



CITY OF MADISON
ZONING BOARD OF APPEALS
VARIANCE APPLICATION

\$300 Filing Fee

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 4016 Hiawatha Drive

Name of Owner: Brian Fick and Kristina Stadler

Address of Owner (if different than above): _____

Daytime Phone: _____ Evening Phone: _____

Email Address: _____

Name of Applicant (Owner's Representative): Todd Barnett, Barnett Architecture LLC

Address of Applicant: 118 N. Breese Terrace Suite I
Madison, WI 53726

Daytime Phone: 608-709-6448 Evening Phone: 608-233-4538

Email Address: todd@barnettarchitecture.com

Description of Requested Variance:

A 2' roof overhang at the south side yard and modified roof "bulk" in the setback.

(See reverse side for more instructions)

FOR OFFICE USE ONLY

Amount Paid: <u>\$300</u>	Hearing Date: <u>12/8/16</u>
Receipt: <u>023212-0004</u>	Published Date: _____
Filing Date: <u>11/17/16</u>	Appeal Number: _____
Received By: <u>[Signature]</u>	GQ: _____
Parcel Number: <u>0709-294-2815-4</u>	Code Section(s): _____
Zoning District: <u>TR-C1</u>	_____
Alder District: <u>10 - Cheeks</u>	_____

Standards for Variance

The Zoning Board of Appeals shall not grant a variance unless it finds that the applicant has shown the following standards are met:

- 1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

The home currently does not have an overhang and if one is incorporated either the house must be moved or we need a variance.

- 2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

The variance is to provide a standard roof overhang that is found on most homes in the Nakoma neighborhood. It is not contrary to the spirit, purpose or intent the zoning regulations or contrary to the public interest.

- 3. For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

Residences are allowed a two-foot overhang into the setback by right but due to the fact that the home was constructed prior to the current zoning codes, introduction of one would locate the overhang closer to the property line than the 5' - the setback for roof overhangs. Currently the house sits approximately 5.1' and 5.2' off the south property line measured at the house corners. Without a variance, the owners would not be allowed a roof overhang clearly allowed for in the code and similar to most of the neighborhood. The proposal is to change the roof from a hip form to a gable form to provide for better weather protection, allow for modern attic venting and allow space increase the roof insulation at the weak points of the house envelope. The roof "bulk" with the proposed design is shorter than the existing although there is a bit more "volume" at the south side due to the roof framing required for the additional insulation and overall attic design.

- 4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

The hardship is created by the ordinance (and existing conditions) rather than by a person who has a present interest in the property (other than the owners Brian Fick and Kristina Stadler).

- 5. The proposed variance shall not create substantial detriment to adjacent property.










The proposed variance will not create a substantial detriment to the adjacent property.

- 6. The proposed variance shall be compatible with the character of the immediate neighborhood.

The proposed roof form is found in the neighborhood and will not be out of character.

Application Requirements

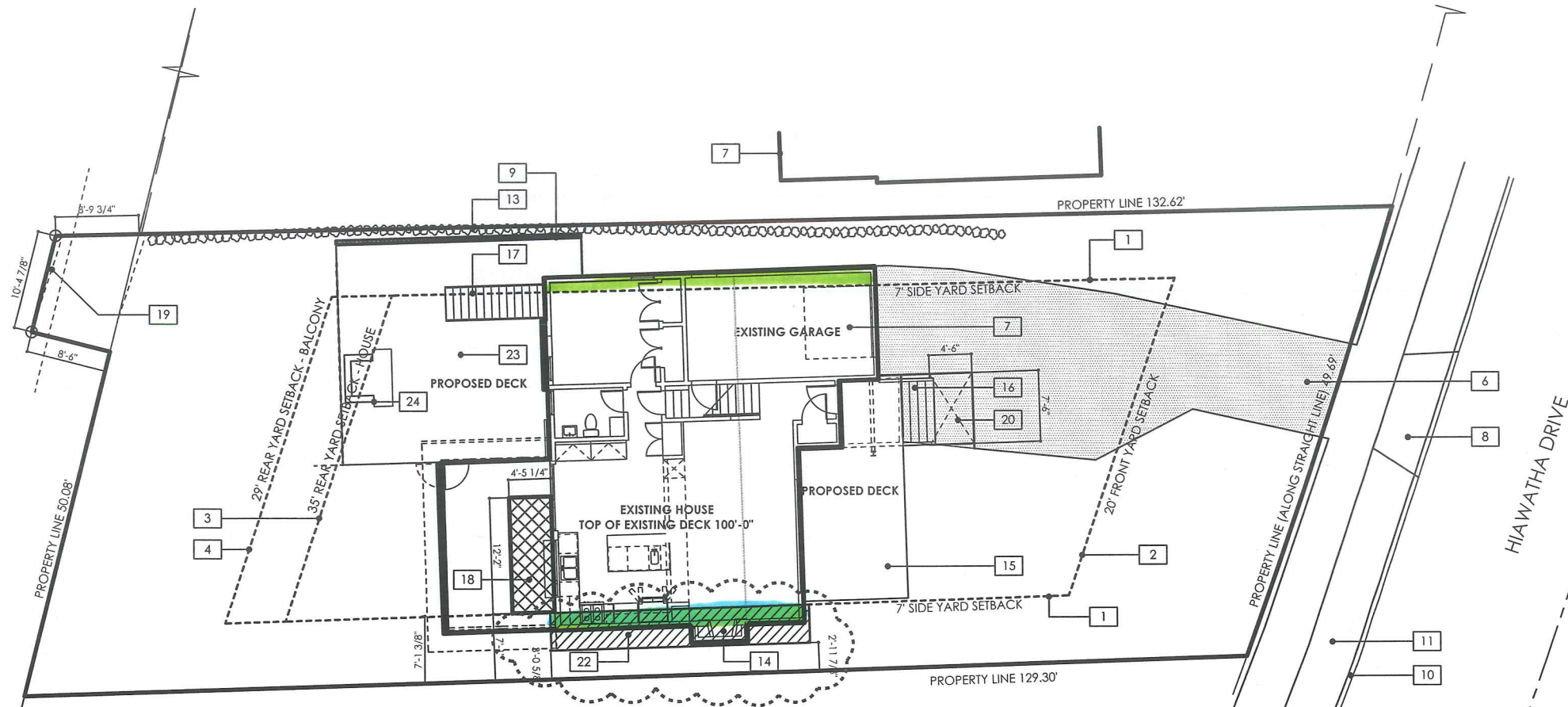
Please provide the following Information (Please note any boxes left unchecked below could result in a processing delay or the Board's denial of your application):

