

TO:

Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, WI 53701

RE:

Letter of Intent – Land USE Application

PROJECT:

**Wingra Creek Residences
1004 & 1032 S. Park Street
Madison, WI**

AYA Project # 59830

The following is submitted together with the plans and application for review by staff and the Planning Commission.

Land Use Application:

With this application we will be requesting a final review of the project development and site plan layout.

Organizational Structure:

Owner/ Developer:

**Wingra Creek Residences, LLC
P.O. Box 620037
Middleton, WI 53562
608-249-2012
Contact: Terrence R. Wall
terrence@twallenterprises.com**

Architect:

**Angus-Young Associates, Inc.
16 N. Carroll Street Suite 610
Madison, WI 53703
608-284-8225
Contact: Jeff Davis
jeffd@angusyoung.com**

Engineer:

**Vierbicher
999 Fourier Drive, Suite 201
Madison, WI 53717
608-821-3966
Contact: Joe Doyle
jdoyle@vierbicher.com**

Landscape Design:

The Bruce Company
2830 Parmenter Street
PO Box 620330
Middleton, WI 53562
608-836-7041
Contact: Rich Strohmenger
rstrohmenger@brucecompany.com

Introduction:

The triangular 1.65 acre site is located on the south corner of Park Street and Fish Hatchery Road and is part of an approved PUD_GDP that established a guide for redevelopment of the former Bancroft Dairy site. The PUD-GDP was approved by the Common Council on October 4, 2011 and later approved to a PUD-SIP zoning.

This proposal will create a dynamic mixed-use community that features attractive architecture and landscaping with density and uses that will support the surrounding businesses and residential neighborhood.

Project Description:

The proposed development consists of 3 buildings of three to four stories surrounding an elevated and landscaped courtyard. The development provides a commercial space at the “wedge” of the site (corner of Park St. and Fish Hatchery Rd.), live-work spaces on Park Street and residential uses throughout the remainder of the site. Parking is below grade and the entrance is located along the South façade at the alley way between UW health and the proposed site. This is secured and heated parking. Residential apartments extend from the first through the fourth floors with a range of unit types available. The buildings will contain 156 apartment units, 1,965 gsf of commercial, and (5) live-work units totaling 11,301 gsf. We are providing site access via South Street (alley) from Fish Hatchery Road. Residents are encouraged to exit the site by turning Right onto South Park Street.

The UW/ Wingra Clinic plan provided a shared drive for vehicular access to the site from either Park Street or Fish Hatchery. The proposed building has access to the parking level via ramp off this shared drive. 157 heated and secured parking stalls are provided. The parking level also provides room for 156 bicycle parking stalls.

The property is in the Bay Creek Neighborhood Association and within the boundaries of UDD 7, the South Madison Neighborhood Plan, the Wingra BUILD plan and an approved PD_SIP. The proposed development is generally consistent with those plans.

Site Development Data:

Densities:

Lot area	71,647 sf or 1.64
Dwelling units	acres 161 units
Lot Area/ D.U.	445 sf/ unit
Density	99.3 Units/ Acre
Lot Coverage	57,674 sf

Dwelling Unit Mix:

Live/Work:	5 Units
Studio:	43
1 Bedroom:	68
1 Bedroom + Den	8
2 Bedroom:	37
Total:	161

Site Development Data (cont):

Building Height: 3-5 Stories

Floor Area Ratio:

Commercial	1,965 gsf
Live/ Work Space	11,301 gsf
Parking/ Support Spaces	58,767gsf
Residential	167,472 gsf
Gross Floor Area	240,394 gsf
Floor Area Ratio	3.35

Vehicle Parking Stalls:

Lower Level 157

Bicycle parking stalls:

Parking Level 156

Project Schedule

This project will be a phased development with construction of the first phase commencing in spring 2017 with scheduled completion/occupancy slated for spring 2018. The second phase will follow as market conditions dictate and is currently expected to start in 2018.

Hours of Operation:

The residential apartments property will be a professionally managed apartment community. The building will have an on-site management office with of operation are expected to be from 8:00 A.M. – 5:00 P.M., Monday through Friday, with scheduled appointments at other times. The hours of operation for the commercial spaces on the first floor will vary depending on the specific commercial user.

Thank you for your time reviewing our proposal.

Sincerely,

Jeff Davis, AIA

Zoning Text

PD-SIP

Wingra Point Phase II

March 12, 2015

Legal Description: See attached Exhibit A.

- A. **Statement of Purpose:** This original Planned Development zoning district is established to allow for the construction of a mixed-use development with 173 apartments plus 6,000 square feet of commercial space and 5,000 square feet of flex space to allow for residential units, commercial space or live-work units.
- B. **Permitted Uses:** Following are permitted uses:
 - 1. Multifamily residential uses as shown in approved plans.
 - 2. Commercial uses as allowed in the TSS District or as allowed in the approved PUD-GDP and reproduced in the attached Exhibit B.
 - 3. Live-work units as shown on the plans.
 - 4. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street parking and loading shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.211 for the TR-V2 zoning district.
- J. **Signage:** Signage for the residential buildings will be allowed as per the TSS zoning district or as provided in the approved PD-SIP plans or as a minor alteration to the approved PD-SIP.
- K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.



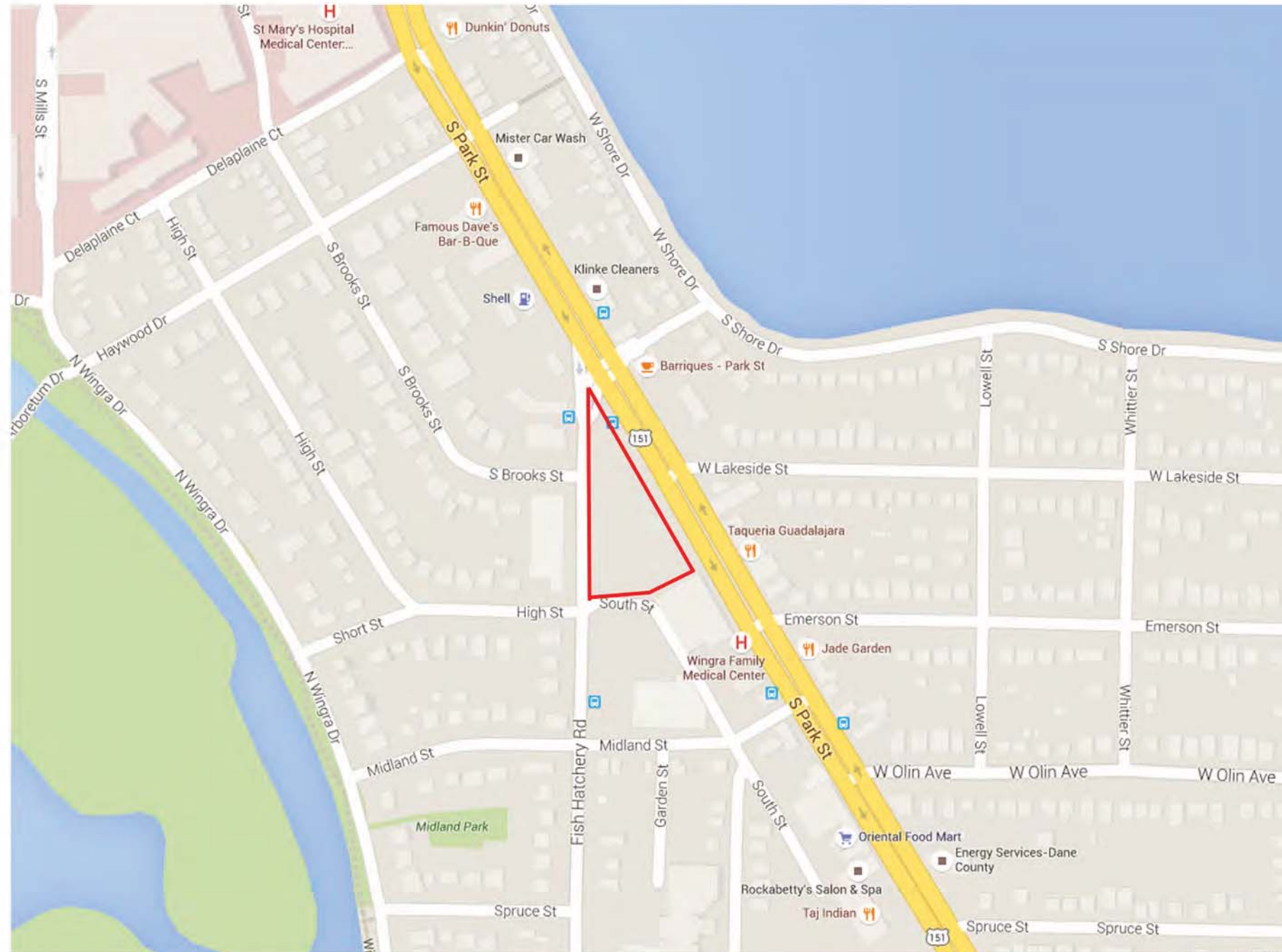
T. Wall Enterprises
Creating Places Where People Interact

