



# URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

This form may also be completed online at:  
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>April 14, 2016</u>	<input checked="" type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>April 27, 2016 - Informational</u> <u>June 1, 2016</u> Initial-Final	<input checked="" type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): <u>May 23, 2016</u>	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 5251 High Crossing Blvd.  
Project Title (if any): High Crossing Blvd. - Addition of Vehicle Sales and Service Window - Conditional Use

2. This is an application for (Check all that apply to this UDC application):

New Development  Alteration to an Existing or Previously-Approved Development

**A. Project Type:**

- Project in an Urban Design District\* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

**B. Signage:**

- Comprehensive Design Review\* (public hearing-\$300 fee)  Street Graphics Variance\* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

**C. Other:**

Please specify: UDC Recommendation for Review - Conditional Use

**3. Applicant, Agent & Property Owner Information:**

Applicant Name: David Walsh & Jon Lancaster Company: Walsh Properties, LLC  
 Street Address: PO Box 1497 City/State: Madison, WI Zip: 53701  
 Telephone: (608) 258-4269 Fax: ( ) Email: dwalsh@foley.com; jonelancaster@gmail.com

Project Contact Person: Justin Frahm, ASLA Company: JSD Professional Services, Inc.  
 Street Address: 161 Horizon Dr. Suite 101 City/State: Verona, WI Zip: 53593  
 Telephone: (608) 848-5060 Fax: (608) 848-2255 Email: justin.frahm@jsdinc.com

Project Owner (if not applicant) : \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: ( ) Fax: ( ) Email: \_\_\_\_\_

**4. Applicant Declarations:**

- A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Matt Tucker & Al Martin on March 31, 2016.  
(name of staff person) (date of meeting)
- B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant David Walsh Relationship to Property Owner

Authorized Signature [Signature] Date 4/13/2016

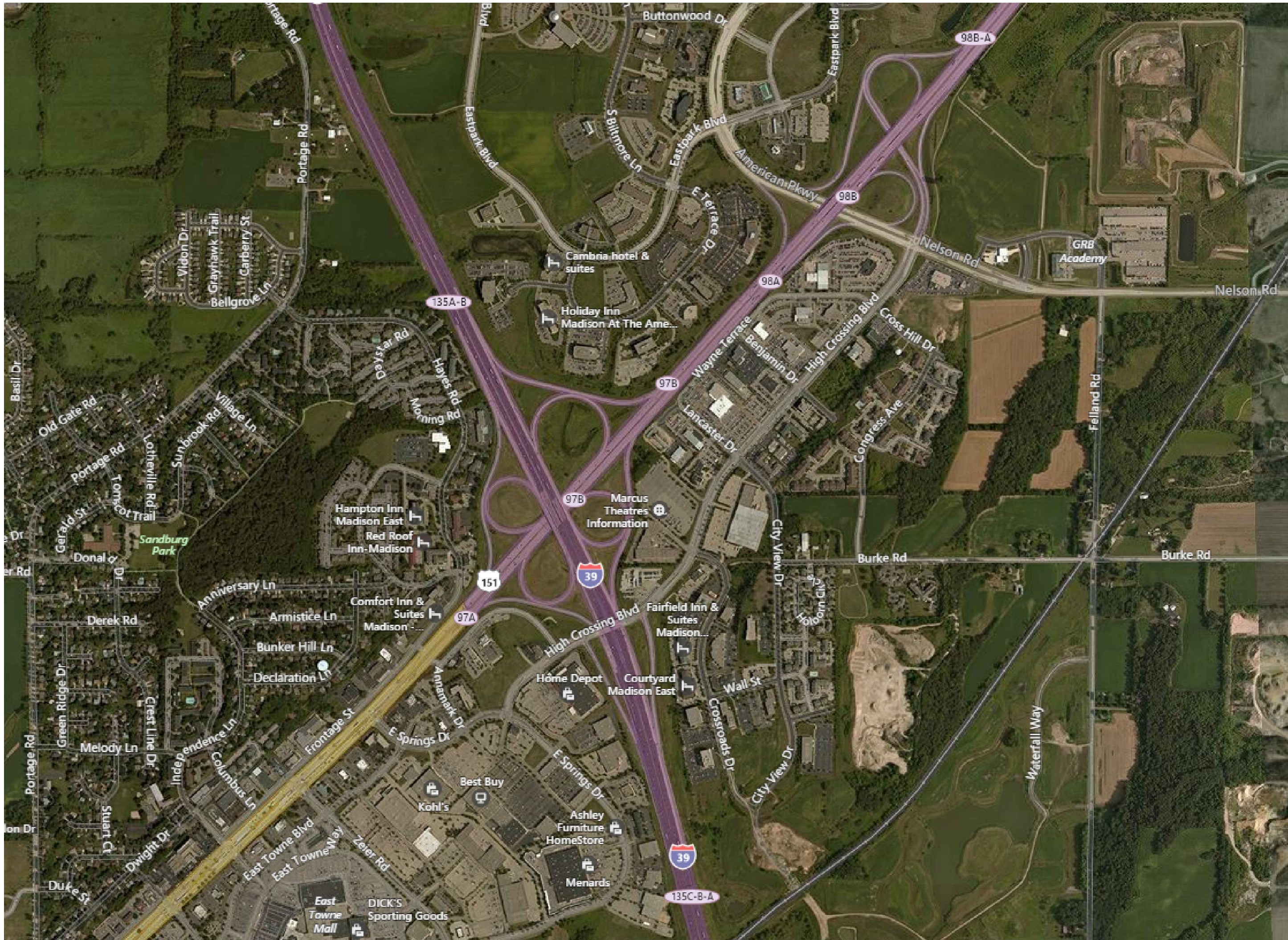


# 5251 HIGH CROSSING BOULEVARD COMMERCIAL OUTLET DEVELOPMENT

MADISON, WI 53718

## DRAWING INDEX

SHEET NO.	TITLE
TS1	TITLE SHEET
C01	DEMOLITION PLAN
C1.0	SITE PLAN
C2.0	GRADING & EROSION CONTROL PLAN
C3.0	UTILITY PLAN
C4.0	SITE DETAILS
C4.1	EROSION CONTROL & UTILITY DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS, NOTES & SPECIFICATIONS



PROJECT AREA  
N.T.S.



- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
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SERVICES PROVIDED TO:  
**WALSH PROPERTIES, LLC.**

P.O. BOX 1497  
MADISON, WI 53701

PROJECT:  
**5251 HIGH CROSSING BLVD**

PROJECT LOCATION:  
CITY OF MADISON  
DANE COUNTY, WI

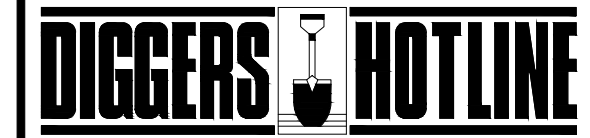
JSD PROJECT NO.: 15-6792

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

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DRAWN:	PGB	06/22/2015
APPROVED:	BHD	06/23/2015

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UDC FINAL SUBMITTAL	08/26/2015
SITE PLAN VERIFICATION	09/25/2015
REVISIONS PER COM	11/02/2015
LAND USE UPDATE	05/03/2016



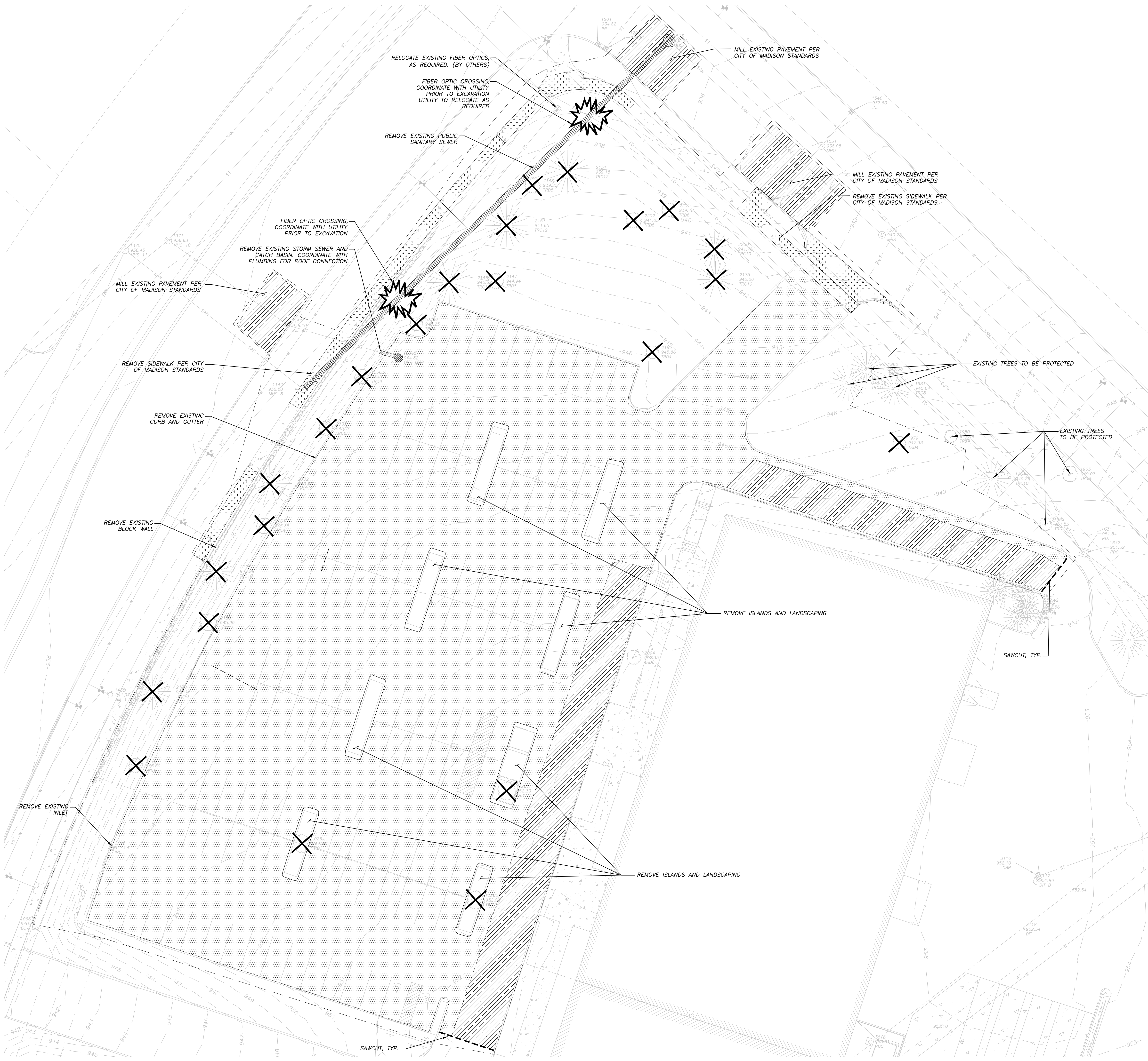
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SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**C0.1**



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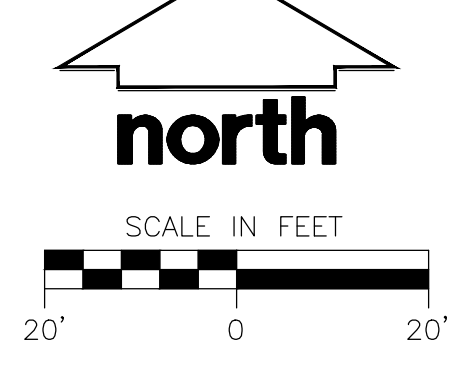


**LEGEND (PROPOSED)**

---	PROPERTY LINE
---	LIMITS OF DISTURBANCE
---	SAWCUT
---	ASPHALT/BASE REMOVAL
---	CONCRETE/BASE REMOVAL
---	MILLING ASPHALT
---	UTILITY REMOVAL
X	REMOVE / RELOCATE TREE

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY, CONDUCTED ON APRIL 27TH & 28TH 2015, BY JSD FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
  - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
  - THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR WRAPP PERMIT APPLICATION STANDARDS.

- DEMOLITION NOTES**
- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY, RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
  - ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
  - BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. NO PORTIONS OF THE BUILDING SHALL NOT BE BURIED ON SITE. ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS. THE OWNER WILL PROVIDE ENVIRONMENTAL DOCUMENTATION AVAILABLE. THIS CONTRACTOR SHALL SUBMIT THE RECYCLING PLAN PER CITY OF MADISON REQUIREMENTS.
  - ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
  - CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
  - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
  - GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
    - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
    - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
    - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
    - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
  - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
  - THIS SITE IS PART OF A PARCEL THAT WAS IDENTIFIED IN THE BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRTS) 03-13-553975. SEE ENVIRONMENTAL DOCUMENTS PROVIDED BY THE OWNER FOR SPECIFIC REQUIREMENTS.
  - THE CONTRACTOR SHALL COORDINATE UTILITY RELOCATES WITH AFFECTED UTILITIES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A REUSE AND RECYCLING PLAN IN ACCORDANCE WITH THE CITY OF MADISON ORDINANCES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SANITARY SEWER BY-PASS PUMPING WHILE THE PUBLIC SANITARY SEWER IS BEING REROUTED.
  - EXISTING STREET TREES SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 07.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - REMOVE AND REPLACE 3 NEW STREET TREES IN KIND.
  - THE CONTRACTOR SHALL CONTACT BRIAN MULLER OF CITY FORESTRY TO MEET ON SITE BEFORE THEY START WORKING NEAR THE TREES. AN ON-SITE MEETING WILL BE REQUIRED PRIOR TO REMOVAL OF ANY TERRACE TREES. ALL REMOVALS SHALL REQUIRE APPROVAL OF CITY FORESTRY PRIOR TO THE WORK BEING DONE. CONTACT BRIAN AT (608) 444-2673 OR (608)266-4890.



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JSD PROJECT NO.: 15-6792

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REVISIONS PER COM	11/02/2015
REVISIONS PER NEW TREES	11/23/2015
ISSUED FOR CONSTRUCTION	12/21/2015

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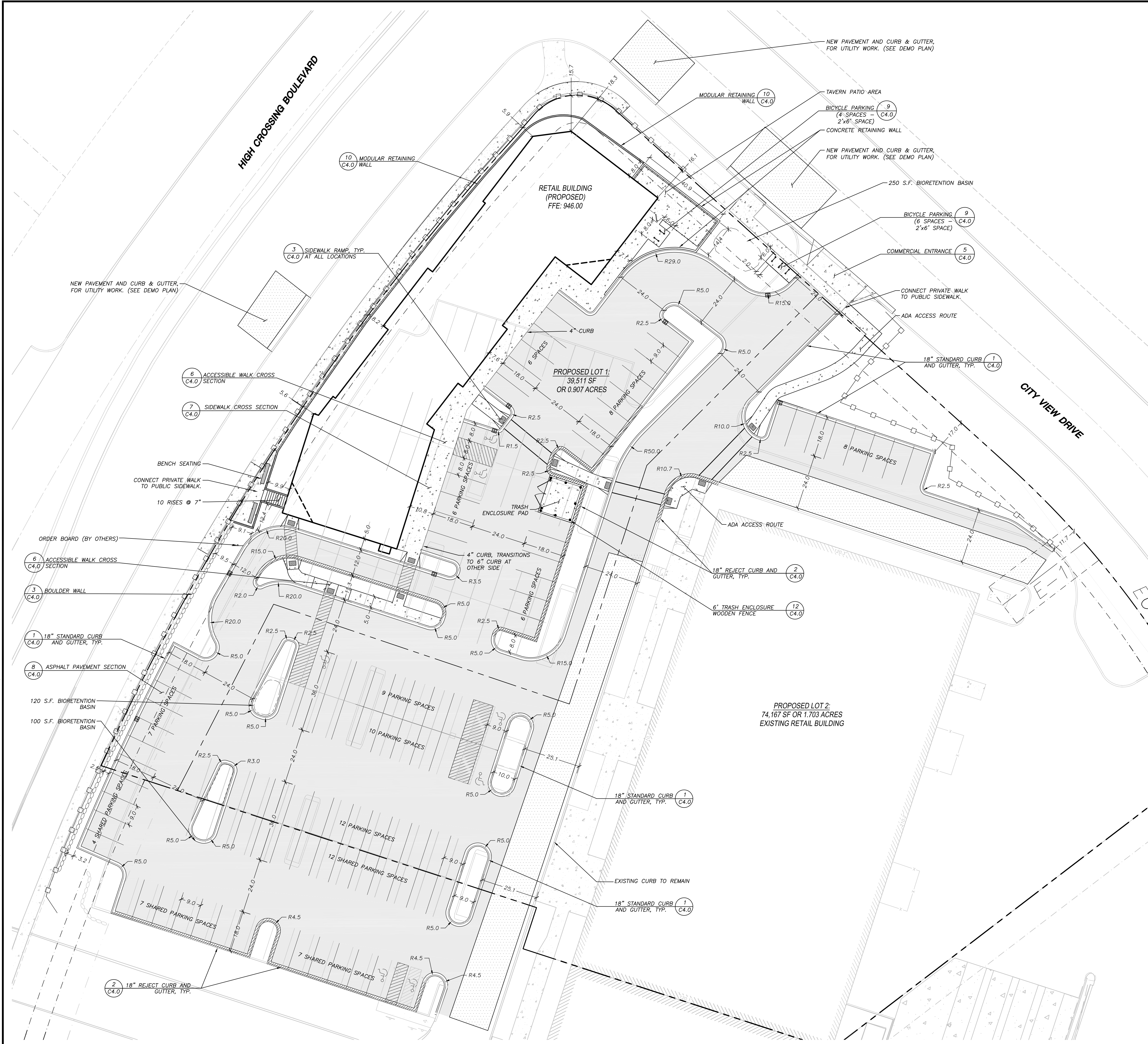
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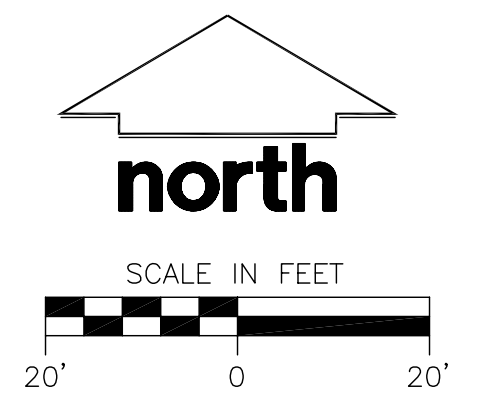
**LEGEND (PROPOSED)**

