

URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at: http://www.cityofmadison.com/planning/documents/UDCapplication.pdf

215 Martin Luther King Jr. Blvd; Room LL-100 PO Box 2985; Madison, Wisconsin 53701-2985 Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: March 23, 2016	☐ Informational Presentation
UDC Meeting Date: May 11, 2016	☑ Initial Approval
Combined Schedule Plan Commission Date (if applicable):	✓ Final Approval
1. Project Address: 404, 400, 5 410 West Washington Project Title (if any): 400 West Washington	ington Ace/8, 10-12, 14 North Broom Street
TOTAL TO THE TOTAL	
 This is an application for (Check all that apply to this UDC application. New Development Alteration to an Existing or P 	
	Mixed-Use District (UMX) (\$150 fee, Minor Extenor Alterations) utional District (CI) or Employment Campus District (EC) ex Street Graphics Variance* (public hearing-\$200 fee)
3. Applicant, Agent & Property Owner Information: Applicant Name Stophen Bus	company: Up Urban Properties, LLC
Street Address: 22 00 White Oak Circle, Stc. 101 Telephone: (312) 590-9700 Fax:)	Email: Sous @ upcampus properties.com
Project Contact Person: Melisaa Huggins	company Urban Assets, LLC
Street Address: No North Carroll Street, Suite 530	City/State: Made son, WI Zip: 53703
Telephone:(600) 345 - 0996 Fax:()	Email: melissa@urbanassetsconsulting.com
Project Owner (if not applicant): Cardina / Group Wisconsin Street Address: 4100 E. Mississippi Ave , FLoor 15 Telephone: () Fax:()	City/State: Denver, CO Zip: 80246 Email: Neeley@cardinalgroup.com
A. Applicant Declarations: A. Prior to submitting this application, the applicant is required to discuss the application was discussed with AL Martin.	ne proposed project with Urban Design Commission staff. This 2/15/2016
The application deadline, the application will not be placed on an Urban Dos	determines the control of the contro
Name of Applicant Uplerton Property / Co	Relationship to Property Control Relian
Authorized Signature	Date 3/22/2016



April 14, 2016

City of Madison Planning Division
Department of Planning & Community & Economic Development
215 Martin Luther King Jr. Boulevard
Madison, WI 53703

Attention: Mr. Kevin Firchow

Re: 404, 408 & 410 West Washington Avenue/8, 10-12, &14 North Broom Street, Demolition, Rezoning,

Conditional Use, and Redevelopment

Dear Members of the Common Council, Plan Commission, and Urban Design Commission:

Please accept this Letter of Intent, Application, and attachments as our formal request for a rezoning and conditional use review and approval by the City of Madison for the redevelopment of the above listed six properties located at the corner of West Washington and North Broom Street.

Project Team:

Owner:

Stephen Bus

Managing Principal, Up Urban Properties, LLC

Downtown: 152 W Huron, Suite 100, Chicago, IL 60654
Mailing: 2280 White Oak Circle, Suite 101, Aurora, IL 60502

312.590.9700

sbus@upcampusproperties.com

Architect:

Aro Eberle

16 King Street, #202 Madison, WI 53703 Contact: Doug Pahl 608.204.7464

pahl@aroeberle.com

Civil Engineer:

Kimley-Horn

200 South Executive Drive, Suite 101, Brookfield, WI 53005

Contact: Scott Maier Office: 262.789.6714 Cell: 262.765.0564

Scott.maier@kimley-horn.com



Landscape Architect:

Ken Saiki Design, Inc. 303 South Paterson Madison, WI 53703 Contact: Joe Porter 608.251.3600 JPorter@ksd-la.com

Project Overview:

The project site is located on the northwest corner of West Washington Avenue and North Broom Street, providing a transition from the predominantly student neighborhood along West Washington Avenue and Mifflin Street to the high-rise condominium and commercial office neighborhood located in the Downtown Core, as defined by the City of Madison Downtown Master Plan. The proposed building consists of a total of 81,228 SF with a total of 86 units including 59 studios, 1 one-bedroom, 15 two-bedrooms, and 11 three-bedrooms. Amenities include a rooftop terrace, lobby/gathering space that opens onto a large communal front porch.

The proposed building, which is located within walking distance of the Downtown and University, and is on three high frequency Metro bus lines as well as one of the Epic bus lines, is intended to be a transit oriented development (TOD). Vehicle parking is therefore limited to 34 stalls. There are 18 moped stalls in the parking garage and 75 bike stalls, with 59 located in the parking garage and 16 located at grade to the west of the building.

The proposed building will be marketed primarily to young professionals, though it will also likely attract some mature students (e.g. graduate students and upperclassmen) given its proximity to the Mifflin and Bassett neighborhoods. The high percentage of studios is intended to provide an affordable option for young professionals. The studios will be furnished with high quality built-in bed/storage units, thereby maximizing the available living area. Up Urban Properties has successfully built similar properties in both Chicago and Seattle.

The proposed building is in the Capital Neighborhoods Inc., Miffland District, and Aldermanic District 4, Ward 40.

Existing Conditions:

The existing property includes six older multi-unit homes consisting of a total of 11 units and 8-9 parking spaces serving approximately 53 residents. The current zoning is Planned Development, which was established in order to accommodate the relocation of 410 West Washington Avenue (in the back of the proposed project site) in 2000.

The Landmarks Commission has reviewed the demolition application and has determined that the six buildings have
historic value related to the vernacular context of Madison's built environment," but the buildings themselves are
not historically, architecturally or culturally significant." One of the buildings, however, 10-12 North Broom
Street, was designed by the architect Robert Wright (no relation to Frank Lloyd Wright) for James Nevin, who lived
next door at 14 North Broom Street. At the request of Preservation Staff, Up Urban Properties will transfer ownership
of the building to any interested party as well as provide \$10,000 to defray the cost of moving it to another location.



Staff and Neighborhood Input:

Up Urban Properties engaged Urban Assets to coordinate and facilitate meetings with Alder Verveer, city staff, and the Miffland District Neighborhood.

In keeping with Capital Neighborhoods Inc.'s past practices, a Miffland District Neighborhood Steering Committee was convened. The Steering Committee began meeting on February 10th and has met a total of six times to date. In addition to presenting at the regularly scheduled Miffland District Neighborhood Meeting on March 2nd, a full neighborhood meeting was held on March 8th. A second neighborhood meeting will be held during the last week in April. It is the intention of the development team to work collaboratively with the neighborhood to build consensus for the proposed project.

The development team has been in regular contact with Alder Verveer, with the first meeting occurring on February 10th. Alder Verveer has also been able to participate in a number of the Steering Committee Meetings and has received the notes from the meetings with planning and zoning staff.

The development team first met with city staff on January 27th and has continued to consult with them regularly either at in-person meetings or via email or phone.

Rezoning:

At zoning staff's recommendation, we are requesting that the property be rezoned to Downtown Residential 2 District (DR-2), which will bring it in line with the surrounding properties on West Washington Avenue, North Broom Street, and West Mifflin Street. The unit mix provides an average point value of 1.25.

Mapping Setbacks:

The parking below grade encroaches into the front and back setbacks by 5' and 15', respectively. Per the Zoning Administrator's direction, we are requesting this below grade setback, which is allowable under the zoning code, be mapped.

Required Step Back:

The required side setback, according DR-2, is 5' on West Washington Avenue. In order to better respond to the existing context of the buildings and porches along West Washington Avenue, however (see Setback Context Exhibit in plan set), west end the building is designed with a 12' setback from the property line at the first floor and a 13' setback for floors 2-4; the east end of the building has a 15' setback from the property line for floors 1-4. If the additional two stories are granted, the project will be required to have a 30' step back at the fifth floor. The 30' setback at the fifth floor responds to the 13 foot setback and 15 foot setback, respectively.

Lot Coverage and Open Space:

The proposed building and impervious paving will occupy 79% of the site – 80% is allowable per DR-2 zoning. The building also features 5,025 SF of usable open space – 2,460 SF required per DR-2 Zoning. This calculation does not include the balconies as currently most do not meet the 4'6" minimum. Total balcony space, however, is 2,607 SF.



Sustainability:

An increase in density within the Downtown increases sustainability. Other sustainable features of the project include:

- Sustainable TOD Site:
 - Immediately adjacent to three high frequency Metro lines (38, 82, 27) and a dedicated Epic bus line (75). There are 100+ bus arrivals per day at the West Washington & Broom intersection.
 - b. Walking distance to Capitol Square, UW Campus, State Street and lakes.
 - Car Alternatives: Use of intelligent mix of moped spaces, bike spaces, and transit. Site has
 excellent Community Connectivity.
 - d. Open Space: Project exceeds the open space requirements in the Downtown Plan.
 - e. Stormwater Design: Project increases the amount of permeable surface on the site.
- Water Efficiency: Reduced indoor water use with installation of water-efficient fixtures and on-demand water heating systems. Landscaping designed with climate-tolerant vegetation that can survive natural amounts of rainfall, and usage of drip irrigation to maintain greenery year-round.
- 3. Energy & Atmosphere:
 - Building envelope and mechanical systems designed for optimal energy performance. "On demand" mechanical and plumbing systems reduce heat loss in non-peak usage.
 - b. Use of low-E glass.
 - Optimized Energy Performance vs. old existing buildings: Older buildings are notoriously energy inefficient for the number of occupants that reside in them.
- 4. Materials & Resources: Materials from renewable sources (wood framing), materials with high insulation coefficient (brick and stone masonry), and materials with high recycled content, including composite fiber cement board, metal panels and concrete structure. Use of durable building materials to ensure longevity without replacement and less lifetime maintenance. Potential re-use of one of the existing buildings (see "Existing Conditions" section). Storage and collection of recyclables and reduction of construction waste.
- Indoor Environmental Quality:
 - Specific low-emitting materials that release fewer and less harmful chemicals to improve air quality of interior of building.
 - Balance of daylight access through at least one full-height window/door in all units vs. reasonable reduction in solar heat-gain through strategic placement of larger glass zones.
 - c. Natural ventilation in the form of operable windows.
 - Exceeding minimum transparency requirements to provide more natural daylighting and solar heat gain.

Downtown Design Guidelines:

The proposed project has been designed to meet requirements of the Downtown Design Guidelines. The proposed project meets the following specific criteria:

- 1. Parking is located underground.
- 2. Parking garage opening on Broom Street is no higher than 16' and no wider than 22'.
- 3. Primary entrance to the proposed project is located on West Washington Avenue.



- The entryway is clearly visible and identifiable from the street and delineated by a recessed entryway and porch overhang.
- The proposed building facades are articulated through the use of step backs and changing materials and patterns. The balconies reinforce the vertical intervals.
- 6. The ground story height is 12'. The upper story heights are 10'-9".
- 7. The glazing percentage required is 15%. The glazing for the proposed building façades is as follows:

a. North: 20.5%b. South: 28%

c. East: 31%

d. West: 20.8%

- Clear glass will be used on all windows to allow views into and out of the interior.
- The proposed building will be constructed of durable, high quality materials including limestone, brick, metal panel, and high-density fiber cement. Wood will be used as an accent on the front porch and the balconies.
- 10. All rooftop equipment will be screened in compliance with the design guidelines.

Conditional Use:

The proposed building sits within the four story height district in the Downtown Height Map, but is allowed an additional two stories as a conditional use, based on the Additional Height Areas Map, in conjunction with a 30-foot step back. We are requesting the additional two stories based on meeting the following criteria:

Criteria A: The excess height is compatible with the existing or planned (if recommendations in the Downtown Plan call for changes) character of the surrounding area, including but not limited to the scale, mass, rhythm, and setbacks of buildings and relationships to street frontages and public spaces.

With regards to West Washington Avenue, the Downtown Plan states on page 50:

"Substantial redevelopment with larger, taller buildings is anticipated over time, and long-term preservation of older structures is not a specific recommendation, except in the case of designated landmarks."

The Downtown Plan recommends that West Washington Avenue redevelop and densify over time, with four stories by right and the potential for an additional two stories as a conditional use. The proposed building is adjacent to the Mifflin Street height district, which is six stories by right and across the street from an eight story district (please refer to Allowable Height District Comparison in the plan set). 825 West Washington, located down the block across West Washington, is five stories.

 According to the Downtown Plan, West Washington is intended to be a "grand boulevard" leading to the Capitol. Key to this recommendation is the maintenance of the expansive, green terrace and the tree canopy.

The proposed building's set backs are in keeping with the rhythm of the terrace along West Washington. The west portion of the proposed building is set back 13' from the property line at the ground floor and 12' at levels 2-4; the east portion is set back 15'. If we assume the edge of the sidewalk is 2.5' from the property line, then those setbacks become 15.5', 14.5' and 17.5' respectively. The setbacks from the back of the



sidewalk for the existing properties along the same block range from approximately 8-19' with an average of 15'. The setback for the newer building on the southeast corner of West Washington and South Broom Street is 6'. The setback for Metropolitan Place to the east ranges from 3'4" at the tower to 11.5' in front of Maharini and east of the tower.

The area between sidewalk, building front, stairs, and communal porch is well landscaped, including the addition of four new ornamental trees, in order to further support the feeling of a "grand boulevard". There are two large, healthy trees West Washington located in front of the project site. These will be carefully protected during construction to ensure their health and longevity.

3. One of the key architectural features of West Washington Avenue that contributes to its vibrancy and sense of community are the outdoor living spaces provided by the porches. The proposed building maintains the residential feel of West Washington by placing a two-bedroom unit with a balcony on the first floor. This rhythm is carried forward along first floor of North Broom Street as well. The proposed building includes a 500 SF communal front porch at the corner, which can be expanded by opening up the glass wall to the lobby/gathering area.

Criteria B: The excess height allows for a demonstrated higher quality building than could be achieved without the additional stories.

- 1. Adding two stories allows us to provide the contextually sensitive setback along West Washington, providing the opportunity for more landscaping and community space, and a generous side yard setback on the west. This leaves 1,900 SF of buildable site open, which over four floors, equals 7,600 SF of buildable site left open. The additional two stories provides the opportunity to recapture this space as leasable square footage on floors 5-6 (please refer to the Building Form Exhibit in the plan set).
- 2. A full first story of limestone wraps the building along West Washington Avenue, North Broom Street, and the publicly accessible western side of the building. Limestone also defines the communal porch and first floor balconies, creating a warm and inviting experience for the pedestrian. More varied and higher quality materials, including limestone, brick, metal panel, wood, and high density cement panels creates a lively, attractive building that is of its time but also echoes some of the surrounding materials and colors.
- 3. The additional two stories and the articulation of the materials and the roofline give the building a stronger, more elegant appearance than would a simple four story building. In addition, the two additional stories create a more seamless transition from the West Washington Height District to the Mifflin Street Height District, which is six stories by right (Please refer to Allowable Height District Comparison Exhibit in the plan set).
- 4. A larger building with more residents creates the opportunity for more amenities, including the 500 SF communal porch that can be expanded into the lobby/gathering space with a moveable glass wall, and the 1,500 SF rooftop terrace. The communal porch will not only benefit the residents, but will also increase engagement between the property and surrounding neighborhood, and provide a sense of place and safety for pedestrians and people waiting for the bus.