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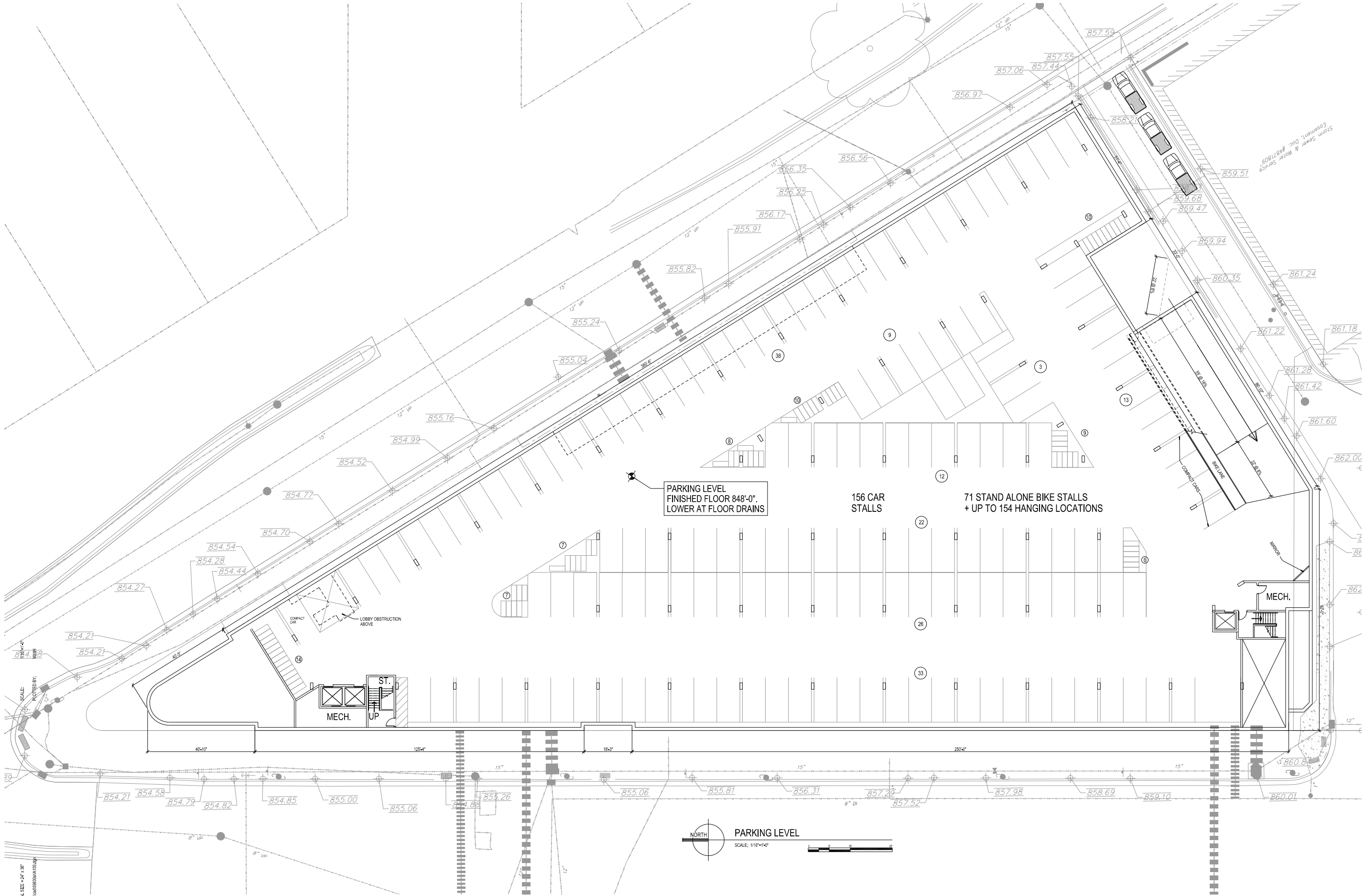
Balance in Creativity

Janesville: 555 South River Street - Janesville, WI 53548 | Ph. 608.756.2326
Madison: 16 North Carroll Street - Madison, WI 53703 | Ph. 608.284.8225

www.angusyoung.com



Wingra Creek Residences - Site Vicinity Map



ORIGINAL SIZE = 24" x 36"
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XXX
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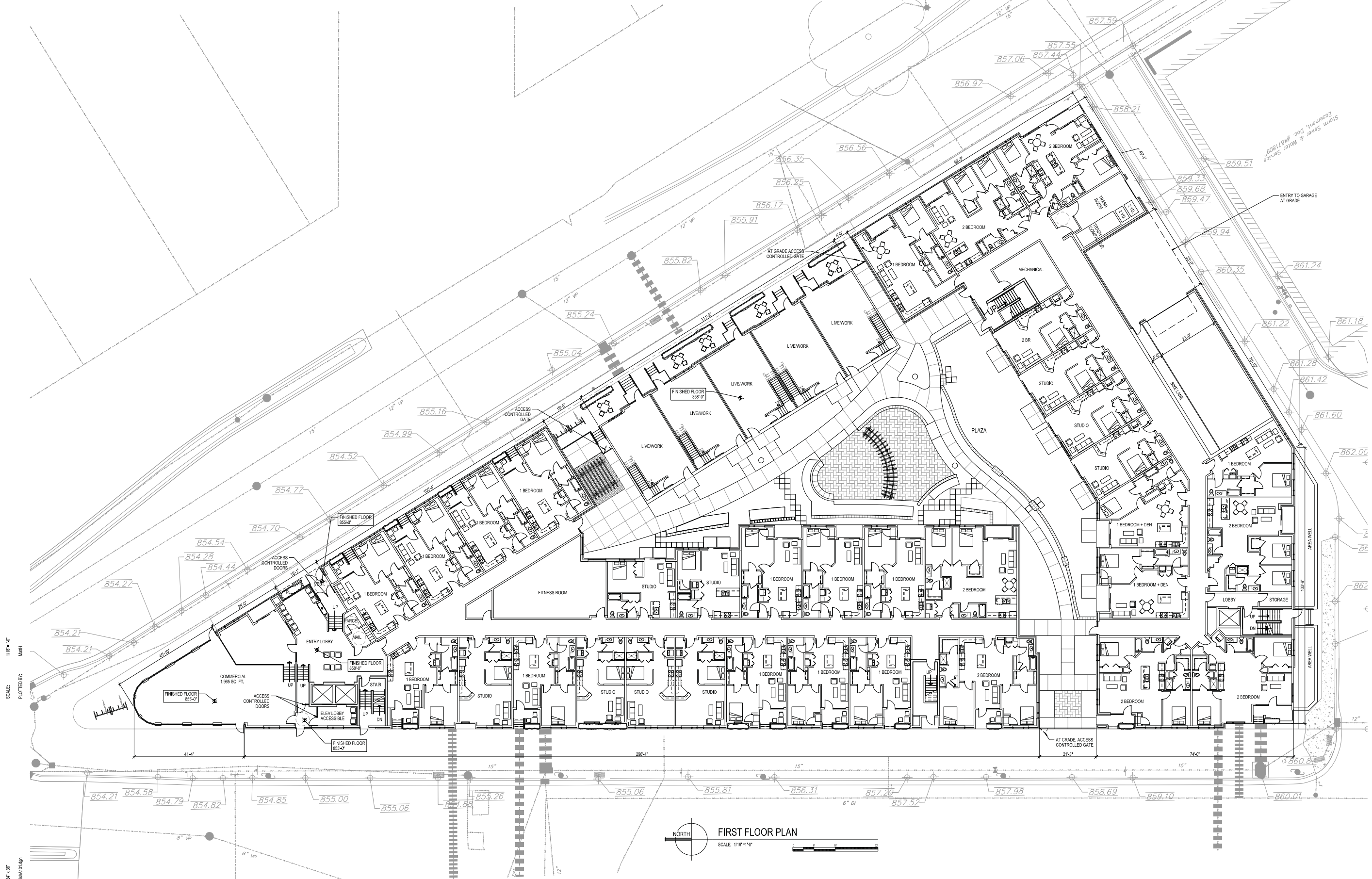
WINGRA POINT RESIDENCES
MIXED USE DEVELOPMENT
T.WALL ENTERPRISES
MADISON, WISCONSIN

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PRELIMINARY - NOT FOR CONSTRUCTION

A100



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SCALE: 1/16"=1'-0"
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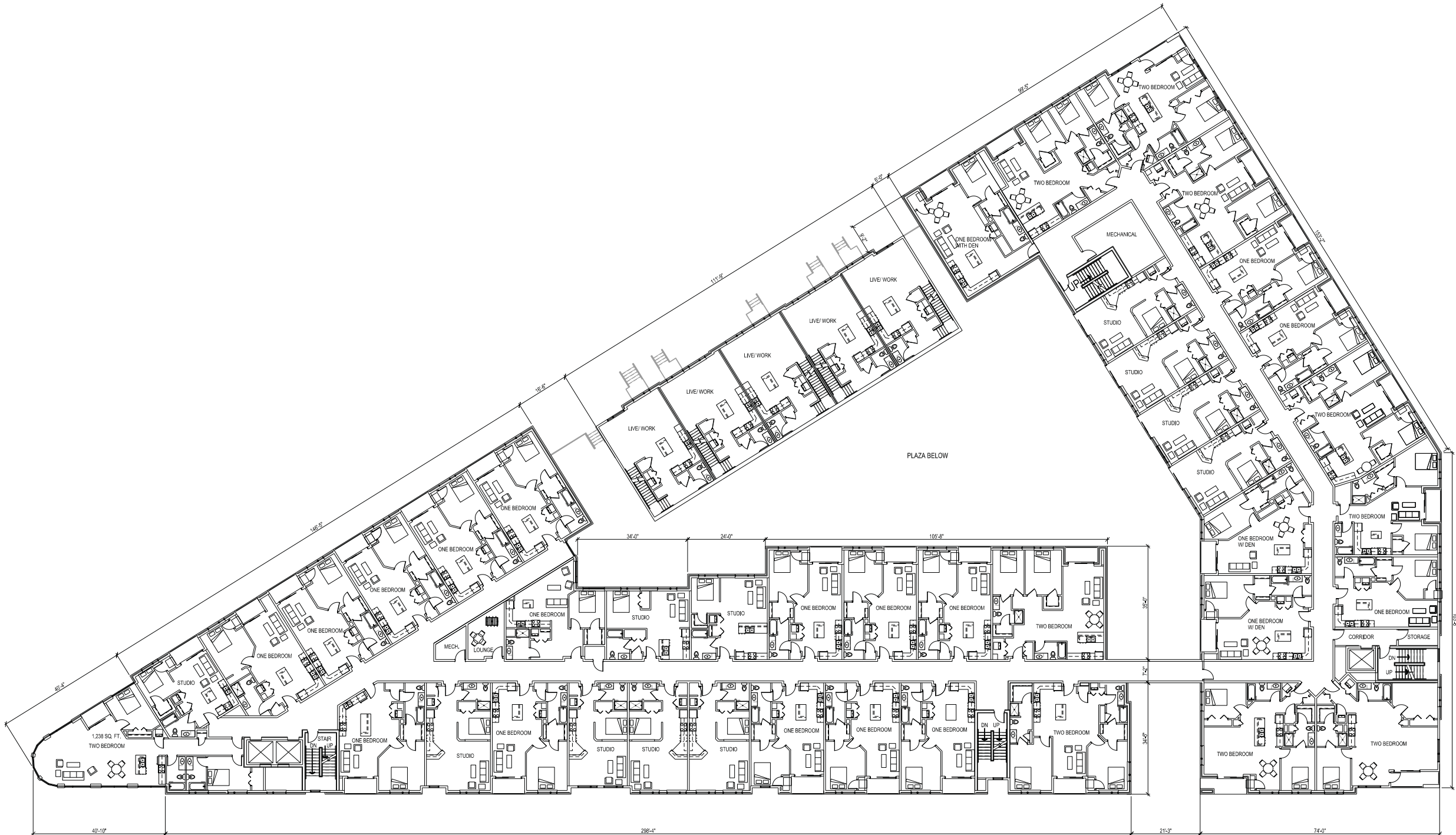
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PRELIMINARY - NOT FOR CONSTRUCTION

A101



NORTH
SECOND FLOOR PLAN
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REVIEWED BY	XXX
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DATE	9/27/2016

OVERALL
SECOND FLOOR
PLAN

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THIRD FLOOR PLAN
SCALE: 1/16"=1'-0"