---	PROPERTY LINE
- - -	LOT LINE
- · - · -	EASEMENT LINE
---	PROPOSED BUILDING OUTLINE
---	EDGE OF PAVEMENT
▨	ASPHALT PAVEMENT
▩	CONCRETE PAVEMENT
▧	NEW ASPHALT SURFACE AT MILLED AREA
▬	18" STANDARD CURB AND GUTTER
▬	18" REJECT CURB AND GUTTER
▬	STONE RETAINING WALL
▬	MODULAR BLOCK RETAINING WALL

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- SITE PLAN NOTES**
- ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL RADIUS TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL PRIVATE CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF MADISON.
  - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
  - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
  - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  - 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
  - BIKE RACKS SHALL BE LOCATED ON A 4" THICK CONCRETE PAD OVER 4" OF AGGREGATE BASE. EACH BIKE PARKING STALL SHALL BE AT LEAST 2'x6'. BIKE RACK SHALL BE PROVIDED BY OWNER AND INSTALLED INTEGRAL TO THE CONCRETE PAD.
  - DETAILS OF WALK LAYOUT WILL BE PROVIDED IN ELECTRONIC FORMAT FOR LAYOUT.
  - SEE LANDSCAPE PLANS FOR HARDSCAPE AND LANDSCAPE OF SPECIAL GARDEN AREAS AS NOTED.
  - PROJECT SUBJECT TO A CROSS ACCESS AGREEMENT TO BE RECORDED.

SITE INFORMATION BLOCK	
Site Location	Madison, WI
Existing Site Acreage (Total)	2.61 ACRES
Disturbed Area	74,220 S.F.
Existing Site Zoning:	CC
Proposed use of property: (Proposed Lot 1 & Lot 2)	COMMERCIAL - COMMERCIAL CENTER (CC)
Building Information:	
Number of stories (above grade)	1
Building height	16'
Total square footage of building	9,745 S.F.
Number of surface parking stalls (Lot 1 & 2 Combined):	
Large car	72
Accessible (Included in Large car count)	5
Number of shared parking stalls: (per agreement with adjacent lot to south)	
Large car	30
Accessible (Included in Large car count)	2
Number of bicycle stalls shown:	10
Existing Impervious Surface Area (LOT 1)	22,268 S.F.
Existing Pervious Surface Area (LOT 1)	17,243 S.F.
Existing Impervious Surface Area Ratio (LOT 1)	0.564
Proposed Impervious Surface Area (LOT 1)	33,088 S.F.
Proposed Pervious Surface Area (LOT 1)	6,423 S.F.
Proposed Impervious Surface Area Ratio (LOT 1)	0.837
Usable Open Space (LOT 1)	6,423 S.F.
Existing Impervious Surface Area (LOT 2)	61,443 S.F.
Existing Pervious Surface Area (LOT 2)	12,724 S.F.
Existing Impervious Surface Area Ratio (LOT 2)	0.828
Proposed Impervious Surface Area (LOT 2)	63,372 S.F.
Proposed Pervious Surface Area (LOT 2)	10,795 S.F.
Proposed Impervious Surface Area Ratio (LOT 2)	0.850
Usable Open Space (LOT 2)	10,795 S.F.



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LAND USE RESUBMITTAL	04/13/2016
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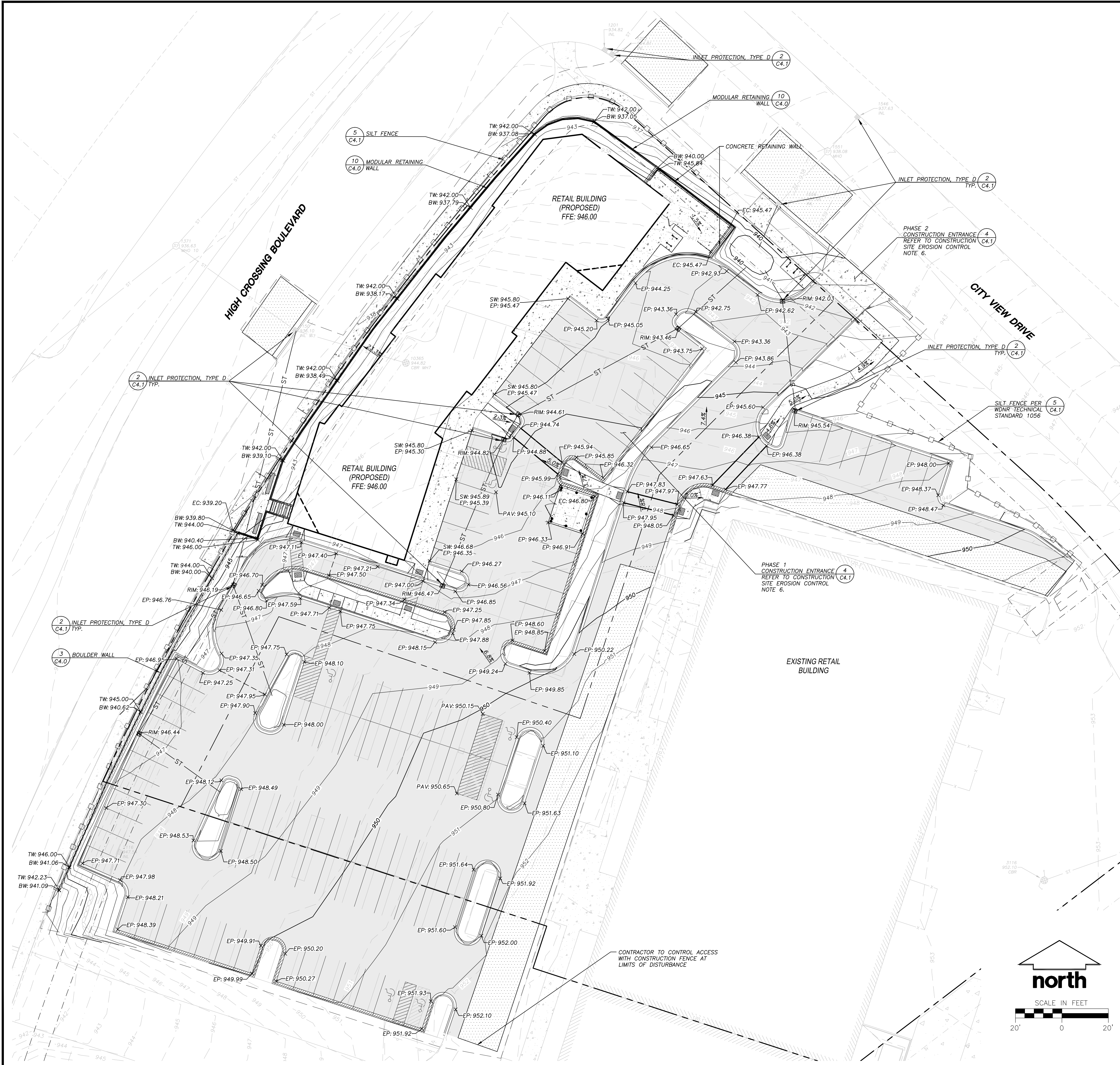
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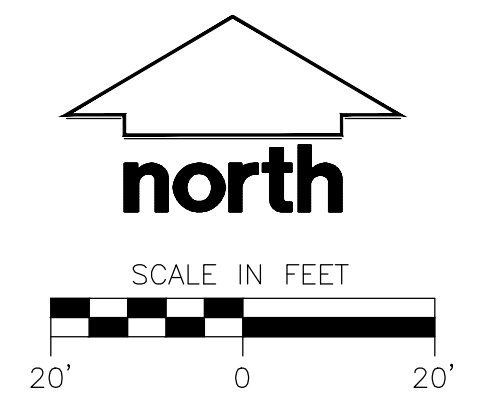
- PROPERTY LINE
- LOT LINE
- PROPOSED BUILDING OUTLINE
- LIMITS OF DISTURBANCE
- 944 PROPOSED 1 FOOT CONTOUR
- 945 PROPOSED 5 FOOT CONTOUR
- PAVEMENT BREAKLINE
- EDGE OF PAVEMENT
- SILT FENCE
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 18" STANDARD CURB AND GUTTER
- 18" REJECT CURB & GUTTER
- STONE RETAINING WALL
- MODULAR BLOCK RETAINING WALL

SPOT ELEVATION  
 BW = BOTTOM OF WALL  
 EP = EDGE OF PAVEMENT  
 EC = EDGE OF CONCRETE  
 PAV = PAVEMENT SURFACE  
 RIM = RIM ELEVATION  
 SW = TOP OF SIDEWALK  
 TW = TOP OF WALL

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- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wis.us/runoff/stormwater/techstds.htm>
  - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
  - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
  - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE MUNICIPALITY.
  - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
  - INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
  - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
    - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
    - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
    - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
  - INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
  - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
  - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
  - ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WOOD APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL. SLOPES 3:1 (33%) SHALL BE STABILIZED AS SOON AS PRACTICABLE FOLLOWING GRADING ACTIVITIES ARE COMPLETE.
  - CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WISCONSIN SAFETY AND PROFESSIONAL SERVICES REQUIREMENTS.
  - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
  - CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
  - ALL APRON ENDWALLS SHALL BE PROVIDED WITH RIP RAP PER DETAILS.
  - PHASE 1 - BUILDING CONSTRUCTION  
 PHASE 2 - PARKING LOT IMPROVEMENTS

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
  - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
  - CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
  - CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
  - CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
  - THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
  - IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
  - ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE. ALL SLOPES 33% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM AS SOON AS PRACTICABLE.
  - WATER FLOWING DIRECTLY INTO BIORETENTION BASINS OR RAIN GARDENS SHALL BE TEMPORARILY DIVERTED FOR 60 DAYS TO ALLOW FOR PLANTING GROWTH.



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SERVICES PROVIDED TO:  
**WALSH PROPERTIES, LLC.**

P.O. BOX 1497  
 MADISON, WI 53701

PROJECT:  
**5251 HIGH CROSSING BLVD**

PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

JSD PROJECT NO.: 15-6792

SEAL/SIGNATURE:

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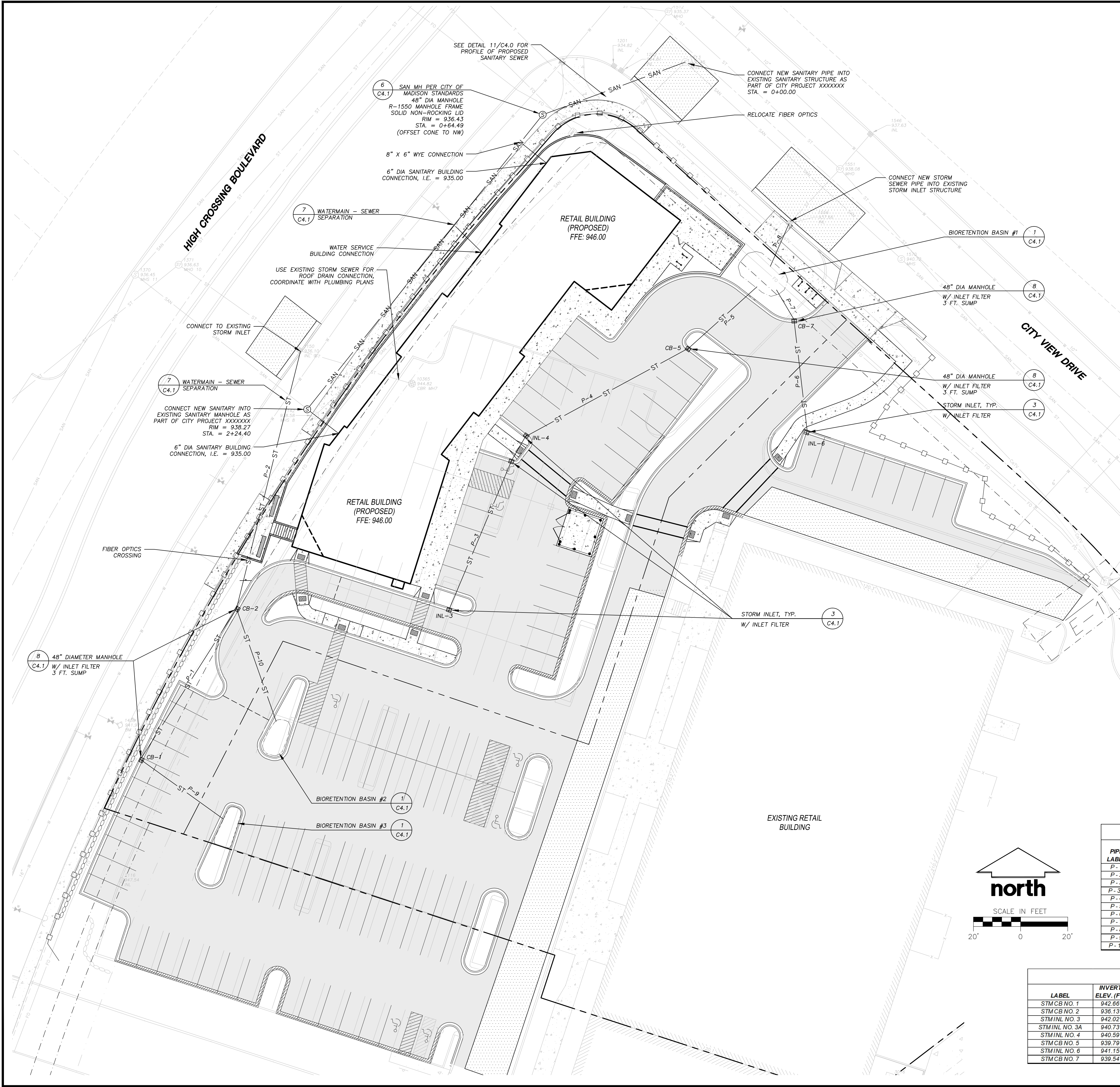
SHEET TITLE:  
**GRADING AND EROSION CONTROL PLAN**

SHEET NUMBER:  
**C2.0**

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**LEGEND (PROPOSED)**

---	PROPERTY LINE
---	LOT LINE
---	BUILDING FIRST FLOOR
---	EDGE OF PAVEMENT
ST	STORM SEWER
SAN	SANITARY SEWER
---	WATER SERVICE
---	STORM SEWER (BY OTHERS)
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	18" STANDARD CURB AND GUTTER
---	18" REJECT CURB & GUTTER
---	STONE RETAINING WALL
---	MODULAR BLOCK RETAINING WALL
---	BIORETENTION POND

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY, CONDUCTED ON APRIL 27TH & 28TH 2015, BY JSD FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
  - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
  - THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDR WRAPP PERMIT APPLICATION STANDARDS.

- UTILITY NOTES**
- ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MADISON STANDARD CONSTRUCTION SPECIFICATIONS (STANDARD SPECIFICATIONS).
  - DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
  - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
  - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
  - ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
  - PROVIDE DE-WATERING ACTIVITIES AND PERMITS AS NECESSARY PER WDR REQUIREMENTS AND WDR TECHNICAL STANDARD 1061.
  - ALL PRIVATE WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY.
  - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
  - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WSPS, AND WDR.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
    - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
    - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
    - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
    - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
    - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.

