



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:

<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>August 17, 2016</u>	<input type="checkbox"/> Informational Presentation <input checked="" type="checkbox"/> Initial Approval <input checked="" type="checkbox"/> Final Approval
UDC Meeting Date: <u>October 5 2016</u>	
Combined Schedule Plan Commission Date (if applicable): <u>October 17, 2016</u>	

1. Project Address: 89 E. Towne Mall Madison, WI 53704
Project Title (if any): FLIX Brewhouse Major Alteration (Existing Steinhafels Location)

2. This is an application for (Check all that apply to this UDC application):

☐ New Development ☒ Alteration to an Existing or Previously-Approved Development

A. Project Type:

- ☒ Project in an Urban Design District* (public hearing-\$300 fee)
- ☐ Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- ☐ Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- ☐ Planned Development (PD)
- ☐ General Development Plan (GDP)
- ☐ Specific Implementation Plan (SIP)
- ☐ Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- ☐ Comprehensive Design Review* (public hearing-\$300 fee) ☐ Street Graphics Variance* (public hearing-\$300 fee)
- ☐ Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

☐ Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Justin Long
Street Address: 2030 Hamilton Place Blvd.
Telephone: 480)216-0971 Fax: (____) _____

Company: CBL & Associates Properties, Inc.
City/State: Chattanooga, TN Zip: 37421
Email: justin.long@cblproperties.com

Project Contact Person: Justin Lee Frahm
Street Address: 161 Horizon Dr.
Telephone: 715)298-6330 Fax: (____) _____

Company: JSD Professional Services, Inc.
City/State: Verona, WI Zip: 53593
Email: justin.frahm@jsdinc.com


Project Owner (if not applicant): _____
Street Address: _____
Telephone: (____) _____ Fax: (____) _____

City/State: _____ Zip: _____
Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on July 6, 2016.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Justin Long, CBL
Authorized Signature 

Relationship to Property Owner's Representative
Date August 16, 2016

Memorandum / Letter of Intent

www.jsdinc.com

To: City of Madison Planning Staff & Urban Design Commission
From: Justin Frahm, JSD Professional Services, Inc.
Re: City of Madison Land Use & UDC Initial-Final Application - FLIX Brewhouse at East Towne Mall
Major Alteration (Existing Steinhafels)
JSD Project #: 15-7078
Date: August 17, 2016
cc: Justin Long, CBL & Associates Properties, Inc., Mark Wynnemer, ArTech

City of Madison Urban Design Commission:

On behalf of CBL & Associates Properties, Inc. and FLIX Entertainment, LLC, JSD is submitting and requesting an initial-final Urban Design Commission review and subsequent Plan Commission review and approval for the proposed major alteration of an existing conditional use for a proposed FLIX Brewhouse facility located at East Towne Mall in Madison, WI.

CBL and FLIX are proposing a 39,150 square foot movie theater, restaurant and brewery to be constructed at the current Steinhafels location on the east side of the East Towne Mall complex located at 89 E Towne Mall, Madison, WI 53704. The proposed facility is to be developed within a combination of the existing floor space of Steinhafels and exterior build out space adjacent to Steinhafels building footprint.

The proposed facility improvements are to include 134 interior dining seats, 970 interior theater auditorium seats and exterior patio seating to the restaurant. Hours of operation to include 9 am until 2 am (if local ordinance allows).

Building improvements will include design of architectural exterior façade, including updated materials, details and signage at proposed building walls, exterior patio space, a newly proposed exterior East Towne Mall entry as well as auto and bike parking to serve the facility. FLIX Brewhouse will be accessed via an interior mall entry off of the existing interior mall corridor and will be sited adjacent to a newly proposed exterior mall entry. The exterior mall entry will include direct access to a pedestrian sidewalk surrounding the footprint of the mall as well as bike and auto parking serving mall customers and FLIX Brewhouse customers. A newly proposed patio will serve customers with an interior connection to the proposed facility. Landscape treatment in and around the building footprint will provide screening to adjacent service and mall loading areas as well as foundation planting around the proposed building and exterior patio space.

The project team has provided project information to Alder Samba Baldeh, City Planning and staff for preliminary reviews of the proposed project.

Construction is proposed for spring of 2017 with an opening in winter of 2018.

Additional requests for information and/or questions can be directed to JSD Professional Services, Inc.

Regards,



Justin Lee Frahm
Project Consultant
JSD Professional Services, Inc.

File: I:\2015\157078\DWG\157078-Location Map.dwg Layout: 22x34 User: tquistin Plotted: Aug 15, 2016 - 11:25am Xref's:



- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

www.jsdinc.com

SERVICES PROVIDED TO:
**CBL & ASSOCIATES
PROPERTIES, INC.**

PROJECT:
**FLIX BREWHOUSE -
EAST TOWNE MALL**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI
JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE
IN PREPARING THESE PLANS AND CHECKING
THEM FOR ACCURACY, THE CONTRACTOR
AND SUBCONTRACTORS MUST CHECK ALL
DETAIL AND DIMENSIONS OF THEIR TRADE
AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	TKG	07-06-16
DRAWN:	TKG	07-06-16
APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE SUBMITTAL	07-13-16
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
LOCATION MAP

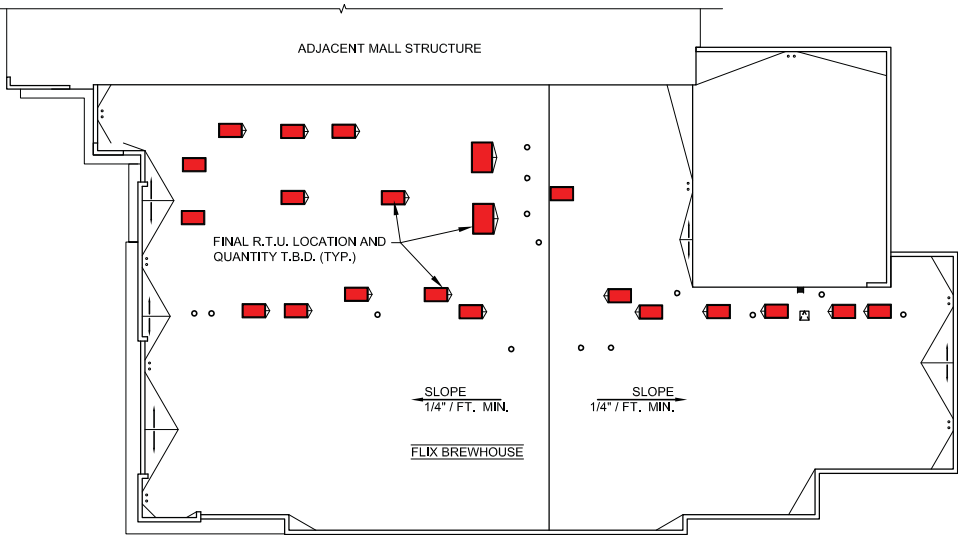
SHEET NUMBER:
EX. A



4 PARAPET SCREENED RTU RENDERING - VIEW 2
SCALE: N.T.S.



3 PARAPET SCREENED RTU RENDERING - VIEW 1
SCALE: N.T.S.



2 SCHEMATIC RTU LOCATION
SCALE: 1/32" = 1'-0"

0 16' 32' 64'
SCALE: 1/32" = 1'-0"



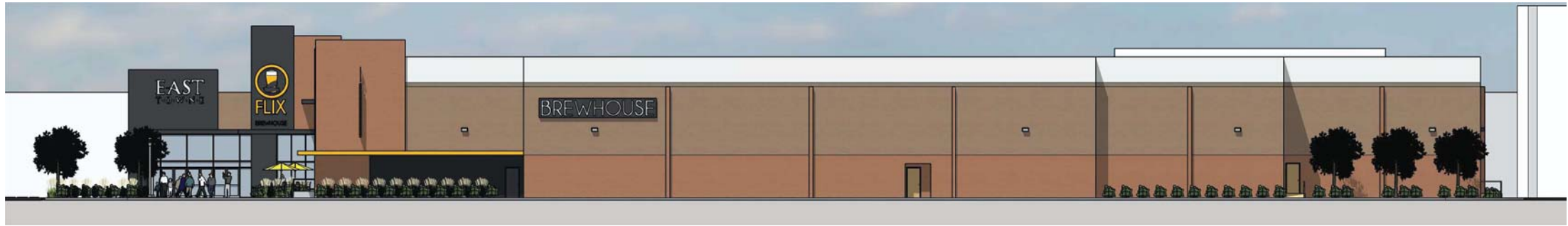
1 SIGHT LINE DIAGRAM
SCALE: N.T.S.



2 ENTRY VIEW
SCALE: N.T.S.



1 AERIAL ENTRY VIEW
SCALE: N.T.S.



2 ELEVATION
SCALE: 1/16" = 1'-0"

0 8' 16' 32'
EAST
SCALE: 1/16" = 1'-0"



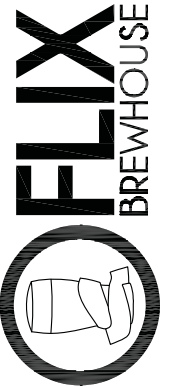
3 ELEVATION
SCALE: 1/16" = 1'-0"

0 8' 16' 32'
SOUTH
SCALE: 1/16" = 1'-0"

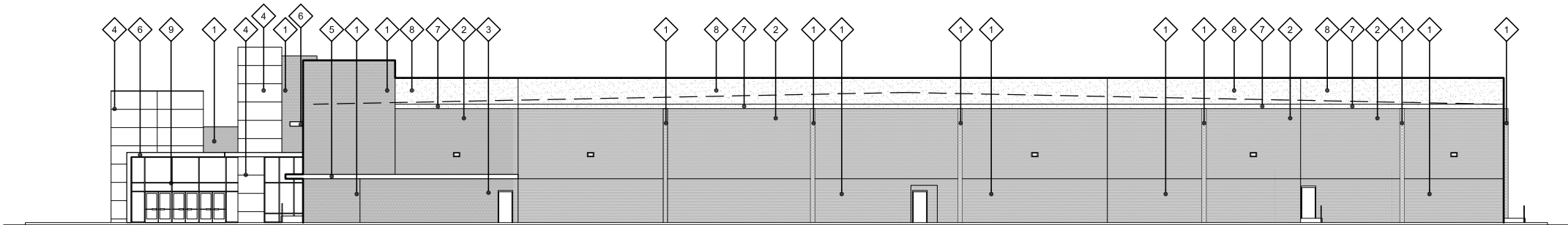
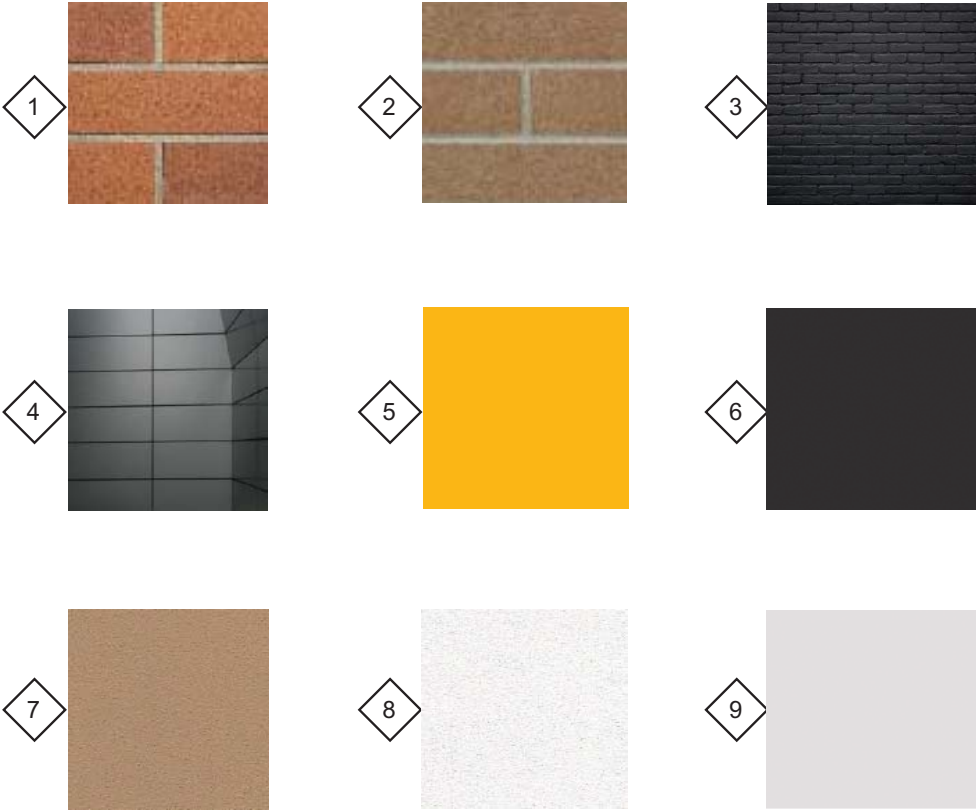


1 ELEVATION
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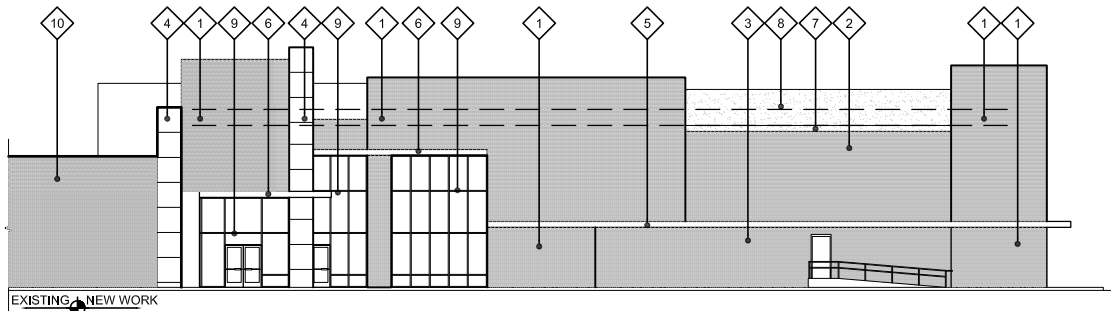
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NORTH
SCALE: 1/16" = 1'-0"



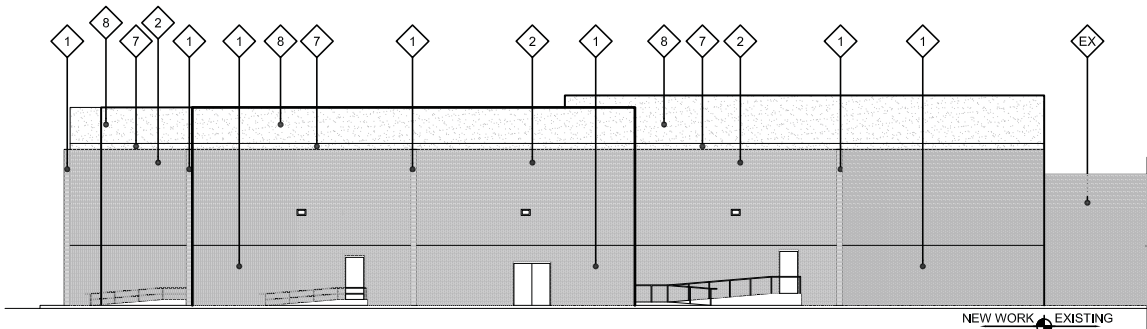
FINISH LEGEND	
1	- "HARVARD BRIK" MASONRY BLOCK - COLOR "SACRAMENTO"
2	- "HARVARD BRIK" MASONRY BLOCK - COLOR "COPPERTONE"
3	- "HARVARD BRIK" MASONRY BLOCK - PAINTED SW 6991 "BLACK MAGIC"
4	- METAL PANEL - MATCH ALUCOBOND "DUSTY CHARCOAL"
5	- METAL CANOPY - MATCH "FLIX GOLD" PANTONE 7409 CP
6	- METAL CANOPY - MATCH ALUCOBOND "DUSTY CHARCOAL"
7	- EIFS FINISH COAT - MATCH DRYVIT 117 "COLONIAL TAN"
8	- EIFS FINISH COAT - MATCH DRYVIT 612 "MOONLIGHT"
9	- STOREFRONT GLAZING - CLEAR ANODIZED
10	- "HARVARD BRIK" MASONRY BLOCK - MATCH EXISTING WALL COLOR
NOTE: SEE ATTACHED MATERIAL BOARD FOR COLOR SAMPLES	



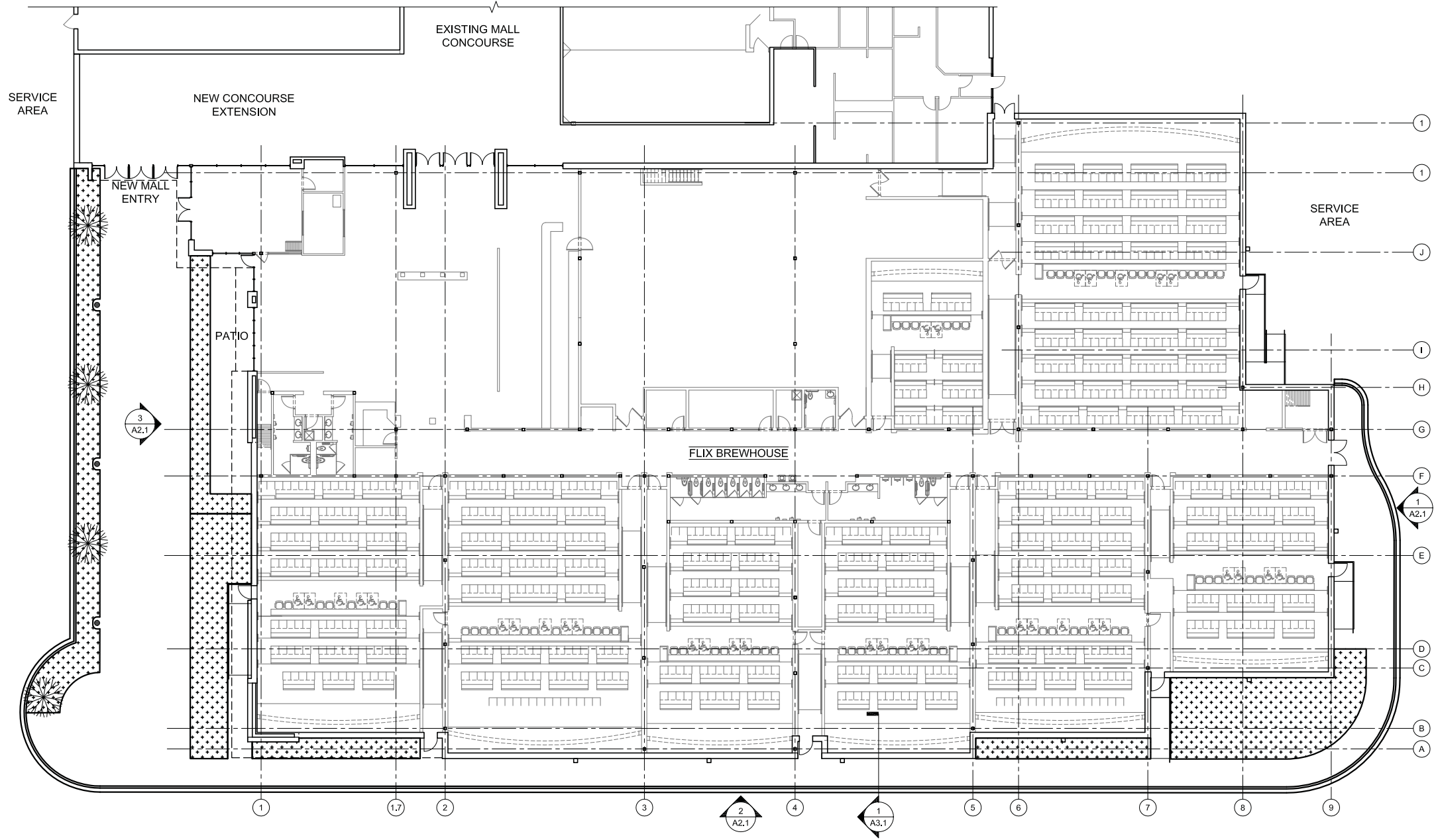
2 ELEVATION
SCALE: 1/16" = 1'-0"



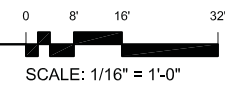
3 ELEVATION
SCALE: 1/16" = 1'-0"



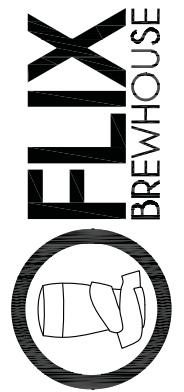
1 ELEVATION
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1 FLOOR PLAN
SCALE: 1/16" = 1'-0"



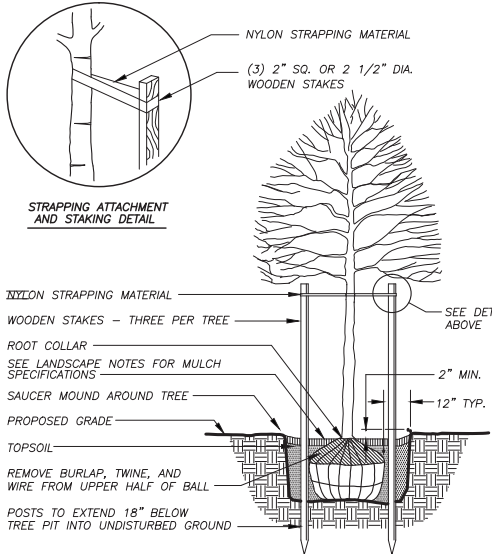
**FLIX BREWHOUSE
SHELL BUILDING**
EAST TOWNE MALL
89 E TOWNE MALL
MADISON, WI 53704



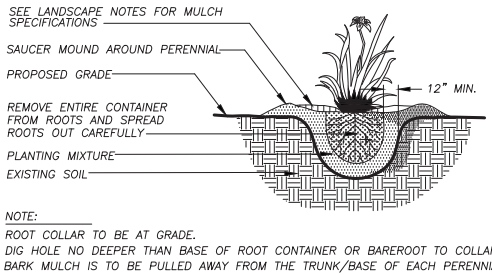
MADISON UDC
REVIEW SET
08-17-2016

ISSUE DATES
INITIAL ISSUE: 00-00-00
1.
2.
3.
4.
5.
6.
7.
8.

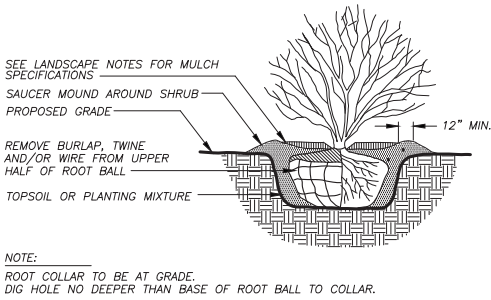
File: L:\2015\157078\DWG\157078- LANDSCAPE.dwg Layout: L1.2 User: tjustin Plotted: Aug 16, 2016 - 4:38pm Xref's:



1 DECIDUOUS TREE PLANTING DETAIL
N.T.S.



2 ORNAMENTAL GRASS/ PERENNIAL PLANTING DETAIL
N.T.S.



3 DECIDUOUS SHRUB PLANTING DETAIL
N.T.S.

LANDSCAPE NOTES AND SPECIFICATIONS

1. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
3. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
4. MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
5. MATERIALS - SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 1. PLANTING AREAS = 24"
 2. TREE PITS = SEE DETAILS
6. PLANTING MIXTURE TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
7. MATERIALS - ALL PLANTING AREAS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
8. MATERIALS - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
9. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
10. CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS, SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
11. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
12. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 85 EAST TOWNE MALL, MADISON, WI 53704
Name of Project FLIX BREWHOUSE - EAST TOWNE MALL
Owner / Contact CBL & ASSOCIATES PROPERTIES, INC. - JUSTIN LONG
Contact Phone (608) 848-5060 Contact Email JUSTIN.FRAHM@JSDINC.COM

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 178,861
Total landscape points required 597

- (b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____
Five (5) acres = 217,800 square feet
First five (5) developed acres = 3,630 points
Remainder of developed area _____
Total landscape points required _____

- (c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____
Total landscape points required _____

10/2013

1

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35	10	350	19	665
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			22	330
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			9	90
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			141	423
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			375	750
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				350		2,258

Total Number of Points Provided 2,608

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

www.jsdinc.com

SERVICES PROVIDED TO:

**CBL & ASSOCIATES
PROPERTIES, INC.**

PROJECT:

**FLIX BREWHOUSE -
EAST TOWNE MALL**

PROJECT LOCATION:

**CITY OF MADISON
DANE COUNTY, WI**

JSD PROJECT NO.: **15-7078**

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: TKG 07-06-16
DRAWN: TKG 07-06-16
APPROVED: JLF 07-06-16

PLAN MODIFICATIONS: DATE:
LANDUSE SUBMITTAL 07-13-16
LANDUSE AND UDC FINAL SUBMITTAL 08-17-16

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:

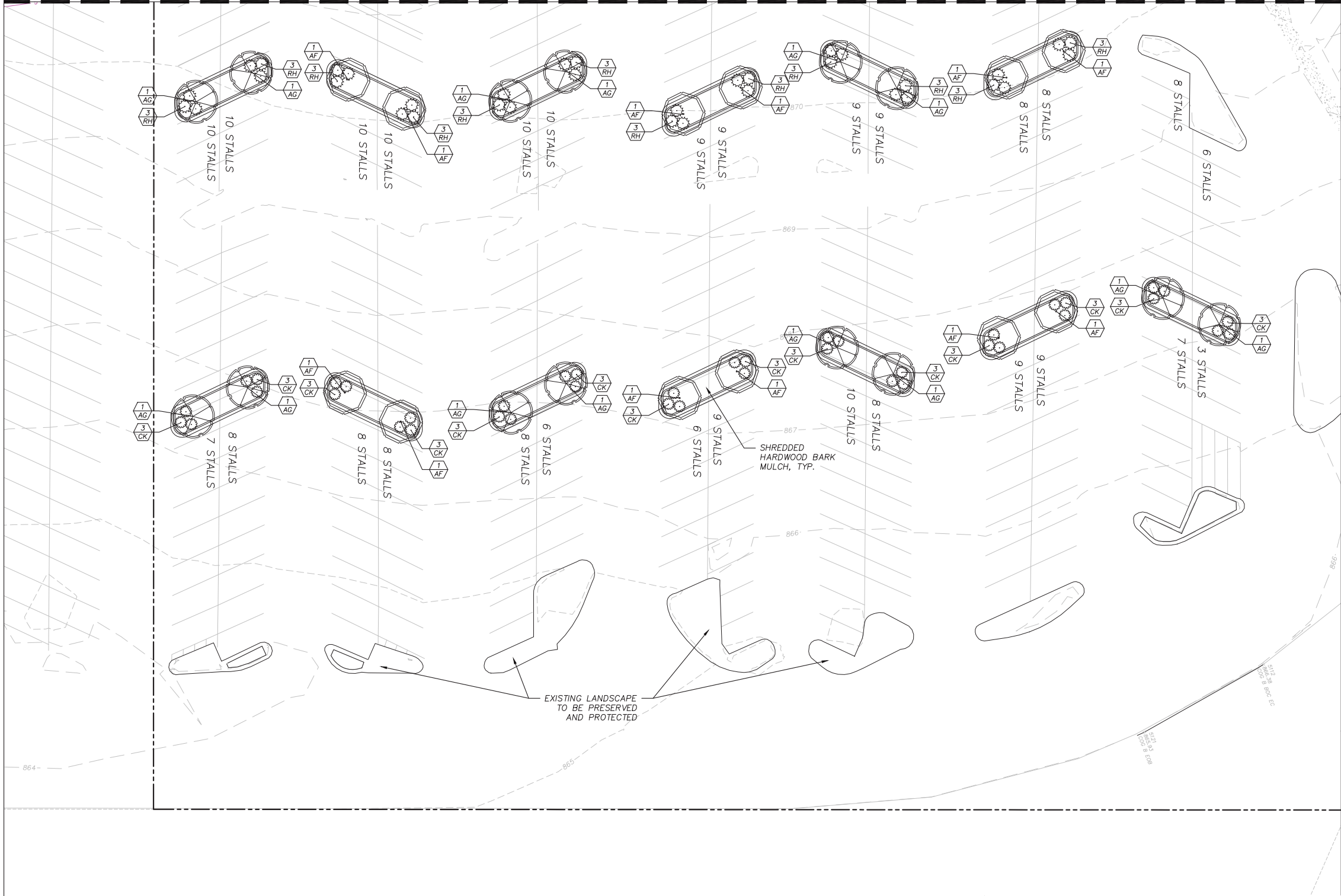
LANDSCAPE DETAILS

SHEET NUMBER:

L102

File: L:\2015\157078\DWG\157078- LANDSCAPE.dwg Layout: L1.1 User: Iqbal Plot Date: Aug 16, 2016 4:33pm Xref's:

MATCHLINE - SHEET L100



LEGEND (PROPOSED)

- PROPERTY LINE
EDGE OF PAVEMENT
PROPOSED 1' CONTOUR
PROPOSED 5' CONTOUR
EDGE OF PAVEMENT
STANDARD CURB AND GUTTER
STORM SEWER
SANITARY SEWER
WATER MAIN
GAS SERVICE (DESIGN BY UTILITY)
ELECTRIC SERVICE (DESIGN BY UTILITY)
CONCRETE PAVEMENT
SITE LIGHT POLE/FIXTURE (BY OTHERS)
PLANT QUANTITY
PLANT SYMBOL

TREES

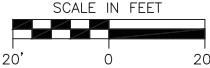
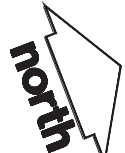
- AUTUMN BLAZE MAPLE
AUTUMN BRILLIANCE SERVICEBERRY
DWARF RIVER BIRCH

SHRUBS

- BERKMAN'S GOLD ARBORVITAE
'GRO-LOW' FRAGRANT SUMAC
GREEN MOUNTAIN BOXWOOD
GREEN MOUND ALPINE CURRANT
KELSEY DOGWOOD

PERENNIALS

- RUSSIAN SAGE
STELLA D'ORO DAYLILY
GRASSES
KARL FOERESTER FEATHER REED GRASS



LANDSCAPE PLANT LIST

SYM	QTY.	COMMON NAME
LARGE DECIDUOUS TREES		
BN	3	Dwarf River Birch
EX	10	Existing Overstory Tree
MEDIUM DECIDUOUS TREES		
AF	19	Autumn Blaze Maple
AG	19	Autumn Brilliance Serviceberry
MEDIUM SHRUBS		
BG	21	Green Mountain Boxwood
CK	68	Kelsey Dogwood
TB	9	Berkman's Gold Arborvitae
RA	16	Green Mound Alpine Currant
RH	36	Fragrant Sumac
PERENNIALS		
PA	34	Russian Sage
HS	222	Stella De Oro Daylily
ORNAMENTAL GRASSES		
CA	119	Karl Foerester Feather Reed Grass

BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
BETULA nigra 'Fox Valley'	1 1/2" Cal.	B&B CLUMP	15	45
			35	350
ACER x freemanii 'Jeffersred'	2 1/2" Cal.	B&B	35	665
AMELANCHIER x grandiflora 'Autumn Brilliance'	1 1/2" Cal.	B&B	15	285
BUXUS 'Green Mountain'	24" Mn. Ht.	B&B	3	63
CORNUS sericea 'Kelsey'	18" Mn. Ht.	# 3 Cont.	3	204
THUJA orientalis 'Berkman's Gold'	24" Mn. Ht.	# 3 Cont.	10	90
RIBES alpinum 'Green Mound'	18" Mn. Ht.	# 3 Cont.	3	48
RHUS aromatica	24" Mn. Ht.	# 3 Cont.	3	108
PEROVSKIA atriplicifolia	24" Mn. Ht.	# 3 Cont.	2	68
Hemerocallis x 'Stella de Oro'	12" Mn. Ht.	# 3 Cont.	2	444
CALAMAGROSTIS x acutiflora 'Karl Foerester'	10 - 12" Ht.	# 1 Cont.	2	238
			TOTAL:	2608

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PROJECT:
FLIX BREWHOUSE -
EAST TOWNE MALL

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI
JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

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DESIGN: TKG 07-06-16
DRAWN: TKG 07-06-16
APPROVED: JLF 07-06-16

PLAN MODIFICATIONS: DATE:
LANDUSE SUBMITTAL 07-13-16
LANDUSE AND UDC FINAL SUBMITTAL 08-17-16

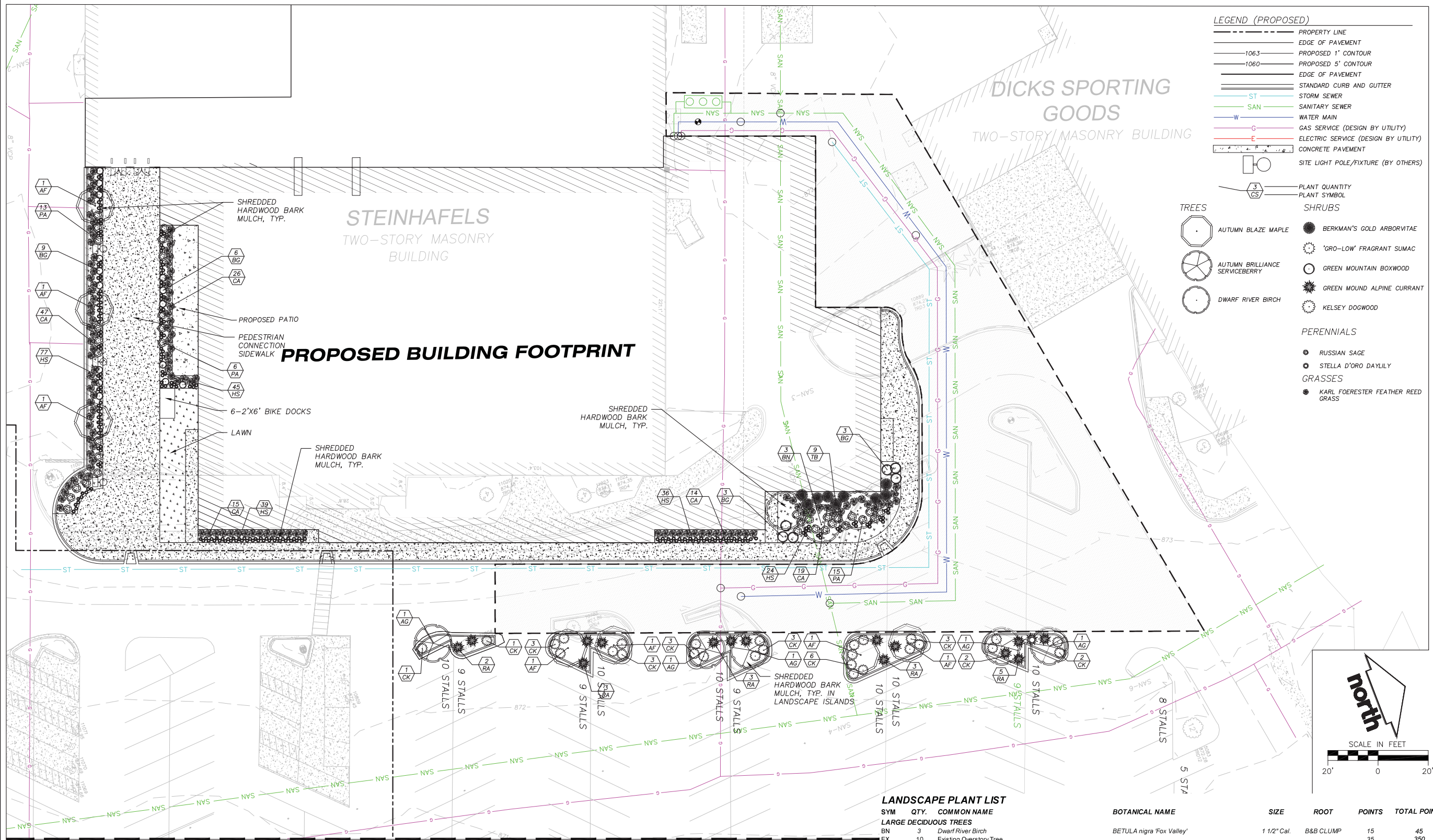
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SHEET TITLE:
LANDSCAPE PLAN
SHEET 2 OF 2

SHEET NUMBER:
L101

File: L:\2015\157078\DWG\157078- LANDSCAPE.dwg Layout: L10 User: tgrstin Plotted: Aug 16, 2016 - 4:30pm Xref's:

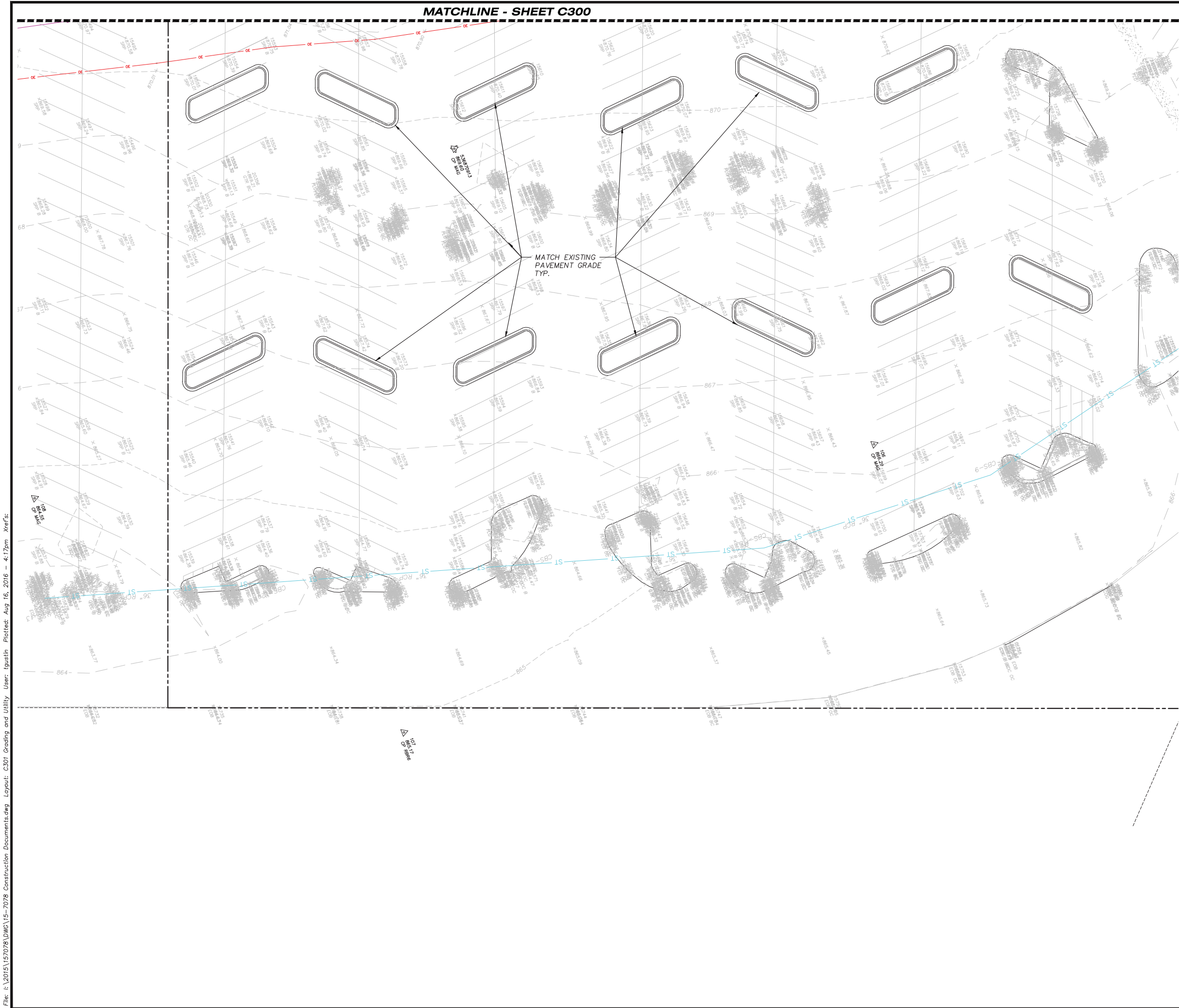


LANDSCAPE PLANT LIST

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			TOTAL:	2608

File: I:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C301 Grading and Utility User: tgrush Plotted: Aug 16, 2016 - 4:17pm Xref's:



LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ST STORM SEWER
- SAN SANITARY SEWER
- W WATER MAIN
- G GAS SERVICE (DESIGN BY UTILITY)
- E ELECTRIC SERVICE (DESIGN BY UTILITY)
- SAWCUT
- ASPHALT ISLAND REMOVAL
- CONCRETE/BASE REMOVAL
- ASPHALT REMOVAL
- UTILITY REMOVAL

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DRAWN:	TKG	07-06-16
APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

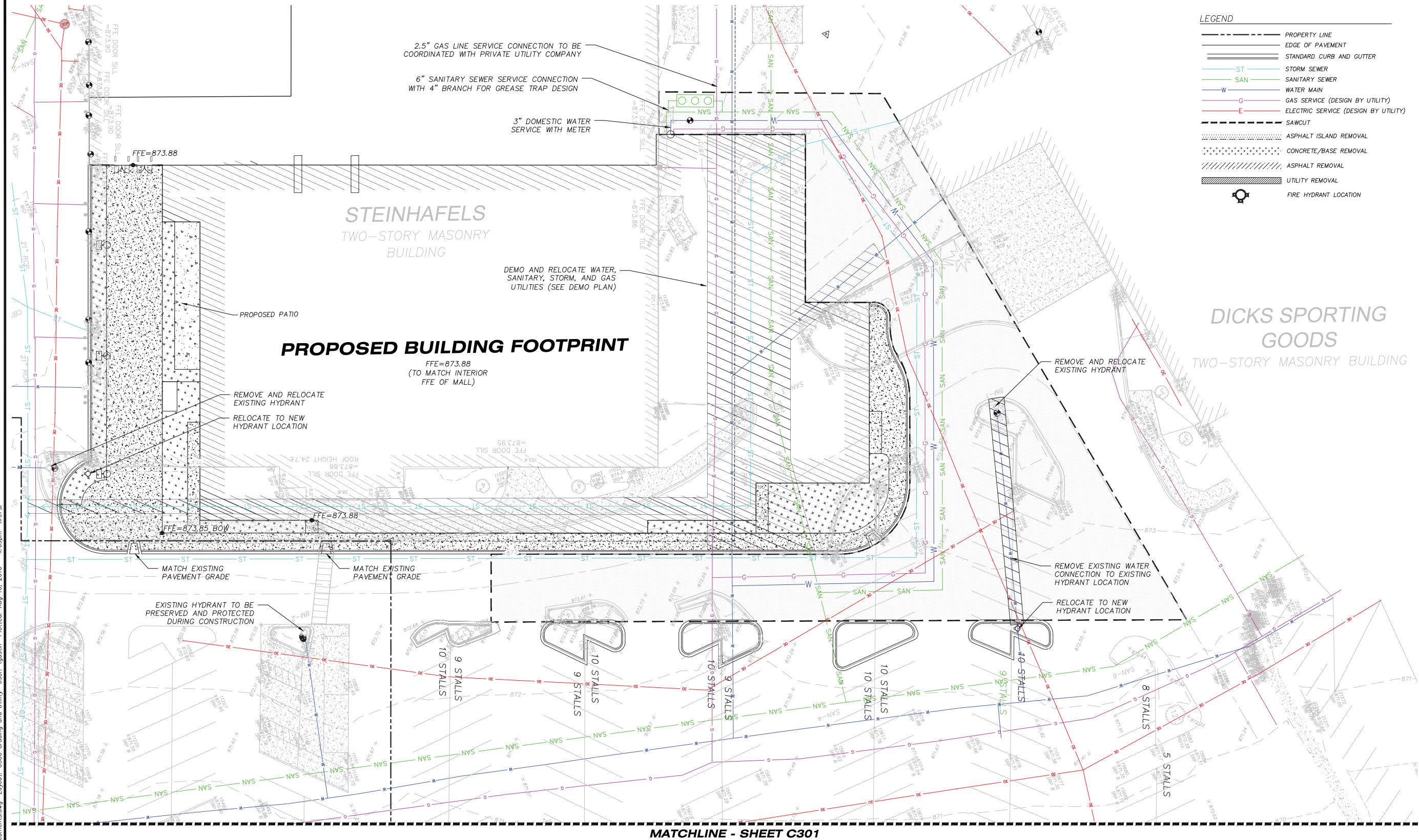
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SHEET TITLE:
**GRADING AND UTILITY
PLAN**

SHEET NUMBER:
C301

File: I:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C300 Grading and Utility User: tgausth Plotted: Aug 16, 2016 - 4:09pm Xref's:



MATCHLINE - SHEET C301

LEGEND

---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	ST STORM SEWER
---	SAN SANITARY SEWER
---	W WATER MAIN
---	G GAS SERVICE (DESIGN BY UTILITY)
---	E ELECTRIC SERVICE (DESIGN BY UTILITY)
---	SAWCUT
---	ASPHALT ISLAND REMOVAL
---	CONCRETE/BASE REMOVAL
---	ASPHALT REMOVAL
---	UTILITY REMOVAL
---	FIRE HYDRANT LOCATION

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APPROVED:	JLF	07-06-16

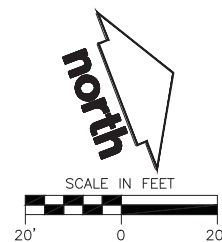
PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

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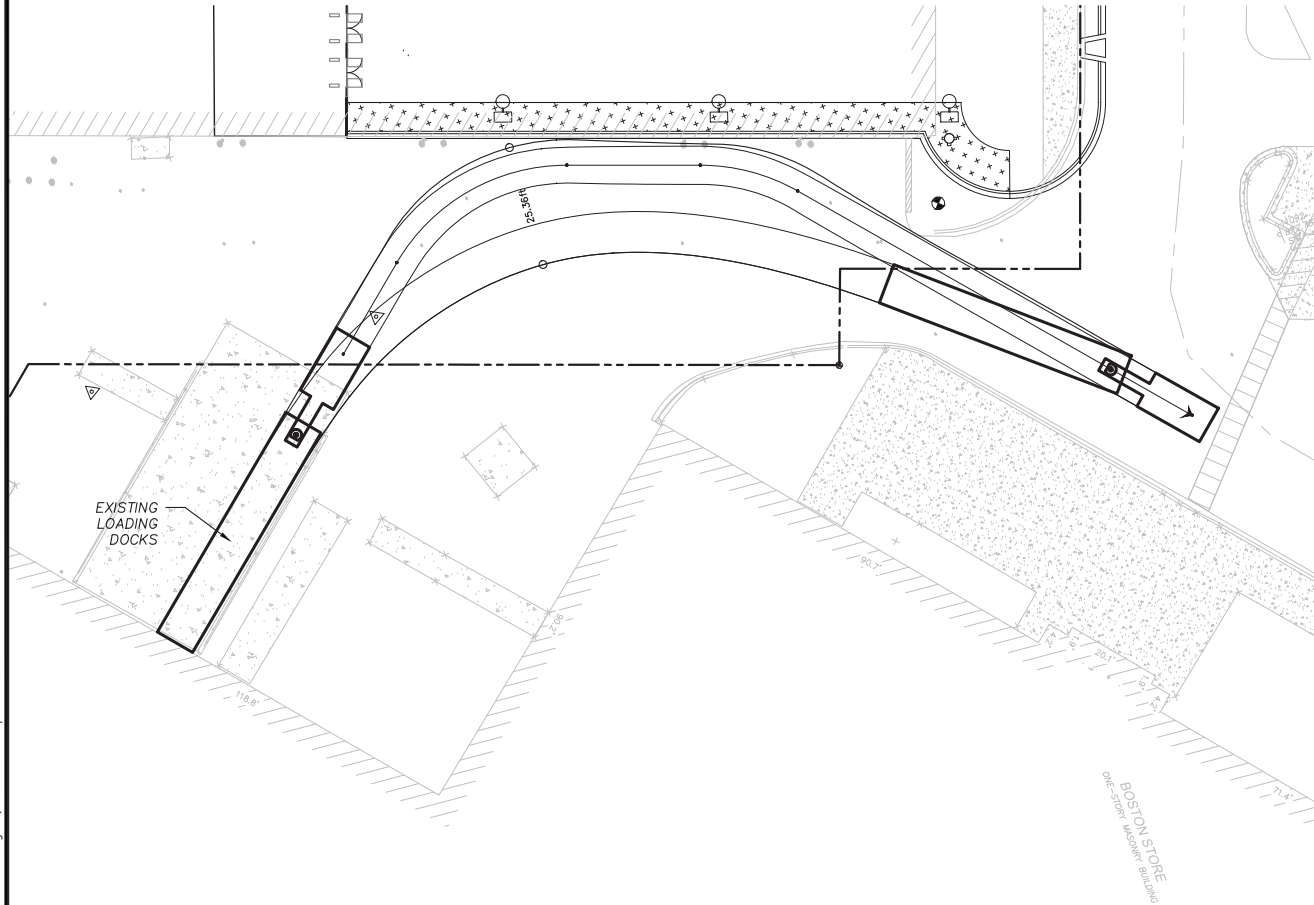
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SHEET TITLE:
**GRADING AND UTILITY
PLAN**

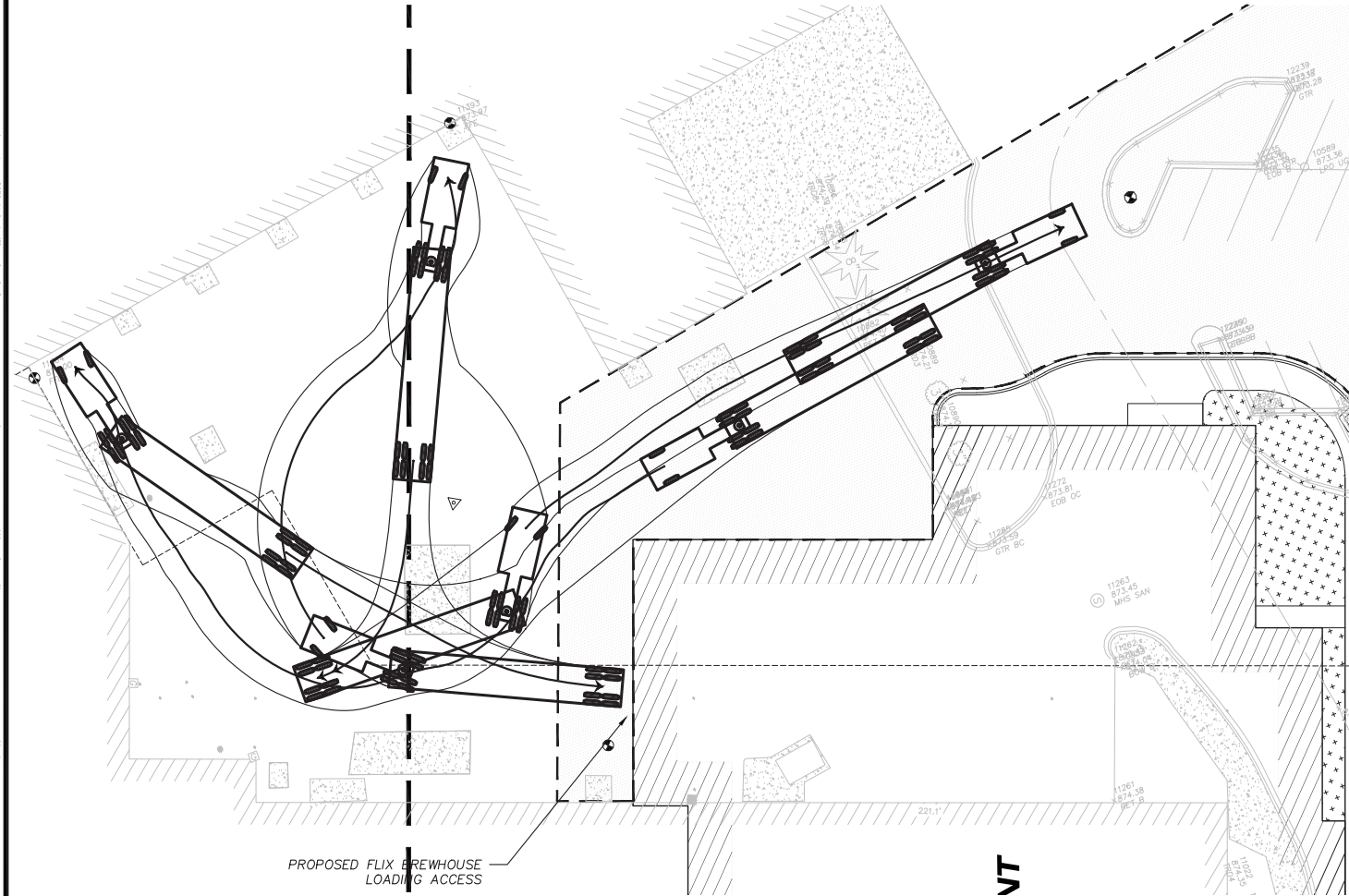
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C300



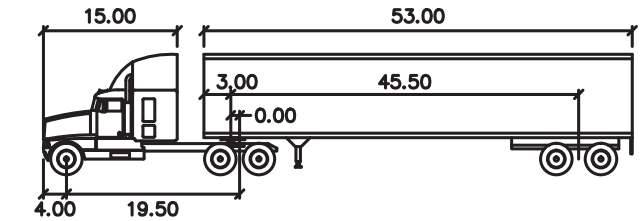
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SOUTH SERVICE COURT



NORTH SERVICE COURT



WB-67	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



LEGEND	
---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	PROPOSED CONCRETE

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DESIGN: _____
DRAWN: _____
APPROVED: _____

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

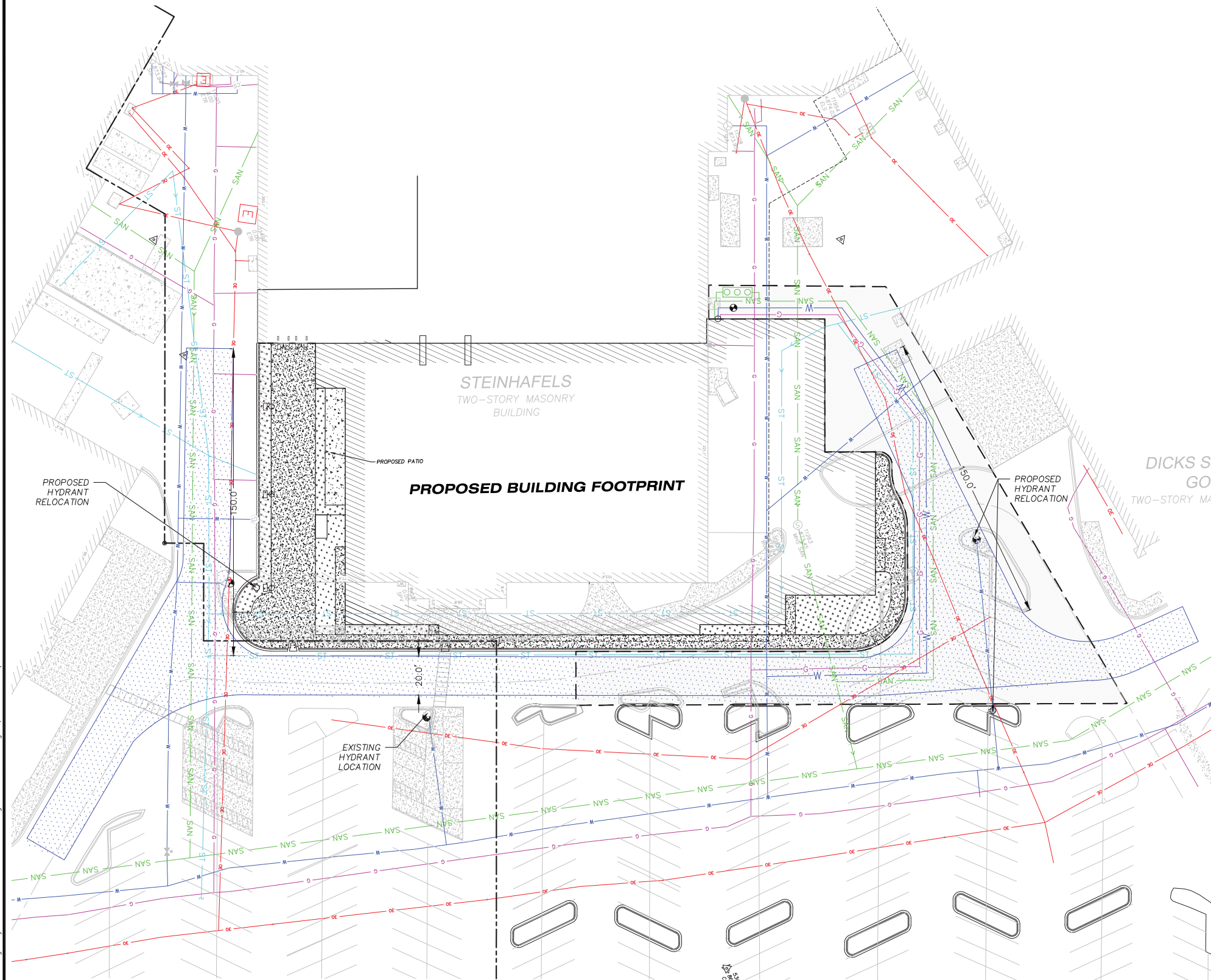
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SHEET TITLE:
AUTOTURN EXHIBIT

SHEET NUMBER:
C205

File: I:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C204 Fire Access User: lguistin Plotted: Aug 16, 2016 4:04pm Xref's:



CITY OF MADISON FIRE DEPARTMENT

Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 • Phone: 608-266-4484 • FAX: 608-267-1153

Project Address: 7345 Mineral Point Road, 7349 Mineral Point Road, Madison, WI 53719

Contact Name & Phone #: Ken Wittler; 423-490-8385

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If non-sprinklered, fire lanes extend to within 150 feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a. Is a detail of the signage included on the site plan?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
f) Is a roll-able curb used as part of the fire lane?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
a. Is the sidewalk constructed to withstand 85,000-lbs?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, is the area for turning around fire apparatus provided by:			
a) A cul-de-sac with a minimum inside diameter of 70-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
b) A 45-degree wye with a minimum length of 60-feet per side?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
c) A 90-degree tee with a minimum length of 50-feet per side?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 23?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 2306.6 for further requirements.			
6. Is any part of the building greater than 30-feet above the lowest level of fire apparatus access?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
d) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.20 and IFC 2006 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 4/26/11

LEGEND

---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	PROPOSED CONCRETE
---	STORM SEWER
---	SANITARY SEWER
---	WATER MAIN
---	GAS SERVICE (DESIGN BY UTILITY)
---	ELECTRIC SERVICE (DESIGN BY UTILITY)
---	FIRE LANE
---	FIRE HYDRANT LOCATION
---	20' WIDE FIRE LANE

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DRAWN:	TKG	07-06-16
APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16



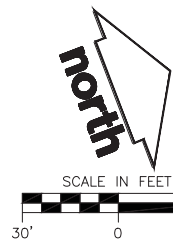
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SHEET TITLE:

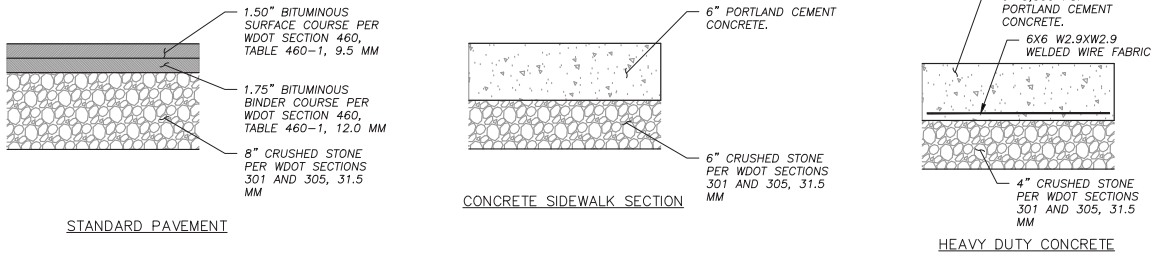
FIRE ACCESS EXHIBIT

SHEET NUMBER:

C204



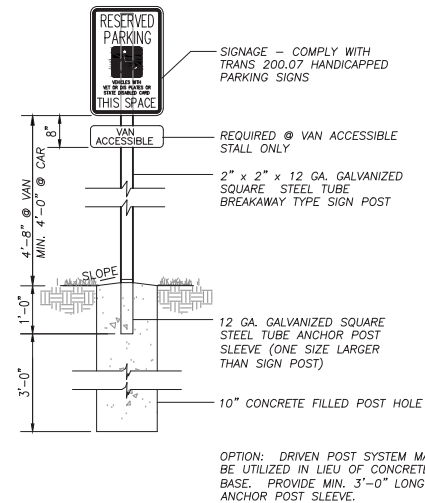
File: I:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C203 Site Plan Details User: tguistin Plotted: Aug 16, 2016 - 3:59pm Xref's:



- NOTES:
1. WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, BUT EXCLUDING LIMITATIONS IN SECTION 460.3.2 RESTRICTING LAYER THICKNESS BY AGGREGATE SIZE.
 2. COMPACTION REQUIREMENTS:
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
 3. MIXTURE TYPE E-1.0 BITUMINOUS PAVEMENT IS RECOMMENDED; REFER TO SECTION 460, TABLE 460-2 OF THE STANDARD SPECIFICATIONS.
 4. AN EQUIVALENT GEOTIRD MUST BE COMPARABLE IN STRENGTH, WITH INTEGRALLY BONDED OR EXTRUDED NODES. GEOTIRDS WITH FUSION-BOND OR WELDED NODES ARE INSUFFICIENTLY DURABLE TO WITHSTAND CONSTRUCTION AND INSTALLATION STRESSES.
 5. MAIN TRAFFIC LANES ARE DEFINED AS AREAS WHERE CONSTRUCTION TRAFFIC WILL BE CONCENTRATED. THESE AREAS SHOULD BE MARKED AS THE PREFERRED TRAVEL ROUTES DURING CONSTRUCTION TO REDUCE TRAFFIC ON AREAS NOT DESIGNED FOR THE HEAVIER LOADS AND TRUCK VOLUME. THE MAIN TRAFFIC LANES INCLUDE GEOTIRD LAYERS INSTEAD OF GEOTEXTILE, TO ACCOMMODATE CONSTRUCTION TRAFFIC.