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NORTH
FOURTH FLOOR PLAN
SCALE: 1/16"=1'-0"

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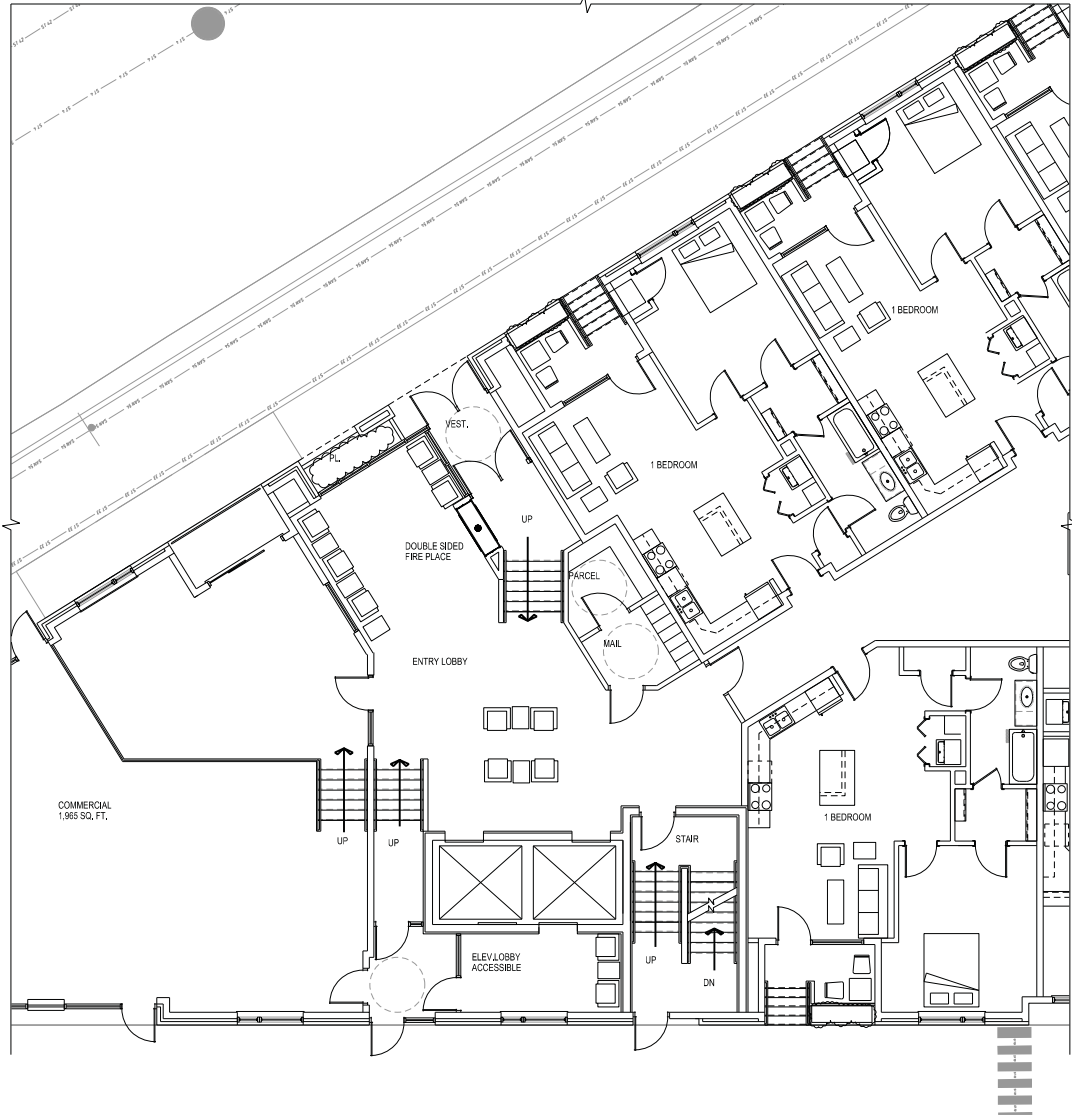
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NORTH
ENLARGED LOBBY PLAN
SCALE: 1/8"=1'-0"



NORTH
ENLARGED TRASH ROOM PLAN
SCALE: 1/8"=1'-0"



NORTH
LIVE/ WORK UNITS
SCALE: 1/8"=1'-0"

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ENLARGED FLOOR PLANS

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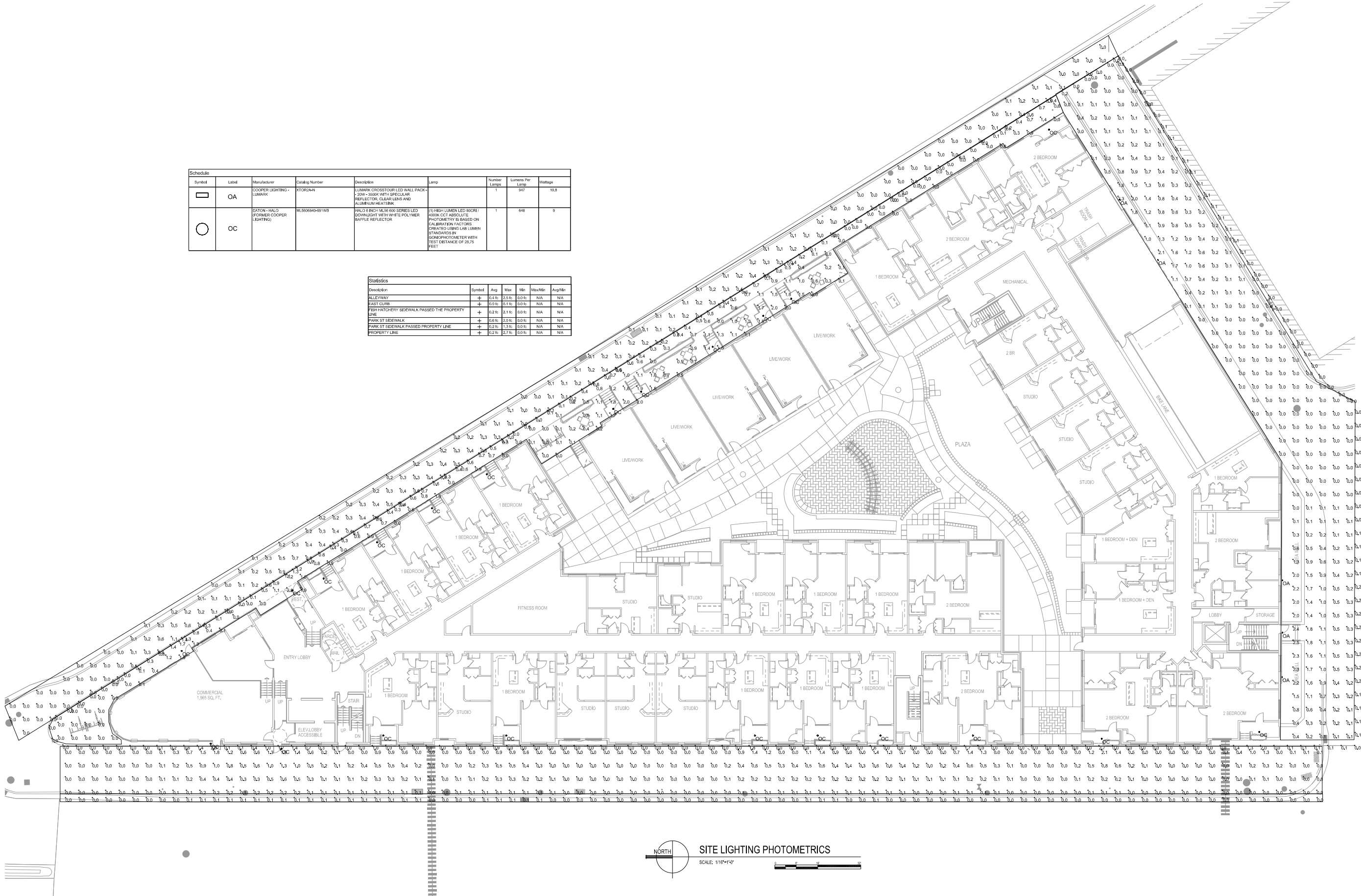
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Symbol	Label	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Wattage
□	OA	COOPER LIGHTING - LUMARK	XTORIAN	LUMARK CROSS-TOUR LED WALL PACK - 120W - 300K WITH SPECULAR REFLECTOR, CLEAR LENS AND ALUMINUM HEAT-SINK		1	947	19.8
○	OC	EDISON - HALO (FORMER COOPER LIGHTING)	ML500940-4914W	HALO 10" 100W 3000K SERIES LED DOWNLIGHT WITH WHITE POLYMER Baffle Reflector	71 HIGH LUMEN LED B300K 4000K CCT ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIPHOTOMETER WITH TEST DISTANCE OF 20.75 FEET	1	548	9

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ALLEYWAY	+	0.4 fc	2.5 fc	0.0 fc	N/A	N/A
EAST CURB	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
FISH HATCHERY SIDEWALK PASSED THE PROPERTY LINE	+	0.2 fc	2.1 fc	0.0 fc	N/A	N/A
PARK ST SIDEWALK	+	0.6 fc	2.0 fc	0.0 fc	N/A	N/A
PARK ST SIDEWALK PASSED PROPERTY LINE	+	0.2 fc	1.3 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	0.2 fc	2.7 fc	0.0 fc	N/A	N/A