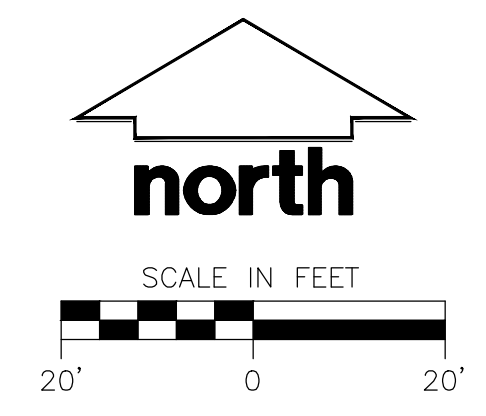
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- OPEN PICK HOLES IN SANITARY MANHOLE CASTING LIDS ARE PROHIBITED.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. STREETS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.

**PROPOSED STORM SEWER PIPE SCHEDULE**

PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	STM CB NO. 1	STM CB NO. 2	75.90	942.66	940.00	3.50%	8" PVC
P-2	STM CB NO. 2	EXIST INL	112.56	936.13	930.50	5.00%	10" PVC
P-3	STM INL NO. 3	STM INL NO. 3A	63.30	942.02	940.75	2.00%	8" HDPE
P-3A	STM INL NO. 3A	STM INL NO. 4	11.00	940.73	940.62	1.00%	8" HDPE
P-4	STM INL NO. 4	STM CB NO. 5	78.82	940.59	939.80	1.00%	8" HDPE
P-5	STM CB NO. 5	BIORETENTION	38.90	939.79	939.50	0.75%	10" HDPE
P-6	STM INL NO. 6	STM CB NO. 7	46.80	941.15	939.75	3.00%	8" HDPE
P-7	STM CB NO. 7	BIORETENTION	15.00	939.54	939.50	0.25%	8" PVC
P-8	BIORETENTION	EXIST INL	19.80	934.99	934.00	5.00%	8" PVC
P-9	BIORETENTION	STM CB NO. 1	42.50	944.94	943.98	2.25%	6" PVC
P-10	BIORETENTION	STM CB NO. 2	50.71	944.44	942.41	4.00%	6" PVC

**PROPOSED STORM SEWER STRUCTURES SCHEDULE**

LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
STM CB NO. 1	942.66	946.44	3.78	48" DIA MANHOLE W/3' SUMP	R-3067, INLET FRAME, TYPE R GRATE
STM CB NO. 2	936.13	946.19	10.06	48" DIA MANHOLE W/3' SUMP	R-3067, INLET FRAME, TYPE R GRATE
STM INL NO. 3	942.02	946.47	4.45	2'X3' BOX	R-3067, INLET FRAME, TYPE R GRATE
STM INL NO. 3A	940.73	944.82	4.09	2'X3' BOX	R-3067, INLET FRAME, TYPE R GRATE
STM INL NO. 4	940.59	944.60	4.01	2'X3' BOX	R-3067, INLET FRAME, TYPE R GRATE
STM CB NO. 5	939.79	943.46	3.67	48" DIA MANHOLE W/3' SUMP	R-3067, INLET FRAME, TYPE R GRATE
STM INL NO. 6	941.15	945.06	3.91	2'X3' BOX	R-3067, INLET FRAME, TYPE R GRATE
STM CB NO. 7	939.54	941.93	2.39	48" DIA MANHOLE W/3' SUMP	R-3067, INLET FRAME, TYPE R GRATE



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**WALSH PROPERTIES, LLC.**

P.O. BOX 1497  
 MADISON, WI 53701

PROJECT:  
**5251 HIGH CROSSING BLVD**

PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

JSD PROJECT NO.: 15-6792

SEAL/SIGNATURE:

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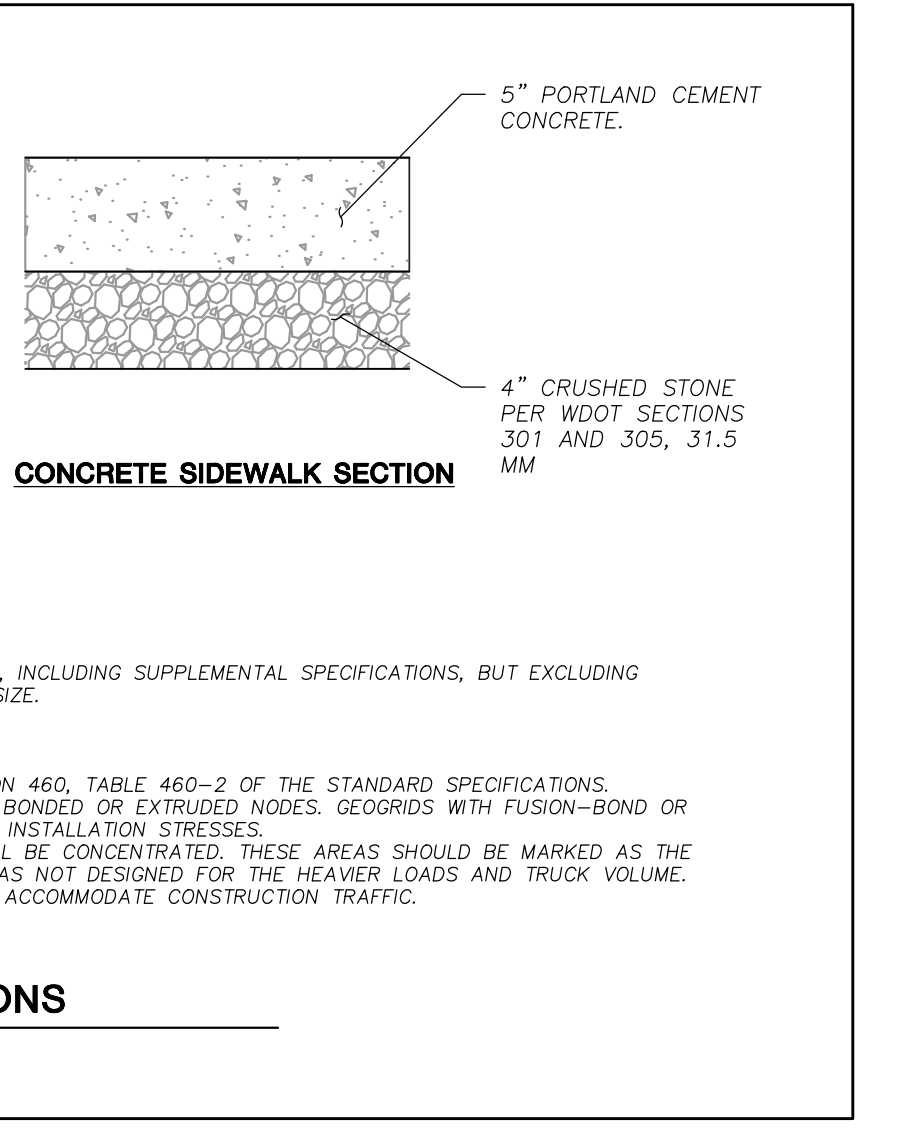
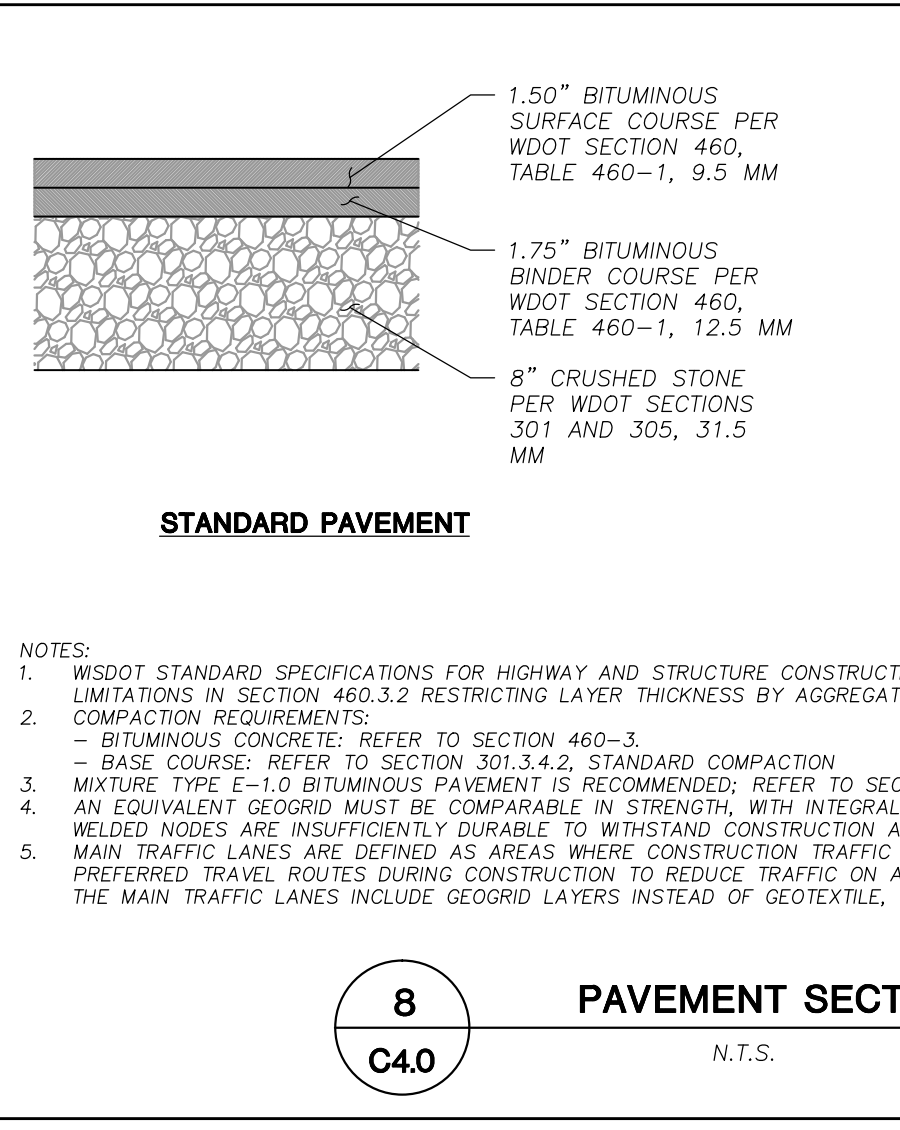
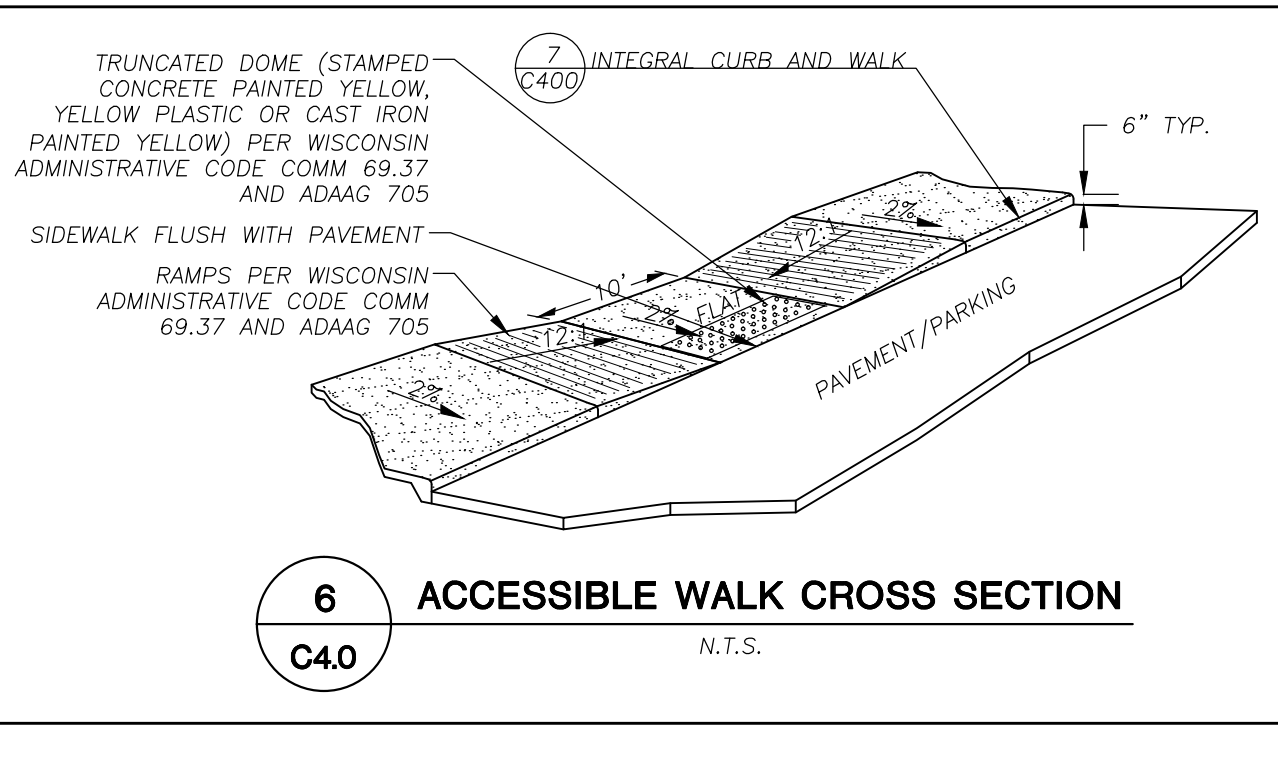
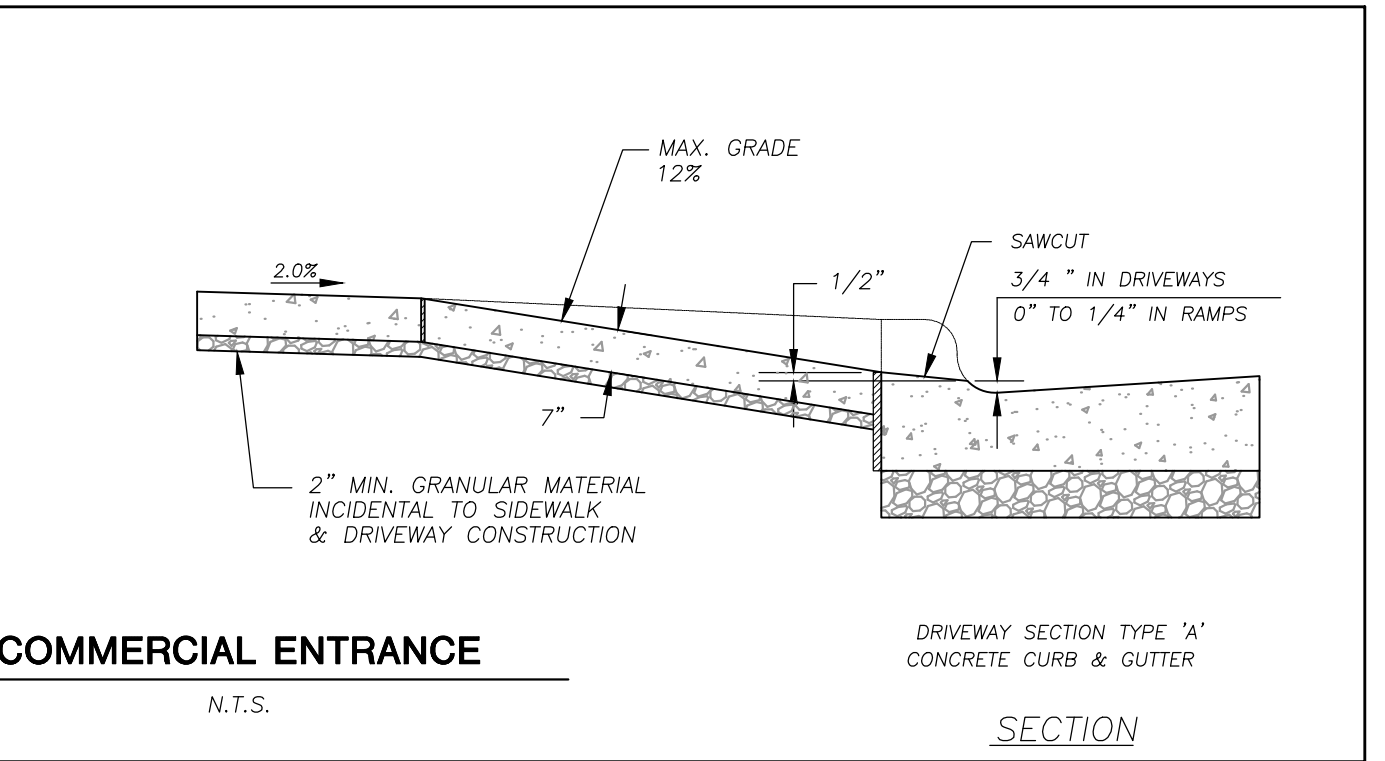
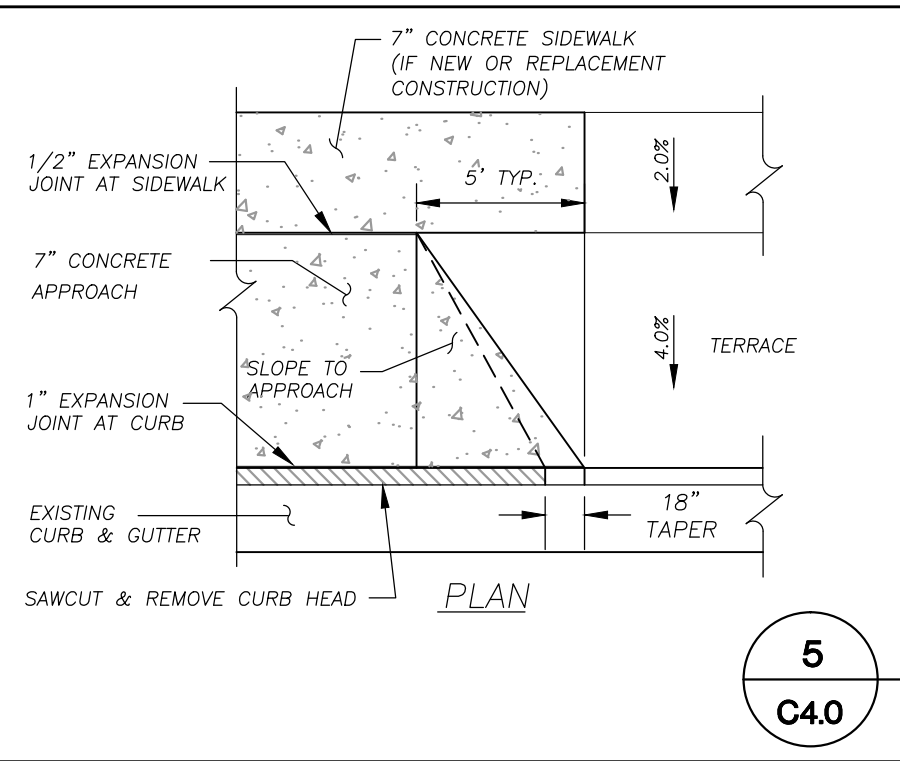
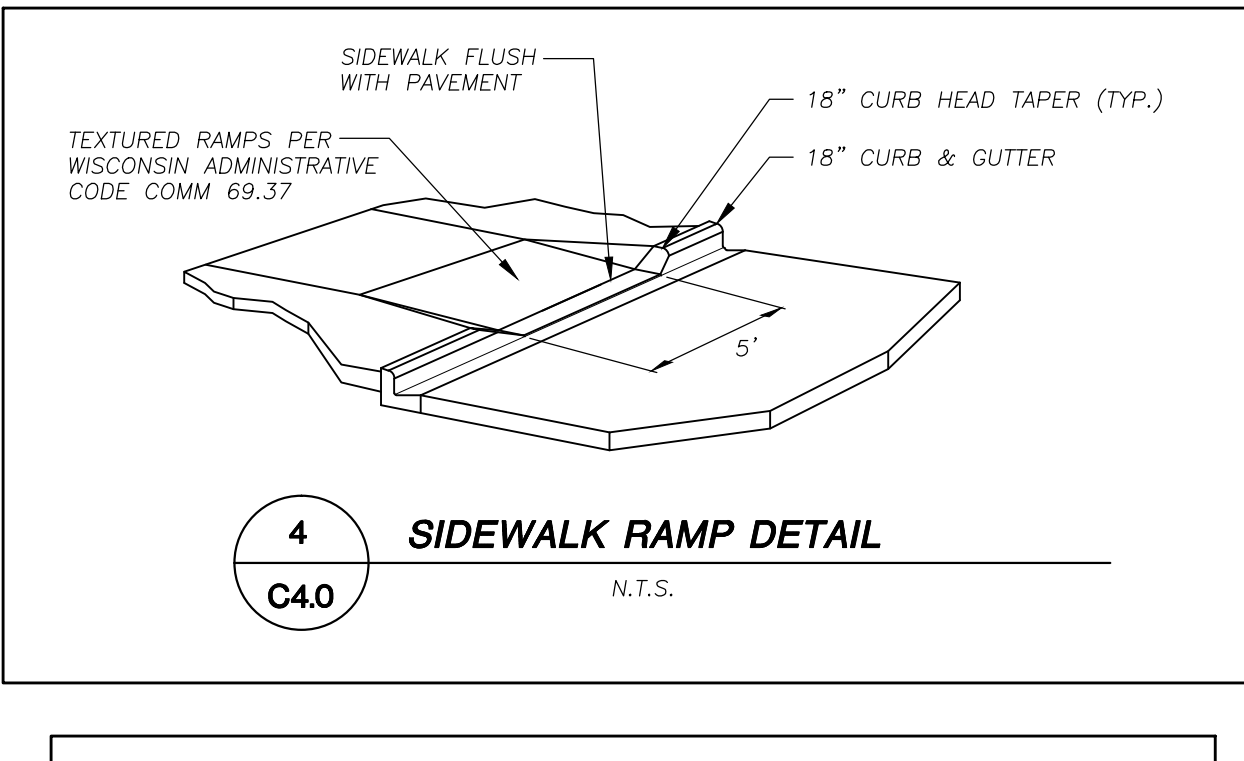
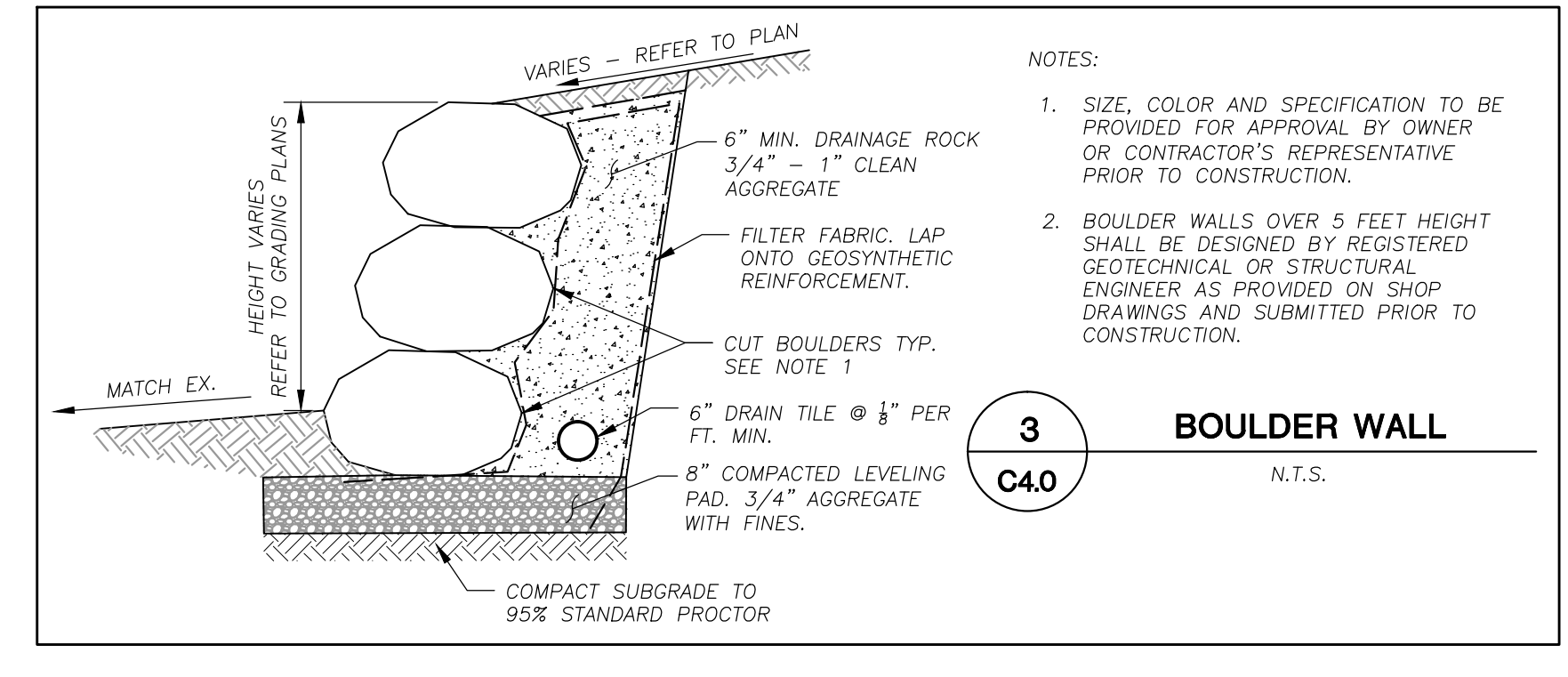
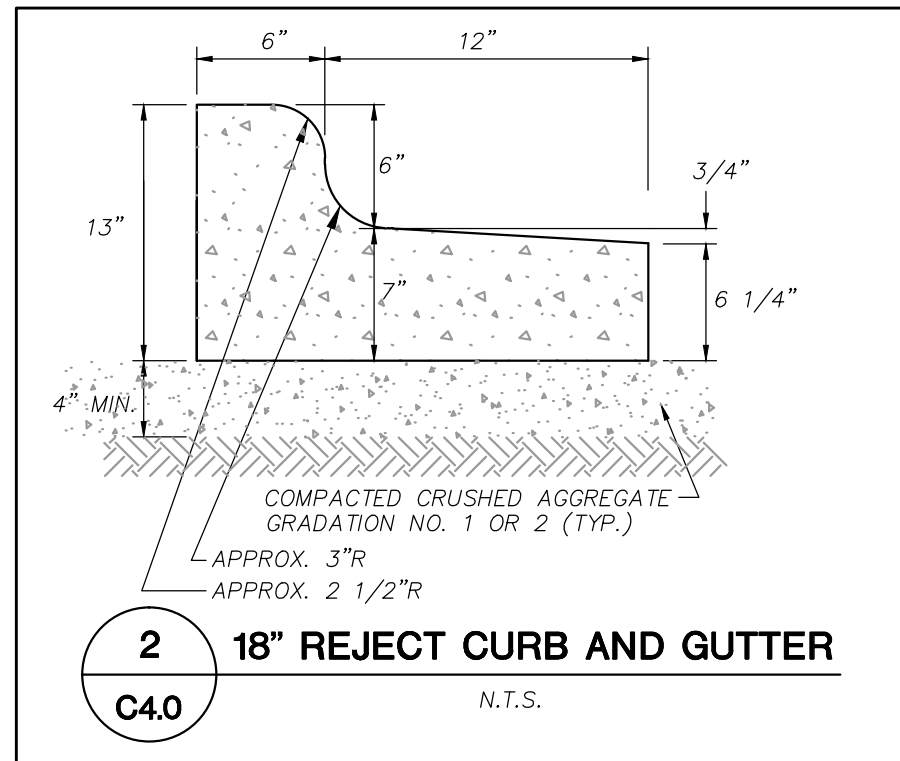
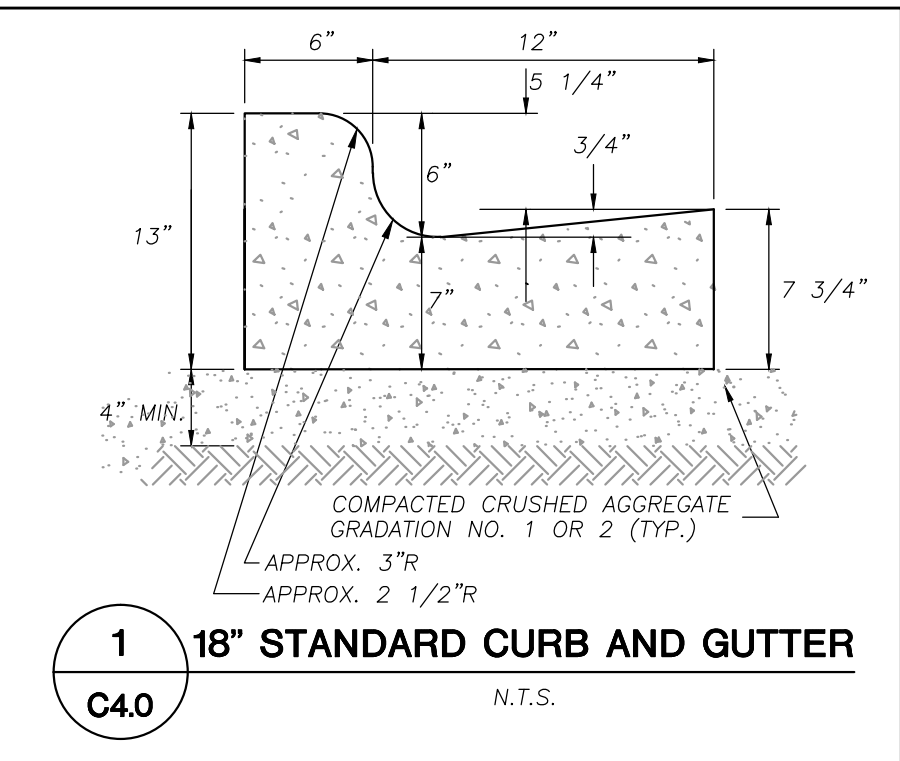
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**SITE DETAILS**