- DR-2 requires 2,460 SF of usable open space—with the additional stories, we are able to provide 5,025 SF, or more than double what is required. If the 2,607 SF of balcony space is included, the amount of usable open space increases to 7,632 SF, or more than triple what is required.
- Two additional stories provide greater density that provides the opportunity for rooftop HVAC systems which
 are more energy efficient and avoids unsightly openings in the architectural skin (no "magic packs").
- Exceeding minimum transparency (glazing) requirements provides for more daylight for occupants and creates a more dynamic building façade. The proposed building exceeds the 15% required glazing by a range of 5 to 16%

<u>Criteria C: The scale, massing and design of the new buildings complement and positively contribute to the setting of</u> any landmark building with or adjacent to the project and create a pleasing visual relationship with them.

NOT APPLICABLE

Criteria D: For projects proposed in priority viewsheds and other views and vistas identified on the Views and Vistas Map in the City of Madison Downtown Plan, there are no negative impacts on the viewshed as demonstrated by the viewshed studies prepared by the applicant.

 The proposed building does not impact views or vistas of the Capitol. Please refer to the renderings placed in context on the Set Back Exhibit in the plan set, which includes views looking east and west.

<u>Downtown Plan, Appendix C: Additional stories are to be used as a tool to encourage and reward buildings of truly exceptional design that respond to the specific context of their location and accomplish specific objectives defined for the area.</u>

The determination of whether or not this project can be considered "exceptional design" is the purview of the Urban Design Commission. To aid in this determination, we would like to highlight a few of the specific Downtown Plan objectives and recommendations that this proposed project addresses:

- Objective 2.4: Encourage higher density infill and redevelopment that is innovative and sustainable, and complements and enhances the areas in which they are proposed.
- Recommendation 17: Guide development to locations recommended in the plan for buildings of corresponding height and scale.
- Recommendation 18: Promote high quality architecture and craftsmanship for new buildings to reinforce Downtown as an engaging and attractive employment location.
- Recommendation 33: Increase the supply of attractive, affordable work-force housing and executive housing.
- Recommendation 53: Enhance the special character of West Washington Avenue, including the preservation of wide terraces with mature canopy trees.



- Recommendation 48: Seek to implement transit-oriented development principles in locations near existing and proposed transit stops.
- Recommendation 85: Maintain and enhance West Washington Avenue as a "grand boulevard" entryway to Downtown, with wide terraces (but not a median); large canopy street trees; consistent building setbacks; and special lighting, signage and other streetscape improvements.
- Recommendation 86: Restrict vehicle pull outs, wide driveways and street facing garages or parking
 areas on the West Washington frontage, and encourage cooperative solutions to vehicle access and
 parking, including underground parking and shared parking, to reduce driveway cuts and facilitate
 development of larger footprint buildings.

Project Schedule:

The project is scheduled to begin construction in the summer of 2017 with completion in August 2018.

Hours of Operation:

Yearlong operation, 24 hours per day, seven days per week.

Value of the Land: \$608,900

Estimated Project Cost: \$10,500,000

Number of Construction Jobs Created: 60-90 construction jobs

Number of Full Time Equivalent Jobs Created: 3 full-time jobs for leasing, maintenance, and management

Public Subsidy Requested: None requested.

We look forward to working with the City and Neighborhood to develop a successful project on this important gateway to the Downtown Core.

Regards,

Stephen Bus

Sephen Bus

Managing Principal, Up Urban Properties

RESUBMITTAL 04/14/2016



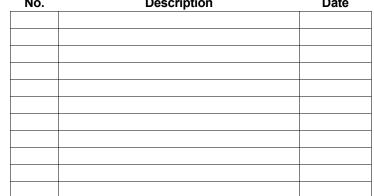








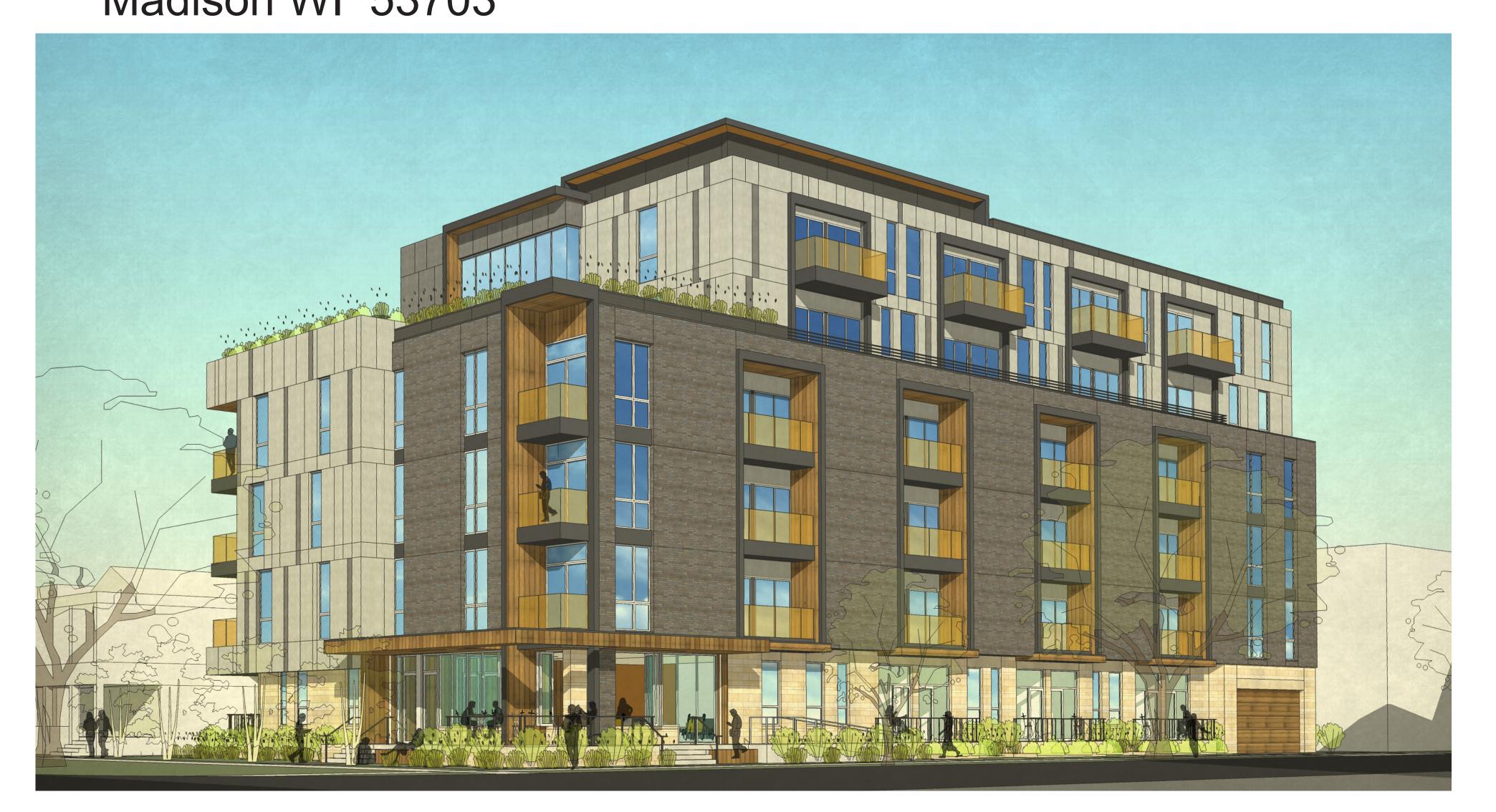




PROJECT

LOCATION

400 West Washington Ave Madison WI 53703



Project Data

PROJECT INFORMATION	
LOCATION:	
Capital Neighborhoods	
Alder District 4, Alderman Mic	chael E. Verveer
ZONING	
DR2: Downtown Residential	2
LOT AREA:	3000 SF
LOT WIDTH:	30 FOR 1,2 AND 3 UNIT BLDGS. 40 FOR 4- UNIT
	BLDGS AND HIGHER. AND FOR NON RESIDENTIAL
	AND MIXED USE
FRONT YARD SETBACK:	10'
SIDE YARD SETBACK:	5'
REAR YARD SETBACK:	LESSER OF 20% LOT DEPTH OR 20'
MAX LOT COVERAGE:	20%
MAXIMUM HEIGHT:	2 STORIES
MAXIMUM HEIGHT:	4 STORIES * PER ADDITIOAL HT MAP
	SECTION 28.071 (2) (B) BUILDINGS ALONG THE FRONTAGE
	OF 400 AND 500 BLOCKS OF
	WEST WASHINGTON AVE MAY BE ALLOWED
	TWO (2) ADDITIONAL STORIES ABOVE THE FOUR (4)
	BLDG HEIGHT LIMIT PROVIDED THERE IS A
	30'-0" STEPBACK
STEPBACKS:	30 FT ABOVE 4 STORIES WHEN ADJACENT TO
	WASHINGTON AVE.
USABLE OPEN SPACE:	20 SF PER BEDROOM REQUIRED FOR A TOTAL OF 2460 SF.
	5025 SF. PROVIDED*
	Does not include private balconies- most do not meet 4.5' min. dimension
	PROJECT IS IN PROTECTED VIEW AND VISTAS CORRIDOR
	MAJOR TRANSIT EXISTS ON BOTH STREETS

Approx. Unit Areas	820	1,100	950	850	400	320		
New Construction	1x1 D.O.	3X3 D.O.	3x3	2x2	Studio D.O.	Studio	Units/Floor	Bedroom/Floor
Parking LL1								
Floor 1 (lobby + residential +	1	0	1	2	0	8	12	16
Floor 2 (residential)		1	1	3	6	5	16	23
Floor 3 (residential)		1	1	3	6	5	16	23
Floor 4 (residential)		1	1	3	6	5	16	23
Floor 5 (residential)		1	1	2	0	9	13	19
Floor 6 (residential)		1	1	2	0	9	13	19
Total	1	5	6	15	18	41	86	123
% OF TOTAL UNITS	9%	6%	4%	11%	22%	48%	Total Units	Total Bedrooms

Studio (0.75)	44.25
One Bedroom (1)	1
Two Bedroom (2)	30
Three bedroom (3)	33
Average Point Value:	1.25
Average Point Value to Beat:	1.25
Parking I1 - Residential	34
u	34 34
I1 - Residential Total	
	34

JNIVERSITY AV

UP Urban Properties

400 West Washington

400 W Washington Avenue Madison, WI 53703

Project Status	
Project number	###
Date	Issue Dat

West Washington at Broom Street

SHEET INDEX

EAST ELEVATION

C1.0	COVER SHEET	P000	COLOR RENDERINGS
C2.0	EXISTING CONDITIONS PLAN	P100	COLOR ELEVATIONS - SOUTH
C3.0	DEMOLITION PLAN	P101	COLOR ELEVATIONS - WEST
C4.0	SITE PLAN	P102	COLOR ELEVATIONS - NORTH
C5.0	EROSION CONTROL PLAN	P103	COLOR ELEVATION - EAST
C6.0	GRADING PLAN	P104	CONTEXT IMAGERY
C7.0	DRAINAGE PLAN	P105	CONTEXT IMAGERY
C8.0	UTILITY PLAN	P106	SHADOW STUDY
C9.0	GENERAL NOTES	L100	SITE AND FIFTH FLOOR TERRACE PLANTING PLANS
C10.0	CONSTRUCTION DETAILS	L200	LANDSCAPE IMAGERY
C10.1	CONSTRUCTION DETAILS	E100	PHOTOMETRIC PLAN
A100	LOWER LEVEL		
A101	FIRST FLOOR	EX1	EXHIBIT: CONTEXTUAL HEIGHT ANALYSIS ELEVATIONS
A102	FLOORS TWO THROUGH FOUR	EX2	EXHIBIT: CONTEXTUAL HEIGHT ANALYSIS ELEVATIONS
A105	FLOORS FIVE AND SIX (SIM)	EX3	EXHIBIT: CONTEXTUAL HEIGHT ANALYSIS 3D VIEWS
A107	ROOF PLAN	EX4	EXHIBIT: CONTEXTUAL HEIGHT ANALYSIS 3D VIEWS
A400	SOUTH ELEVATION	EX5	EXHIBIT: SETBACKS
A401	WEST ELEVATION	EX6	EXHIBIT: BUILDABLE AREA
A402	NORTH ELEVATION		