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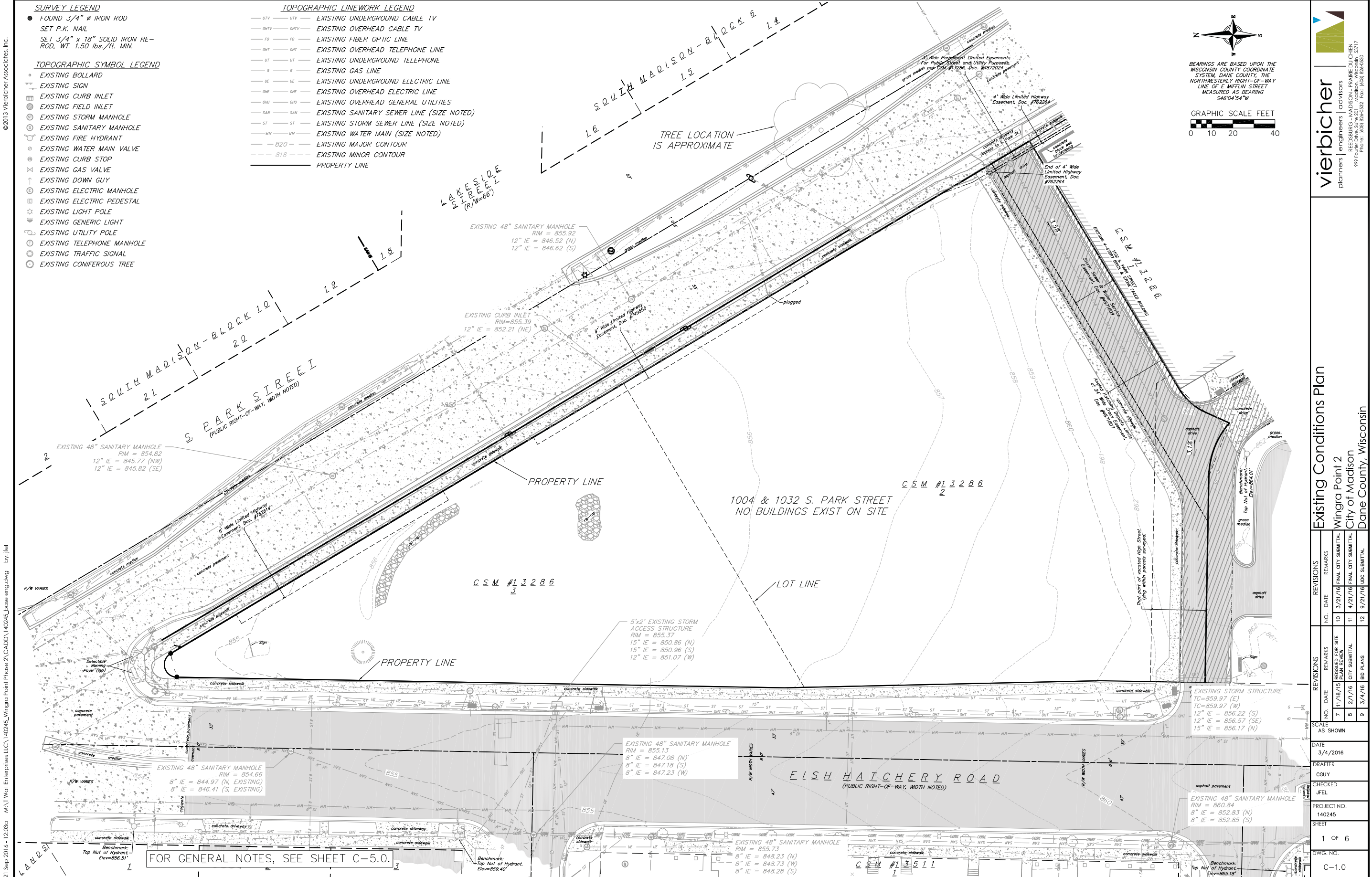
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58830		
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REVIEWED BY XXX		
DRAWN BY CTK		
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SITE LIGHTING
PHOTOMETRICS

E510

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- SURVEY LEGEND**
- FOUND 3/4" Ø IRON ROD
 - SET P.K. NAIL
 - SET 3/4" x 18" SOLID IRON RE-ROD, WT. 1.50 lbs./ft. MIN.
- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING BOLLARD
 - EXISTING SIGN
 - EXISTING CURB INLET
 - EXISTING FIELD INLET
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER MAIN VALVE
 - EXISTING CURB STOP
 - EXISTING GAS VALVE
 - EXISTING DOWN GUY
 - EXISTING ELECTRIC MANHOLE
 - EXISTING ELECTRIC PEDESTAL
 - EXISTING LIGHT POLE
 - EXISTING GENERIC LIGHT
 - EXISTING UTILITY POLE
 - EXISTING TELEPHONE MANHOLE
 - EXISTING TRAFFIC SIGNAL
 - EXISTING CONIFEROUS TREE

- TOPOGRAPHIC LINEWORK LEGEND**
- UTV — UTV — EXISTING UNDERGROUND CABLE TV
 - OHTV — OHTV — EXISTING OVERHEAD CABLE TV
 - FO — FO — EXISTING FIBER OPTIC LINE
 - OHT — OHT — EXISTING OVERHEAD TELEPHONE LINE
 - UT — UT — EXISTING UNDERGROUND TELEPHONE
 - G — G — EXISTING GAS LINE
 - UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
 - OHE — OHE — EXISTING OVERHEAD ELECTRIC LINE
 - OHU — OHU — EXISTING OVERHEAD GENERAL UTILITIES
 - SAN — SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - ST — ST — EXISTING STORM SEWER LINE (SIZE NOTED)
 - WM — WM — EXISTING WATER MAIN (SIZE NOTED)
 - 820 — 820 — EXISTING MAJOR CONTOUR
 - 818 — 818 — EXISTING MINOR CONTOUR
 - — — — — PROPERTY LINE



BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE NORTHWESTERLY RIGHT-OF-WAY LINE OF E. MYNLI STREET MEASURED AS BEARING S46°04'54"W

GRAPHIC SCALE FEET

0 10 20 40

Existing Conditions Plan

Wingra Point 2

City of Madison

Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
7	11/18/15	10	3/21/16
8	2/1/16	11	4/21/16
9	3/4/16	12	9/21/16
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	3/4/2016	1	3/4/2016
DATE		DATE	
3/4/2016		3/4/2016	
DRAFTER		DRAFTER	
CGUY		CGUY	
CHECKED		CHECKED	
JFEL		JFEL	
PROJECT NO.		PROJECT NO.	
140245		140245	
SHEET		SHEET	
1 OF 6		1 OF 6	
DWG. NO.		DWG. NO.	
C-1.0		C-1.0	



SCALE AS SHOWN		REVISIONS		REVISIONS	
NO.	DATE	REMARKS	NO.	DATE	REMARKS
7	11/18/15	RESSESSED FOR SITE PLAN REVIEW	10	3/21/16	FINAL CITY SUBMITTAL
8	2/1/16	CITY SUBMITTAL	11	4/21/16	FINAL CITY SUBMITTAL
9	3/4/16	BID PLANS	12	9/21/16	UDC SUBMITTAL

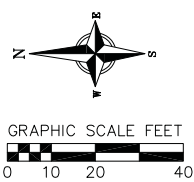
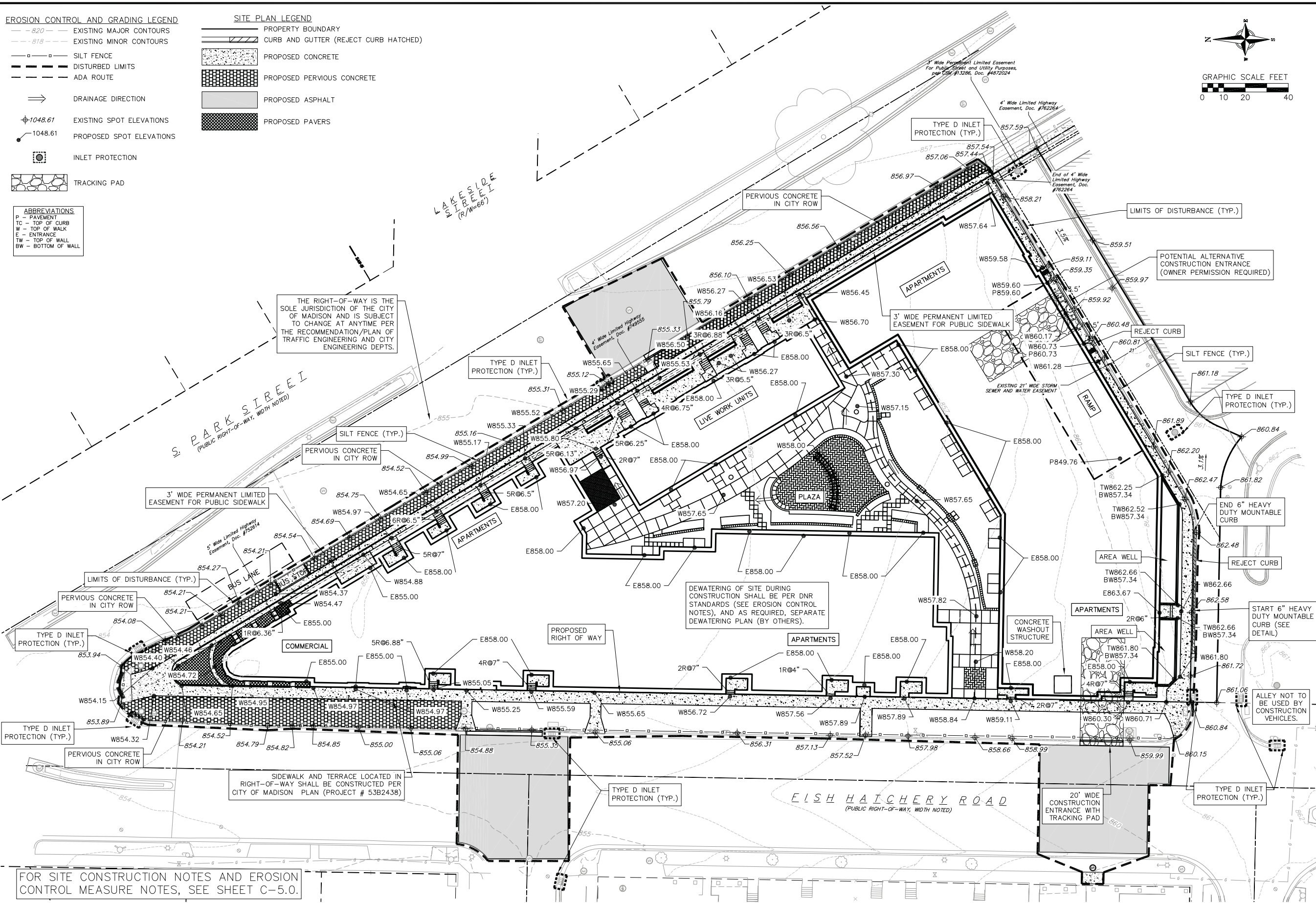
DATE: 3/4/2016
 DRAFTER: CGUY
 CHECKED: JFEL
 PROJECT NO.: 140245
 SHEET: 2 OF 6
 DWG. NO.: C-2.0

Demolition Plan
 Wingra Point 2
 City of Madison
 Dane County, Wisconsin

- EROSION CONTROL AND GRADING LEGEND**
- 820 — EXISTING MAJOR CONTOURS
 - 818 — EXISTING MINOR CONTOURS
 - o — SILT FENCE
 - — DISTURBED LIMITS
 - — ADA ROUTE
 - ⇒ DRAINAGE DIRECTION
 - ⊕1048.61 EXISTING SPOT ELEVATIONS
 - 1048.61 PROPOSED SPOT ELEVATIONS
 - ⊙ INLET PROTECTION
 - TRACKING PAD