	Pre-application meeting with staff: Prior to submittal of this application, the applicant is strongly encouraged to discuss the proposed project and submittal material with Zoning staff. Incomplete applications could result in referral or denial by the Zoning Board of Appeals.
	<p>Site plan, drawn to scale. A registered survey is recommended, but not required. Show the following on the site plan (Maximum size for all drawings is 11" x 17"):</p> <ul style="list-style-type: none"> <input type="checkbox"/> Lot lines <input type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines <input type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance <input type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features <input type="checkbox"/> Scale (1" = 20' or 1" = 30' preferred) <input type="checkbox"/> North arrow
	Elevations from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s). (Maximum size for all drawings is 11" x 17")
	Interior floor plan of existing and proposed structure, when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans). (Maximum size for all drawings is 11" x 17")
	Front yard variance requests only. Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
	Lakefront setback variance requests only. Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
	Variance requests specifically involving slope, grade, or trees. Approximate location and amount of slope, direction of drainage, location, species and size of trees.
	CHECK HERE. I acknowledge any statements implied as fact require supporting evidence.
	CHECK HERE. I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

Owner's Signature: Bruce Fryc Date: 11/17/16

----- (Do not write below this line/For Office Use Only) -----

<h2 style="margin: 0;"><u>DECISION</u></h2>
<p>The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ (is) (is not) in compliance with all of the standards for a variance.</p> <p>Further findings of fact are stated in the minutes of this public hearing.</p>
<p>The Zoning Board of Appeals: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Conditionally Approved</p>
<p>Zoning Board of Appeals Chair:</p>
<p>Date:</p>



- GENERAL NOTES**
1. STAKE PROJECT TO VERIFY SETBACK LINES.
 2. DIMENSIONS FROM PROPERTY LINE TO SIDING FACE FOR EXISTING CONSTRUCTION AND FOUNDATION WALL FOR PROPOSED.
 3. LANDSCAPE WORK BY OWNER.
- KEYED NOTES**
1. SIDEYARD SETBACK.
 2. FRONT YARD SETBACK.
 3. REAR YARD SETBACK - HOUSE.
 4. REAR YARD SETBACK - BALCONY.
 5. EXISTING SIDEWALK.
 6. EXISTING DRIVEWAY.
 7. EXISTING HOUSE.
 8. EXISTING CONCRETE APRON
 9. FENCE.
 10. EXISTING CURB AND GUTTER.
 11. EXISTING TERRACE.
 12. RAISED SECTION OF GRADE FOR MAXIMUM 24" CHANGE IN ELEVATION AT DECK FOR MINIMUM 3' OUT.
 13. EXISTING RETAINING WALL.
 14. EXISTING CHIMNEY.
 15. ALTERNATE NO. 5: FRONT ENTRY DECK 101B. SET LESS THAN 24" ABOVE FINISH GRADE.
 16. FRONT ENTRY STAIR.
 17. DECK STAIR.
 18. BEDROOM BAY ADDITION ABOVE.
 19. REAR PROPERTY SETBACK MEASUREMENT LINE. LINE PARALLEL TO LINE STRUCK BETWEEN BETWEEN END POINTS OF PROPERTY LINE CHORD TO A POINT WHERE LINE IS 10'-0" LONG ACROSS REAR PROPERTY LINE.
 20. REMOVE SECTION OF CONCRETE AND REPLACE WITH STONE PAVERS (ALLOWANCE NO. 1)
 21. SHED.

KEYED NOTES - CONTINUED

22. ROOF CHANGE.
23. DECK.
24. CHIMNEY.

26. SETBACK ENCROACHMENT OF ROOF OVERHANG AND MODIFIED ROOF.

- LEGEND**
- PROPOSED ADDITION: enclosed by roofs, walls and floors
 - EXISTING CONSTRUCTION: enclosed by roofs, walls and floors
 - PROPOSED DECK
 - EXISTING PAVEMENT/HARD SURFACES
 - EXISTING CONTOUR TO REMAIN
 - EXISTING CONTOUR TO BE MODIFIED
 - PROPOSED CONTOUR

ELEVATION SCHEDULE - PLYWOOD, CONCRETE OR TREATED DECKING

LEVEL	SITE	ARCH.
SECOND FLOOR - EXISTING	108.90	108'-10 3/4"
SECOND FLOOR - PROP.	110.07	110'-0 7/8"
FIRST FLOOR - EXISTING	100.00	100'-0"
FIRST FLOOR - PROPOSED	98.83	98'-10"
BASEMENT - EXISTING	91.875	91'-10 1/2"
BASEMENT - PROPOSED	89.67	89'-8"
EDGE AT PERIMETER OF WINDOW WELL	93.17	93'-2"