Project location

UP MADISON HOUSING

FINAL ENGINEERING PLANS

400 WEST WASHINGTON MADISON, WI 53709

PROJECT TEAM

OWNFR

UP CAMPUS PROPERTIES, LLC 2280 WHITE OAK CIRCLE, SUITE 101 AURORA, IL 60502 TEL: (312) 590-9700 CONTACT: STEPHEN BUS

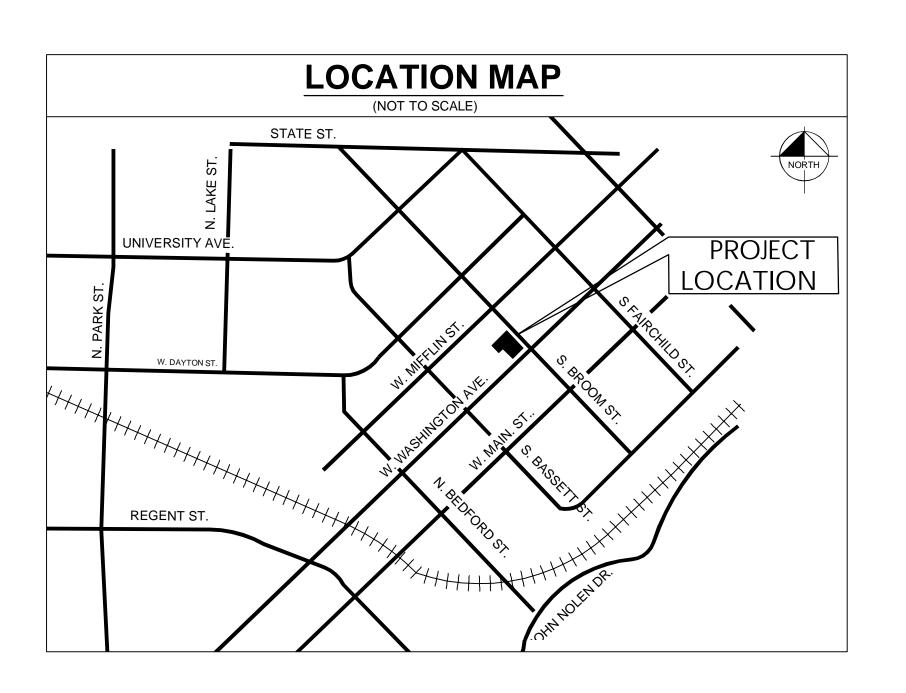
CIVIL ENGINEER

KIMLEY-HORN 200 SOUTH EXECUTEVE DRIVE, SUITE 101 BROOKFIELD, WI 53005 TEL: (262) 789-6714

LANDSCAPE ARCHITECT KEN SAIKI DESIGN

KEN SAIKI DESIGN
303 S. PATERSON STREET, SUITE 1
MADISON, WI 53703
TEL: (608) 251-3600
CONTACT: JOE PORTER

ARCHITECT
ARO EBERLE
116 KING STREET, SUITE 202
MADISON, WI 53703
TEL: (608) 204-7464
CONTACT: LINDA PAGE



	INDEX OF SHEETS				
•	Sheet Number	Sheet Title			
	C1.0	COVER SHEET			
	C2.0	EXISTING CONDITIONS PLAN			
	C3.0	DEMOLITION PLAN			
	C4.0	SITE PLAN			
	C5.0	EROSION CONTROL PLAN			
	C6.0	GRADING PLAN			
	C7.0	DRAINAGE PLAN			
	C8.0	UTILITY PLAN			
	C9.0	GENERAL NOTES			
	C10.0	CONSTRUCTION DETAILS			
	C10.1	CONSTRUCTION DETAILS			

LEGAL DESCRIPTION

LEGAL DESCRIPTION Parcel A:

The Southeast 33 feet of the Northwest 66 feet of Lot 10, And the Southeast 33 feet or the Northwest 66 feet of Lot 11, and the Northwest 33 feet of Lot 10 and the Northwest 33 feet of Lot 11, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.

(10-14 N. Broom St., 410 W. Washington Ave., Madison, WI)

Tax ID No. 251/0709-231-1602-8

Parcel B

The Northeast one-half of the Southeast 99 feet of Lot 11, and the Southwest 3 feet of the Southeast 99 feet of Lot 10, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.

(408 W. Washington Ave., Madison, WI) Tax ID No. 251/0709-231-1640-8

Parcel C

The Northwest 33 feet of the Northeast 63 feet of the Southeast 99 feet of Lot 10, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.

(8 N. Broom St., Madison, WI) Tax ID No. 251/0709-231-1601-0

D. . . . I D

The Southeast 66 feet of the Northeast 63 feet of Lot 10, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin. (404 W. Washington Ave., Madison

BASIS OF BEARINGS
Bearings are referenced to the Northwest line of Washington
Avenue which issumed to bear N44°54'49"E.

Vertical datum is based on North American Vertical
Datum of 1988 (NAVD 88)



116 King St, Suite 202 (608) 204-7464 Madison, WI 53703 AroEberle.com











N	0.	Description	Date
	I E	BUILDING MDOFICATION	4/12/16

UP Campus Properties

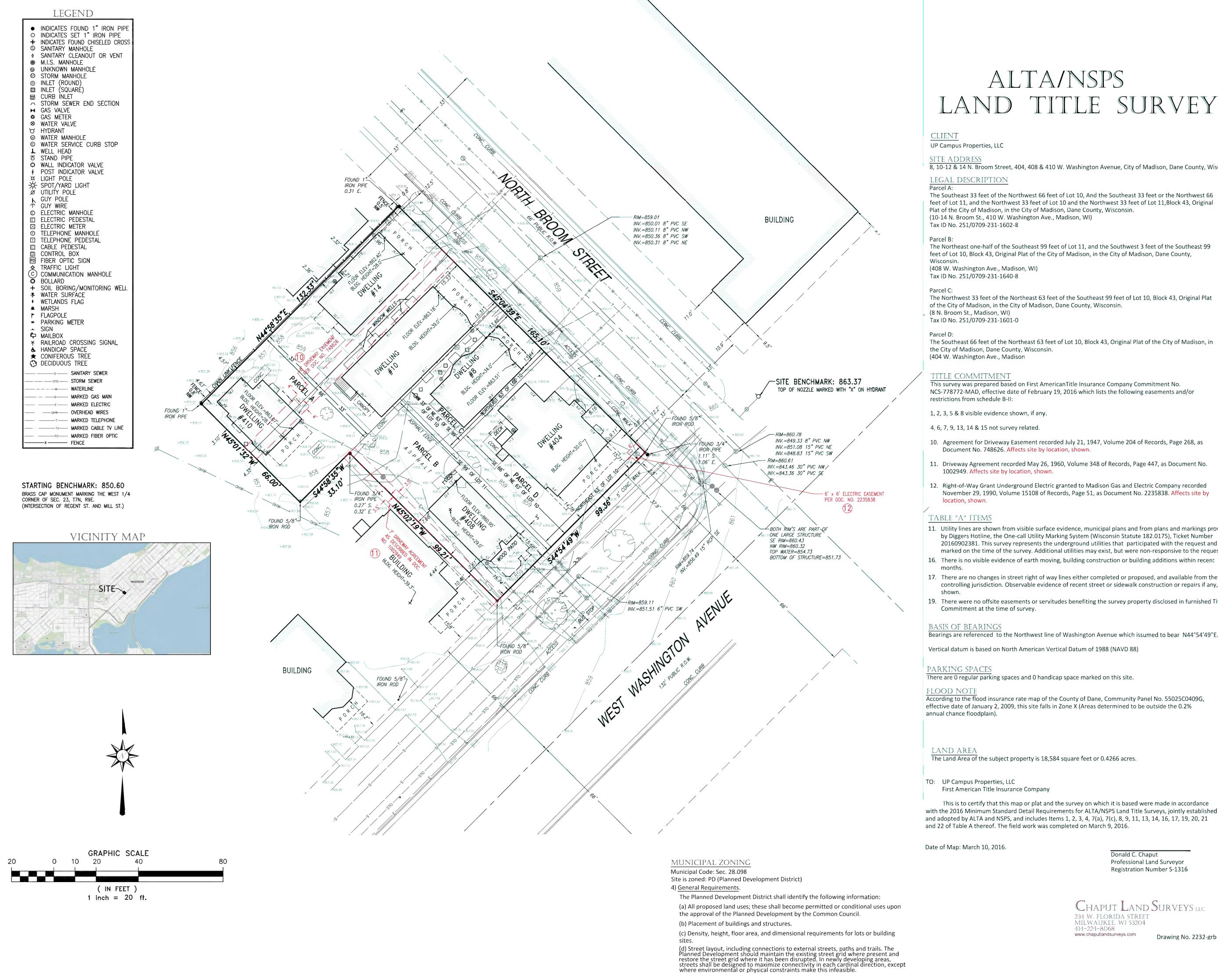
400 West Washington

400 W Washington Avenue Madison, WI 53703

COVER SHEET

CIVIL ENGINEERING PLANS	
Project number	16845400
Date	03/23/1

C1.0



ALTA/NSPS LAND TITLE SURVEY

UP Campus Properties, LLC

SITE ADDRESS

8, 10-12 & 14 N. Broom Street, 404, 408 & 410 W. Washington Avenue, City of Madison, Dane County, Wisconsir

LEGAL DESCRIPTION

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(408 W. Washington Ave., Madison, WI)

Tax ID No. 251/0709-231-1640-8

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(8 N. Broom St., Madison, WI)

Tax ID No. 251/0709-231-1601-0

The Southeast 66 feet of the Northeast 63 feet of Lot 10, Block 43, Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin. (404 W. Washington Ave., Madison

This survey was prepared based on First AmericanTitle Insurance Company Commitment No. NCS-778772-MAD, effective date of February 19, 2016 which lists the following easements and/or restrictions from schedule B-II:

1, 2, 3, 5 & 8 visible evidence shown, if any.

4, 6, 7, 9, 13, 14 & 15 not survey related.

- 10. Agreement for Driveway Easement recorded July 21, 1947, Volume 204 of Records, Page 268, as Document No. 748626. Affects site by location, shown.
- 11. Driveway Agreement recorded May 26, 1960, Volume 348 of Records, Page 447, as Document No. 1002949. Affects site by location, shown.
- 12. Right-of-Way Grant Underground Electric granted to Madison Gas and Electric Company recorded November 29, 1990, Volume 15108 of Records, Page 51, as Document No. 2235838. Affects site by

TABLE "A" ITEMS

- 11. Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20160902381. This survey represents the underground utilities that participated with the request and were marked on the time of the survey. Additional utilities may exist, but were non-responsive to the request.
- 17. There are no changes in street right of way lines either completed or proposed, and available from the
- controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is
- 19. There were no offsite easements or servitudes benefiting the survey property disclosed in furnished Title Commitment at the time of survey.

BASIS OF BEARINGS

Bearings are referenced to the Northwest line of Washington Avenue which issumed to bear N44°54'49"E.

Vertical datum is based on North American Vertical Datum of 1988 (NAVD 88)

PARKING SPACES

There are 0 regular parking spaces and 0 handicap space marked on this site.

According to the flood insurance rate map of the County of Dane, Community Panel No. 55025C0409G, effective date of January 2, 2009, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

The Land Area of the subject property is 18,584 square feet or 0.4266 acres.

TO: UP Campus Properties, LLC

First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(c), 8, 9, 11, 13, 14, 16, 17, 19, 20, 21 and 22 of Table A thereof. The field work was completed on March 9, 2016.

Date of Map: March 10, 2016.

Donald C. Chaput Professional Land Surveyor Registration Number S-1316

Chaput Land Surveys illo 234 W. FLORIDA STREET MILWAUKEE, WI 53204 414-224-8068 www.chaputlandsurveys.com

Drawing No. 2232-grb



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No	Description	Date
1	BUILDING MDOFICATION	4/12/16

UP Campus Properties

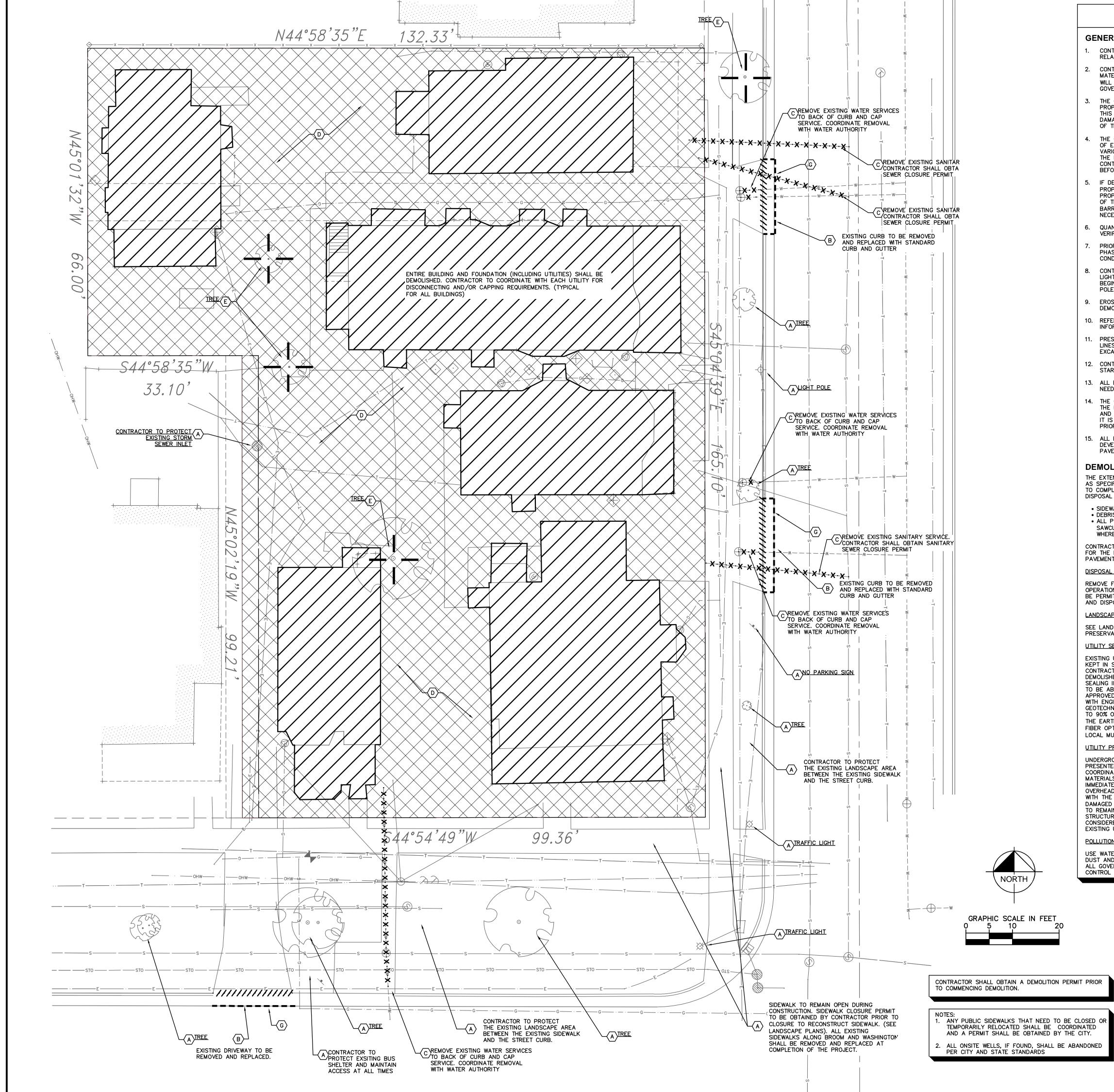
400 West Washington

400 W Washington Avenue Madison, WI 53703

EXISTING CONDITIONS PLAN

CIVIL ENGINEERING PLANS 168454000 Project number 03/23/16 Date

C2.0



DEMOLITION NOTES

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS. RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES
- 4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING WISDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO
- 6. QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
- PRIOR TO BIDDING AND CONSTRUCTION, CONTRACTOR TO REFER TO OWNER PROVIDED PHASE I ENVIRONMENTAL SITE ASSESSMENT AND ASBESTOS REPORT FOR SITE SPECIFIC CONDITIONS AND CONSIDERATIONS.
- 8. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS
- 9. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION. REFER TO SHEET C5.0.
- 10. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
- 11. PRESERVE EXISTING GAS, STORM SEWER, SANITARY SEWER, TELEPHONE, AND WATERMAIN LINES WITHIN THE ADJACENT STREET RIGHT AWAY. USE EXTREME CAUTION WHEN EXCAVATING NEAR THESE UTILITIES SO THERE IS NO DISRUPTION IN SERVICE.
- 12. CONTRACTOR TO NOTIFY ADJACENT PROPERTY OWNERS AT LEAST 48 HOURS PRIOR TO STARTING DEMOLITION OR GRADING ACTIVITIES.
- 13. ALL EXISTING BROOM AND WASHINGTON AVE. SIGNAGE SHALL REMAIN. ANY SIGNS THAT NEED TO BE MOVED SHALL BE COORDINATED WITH THE CITY.
- 14. THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION
- 15. ALL DAMAGE TO THE PAVEMENT ON BROOM OR WASHINGTON AVE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

DEMOLITION NOTES

THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN. FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICE NECESSARY TO COMPLETE THE WORK. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:

 SIDEWALK AND ON—SITE PAVEMENT • DEBRIS AND FOUNDATIONS FROM ALL DEMOLISHED STRUCTURES

• ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.

CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.

DISPOSAL OF DEMOLISHED MATERIALS

REMOVE FROM SITE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE. TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND DISPOSE OF OFF SITE IN A LEGAL MANNER.

LANDSCAPE PROTECTION AND REMOVAL

SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION AND REMOVAL.

UTILITY SERVICES

EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.

UTILITY PROTECTION

UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL "DIGGERS" TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.

POLLUTION CONTROLS

USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.

DEMOLITION LEGEND

ITEM TO REMAIN, PROTECT DURING CONSTRUCTION B · //// CURB REMOVAL (C) · X·X · WALL/FENCE/UTILITY REMOVAL CLEAR ALL PAVING, LANDSCAPE, AIR CONDITIONER, BIKE BIKE RACKS, ETC.

ITEM/STRUCTURE TO BE REMOVED

ITEM TO BE RELOCATED

SAWCUT LINE. PROVIDE SMOOTH CONSTRUCTION JOINT.

BUILDING DEMOLITION TEMPORARY CONSTRUCTION SAFETY FENCE



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No.	Description	Date
1	BUILDING MDOFICATION	4/12/16
	-	

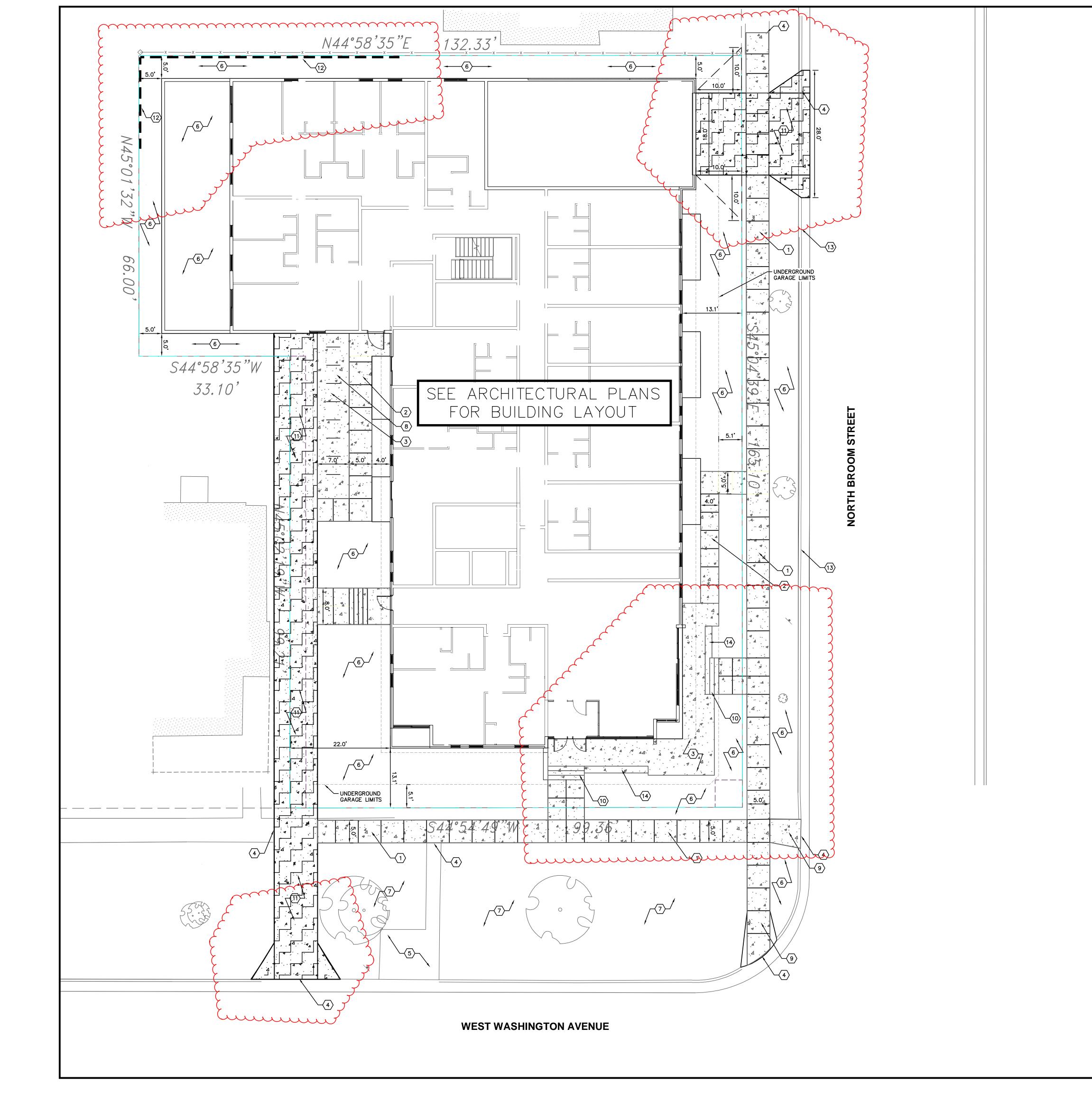
UP Campus Properties

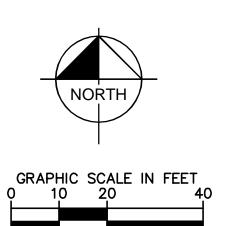
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DEMOLITION PLAN

CIVIL ENGINEERING PLANS	
Project number	16845400
Date	03/23/1
C3.0	





GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.

KEY NOTES

- $\langle 1 \rangle$ CONCRETE SIDEWALK, TYP. (SEE DETAILS)
 - CONCRETE HANDICAP RAMP (REF. ARCHITECTURAL PLANS)
- $\langle 4
 angle$ connect to existing pavement, sidewalk, curb, typ.
- (5) EXISTING HARDSCAPE TO REMAIN
- (6) LANDSCAPE AREA (REFERENCE LANDSCAPE PLANS)
- 7 PROTECTED LANDSCAPE AREA TO REMAIN
- 8 BIKE RACKS (SEE LANDSCAPE PLAN FOR DETAILS)
- (9) EXISTING STREET CURB RAMP TO REMAIN
- (10) CONCRETE STEPS
- (11) CONCRETE DRIVE
- (12) LANDSCAPE RETAINING WALL
- (13) CONCRETE CURB
- (14) CONCRETE SEATING STEPS
- (15) HEAVY DUTY POROUS PAVER DRIVE

PAVING AND CURB LEGEND



<u>DECORATIVE POROUS PAVERS</u>
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION.



CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
*SEE LANDSCAPE PLANS FOR SCOURING PATTERN
(ALL PUBLIC SIDEWALKS SHALL MEET CITY OF MADISON SPECIFICATIONS)



BUILDING

SETBACKS

FRONT (S

SIDE (N) SIDE (W)

SITE DATA TABLE LOT SIZE (OVERALL) 18,584 S.F. 0.43 AC REQUIRED PROVIDED



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ARCHITECTS

Kimley» Horn



No.	Description	Date
1	BUILDING MDOFICATION	4/12/16

UP Campus Properties

400 West Washington

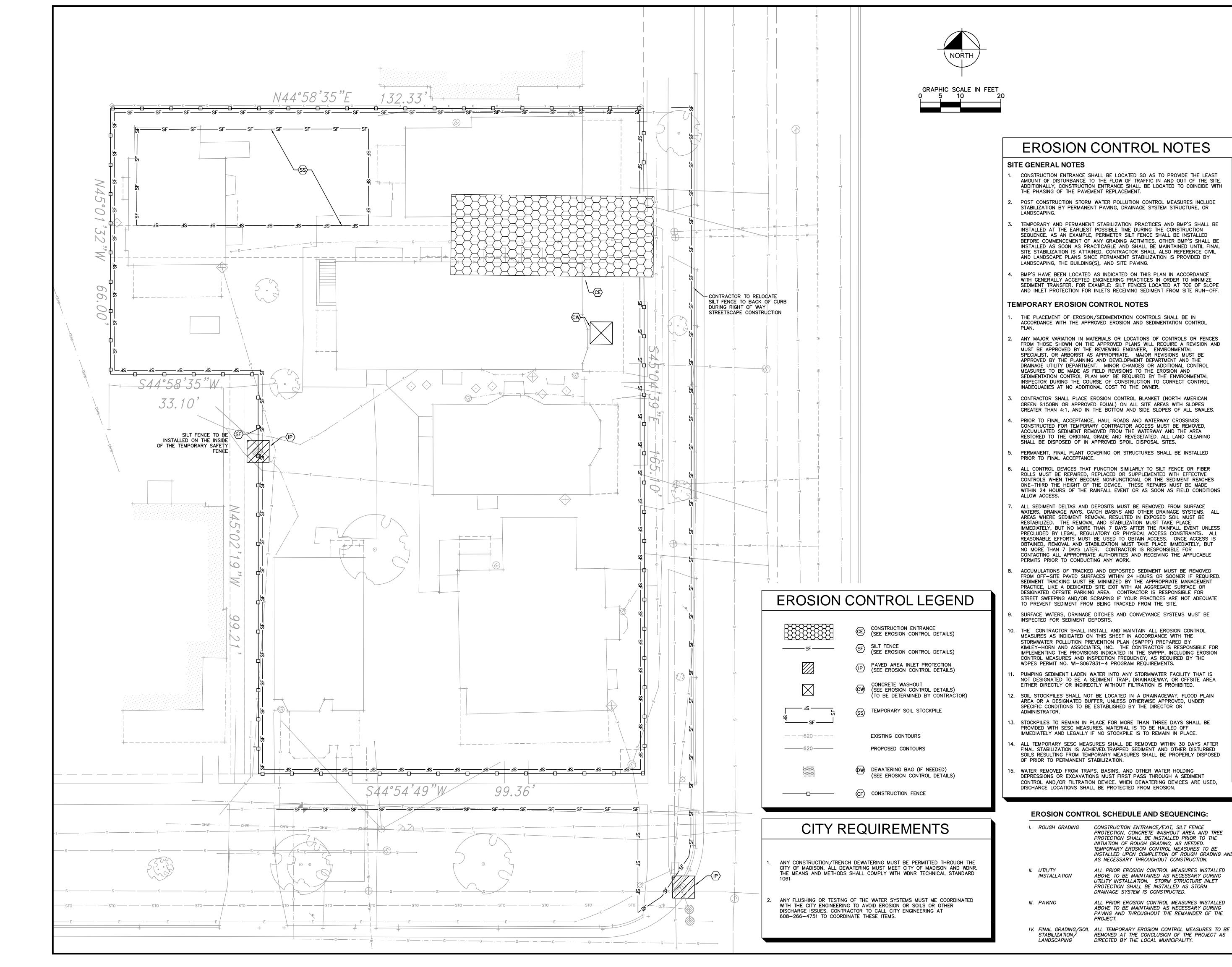
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SITE PLAN

CIVIL ENGINEERING PLANS 168454000 Project number

03/23/16

C4.0





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LANDSCAPE ARCHITECTS

Kimley» Horn



No.	Description	Date
1	BUILDING MDOFICATION	4/12/16

UP Campus Properties

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EROSION CONTROL PLAN

CIVIL ENGINEERING PLANS	
Project number	1684540
Date	03/23/

C5.0

CONSTRUCTION ENTRANCE/EXIT, SILT FENCE

AS NECESSARY THROUGHOUT CONSTRUCTION.

DRAINAGE SYSTEM IS CONSTRUCTED.

DIRECTED BY THE LOCAL MUNICIPALITY.