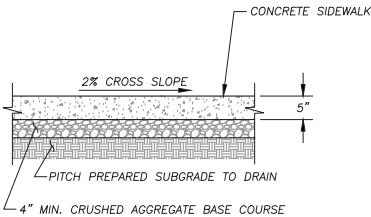
1 PAVEMENT SECTIONS

C203 N.T.S.



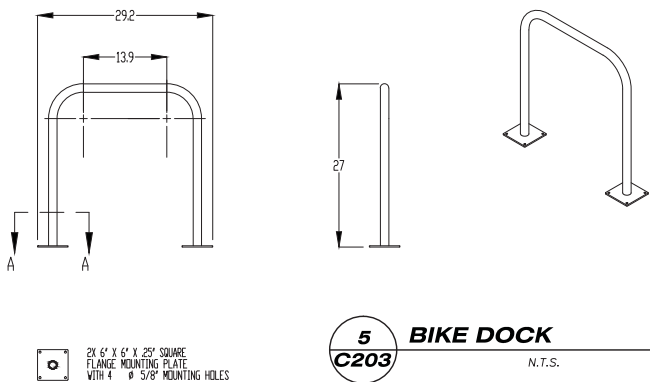
3 ADA PARKING STALL SIGN

C203 N.T.S.



4 CONCRETE SIDEWALK SECTION

C203 N.T.S.



5 BIKE DOCK

C203 N.T.S.

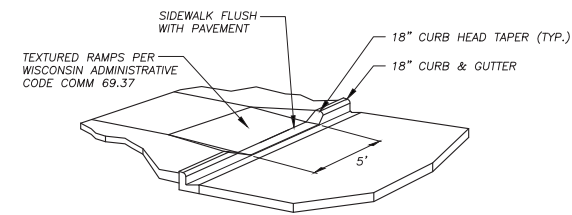
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CYCLING GROUP
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1-800-783-7257 / 1-608-274-1702
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THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SARIS CYCLING GROUP AND IS FOR THE USE OF THE CLIENT ONLY. THE USER'S PERMISSION OF SARIS CYCLING GROUP IS REQUIRED.

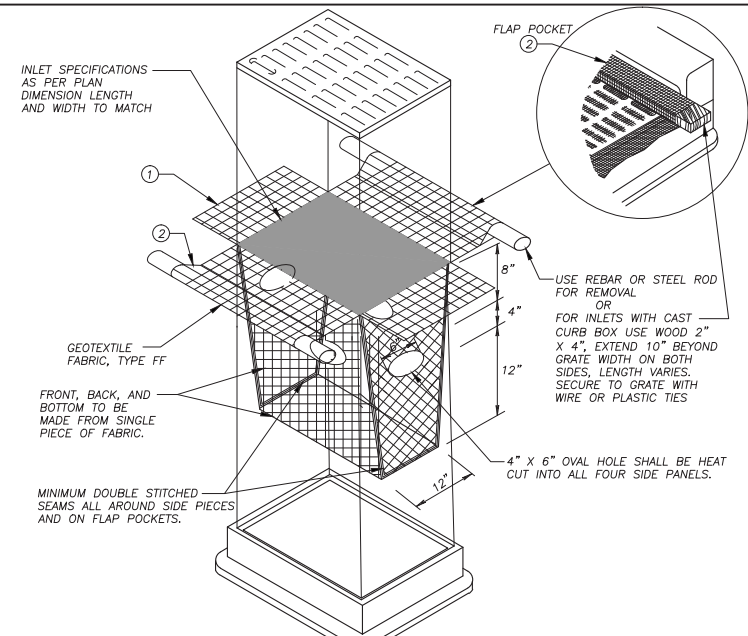
TITLE: 6903 - 2 BIKE FM BIKE DOCK

- NOTE:
1. DO NOT SCALE DRAWING.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



2 SIDEWALK RAMP DETAIL

C203 N.T.S.



GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

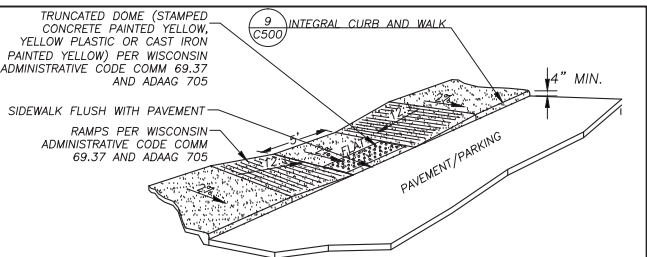
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

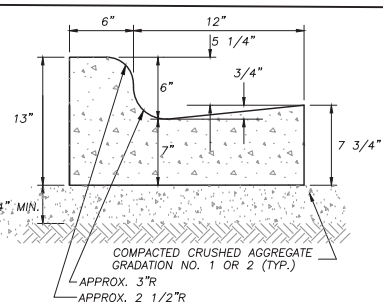
6 INLET PROTECTION, TYPE D

C203 N.T.S.



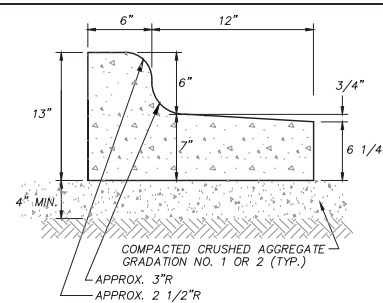
7 ACCESSIBLE WALK CROSS SECTION

C203 N.T.S.



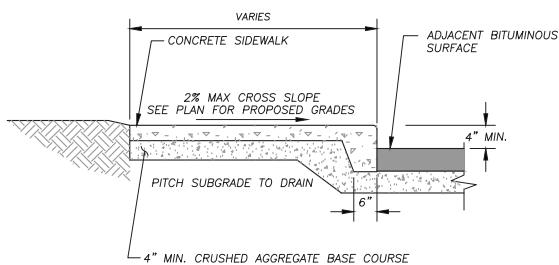
8 18" STANDARD CURB AND GUTTER

C203 N.T.S.



9 18" REJECT CURB AND GUTTER

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10 SIDEWALK CROSS SECTION

C203 N.T.S.

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PROJECT:

**FLIX BREWHOUSE -
EAST TOWNE MALL**

PROJECT LOCATION:

**CITY OF MADISON
DANE COUNTY, WI**

JSD PROJECT NO.:

15-7078

SEAL/SIGNATURE:

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DESIGN:	TKG	07-06-16
DRAWN:	TKG	07-06-16
APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

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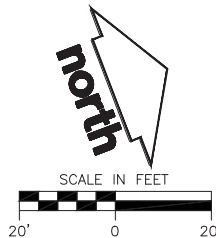
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SHEET TITLE:

**SITE PLAN
DETAILS**

SHEET NUMBER:

C203



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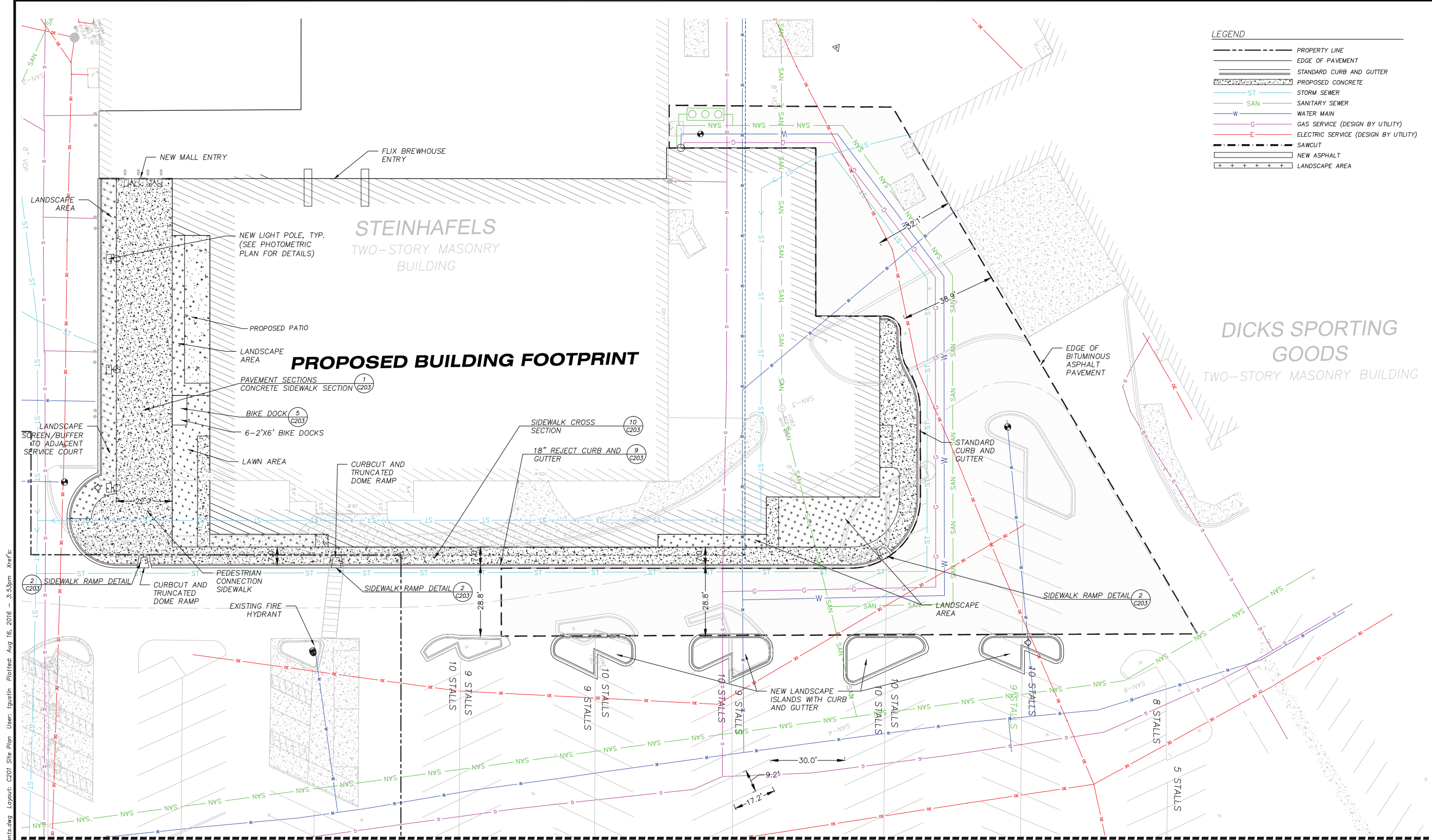
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SHEET TITLE:
SITE PLAN
SHEET 2 OF 2

SHEET NUMBER:
C202

File: I:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C201 Site Plan User: tgastrin Plotted: Aug 16, 2016 3:53pm Xref's:



- LEGEND**
- PROPERTY LINE
 - EDGE OF PAVEMENT
 - STANDARD CURB AND GUTTER
 - PROPOSED CONCRETE
 - ST STORM SEWER
 - SAN SANITARY SEWER
 - W WATER MAIN
 - G GAS SERVICE (DESIGN BY UTILITY)
 - E ELECTRIC SERVICE (DESIGN BY UTILITY)
 - SAWCUT
 - NEW ASPHALT
 - LANDSCAPE AREA

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PROJECT:
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PROJECT LOCATION:
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JSD PROJECT NO.: 15-7078

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DRAWN: TKG 07-06-16
APPROVED: JLF 07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

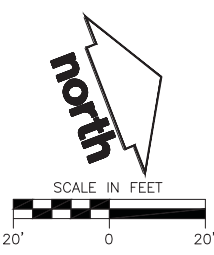
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SHEET TITLE:
**SITE PLAN
SHEET 1 OF 2**

SHEET NUMBER:
C201

SITE INFORMATION BLOCK		
Site Location	Madison, WI	Existing Impervious Building Area X S.F.
Existing Site Acreage (Total)	X.XX ACRES	Existing Impervious Asphalt (Parking Lots) X S.F.
Proposed Site Acreage (Total)	X.XX ACRES	Existing Impervious Right of Way (Monroe St.) X S.F.
Disturbed Area	X S.F.	Existing Impervious Concrete (Sidewalk/Drive) X S.F.
Existing Site Zoning:	CC	Proposed Impervious Building Area X S.F.
Proposed use of property:	C-1 GENERAL BUSINESS	Proposed Impervious Asphalt X S.F.
		Proposed Impervious Concrete X S.F.
Building Information:		
Number of stories (above grade)	1	
Building height	X	
Total square footage of building	X	
Number of surface parking stalls:		
Existing Stalls	X	
Proposed Stalls	X	



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EAST TOWNE MALL

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI
USD PROJECT NO.: 15-7078

SEAL/SIGNATURE: _____

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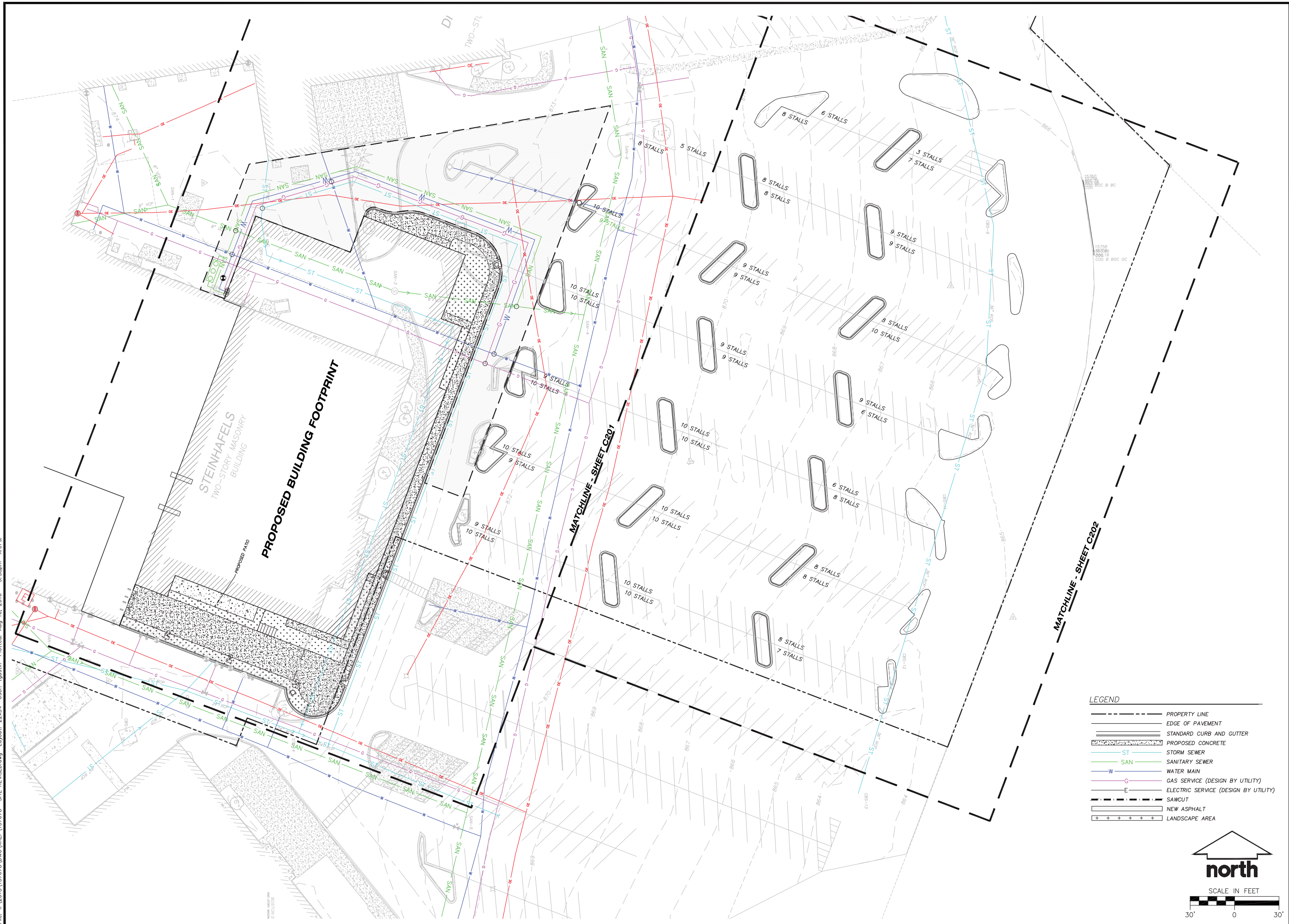


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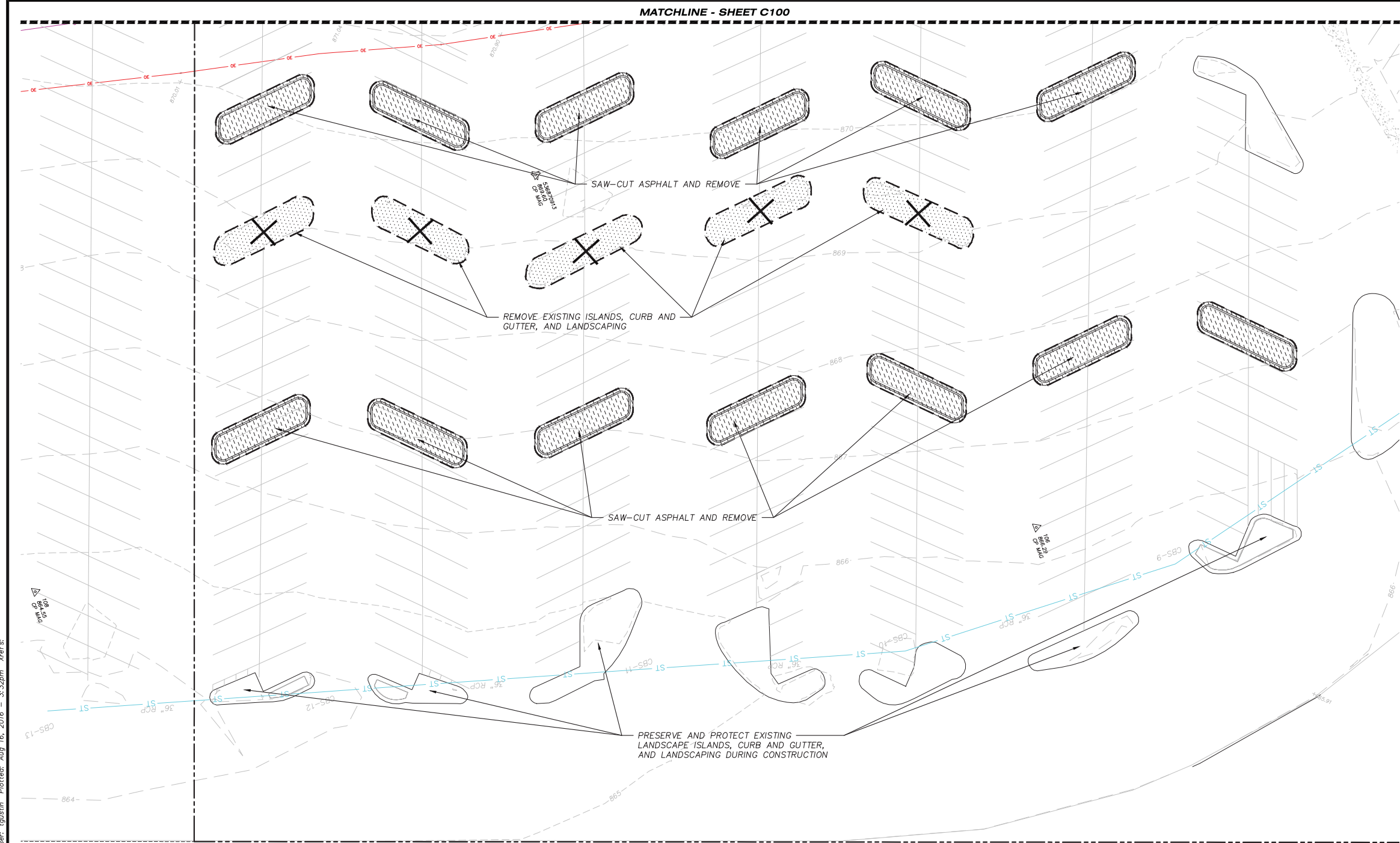
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OVERALL SITE PLAN

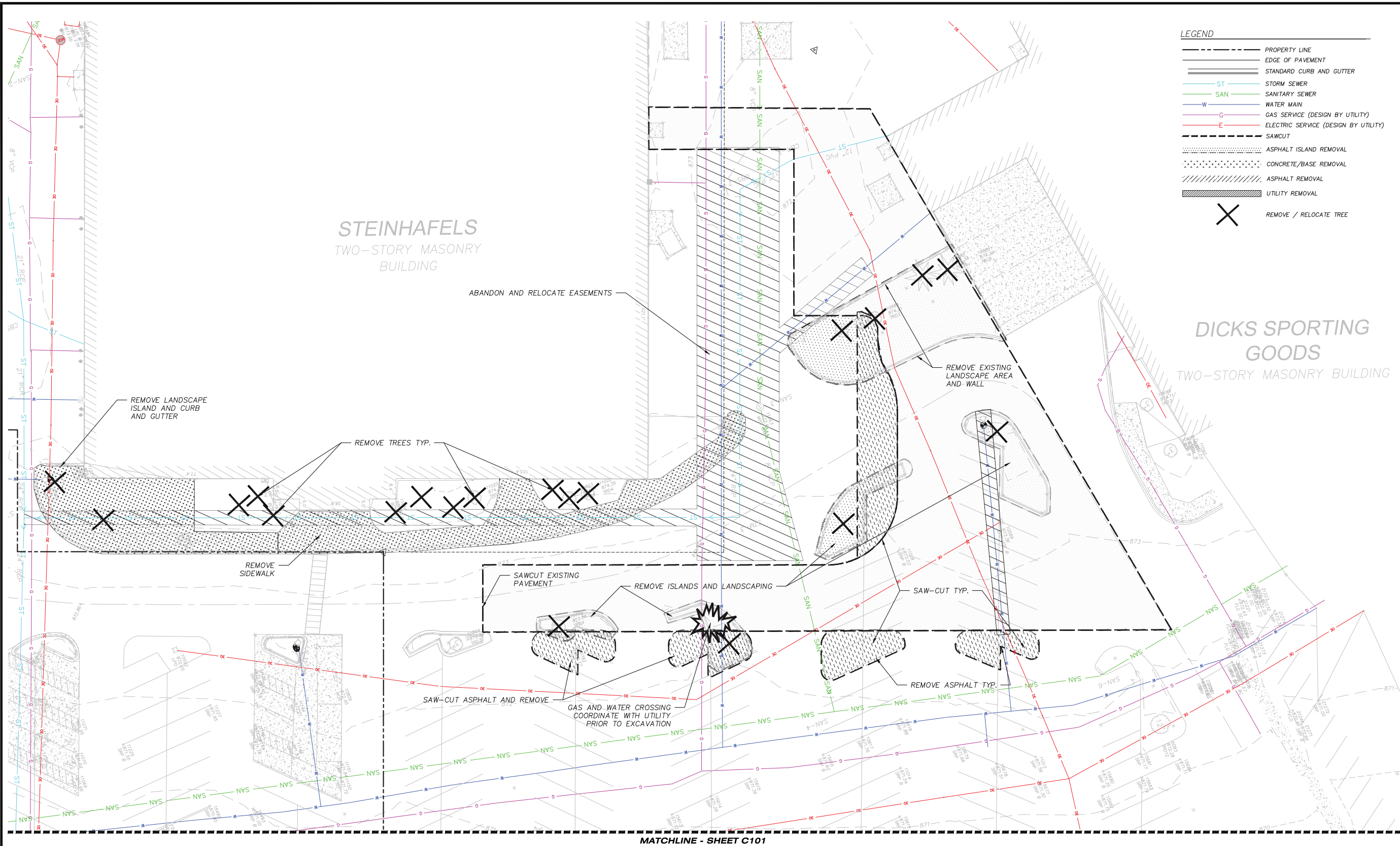
SHEET NUMBER:
C200



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LEGEND	
	PROPERTY LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	ST STORM SEWER
	SAN SANITARY SEWER
	W WATER MAIN
	G GAS SERVICE (DESIGN BY UTILITY)
	E ELECTRIC SERVICE (DESIGN BY UTILITY)
	SAWCUT
	ASPHALT ISLAND REMOVAL
	CONCRETE/BASE REMOVAL
	ASPHALT REMOVAL
	UTILITY REMOVAL
	REMOVE / RELOCATE TREE

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PROJECT:
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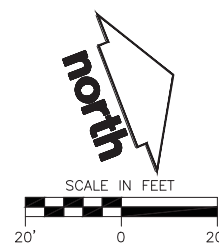
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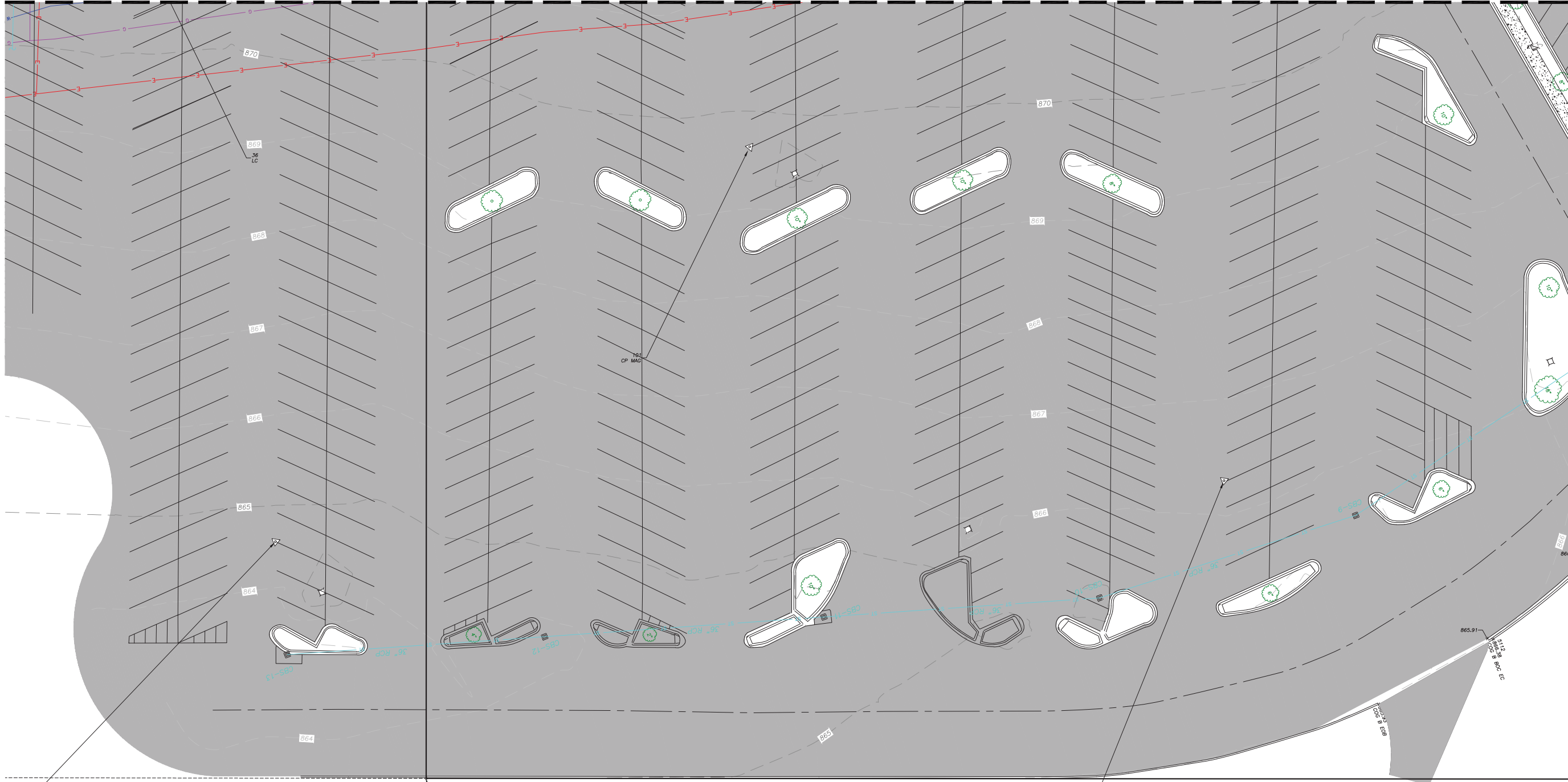
SHEET TITLE:
**DEMO PLAN
SHEET 1 OF 2**

SHEET NUMBER:
C100



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MATCHLINE - SHEET C001



STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
CBR-1	871.52	S	869.50	12"	PVC
		N	869.50	12"	PVC
CBS-2	871.66	N	868.26	12"	PVC
		E	867.61	24"	RCP
STM-3	872.89	W	867.14	24"	RCP
		S	867.04	24"	RCP
STM-4	873.39	N	866.04	24"	RCP
		E	865.89	24"	RCP
		W	866.14	24"	RCP
		N	866.89	21"	RCP
CBS-5	872.19	E	866.59	24"	RCP
		W	866.74	21"	RCP
		SW	866.69	21"	RCP
		N	867.01	21"	RCP
CBS-6	872.61	S	866.81	21"	RCP
		E	868.39	21"	RCP
CBS-7	872.69	N	866.10	30"	RCP
		S	860.96	36"	RCP
CBS-8	866.10	N	861.32	30"	RCP
		S	860.05	36"	RCP
CBS-9	865.20	N	859.47	36"	RCP
		S	859.40	36"	RCP
CBS-10	864.61	N	858.31	36"	RCP
		S	858.31	36"	RCP
CBS-11	864.10	N	857.79	36"	RCP
		S	857.82	36"	RCP
CBS-12	863.50	N	857.19	36"	RCP
		S	857.05	36"	RCP
CBS-13	863.12	N	857.19	36"	RCP
		S	857.05	36"	RCP

