welded .063 aluminum returns for good visual appearance from back of letters
- Matte black letter returns and tube support brackets
- White acrylic faces
- 1" Black letter trim
- GE Tetra Minimax White for illuminating 3" deep letters
- Letters mount to sq tube frame supported by awning frame on East elevation and south elevation installed between brick columns.



FRONT VIEW



SIDE VIEW FLUSH MOUNT



Side Entrance Elevation



Night view side elevation



Customer Street City

Life Style Staffing
City Station
Madison, WI

Date 5.2.13

Account Rep. Dave Remitz

Designer: M Studnicka
Drawing No. Life Style Staffing CLSE
Revision
Scale

Client Approval:

Date:

Landlord Approval:

Date:

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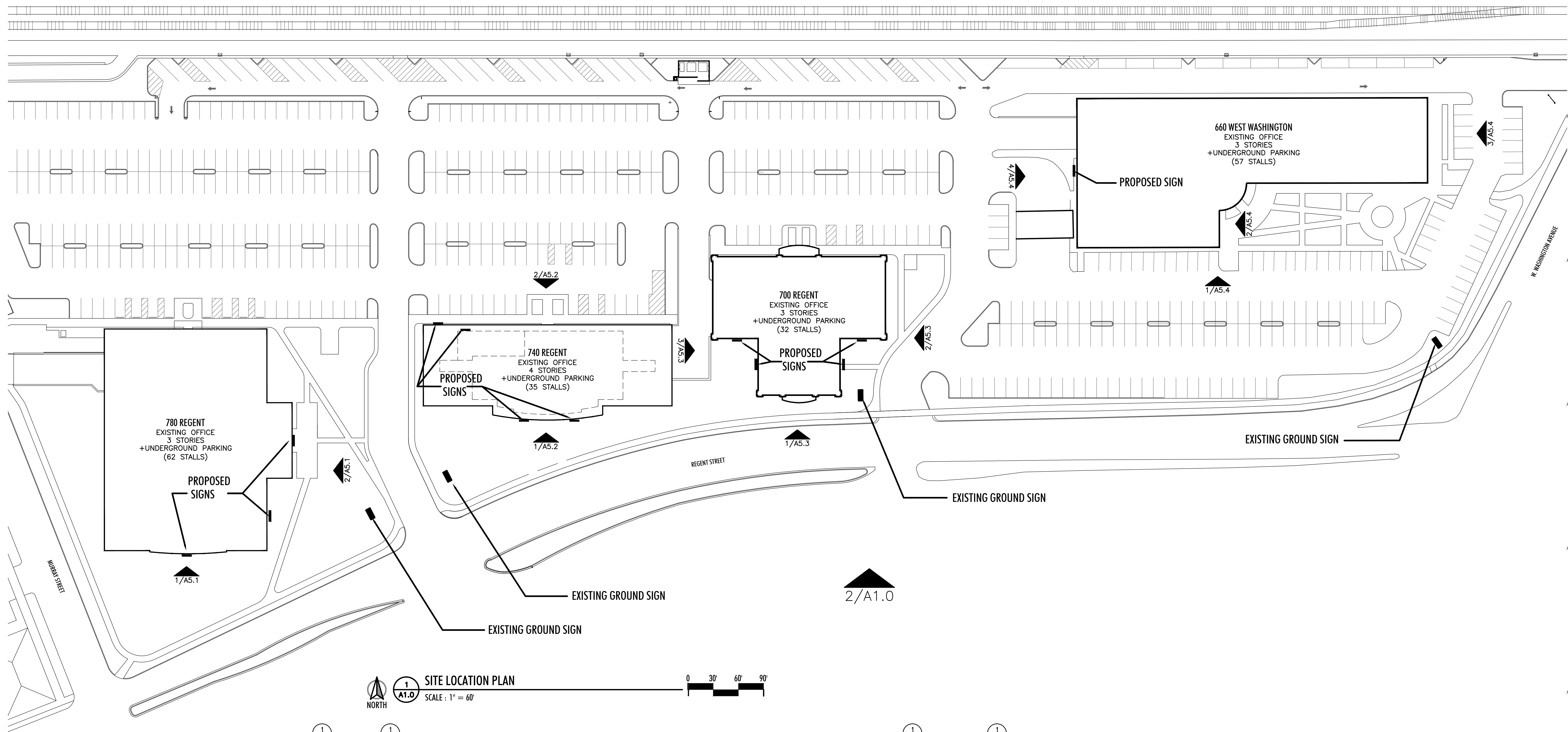


Signs For Your Success!

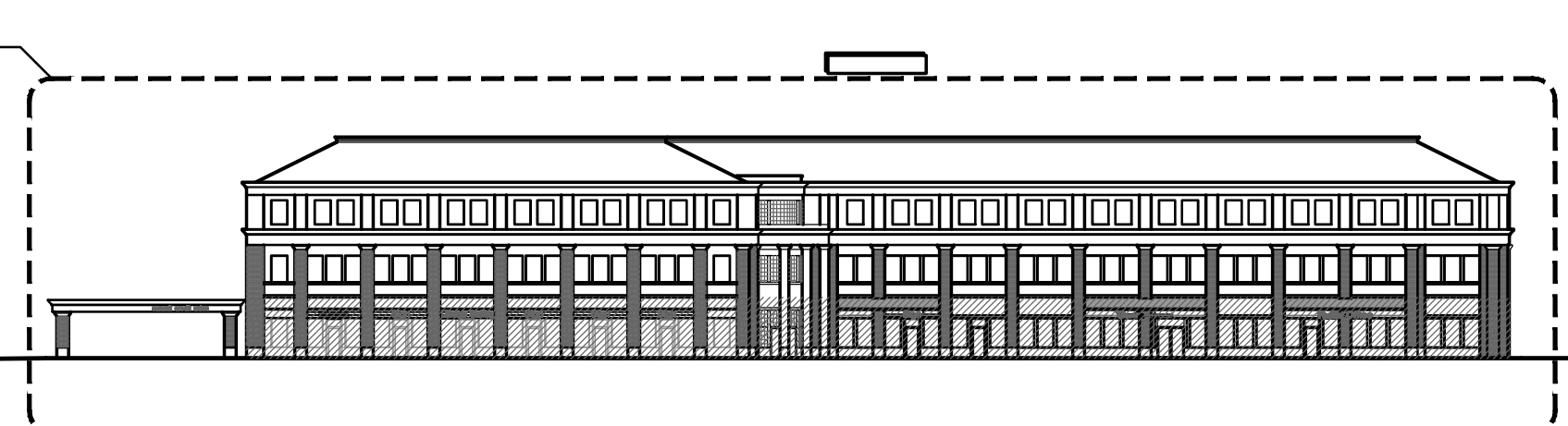
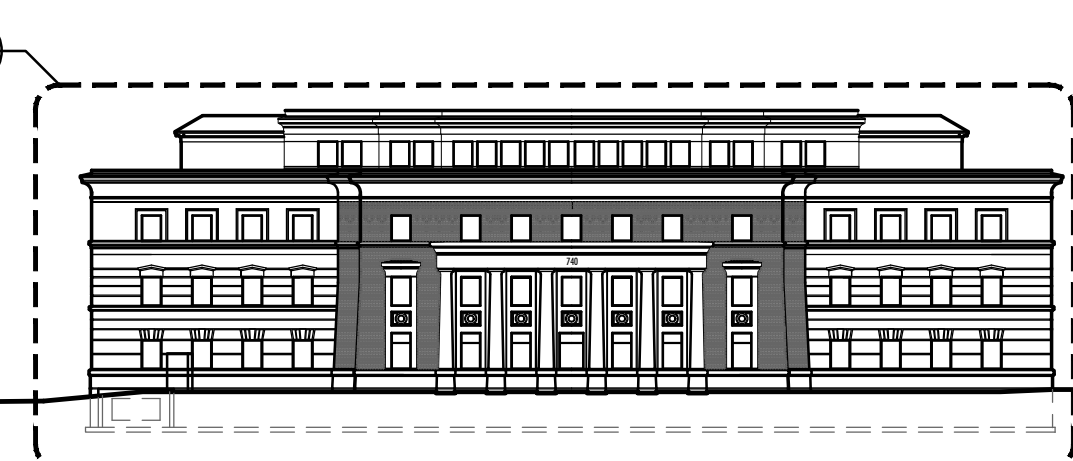
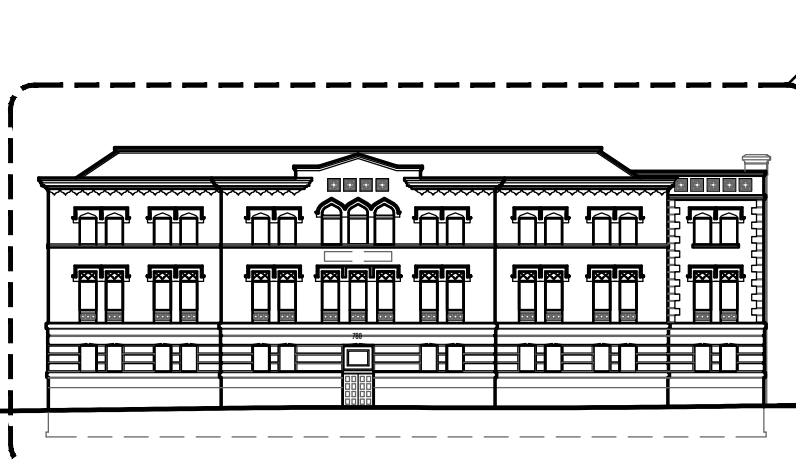
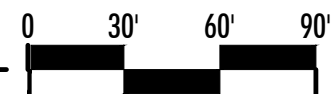
RAIL CORRIDOR BUILDING SIGNAGE

**Alexander
Company**

145 E. Badger Road
Suite 200
Madison, WI 53713
Telephone: 608-258-5580
Fax: 608-258-5599



1 SITE LOCATION PLAN
SCALE: 1" = 60'



2 REGENT STREET ELEVATION
SCALE: 1" = 60'



DRAWING INDEX

A1.0	SITE PLAN, ELEVATION & SHEET INDEX
A5.1	780 REGENT ELEVATIONS
A5.2	740 REGENT ELEVATIONS
A5.3	700 REGENT ELEVATIONS
A5.4	660 W. WASHINGTON ELEVATIONS