INSTALLATION

STABILIZATION/

PROTECTION, CONCRETE WASHOUT AREA AND TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED. TEMPORARY EROSION CONTROL MEASURES TO BE

ALL PRIOR EROSION CONTROL MEASURES INSTALLED

ALL PRIOR EROSION CONTROL MEASURES INSTALLED

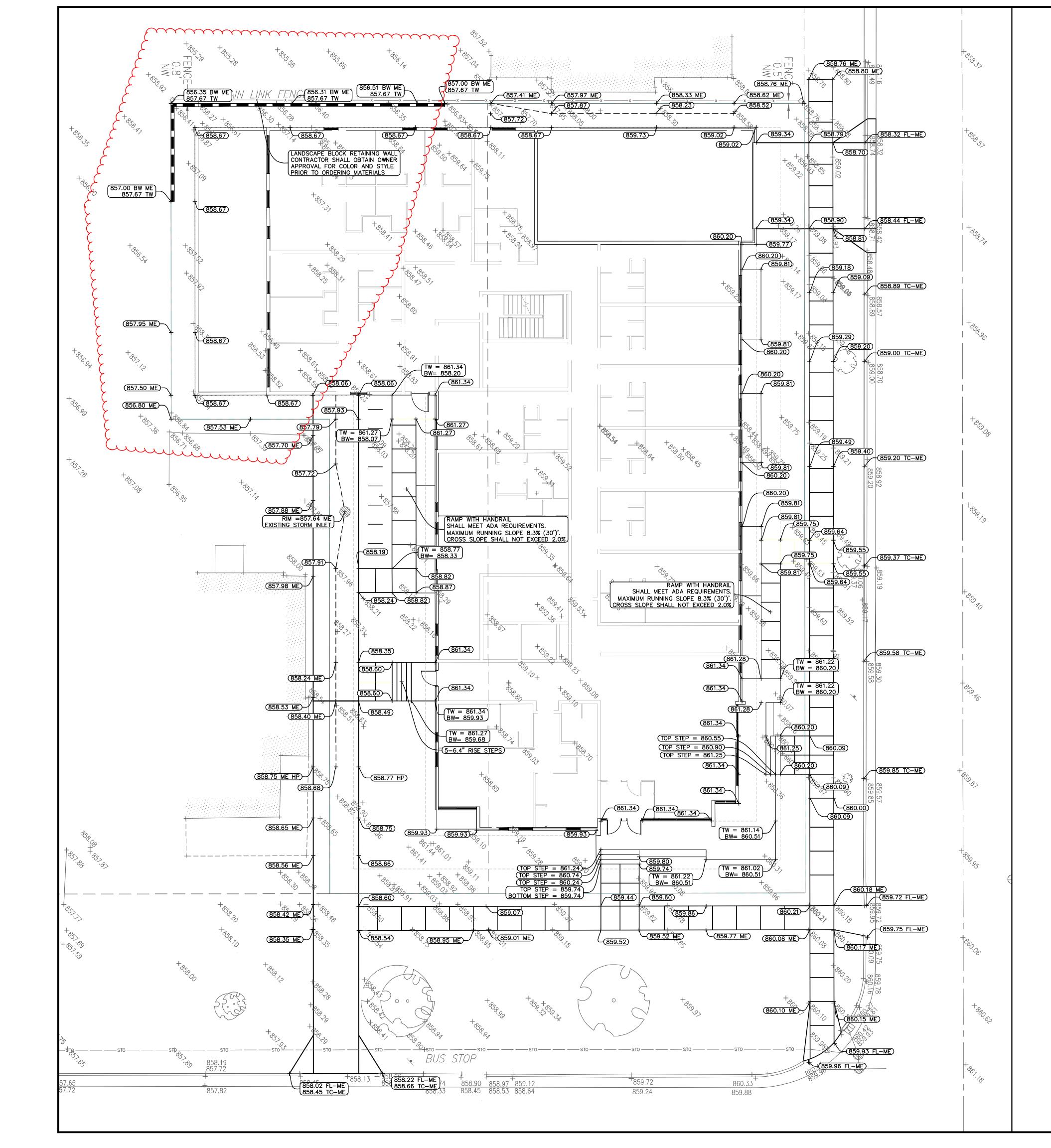
ABOVE TO BE MAINTAINED AS NECESSARY DURING

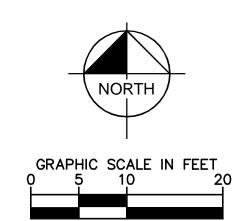
PAVING AND THROUGHOUT THE REMAINDER OF THE

REMOVED AT THE CONCLUSION OF THE PROJECT AS

ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM

INSTALLED UPON COMPLETION OF ROUGH GRADING AND





GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- 2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- 3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE FLEVATIONS
- 4. NO EARTHEN SLOPE SHALL BE GREATER THAN 4:1, UNLESS OTHERWISE NOTED.5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL
- NOT EXCEED 2.0% IN ALL DIRECTIONS.

 6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL
- 6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES. BUILDING DOOR LANDINGS SHALL HAVE A MAXIMUM 2% CROSS SLOPE IN ALL DIRECTIONS EXTENDING 60" FROM THE FACE OF THE DOOR.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- 8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.
- . PROPOSED CONTOURS ARE NOT SHOWN ON THIS FOR CLARITY PURPOSES.
- 10. SEVERAL EXISTING UTILITIES ARE LOCATED WITHIN THE ROW. CONTRACTOR SHALL TAKE CARE TO NOT DAMAGE ANY EXISTING UTILITIES. A FIBER OPTIC LINE IS KNOW TO BE LOCATED IN THE BEDFORD ROW, BUT NOT SHOWN. CONTRACTOR SHALL COORDINATE WITH THE CITY TO LOCATE THE LINE PRIOR TO STARTING CONSTRUCTION OR DEMOLITION.
- 11. CONTRACTOR TO FIELD VERIFY ALL EXISTING TOP OF CURB LOCATIONS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE IDENTIFIED; THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

UTILITY LEGEND EX. HYDRANT EX. WATER VALVE EX. SANITARY SEWER MANHOLE EX. SANITARY SEWER CLEANOUT EX. STORM MANHOLE EX. STORM CATCH BASIN/INLET EX. GAS METER EX. LIGHT POLE PROPOSED STORM STRUCTURE PROPOSED SANITARY MANHOLE PROPOSED SANITARY CLEANOUT PROPOSED WATER STRUCTURE PROPOSED LIGHT POLE

GRADING LEGEND EP = EDGE OF PAVEMENT TC = TOP OF CURB ME = MATCH ELEVATION TF = TOP OF FOUNDATION R = RIM ELEVATION TW = TOP OF WALL BW = BOTTOM OF WALL FL = FLOW LINE PROPOSED CONTOUR RIDGE ______ RIDGE LINE

_2% MAX.

SLOPE AND FLOW DIRECTION



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LANDSCAPE

Kimley» Horn



No.	Description	Date
1	BUILDING MDOFICATION	4/12/16

UP Campus Properties

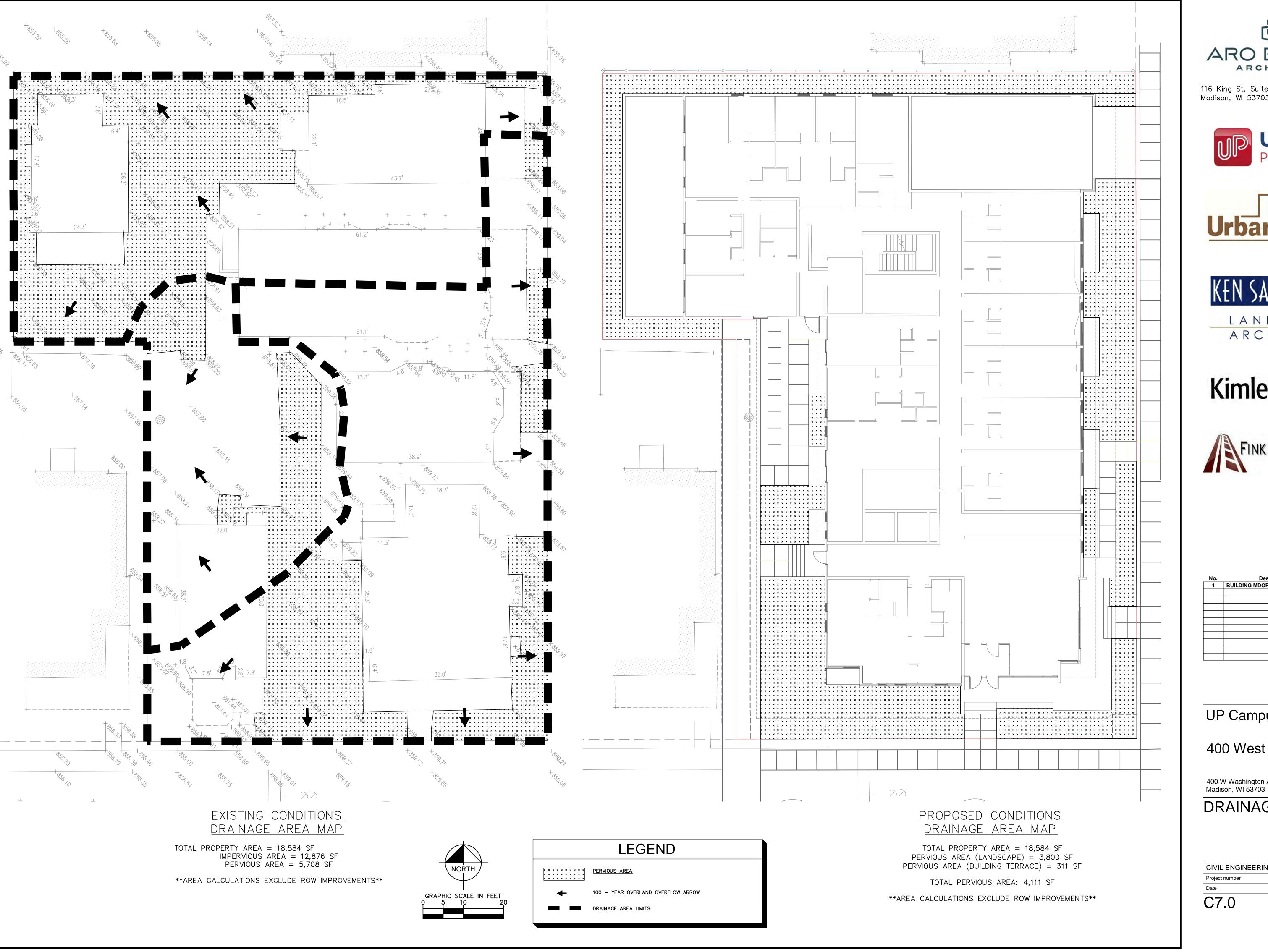
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GRADING PLAN

CIVIL ENGINEERING PLANS	
Project number	168454000
Date	03/23/16

C6.0





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LANDSCAPE ARCHITECTS

Kimley » Horn



No.	Description	Date
1	BUILDING MDOFICATION	4/12/16

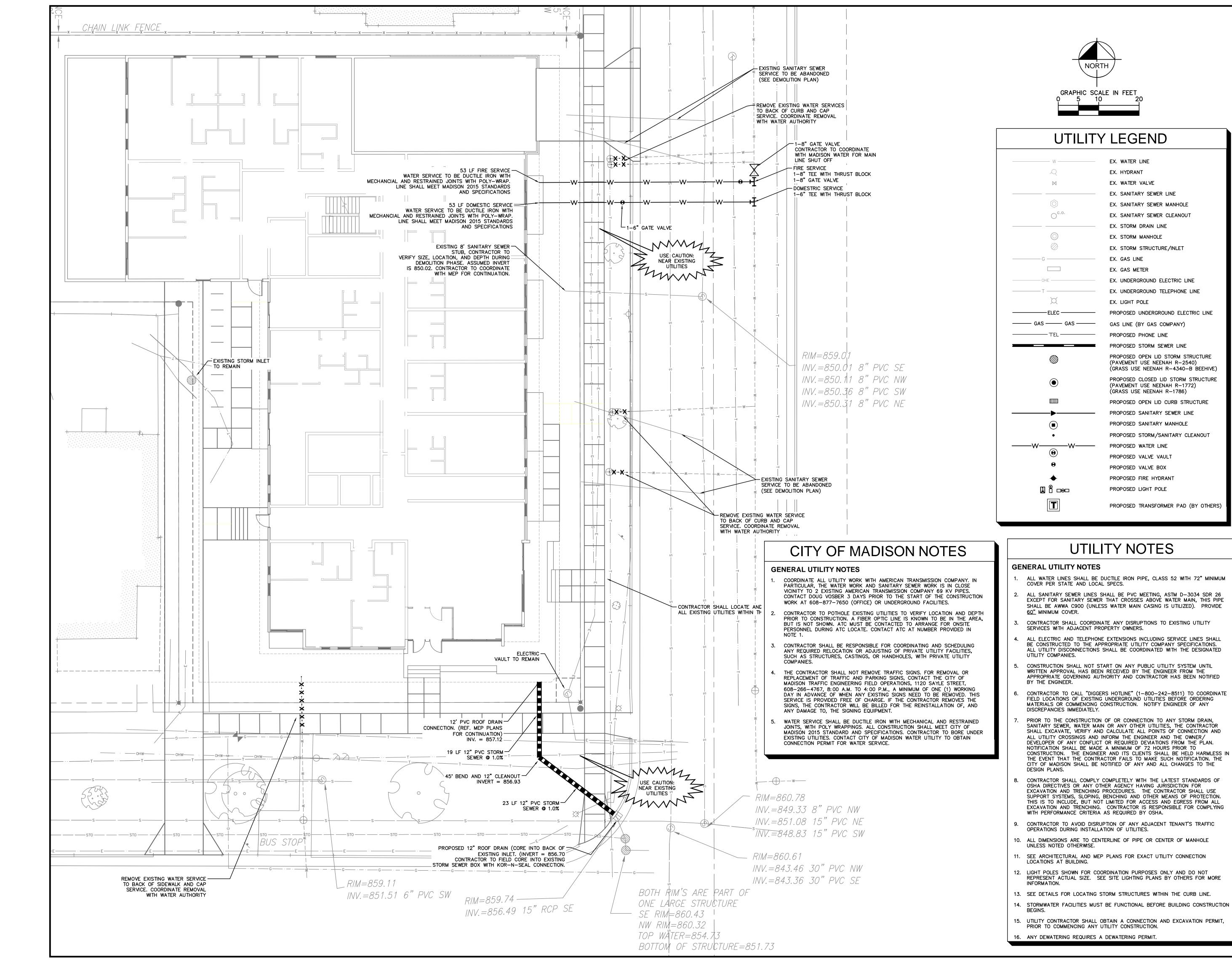
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DRAINAGE PLAN

CIVIL ENGINEERING PLANS	
Project number	168454000
Date	03/23/16





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EX. WATER LINE

EX. WATER VALVE

EX. SANITARY SEWER LINE

EX. STORM DRAIN LINE

EX. STORM MANHOLE

EX. GAS LINE

EX. GAS METER

EX. LIGHT POLE

EX. SANITARY SEWER MANHOLE

EX. SANITARY SEWER CLEANOUT

EX. STORM STRUCTURE/INLET

EX. UNDERGROUND ELECTRIC LINE EX. UNDERGROUND TELEPHONE LINE

GAS LINE (BY GAS COMPANY)

PROPOSED STORM SEWER LINE

(GRASS USE NEENAH R-1786)

PROPOSED SANITARY SEWER LINE

PROPOSED SANITARY MANHOLE

PROPOSED WATER LINE PROPOSED VALVE VAULT PROPOSED VALVE BOX

PROPOSED FIRE HYDRANT

PROPOSED LIGHT POLE

PROPOSED PHONE LINE

PROPOSED UNDERGROUND ELECTRIC LINE

PROPOSED OPEN LID STORM STRUCTURE

(GRASS USE NEENAH R-4340-B BEEHIVE)

PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772)

PROPOSED OPEN LID CURB STRUCTURE

PROPOSED STORM/SANITARY CLEANOUT

PROPOSED TRANSFORMER PAD (BY OTHERS)

(PAVEMENT USE NEENAH R-2540)

EX. HYDRANT





LANDSCAPE ARCHITECTS

Kimley » Horn



No.	Description	Date
1	BUILDING MDOFICATION	4/12/16

UP Campus Properties

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UTILITY PLAN

CIVIL ENGINEERING PLA	NS
Project number	16845400
Date	03/23/1

C8.0

GENERAL NOTES

CONTÀCT: DONALD C. CHAPUT

- EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:
- 234 W. FLORDIA SREET MILWAUKEE, WI 53204 TEL: (414) 224-8068
- COPIES OF THE SURVEY ARE AVAILABLE FROM THE ENGINEER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH
- COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS DEEMED NECESSARY BY THE CONTRACTOR IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
- THE CONTRACTOR SHALL PHOTOGRAPH THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON, STATE OF WISCONSIN, AND WISDOT CODES
- CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THE CONTRACTOR'S WORK MAY NOT BE SPECIFICALLY NOTED, BUT ARE CONSIDERED A PART OF THE CONTRACTOR'S CONTRACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS, ARE INCLUDED IN THE CONTRACT. ANY ITEM NOT SPECIFICALLY INCLUDED IN THE CONTRACT, BUT SHOWN ON THE PLANS, SHALL BE

CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY WITH THE PLANS AND QUANTITIES.