SANITARY SEWER MANHOLES				
RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
873.40	E	865.54	8"	VCP
	NW	865.65	8"	VCP
873.24	SW	865.76	8"	VCP
	E	865.44	8"	VCP
873.45	W	866.18	8"	VCP
	SW	866.22	8"	VCP
	E	864.80	8"	VCP
	W	864.90	8"	VCP

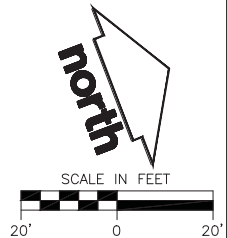
BENCHMARKS	
DESCRIPTION	
TOP NUT ON HYDRANT SOUTH OF DICKS SPORTING GOODS	
TOP NUT ON HYDRANT EAST OF STEINHAFELS ENTRANCE	
TOP NUT ON HYDRANT BY SOUTHEAST CORNER OF STEINHAFELS	

LEGEND

- 1" IRON PIPE FOUND
- IRON PIPE FOUND (SIZE NOTED)
- CONTROL POINT
- BENCHMARK
- FINISHED FLOOR SHOT LOCATION
- BOLLARD
- SIGN
- SANITARY MANHOLE
- HYDRANT
- WATER OR GAS VALVE
- CURB STOP/SERVICE VALVE
- SIAMESE CONNECTOR
- STORM MANHOLE
- ROUND CASTED INLET
- SQUARE CASTED INLET
- DOWNSPOUT
- GAS REGULATOR/METER
- ELECTRIC MANHOLE (MGE)
- ELECTRIC MANHOLE
- ELECTRIC TRANSFORMER
- LIGHT POLE
- YARD LIGHT
- DECIDUOUS TREE
- CONIFEROUS TREE
- HANDICAP PARKING
- CENTERLINE
- PROPERTY LINE
- PARCEL BOUNDARY
- EASEMENT LINE
- GUARD OR SAFETY RAIL
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- CONCRETE PAVEMENT
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- UNDERGROUND ELECTRIC
- EDGE OF WOODS OR BRUSH
- BUILDING
- WALL LINE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- RETAINING WALL
- EDGE OF BITUMINOUS
- PAVEMENT STRIPING
- DISCONTINUED MAPPED PIPE LINE

NOTES

- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JANUARY 05, 06 & 07 and JULY 1, 2016.
- BEARINGS FOR THIS MAP ARE REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 28, T8N, R10E, RECORDED AS N 88°36'12" E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MARKING THE WEST 1/4 CORNER OF SECTION 27, T8N, R10E, ELEVATION = 879.55'
- CONTOUR INTERVAL IS ONE FOOT.
- SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NO. 20160203477, WITH A CLEAR DATE OF JANUARY 06 2016.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
 - CITY OF MADISON
 - AMERICAN TRANSMISSION
 - AT&T DISTRIBUTION
 - MC&E (ELECTRIC AND GAS)
 - CHARTER COMMUNICATIONS
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
- THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
- WATER SERVICE NOT FIELD MARKED AND NO RECORDS SHOWING CONNECTIONS WAS SUPPLIED OR RECOVERED, LINES SHOWN ARE PRESUMED AND NEED TO BE FIELD VERIFIED BY OTHERS



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PLAN MODIFICATIONS: DATE:
LANDUSE AND UDC FINAL SUBMITTAL 08-17-16

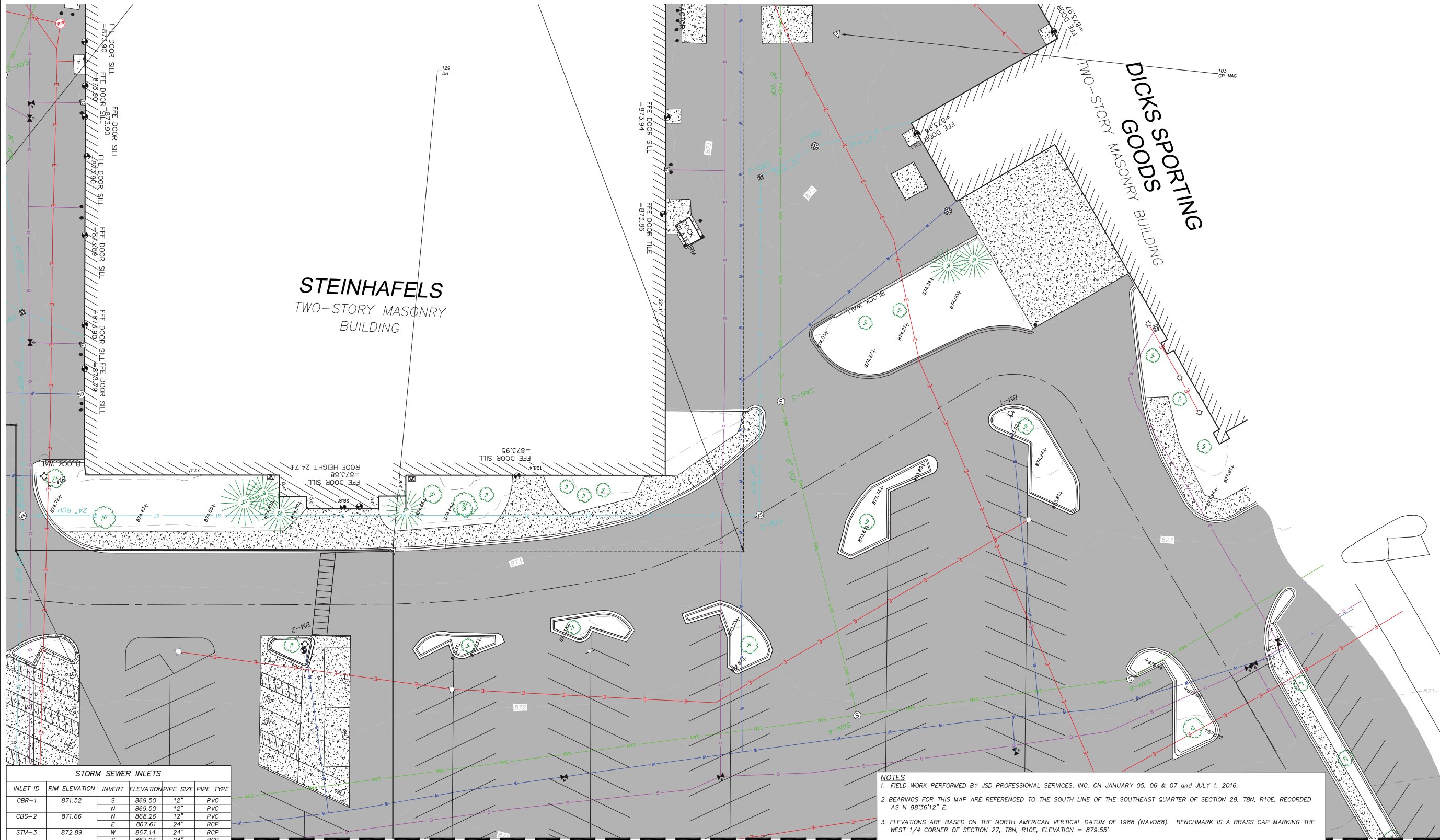


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SHEET TITLE:
**EXISTING CONDITIONS
SHEET 2 OF 2**

SHEET NUMBER:
C002

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STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
CBR-1	871.52	S	869.50	12"	PVC
		N	869.50	12"	PVC
CBS-2	871.66	N	868.26	12"	PVC
		E	867.61	24"	RCP
STM-3	872.89	W	867.14	24"	RCP
		S	867.04	24"	RCP
STM-4	873.39	N	866.04	24"	RCP
		E	865.89	24"	RCP
		W	866.14	24"	RCP
		S	866.59	24"	RCP
CBS-5	872.19	N	866.89	21"	RCP
		E	866.59	24"	RCP
		W	866.74	21"	RCP
		SW	866.69	21"	RCP
CBS-6	872.61	N	867.01	21"	RCP
		S	866.81	21"	RCP
CBS-7	872.69	E	868.39	21"	RCP
		N	866.10	30"	RCP
CBS-8	866.10	N	866.32	30"	RCP
		S	860.96	36"	RCP
CBS-9	865.20	N	860.05	36"	RCP
		S	860.02	36"	RCP
CBS-10	864.61	N	859.47	36"	RCP
		S	859.40	36"	RCP
CBS-11	864.10	N	858.31	36"	RCP
		S	858.31	36"	RCP
CBS-12	863.50	N	857.79	36"	RCP
		S	857.82	36"	RCP
CBS-13	863.12	N	857.19	36"	RCP
		S	857.05	36"	RCP

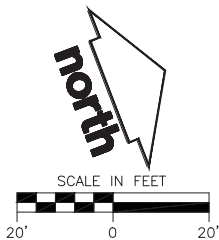
SANITARY SEWER MANHOLES				
RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
873.40	E	865.54	8"	VCP
	NW	865.65	8"	VCP
	SW	865.76	8"	VCP
873.24	E	865.44	8"	VCP
	W	866.18	8"	VCP
	SW	866.22	8"	VCP
873.45	E	864.80	8"	VCP
	W	864.90	8"	VCP

BENCHMARKS	
DESCRIPTION	
TOP NUT ON HYDRANT SOUTH OF DICKS SPORTING GOODS	
TOP NUT ON HYDRANT EAST OF STEINHAFELS ENTRANCE	
TOP NUT ON HYDRANT BY SOUTHEAST CORNER OF STEINHAFELS	

LEGEND	
1" IRON PIPE FOUND	ELECTRIC MANHOLE (MGE)
IRON PIPE FOUND (SIZE NOTED)	ELECTRIC MANHOLE
CONTROL POINT	ELECTRIC TRANSFORMER
BENCHMARK	LIGHT POLE
FINISHED FLOOR SHOT LOCATION	YARD LIGHT
BOLLARD	DECIDUOUS TREE
SIGN	CONIFEROUS TREE
SANITARY MANHOLE	HANDICAP PARKING
HYDRANT	WATER OR GAS VALVE
WATER OR GAS VALVE	CURB STOP/SERVICE VALVE
CURB STOP/SERVICE VALVE	SIAMASE CONNECTOR
SIAMASE CONNECTOR	STORM MANHOLE
STORM MANHOLE	ROUND CASTED INLET
ROUND CASTED INLET	SQUARE CASTED INLET
SQUARE CASTED INLET	DOWNSPOUT
DOWNSPOUT	GAS REGULATOR/METER
GAS REGULATOR/METER	

MATCHLINE - SHEET C002	
— SAN —	SANITARY SEWER
— W —	WATER LINE
— ST —	STORM SEWER
— NG —	NATURAL GAS
— E —	UNDERGROUND ELECTRIC
— W —	EDGE OF WOODS OR BRUSH
— B —	BUILDING
— W —	WALL LINE
— 875 —	INDEX CONTOUR
— 874 —	INTERMEDIATE CONTOUR
— 873 —	SPOT ELEVATION
— 872 —	BITUMINOUS PAVEMENT
— 871 —	RETAINING WALL
— 870 —	EDGE OF BITUMINOUS
— 869 —	PAVEMENT STRIPING
— 868 —	DISCONTINUED MAPPED PIPE LINE

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JANUARY 05, 06 & 07 and JULY 1, 2016.
 - BEARINGS FOR THIS MAP ARE REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 28, T8N, R10E, RECORDED AS N 88°36'12" E.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MARKING THE WEST 1/4 CORNER OF SECTION 27, T8N, R10E, ELEVATION = 879.55'
 - CONTOUR INTERVAL IS ONE FOOT.
 - SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NO. 20160203477, WITH A CLEAR DATE OF JANUARY 06 2016.
 - UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
CITY OF MADISON
AMERICAN TRANSMISSION
AT&T DISTRIBUTION
MC&E (ELECTRIC AND GAS)
CHARTER COMMUNICATIONS
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 - THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
 - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
 - WATER SERVICE NOT FIELD MARKED AND NO RECORDS SHOWING CONNECTIONS WAS SUPPLIED OR RECOVERED, LINES SHOWN ARE PRESUMED AND NEED TO BE FIELD VERIFIED BY OTHERS



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PROJECT:
**FLIX BREWHOUSE -
EAST TOWNE MALL**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI
JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	TKG	07-06-16
DRAWN:	TKG	07-06-16
APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

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SHEET TITLE:
**EXISTING CONDITIONS
SHEET 1 OF 2**

SHEET NUMBER:
C001



Existing Parking Lot and Building from the North



Entrance to East Towne Mall



Existing Parking Lot and Front Entrance of Site Building from the East

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SITE CONTEXT

SHEET NUMBER:
1 of 4

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Facade of Adjacent Building to the North



Maintenance Drive Between Site and Adjacent Building



Existing Parking Lot Islands and Landscape



Continued Parking Lot Islands and Landscape

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Fire Access Drive in Front of Site



Fire Access Continued to Adjacent Building to the North



Existing Landscape of Site Building



Maintenance Drive between Site and Adjacent Building

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Maintenance Access and Snow Storage



Landscape and Fire Access to Adjacent Building to the North



Continued Landscape to Building to the North

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- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
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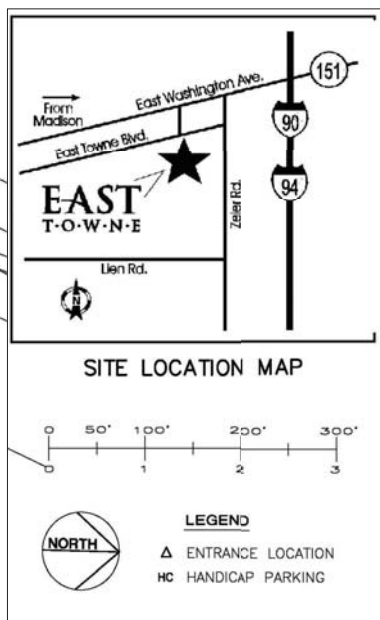
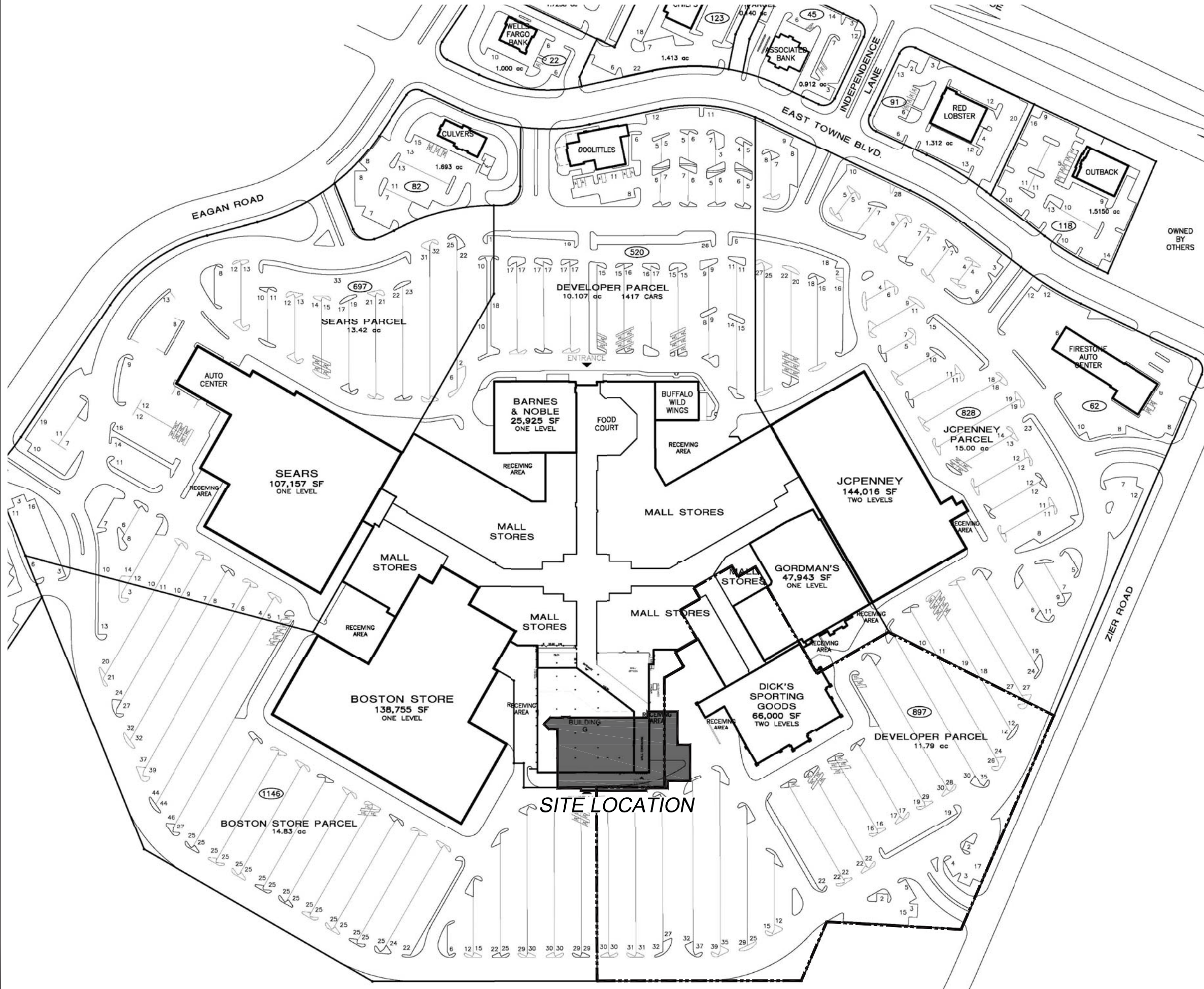
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SHEET TITLE:
SITE CONTEXT

SHEET NUMBER:
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LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

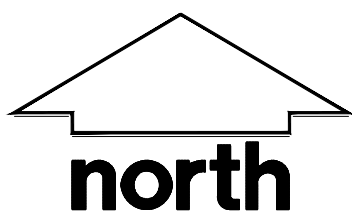
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SHEET TITLE:
**OVERALL MALL
CONTEXT MAP**

SHEET NUMBER:
EX. C

File: J:\2015\157078\DWG\157078-Location Map.dwg Plotter: Aug 15, 2016 - 11:25am User: tgaustin Layout: 22x34



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LOCATION MAP

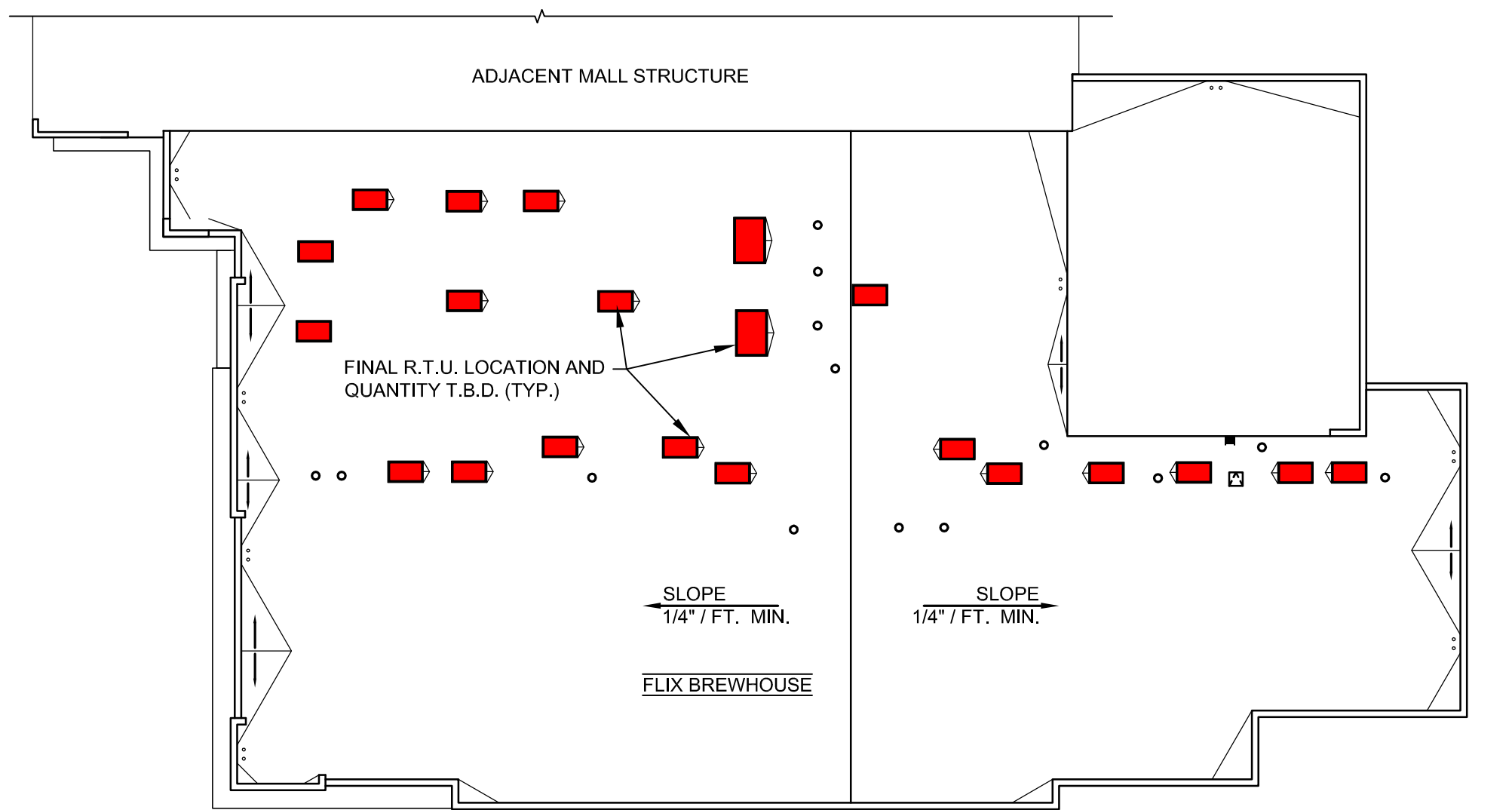
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EX. A



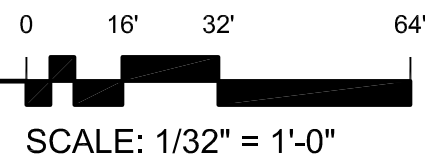
4 PARAPET SCREENED RTU RENDERING - VIEW 2
SCALE: N.T.S.



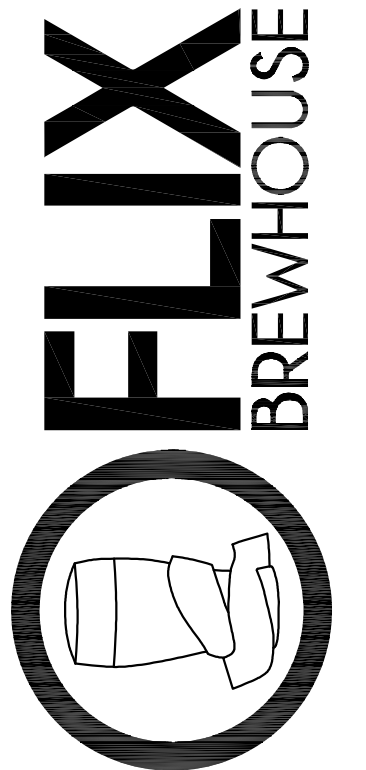
3 PARAPET SCREENED RTU RENDERING - VIEW 1
SCALE: N.T.S.



2 SCHEMATIC RTU LOCATION
SCALE: 1/32" = 1'-0"



1 SIGHT LINE DIAGRAM
SCALE: N.T.S.

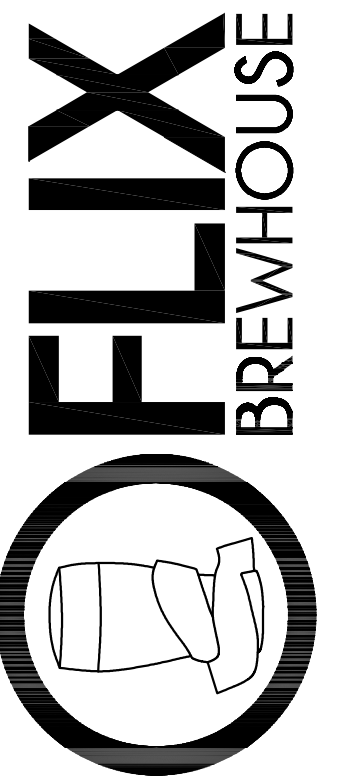




2 ENTRY VIEW
SCALE: N.T.S.



1 AERIAL ENTRY VIEW
SCALE: N.T.S.





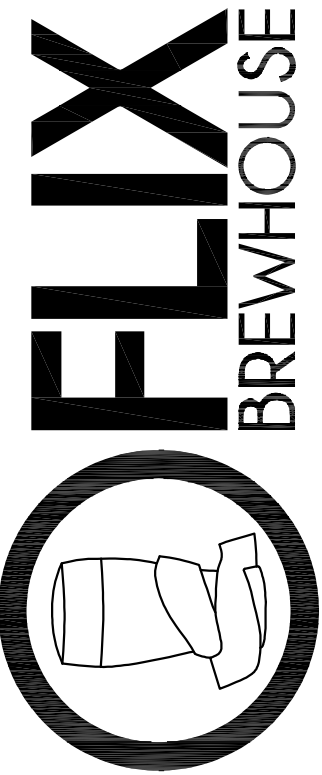
2 ELEVATION
SCALE: 1/16" = 1'-0"



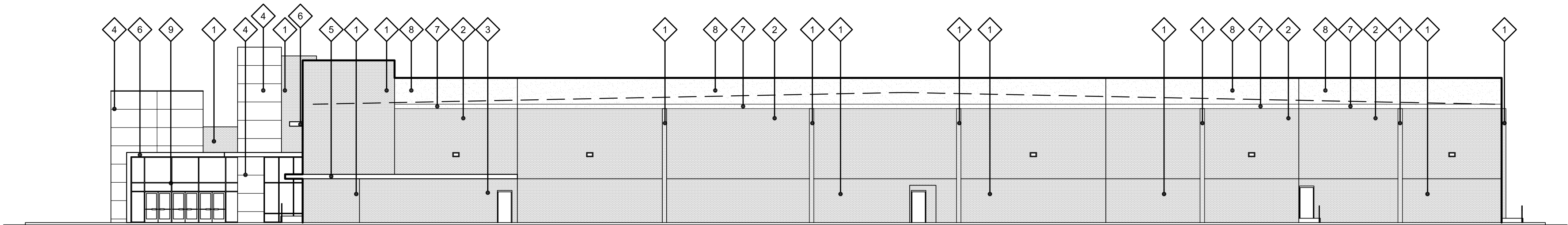
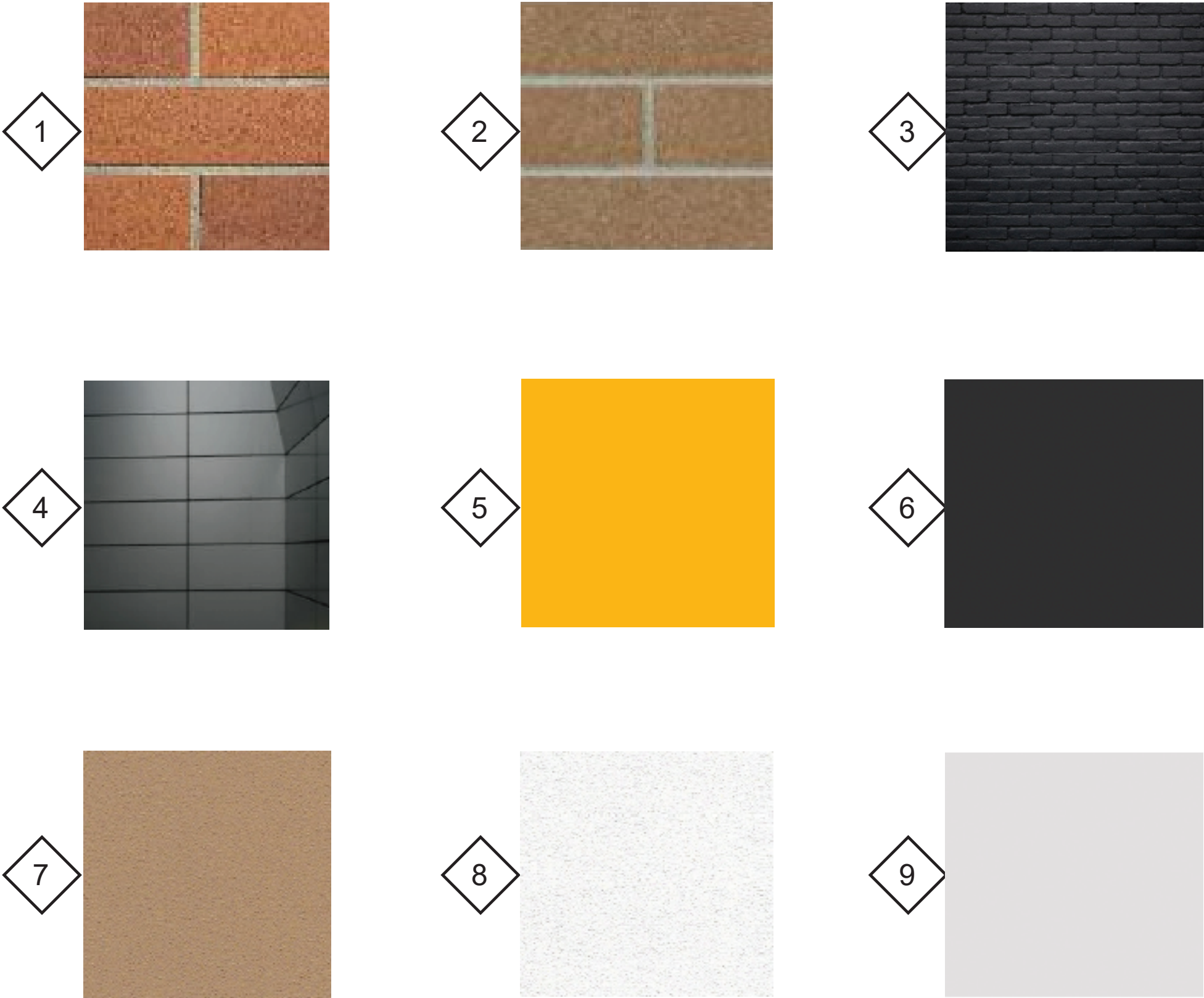
3 ELEVATION
SCALE: 1/16" = 1'-0"