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FOR INFORMATION PURPOSE ONLY
NOT FOR CONSTRUCTION

DRAWN: DZ APPR.: DNK

**RAIL CORRIDOR BUILDING
SIGNAGE**

700-780 REGENT STREET &
660 W. WASHINGTON AVE.
MADISON, WI

**SITE PLAN,
ELEVATION & SHEET
INDEX**

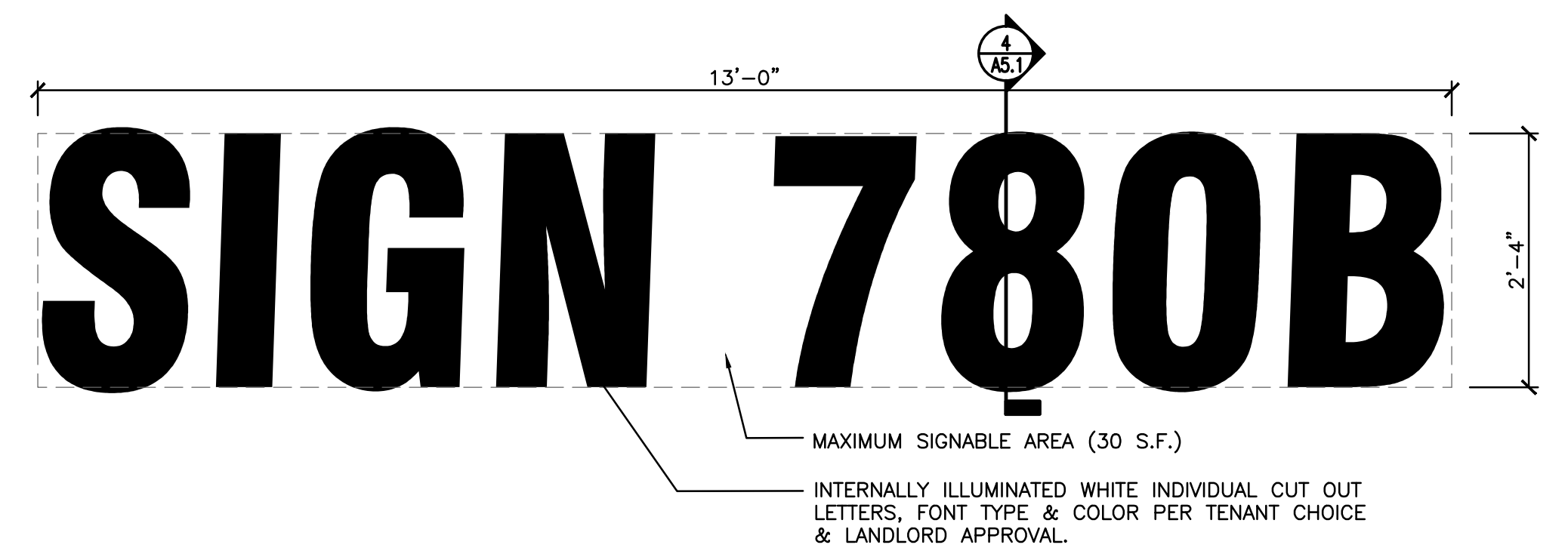
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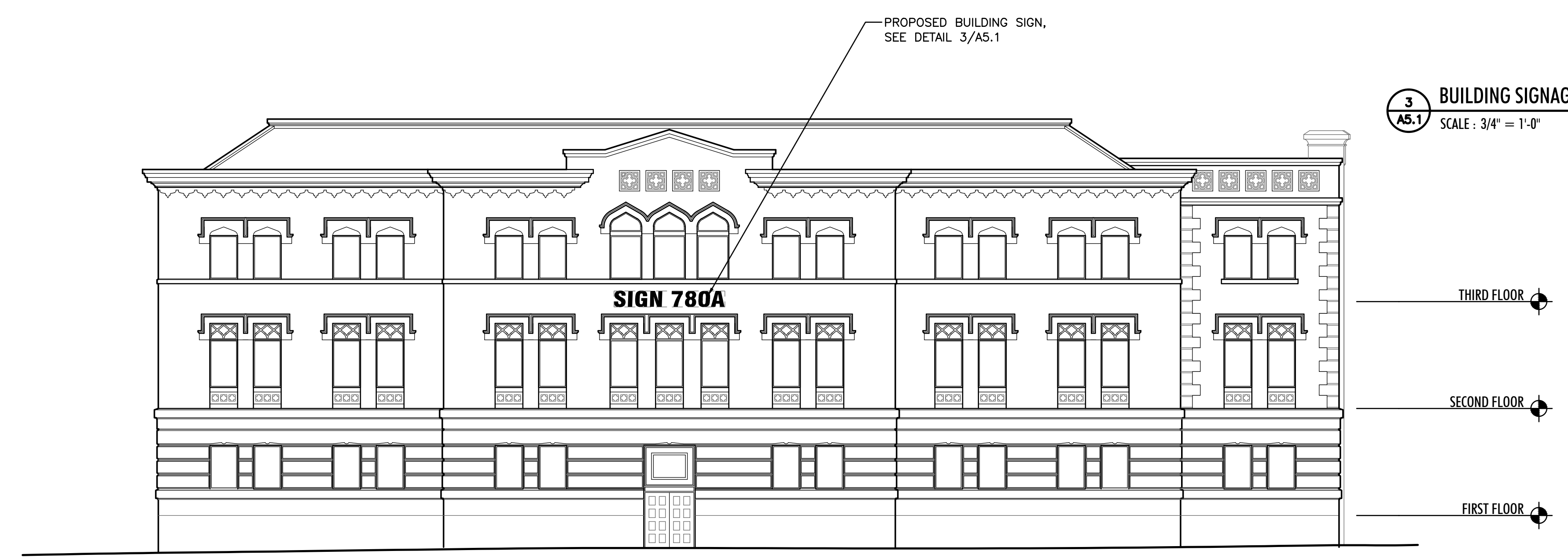
DRAWN: DZ APPR.: DNK

RAIL CORRIDOR BUILDING
SIGNAGE
700-780 REGENT STREET &
660 W. WASHINGTON AVE.
MADISON, WI

780 REGENT
ELEVATIONS
A5.1

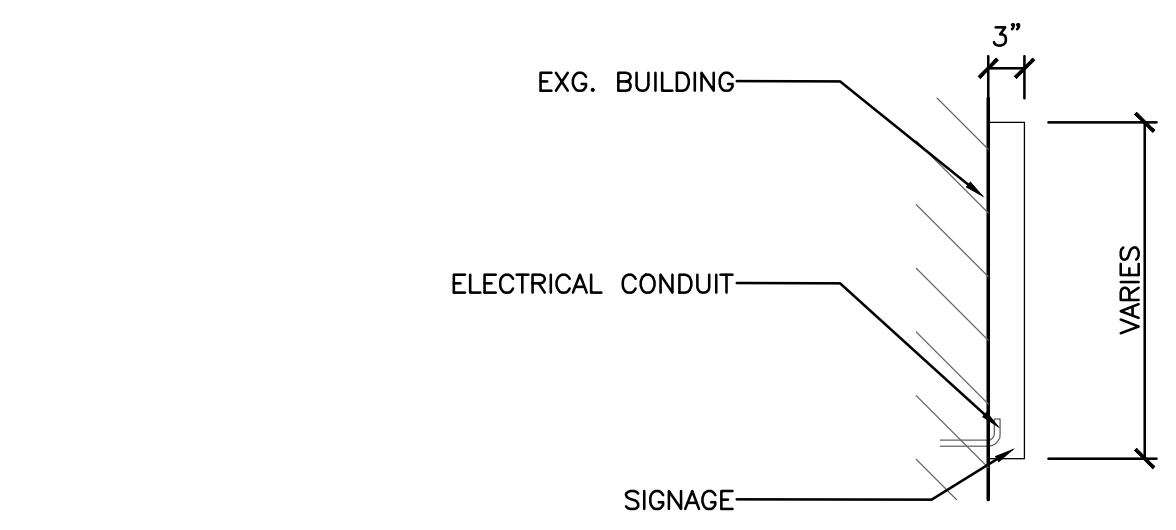


3 BUILDING SIGNAGE ELEVATION
SCALE: 3/4" = 1'-0"

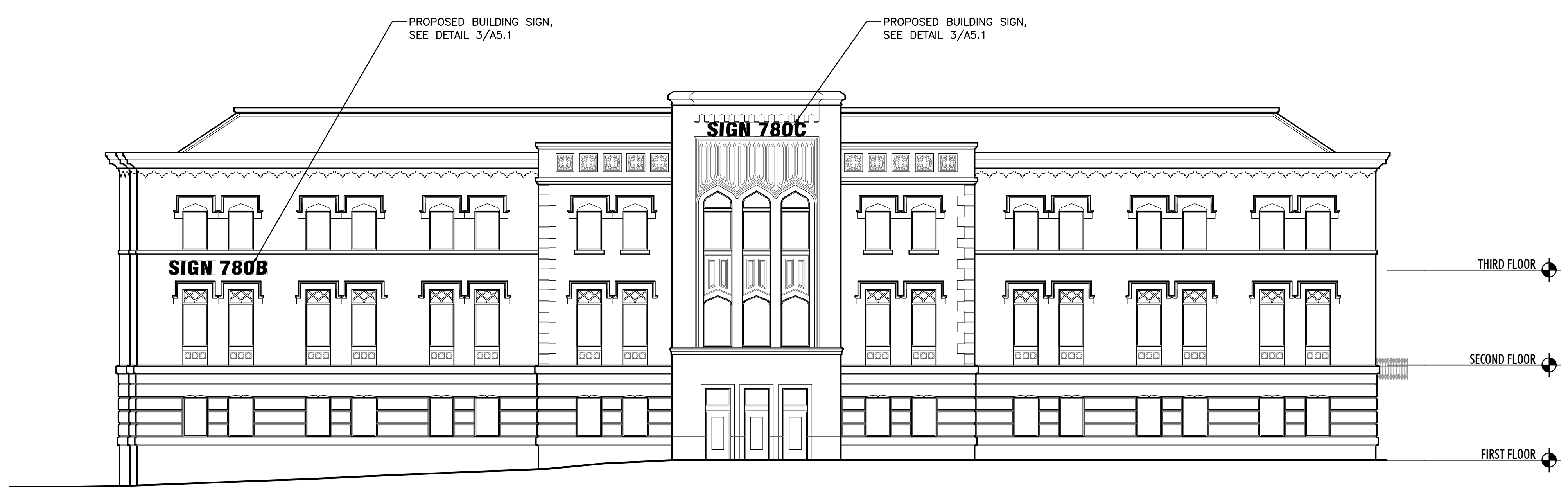


1 780 REGENT - SOUTH (REGENT STREET) ELEVATION
SCALE: 3/32" = 1'-0"

0 6' 12' 18'