STANDARD SPECIFICATIONS. SUPPLEMENTAL SPECIFICATIONS. AND RECURRING SPECIAL PROVISIONS

- THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT THEM TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK. OTHERWISE. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS SPECIFICATIONS, AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THE CONTRACTOR'S OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN AL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS KIMLEY-HORN AND ASSOCIATES, INC. MUNICIPALITY. THEIR EMPLOYEES AND AGENTS AND THE OWNER FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S)
- TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS,

- CONSTRUCTION MATERIALS AND/OR EQUIPMENT MAY NOT BE STORED IN THE RIGHT-OF-WAY, AS DIRECTED BY THE OWNER.
- EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHT-OF-WAYS ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- OWNER SHALL OBTAIN EASEMENTS AND APPROVAL OF PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES.
- IO. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED.

 ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE SURVEYOR AT THE CONTRACTOR'S EXPENSE. NOTIFICATION OF COMMENCING CONSTRUCTION:
- 11.A. THE CONTRACTOR SHALL NOTIFY AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY, AS NECESSARY, ALL TESTING AGENCIES, THE CITY OF MADISON, AND THE OWNER SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.
- 11.B. FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN THE TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING WILL CAUSE THE CONTRACTOR TO SUSPEND THE OPERATION TO BE TESTED UNTIL THE TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK SHALL BE BORNE BY THE
- 12. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL EMERGENCY TRAFFIC, AS DIRECTED BY THE CITY OF MADISON.
- 3. ANY EXISTING SIGNS, LIGHT STANDARDS, AND UTILITY POLES THAT INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED ON THE PLANS FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE, AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET SHALL BE
- 14. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT. FORESTER, OR ARBORIST AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. ALL CUTS OVER ONE (1) INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
- 5. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
- 16. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.
- 7. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS REQUIRED FOR SUCH
- 18. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING
- O. NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE CITY OF MADISON. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE CITY OF MADISON PRIOR TO INSTALLING PAVEMENT BASE, BINDER, AND SURFACE, AND PRIOR TO POURING ANY

ON THE SITE IS NOT PERMITTED.

- 20. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND PIPE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THE CONTRACTOR'S WORK SHALL NOT BE PAID FOR SEPARATELY, BUT SHALL BE MERGED INTO THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL, AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND STORM SEWERS CONSTRUCTED AS PART OF TTHE CONTRACTOR'S PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. NO EXTRA PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING 5.3 UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE LOCATING SERVICES (1-800-242-811) AND THE CITY OF MADISON FOR UTILITY LOCATIONS.
- 22. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR AGREEMENT WITH THE OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 23. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL
- 24. ANY FIELD TILES ENCOUNTERED SHALL BE INSPECTED BY THE ENGINEER. THE DRAIN TILE SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AND A RECORD KEPT BY THE CONTRACTOR OF THE LOCATIONS AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF HE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL
- 25. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THE CONTRACTOR'S ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE CITY OF MADISON UPON FINAL INSPECTION OF THE PROJECT
- 26. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM, IF AVAILABLE. DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR FLUSHING OR USING THE HYDRANT AT THE CONTRACTOR'S OWN EXPENSE. LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE WATER MAIN CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 7. TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE SEWERS AND WATERMAIN WITHIN TWO (2) FEET HORIZONTAL OF PROPOSED OR EXISTING PAVEMENT.
- 28. IF SOFT, SPONGY, OR OTHER UNSUITABLE SOILS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED AT THE BOTTOM OF THE TRENCH, ALL SUCH MATERIAL SHALL BE REMOVED

AND REPLACED WITH WELL-COMPACTED, CRUSHED LIMESTONE BEDDING MATERIAL. IF ROCK IS ENCOUNTERED, IT SHALL BE REMOVED TO AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE TO ALLOW PROPER THICKNESS OF BEDDING. ANY UNDERCUTS OF TWO (2) FEET OR LESS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. DEPTHS GREATER THAN TWO (2) FEET SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PROCEEDING.

29. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT

- APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING
- SO. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE PROPER INLET PROTECTION EROSION CONTROL AT LOCATIONS INDICATED BY THE ENGINEER. THE PURPOSE OF THE INLET PROTECTION WILL BE TO MINIMIZE THE AMOUNT OF SILTATION THAT NORMALLY WOULD ENTER THE
- 31. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS. 32. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES REGULATIONS AND WISDOT STANDARDS FOR SOIL EROSION AND SEDIMENTATION GROWTH OF GRASS, ACCEPTABLE TO THE ENGINEER, HAS DEVELOPED.

STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.

- 33. THE CONTRACTOR SHALL CONFORM TO ALL EROSION CONTROL REQUIREMENTS AS SET FORTH BY THE MSCONSIN DEPARTMENT OF NATURAL RESORUCES THROUGH THE NPDES PHASE II PERMIT PROGRAM REQUIREMENTS AND GOVERNING MUNICIPALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THE EROSION CONTROL DRAWINGS AND SPECIFICATIONS AS WELL AS THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP AT A MINIMUM, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SWPPP DOCUMENTATION CURRENT AND READILY AVAILABLE ON THE PROJECT SITE AT ALL TIMES FOR REVIEW BY THE OWNER, ENGINEER, AN REGULATORY AGENCIES. KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR SUPPLIERS, WHICH CONTRIBUTE TO DEFICIENCIES N THE SWPPP OR ANY VIOLATIONS RESULTING FROM INADEQUATE EROSION CONTROL PROTECTION
- 4. THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES. IT MAY BE NECESSARY
- 5. ALL DISTURBED AREAS OF THE RIGHT-OF-WAY SHALL BE FULLY RESTORED TO PRE-CONSTRUCTION CONDITIONS WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL, SEEDING, AND MULCH AS PER WISDOT
- 36. ALL PROPOSED GRADES SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS NOTED 37. ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. IF REQUESTED BY
- THE MUNICIPALITY OR ENGINEER, COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER 38. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- 39. WHEN REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED. RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RIM, AND SPOT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER.
- 40. BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE CITY OF MADISON, AS NECESSARY.

EARTHWORK NOTES

- 1.1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS 1.2. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE
- FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR. 1.3. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION, AND TRAFFIC.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY,
- . PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL FRECT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
- TOPSOIL EXCAVATION INCLUDES:
- 2.1. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
- PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.
- 2.3. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.
- OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER. 2.5. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS. EARTH EXCAVATION INCLUDES:
- 3.1. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE
- EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
- 2. PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED 3. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR
- OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE
- 3.4. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS
- UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE MISCELLANEOUS. THE CONTRACTOR SHALL:
- 5.1. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
- SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
- 5.3. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION. 5.4. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.
- 5. TESTING AND FINAL ACCEPTANCE
- 6.1. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX—WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND CUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY THE ENGINEER AND THE OWNER. (SEE PAVING SPECIFICATION.)
- 6.2. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.

PAVING NOTES

- PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF SUBBASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN—UP AND ALL
- .2. COMPACTION REQUIREMENTS SHALL MEET GEOTECHNICAL SPECIFICATIONS AND CITY OF MADISON
- 1.3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND IN ACCORDANCE WITH THE CITY OF MADISON CODE.
- 1. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL CONFIRM THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISHED TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS, UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN
- WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION. IT IS UNDERSTOOD THAT THE CONTRACTOR HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.
- 2.2. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF—ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING
- 2.2.1. SCARIFY, DISC, AND AERATE.
- 2.2.2. REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.
- 2.2.3. REMOVE AND REPLACE WITH GRANULAR MATERIAL.
- 2.2.4. USE OF GEOTEXTILE FABRIC.
- AXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE ONE-QUARTER (1/4) INCH TO ONE-HALF (1/2) INCH IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA. MATERIAL, THE PAVEMENT AREA SHALL BE FINE—GRADED TO WITHIN 0.04 FEET (1/2 INCH) OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF THE CURB, SO AS TO ENSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE
- 2.4. PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE SHALL BE APPROVED BY THE TESTING

MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.

- 3.1. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) BAG MIX AND SHALL DEVELOP A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT FOURTEEN (14) DAYS AND A MINIMUM OF 4.0000 PSI COMPRESSIVE STRENGTH AT TWNENTY-EIGHT (28) DAYS ÀLL CONCRETE SHALL BE BROOM-FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVÈL.
- 3.2. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER, PRE-MOLDED FIBER EXPANSION JOINTS, WITH 3/4-INCH BY 18-INCH EPOXY-COATED STEEL DOWEL BARS, SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES
- 3.3. CURBS SHALL BE DEPRESSED AND MEET THE SLOPE REQUIREMENTS OF THE FEDERAL ADA STANDARDS FOR ACCESSIBLE DESIGN AT LOCATIONS WHERE PUBLIC WALKS INTERSECT CURB LINES AND OTHER LOCATIONS. AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY.
- 3.4. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.
- 3.5. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5-FOOT INTERVALS AND 1/2-INCH PRE-MOLDED FIBER EXPANSION JOINTS AT 20-FOOT INTERVALS AND ADJACENT TO CONCRÉTE CURBS, DRIVEWAYS, FOUNDATIONS, AND OTHER STRUCTURES.
- 3.6. CONCRETE CURING AND PROTECTION SHALL BE PER WISDOT STANDARDS. TWO (2) COATS OF WISDOT APPROVED CURING AGENT SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES.
- 3.7. THE COST OF AGGREGATE BASE OR SUBBASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.
- .1. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, AND DRIVE AISLES SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B, BITUMINOUS CONCRETE BINDER COURSE, SUPERPAVE, AND BITUMINOUS CONCRETE SURFACE COURSE, SUPERPAVE, MIXC N50, OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.
- 1.2. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE.
- 4.3. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED AND TACK—COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE, OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND STAFF NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS PER WISDOT STANDARDS.
- 1.4. SEAMS IN BAM, BINDER, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES. TESTING AND FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE ENGINEER.
- 5.2. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE CITY OF MADISON, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION. .3. WHEN REQUIRED BY THE CITY OF MADISON, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED IN ORDER
- TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD REQUIRED BY WISDOT STANDARDS. 5.4. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.
- ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MADISON CODE. WHEN CONFLICTS ARISE BETWEEN VILLAGE CODE, GENERAL NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL TAKE PRECEDENCE.

SIGNAGE AND PAVEMENT MARKING NOTES

- ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080-INCH THICK FLAT ALUMINUM PANELS WITH
- REFLECTORIZED LEGEND ON THE FACE. LEGEND SHALL BE IN ACCORDANCE WITH THE MUTCD. . POSTS: SIGN POSTS SHALL BE A HEAVY-DUTY STEEL, AS PER THE CITY OF MADISON STANDARDS. I. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF MADISON STANDARDS.
- 5. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC HOT
- SHALL BE PAINT IN ACCORDANCE WITH WISDOT STANDARDS . COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND LOCAL CODE. STANDARD PARKING SPACES SHALL BE PAINTED WHITE.
- THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES FAHRENHEIT AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT AND RISING.

. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW-WEAR" APPLICATIONS,

SANITARY SEWER NOTES

. SANITARY SEWER PIPE: ALL SANITARY SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE (PVC SDR-35), CONFORMING TO ASTM D3034 AND D2241 WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM D3139 AND D3212. ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND CITY OF MADISON PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL SANITARY SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

PIPE MATERIAL
POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241)

- ALL UNSUITABLE MATERIALS SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GRAVEL OR STONE, AS PER WISDOT STANDARDS.
- ALL TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PAVEMENTS, ROADWAYS, SIDEWALKS, AND FOR A DISTANCE OF TWO (2) FEET ON EITHER SIDE OF SAME, AND/OR WHERE SHOWN ON THE PLANS, SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL PER WISDOT STANDARDS AND THOROUGHLY MECHANICALLY COMPACTED IN 9-INCH THICK (LOOSE MEASUREMENT) LAYERS. JETTING WITH WATER IS
- ALL SANITARY SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND
- . CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE CITY OF MADISON. 5. WATERMAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH NATURAL RESOURCES CONSERVATION SERVICE - WISCONSIN (NRCS-WI) REQUIREMENTS, AS SPECIFIED IN THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

- NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE, EXCEPT UNDER SPECIAL CIRCUMSTANCES AND THEN ONLY UNDER THE FOLLOWING RULES:
- A. IF NECESSARY PERMISSION SHALL BE OBTAINED FROM THE CITY OF MADISON IN WRITING PRIOR TO
- B. THE BOTTOM OF A WATER LINE SHALL BE INSTALLED ON A SHELF A MINIMUM OF 18 INCHES ABOVE THE TOP OF THE SEWER AND 18 INCHES HORIZONTALLY AWAY FROM THE EDGE OF THE SEWER.
- ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE. A
- WATERTIGHT BOOT, CONFORMING TO ASTM C-923, SHALL BE USED AT THE PIPE-STRUCTURE CONNECTION. ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER-TIGHT SLEEVES. THE BOTTOM OF THE MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS. 10.FRAMES AND LIDS: SEE DETAILS FOR ALL SANITARY SEWER MANHOLE FRAMES AND LIDS. THE LIDS SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF—SEALING WITH AN "O" RING GASKET. THE LIDS SHALL HAVE THE WORD "SANITARY" EMBOSSED ON THE SURFACE. THE JOINTS BETWEEN THE FRAME AND
- 11.A MAXIMUM OF TWELVE (12) INCHES OF CONCRETE-ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. RINGS SHALL BE SEALED TOGETHER WITH BUTYL ROPE.
- 12.CLEANING: ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE.
- 3.TESTING: DEFLECTION, AIR, AND LEAKAGE TESTING WILL BE REQUIRED. THE PROCEDURE AND ALLOWABLE TESTING LIMITS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER
- 14. TESTING THE ALIGNMENT/STRAIGHTNESS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON. 15.TELEVISING: IF REQUIRED BY THE MUNICIPALITY, ALL SANITARY SEWERS SHALL BE TELEVISED, AND A COPY OF THE TAPE AND A WRITTEN REPORT SHALL BE SUBMITTED AND REVIEWED BY THE CITY OF MADISON BEFORE FINAL ACCEPTANCE. THE REPORT SHALL INCLUDE STUB LOCATION AS WELL AS A DESCRIPTION OF ALL DEFECTS, WATER LEVEL, LEAKS, AND LENGTHS. IDENTIFY MANHOLE TO MANHOLE BOTH VERBALLY AND ON-SCREEN USING MANHOLE NUMBERS FROM APPROVED PLANS. ORDER OF WRITTEN

REPORT SHALL BE THE SAME AS THE VIDEOTAPES.