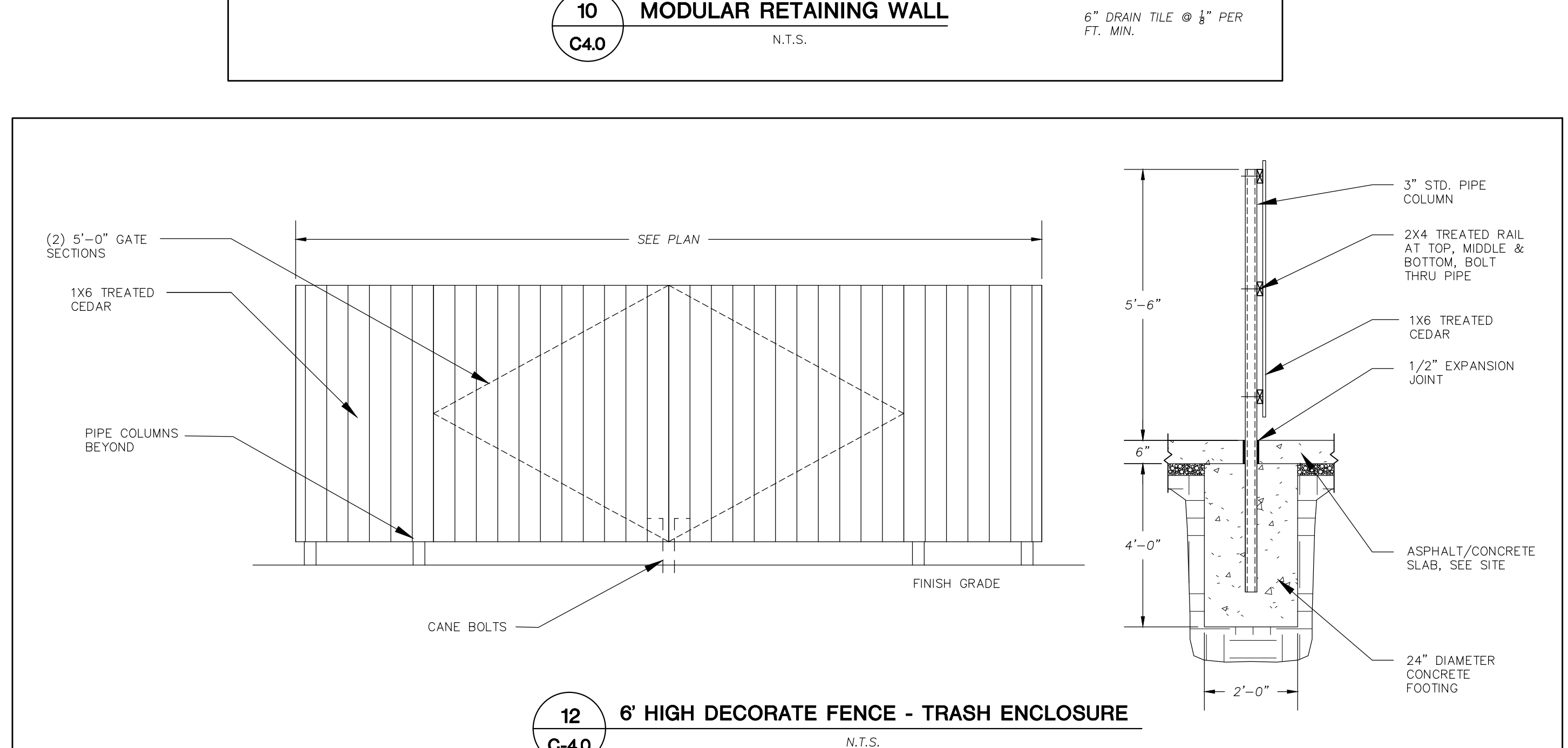
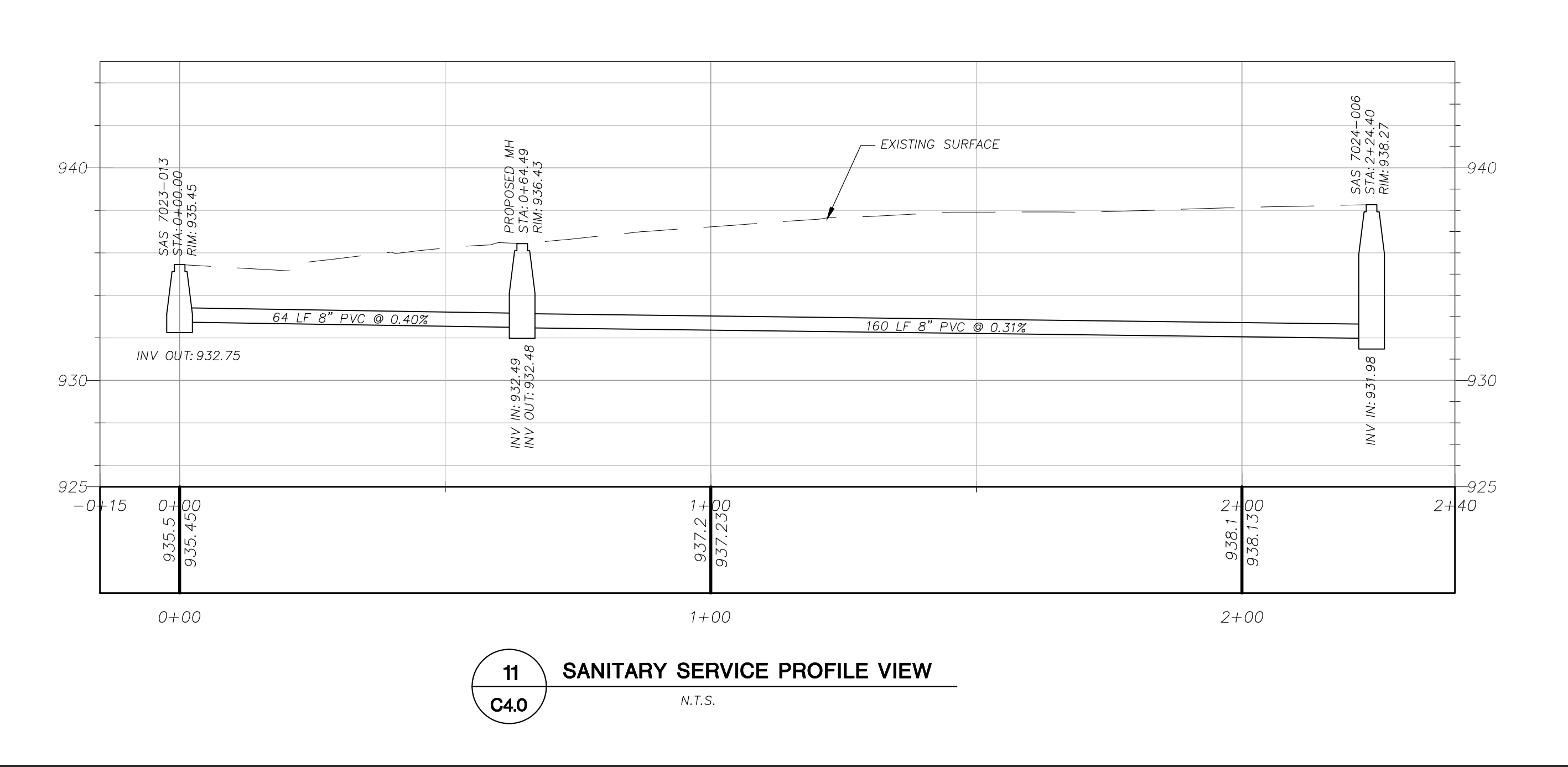
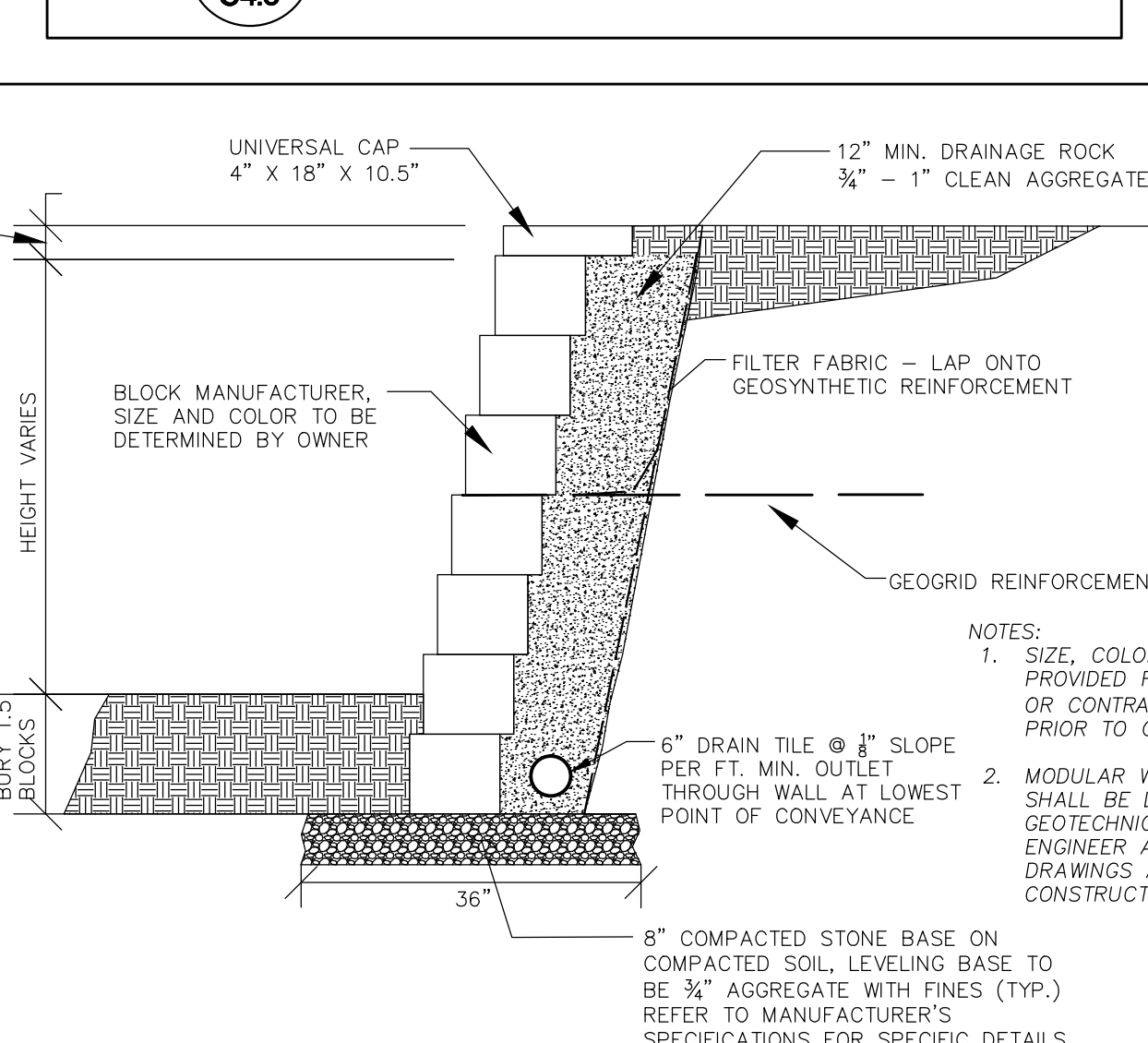
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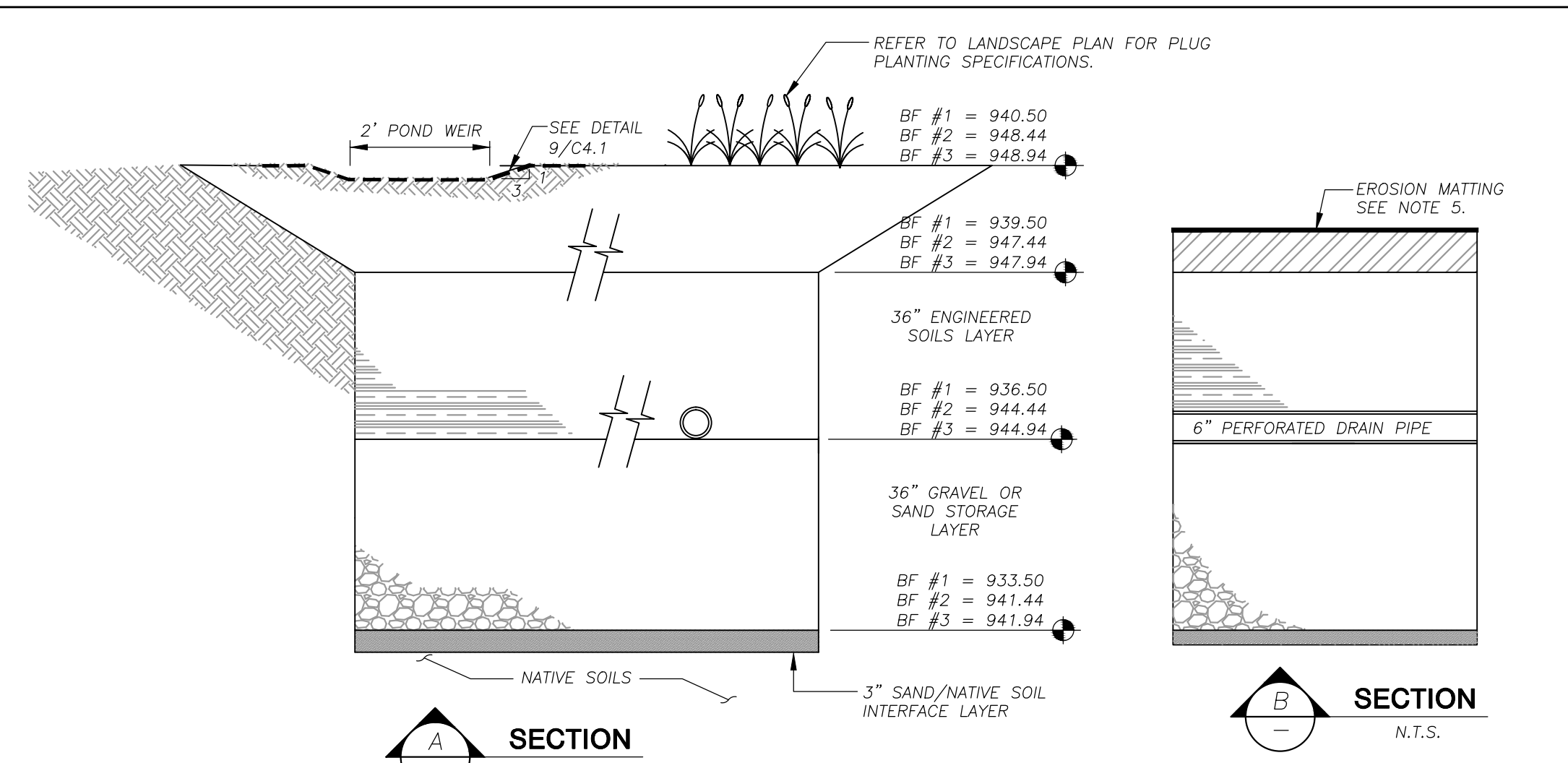
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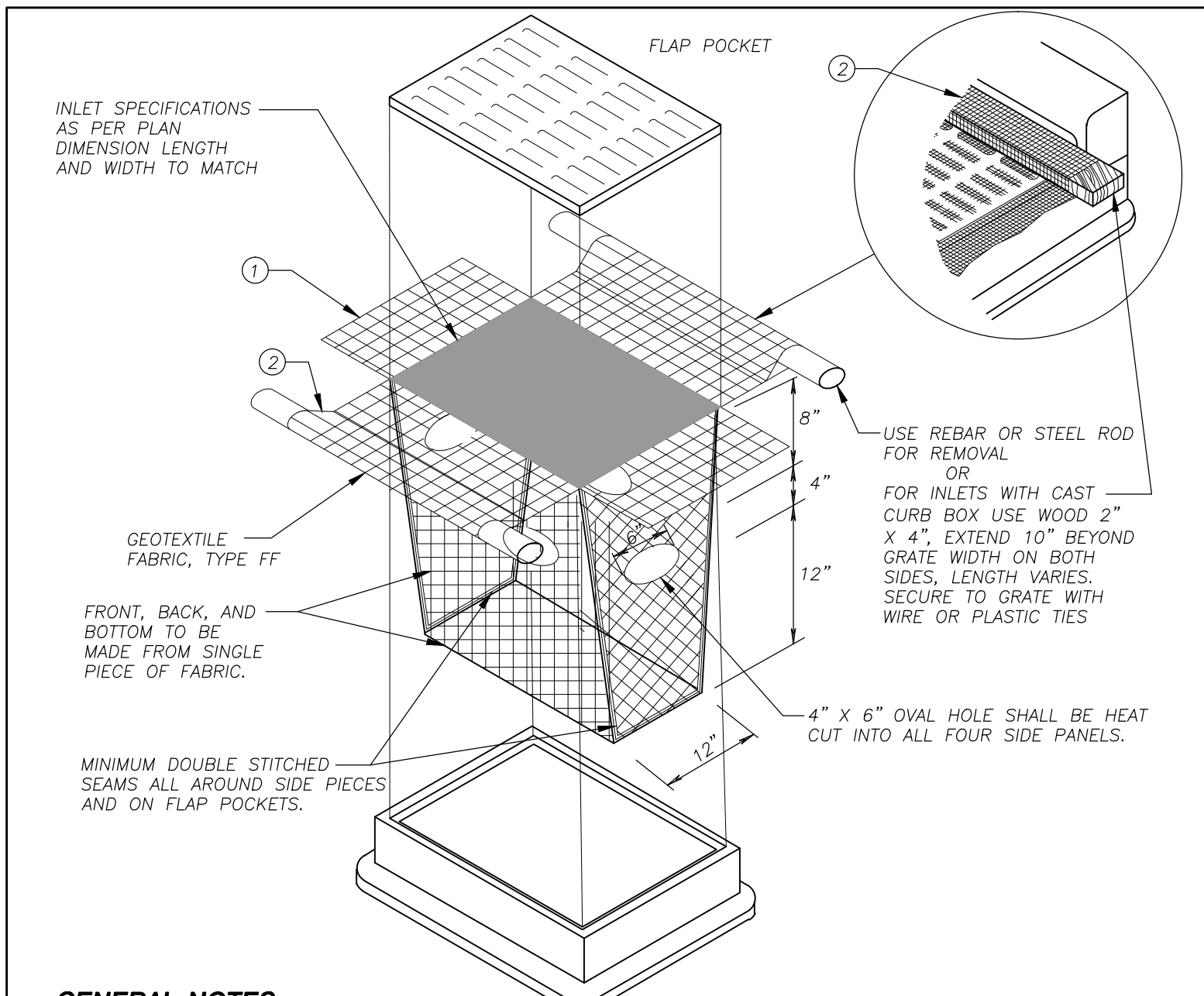
**GENERAL NOTES:**

- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
- CONTRACTOR SHALL INSTALL 36" OF ENGINEERED SOIL, CONSISTING OF: 85% ASTM C33 SAND AND 15% CERTIFIED COMPOST.
- CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
- ASTM C33 SAND OR WASHED STONE SHALL BE PLACED IN THE FIRST 36" BELOW THE PERFORATED PIPE. SOILS SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO BACKFILLING.
- INSTALL EROSION MATTING ON TOP OF 4-INCH TOPSOIL LAYER FOLLOWING SEEDING OF THE BOTTOM OF THE BIORETENTION BASIN TO PROVIDE SOIL STABILIZATION PRIOR TO MATURE VEGETATION COVER.
- ANNUAL RYE GRASS SHALL BE SEEDING AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX AS PROVIDED BY PRAIRIE NURSERY SHALL BE USED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN. REFER TO AREA DELINEATED ON SHEET L100 FOR PLANTING AREA. IT SHALL BE THE OWNERS/OWNERS CONTRACT REPRESENTATIVE'S RESPONSIBILITY TO DETERMINE TYPE OF VEGETATIVE COVER AT THE INVERT OF THE BIORETENTION BASIN. REFER TO DETAIL 1/401 AND 1(A/L)401 FOR VEGETATION TYPE OPTIONS FOR BIORETENTION BASIN.
- RUNOFF MUST INFILTRATE WITHIN 24-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
- OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (E.G. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