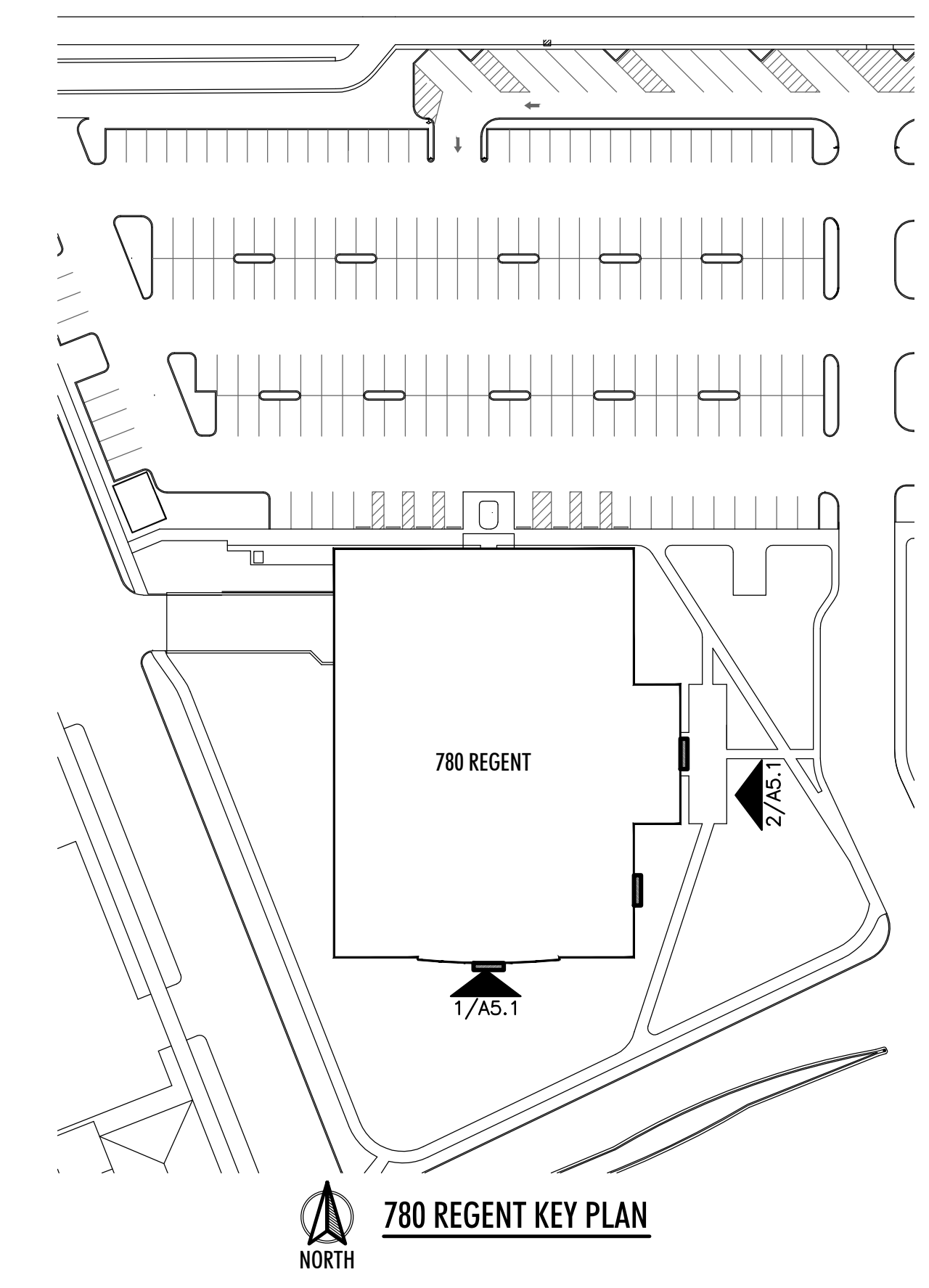


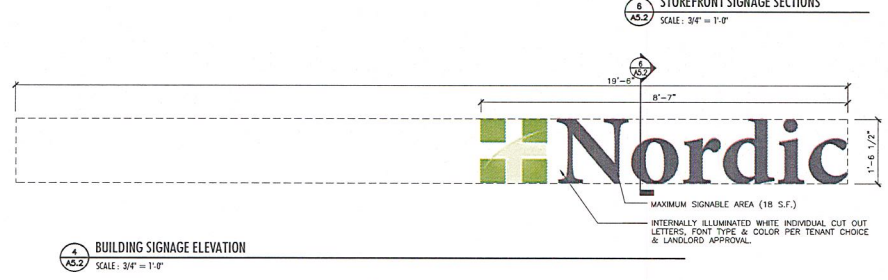
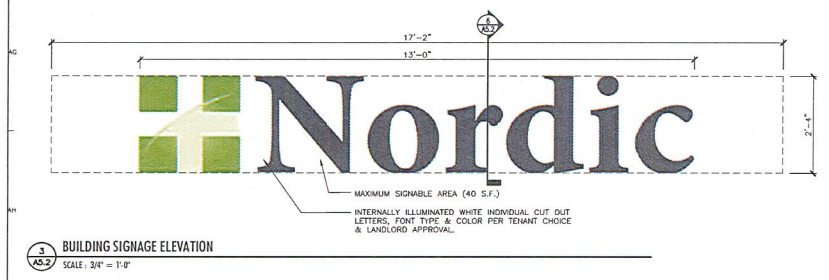
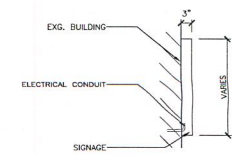
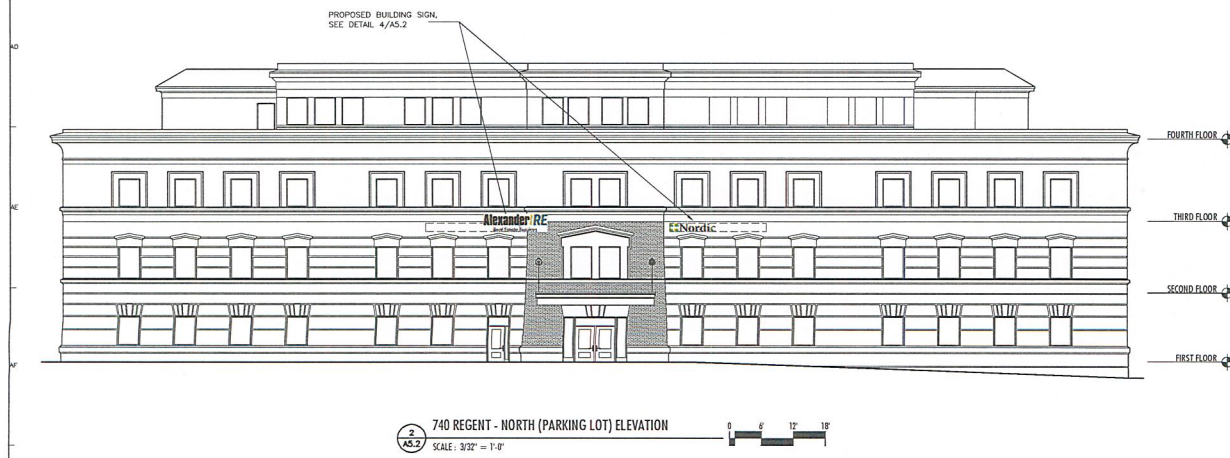
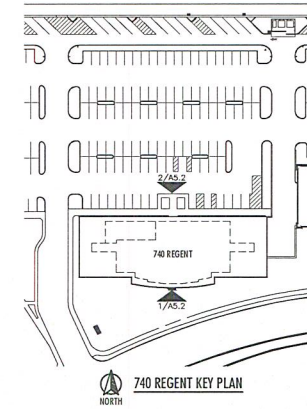
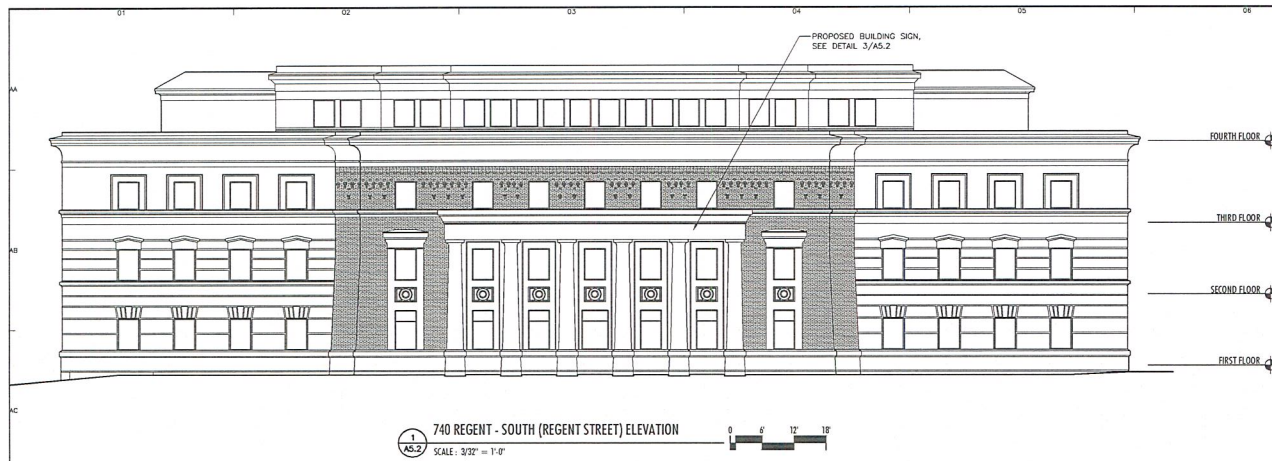
4 STOREFRONT SIGNAGE SECTIONS
SCALE: 3/4" = 1'-0"



2 780 REGENT - EAST ELEVATION
SCALE: 3/32" = 1'-0"

0 6' 12' 18'