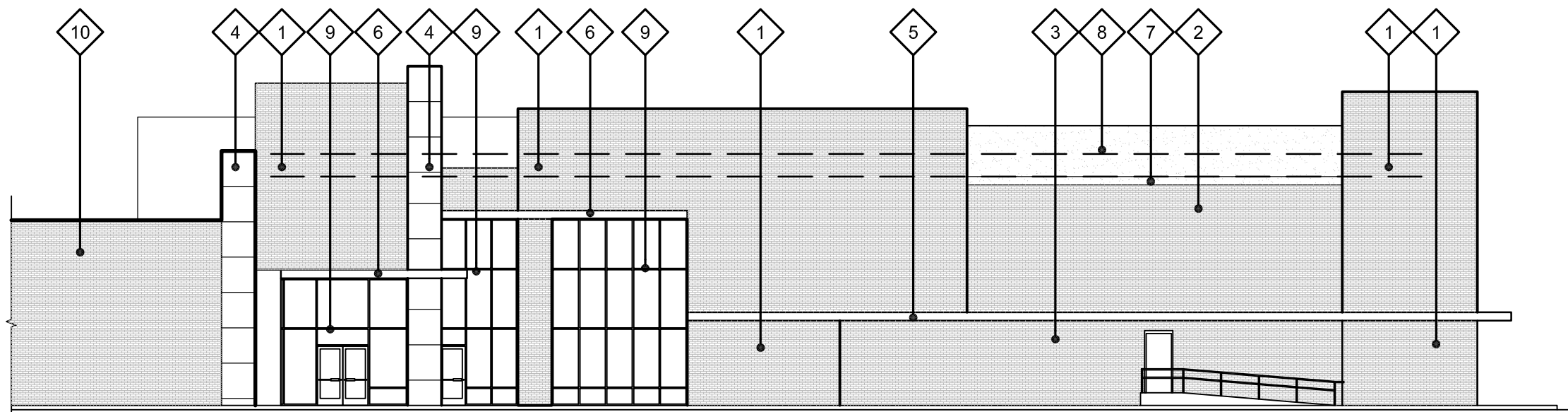
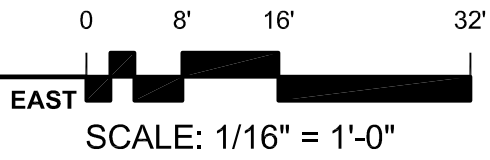
1 ELEVATION
SCALE: 1/16" = 1'-0"



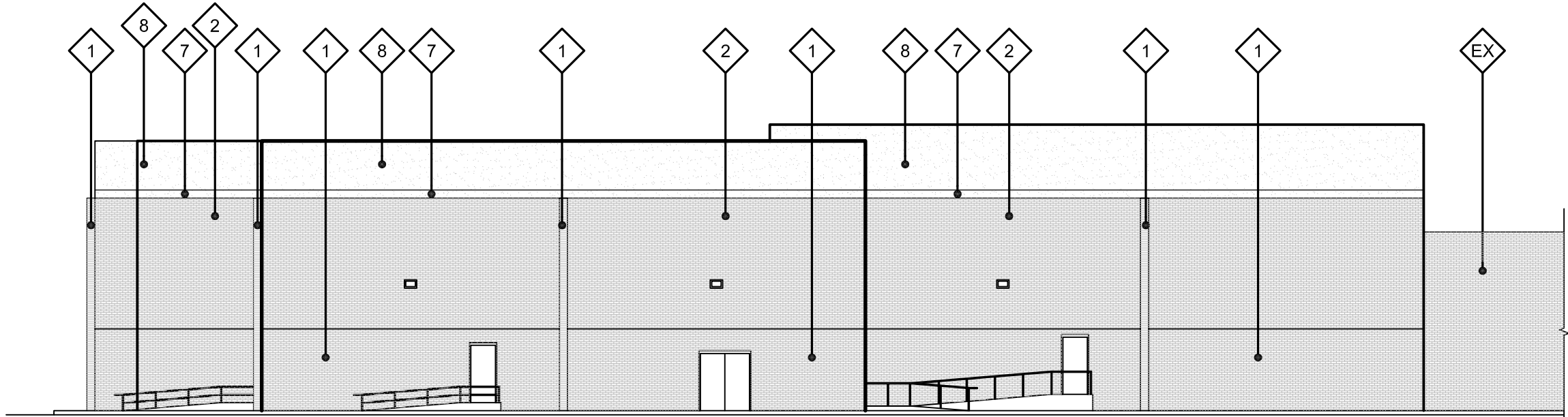
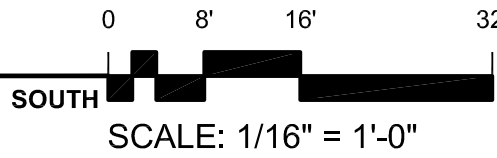
FINISH LEGEND	
1	- "HARVARD BRIK" MASONRY BLOCK - COLOR "SACRAMENTO"
2	- "HARVARD BRIK" MASONRY BLOCK - COLOR "COPPERTONE"
3	- "HARVARD BRIK" MASONRY BLOCK - PAINTED SW 6991 "BLACK MAGIC"
4	- METAL PANEL - MATCH ALUCOBOND "DUSTY CHARCOAL"
5	- METAL CANOPY - MATCH "FLIX GOLD" PANTONE 7409 CP
6	- METAL CANOPY - MATCH ALUCOBOND "DUSTY CHARCOAL"
7	- EIFS FINISH COAT - MATCH DRYVIT 117 "COLONIAL TAN"
8	- EIFS FINISH COAT - MATCH DRYVIT 612 "MOONLIGHT"
9	- STOREFRONT GLAZING - CLEAR ANODIZED
10	- "HARVARD BRIK" MASONRY BLOCK - MATCH EXISTING WALL COLOR
NOTE: SEE ATTACHED MATERIAL BOARD FOR COLOR SAMPLES	



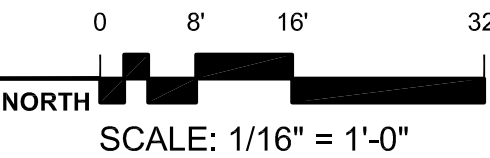
2 ELEVATION
SCALE: 1/16" = 1'-0"

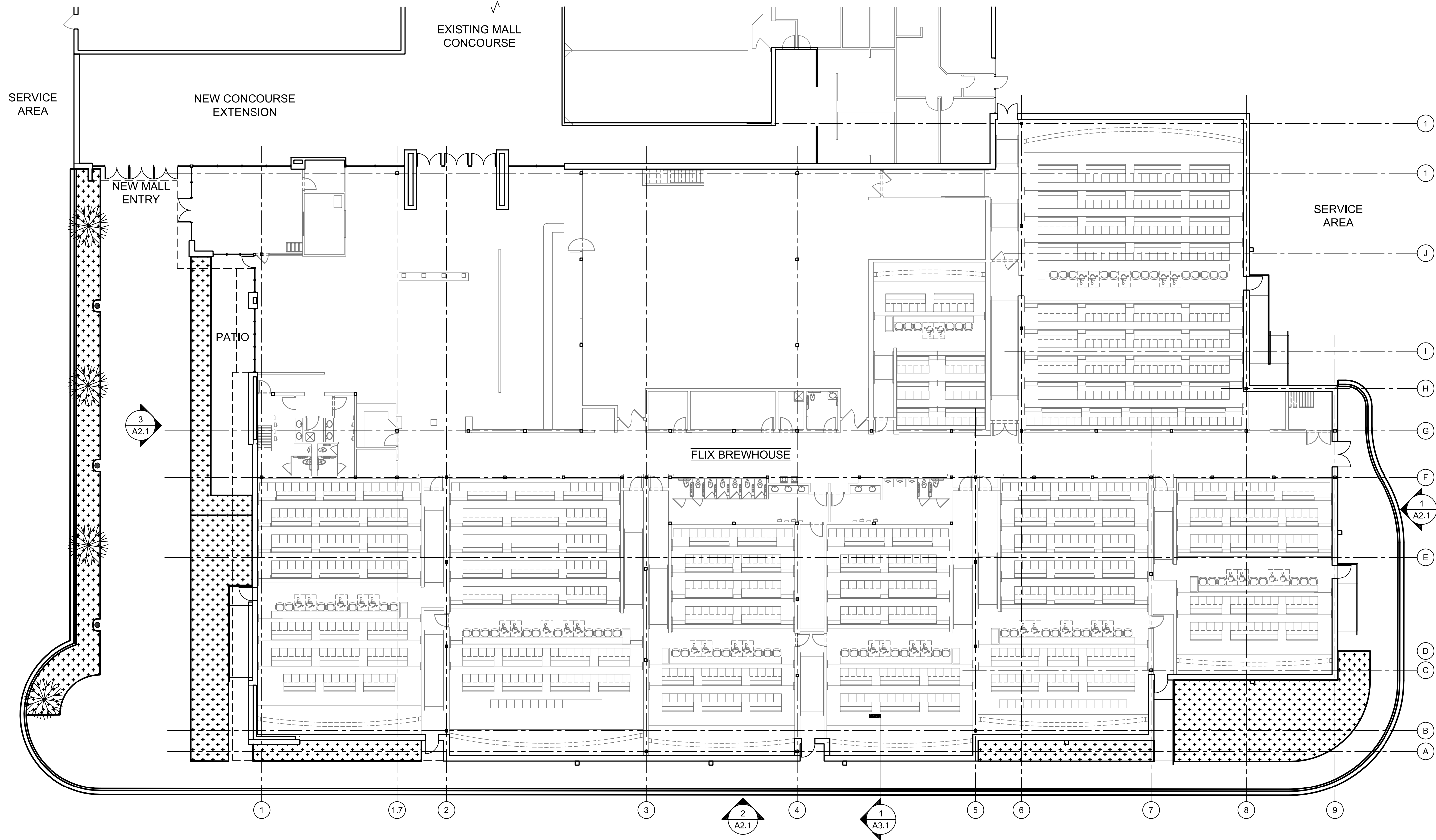


3 ELEVATION
SCALE: 1/16" = 1'-0"

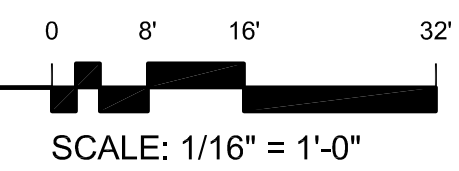


1 ELEVATION
SCALE: 1/16" = 1'-0"

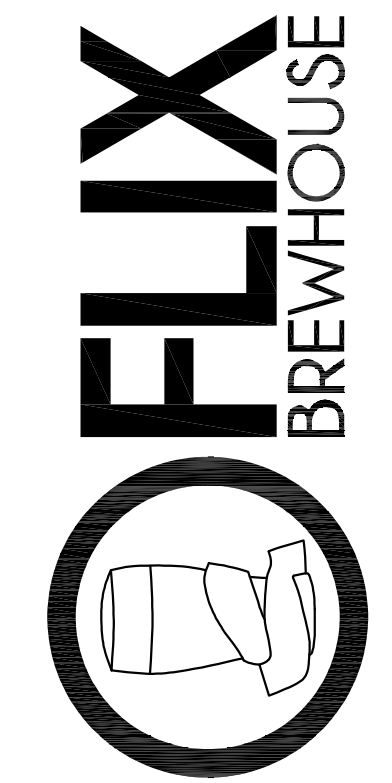




1 FLOOR PLAN
SCALE: 1/16" = 1'-0"



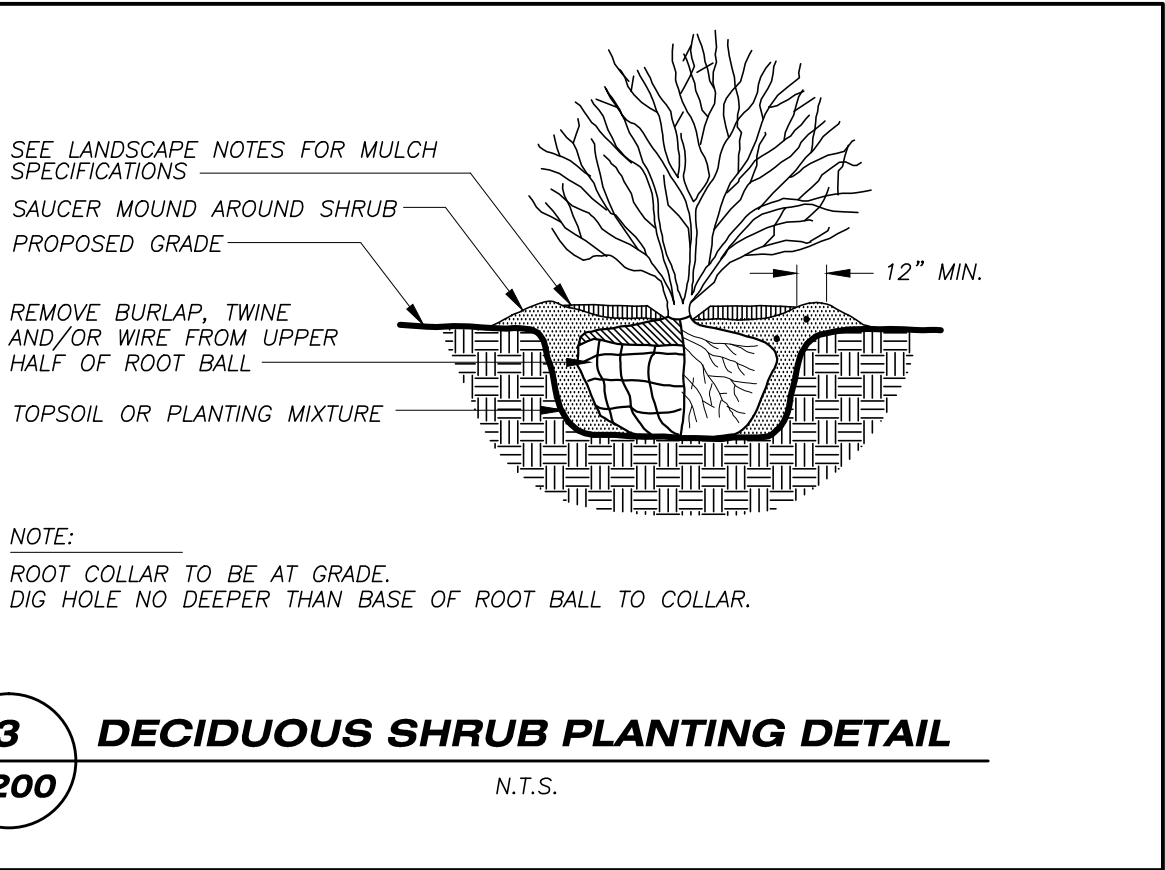
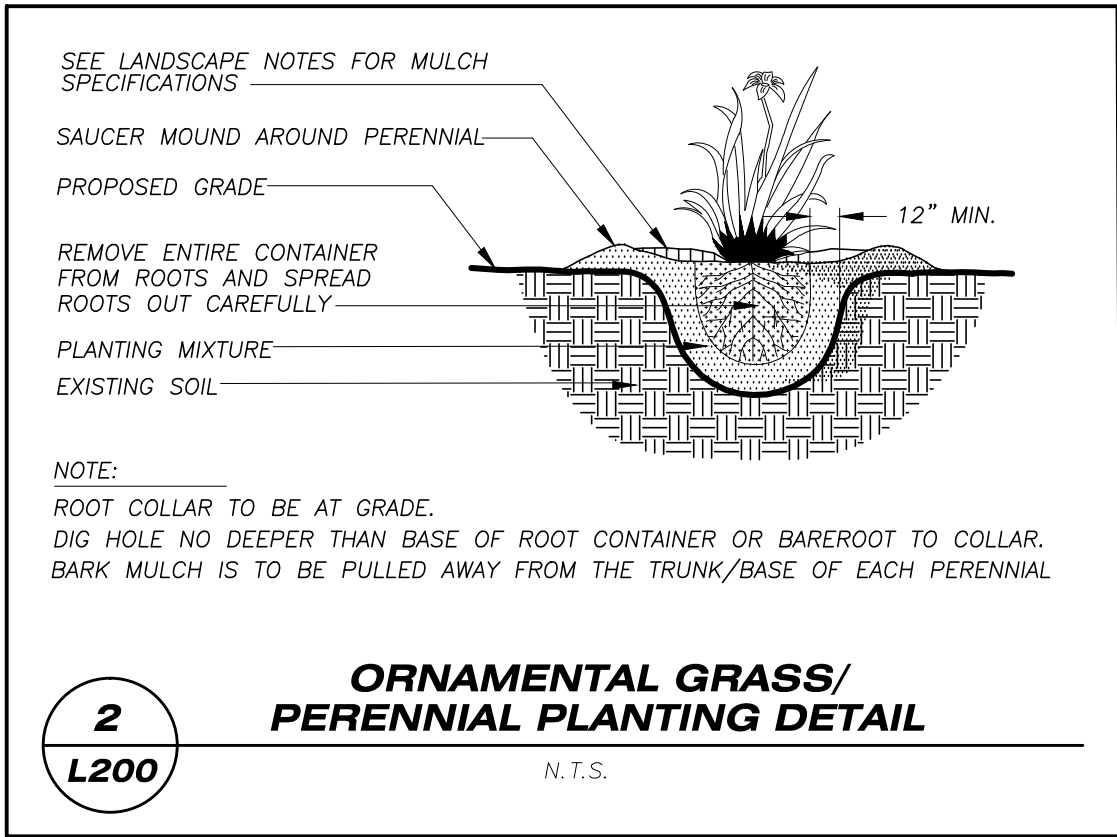
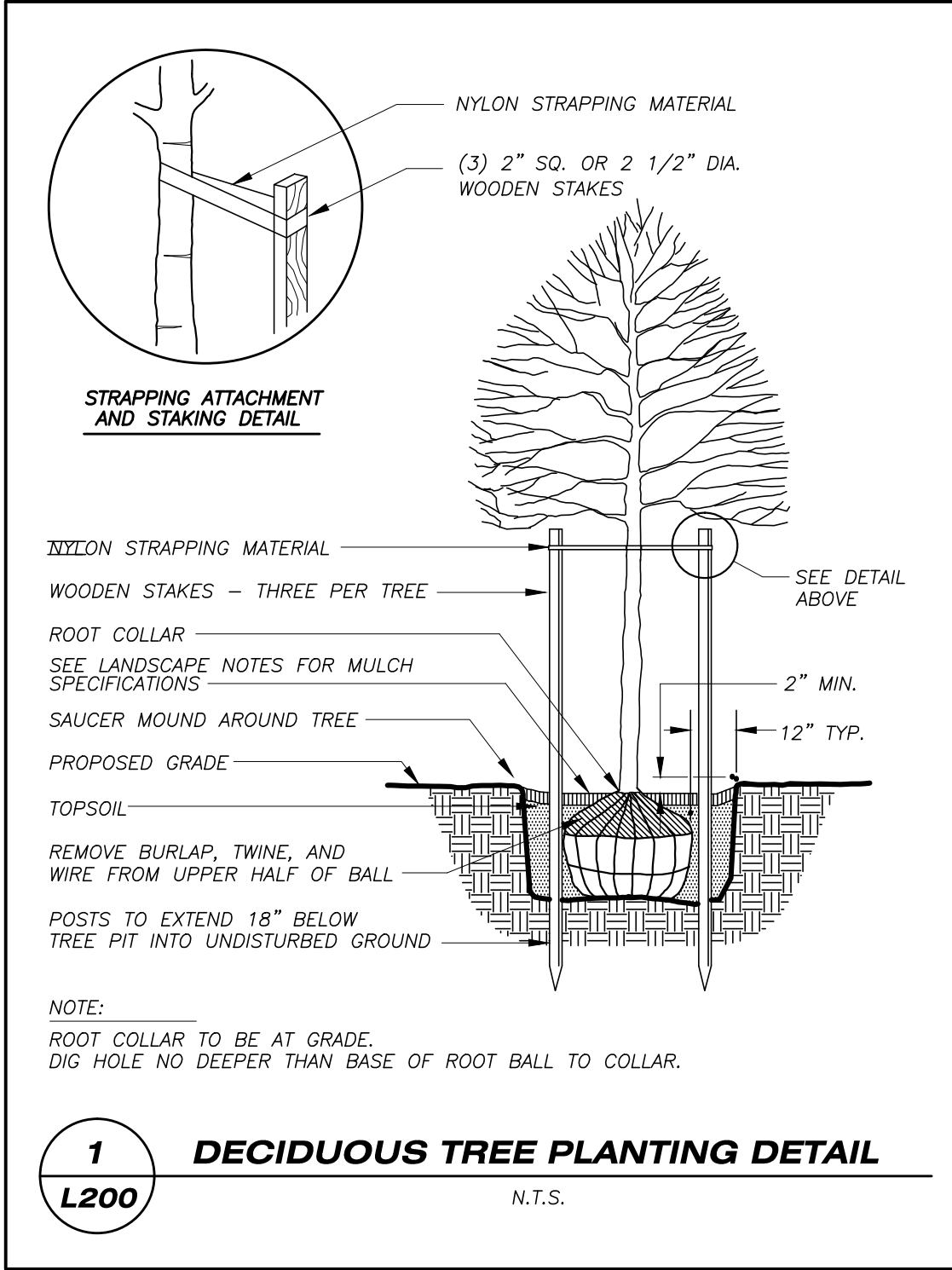
**FLIX BREWHOUSE
SHELL BUILDING**
EAST TOWNE MALL
89 E TOWNE MALL
MADISON, WI 53704



MADISON UDC
REVIEW SET
08-17-2016

ISSUE DATES
INITIAL ISSUE: 00-00-00
1.
2.
3.
4.
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LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 - PLANTING AREAS = 24"
 - TREE PITS = SEE DETAILS
- PLANTING MIXTURE TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - ALL PLANTING AREAS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 85 EAST TOWNE MALL, MADISON, WI 53704
Name of Project FLIX BREWHOUSE - EAST TOWNE MALL
Owner / Contact CBL & ASSOCIATES PROPERTIES, INC. - JUSTIN LONG
Contact Phone (608) 848-5060 Contact Email JUSTIN.FRAHM@JSDINC.COM

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 178,861
Total landscape points required 597

- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____
Five (5) acres = 217,800 square feet
First five (5) developed acres = 3,630 points
Remainder of developed area _____
Total landscape points required _____

- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____
Total landscape points required _____

10/2013

1

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35	10	350	19	665
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			22	330
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			9	90
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			141	423
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			375	750
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				350		2,258

Total Number of Points Provided 2,608

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

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SERVICES PROVIDED TO:

**CBL & ASSOCIATES
PROPERTIES, INC.**

PROJECT:

**FLIX BREWHOUSE -
EAST TOWNE MALL**

PROJECT LOCATION:

**CITY OF MADISON
DANE COUNTY, WI**

JSD PROJECT NO.:

15-7078

SEAL/SIGNATURE:

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DRAWN: TKG 07-06-16
APPROVED: JLF 07-06-16

PLAN MODIFICATIONS: DATE:
LANDUSE SUBMITTAL 07-13-16
LANDUSE AND UDC FINAL SUBMITTAL 08-17-16

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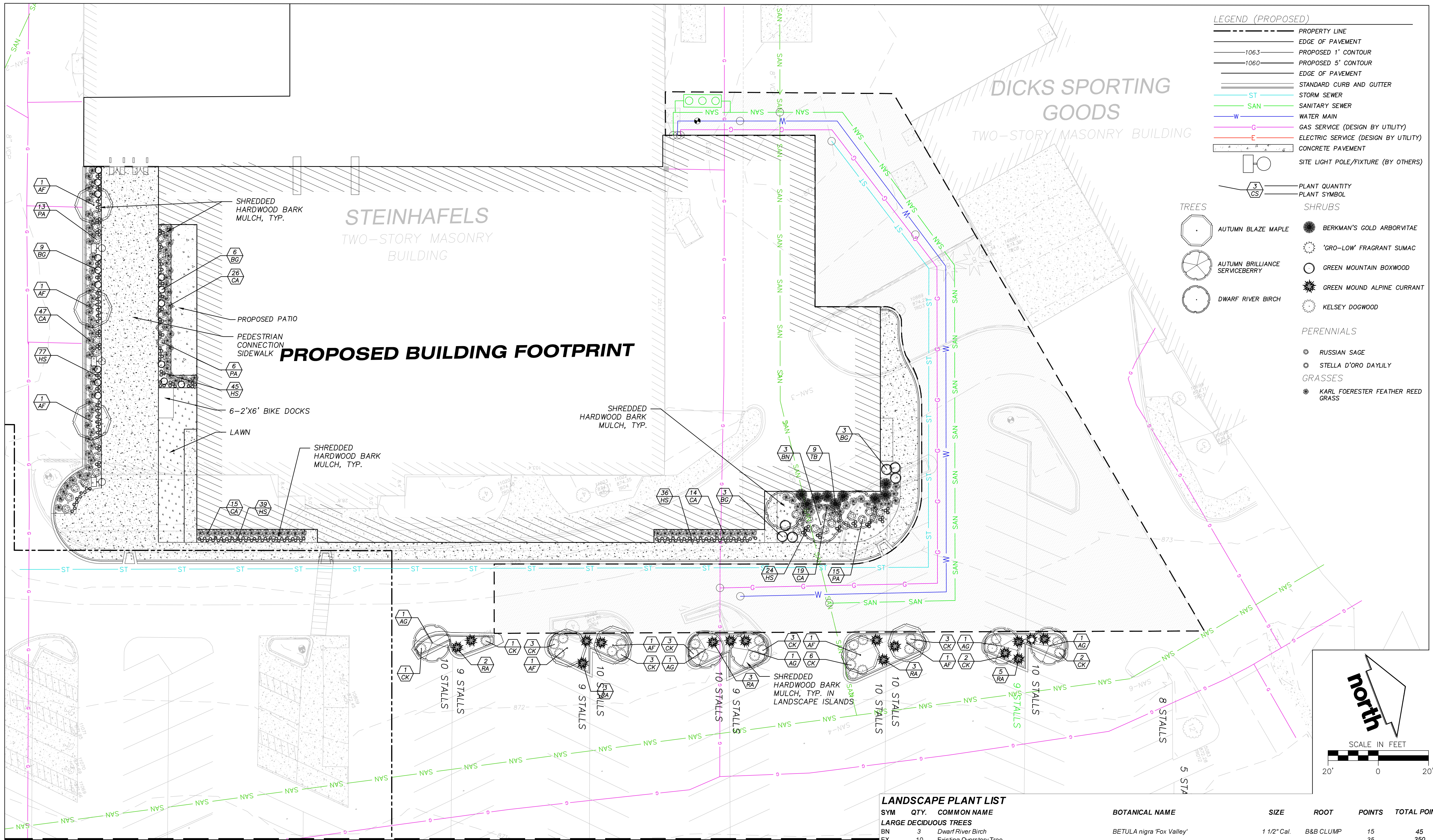
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LANDSCAPE DETAILS

SHEET NUMBER:

L102

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MATCHLINE - SHEET L101

LANDSCAPE PLANT LIST

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
LARGE DECIDUOUS TREES							
BN	3	Dwarf River Birch	BETULA nigra 'Fox Valley'	1 1/2" Cal.	B&B CLUMP	15	45
EX	10	Existing Overstory Tree				35	350
MEDIUM DECIDUOUS TREES							
AF	19	Autumn Blaze Maple	ACER x freemanii 'Jeffersred'	2 1/2" Cal.	B&B	35	665
AG	19	Autumn Brilliance Serviceberry	AMELANCHIER x grandiflora 'Autumn Brilliance'	1 1/2" Cal.	B&B	15	285
MEDIUM SHRUBS							
BG	21	Green Mountain Boxwood	BUXUS 'Green Mountain'	24" Mn. Ht.	B&B	3	63
CK	68	Kelsey Dogwood	CORNUS sericea 'Kelsey'	18" Mn. Ht.	# 3 Cont.	3	204
TB	9	Berkman's Gold Arborvitae	THUJA orientalis 'Berkman's Gold'	24" Mn. Ht.	# 3 Cont.	10	90
RA	16	Green Mound Alpine Currant	RIBIES alpinum 'Green Mound'	18" Mn. Ht.	# 3 Cont.	3	48
RH	36	Fragrant Sumac	RHUS aromatica	24" Mn. Ht.	# 3 Cont.	3	108
PERENNIALS							
PA	34	Russian Sage	PEROVSKIA atriplicifolia	24" Mn. Ht.	# 3 Cont.	2	68
HS	222	Stella De Oro Daylily	Hemerocallis x 'Stella de Oro'	12" Mn. Ht.	# 3 Cont.	2	444
ORNAMENTAL GRASSES							
CA	119	Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerster'	10 - 12" Ht.	# 1 Cont.	2	238
						TOTAL:	2608

LEGEND (PROPOSED)

---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	PROPOSED 1' CONTOUR
---	PROPOSED 5' CONTOUR
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	STORM SEWER
---	SANITARY SEWER
---	WATER MAIN
---	GAS SERVICE (DESIGN BY UTILITY)
---	ELECTRIC SERVICE (DESIGN BY UTILITY)
---	CONCRETE PAVEMENT
---	SITE LIGHT POLE/FIXTURE (BY OTHERS)

TREES

---	AUTUMN BLAZE MAPLE
---	AUTUMN BRILLIANCE SERVICEBERRY
---	DWARF RIVER BIRCH

SHRUBS

---	BERKMAN'S GOLD ARBORVITAE
---	'GRO-LOW' FRAGRANT SUMAC
---	GREEN MOUNTAIN BOXWOOD
---	GREEN MOUND ALPINE CURRANT
---	KELSEY DOGWOOD

PERENNIALS

---	RUSSIAN SAGE
---	STELLA D'ORO DAYLILY
GRASSES	
---	KARL FOERSTER FEATHER REED GRASS

North

SCALE IN FEET
20' 0 20'

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JSD PROJECT NO.:

15-7078

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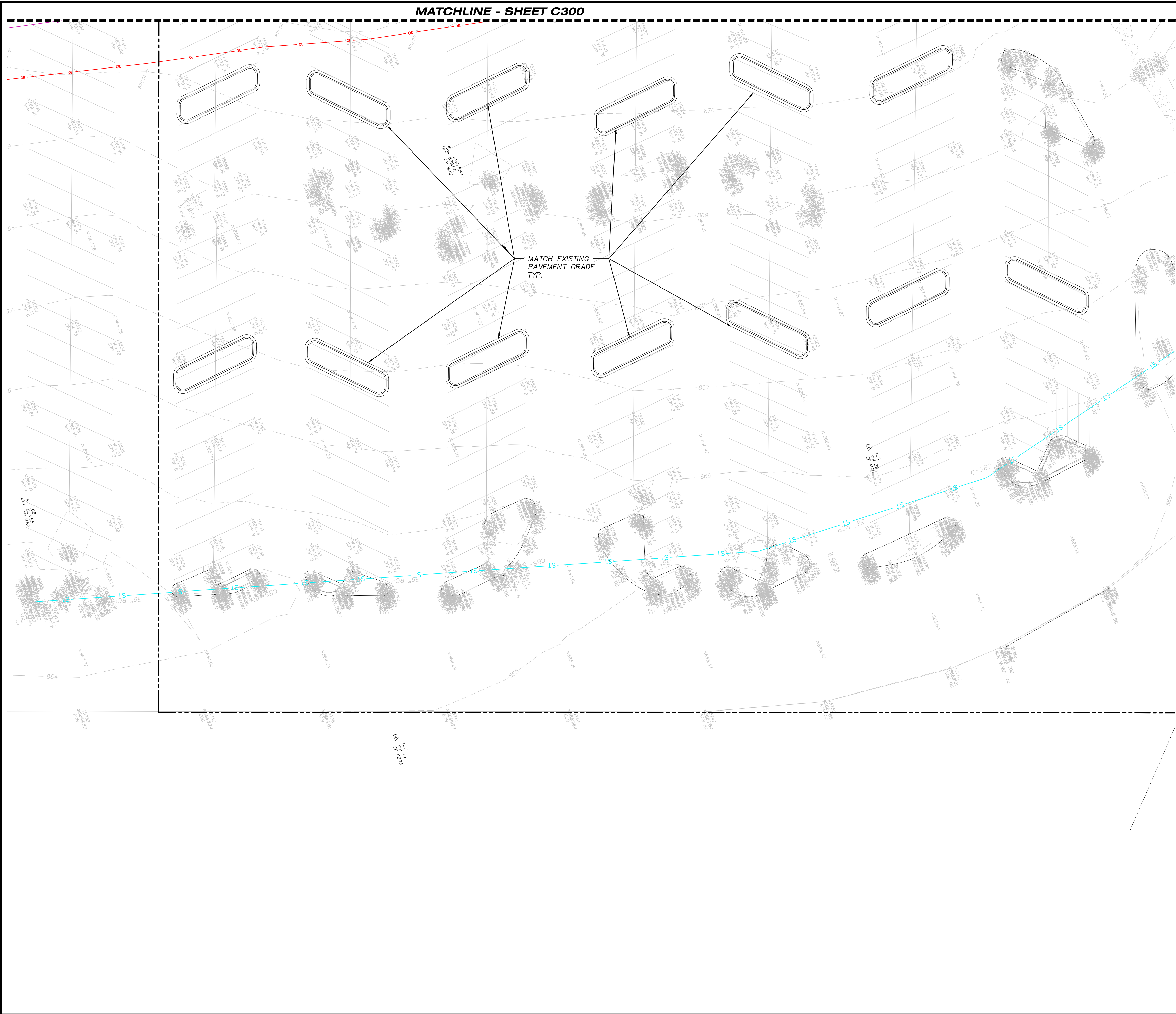
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**LANDSCAPE PLAN
SHEET 1 OF 2**

SHEET NUMBER:

L100

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LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ST STORM SEWER
- SAN SANITARY SEWER
- W WATER MAIN
- G GAS SERVICE (DESIGN BY UTILITY)
- E ELECTRIC SERVICE (DESIGN BY UTILITY)
- SAWCUT
- ASPHALT ISLAND REMOVAL
- CONCRETE/BASE REMOVAL
- ASPHALT REMOVAL
- UTILITY REMOVAL

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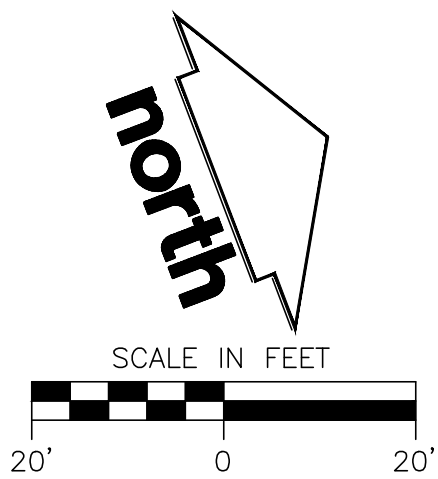
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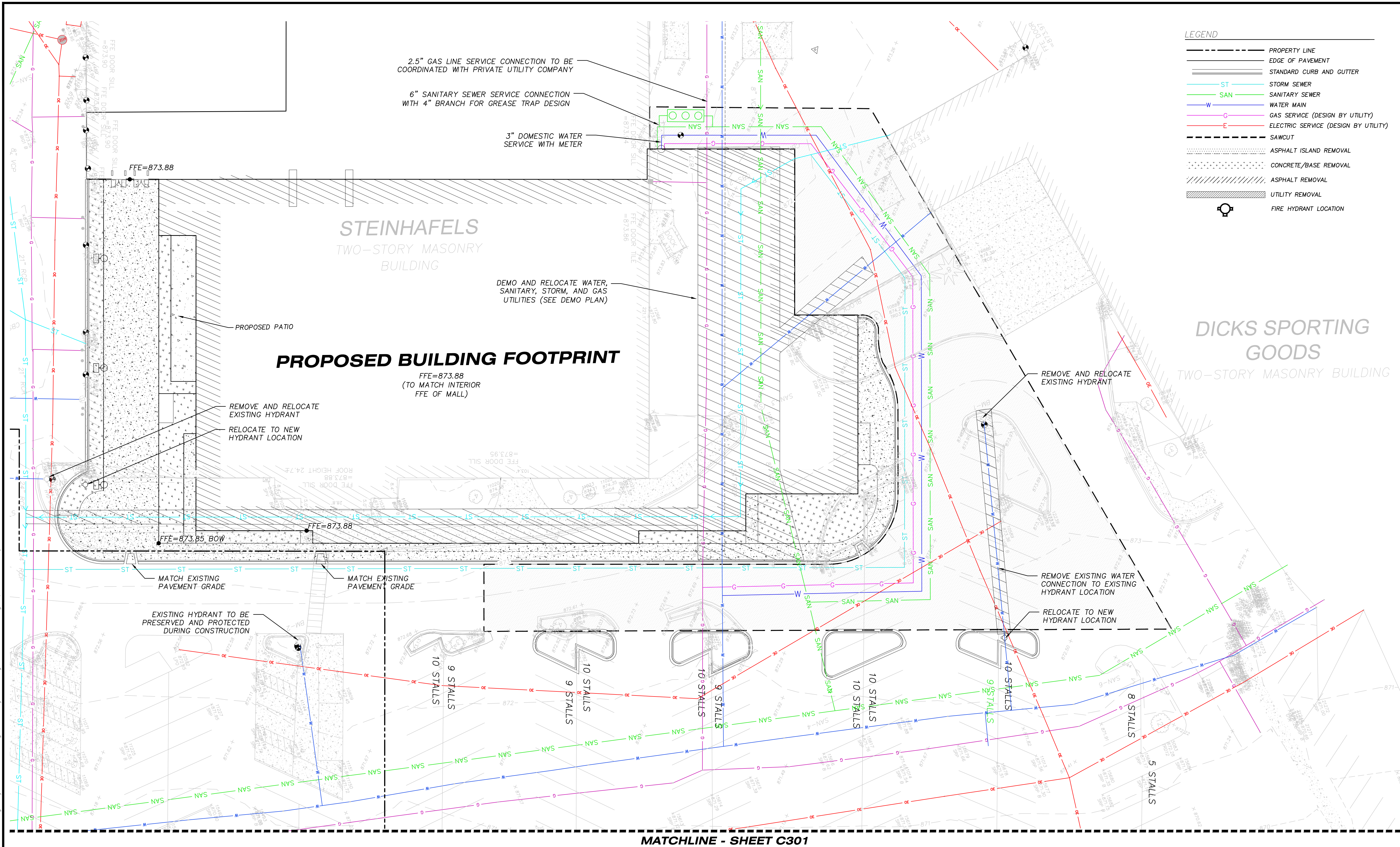
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PLAN**

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C301



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LEGEND	
	PROPERTY LINE
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	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	GAS SERVICE (DESIGN BY UTILITY)
	ELECTRIC SERVICE (DESIGN BY UTILITY)
	SAWCUT
	ASPHALT ISLAND REMOVAL
	CONCRETE/BASE REMOVAL
	ASPHALT REMOVAL
	UTILITY REMOVAL
	FIRE HYDRANT LOCATION

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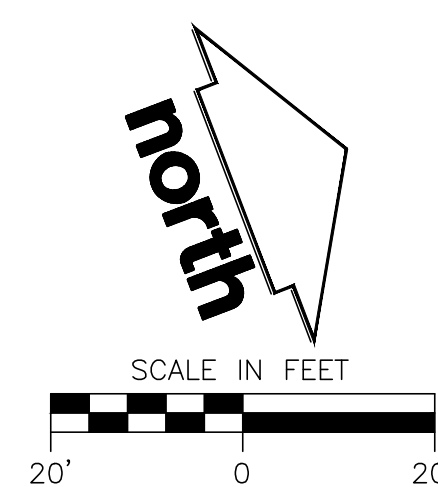
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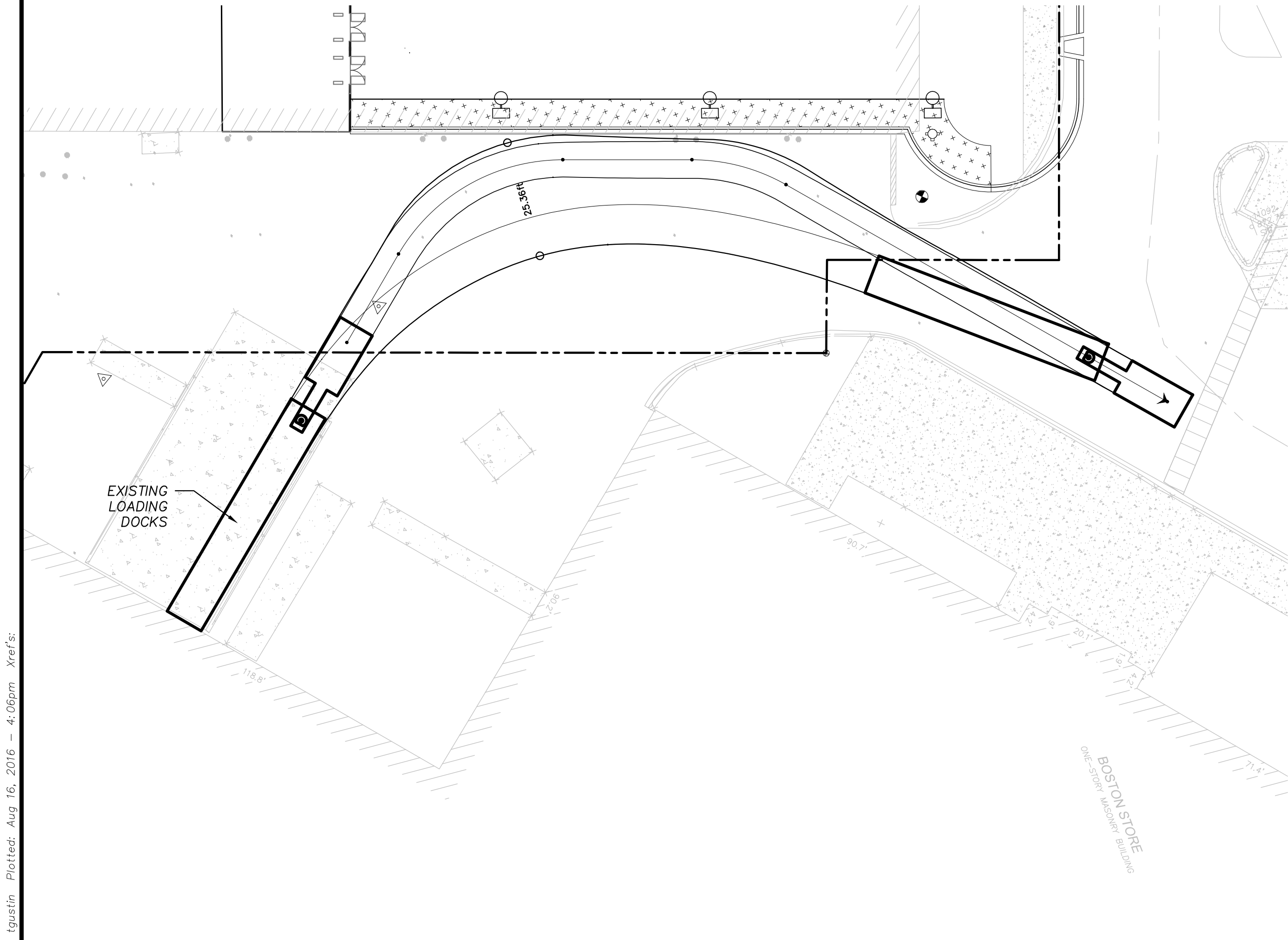
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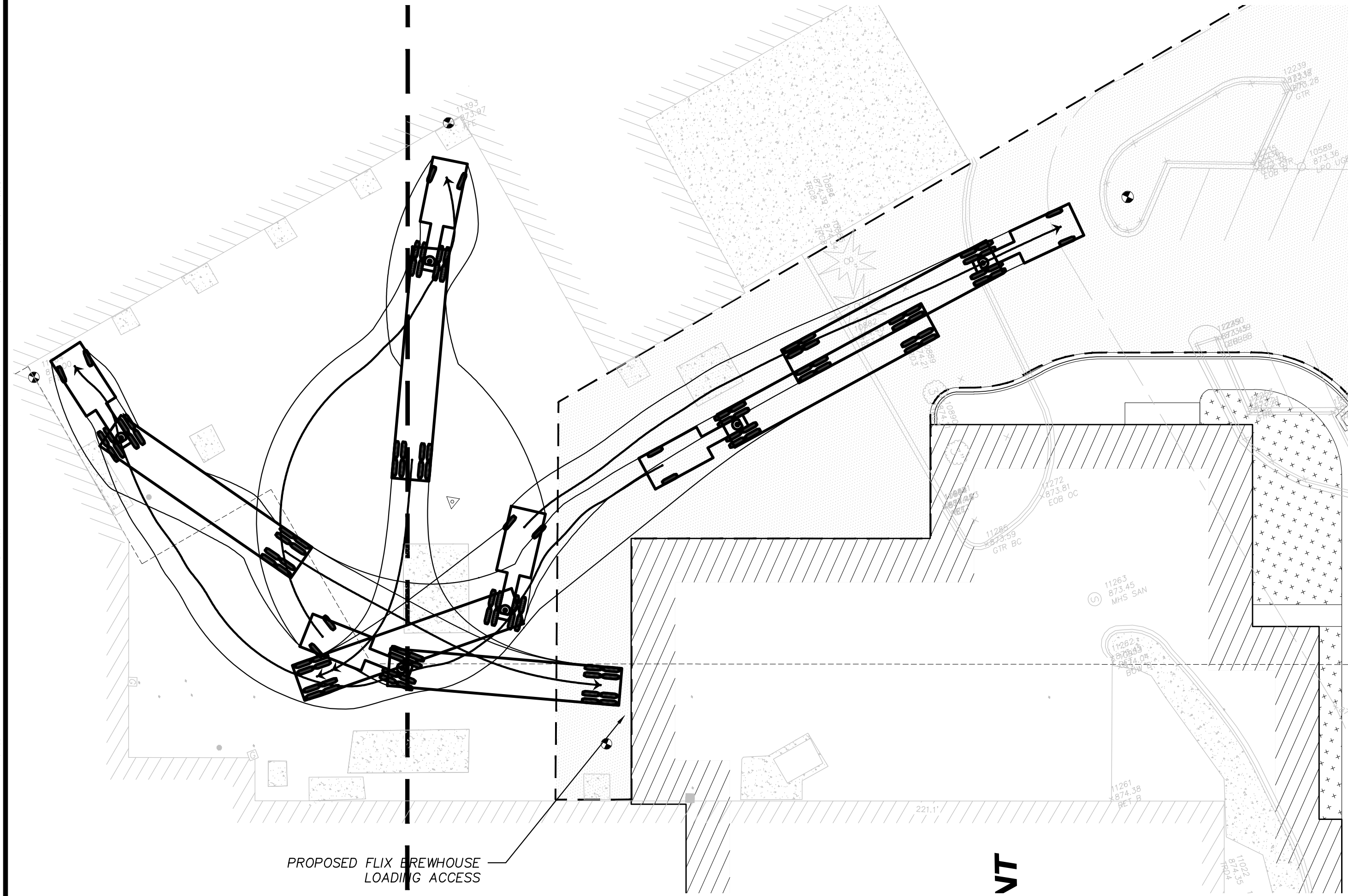
SHEET NUMBER:
C300



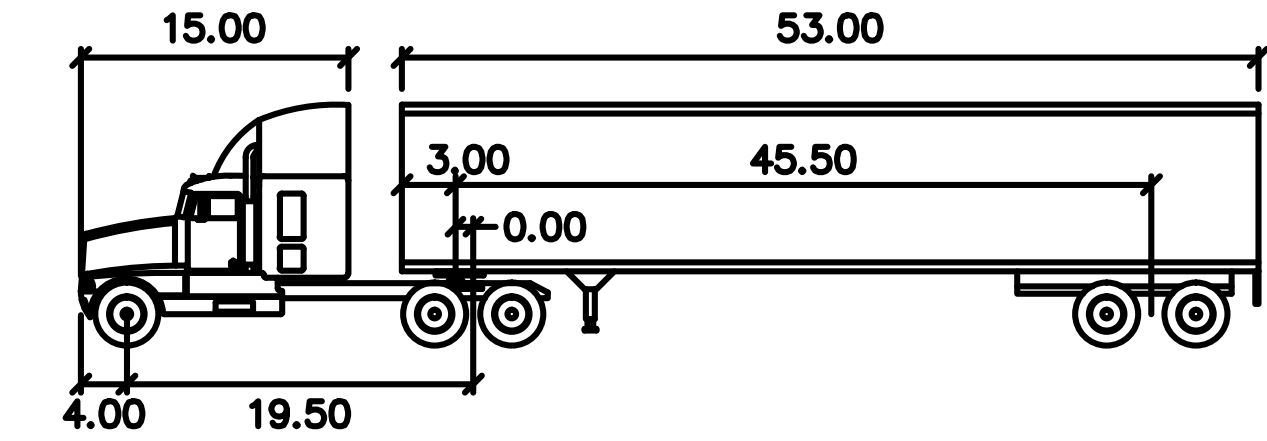
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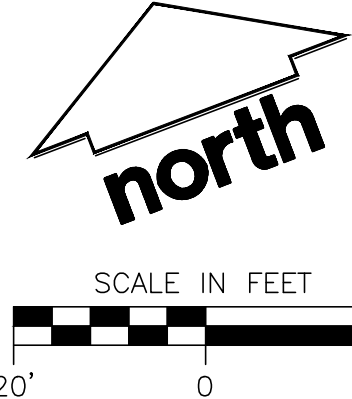
SOUTH SERVICE COURT



NORTH SERVICE COURT



WB-67	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Tractor Track	: 8.50	Steering Angle	: 28.4
Trailer Width	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



LEGEND	
---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	PROPOSED CONCRETE

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PROJECT:
**FLIX BREWHOUSE -
EAST TOWNE MALL**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI
JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

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AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	
DRAWN:	
APPROVED:	

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

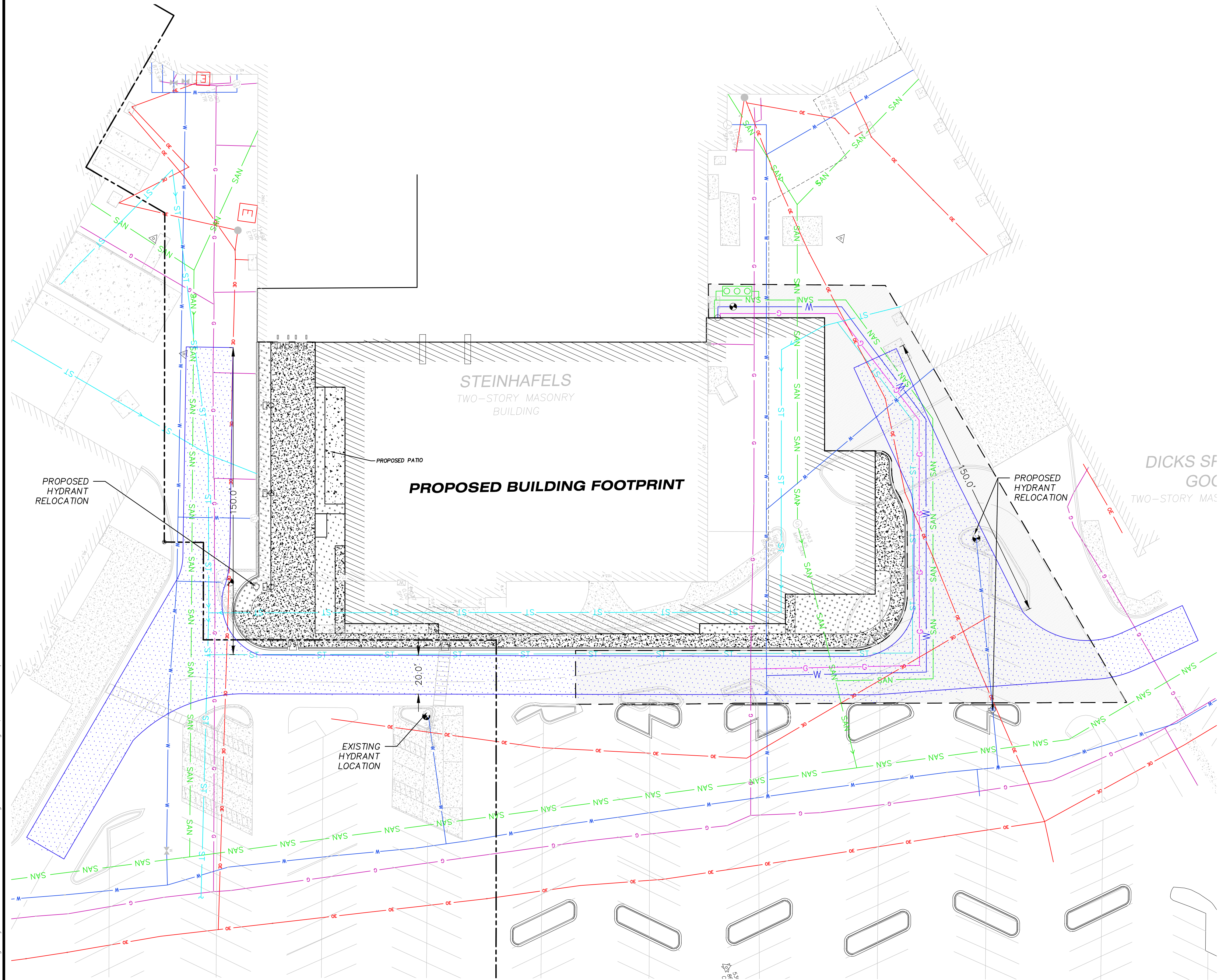
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SHEET TITLE:
AUTOTURN EXHIBIT

SHEET NUMBER:
C205

File: J:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C204 Fire Access User: tgaustin Plotted: Aug 16, 2016 4:04pm Xref's:



CITY OF MADISON FIRE DEPARTMENT

Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 • Phone: 608-266-4484 • FAX: 608-267-1153

Project Address: 7345 Mineral Point Road, 7349 Mineral Point Road, Madison, WI 53719

Contact Name & Phone #: Ken Wittler; 423-490-8385

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? f) Is a roll-able curb used as part of the fire lane? g) Is part of a sidewalk used as part of the required fire lane? a. Is the sidewalk constructed to withstand 85,000-lbs?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, is the area for turning around fire apparatus provided by: a) A cul-de-sac with a minimum inside diameter of 70-feet? b) A 45-degree wye with a minimum length of 60-feet per side? c) A 90-degree tee with a minimum length of 60-feet per side?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 23? If yes, see IFC 2306.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the lowest level of fire apparatus access? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.20 and IFC 2006 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 4/26/11

LEGEND

---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	PROPOSED CONCRETE
ST	STORM SEWER
SAN	SANITARY SEWER
W	WATER MAIN
G	GAS SERVICE (DESIGN BY UTILITY)
E	ELECTRIC SERVICE (DESIGN BY UTILITY)
---	FIRE LANE
○	FIRE HYDRANT LOCATION
---	20' WIDE FIRE LANE

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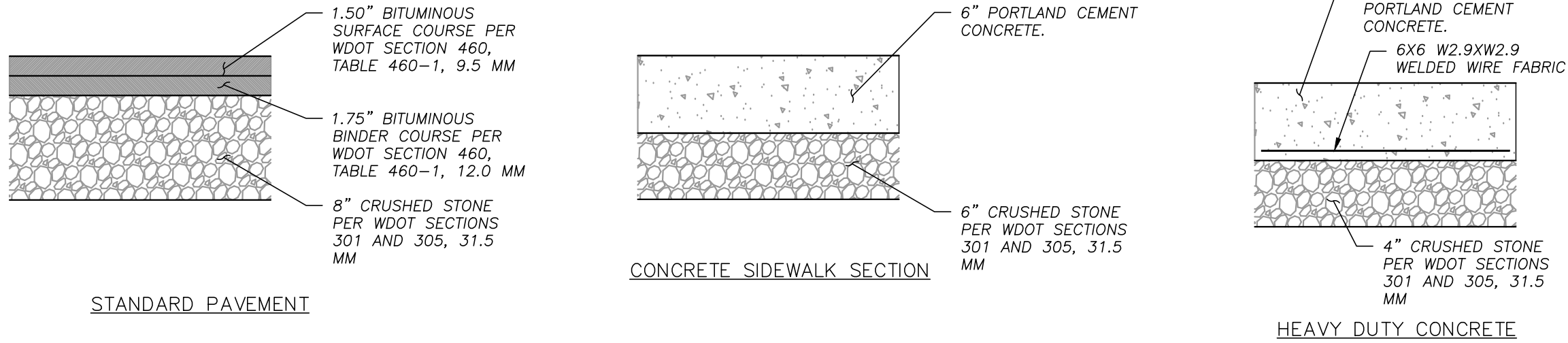
SHEET TITLE:

FIRE ACCESS EXHIBIT

SHEET NUMBER:

C204

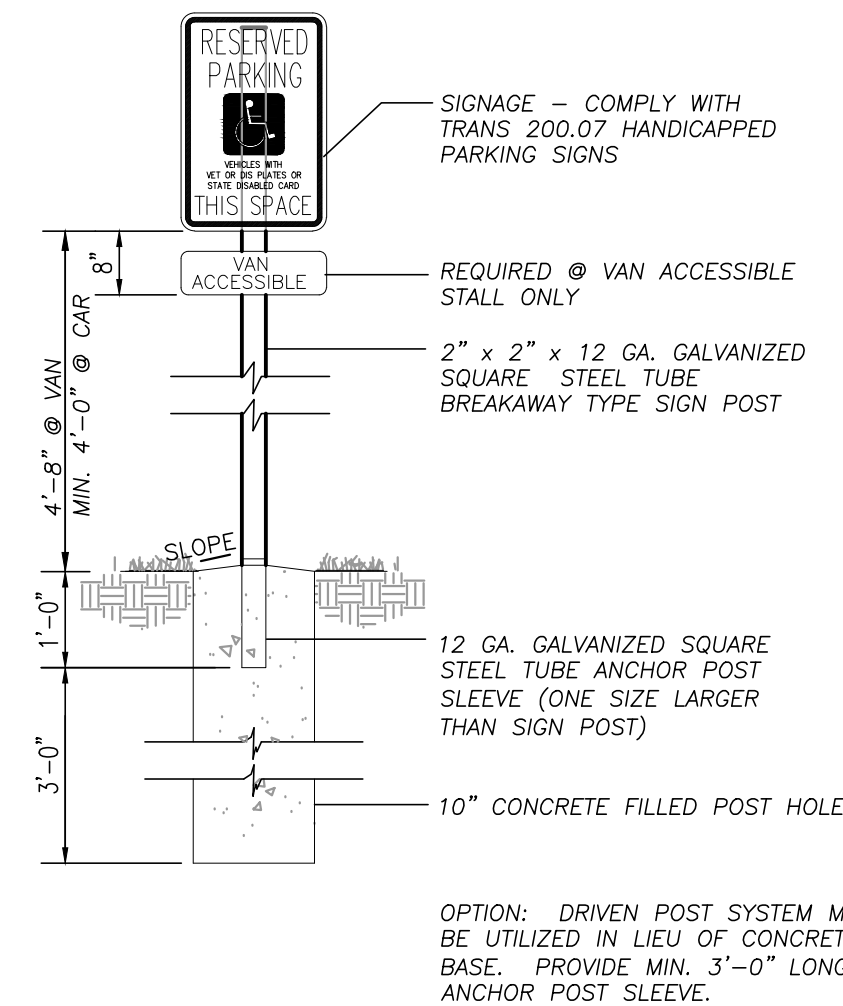
File: J:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C203 Site Plan Details User: tgsu@ User: tgsu@ Date: Aug 16, 2016 3:59pm Xref's:



- NOTES:
- WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, BUT EXCLUDING LIMITATIONS IN SECTION 460.3.2 RESTRICTING LAYER THICKNESS BY AGGREGATE SIZE.
 - COMPACTION REQUIREMENTS:
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
 - MIXTURE TYPE E-1.0 BITUMINOUS PAVEMENT IS RECOMMENDED; REFER TO SECTION 460, TABLE 460-2 OF THE STANDARD SPECIFICATIONS.
 - AN EQUIVALENT GEOTEXTILE MUST BE COMPARABLE IN STRENGTH, WITH INTEGRALLY BONDED OR EXTRUDED NODES. GEOTEXTILES WITH FUSION-BOND OR WELDED NODES ARE INSUFFICIENTLY DURABLE TO WITHSTAND CONSTRUCTION AND INSTALLATION STRESSES.
 - MAIN TRAFFIC LANES ARE DEFINED AS AREAS WHERE CONSTRUCTION TRAFFIC WILL BE CONCENTRATED. THESE AREAS SHOULD BE MARKED AS THE PREFERRED TRAVEL ROUTES DURING CONSTRUCTION TO REDUCE TRAFFIC ON AREAS NOT DESIGNED FOR THE HEAVIER LOADS AND TRUCK VOLUME. THE MAIN TRAFFIC LANES INCLUDE GEOTEXTILE LAYERS INSTEAD OF GEOTEXTILE, TO ACCOMMODATE CONSTRUCTION TRAFFIC.