**1 BIORETENTION BASIN**  
C4.1 N.T.S.



**GENERAL NOTES**

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

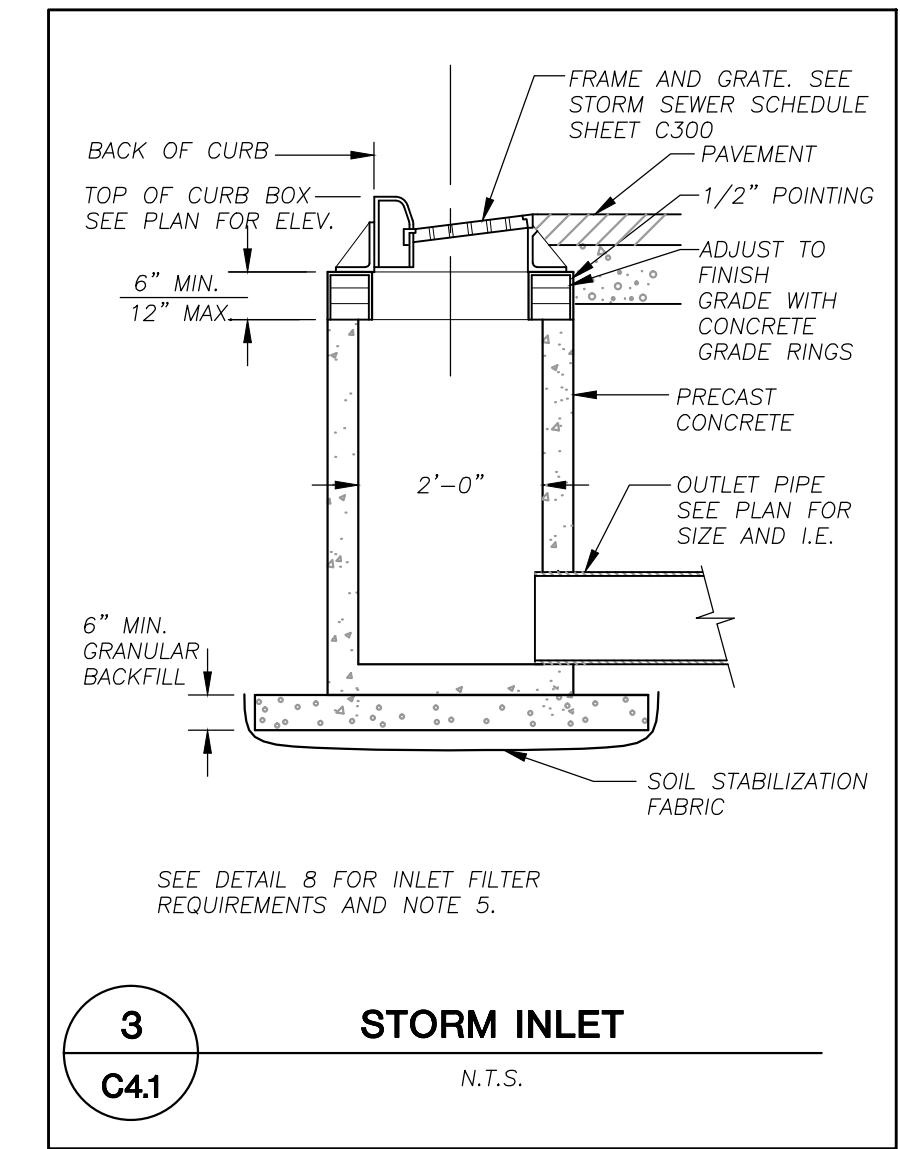
**INSTALLATION NOTES**

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

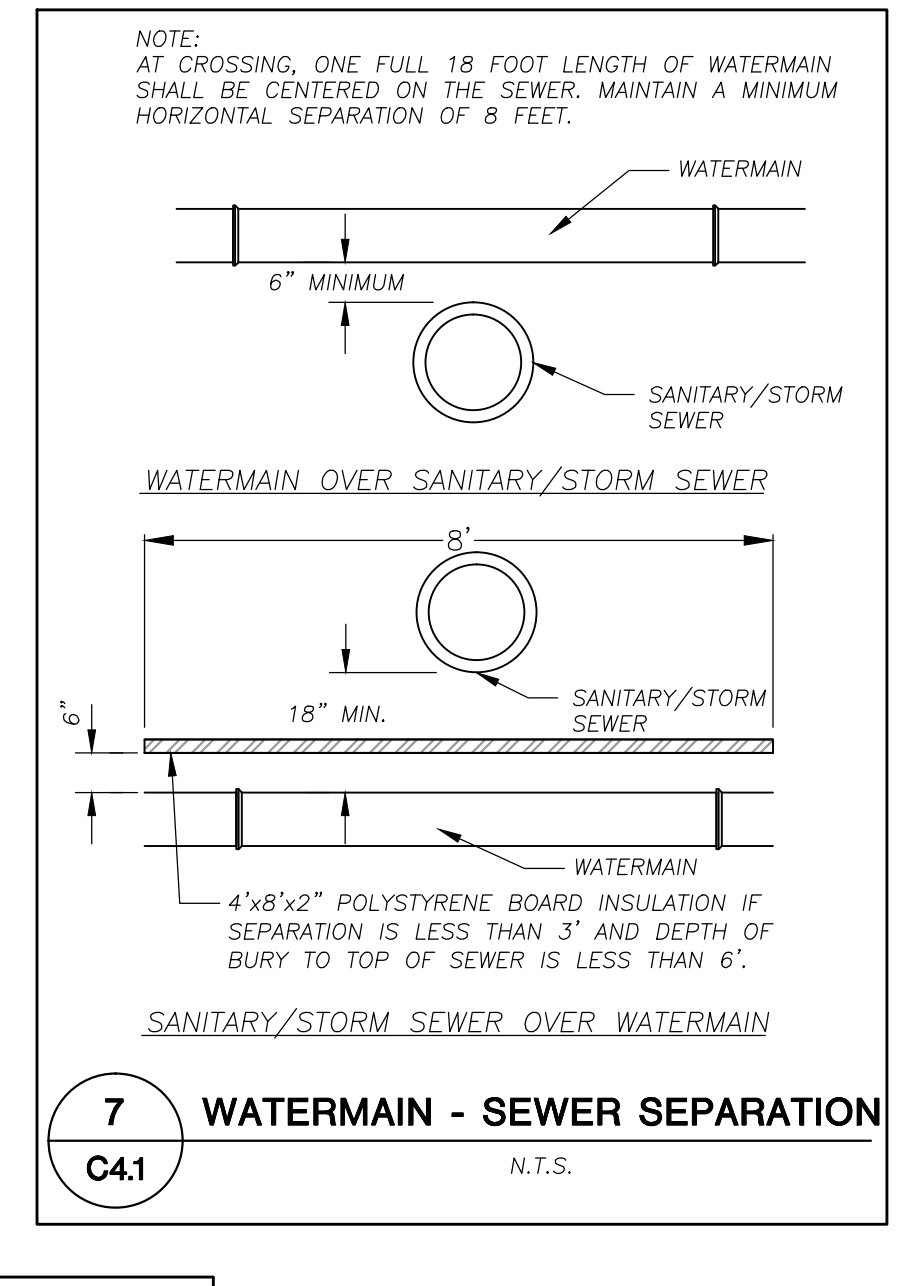
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3" WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

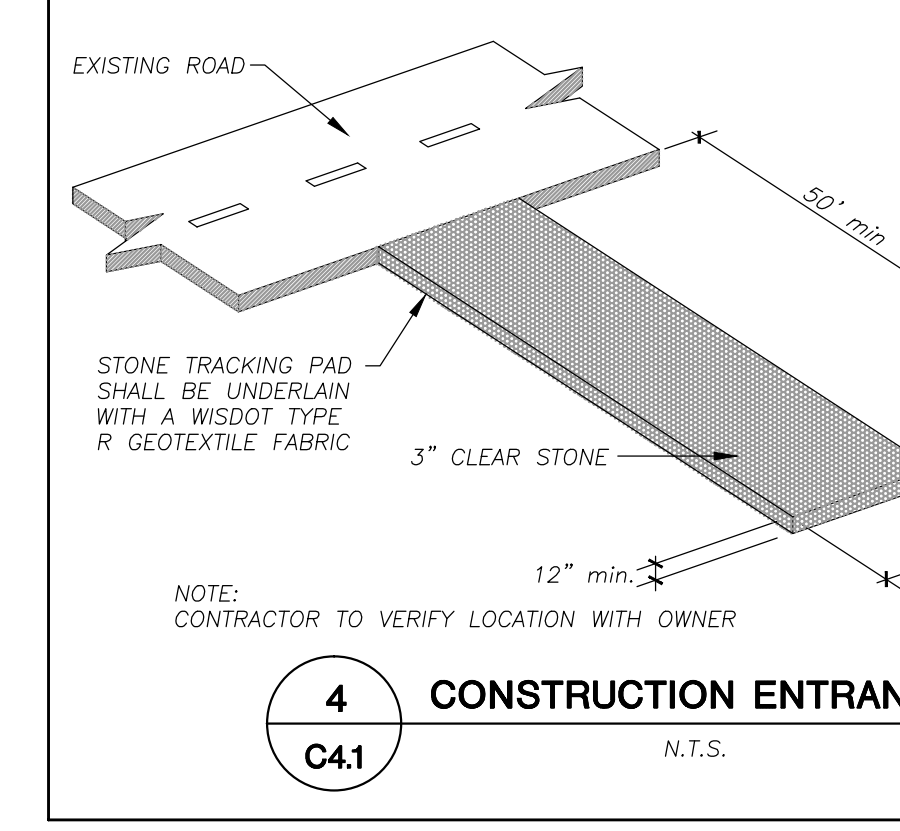
**2 INLET PROTECTION, TYPE D**  
C4.1 N.T.S.



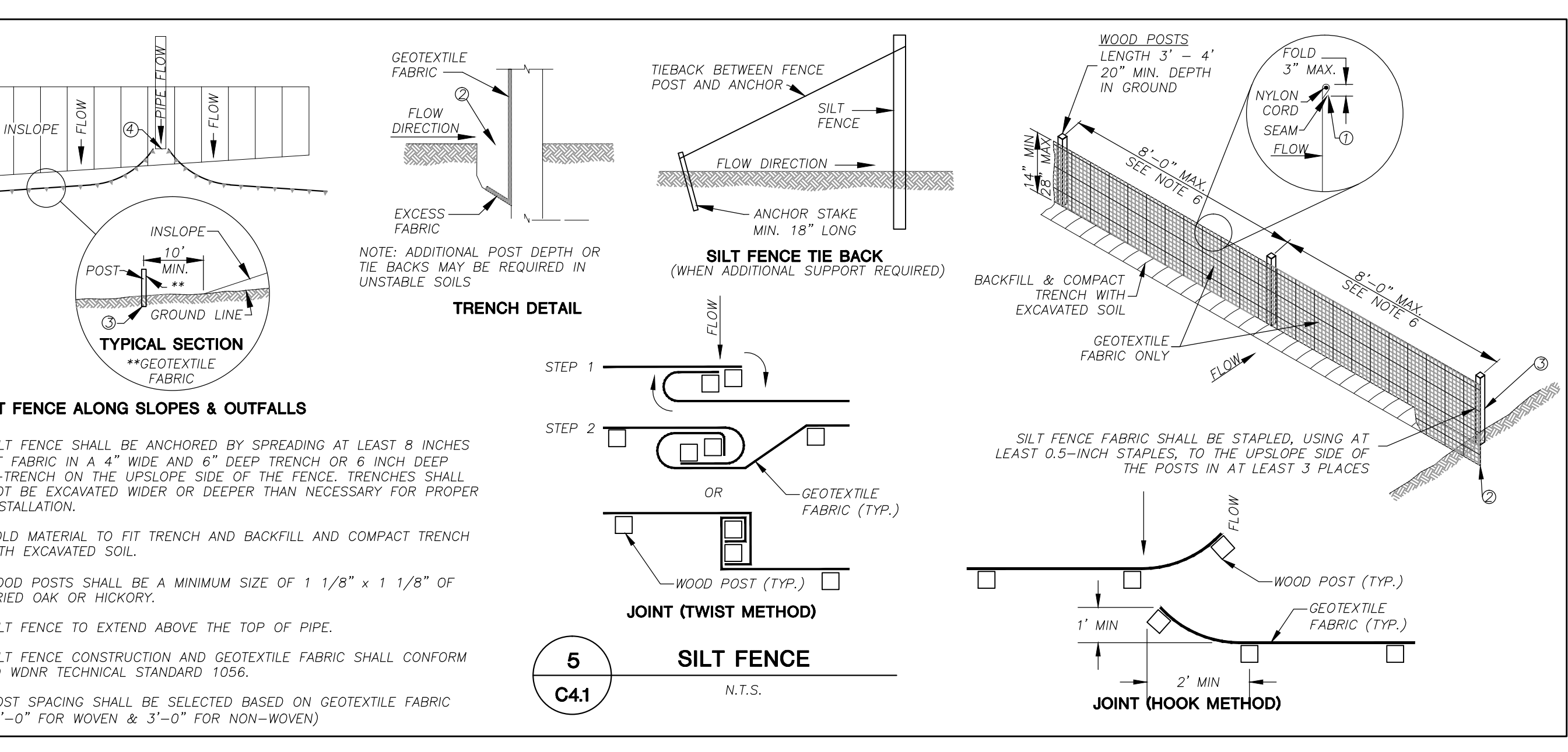
**3 STORM INLET**  
C4.1 N.T.S.



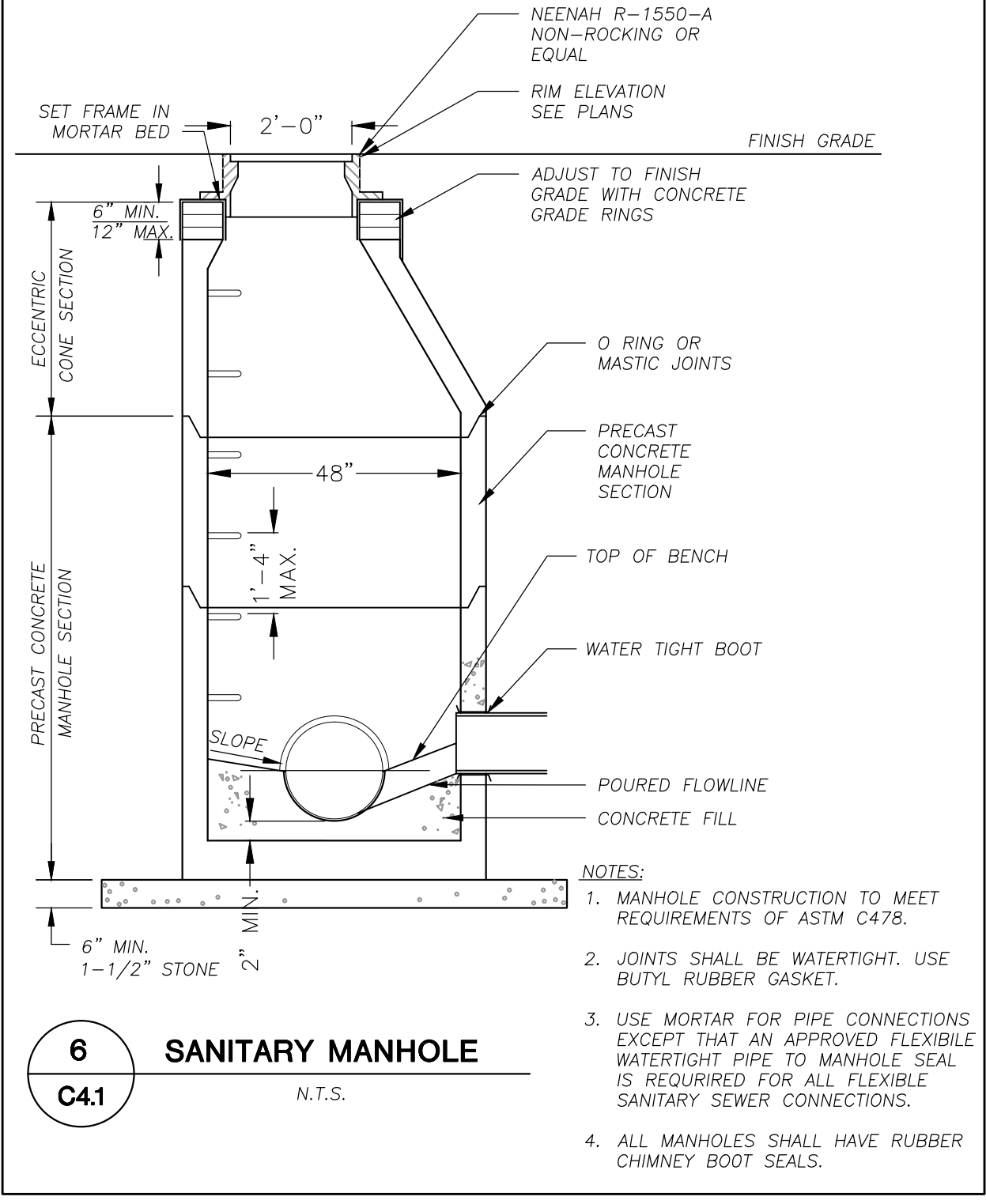
**7 WATERMAIN - SEWER SEPARATION**  
C4.1 N.T.S.