**Alexander
Company**

145 E. Badger Road
Suite 200
Madison, WI 53713
Telephone: 608-258-5580
Fax: 608-258-5599

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DRAWN: DZ APPR: DWK

**RAIL CORRIDOR BUILDING
SIGNAGE**
700-780 REGENT STREET &
660 W. WASHINGTON AVE.
MADISON, WI

740 REGENT
ELEVATIONS
A5.2

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DRAWN: DZ

APPR.: DNK

**RAIL CORRIDOR BUILDING
SIGNAGE**

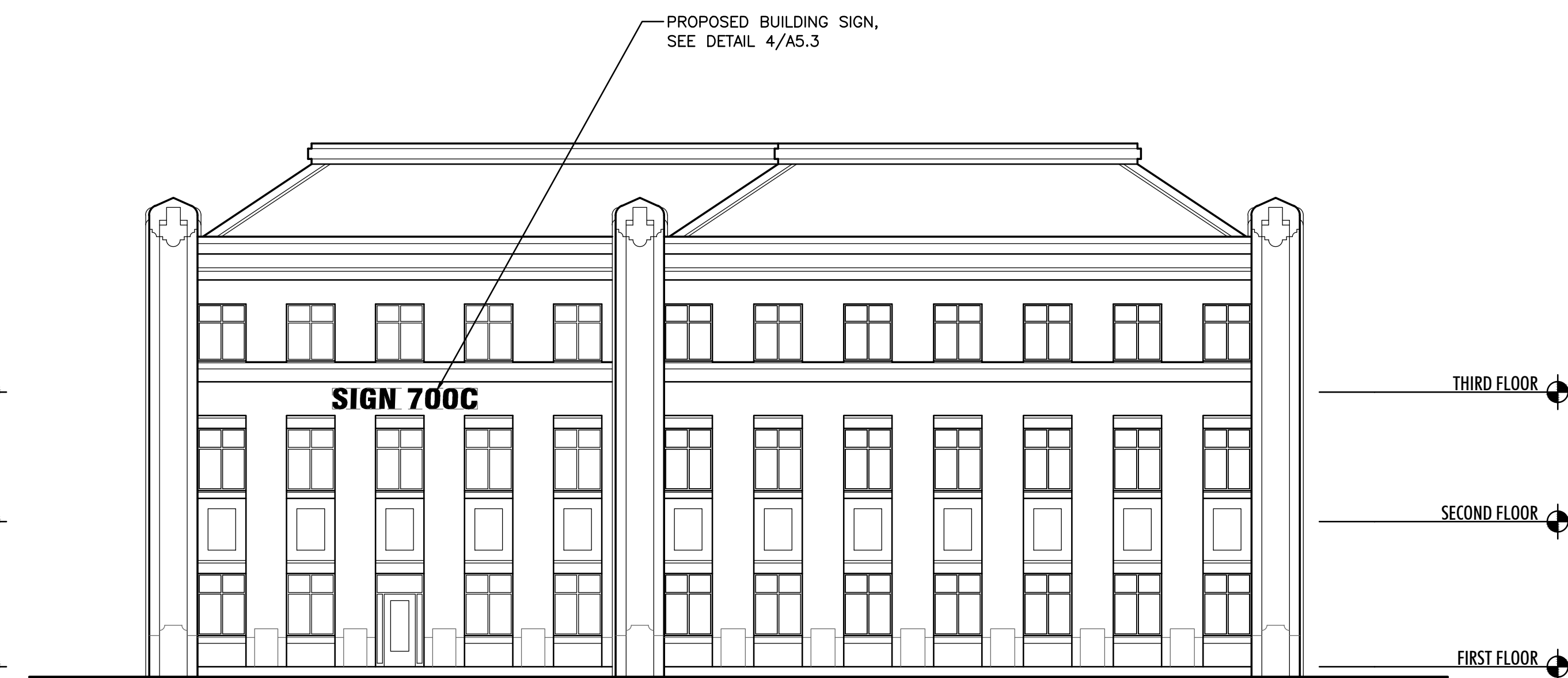
700-780 REGENT STREET &
660 W. WASHINGTON AVE.
MADISON, WI

700 REGENT
ELEVATIONS

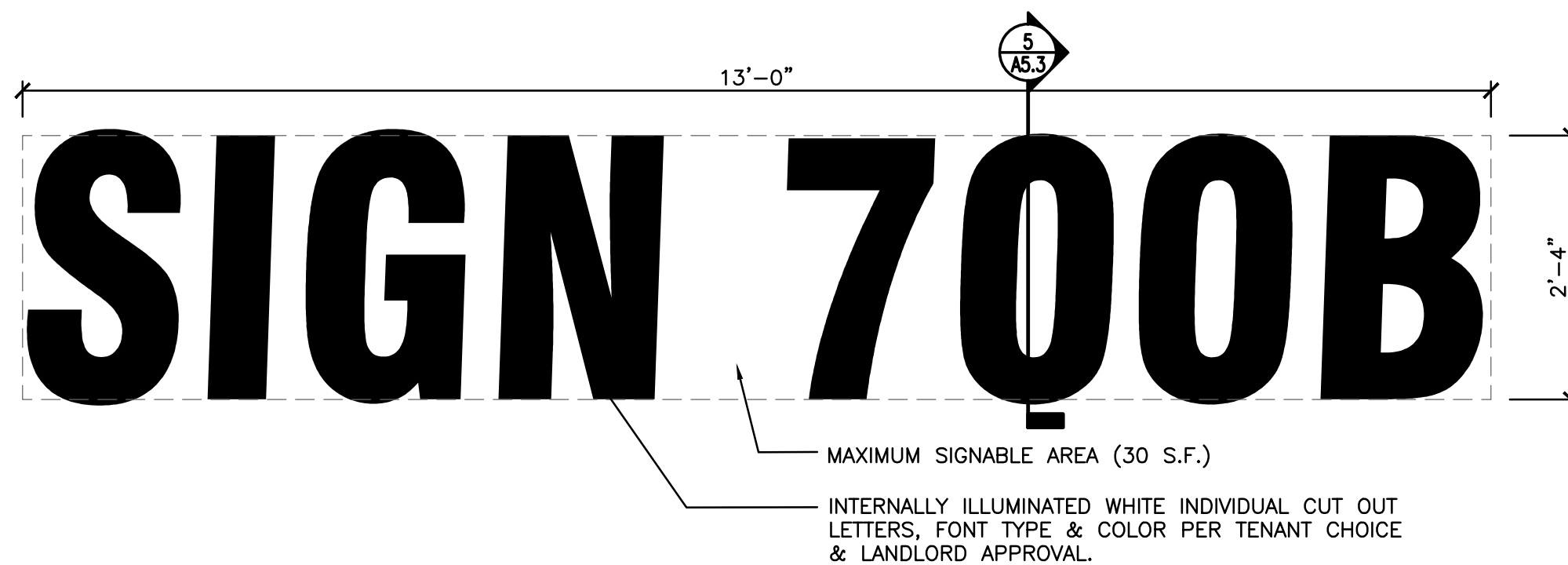
A5.3



1 700 REGENT - SOUTH (REGENT STREET) ELEVATION
A5.3 SCALE : 3/32" = 1'-0"



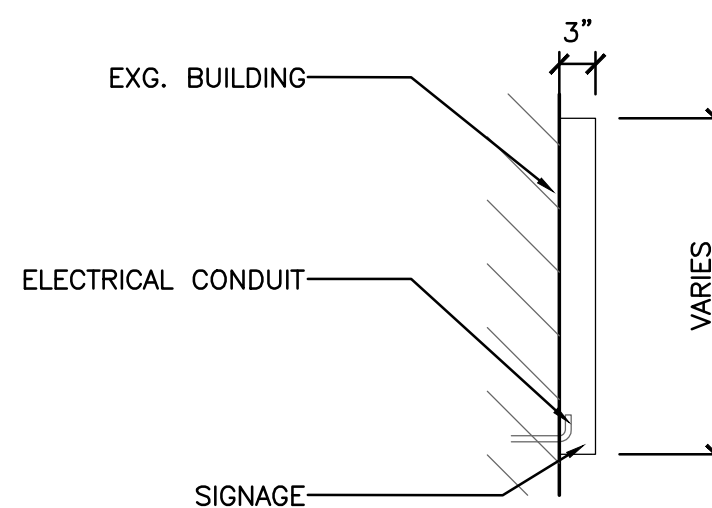
2 700 REGENT - EAST (PARKING LOT) ELEVATION
A5.3 SCALE : 3/32" = 1'-0"



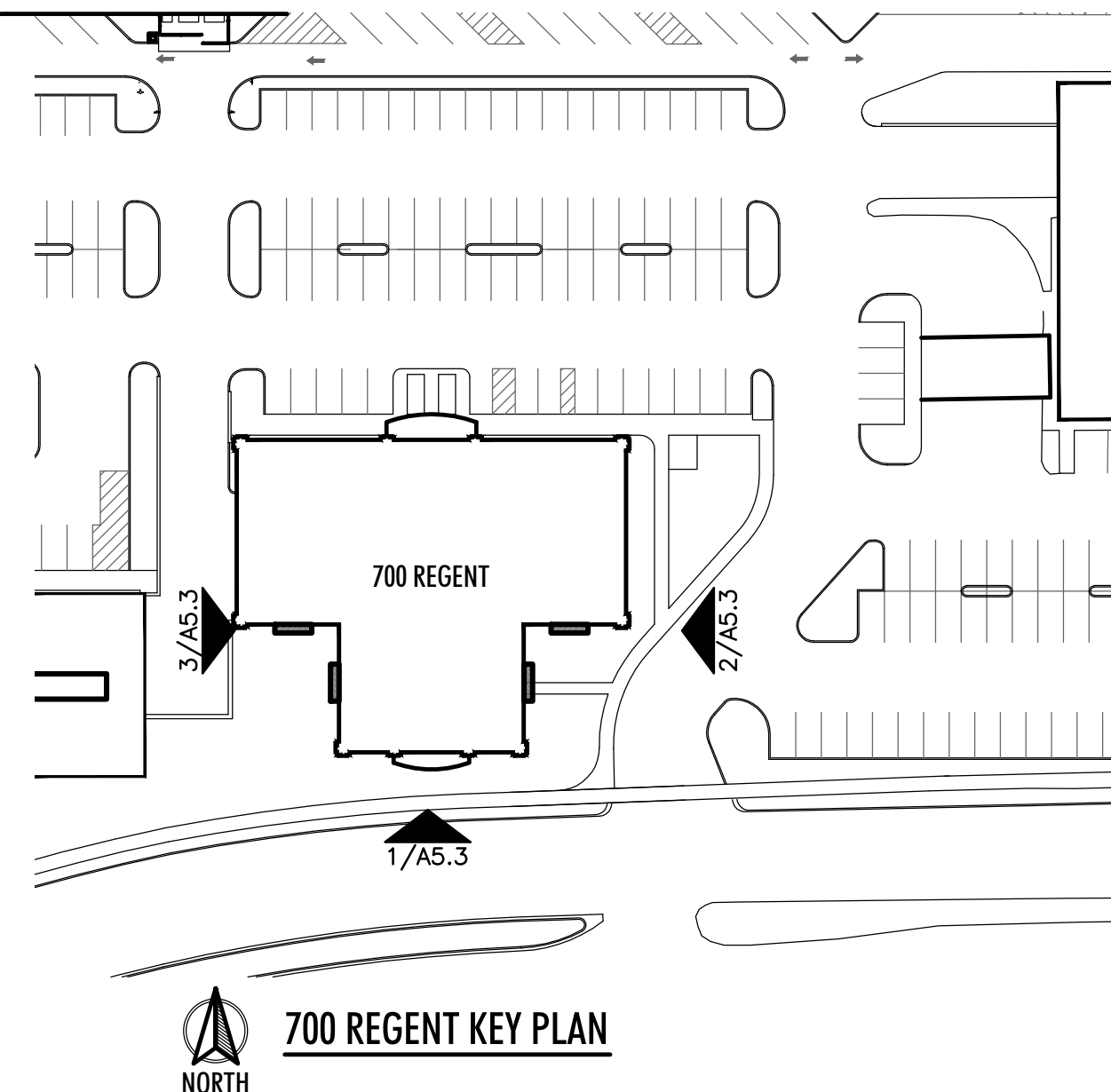
4 BUILDING SIGNAGE ELEVATION
A5.3 SCALE : 3/4" = 1'-0"