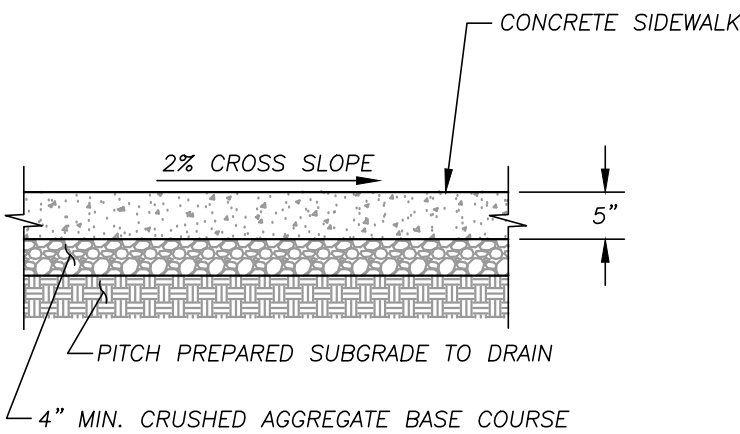
1 PAVEMENT SECTIONS

N.T.S.



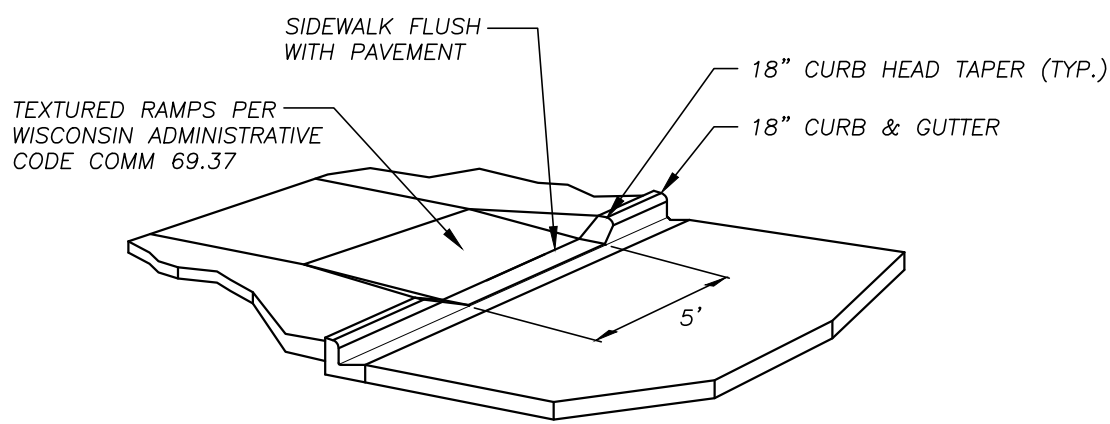
3 ADA PARKING STALL SIGN

N.T.S.



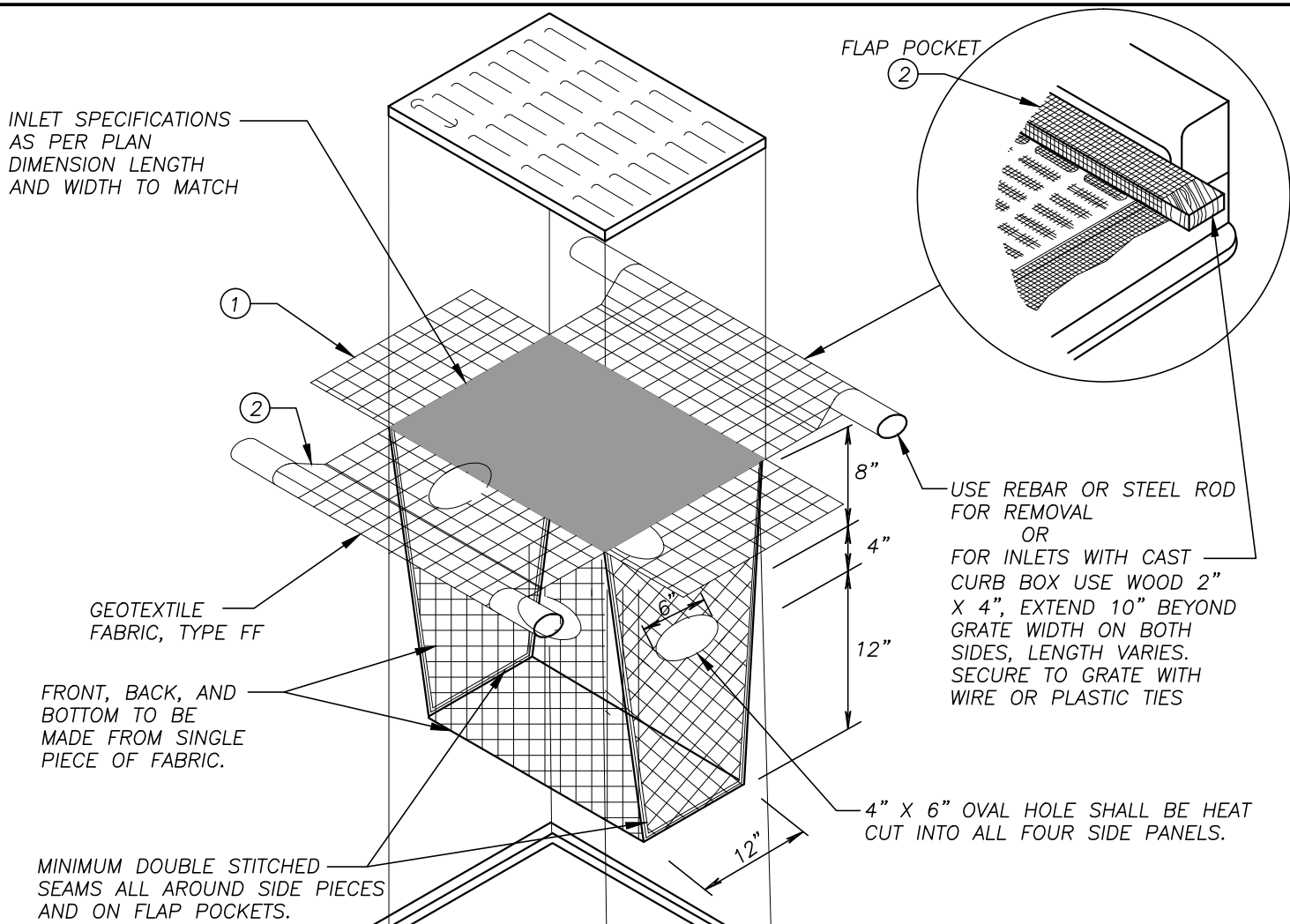
4 CONCRETE SIDEWALK SECTION

N.T.S.



2 SIDEWALK RAMP DETAIL

N.T.S.



GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

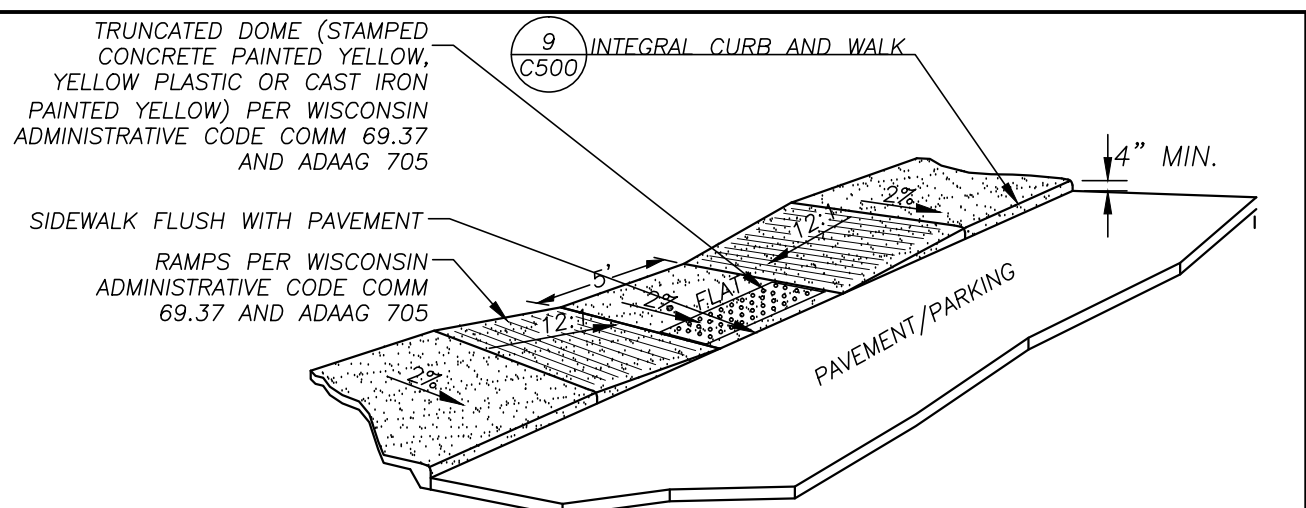
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

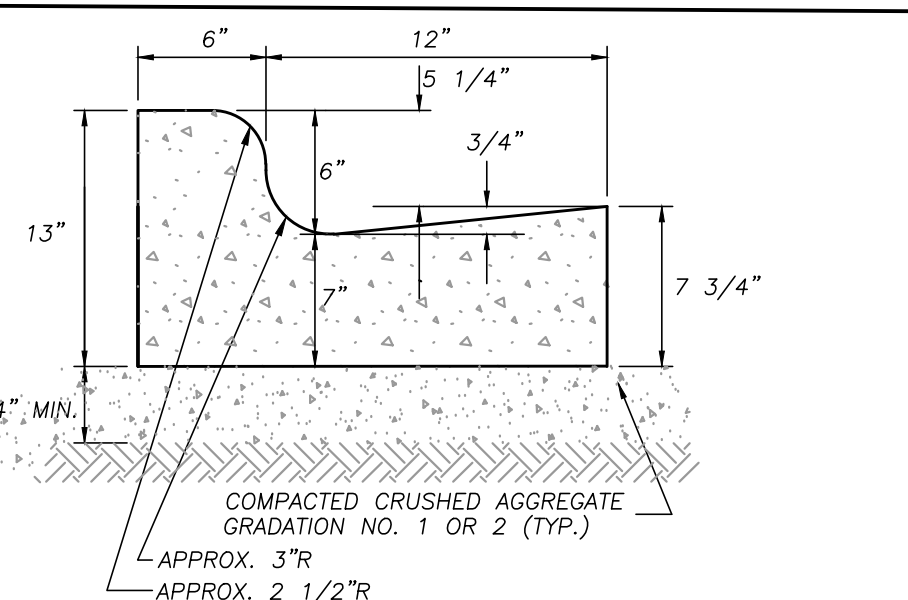
6 INLET PROTECTION, TYPE D

N.T.S.



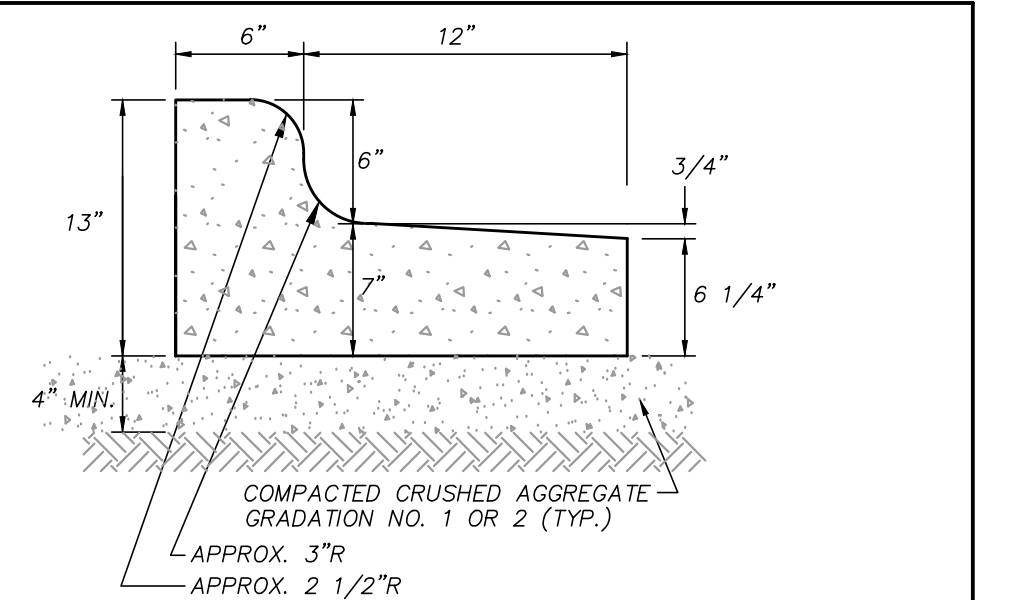
7 ACCESSIBLE WALK CROSS SECTION

N.T.S.



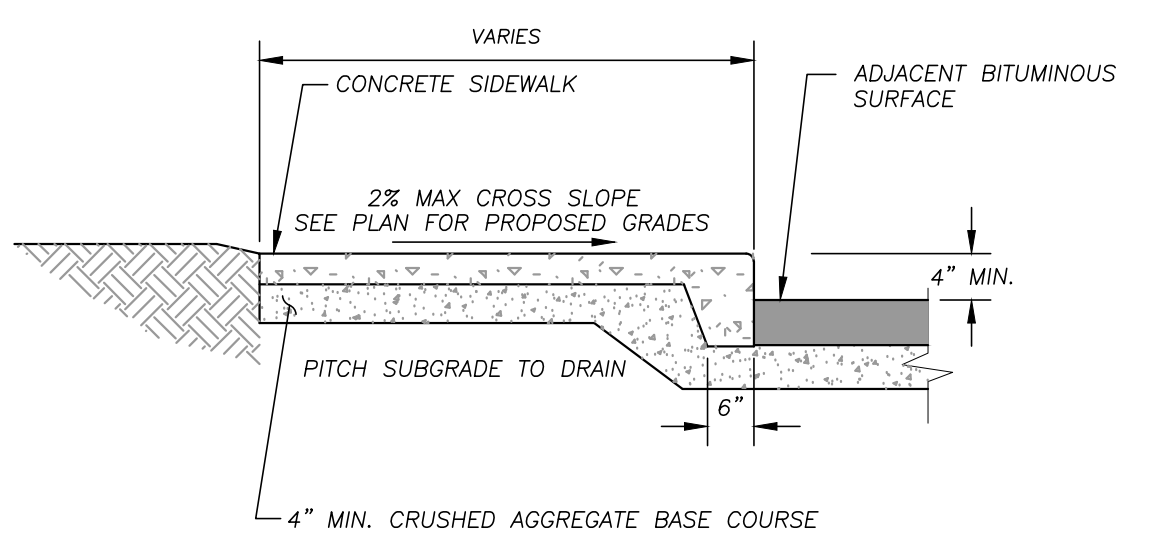
8 18" STANDARD CURB AND GUTTER

N.T.S.



9 18" REJECT CURB AND GUTTER

N.T.S.



10 SIDEWALK CROSS SECTION

N.T.S.

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SHEET TITLE:

**SITE PLAN
DETAILS**

SHEET NUMBER:

C203

Legend for the site plan:

- PROPERTY LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- PROPOSED CONCRETE
- ST - STORM SEWER
- SAN - SANITARY SEWER
- W - WATER MAIN
- G - GAS SERVICE (DESIGN BY UTILITY)
- E - ELECTRIC SERVICE (DESIGN BY UTILITY)
- SAWCUT
- NEW ASPHALT
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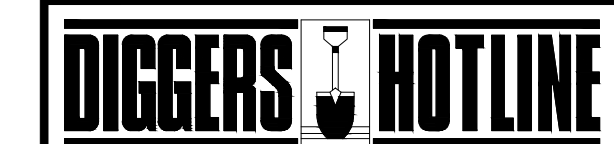
PROJECT:
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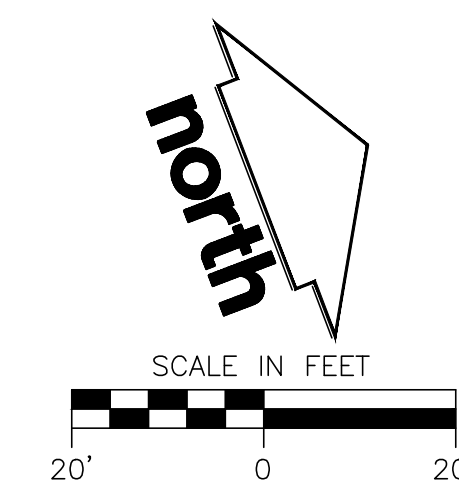
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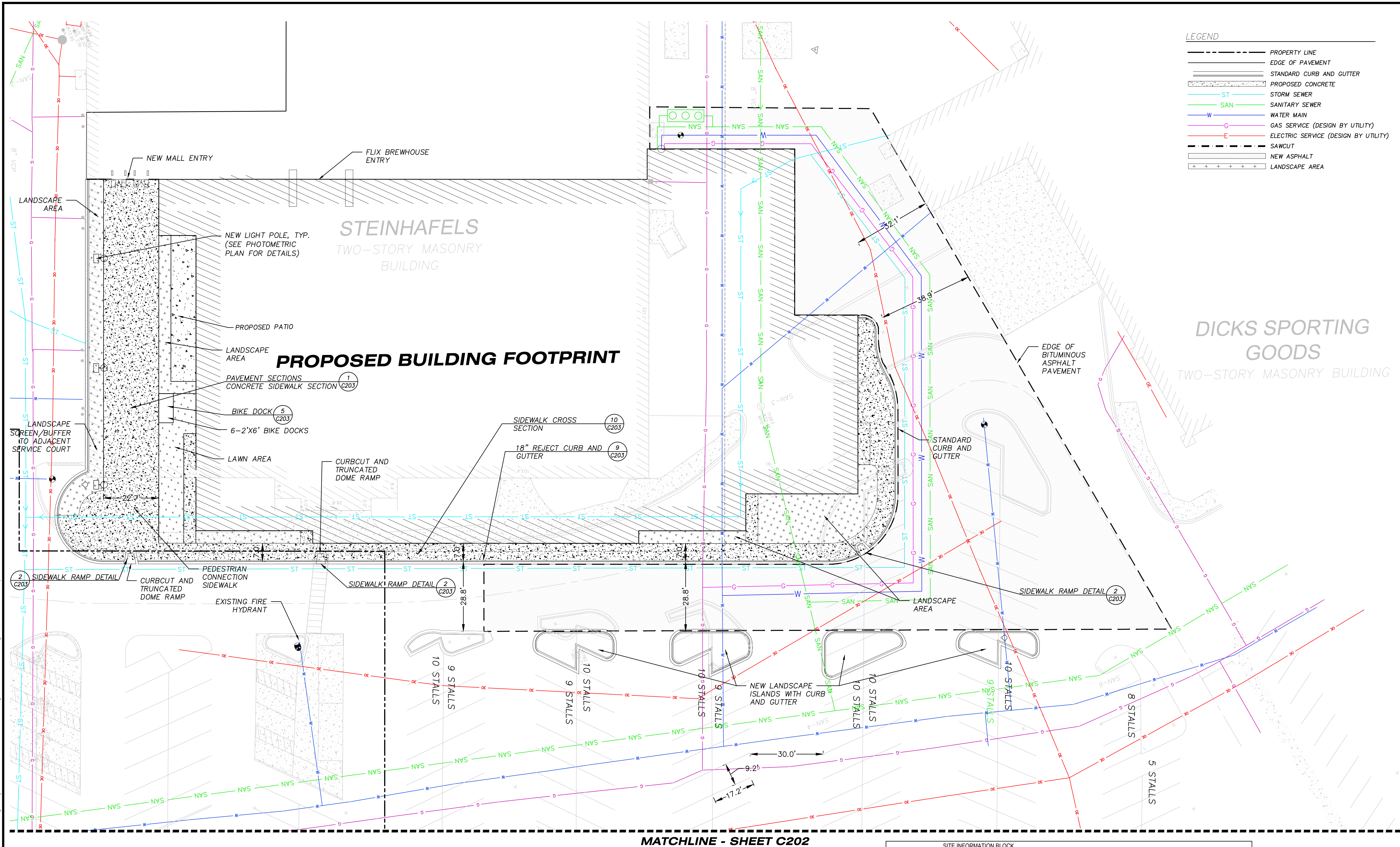
SITE PLAN

SHEET 2 OF 2

SHEET NUMBER:
C202



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- LEGEND**
- PROPERTY LINE
 - EDGE OF PAVEMENT
 - STANDARD CURB AND GUTTER
 - PROPOSED CONCRETE
 - ST STORM SEWER
 - SAN SANITARY SEWER
 - W WATER MAIN
 - G GAS SERVICE (DESIGN BY UTILITY)
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PLAN MODIFICATIONS: DATE:
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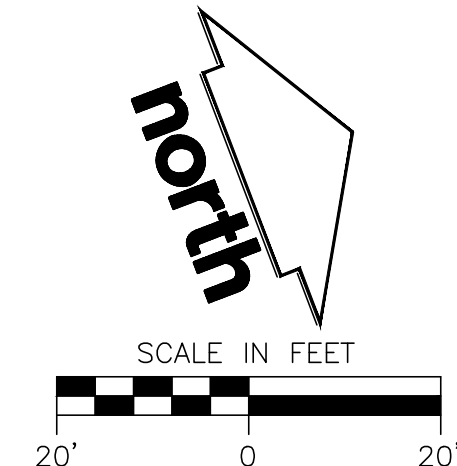
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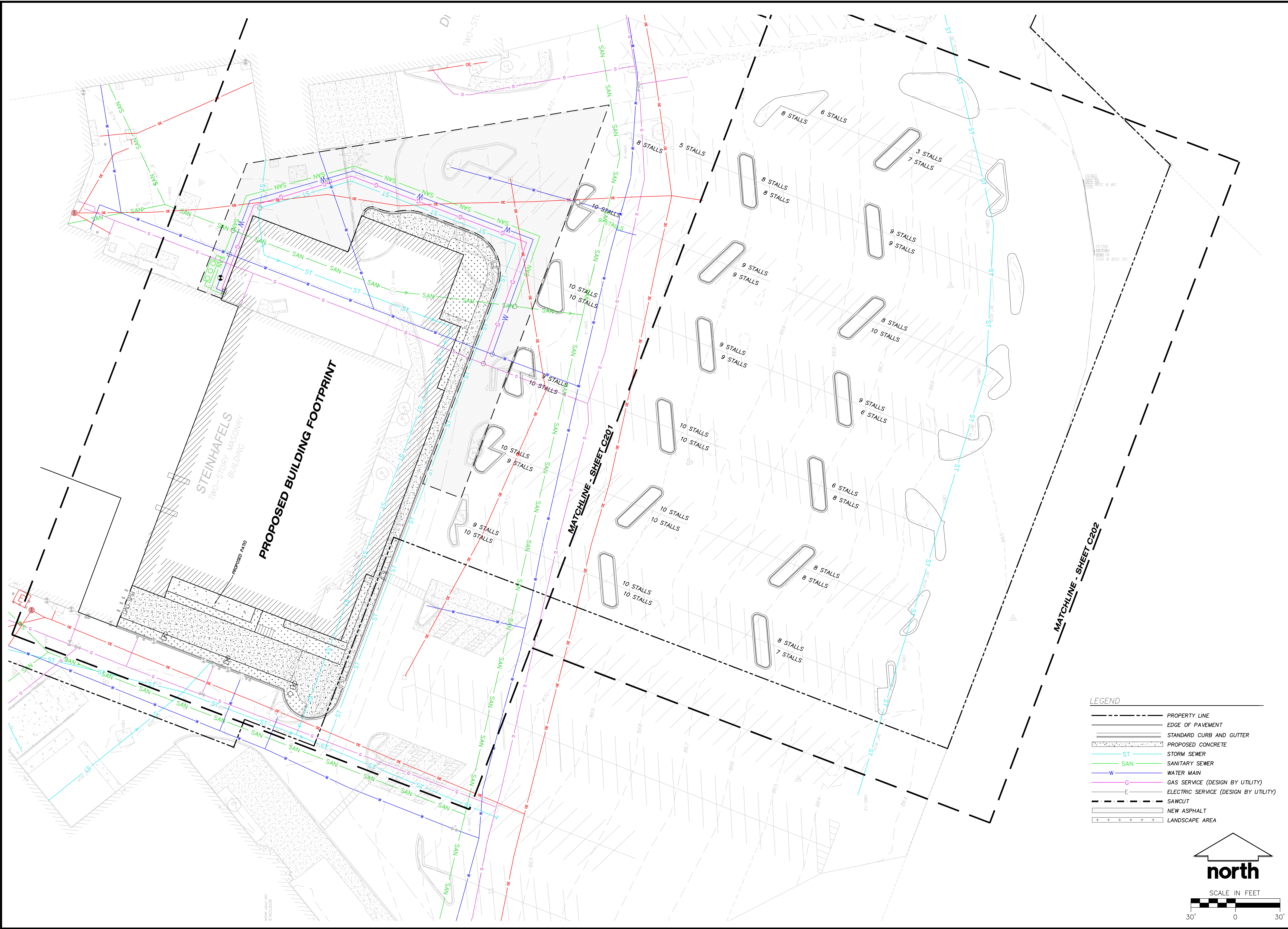
SHEET TITLE:
**SITE PLAN
SHEET 1 OF 2**

SHEET NUMBER:
C201

SITE INFORMATION BLOCK		
Site Location	Madison, WI	Existing Impervious Building Area X S.F.
Existing Site Acreage (Total)	X.XX ACRES	Existing Impervious Asphalt (Parking Lots) X S.F.
Proposed Site Acreage (Total)	X.XX ACRES	Existing Impervious Right of Way (Monroe St.) X S.F.
Disturbed Area	X S.F.	Existing Impervious Concrete (Sidewalk/Drive) X S.F.
Existing Site Zoning:	CC	Proposed Impervious Building Area X S.F.
Proposed use of property:	C-1 GENERAL BUSINESS	Proposed Impervious Asphalt X S.F.
		Proposed Impervious Concrete X S.F.
Building Information:		
Number of stories (above grade)	1	
Building height	X	
Total square footage of building	X	
Number of surface parking stalls:		
Existing Stalls	X	
Proposed Stalls	X	



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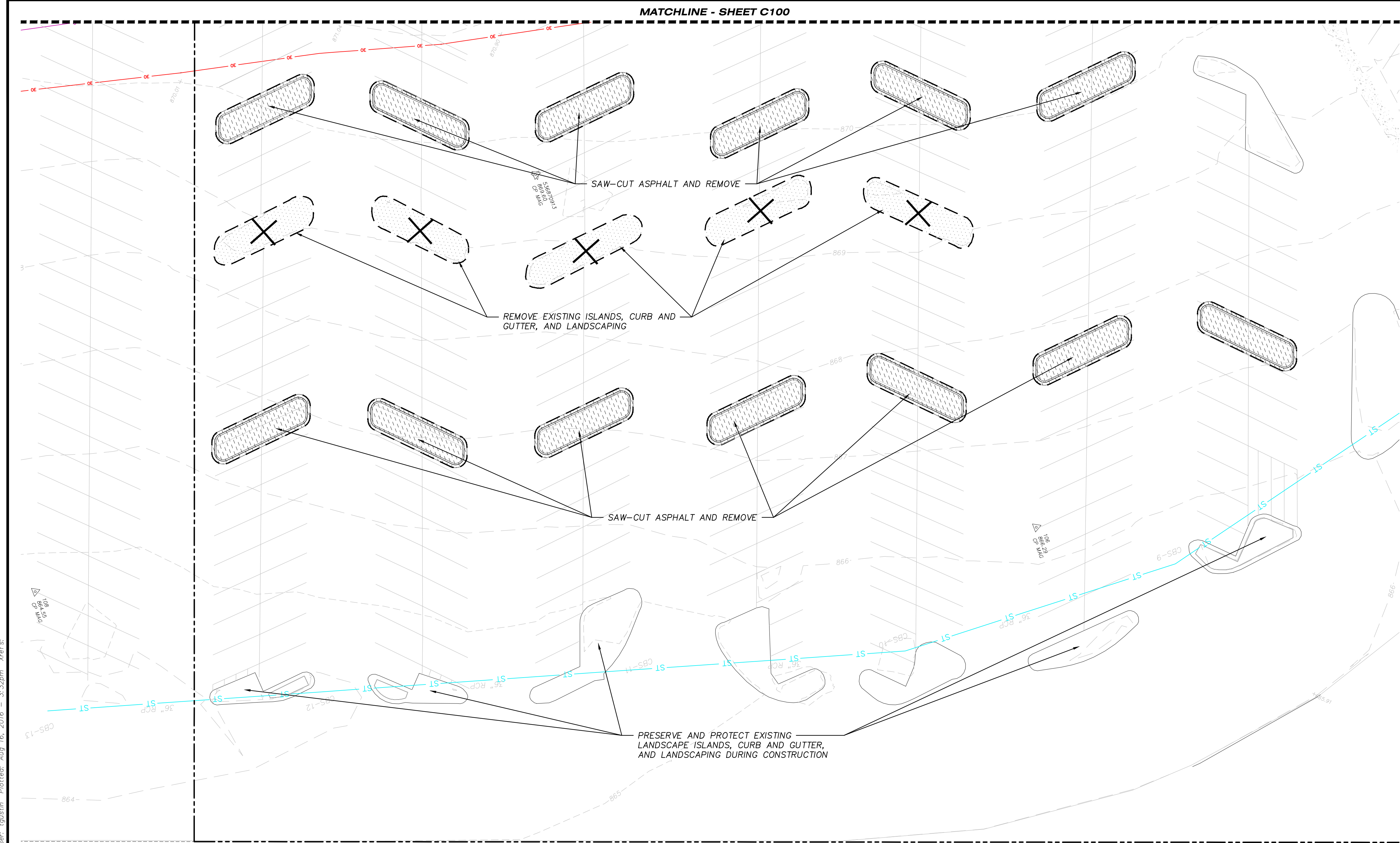
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OVERALL SITE PLAN

SHEET NUMBER:
C200

File: I:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C02 Demo Plan User: tgaustin Plotdate: Aug 16, 2016 - 3:32pm Xref's:



LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- ST STORM SEWER
- SAN SANITARY SEWER
- W WATER MAIN
- G GAS SERVICE (DESIGN BY UTILITY)
- E ELECTRIC SERVICE (DESIGN BY UTILITY)
- SAWCUT
- ASPHALT ISLAND REMOVAL
- CONCRETE/BASE REMOVAL
- ASPHALT REMOVAL
- UTILITY REMOVAL
- REMOVE / RELOCATE TREE