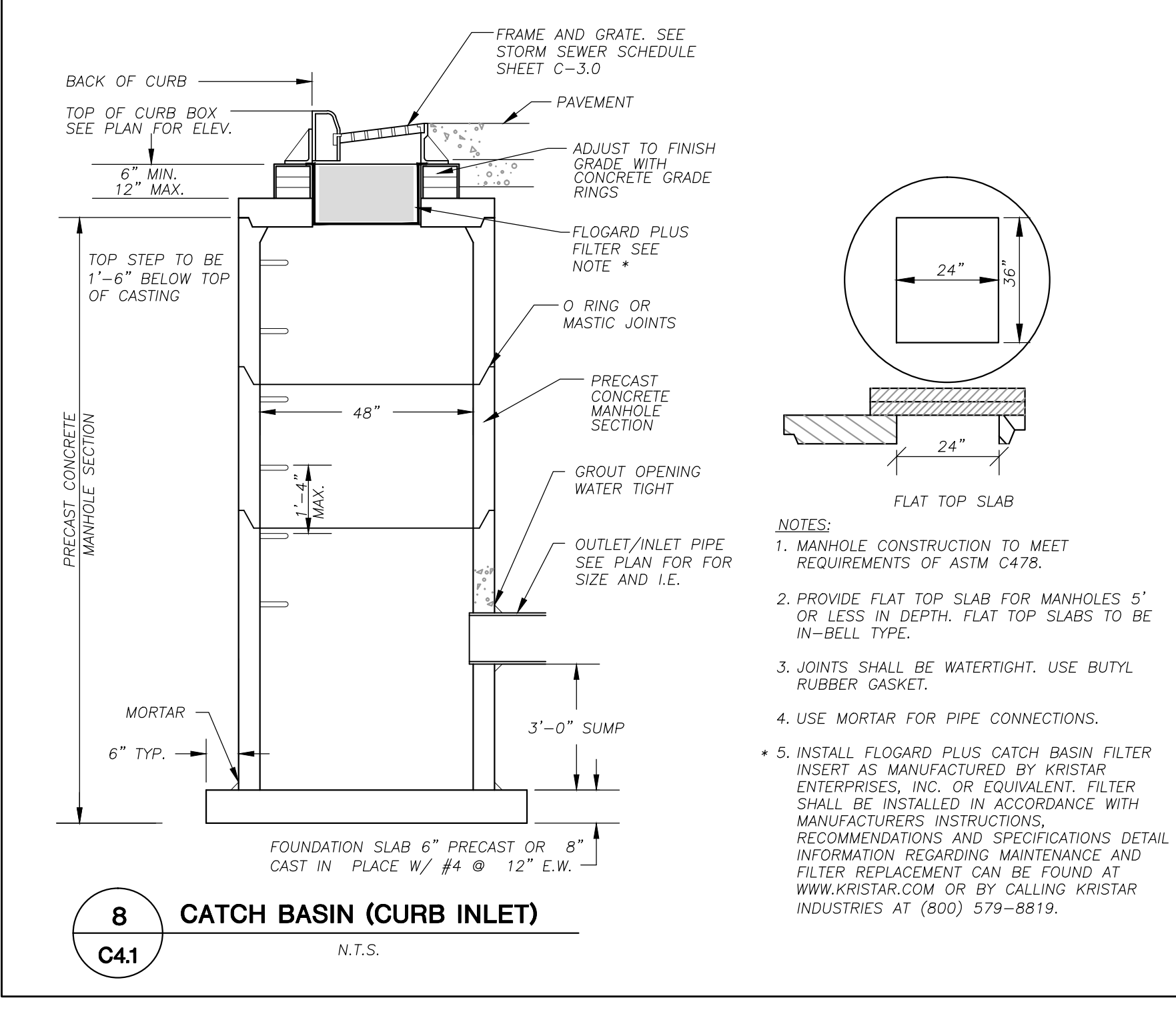
**4 CONSTRUCTION ENTRANCE**  
C4.1 N.T.S.



**9 OVERFLOW WEIR DETAIL**  
C4.1 N.T.S.



**6 SANITARY MANHOLE**  
C4.1 N.T.S.



**8 CATCH BASIN (CURB INLET)**  
C4.1 N.T.S.

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SERVICES PROVIDED TO:  
**WALSH PROPERTIES, LLC.**

P.O. BOX 1497  
MADISON, WI 53701

PROJECT:  
**5251 HIGH CROSSING BLVD**

PROJECT LOCATION:  
CITY OF MADISON  
DANE COUNTY, WI

JSD PROJECT NO.: 15-6792

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	PGB	06/22/2015
DRAWN:	PGB	06/22/2015
APPROVED:	BHD	06/23/2015

PLAN MODIFICATIONS:	DATE:
UDC INITIAL - FINAL	05/27/2015
UDC INITIAL - FINAL RESUBMITTAL	06/24/2015
UDC FINAL SUBMITTAL	08/26/2015
SITE PLAN VERIFICATION	09/25/2015
REVISIONS PER COM	10/15/2015
REVISIONS PER COM - ENG	12/03/2015
ISSUED FOR CONSTRUCTION	12/21/2015

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SHEET TITLE:  
**EROSION CONTROL AND UTILITY DETAILS**

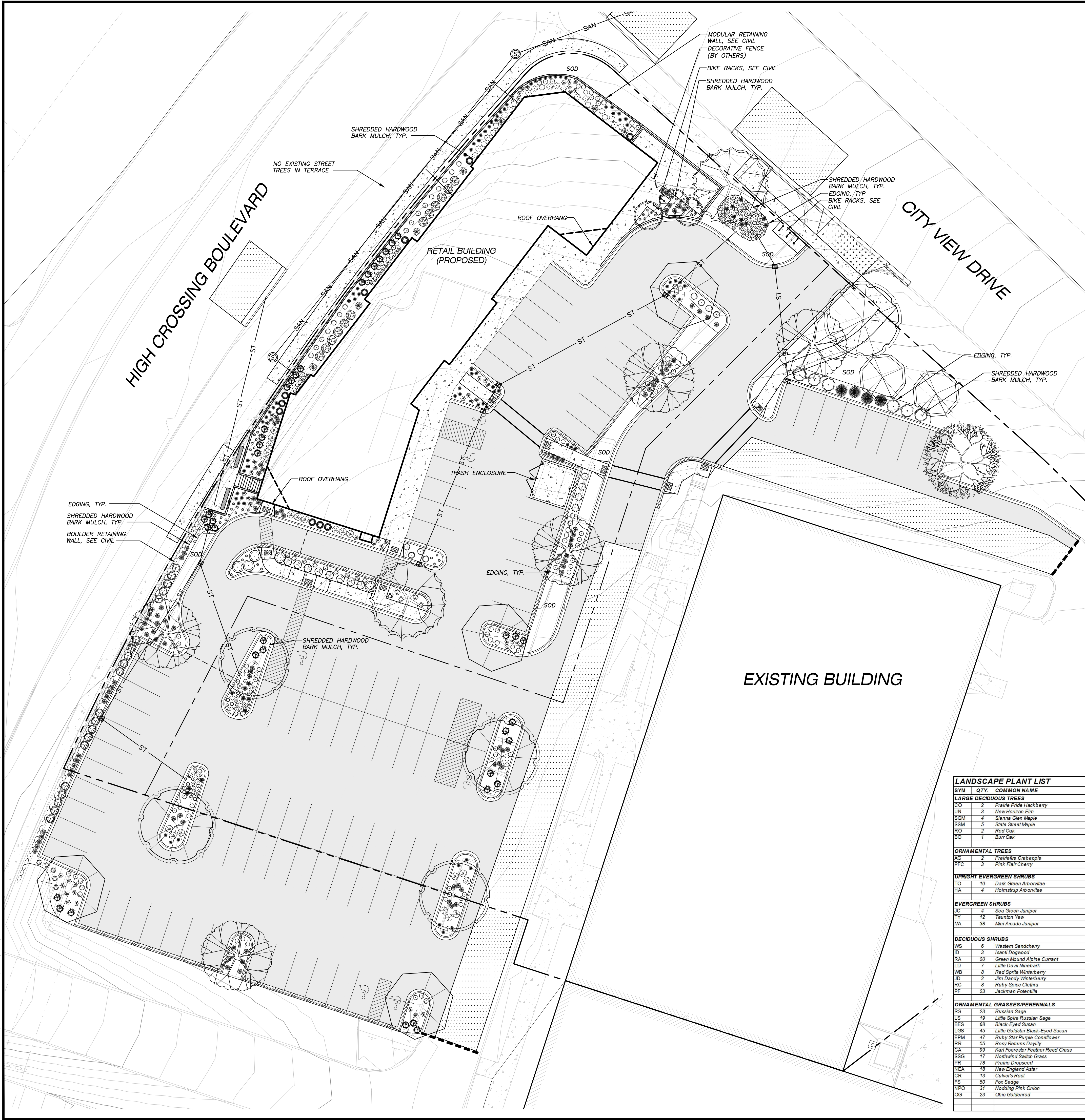
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**LEGEND (PROPOSED)**

- PROPERTY LINE
- - - EASEMENT LINE
- - - FUTURE BUILDING ADDITION
- EDGE OF PAVEMENT
- SAWCUT
- ST STORM SEWER
- SAN SANITARY SEWER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- NEW ASPHALT SURFACE AT MILLED AREA
- 18" STANDARD CURB AND GUTTER
- 18" REJECT CURB AND GUTTER
- BOULDER RETAINING WALL
- MODULAR BLOCK RETAINING WALL

**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO SHEET L2.0 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. ALL PATIOS ON PLAN TO BE INSTALLED BY OTHERS
8. ALL RETAINING WALL EXTENSIONS FOR PROPOSED PATIOS TO BE INSTALLED BY OTHERS

**LEGEND (PROPOSED)**

**LARGE DECIDUOUS TREES**

- Prairie Pride Hackberry
- New Horizon Elm
- Sienna Glen Maple
- State Street Maple
- Red Oak
- Burr Oak

**ORNAMENTAL TREES**

- Prairiefire Crabapple
- Pink Flair Cherry

**UPRIGHT EVERGREEN SHRUB**

- Dark Green Arborvitae
- Holmstrup Arborvitae

**EVERGREEN SHRUBS**

- Sea Green Juniper
- Taunton Yew
- Mini Arcade Juniper

**DECIDUOUS SHRUBS**

- Western Sandcherry
- Isanti Dogwood
- Green Mound Alpine Currant
- Little Devil Ninebark
- Red Sprite Winterberry
- Ruby Spice Clethra
- Jim Dandy Winterberry
- Jackman Potentilla

**ORNAMENTAL GRASSES/PERENNIALS**

- Russian Sage
- Little Spire Russian Sage
- Black-Eyed Susan
- Little Goldstar Black-Eyed Susan
- Rosy Returns Daylily
- Karl Foerster Feather Reed Grass
- Northwind Switch Grass
- Prairie Droseed
- New England Aster
- Culver's Root
- Fox Sedge
- Nodding Pink Onion
- Ohio Goldenrod

**LANDSCAPE PLANT LIST**

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
<b>LARGE DECIDUOUS TREES</b>							
CC	2	Prairie Pride Hackberry	CELTIS occidentalis 'Prairie Pride'	2 1/2" Cal.	8.8B	35	70
UN	3	New Horizon Elm	ULMUS x 'New Horizon'	2 1/2" Cal.	8.8B	35	105
SGM	4	Sienna Glen Maple	ACER x 'freemantle' 'Sienna' (PP-F1322)	2 1/2" Cal.	8.8B	35	140
SSM	5	State Street Maple	ACER nyctagine 'State Street'	2 1/2" Cal.	8.8B	35	175
RO	2	Red Oak	QUERCUS rubra	2 1/2" Cal.	8.8B	35	70
BO	1	Burr Oak	QUERCUS macrocarpa	2 1/2" Cal.	8.8B	35	35
<b>ORNAMENTAL TREES</b>							
AG	2	Prairiefire Crabapple	MALUS 'Prairiefire'	1 1/2" Cal.	8.8B	15	30
PF	3	Pink Flair Cherry	PRUNUS saigneti 'S-F-KW58'	1 1/2" Cal.	8.8B	15	45
<b>UPRIGHT EVERGREEN SHRUBS</b>							
TO	10	Dark Green Arborvitae	THUJA occidentalis 'Smaragd'	3-4" Mn. Ht.	8.8B	10	100
HA	4	Holmstrup Arborvitae	THUJA occidentalis 'Holmstrup'	3-4" Mn. Ht.	8.8B	10	40
<b>EVERGREEN SHRUBS</b>							
JC	4	Sea Green Juniper	JUNIPERUS chinensis 'Sea Green'	12-24" Mn Ht.	# 3 Cont.	4	16
TY	12	Taunton Yew	TAXUS x 'media' 'Taunton'	12-24" Mn Ht.	# 3 Cont.	4	48
MA	36	Mini Arcade Juniper	JUNIPERUS sabina 'Mini Arcade'	12-24" Mn Ht.	# 3 Cont.	4	144
<b>DECIDUOUS SHRUBS</b>							
WS	6	Western Sandcherry	PRUNUS besseyi	12-24" Mn Ht.	# 3 Cont.	3	18
ID	3	Isanti Dogwood	CORNUS sericea 'Isanti'	12-24" Mn Ht.	# 3 Cont.	3	9
RA	20	Green Mound Alpine Currant	RIBES alpinum 'Green Mound'	12-24" Mn Ht.	# 3 Cont.	3	60
LD	7	Little Devil Ninebark	PHYSCOCARPUS opulifolius 'Little Devil'	12-24" Mn Ht.	# 3 Cont.	3	21
WB	8	Red Sprite Winterberry	ILEX verticillata 'Nana' 'Red Sprite'	12-24" Mn Ht.	# 3 Cont.	3	24
JD	2	Jim Dandy Winterberry	ILEX verticillata 'Jim Dandy'	12-24" Mn Ht.	# 3 Cont.	3	6
RC	8	Ruby Spice Clethra	CLETHRA alnifolia 'Ruby Spice'	12-24" Mn Ht.	# 3 Cont.	3	24
PF	23	Jackman Potentilla	POTENTILLA fruticosa 'Jackmanii'	12-24" Mn Ht.	# 3 Cont.	3	69
<b>ORNAMENTAL GRASSES/PERENNIALS</b>							
RS	23	Russian Sage	PEROVSKIA 'atriplicifolia'	10 - 12" Ht.	# 1 Cont.	2	46
LS	19	Little Spire Russian Sage	PEROVSKIA atriplicifolia 'Little Spire'	10 - 12" Ht.	# 1 Cont.	2	38
BES	68	Black-Eyed Susan	RUDBECKIA hirta var. 'fulgida'	10 - 12" Ht.	# 1 Cont.	2	136
LGS	45	Little Goldstar Black-Eyed Susan	RUDBECKIA fulgida var. 'sullivanii' 'Little Goldstar'	10 - 12" Ht.	# 1 Cont.	2	90
EPM	47	Rosy Star Purple Coneflower	ECHINACEA purpurea 'Rosy Star'	10 - 12" Ht.	# 1 Cont.	2	94
RR	55	Rosy Returns Daylily	HEBERCALLEX 'Rosy Returns'	10 - 12" Ht.	# 1 Cont.	2	110
CA	99	Karl Foerster Feather Reed Grass	CALAMAGROSTIS x 'acutiflora' 'Karl Foerster'	10 - 12" Ht.	# 1 Cont.	2	198
SSG	17	Northwind Switch Grass	PANICUM virgatum 'Northwind'	10 - 12" Ht.	# 1 Cont.	2	34
PR	78	Prairie Droseed	SPOROBOLUS heterolepis	10 - 12" Ht.	# 1 Cont.	2	156
NEA	18	New England Aster	SYMPHYOTRICHUM noveboracense	10 - 12" Ht.	3" Pot.	2	36
CR	13	Culver's Root	VERONICASTRUM virginicum	10 - 12" Ht.	3" Pot.	2	26
FS	50	Fox Sedge	CAREX vulpinoidea	10 - 12" Ht.	3" Pot.	2	100
NPO	31	Nodding Pink Onion	ALLIUM nemum	10 - 12" Ht.	3" Pot.	2	62
OG	23	Ohio Goldenrod	SOLIDAGO ohioensis	10 - 12" Ht.	3" Pot.	2	46
						<b>TOTAL</b>	<b>2429</b>

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SERVICES PROVIDED TO:  
**WALSH PROPERTIES, LLC.**

P.O. BOX 1497  
 MADISON, WI 53701

PROJECT:  
**5235 HIGH CROSSING BLVD**

PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

JSD PROJECT NO.: 15-6792

SEAL/SIGNATURE:

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DESIGN: KJV, ABK 06/23/2015  
 DRAWN: KJV, ABK 06/23/2015  
 APPROVED: JLF 06/23/2015

PLAN MODIFICATIONS:	DATE:
UDC INITIAL - FINAL	05/27/2015
UDC INITIAL - FINAL RESUBMITTAL	06/24/2015
UDC FINAL RESUBMITTAL	08/26/2015
SITE PLAN VERIFICATION	09/22/2015
SITE PLAN VERIFICATION RESUBMITTAL	03/31/2016
SITE PLAN VERIFICATION RESUBMITTAL	04/13/2016
LAND USE UPDATE	05/04/2016