AREAS - LOT COVERAGE CALCULATIONS

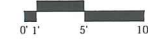
HOUSE	1537
PORCH	0 (OPEN WOOD)
SIDEWALK	0 (NONE)
DRIVEWAY	736
TOTAL	2273
ALLOWED	6233 X .50 = 3116.5 SF (36.5%)



Barnett Architecture
 118 NORTH BREEZE TERRACE
 SUITE 1
 MADISON, WISCONSIN 53726
 608.233.4538
 barnettarchitecture.com

ADDITION AND RENOVATION
 TO:

**FICK-STADLER
 RESIDENCE**
 4016 HIAWATHA DRIVE
 MADISON, WI 53711



**FOR PERMIT AND
 CONSTRUCTION**

DRAWING ISSUE DATES
 11-16-2016

2.3

2-Story Single-Family Home
 * 2nd Level Deck on Right side
 * Roof modifications

Side Yard, Right
 7'-0" Required
 5'-5" Provided
 1'-7" VARIANCE

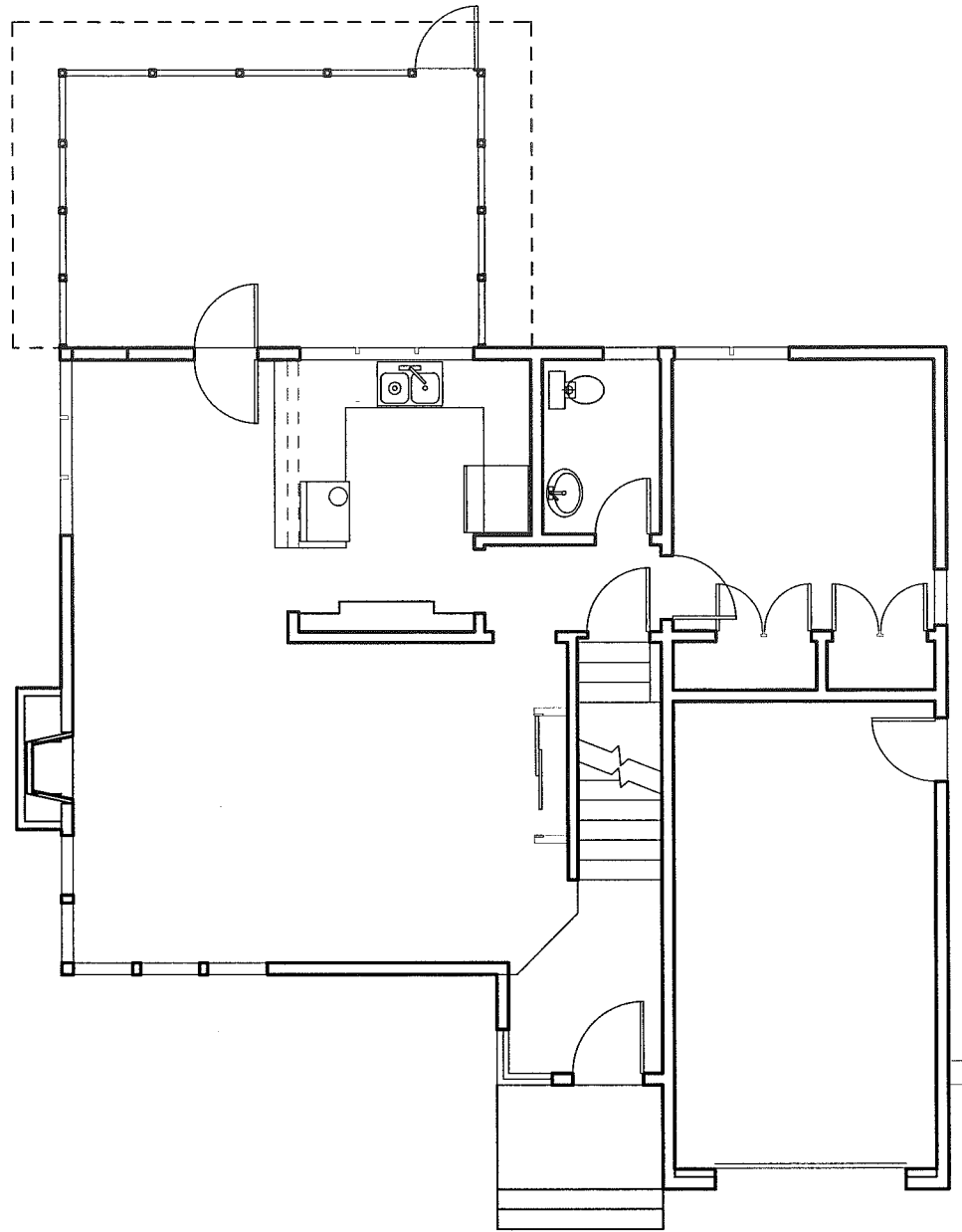
Side Yard, Left
 7'-0" Required
 5'-2" Provided
 1'-10" VARIANCE *

* Overhang OK once wall setback approved.