- 6.TEST RESULTS: IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND REPAIR, OR REPLACE ALL MATERIALS AND WORKMANSHIP, AS MAY BE NECESSARY TO COMPLY WITH THE TEST
- 7.CERTIFICATION: CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING." ASTM STANDARDS D-2241, AS APPROPRIATE FOR THE PIPE, TO BE USED. TESTS SHALL ALSO BE CONDUCTED TO DEMONSTRATE JOINT PERFORMANCE AT FIVE (5) PERCENT MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT.
- 18.CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO THE LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. STORM SEWER NOTES

STORM SEWER PIPE: ALL STORM SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, IN ACCORDANCE WITH WISDOT STANDARD SPECIFICATIONS FOR

- DETERMINING PIPE CLASS AND CONFORMING TO ASTM C76. ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND CITY OF MADISON PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL STORM SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE REINFORCED CONCRETE PIPE(ASTM C76); SEE WISDOT SPECS FOR PIPE CLASS POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241) HIGH DENSITY POLYETHYLENE PIPE
- DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151) BAND-SEAL OR SIMILAR COUPLING SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR
- ALL FOOTING DRAIN DISCHARGE PIPES AND DOWN SPOUTS SHALL DISCHARGE TO THE STORM SEWER
- CONSTRUCTION: ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN COVER: THE CONTRACTOR SHALL MAINTAIN AT LEAST TWO (2) FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES
- THAT HAVE LESS THAN TWO (2) FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL STRUCTURES: MANHOLE, CATCH BASIN, AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM OF FOUR (4) FEET IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED
- A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND

WITH "O" RING OR BUTYL ROPE. A MAXIMUM OF TWELVE (12) INCHES OF ADJUSTING RINGS SHALL BE

- THE FRAME, GATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.
- CLEANING: THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION
- 10. THE STORM SEWER SHALL BE TELEVISED IF REQUIRED BY THE CITY OF MADISON. MANHOLES, CATCH BASINS, INLETS, FRAMES, GRATES, AND OTHER STRUCTURES SHALL BE CONSTRUCTED OF THE TYPE, STYLE, AND SIZE AS SET FORTH WITH THE ORDINANCES AND STANDARDS OF THE CITY OF MADISON.
- 12. ALL PVC PIPES CONNECTED TO REINFORCED CONCRETE PIPE SHALL BE CORED AND BOOTED PER THE CITY OF MADISON REQUIREMENTS.

WATERMAIN NOTES

WATERMAIN PIPE: ALL WATERMAIN PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATERMAIN PIPE SHALL BE CONSTRUCTED OF BITUMINOUS—COATED CEMENT—LINED DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151). CEMENT MORTAR LINING SHALL CONFORM TO ANSI A21.4 (AWWA C104). THE JOINTS SHALL BE PUSH-ON COMPRESSION GASKET JOINTS CONFORMING TO ANSI A21.11 (AWWA C111). ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND CIT OF MADISON PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL WATERMAIN PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

- DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)
 POLYVINYL CHLORIDE PLASTIC PIPE SDR-35 (AWWA C900 AND ASTM D3'39)
 TYPE "K" COPPER PIPE
- FITTINGS: ALL FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO ANSI AS21.10 (AWWA C110) VALVES: GATE VALVES SHALL BE USED ON ALL WATERMAINS. ALL VALVES SHALL TURN COUNTER-CLOCKWISE TO OPEN. VALVES SHALL BE IRON BODY RESILIENT WEDGE GATE VALVES WITH
- BRONZE-MOUNTED SEATS AND NON-RISING STEMS CONFORMING TO AWWA C-509. THE VALVES SHALL HAVE MECHANICAL JOINTS. THE MECHANICAL JOINTS AND ALL FASTENERS ON THE VALVE BODY SHALL HAVE STAINLESS STEEL NUTS
- FIRE HYDRANTS: SEE PLANS FOR APPROVED FIRE HYDRANT DETAIL. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE AND CAST IRON VALVE BOX. FIRE HYDRANTS SHALL HAVE AUXILIARY VALVES WITH A HYDRANT BARREL TO VALVE BOX RESTRAINING DEVICE. THE PUMPER CONNECTION SHALL FACE THE
- PROVIDE AND INSTALL FOUR MEGALUG JOINT RESTRAINTS AT EACH JOINT FROM THE MAINLINE TEE TO THE AUXILIARY VALVE AND BETWEEN THE AUXILIARY VALVE AND THE HYDRANT BARREL. THE BREAK FLANGE AND ALL BELOW-GRADE FITTING SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.
- C-800 AND SHALL INCLUDE "J" BEND, TAILPIECE, AND COMPRESSION FITTINGS. SIZE AND LOCATION AS SERVICE BOX: PROVIDE CURB VALVE AND CURB BOX, AS INDICATED ON THE PLANS. BOX SHALL BE EXTENSION TYPE WITH FOOT PIECE AND STATIONARY RODS FOR SIX (6) FEET OF BURY.

CORPORATION STOPS: CORPORATION STOPS SHALL BE BRONZE BODY KEY STOPS CONFORMING TO AWWA

- O. MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURER'S CURRENT RECOMMENDATIONS AND AWWA SPECIFICATIONS. BEDDING: ALL WATERMAINS SHALL BE BEDDED ON FIRM GROUND, WITH BELLHOLES EXCAVATED SO THAT
- THE PIPE HAS AN EVEN SAND BEDDING FOR ITS ENTIRE LENGTH. GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLY PLACED TO TWELVE (12) INCHES OVER THE TOP OF THE PIPE BEFORE FINAL BACKFILLING AND COMPACTION.

3. A MINIMUM DEPTH OF COVER OF 6-FEET SHALL BE MAINTAINED OVER THE WATER LINES. THE MAXIMUM

COVER SHALL BE EIGHT (8) FEET, EXCEPT AT SPECIAL CROSSINGS AND ONLY AS DESIGNATED ON THE PLANS. "MEGA-LUG" RETAINER GLANDS AND THRUST BLOCKING SHALL BE INSTALLED ON WATERMAINS AT ALL BENDS, FITTINGS, TEES, ELBOWS, ETC. "MEGA-LUG" RESTRAINED JOINTS ARE REQUIRED ON ALL VALVES AND ALL FITTINGS. THE COST FOR THIS WORK SHALL BE INCIDENTAL TO THE UNIT PRICE FOR THE PIPE

15. WATERMAIN PROTECTION:

- 15.1. HORIZONTAL SEPARATION 15.1.1. WATERMAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, OR SEWER SERVICES CONNECTION.
- 15.1.2. WATERMAINS MAY BE LAID CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN: 15.1.2.1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET;

15.1.2.2. THE WATERMAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE

- THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
- WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION IN MADISON. THE DRAIN OR SEWER SHALL BE PRESSURE—TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
- VERTICAL SEPARATION
- A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS, OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
- 15.2.2. BOTH THE WATERMAINS AND SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION WHEN:
- 15.2.2.1. IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, AS DESCRIBED ABOVE; OR 15.2.2.2. THE WATERMAIN PASSES UNDER A SEWER OR DRAIN.
- 15.2.3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND
- 15.2.4. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET. . ALL WATERMAINS SHALL BE PRESSURE-TESTED FOR A MIN. OF 2 HOURS AT 200 PSI. FLUSHED. AND DISINFECTED IN ACCORDANCE WITH AWWA AND CITY OF MADISON SPECIFICATIONS. EACH VALVE SECTION SHALL BE PRESSURE-TESTED FOR A MINIMUM OF ONE (1) HOUR. ALLOWABLE LEAKAGE IS TO BE ONLY

THAT WHICH IS PREDETERMINED BY THE CITY OF MADISON. AT NO TIME IS THERE TO BE ANY VISIBLE

ALL WORK WITHIN THE CITY OF MADISON RIGHT-OF-WAY SHALL MEET CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (2015 EDITION)



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ARCHITECTS



Description BUILDING MDOFICATION 4/12/16

UP Campus Properties

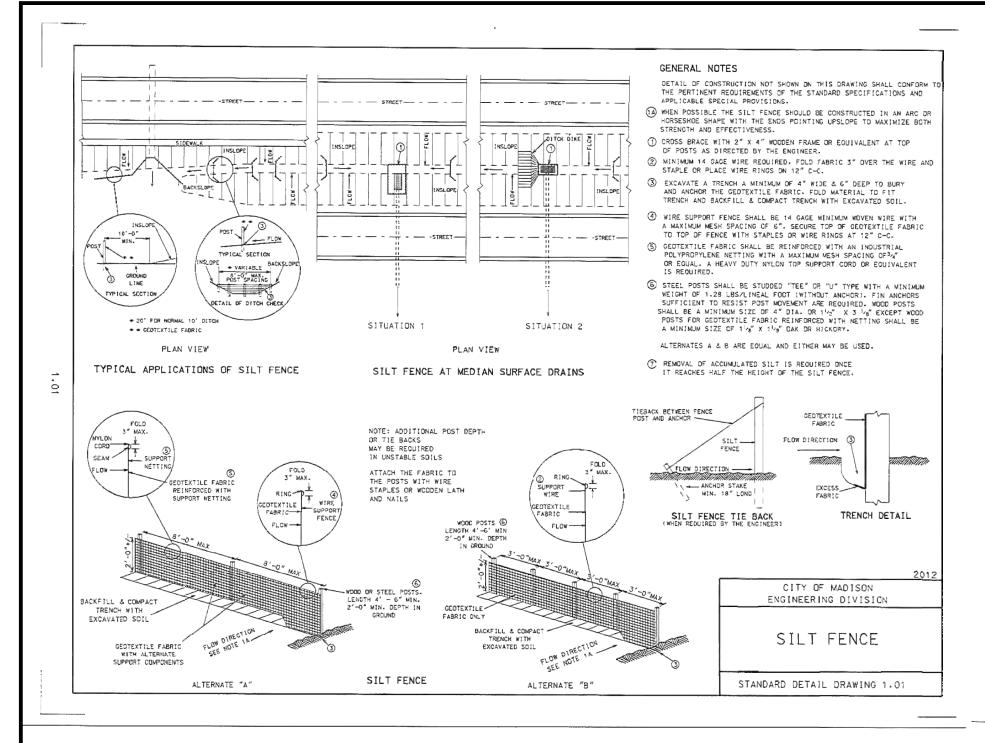
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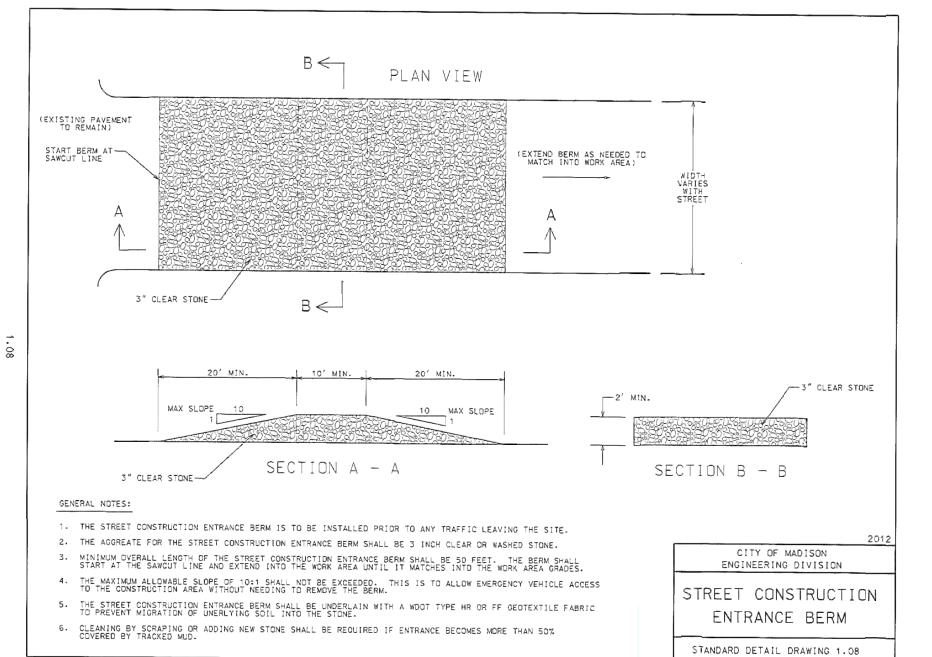
Madison, WI 53703 **GENERAL NOTES**