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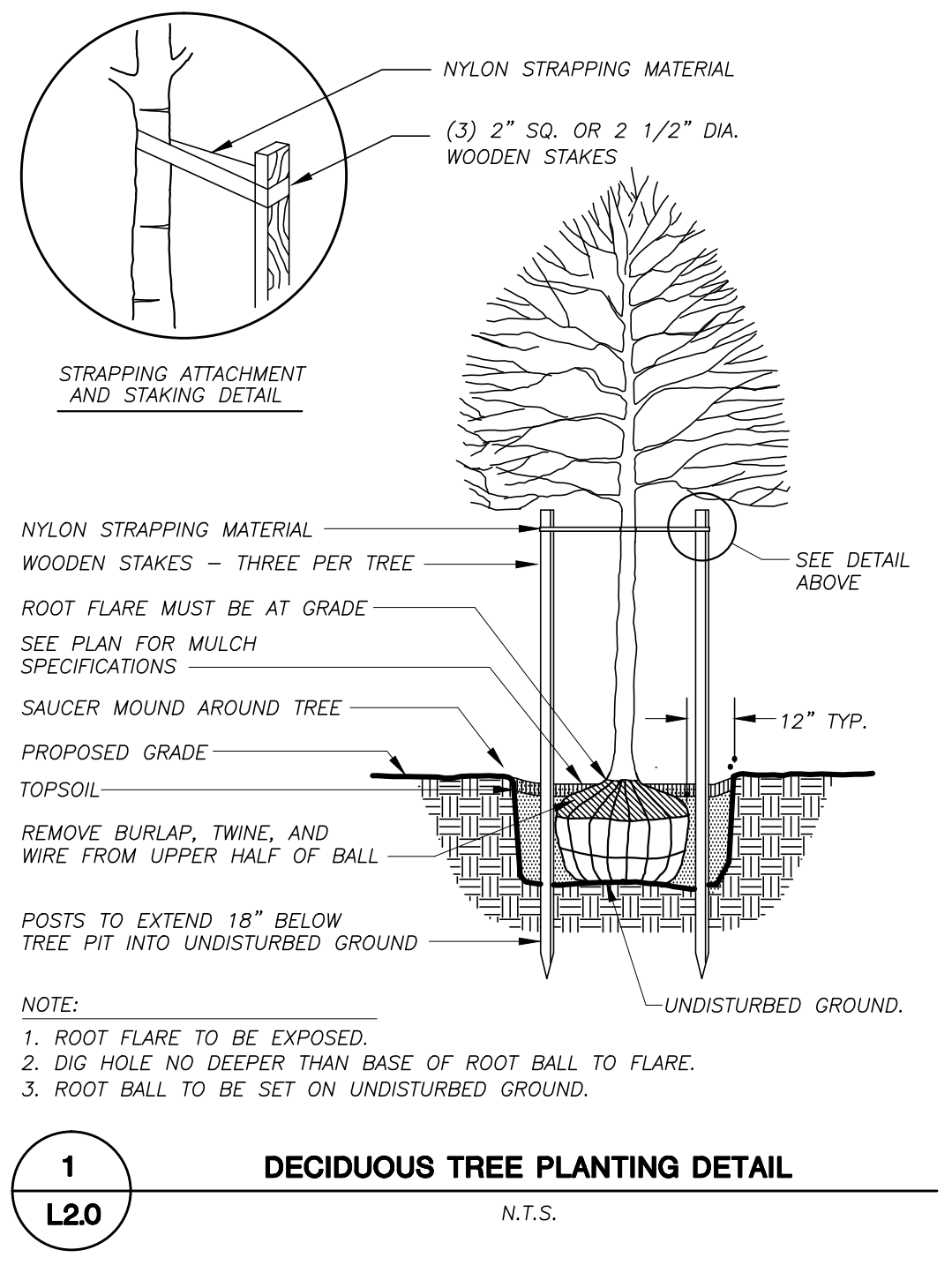
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SHEET TITLE:  
**LANDSCAPE PLAN**

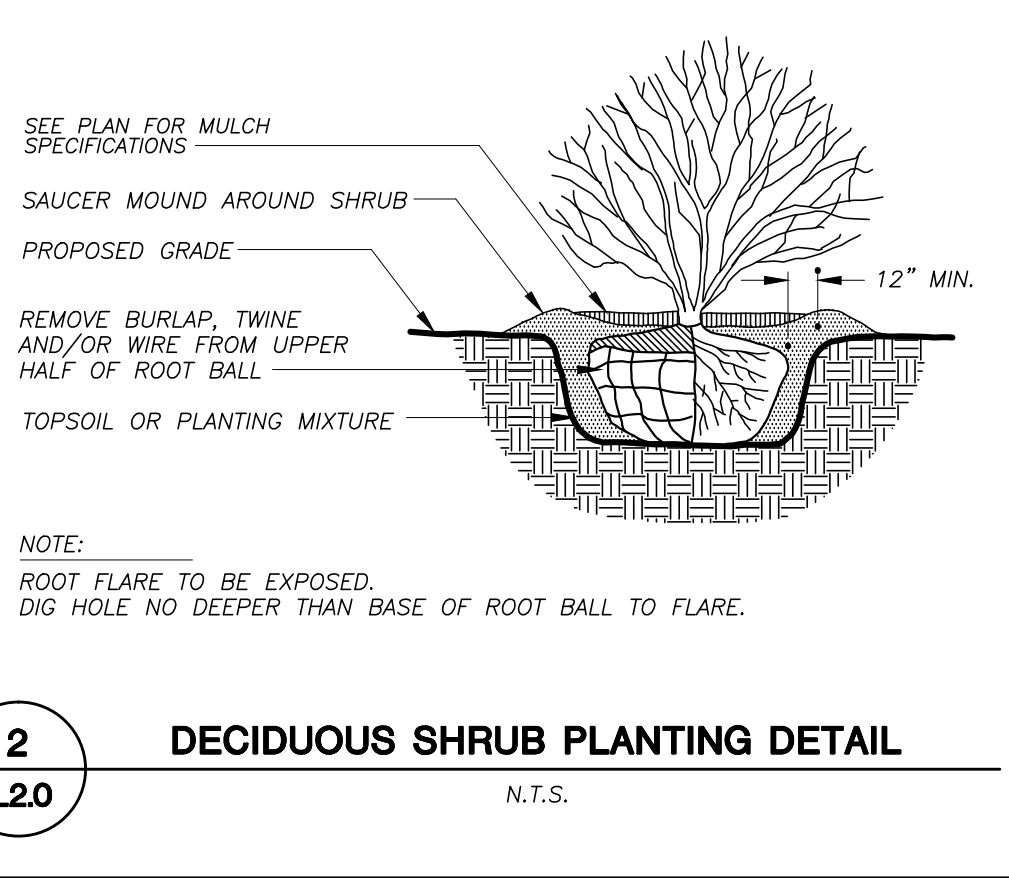
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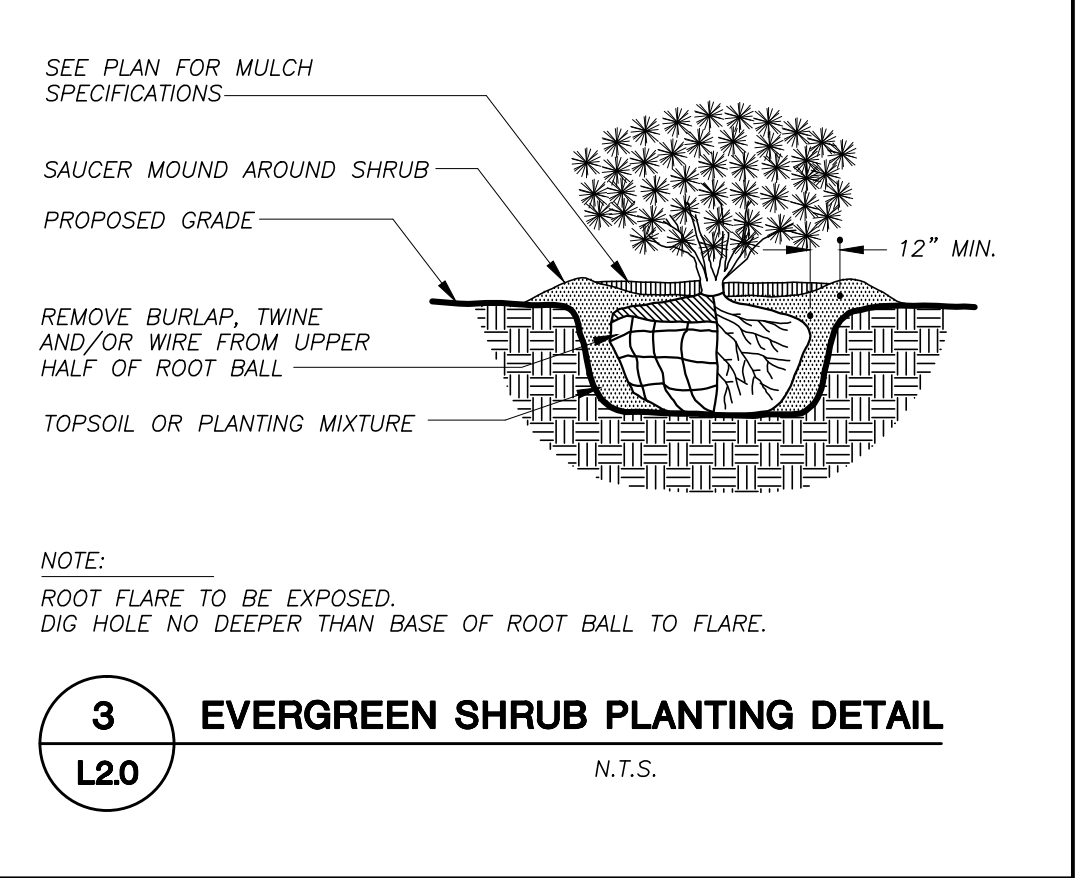




**1 DECIDUOUS TREE PLANTING DETAIL**  
N.T.S.



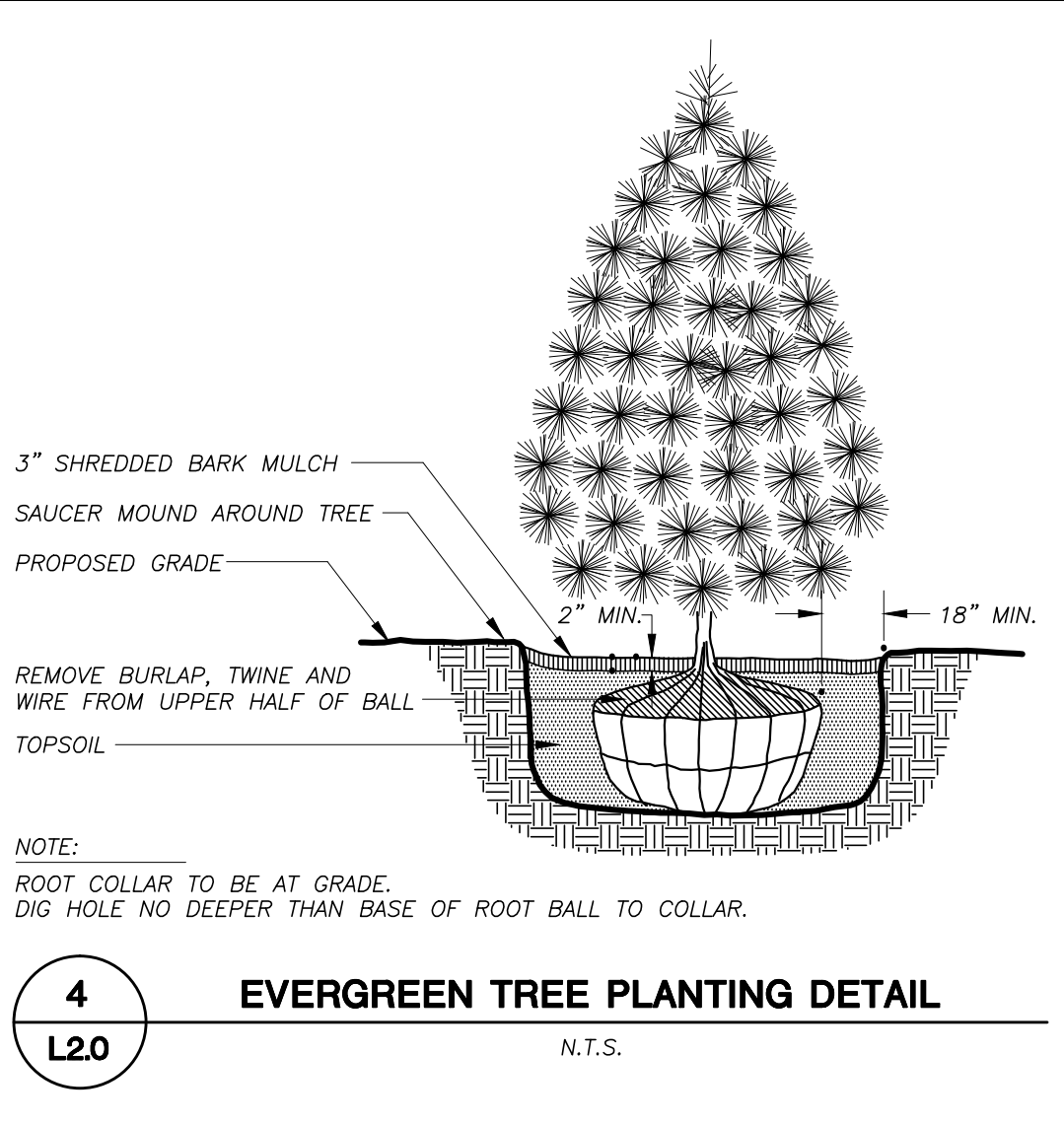
**2 DECIDUOUS SHRUB PLANTING DETAIL**  
N.T.S.



**3 EVERGREEN SHRUB PLANTING DETAIL**  
N.T.S.

**LANDSCAPE NOTES AND SPECIFICATIONS**

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL:** PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:  
1. PLANTING AREAS = 24"  
2. TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.**
- MATERIALS - ALL PLANTING AREAS SHALL RECEIVE FINELY SHREDDED, WEED FREE, HARDWOOD BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.**
- MATERIALS - TREE RINGS:** ALL TREES PLANTED IN SOODED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF THREE INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC:** ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - EDGING:** EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS:** SOD ALL AREAS SPECIFIED ON PLAN PER THESE NOTES: TURFGRASS SOD: CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO .5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP:** DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 60 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHARPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



**4 EVERGREEN TREE PLANTING DETAIL**  
N.T.S.



**CITY OF MADISON  
LANDSCAPE WORKSHEET**  
Section 28.142 Madison General Ordinance

Project Location / Address 2906 MARKETPLACE DRIVE MADISON, WI 53719  
Name of Project 5235 HIGH CROSSING BLVD.  
Owner / Contact WALSH PROPERTIES, LLC.  
Contact Phone (608) 848-5060 Contact Email JUSTIN.FRAHM@JSDINC.COM

**\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\***

**Applicability**

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

**Landscape Calculations and Distribution**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and decking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 49,993  
Total landscape points required 833

- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area \_\_\_\_\_  
Five (5) acres = 217,800 square feet  
First five (5) developed acres = 3,630 points  
Remainder of developed area \_\_\_\_\_  
Total landscape points required \_\_\_\_\_

- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area \_\_\_\_\_  
Total landscape points required \_\_\_\_\_

10/2013

**Tabulation of Points and Credits**

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			17	595
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			5	75
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			14	140
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			77	231
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			54	216
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			586	1172
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
<b>Sub Totals</b>						<b>2429</b>

**Total Number of Points Provided 2429**

\* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

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**SERVICES PROVIDED TO:**

**WALSH PROPERTIES, LLC.**

P.O. BOX 1497  
MADISON, WI 53701

**PROJECT:**

**5235 HIGH CROSSING BLVD**

**PROJECT LOCATION:**

**CITY OF MADISON  
DANE COUNTY, WI**

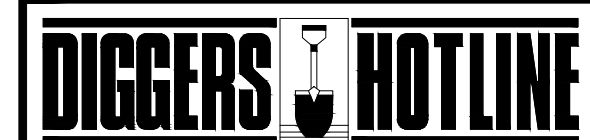
JSD PROJECT NO.: **15-6792**

**SEAL/SIGNATURE:**

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: KJY, ABK 06/23/2015  
DRAWN: KJY, ABK 06/23/2015  
APPROVED: JLF 06/23/2015

PLAN MODIFICATIONS:	DATE:
UDC INITIAL - FINAL	05/27/2015
UDC INITIAL - FINAL RESUBMITTAL	06/24/2015
UDC FINAL RESUBMITTAL	08/26/2015
SITE PLAN VERIFICATION	09/22/2015
SITE PLAN VERIFICATION RESUBMITTAL	04/13/2016
LAND USE UPDATE	05/04/2016



Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
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**SHEET TITLE:**

**LANDSCAPE DETAILS,  
NOTES AND  
SPECIFICATIONS**

**SHEET NUMBER:**

**L2.0**