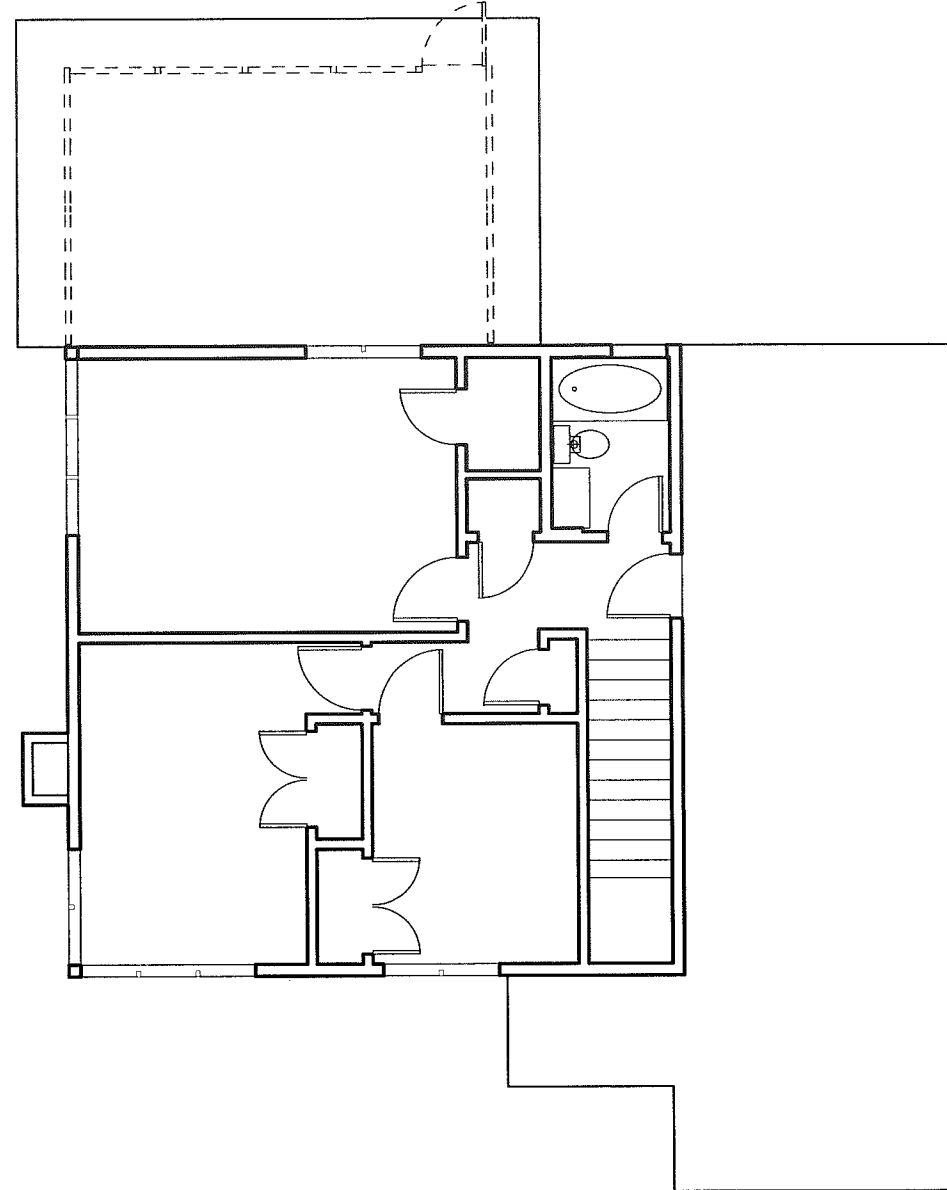
1 SITE PLAN - PROPOSED

SCALE: 1"=10'-0"

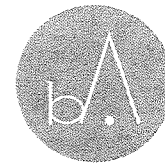
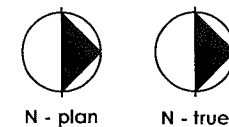
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1 FIRST FLOOR - EXISTING
SCALE: 1/8"=1'-0"



1 SECOND FLOOR - EXISTING
SCALE: 1/8"=1'-0"



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DESIGN STUDIES
FOR
FICK-STADLER
RESIDENCE

4016 HIAWATHA DRIVE
MADISON, WI 53711



PRELIMINARY
NOT FOR CONSTRUCTION

DRAWING ISSUE DATES
7-23-2015

2.1

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1 EAST ELEVATION
SCALE: 1/4"=1'-0"

EXISTING



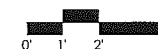
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FOR PERMIT AND
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DRAWING ISSUE DATES
10-18-2016

1 SOUTH ELEVATION

SCALE: 1/4"=1'-0"

EXISTING



5.2





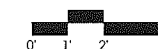
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1 WEST ELEVATION
SCALE: 1/4"=1'-0"

EXISTING



5.3



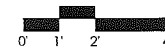
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1 NORTH ELEVATION EXISTING

SCALE: 1/4"=1'-0"