3 700 REGENT - WEST ELEVATION
A5.3 SCALE : 3/32" = 1'-0"



5 STOREFRONT SIGNAGE SECTIONS
A5.3 SCALE : 3/4" = 1'-0"



700 REGENT KEY PLAN

PRELIMINARY
FOR INFORMATION PURPOSE ONLY
NOT FOR CONSTRUCTION

DRAWN: DZ APPR.: DNK

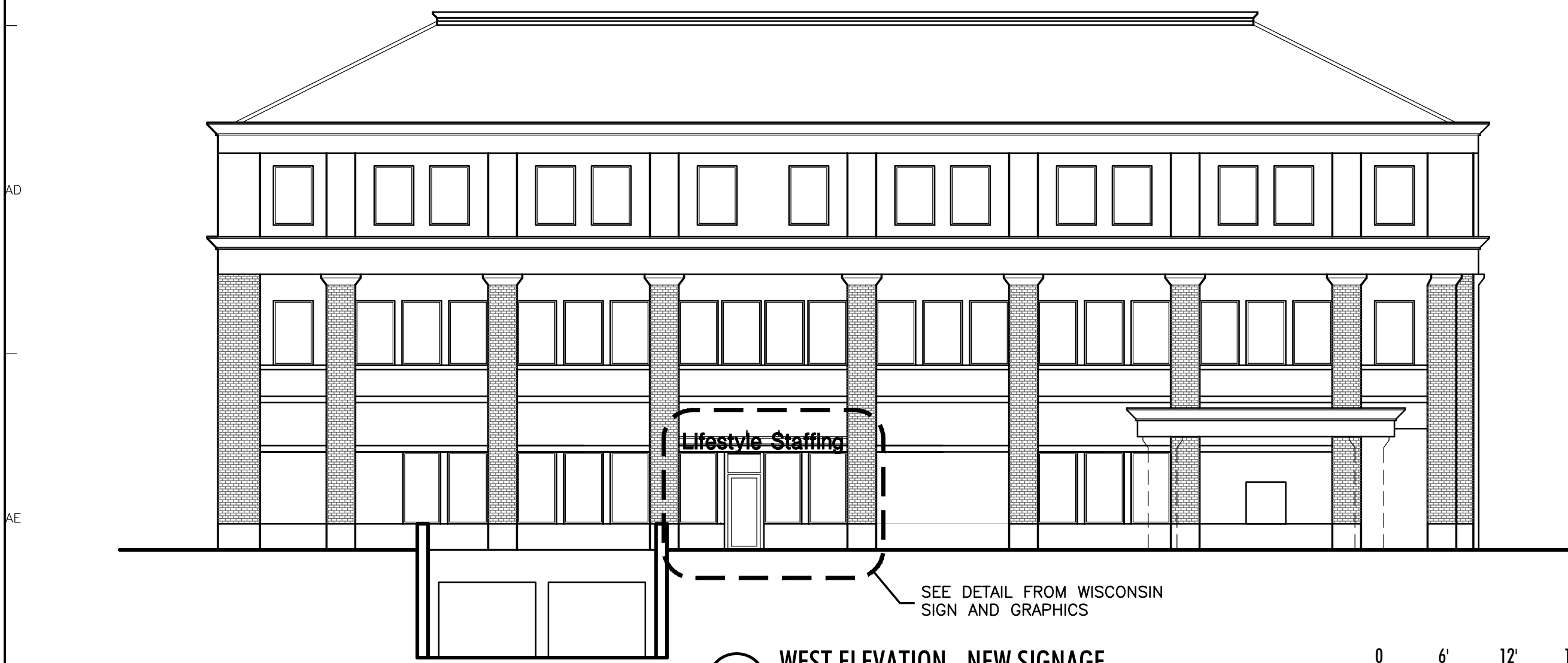
**RAIL CORRIDOR BUILDING
SIGNAGE**
700-780 REGENT STREET &
660 W. WASHINGTON AVE.
MADISON, WI

**660 W. WASHINGTON
ELEVATIONS**

A5.4



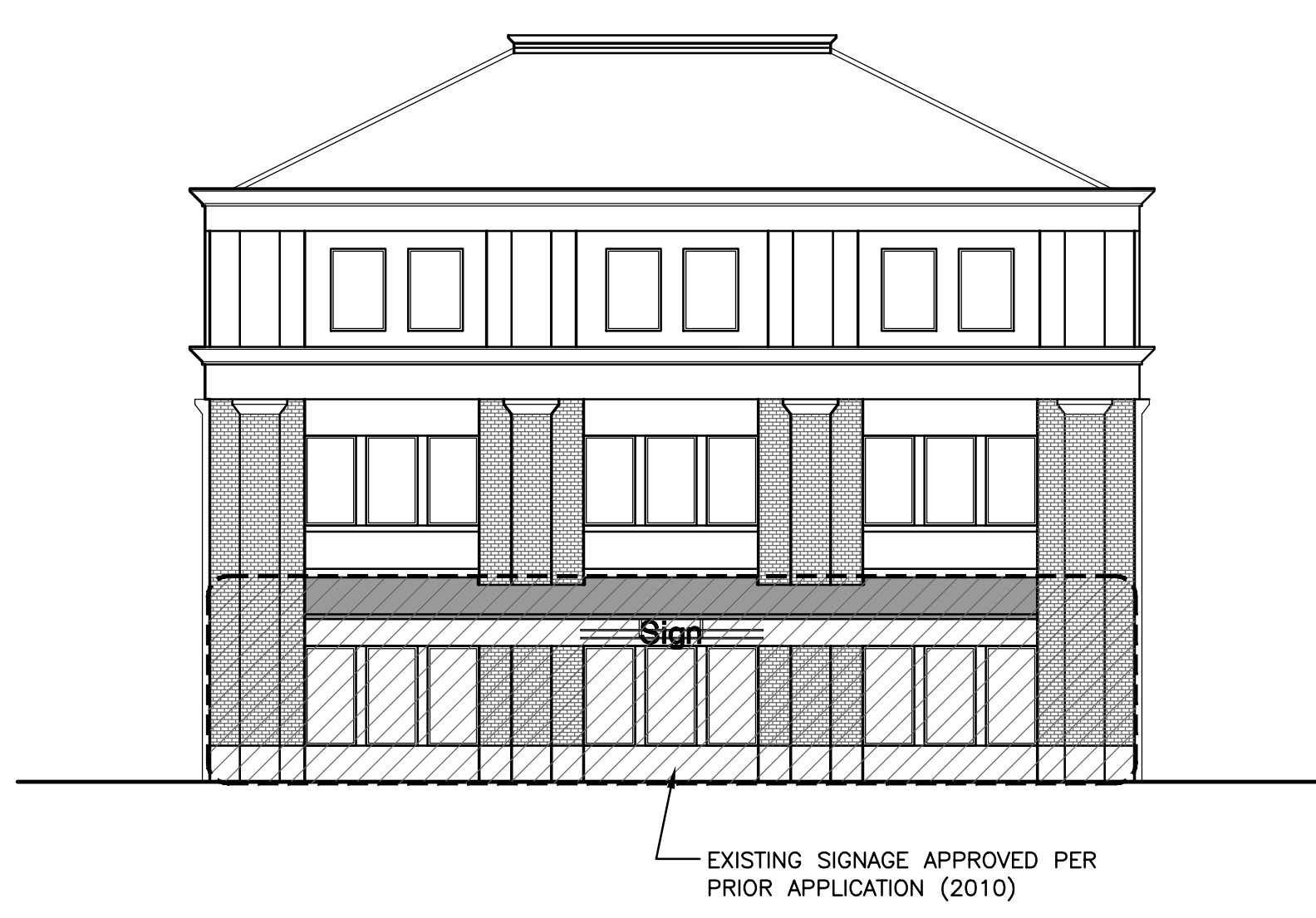
1
A5.4
660 W. WASHINGTON - SOUTH (REGENT STREET) ELEVATION
SCALE: 3/32" = 1'-0"