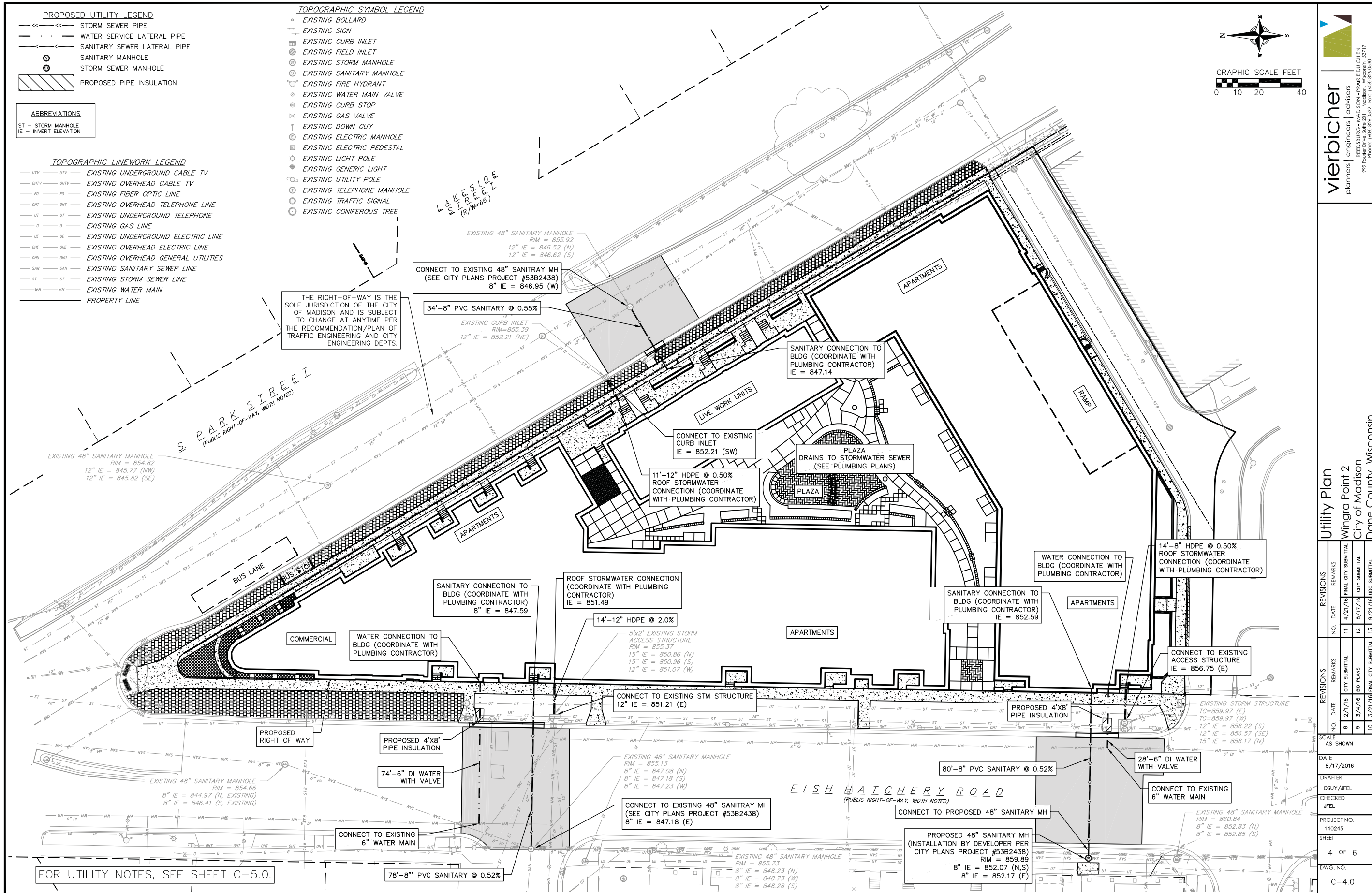
- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - CURB AND GUTTER (REJECT CURB HATCHED)
 - PROPOSED CONCRETE
 - PROPOSED PERVIOUS CONCRETE
 - PROPOSED ASPHALT
 - PROPOSED PAVERS

- ABBREVIATIONS**
- P — PAVEMENT
 - TC — TOP OF CURB
 - W — TOP OF WALK
 - E — ENTRANCE
 - TW — TOP OF WALL
 - BW — BOTTOM OF WALL

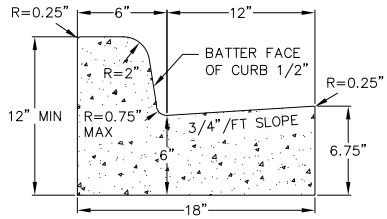


Grading Plan
Wingra Point 2
City of Madison
Dane County, Wisconsin

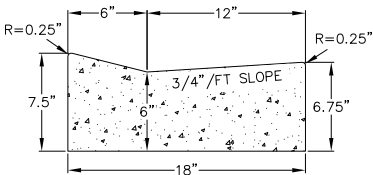
REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS
8	2/1/16	QTY SUBMITTAL	11	4/21/16	FINAL QTY SUBMITTAL
9	3/4/16	BID PLANS	12	8/17/16	QTY SUBMITTAL
10	3/21/16	FINAL QTY SUBMITTAL	13	9/21/16	JDC SUBMITTAL
SCALE AS SHOWN					
DATE 8/17/2016					
DRAFTER CGUY					
CHECKED JFEL					
PROJECT NO. 140245					
SHEET 3 OF 6					
DWG. NO. C-3.0					



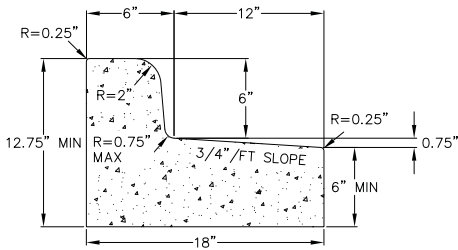
REVISIONS		NO.	DATE	REMARKS
8	2/2/16	QTY SUBMITTAL	4/2/16	FINAL QTY SUBMITTAL
9	3/4/16	BID PLANS	8/17/16	QTY SUBMITTAL
10	3/21/16	FINAL QTY SUBMITTAL	9/21/16	QTY SUBMITTAL
SCALE AS SHOWN				
DATE 8/17/2016				
DRAFTER CGUY/JFEL				
CHECKED JFEL				
PROJECT NO. 140245				
SHEET 4 OF 6				
DWG. NO. C-4.0				



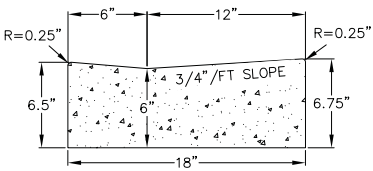
CURB AND GUTTER
CROSS SECTION



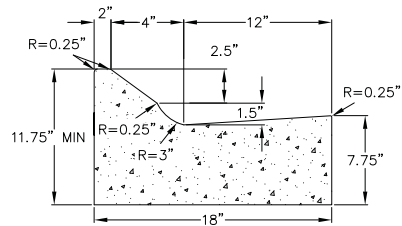
DRIVEWAY GUTTER
CROSS SECTION



CURB AND GUTTER
REJECT SECTION

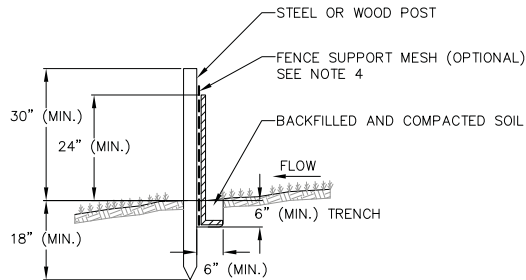


HANDICAP RAMP
GUTTER CROSS SECTION



MOUNTABLE CURB AND
GUTTER
CROSS SECTION

1 18" CONCRETE CURB AND GUTTER
5 NOT TO SCALE



2 SILT FENCE
5 NOT TO SCALE

NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
4. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
5. CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.
6. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
7. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
8. STORM AND SANITARY LATERAL SIZES/LOCATIONS WERE OBTAINED FROM CITY OF MADISON GIS DATA.

DEMOLITION NOTES:

1. ALL WORK IN THE RIGHT OF WAY SHALL BE PERFORMED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
2. ALL DAMAGE TO THE PAVEMENT ON S. PARK STREET AND FISH HATCHERY ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

SITE CONSTRUCTION NOTES:

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
4. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
6. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438) AND SHALL COMPLY WITH ALL PROVISIONS AS OUTLINED IN THE CITY OF MADISON STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

CONSTRUCTION SEQUENCE :

PHASE 1 –

1. INSTALL SILT FENCE AND TRACKING PAD. APRIL 2016
2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY. APRIL 2016
3. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT (AS NECESSARY). APRIL 2016
4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS. APRIL 2016
5. ROUGH GRADE FOR FOR BUILDINGS AND WALKS. MAY 2016
6. CONSTRUCT FOUNDATION, BASEMENT AND BUILDING JUNE 2016 – FEB 2017
7. CONSTRUCT UNDERGROUND UTILITIES. JUNE – JULY 2016
8. INSTALL INLET PROTECTION ON NEW INLETS. JUNE – JULY 2016
9. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA. SEPT – OCT 2016
10. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH. SEPT 2016

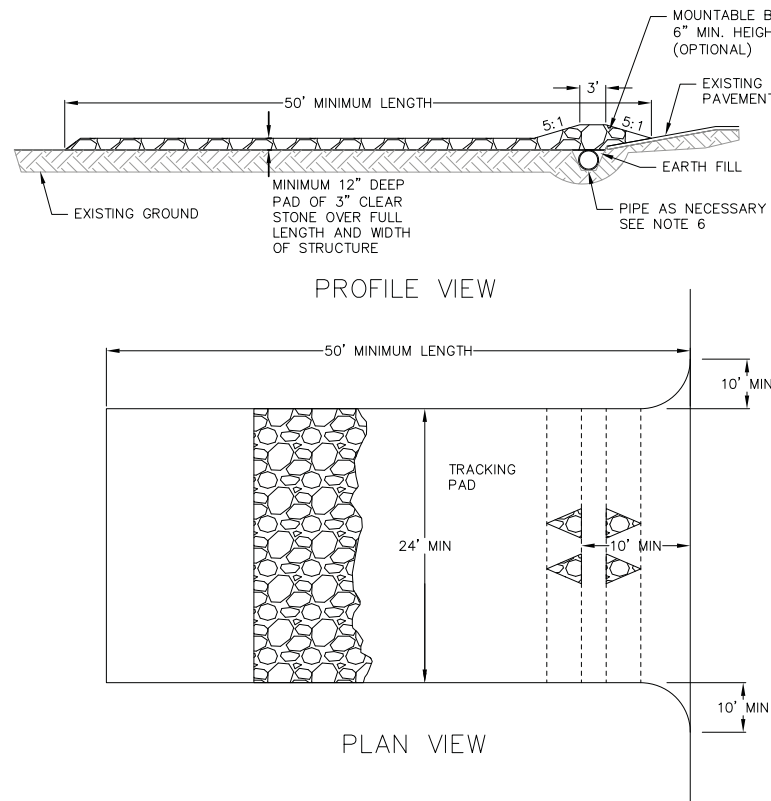
PHASE 2 –

1. CONSTRUCT BUILDING APRIL 2017 – NOV 2017
2. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH. SEPT 2017
3. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED. NOV 2017

UTILITY NOTES:

1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 – SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b.).
5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
12. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
13. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
14. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
15. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
16. ALL DAMAGE TO THE PAVEMENT ON SOUTH PARK STREET AND FISH HATCHERY ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
17. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
18. UTILITY CONTRACTOR SHALL OBTAIN A CONNECTION PERMIT AND EXCAVATION PERMIT PRIOR TO COMMENCING STORM SEWER CONSTRUCTION.