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SERVICES PROVIDED TO:
**CBL & ASSOCIATES
PROPERTIES, INC.**

PROJECT:
**FLIX BREWHOUSE -
EAST TOWNE MALL**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI
JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	TKG	07-06-16
DRAWN:	TKG	07-06-16
APPROVED:	JLF	07-06-16

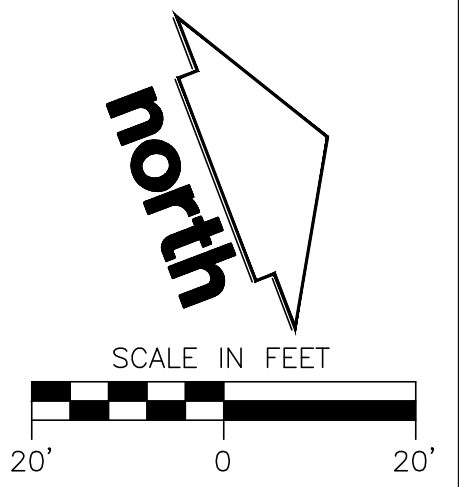
PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

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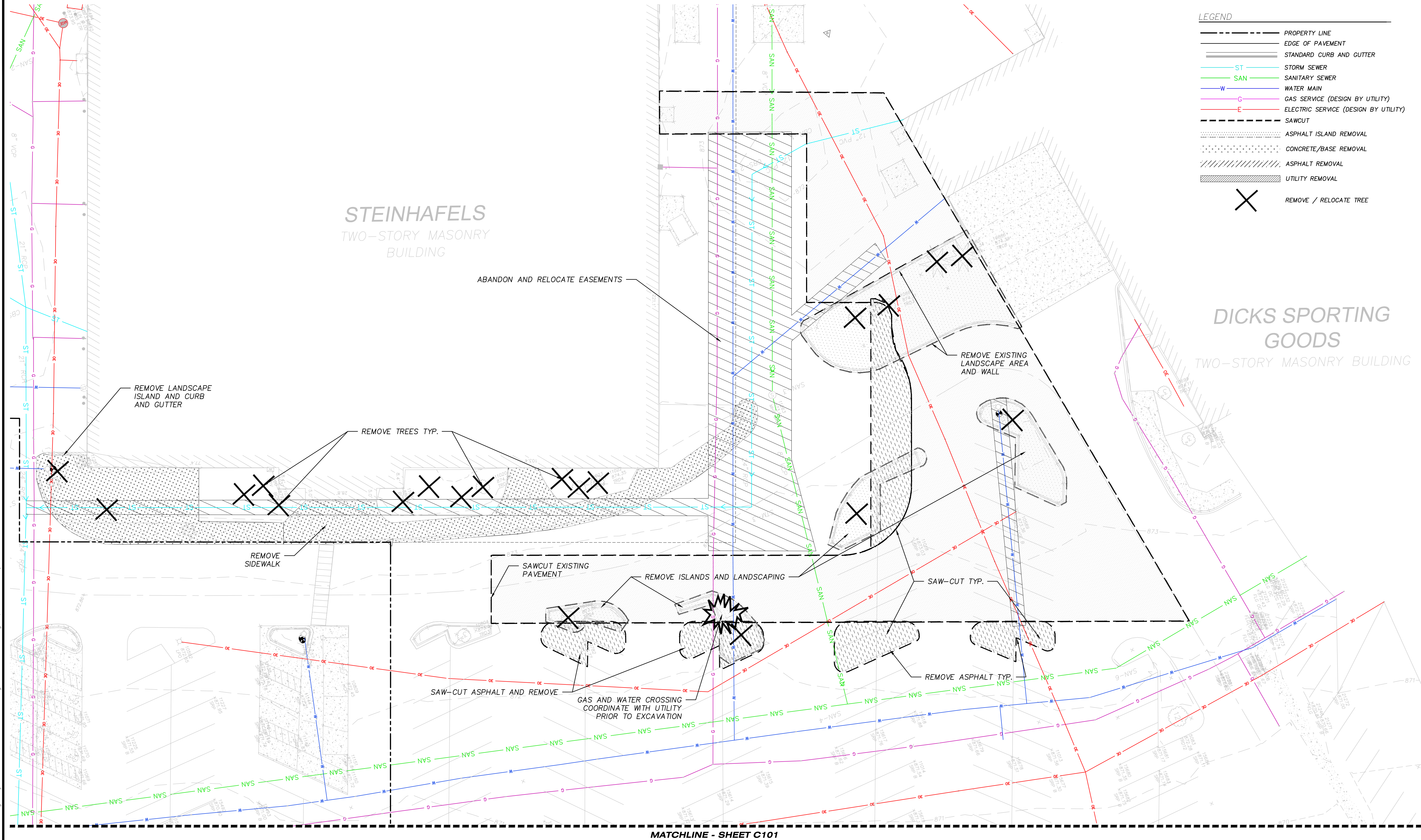
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SHEET TITLE:
**DEMO PLAN
SHEET 2 OF 2**

SHEET NUMBER:
C101



File: I:\2015\157078\DWG\15-7078 Construction Documents.dwg Layout: C01 Demo Plan User: tgaustin Plotdate: Aug 16, 2016 - 3:26pm Xref's:



LEGEND

---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
ST	STORM SEWER
SAN	SANITARY SEWER
W	WATER MAIN
G	GAS SERVICE (DESIGN BY UTILITY)
E	ELECTRIC SERVICE (DESIGN BY UTILITY)
---	SAWCUT
---	ASPHALT ISLAND REMOVAL
---	CONCRETE/BASE REMOVAL
---	ASPHALT REMOVAL
---	UTILITY REMOVAL
X	REMOVE / RELOCATE TREE

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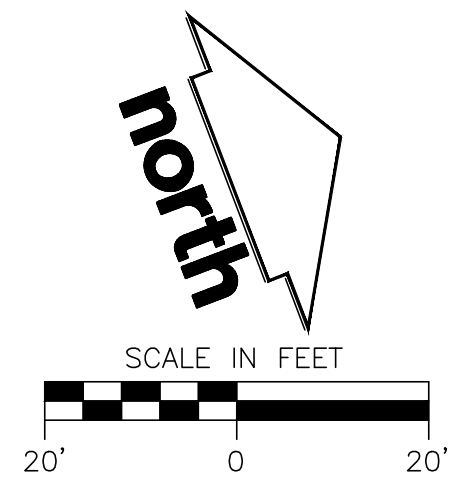
PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

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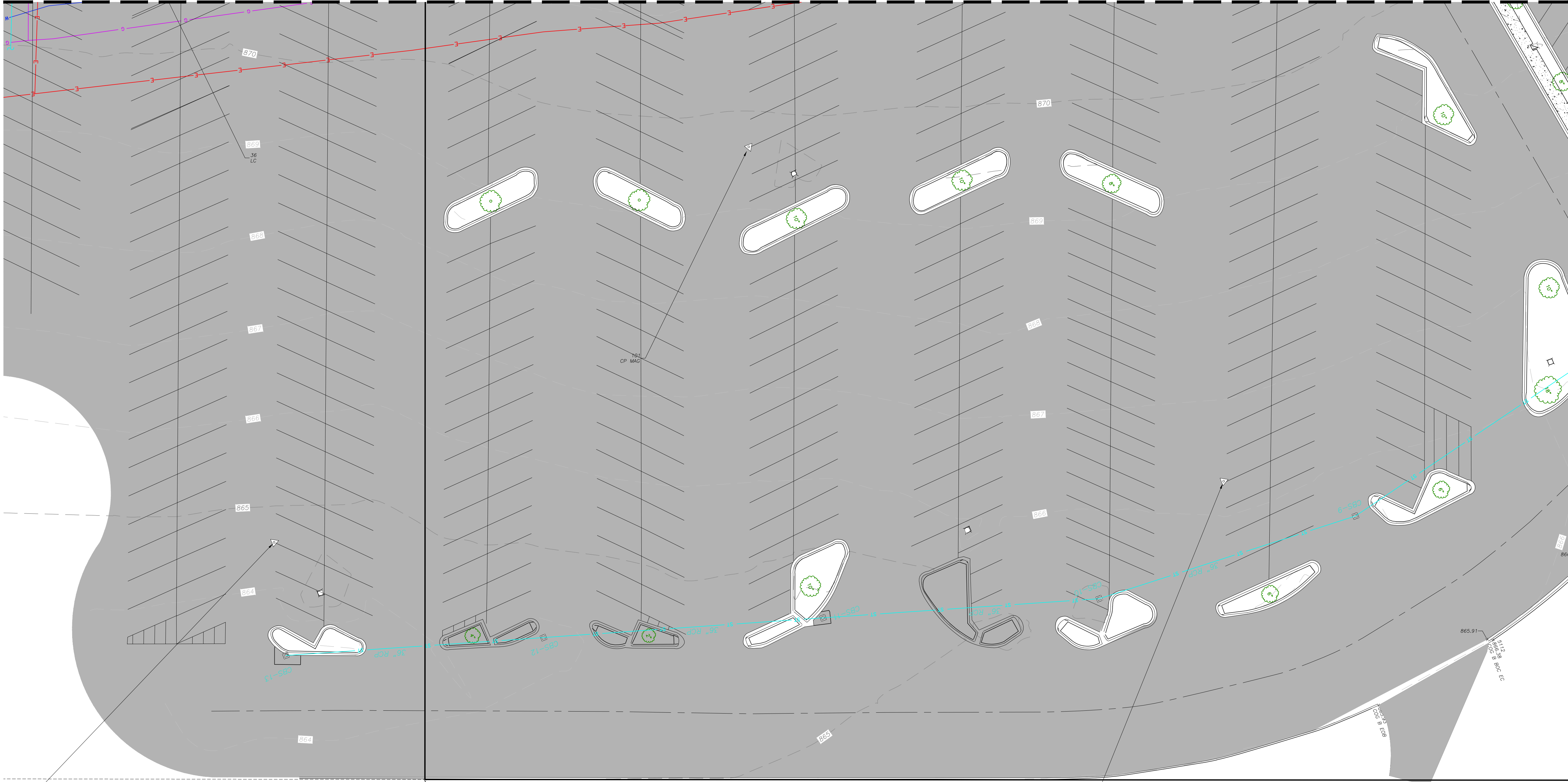
SHEET TITLE:
**DEMO PLAN
SHEET 1 OF 2**

SHEET NUMBER:
C100



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MATCHLINE - SHEET C001



STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
CBR-1	871.52	S	869.50	12"	PVC
		N	869.50	12"	PVC
CBS-2	871.66	N	868.26	12"	PVC
		E	867.61	24"	RCP
STM-3	872.89	W	867.14	24"	RCP
		S	867.04	24"	RCP
STM-4	873.39	N	866.04	24"	RCP
		E	865.89	24"	RCP
		W	866.14	24"	RCP
		N	866.89	21"	RCP
CBS-5	872.19	E	866.59	24"	RCP
		W	866.74	21"	RCP
		SW	866.69	21"	RCP
		N	867.01	21"	RCP
CBS-6	872.61	S	866.81	21"	RCP
		E	868.39	21"	RCP
CBS-7	872.69	N	866.10	30"	RCP
		S	860.96	36"	RCP
CBS-8	866.10	N	860.05	36"	RCP
		S	860.02	36"	RCP
CBS-9	865.20	N	859.47	36"	RCP
		S	859.40	36"	RCP
CBS-10	864.61	N	858.31	36"	RCP
		S	858.31	36"	RCP
CBS-11	864.10	N	857.79	36"	RCP
		S	857.82	36"	RCP
CBS-12	863.50	N	857.19	36"	RCP
		S	857.05	36"	RCP
CBS-13	863.12	N	857.19	36"	RCP
		S	857.05	36"	RCP

SANITARY SEWER MANHOLES				
RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
873.40	E	865.54	8"	VCP
	NW	865.65	8"	VCP
873.24	SW	865.76	8"	VCP
	E	865.44	8"	VCP
873.45	W	866.18	8"	VCP
	SW	866.22	8"	VCP
	E	864.80	8"	VCP
	W	864.90	8"	VCP

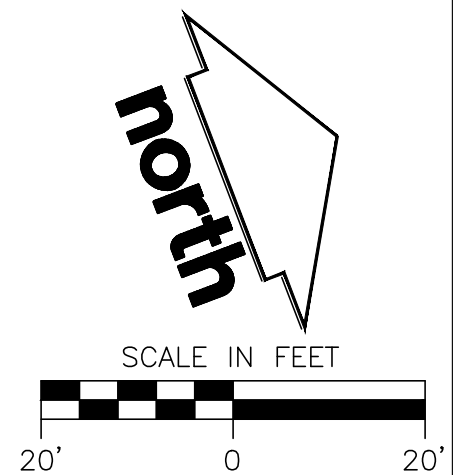
BENCHMARKS	
DESCRIPTION	
TOP NUT ON HYDRANT SOUTH OF DICKS SPORTING GOODS	
TOP NUT ON HYDRANT EAST OF STEINHAFELS ENTRANCE	
TOP NUT ON HYDRANT BY SOUTHEAST CORNER OF STEINHAFELS	

LEGEND

1" IRON PIPE FOUND	ELECTRIC MANHOLE (MGE)	SANITARY SEWER
IRON PIPE FOUND (SIZE NOTED)	ELECTRIC MANHOLE	WATER LINE
CONTROL POINT	ELECTRIC TRANSFORMER	STORM SEWER
BENCHMARK	LIGHT POLE	NATURAL GAS
FINISHED FLOOR SHOT LOCATION	YARD LIGHT	UNDERGROUND ELECTRIC
BOLLARD	DECIDUOUS TREE	EDGE OF WOODS OR BRUSH
SIGN	CONIFEROUS TREE	BUILDING
SANITARY MANHOLE	HANDICAP PARKING	WALL LINE
HYDRANT	CENTERLINE	INDEX CONTOUR
WATER OR GAS VALVE	PROPERTY LINE	INTERMEDIATE CONTOUR
CURB STOP/SERVICE VALVE	PARCEL BOUNDARY	SPOT ELEVATION
SIAMESE CONNECTOR	EASEMENT LINE	BITUMINOUS PAVEMENT
STORM MANHOLE	GUARD OR SAFETY RAIL	RETAINING WALL
ROUND CASTED INLET	EDGE OF PAVEMENT	EDGE OF BITUMINOUS
SQUARE CASTED INLET	CONCRETE CURB & GUTTER	PAVEMENT STRIPING
DOWNSPOUT	CONCRETE PAVEMENT	DISCONTINUED MAPPED PIPE LINE
GAS REGULATOR/METER		

NOTES

1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JANUARY 05, 06 & 07 and JULY 1, 2016.
2. BEARINGS FOR THIS MAP ARE REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 28, T8N, R10E, RECORDED AS N 88°36'12" E.
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MARKING THE WEST 1/4 CORNER OF SECTION 27, T8N, R10E, ELEVATION = 879.55'
4. CONTOUR INTERVAL IS ONE FOOT.
5. SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NO. 20160203477, WITH A CLEAR DATE OF JANUARY 06 2016.
7. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
CITY OF MADISON
AMERICAN TRANSMISSION
AT&T DISTRIBUTION
MC&E (ELECTRIC AND GAS)
CHARTER COMMUNICATIONS
8. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
9. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
10. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
11. WATER SERVICE NOT FIELD MARKED AND NO RECORDS SHOWING CONNECTIONS WAS SUPPLIED OR RECOVERED, LINES SHOWN ARE PRESUMED AND NEED TO BE FIELD VERIFIED BY OTHERS



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PROJECT:

**FLIX BREWHOUSE -
EAST TOWNE MALL**

PROJECT LOCATION:

**CITY OF MADISON
DANE COUNTY, WI**

JSD PROJECT NO.:

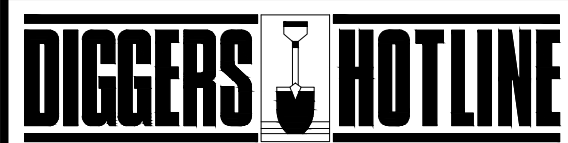
15-7078

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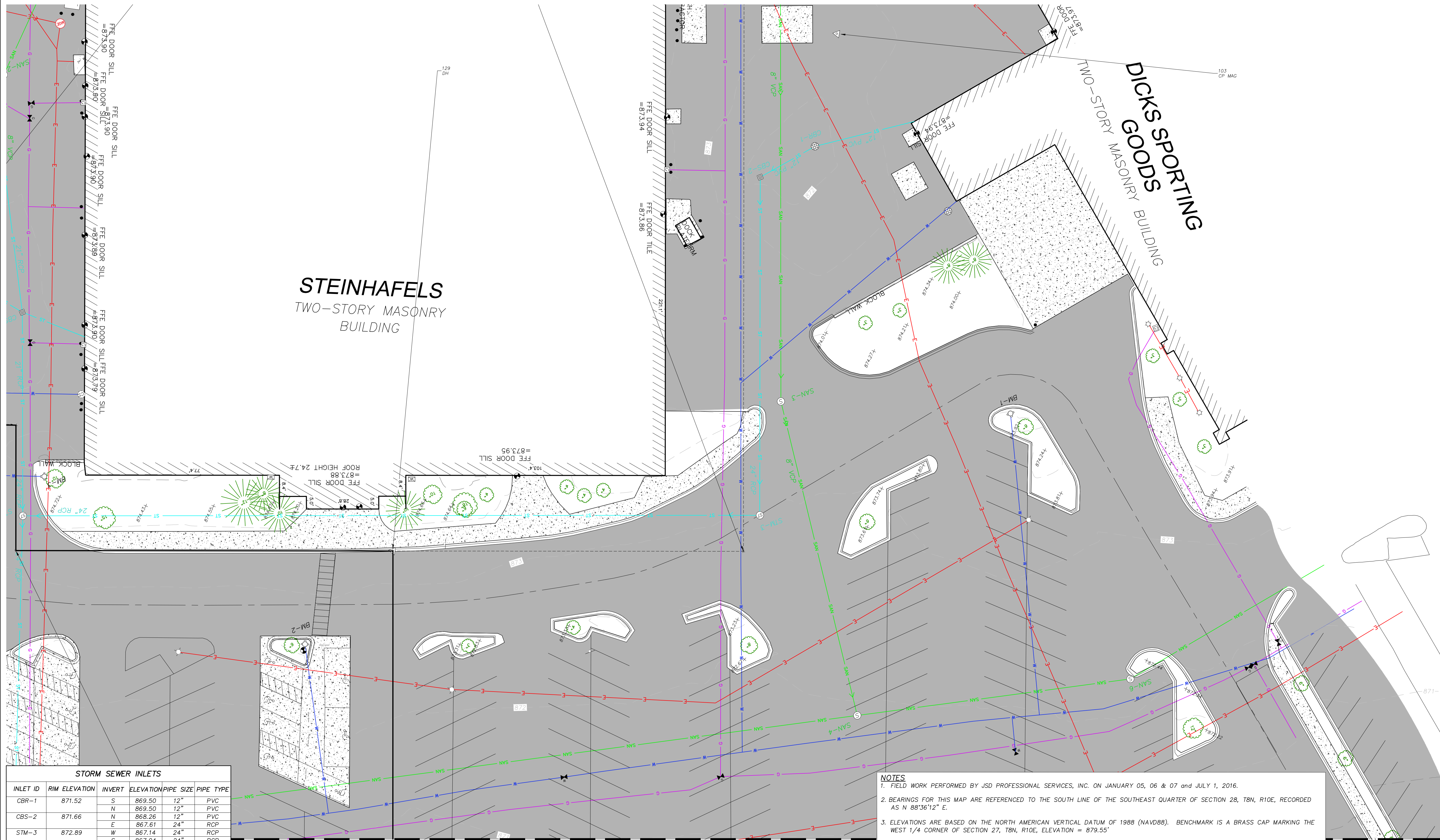
SHEET TITLE:

**EXISTING CONDITIONS
SHEET 2 OF 2**

SHEET NUMBER:

C002

File: J:\2015\157078\DWG\XREF\157078-Existing_8-16-16.dwg Layout: 22x34 (3) User: taustin Plotted: Aug 16, 2016 - 2:33pm Xref's:



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		S	860.02	36"	RCP
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		S	859.40	36"	RCP
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BENCHMARKS	
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LEGEND

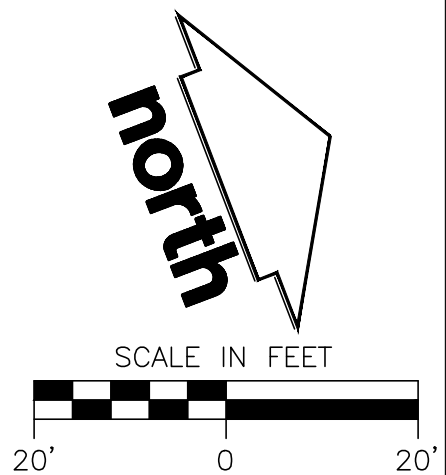
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- IRON PIPE FOUND (SIZE NOTED)
- CONTROL POINT
- BENCHMARK
- FINISHED FLOOR SHOT LOCATION
- BOLLARD
- SIGN
- SANITARY MANHOLE
- HYDRANT
- WATER OR GAS VALVE
- CURB STOP/SERVICE VALVE
- SIAMESE CONNECTOR
- STORM MANHOLE
- ROUND CASTED INLET
- SQUARE CASTED INLET
- DOWNSPOUT
- GAS REGULATOR/METER

MATCHLINE - SHEET C002

- ELECTRIC MANHOLE (MGE)
- ELECTRIC MANHOLE
- ELECTRIC TRANSFORMER
- LIGHT POLE
- YARD LIGHT
- DECIDUOUS TREE
- CONIFEROUS TREE
- HANDICAP PARKING
- CENTERLINE
- PROPERTY LINE
- PARCEL BOUNDARY
- EASEMENT LINE
- GUARD OR SAFETY RAIL
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- CONCRETE PAVEMENT

- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- UNDERGROUND ELECTRIC
- EDGE OF WOODS OR BRUSH
- BUILDING
- WALL LINE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- RETAINING WALL
- EDGE OF BITUMINOUS
- PAVEMENT STRIPING
- DISCONTINUED MAPPED PIPE LINE

- NOTES**
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SHEET TITLE:
**EXISTING CONDITIONS
SHEET 1 OF 2**

SHEET NUMBER:
C001



Existing Parking Lot and Building from the North



Entrance to East Towne Mall



Existing Parking Lot and Front Entrance of Site Building from the East

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SHEET TITLE:
SITE CONTEXT

SHEET NUMBER:
1 of 4

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Facade of Adjacent Building to the North



Maintenance Drive Between Site and Adjacent Building



Existing Parking Lot Islands and Landscape



Continued Parking Lot Islands and Landscape

JSD Professional Services, Inc.
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SHEET TITLE:
SITE CONTEXT



Fire Access Drive in Front of Site



Fire Access Continued to Adjacent Building to the North



Existing Landscape of Site Building



Maintenance Drive between Site and Adjacent Building

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

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MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

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SERVICES PROVIDED TO:
**CBL & ASSOCIATES
PROPERTIES, INC.**

PROJECT:
**FLIX BREWHOUSE -
EAST TOWNE MALL**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 15-7078

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	TKG	07-06-16
DRAWN:	TKG	07-06-16
APPROVED:	JLF	07-06-16

PLAN MODIFICATIONS:	DATE:
LANDUSE AND UDC FINAL SUBMITTAL	08-17-16

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SHEET TITLE:
SITE CONTEXT

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Maintenance Access and Snow Storage



Landscape and Fire Access to Adjacent Building to the North



Continued Landscape to Building to the North

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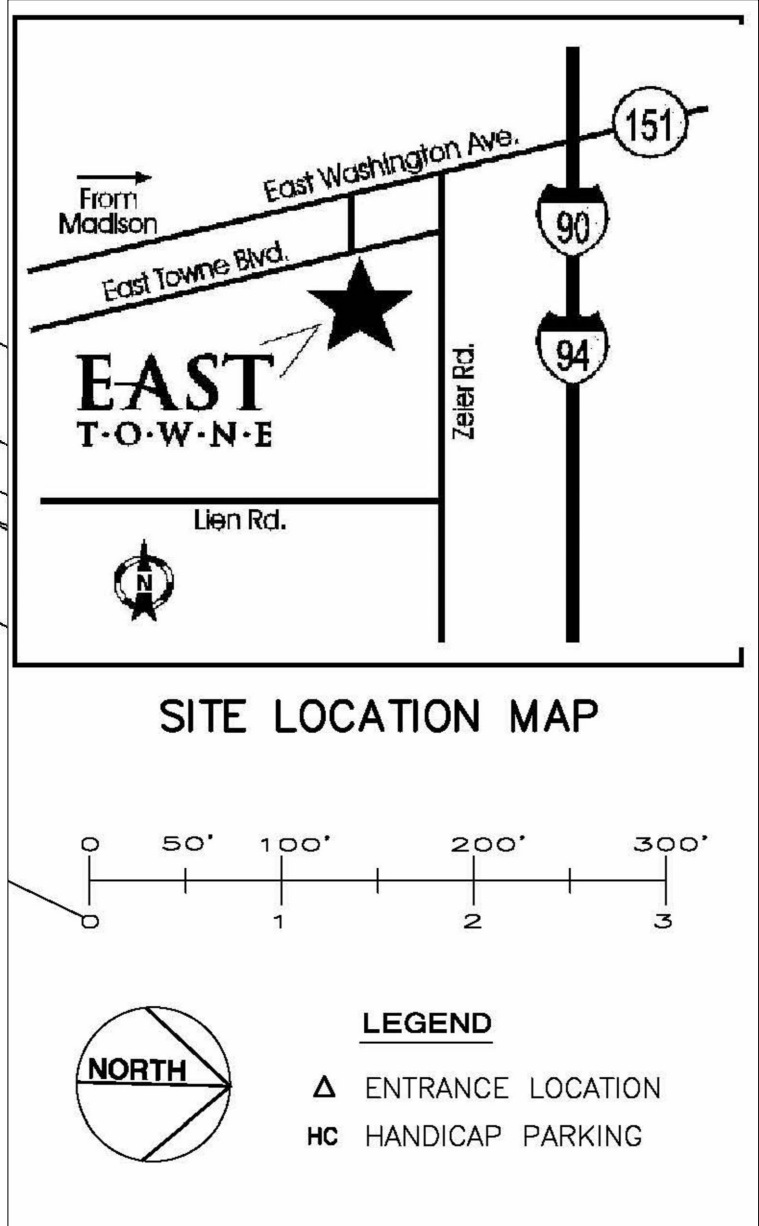
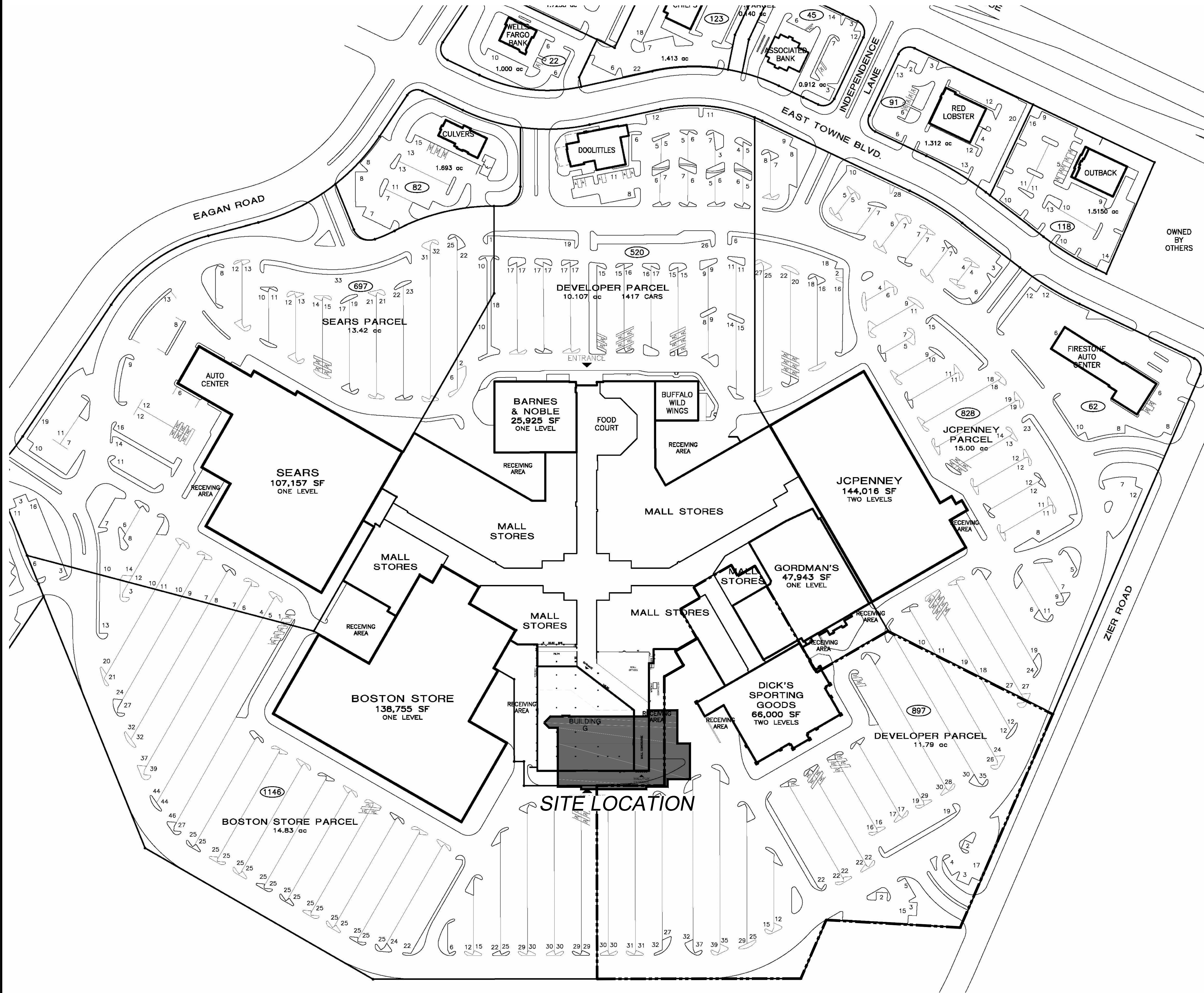
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SHEET TITLE:
SITE CONTEXT

SHEET NUMBER:
4 of 4

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SHEET TITLE:
**OVERALL MALL
CONTEXT MAP**

SHEET NUMBER:
EX. C