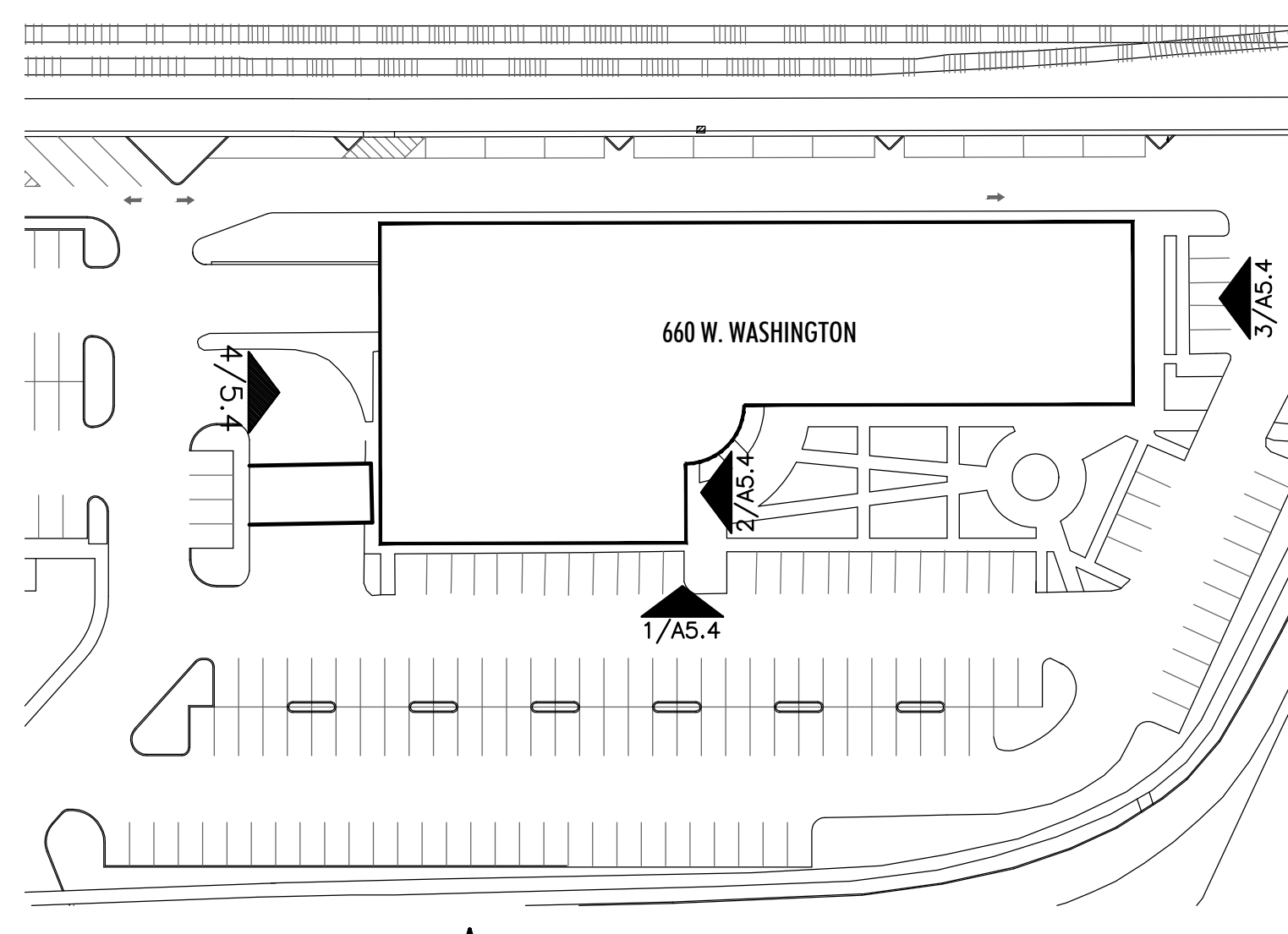
4
A5.4
WEST ELEVATION - NEW SIGNAGE
SCALE: 3/32" = 1'-0"



2
A5.4
660 W. WASHINGTON - EAST ELEVATION
SCALE: 3/32" = 1'-0"

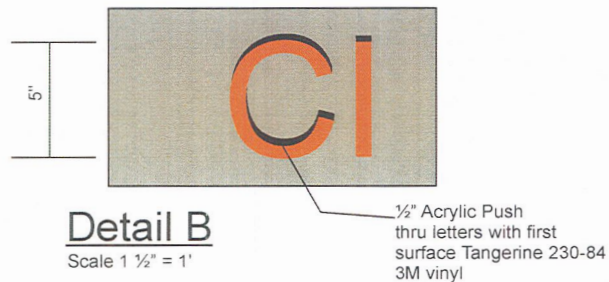
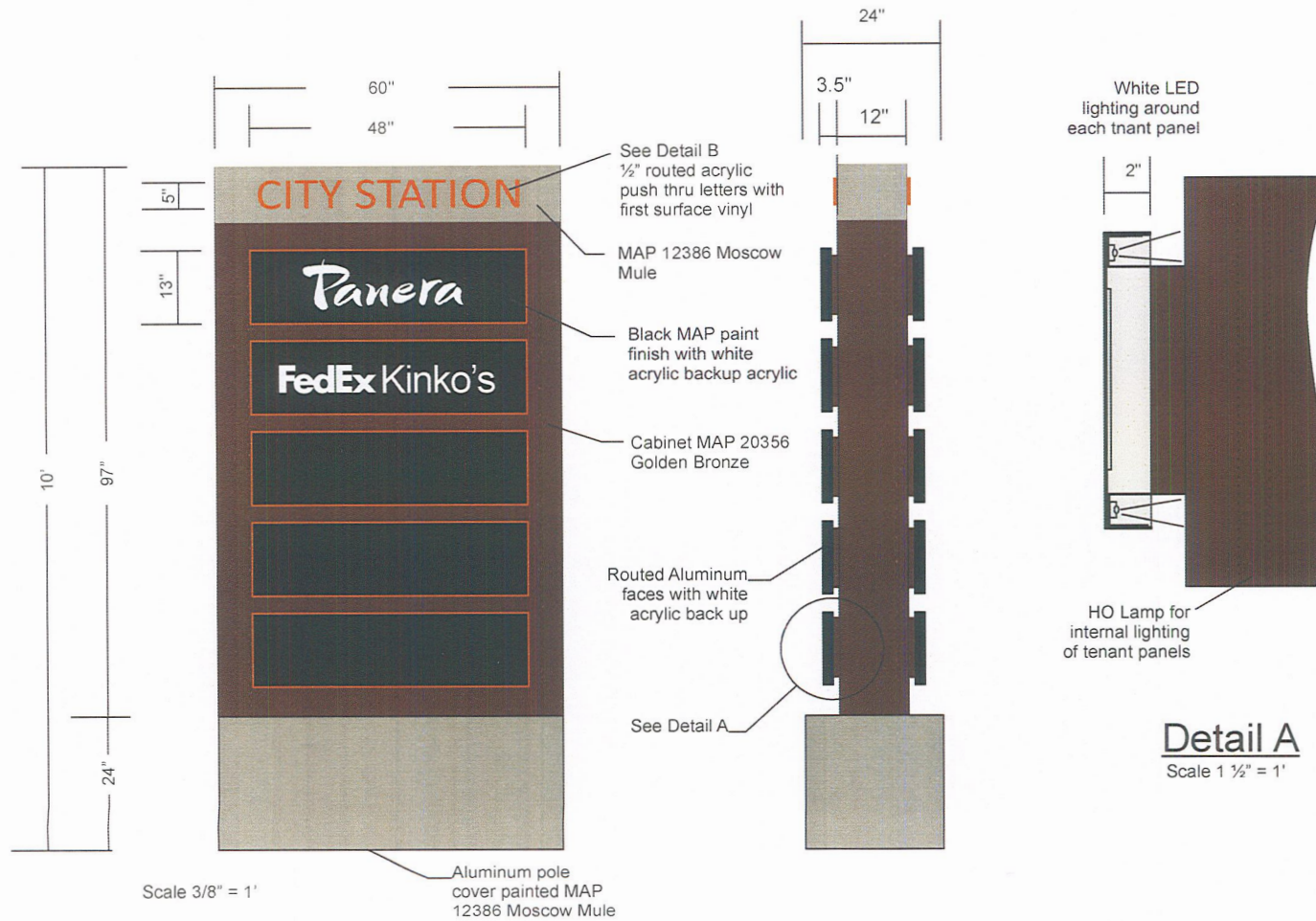


3
A5.4
660 W. WASHINGTON - EAST (W. WASHINGTON) ELEVATION
SCALE: 3/32" = 1'-0"



660 W. WASHINGTON KEY PLAN

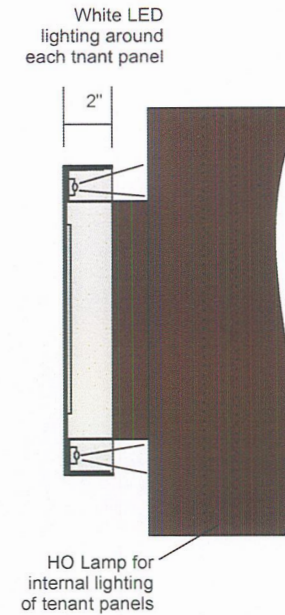
Alexander Co. / City Station



DF Illuminated cabinet with HO Lamps and ballasts
 Tenant panels routed aluminum with white acrylic letters
 Each tenant panel has Halo lit white led perimeters
 Top panel 1/2" Routed acrylic push thru letters

1/4" orange Pin stripe around each tenant panel

Installed on (1) 6" steel pipe direct buried in concrete



Detail A
 Scale 1 1/2" = 1'