REVISIONS		REVISIONS		REVISIONS	
NO.	DATE	REMARKS	NO.	DATE	REMARKS
7	11/18/15	RESUBMITTED FOR SITE PLAN REVIEW	10	3/21/16	FINAL CITY SUBMITTAL
8	2/1/16	CITY SUBMITTAL	11	4/21/16	FINAL CITY SUBMITTAL
9	3/4/16	BD PLANS	12	9/21/16	JDC SUBMITTAL
SCALE AS SHOWN					
DATE 3/4/2016					
DRAFTER CGUY					
CHECKED JFEL					
PROJECT NO. 140245					
SHEET 5 OF 6					
DWG. NO. C-5.0					

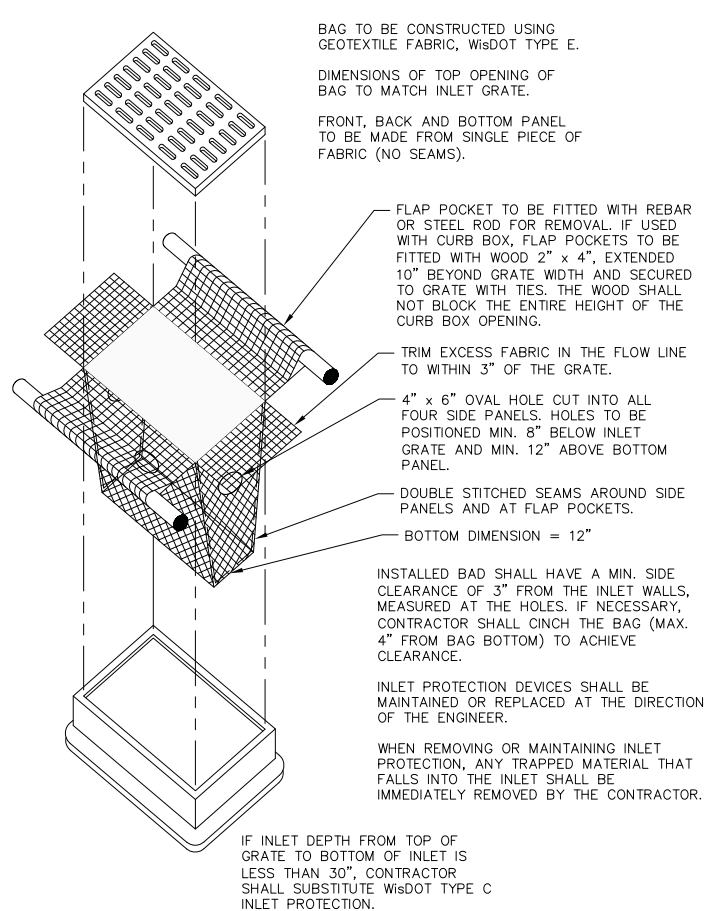


1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

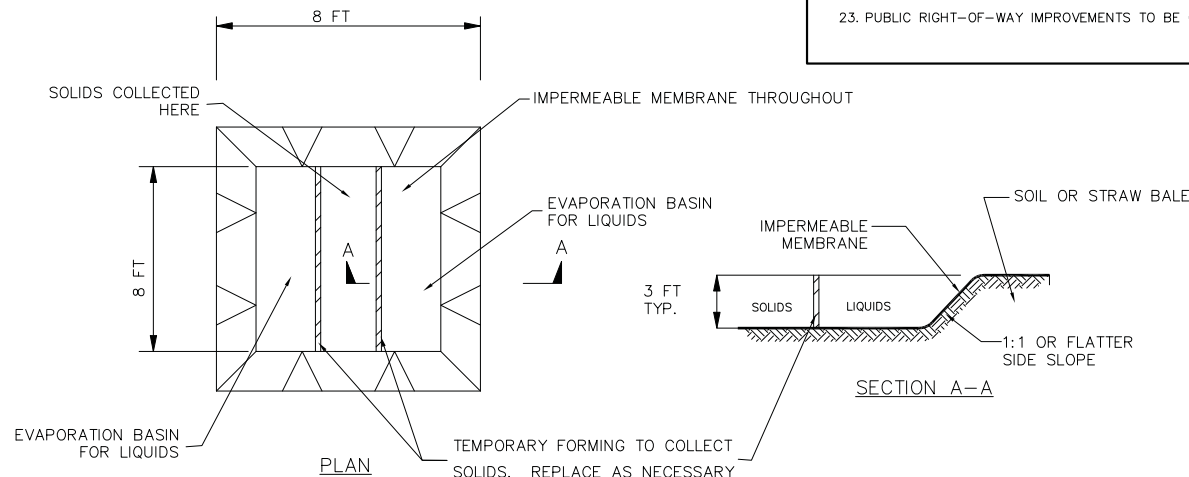


CONSTRUCTION SPECIFICATIONS

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



2 INLET PROTECTION TYPE D
6 NOT TO SCALE



3 CONCRETE WASHOUT STRUCTURE

EROSION CONTROL MEASURE NOTES:

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED PER APPLICABLE DNR TECHNICAL STANDARDS, OR OTHER APPROPRIATE CONTROL MEASURES. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DEWATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
22. IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.
23. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3,
OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T.
STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

 vierbicher planners engineers advisors				REDSBURG - MADISON - PRAIRIE DU CHIEN 509 E. MONROE ST. MADISON, WI 53717 Phone: (608) 824-9332 Fax: (608) 824-9330			
Erosion Control Notes and Details							
Wingra Point 2							
City of Madison							
Dane County Wisconsin							
SCALE AS SHOWN		REVISIONS		REVISIONS		NO. DATE	
DATE 3/4/2016		DRAFTER CGUY		CHECKED JFEL		PROJECT NO. 140245	
SHEET 6 OF 6		DWG. NO. C-6.0		REVISIONS FOR SITE PLAN REVIEW		NO. DATE	
7		11/18/15		10		3/21/16	
8		2/1/16		11		4/21/16	
9		3/4/16		12		9/21/16	
10		10/1/16		13		10/1/16	
11		10/1/16		14		10/1/16	
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46		10/1/16		49		10/1/16	
47		10/1/16		50		10/1/16	
48		10/1/16		51		10/1/16	
49		10/1/16		52		10/1/16	
50		10/1/16		5			

Plant Material List

Broadleaf Deciduous				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
3	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
3	CCP	Chanticleer Callery Pear	Pyrus Calleryana 'chanticleer'	2 1/2" B&B
Conifer Evergreen				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
7	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'	4' B&B
7	MMP	Mops Mugo Pine	Pinus Mugo 'mops'	#3 CONT.
7	WGA	Woodward Globe Arborvitae	Thuja Occidentalis 'woodwardii'	#5 CONT.
Perennial				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
40	SBA	Summer Beauty Allium	Allium 'summer Beauty'	#1 CONT.
99	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
40	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.
5	PMG	Purple Maiden Grass	Miscanthus Sinensis Var Purpurescens	#1 CONT.
8	LTC	Little Titch Catmint	Nepeta Racemosa 'little Titch'	#1 CONT.
7	MNMS	May Night Sage	Salvia Nemorosa 'mainacht'	#1 CONT.
80	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.
Shrub				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
8	CSSB	Cool Splash Southern Bush-Hone	Diervilla Sessilifolia 'l'pdc Podaras'	#3 CONT.
19	AH	Annabelle Hydrangea	Hydrangea Arborescens 'annabelle'	#3 CONT.
3	PDH	Pink Diamond Hydrangea	Hydrangea Paniculata 'pink Diamond'	#5 CONT.
3	KV	Koreanspice Viburnum	Viburnum Carlesii	30" B&B
2	LJAV	Little Joe Arwd Viburnum	Viburnum Dentatum 'klmseventeen'	5 GAL.

MADISON LANDSCAPE WORKSHEET

Zoning district is GDP/SIP
Total square footage of developed area12,500 SF
Total square footage of first 5 acres of developed area + 300 square feet =42 Landscape Units
Total square footage of 0 additional acres of developed area + 100 square feet =0 Landscape Units

NUMBER OF LANDSCAPE POINT REQUIRED
42 Landscape Units x 5 landscape points for first 5 acres210 points
0 Landscape Units x 1 landscape point for additional acres0 points
TOTAL LANDSCAPE POINTS REQUIRED210 points

PLANT TYPE or ELEMENT	Point Value	NEW		EXISTING		TOTAL POINTS PROVIDED
		Qty.	Points Achieved	Qty.	Points Achieved	
Overstory Deciduous Tree : 2-1/2" (dbh)	35	3	105			
Tall Evergreen Tree : 5-6 feet tall	35					
Ornamental Tree : 1-1/2" Caliper (dbh)	15	3	45			
Upright Evergreen Shrub : 3-4 feet tall	10	7	70			
Shrub, deciduous : 3 gallon / 12"-24"	3	35	105			
Shrub, evergreen : 3 gallon / 12"-24"	4	14	56			
Ornamental grass/perennial : 1 gallon / 8"-18"	2	279	558			
Ornamental / Decorative fencing or wall	4 per 10 l.f.					
Existing significant specimen tree	14 per Cal. In.					
Landscape furniture for public seating and /or transit connections	5 per 'seat'					
Sub Totals		939		+	NA	= 939

Street Frontage Landscape Required

Street Frontage =1,000 LF
Canopy Trees Required: 1 per 30 LF Frontage =33
Shrubs Required : 5 per 30 LF Frontage =165

Street Frontage Landscape Supplied

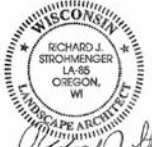
Proposed Canopy Trees =Due to site constraints we request alternative requirements as shown per plan
Proposed Shrubs =Due to site constraints we request alternative requirements as shown per plan