5.4



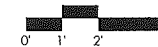
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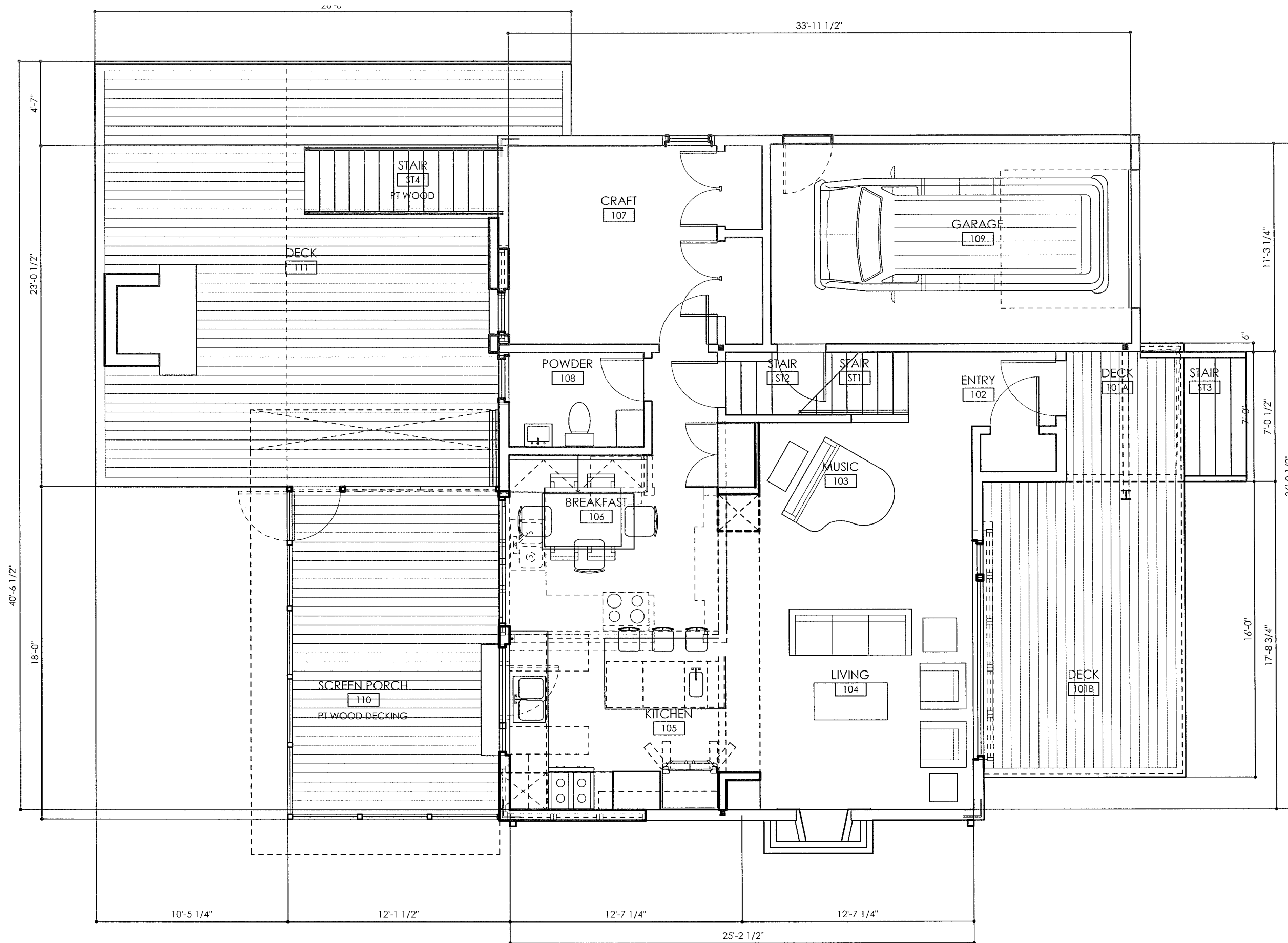
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1 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