Client	Customer
	Alexander Co. / City Station
Location	660 West Washington Ave Madison, WI
Account Rep.	Dave Remitz
Designer:	M. Studnicka
Drawing No.	City Station. cdr
Revision	1.2
Scale	Per Drawing
Date:	8.10.10
Client Approval:	
Date:	
Landlord Approval:	
Date:	
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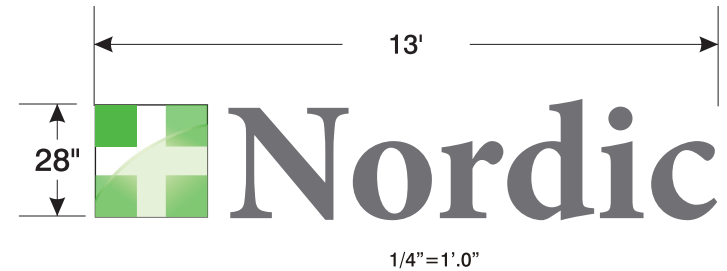
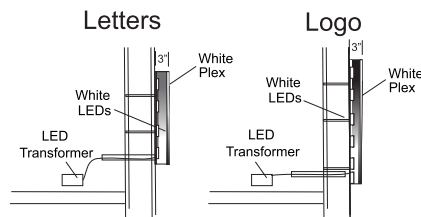
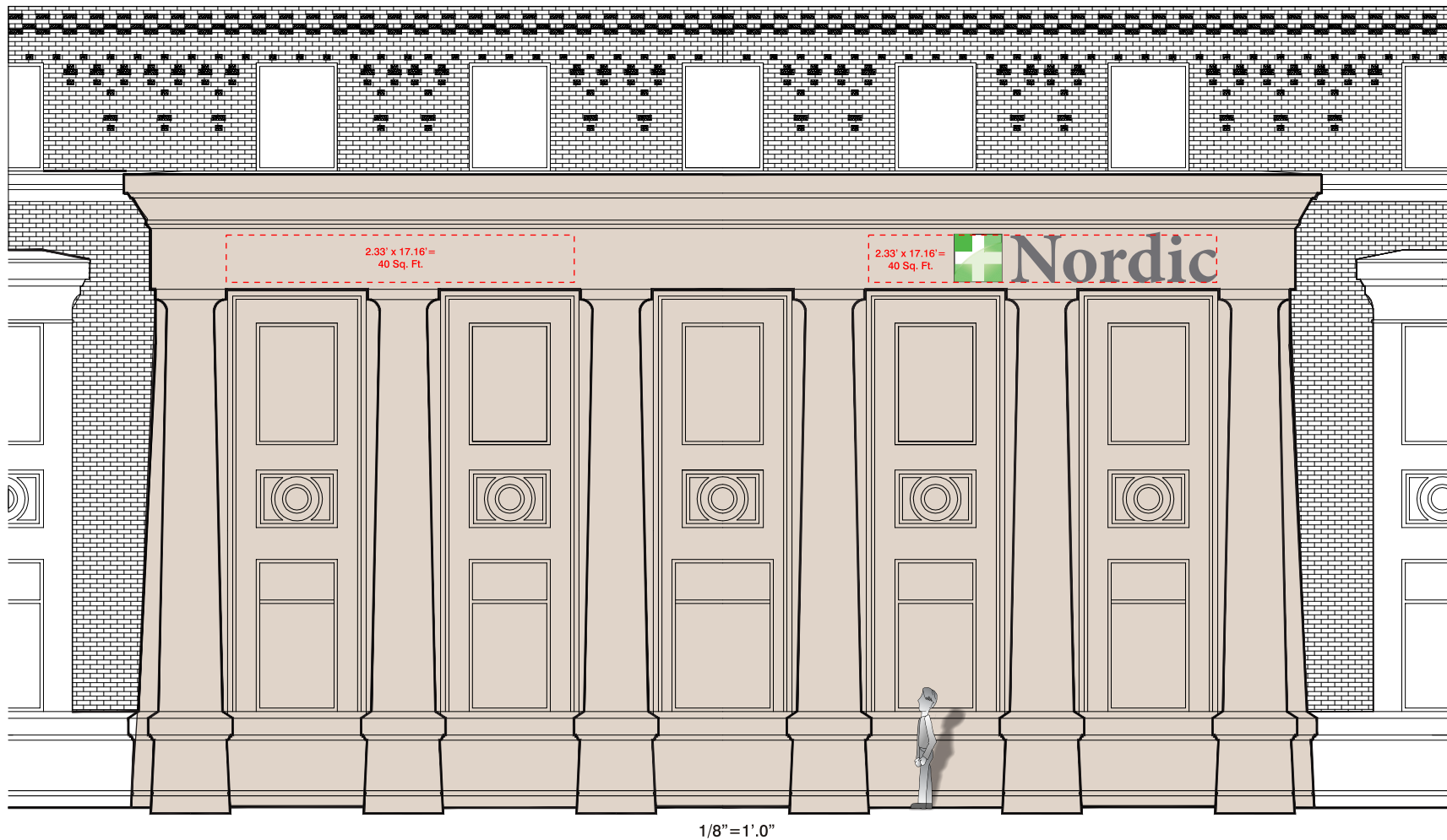
Alexander/RE

140 RESIDENT STREET
Attorneys at Law

140 RESIDENT STREET
Attorneys at Law

M
140 RESIDENT STREET
Attorneys at Law

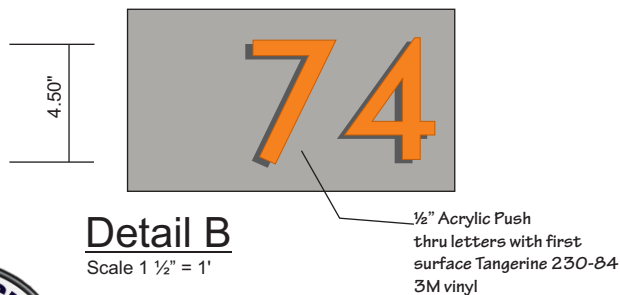
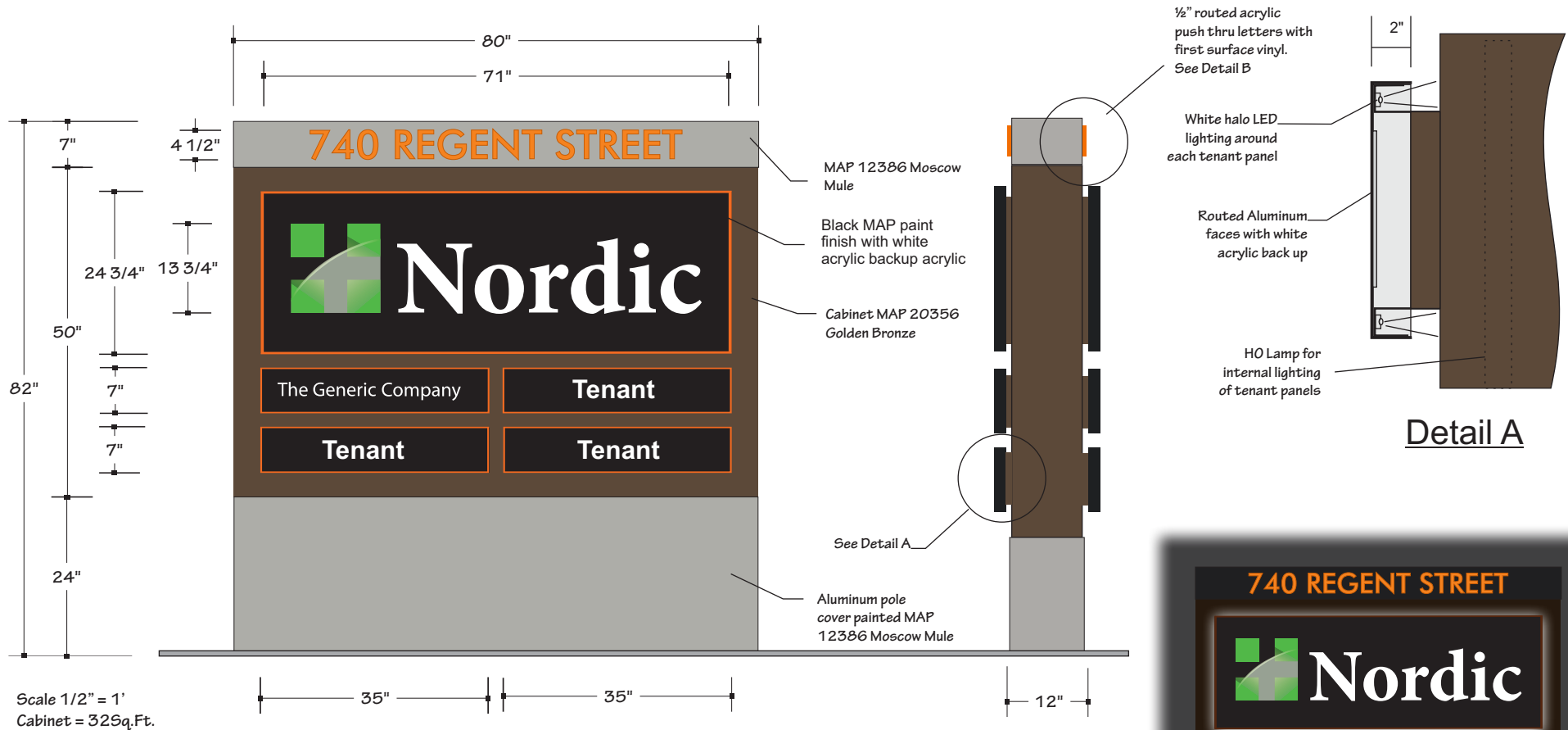
1B.2 South Elevation - Internally Lit Letters & Logo Module



<p>3M Dual Color Film Painted Cool Gray 11</p> <p>Wind Load Compliance Statement: Withstand up to 75 MPH Winds</p>	<p>Custom Translucent Digital Print</p> <p>Illumination Compliance Statement: Internal White LEDs Meets Maximum Guidelines of City of Madison</p>	<p>Construction: Fabricated Aluminum Internally Lit Letters & Logo Module</p>
---	--	--

<p>Ryan Signs, Inc. 3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7853</p> <p>NORDIC CONSULTING - 740 REGENT ST.</p> <p>These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted to you or your company for the sole purpose of your consideration of whether to purchase from Ryan Signs, Inc. Madison, Wisconsin a sign designed and manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company or use of these plans to construct a sign similar to the one embodied herein is expressly prohibited. In the event that such use, distribution or exhibition occurs, the undersigned expressly agrees to pay to Ryan Signs, Inc. the sum of 25% of our purchase price as quoted to you. This covenant of payment is acknowledged to be compensation for the time, effort and talent devoted to the preparation of the plans.</p> <p>client signature</p>	<p>SCALE: VARIES</p> <p>DATE: 11/20/13</p> <p>REVISED: 1/9/14</p> <p>DRAWN BY: KW</p>	<p>APPROVED:</p> <p>Copyright 2013 by Ryan Signs, Inc.</p> <p>DRAWING NUMBER:</p> <p>5515A</p>
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Alexander Co. / 740 Regent St., Madison, WI



DF Illuminated cabinet with HO Lamps and ballasts
 Tenant panels routed aluminum with white acrylic letters
 Each tenant panel has Halo lit white led perimeters
 Top panel 1/2" Routed acrylic push thru letters