City Street Trees at Park Street and Fish Hatchery Road -- Plant Material List

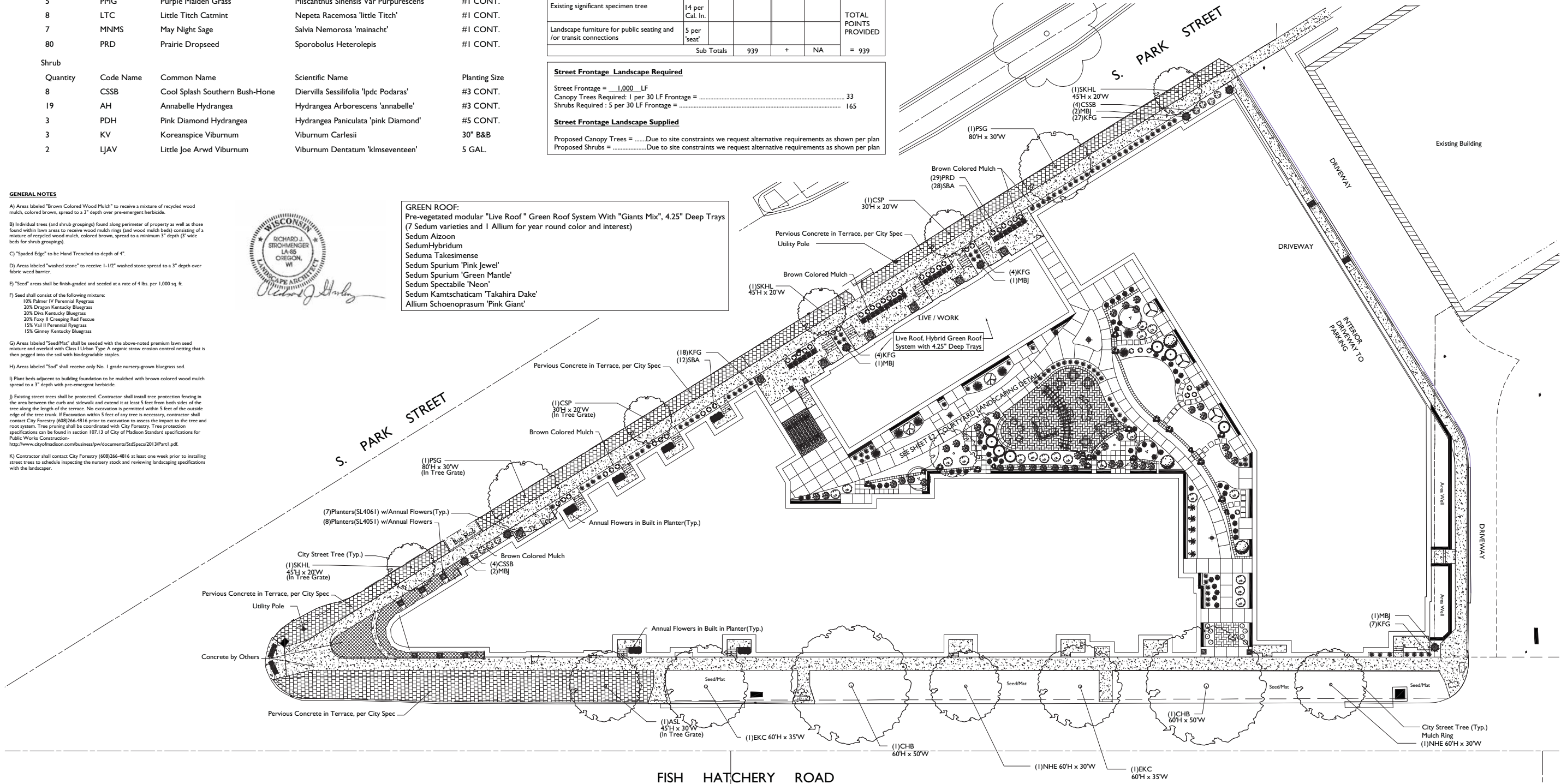
Broadleaf Deciduous				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
2	CHB	Common Hackberry	Celtis Occidentalis	2 1/2" B&B
2	PSG	Princeton Sentry Ginkgo	Ginkgo Biloba 'princeton Sentry'	2 1/2" B&B
3	SKH	Street Keeper Honeylocust	Gleditsia Triacan 'draves'	2 1/2" B&B
2	EKC	Espresso Kentucky Coffeetree	Gymnocladus Dioicus 'espresso-Jfs'	2 1/2" B&B
2	CSP	Cleveland Select Pear	Pyrus Calleryana 'Cleveland Select'	2 1/2" B&B
1	ASL	American Sentry Linden	Tilia Americana 'McKSentry'	2 1/2" B&B
2	NHE	New Horizon Elm	Ulmus 'new Horizon'	2 1/2" B&B

GENERAL NOTES

- A) Areas labeled "Brown Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (2" wide beds for shrub groupings).
- C) "Spaded Edge" to be Hand Trenched to depth of 4".
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:
10% Palmer IV Perennial Ryegrass
20% Dragon Kentucky Bluegrass
20% Diva Kentucky Bluegrass
20% Tovy II Creeping Red Fescue
15% Vail II Perennial Ryegrass
15% Ginny Kentucky Bluegrass
- G) Areas labeled "SeedMat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with Class I Urban Type A organic straw erosion control netting that is then pegged into the soil with biodegradable staples.
- H) Areas labeled "Soil" shall receive only No. 1 grade nursery-grown bluegrass sod.
- I) Plant beds adjacent to building foundation to be mulched with brown colored wood mulch spread to a 3" depth with pre-emergent herbicide.
- J) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If Excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction.
<http://www.cityofmadison.com/business/pwr/documents/StdSpecs/2013/Part1.pdf>.
- K) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.



GREEN ROOF:
Pre-vegetated modular "Live Roof" Green Roof System With "Giants Mix", 4.25" Deep Trays (7 Sedum varieties and 1 Allium for year round color and interest)
Sedum Aizoon
SedumHybridum
Seduma Takesimense
Sedum Spurium 'Pink Jewel'
Sedum Spurium 'Green Mantle'
Sedum Spectabile 'Neon'
Sedum Kantschaticum 'Takahira Dake'
Allium Schoenoprasum 'Pink Giant'



LANDSCAPING - SITE



SCALE: 1"=20'-0"

WINGRA CREEK
1004-1032 S. PARK STREET
MADISON, WISCONSIN

Checked By: SS
Drawn By: 8/17/16 RS

Revised: 9/20/16 RS
Revised: ----
Revised: ----
Revised: ----
Revised: ----
Revised: ----
Revised: ----
Revised: ----

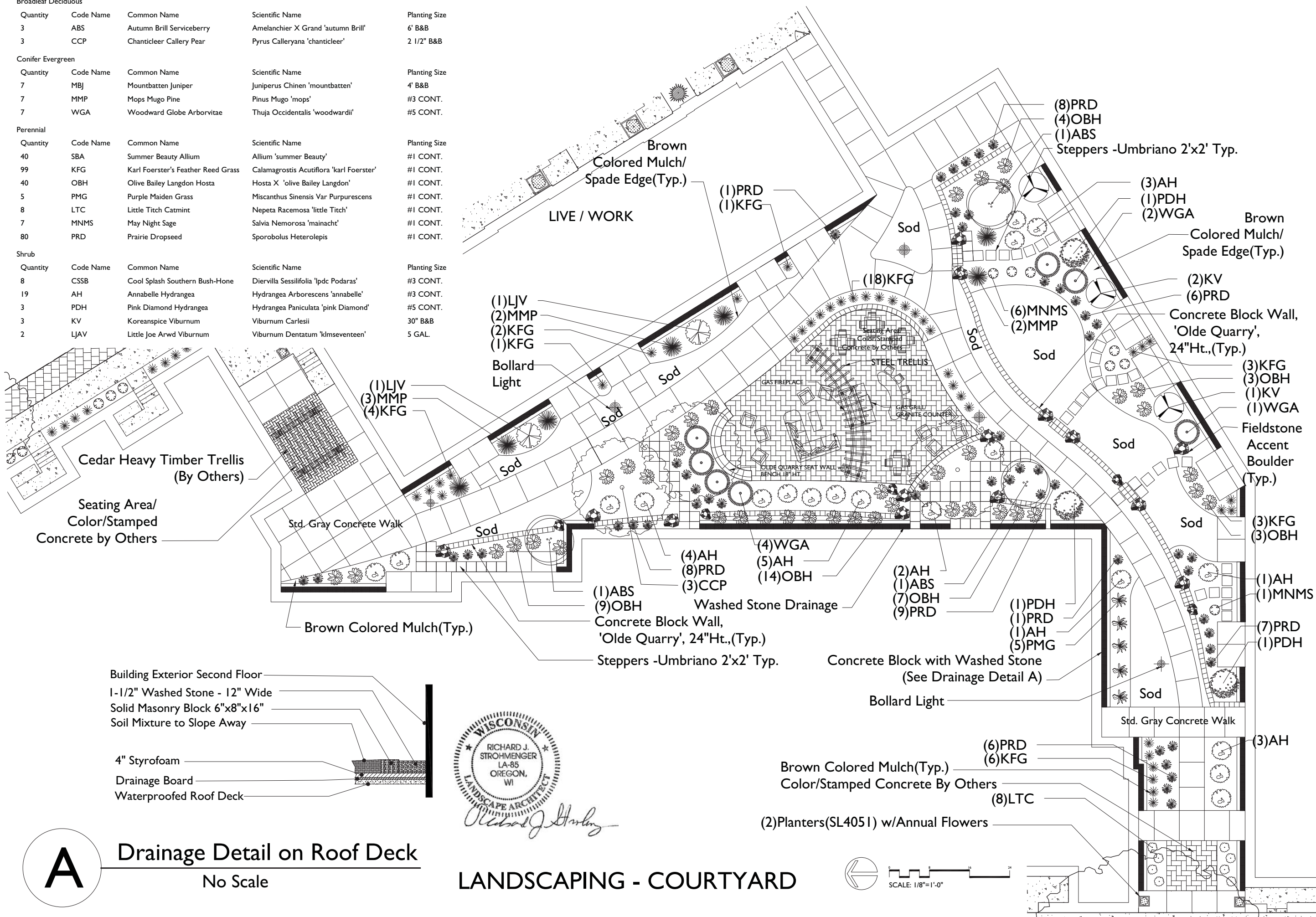
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the bruce company
OF WISCONSIN, INC.
LANDSCAPE ARCHITECTS
LANDSCAPE CONTRACTORS
2830 PARMENTER STREET
P.O. BOX 620330
MIDDLETON, WI 53562-0330
TEL (608) 836-7041
FAX (608) 831-6266

1/2016 CADSTEVE SHORTWINGRA POINT WINGRA II 14C13.DWG Created: 9/14/2016, Saved: 9/20/2016, Printed: 9/20/2016

Broadleaf Deciduous				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
3	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
3	CCP	Chanticleer Callery Pear	Pyrus Calleryana 'chanticleer'	2 1/2" B&B
Conifer Evergreen				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
7	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'	4' B&B
7	MMP	Mops Mugo Pine	Pinus Mugo 'mops'	#3 CONT.
7	WGA	Woodward Globe Arborvitae	Thuja Occidentalis 'woodwardii'	#5 CONT.
Perennial				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
40	SBA	Summer Beauty Allium	Allium 'summer Beauty'	#1 CONT.
99	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
40	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.
5	PMG	Purple Maiden Grass	Miscanthus Sinensis Var Purpureus	#1 CONT.
8	LTC	Little Titch Catmint	Nepeta Racemosa 'little Titch'	#1 CONT.
7	MNMS	May Night Sage	Salvia Nemorosa 'mainacht'	#1 CONT.
80	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.
Shrub				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
8	CSSB	Cool Splash Southern Bush-Hone	Diervilla Sessilifolia 'lpdc Podaras'	#3 CONT.
19	AH	Annabelle Hydrangea	Hydrangea Arborescens 'annabelle'	#3 CONT.
3	PDH	Pink Diamond Hydrangea	Hydrangea Paniculata 'pink Diamond'	#5 CONT.
3	KV	Koreanspice Viburnum	Viburnum Carlesii	30" B&B
2	LJAV	Little Joe Arwd Viburnum	Viburnum Dentatum 'klmseventeen'	5 GAL.