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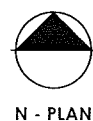
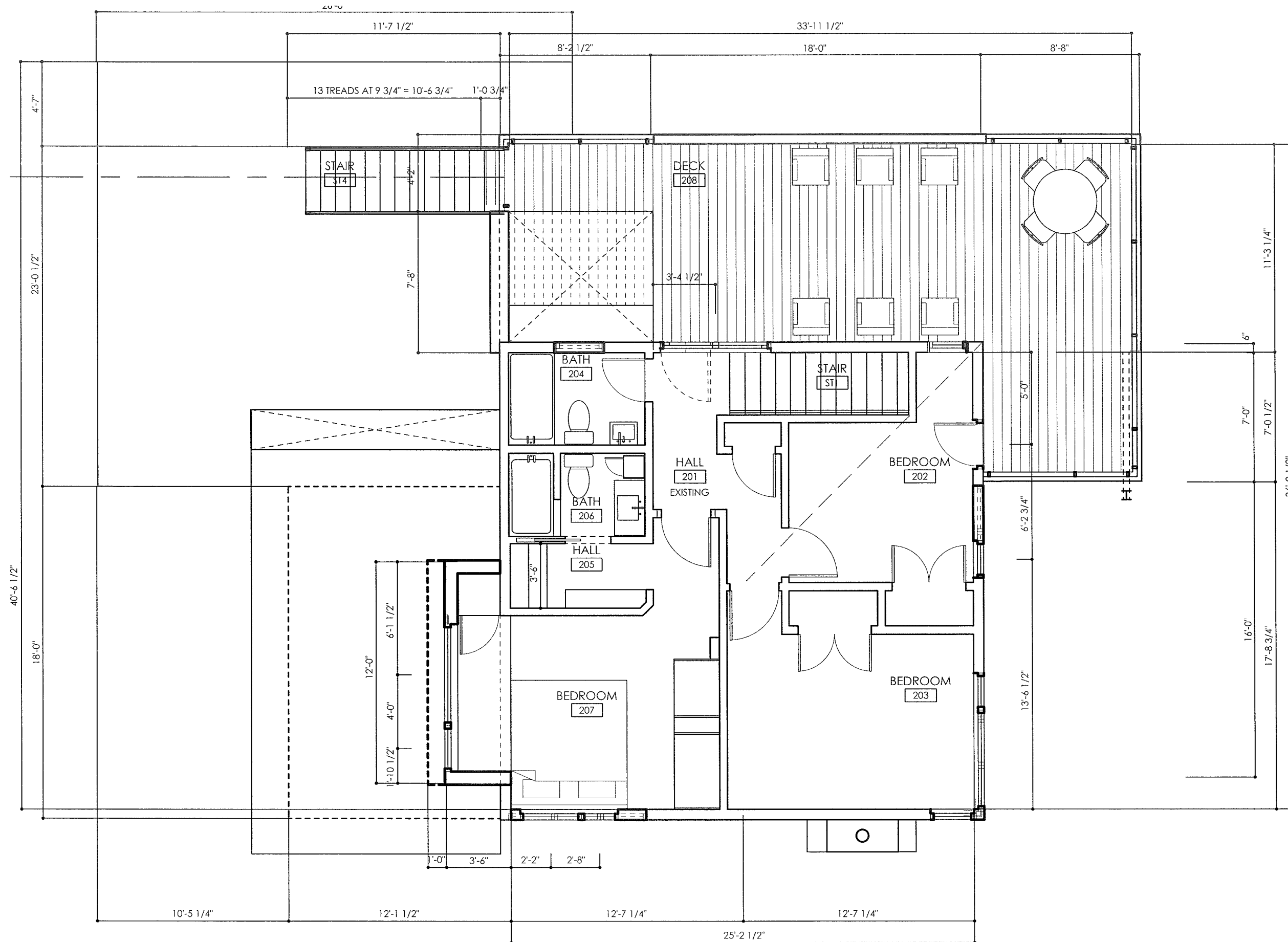
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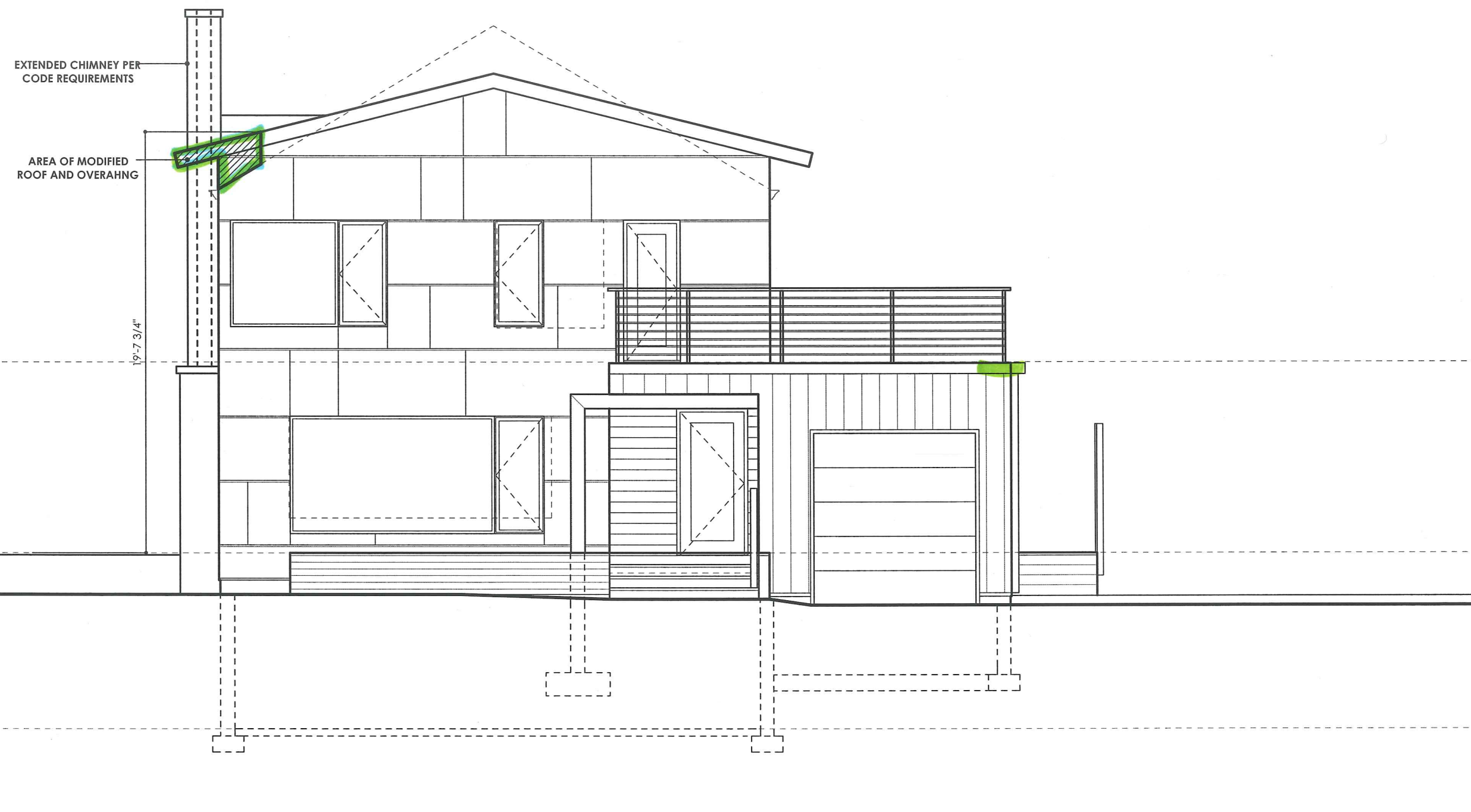
1 SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