1/4" orange Pin stripe around each tenant panel

Installed on steel pipe direct buried in concrete



Customer Alexander Co.
Street 740 Regent St.
City Madison, WI

Date: 12.30.13
Account Rep. Dave Remitz

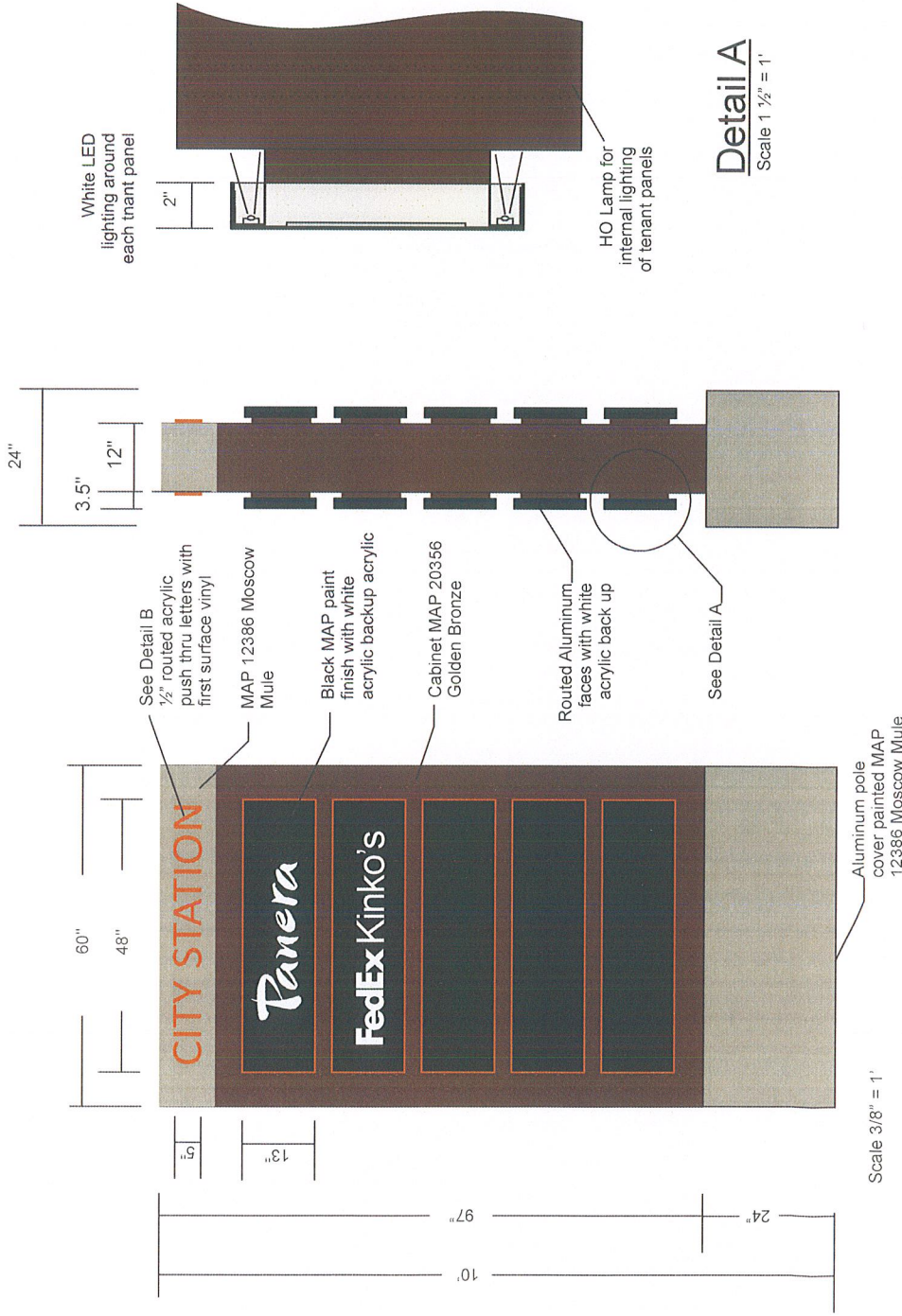
Designer: M Studnicka
Drawing No. Alexander_Nordic
Revision
Scale: 1/2" = 1'

Client Approval
Signature:
Print:
Date:

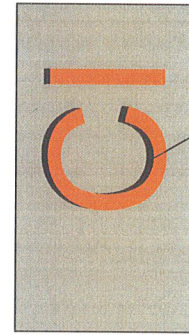
Landlord Approval
Signature:
Print:
Date:

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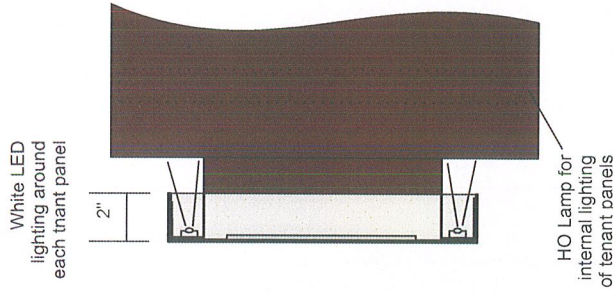
Alexander Co. / City Station



Scale 3/8" = 1'



Detail B
Scale 1 1/2" = 1'



Detail A
Scale 1 1/2" = 1'

DF Illuminated cabinet with HO Lamps and ballasts
Tenant panels routed aluminum with white acrylic letters
Each tenant panel has Halo lit white led perimeters
Top panel 1/2" " Routed acrylic push thru letters

1/4" orange Pin stripe around each tenant panel

Installed on (1) 6" steel pipe direct buried in concrete



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Client	Customer
Location	Alexander Co. / City Station
Drawing	660 West Washington Ave Madison, WI
Approval	Account Rep. Dave Remitz
	Designer: M. Studnicka Drawing No. City Station. odr Revision 1.2 Scale Per Drawing
	Date: 8.10.10
	Client Approval:
	Date:
	Landlord Approval:
	Date:
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660 WEST WASHINGTON



SOUTH ELEVATION
SUMMIT: 12'4" x 10.85" // LIFE STYLE: 11'7.5" x 1'



SOUTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION
156" x 21"



SOUTH ELEVATION
155" x 21"

660 WEST WASHINGTON



EAST LOT ENTRANCE



CORNER OF REGENT & W. WASH
EAST ELEVATION



CORNER OF REGENT & W. WASH
WEST ELEVATION



WEST ELEVATION



SOUTH ELEVATION - DRIVE THRU OVERHANG

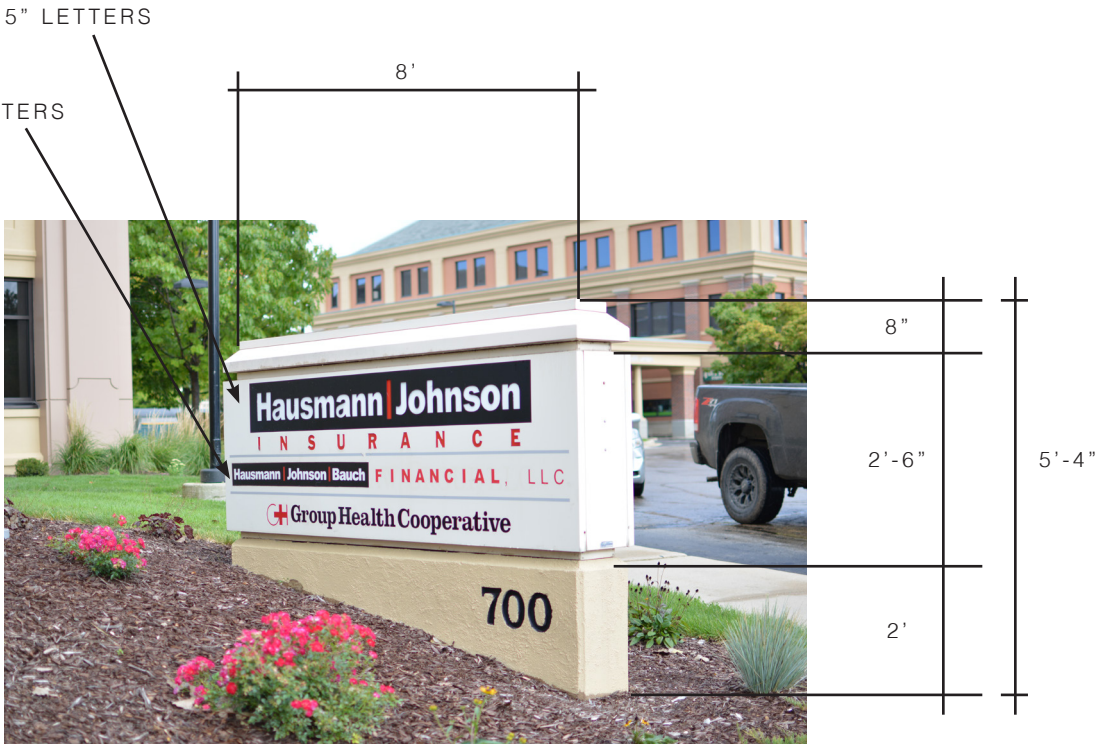


WEST ELEVATION

DESIRED LOCATION
FOR NEW SIGNAGE



SOUTH EAST OF BUILDING AT LOT ENTRANCE
EAST ELEVATION



SOUTH EAST OF BUILDING AT LOT ENTRANCE
WEST ELEVATION



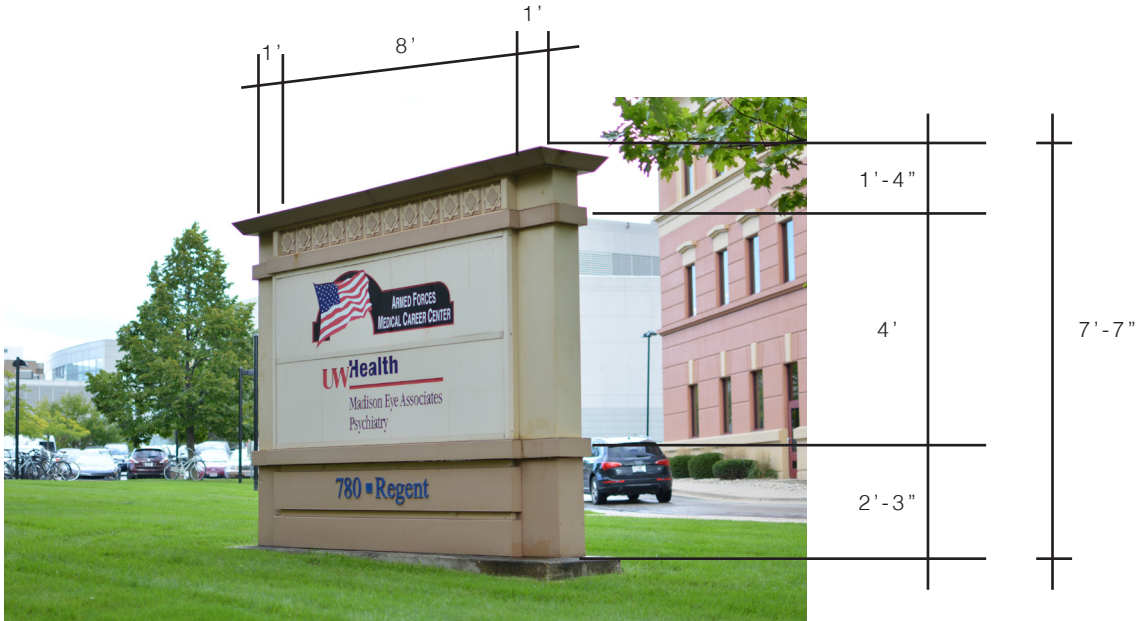
SOUTH WEST OF BUILDING AT LOT ENTRANCE
WEST ELEVATION 82" x 80"



SOUTH WEST OF BUILDING AT LOT ENTRANCE
EAST ELEVATION 82" x 80"



SOUTH EAST OF BUILDING AT LOT ENTRANCE
EAST ELEVATION



SOUTH EAST OF BUILDING AT LOT ENTRANCE
WEST ELEVATION