OLDE QUARRY®

Whether your plans call for constructing a curved wall, seat wall, planters, steps, edging or even an outdoor kitchen, the look will be commanding and impressive with the antiqued finish of Olde Quarry. The flexibility of Olde Quarry makes it one of the most significant landscape design products available today. Available in a variety of colors, it can be matched to almost any paver project.

COLORS*



We recommend Unilock's LedgeStone™ coping and pillar caps (page 96) to complement this great wall system.

PRODUCT SPECIFICATIONS



100

Visit Unilock.com for more Olde Quarry project ideas and information.

UMBRIANO®

N Z C UC

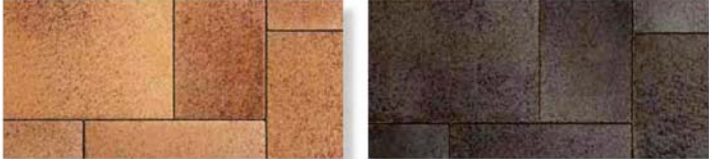


the ultimate in color and wear performance. Unilock's unmatched years of experience in the development of proprietary technologies leverage nature's inherent strength and enduring beauty.

The random dispersing of color and granite particles creates the beauty of Umbriano's® unique mottled surface resembling the appearance of natural granite. Umbriano, with ColorFusion™ and

other superior features, make it an ideal selection for driveways, pool decks, patios, commercial plazas and offices.

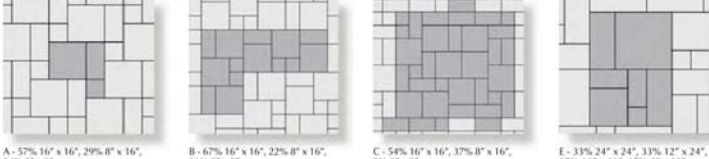
COLORS*



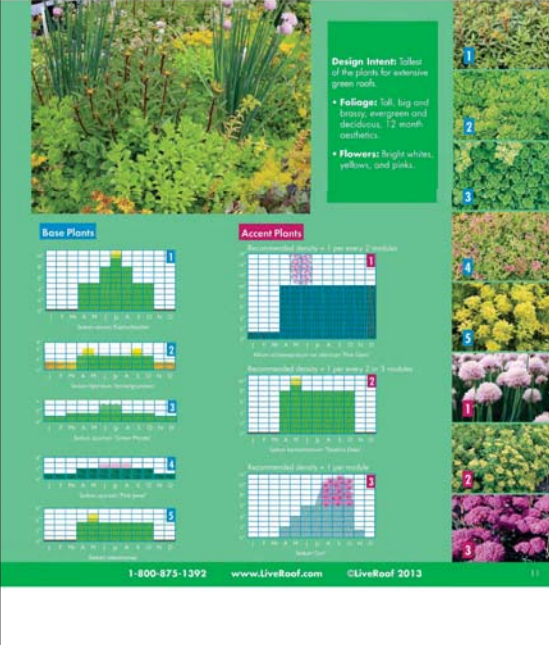
PRODUCT SPECIFICATIONS



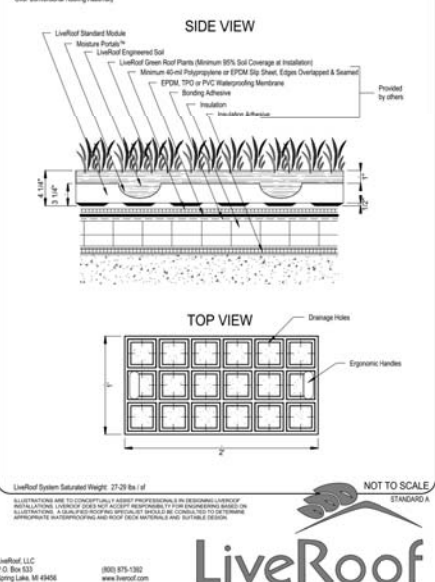
LAYING PATTERNS



RoofTop Proven™ Giants Mix™ Specifications



LiveRoof STANDARD SYSTEM



Concrete Colors and Finishes



Product Information SL4061

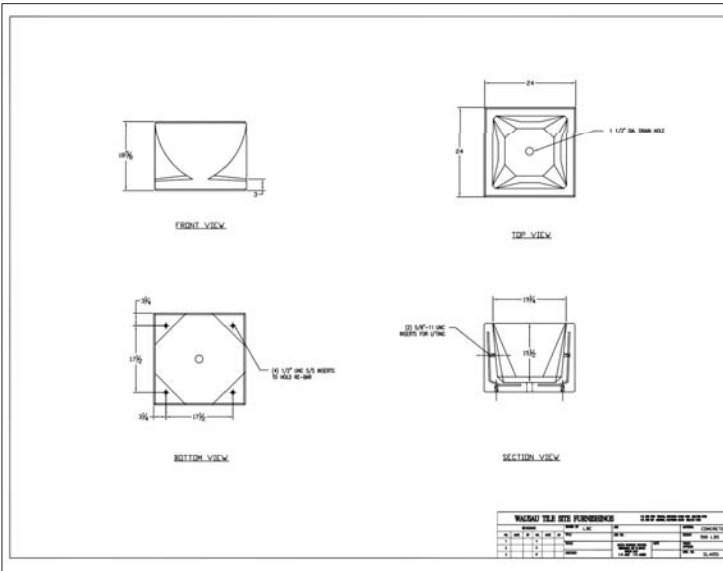
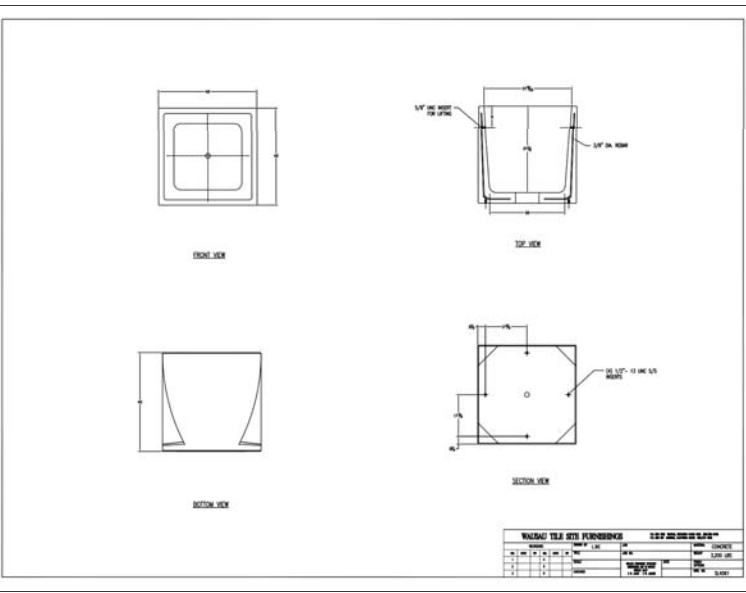


Size: 42" Sq. x 42" H
Weight: 3,200 Lbs.
Material: Reinforced concrete
Reinforcing: 3/8" Dia. steel rebar
Logo Options: Inkjet or Cast
Drain Hole: (1) 2" Dia drain hole
Hardware: (2) 5/8" Dia lifting inserts

Note: Lifting inserts are to ONLY be used when planter is EMPTY
Accepts Reservoir System

Finish Options

- Standard -Weatherstone(B)
- Premium -Weatherstone Glass(C)



SL4051

A unique design for concrete planters.
ITEM NUMBER: SL4051
DIMENSIONS: 24" x 24" x 18"
WEIGHT: 570 lbs.
ADDITIONAL FEATURES: No Drain: (2) 5/8" Dia lifting inserts. Note: Lifting inserts are to ONLY be used when planter is EMPTY.
MATERIAL: Concrete
SHAPE: Square
REINFORCEMENT: Yes

Typical Summer Flower Display



POT STYLE SHOWN NOT TYPICAL- SEE SPECS FOR STYLE 4051 & 4061

DETAILS

Checked By: SS
Drawn By: 8/17/16 RS

Revised: 9/20/16 RS
Revised: ----
Revised: ----
Revised: ----
Revised: ----
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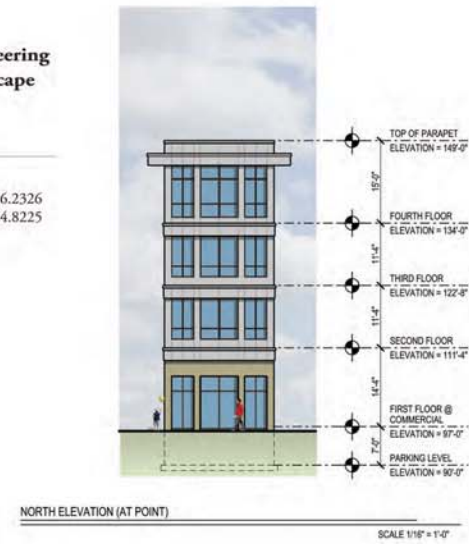








WINGRA CREEK RESIDENCES PARK STREET, FISH HATCHERY AND SOUTH STREET ELEVATIONS



Wingra Creek (Peloton)		
	Approved	Requested Change To
Total Units	164	161
Commercial Space (in SF)	6,000	1,965
Total Live-work Units	6	5
Total Parking Stalls	173	157
Parking Levels	2	1
Ingress/Egress	Park St. - One new median break	Park St. Access Removed
Height (in ft)		13.8 ft less - Equiv. 1.4 flrs. Multi-Family