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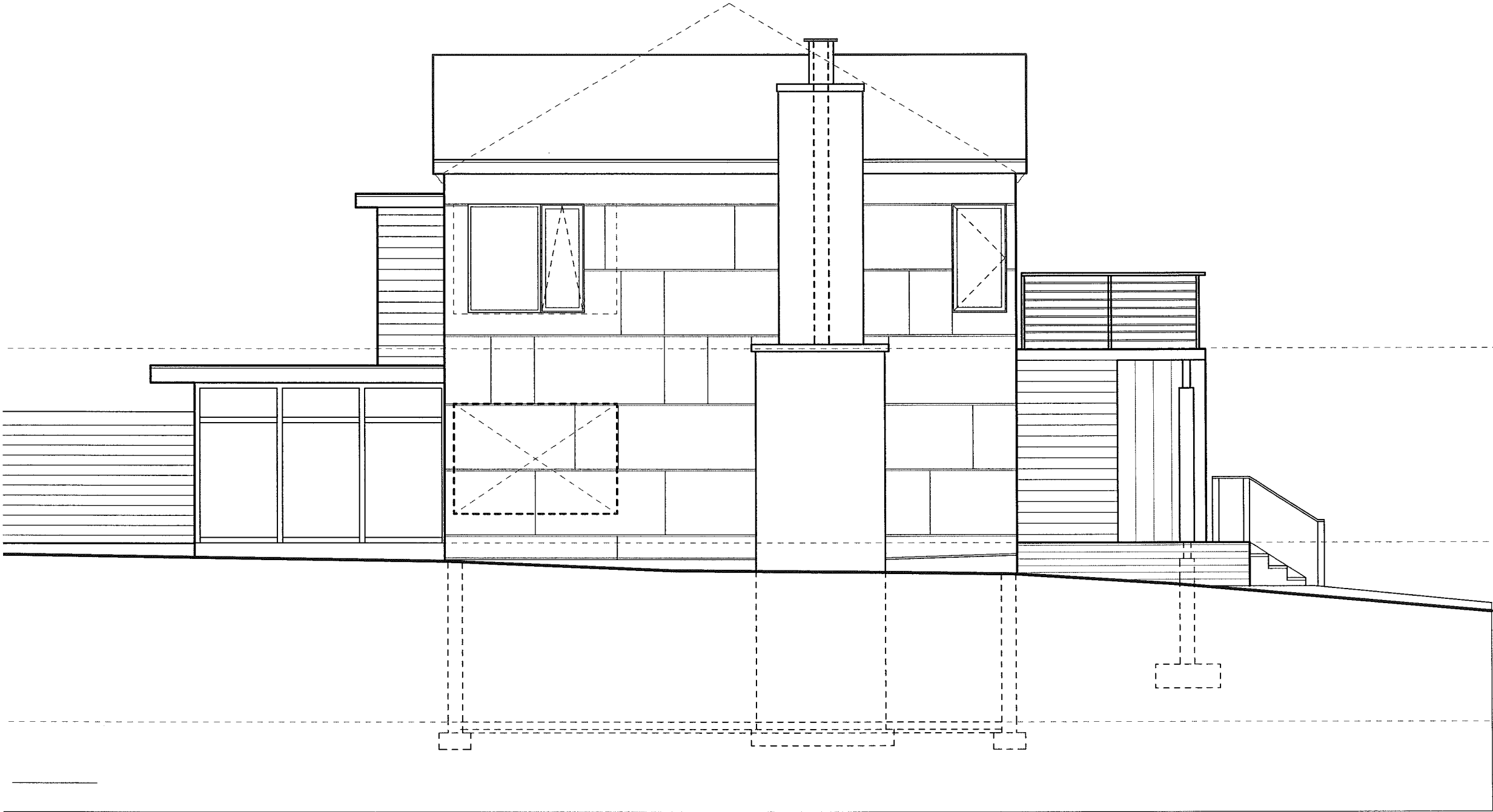
1 EAST ELEVATION PROPOSED
SCALE: 1/4"=1'-0"

5.1

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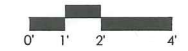
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SCALE: 1/4"=1'-0"

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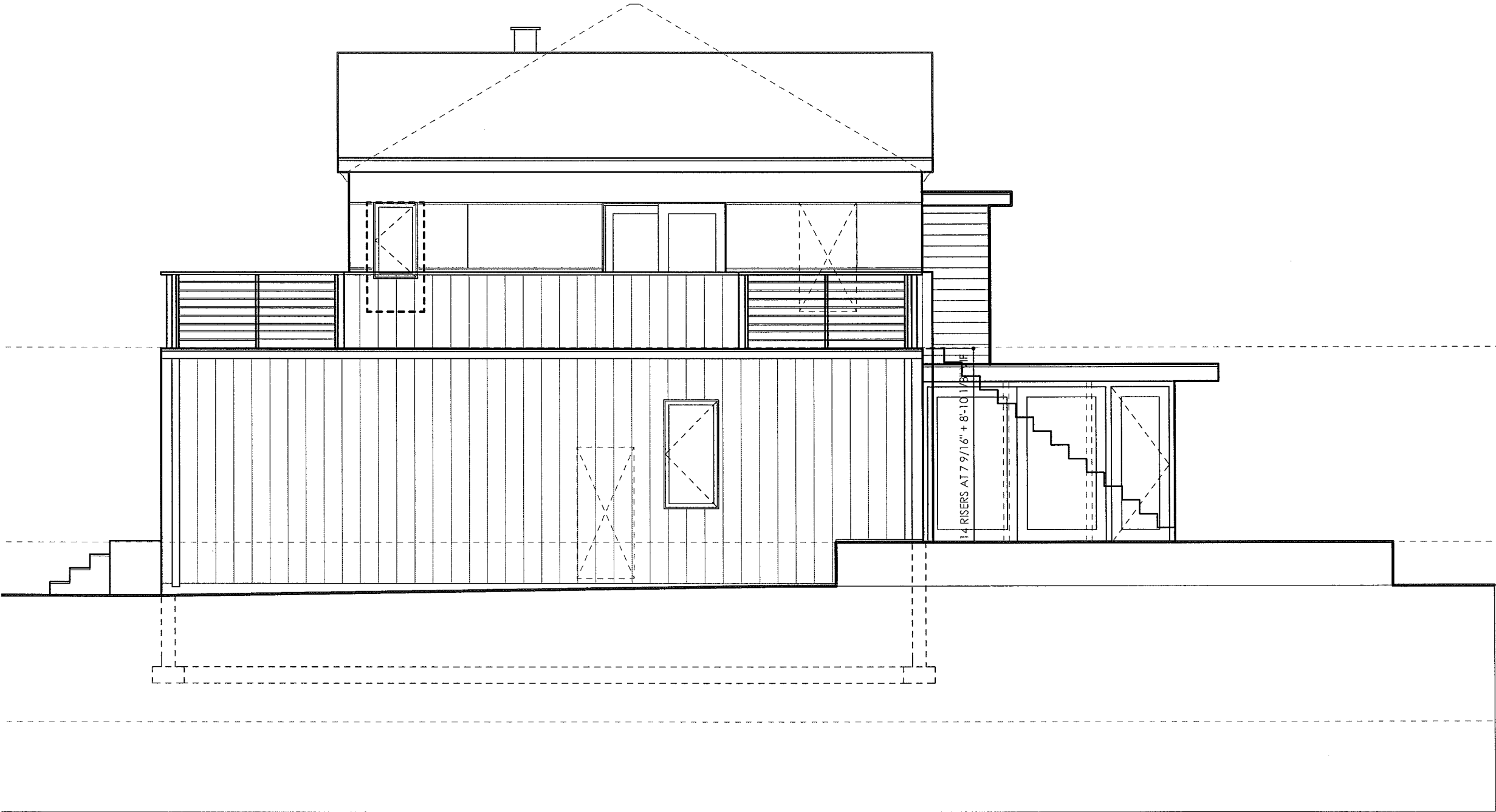
SCALE: 1/4"=1'-0"

5.3

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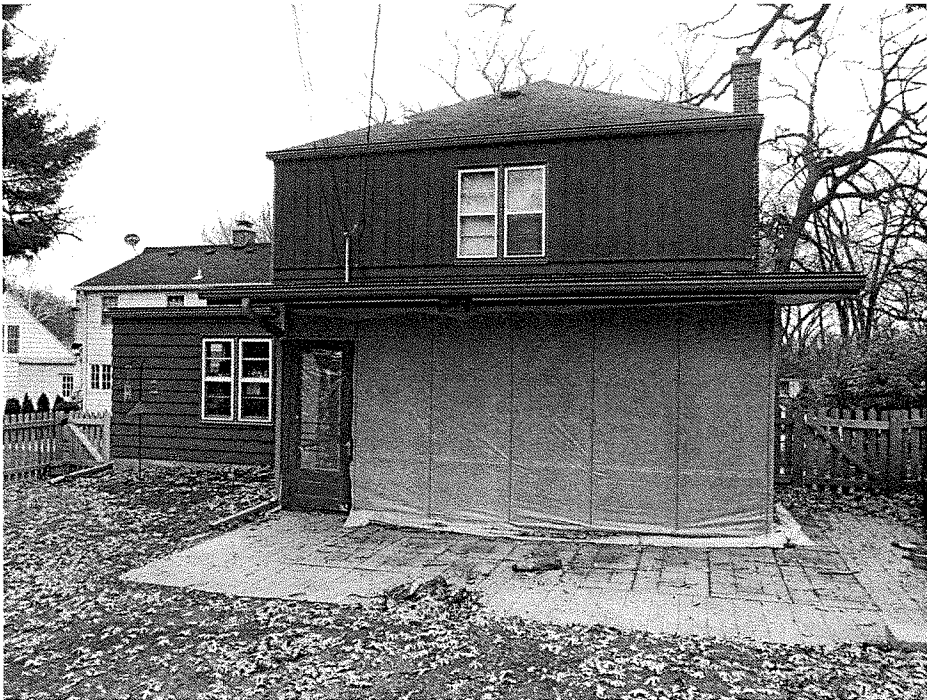
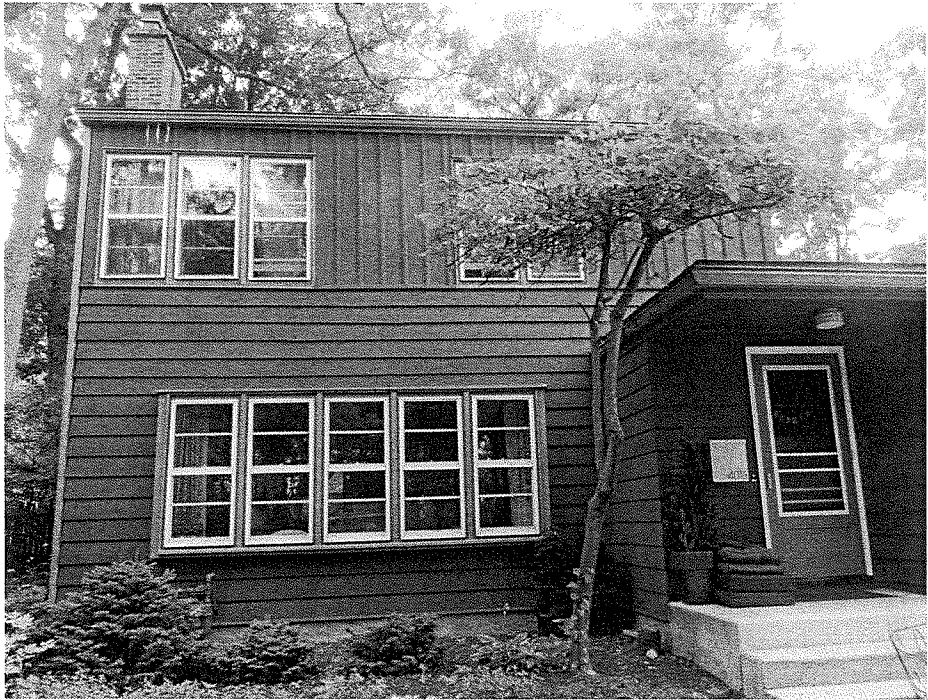
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1 NORTH ELEVATION PROPOSED

SCALE: 1/4"=1'-0"

5.4



EXISTING CONDITIONS



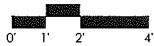
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