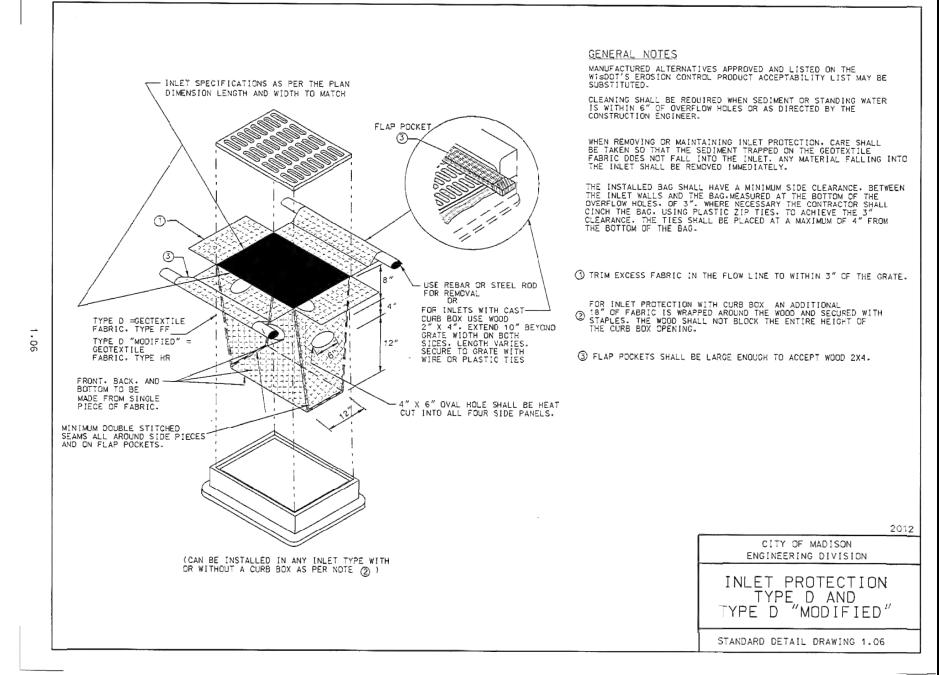
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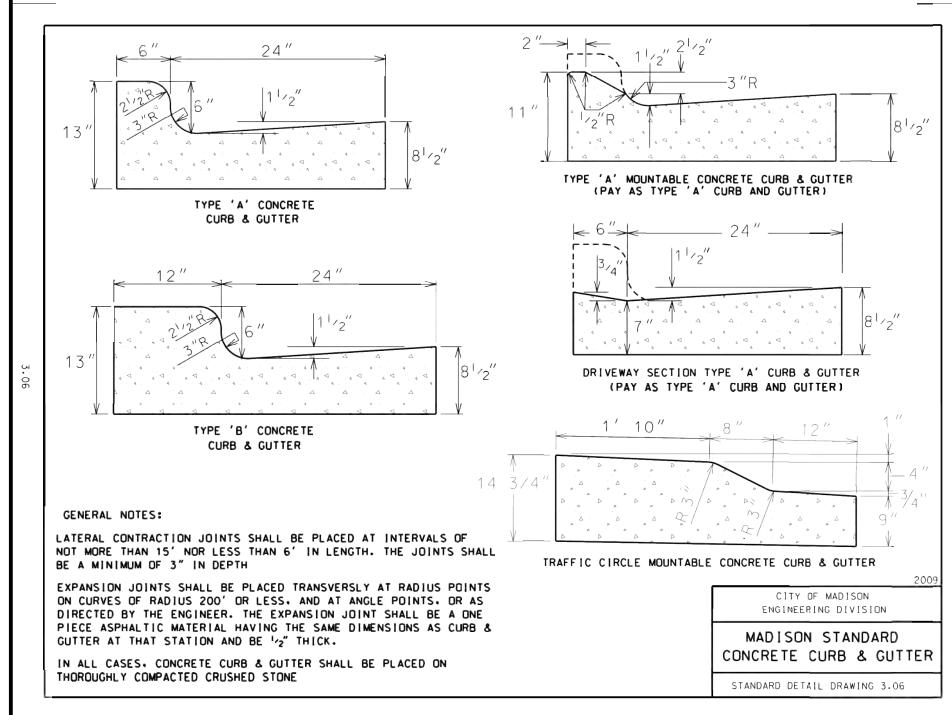
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Project number	1684540
Date	03/23/

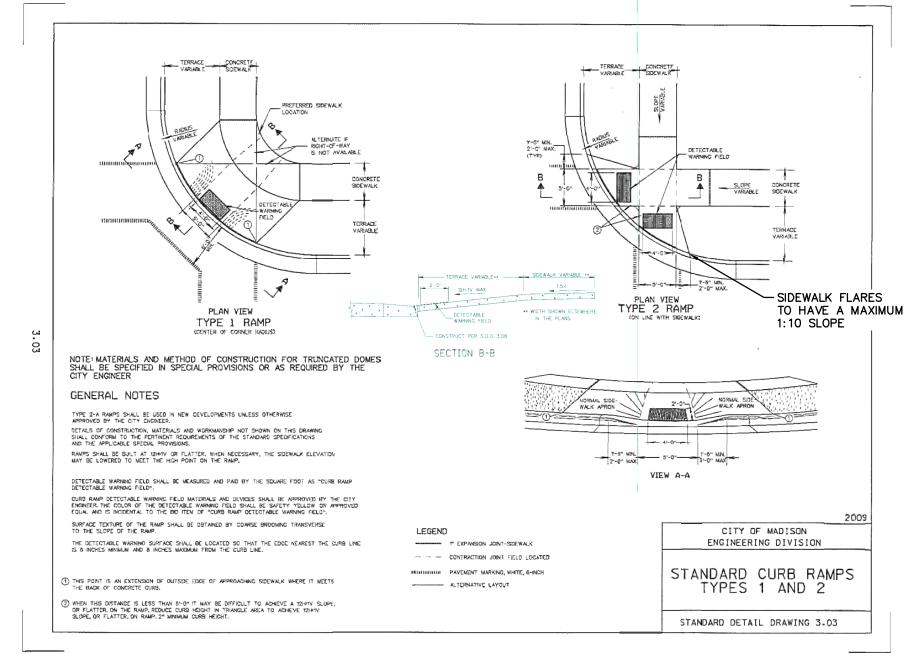
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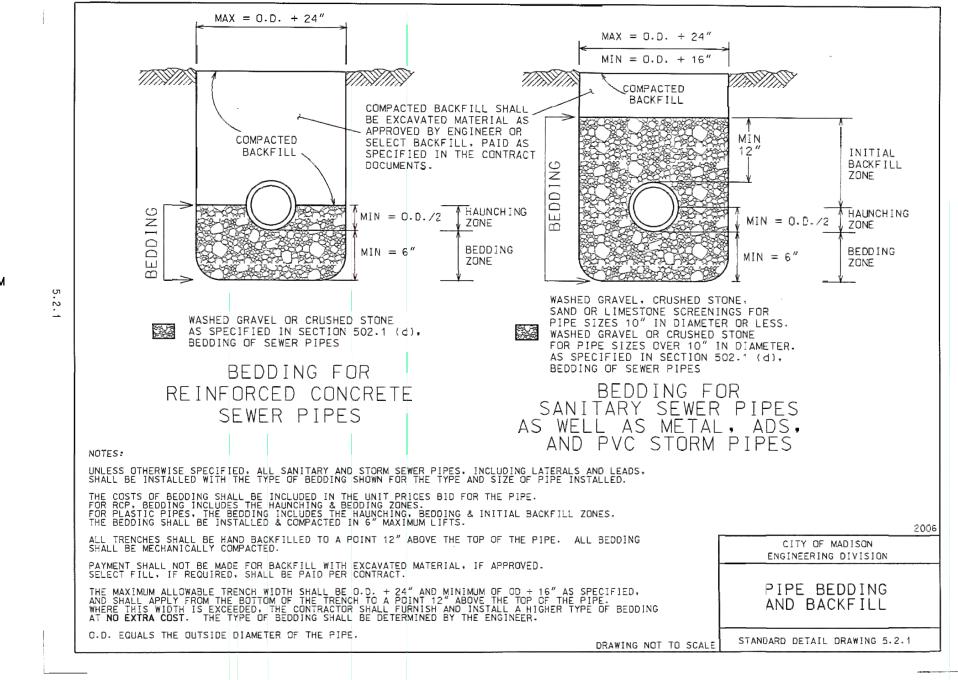


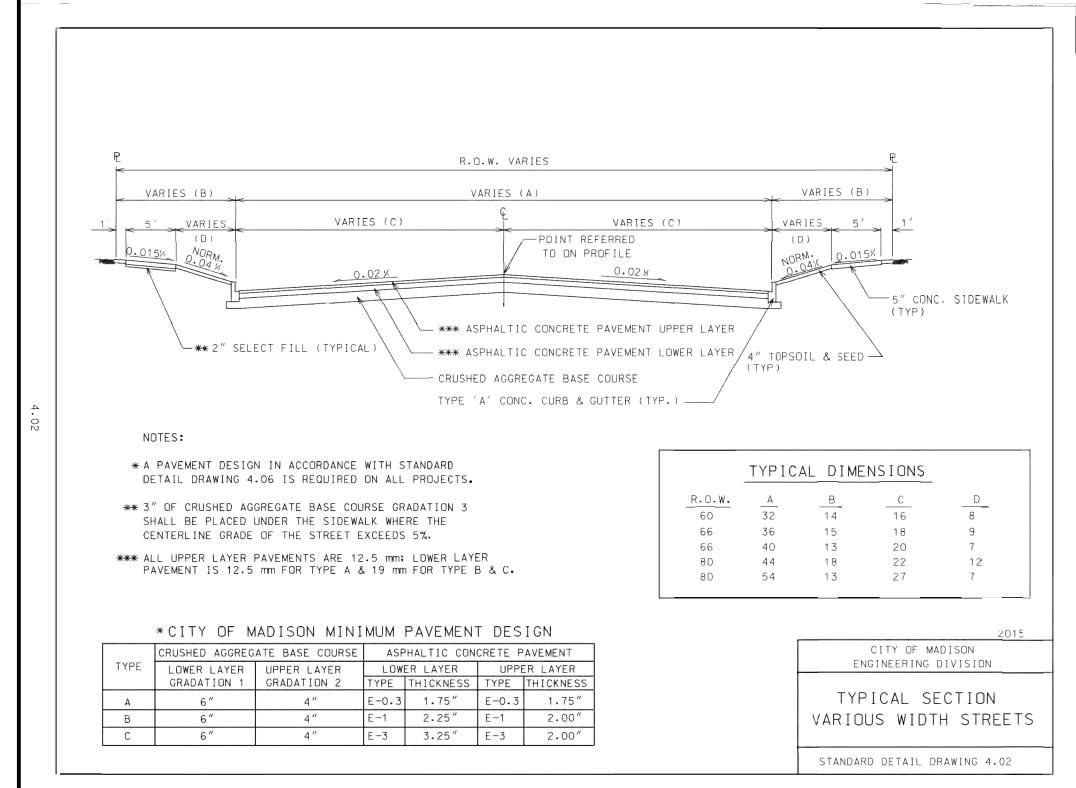


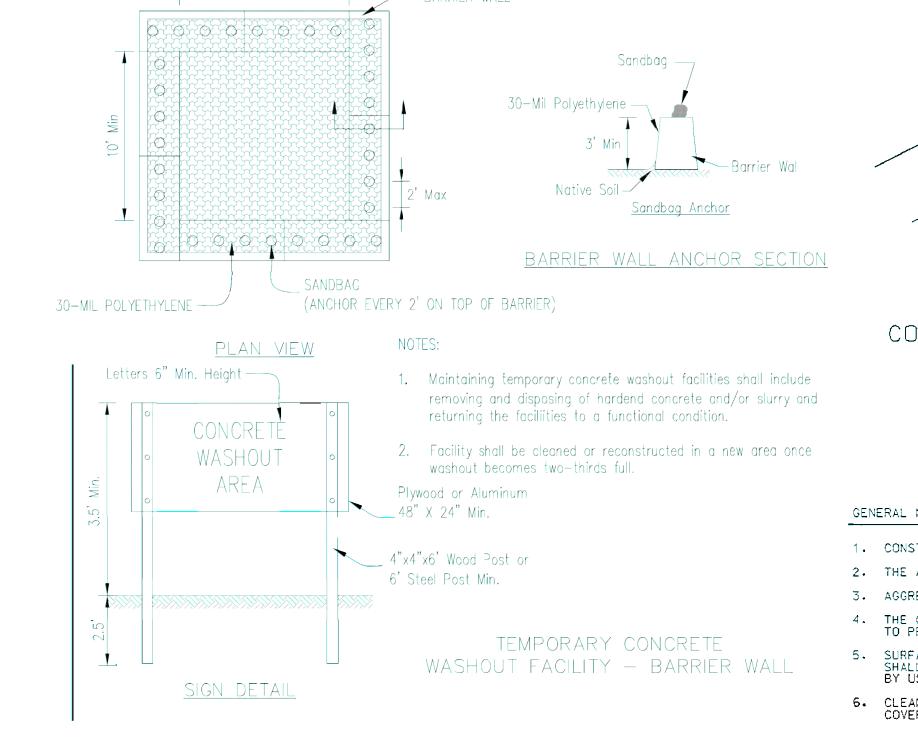


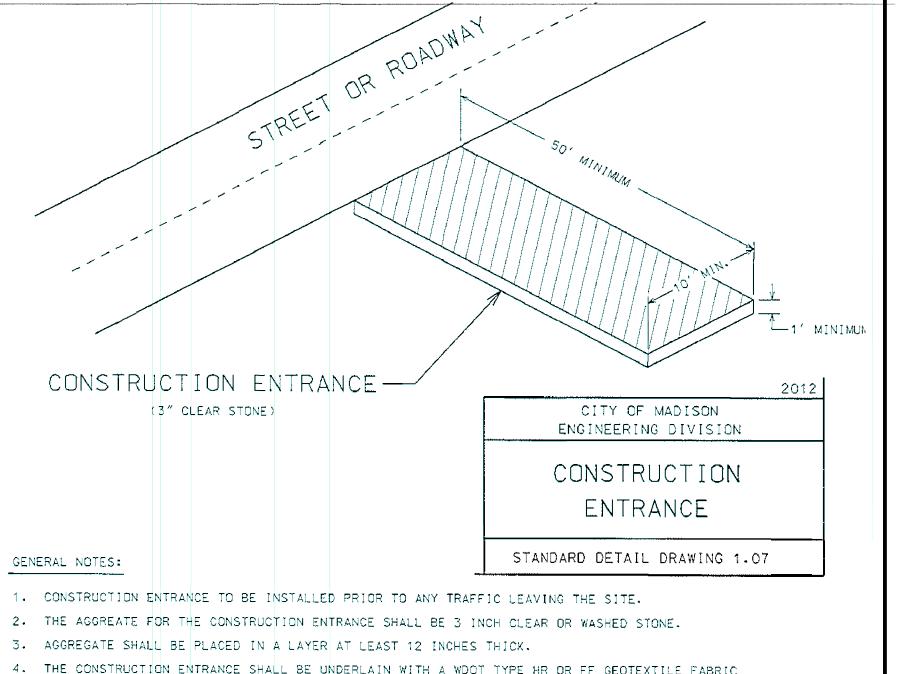












- 4. THE CONSTRUCTION ENTRANCE SHALL BE UNDERLAIN WITH A WOOT TYPE HR OR FF GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNERLYING SOIL INTO THE STONE.
- 5. SURFACE WATERS MUST BE PREVENTED FROM PASSING THROUGH THE CONSTRUCTION ENTRANCE. FLOWS SHALL BE DIVERTED AWAY FROM THE CONSTRUCTION ENTRANCE OR CONVEYED UNDER AND AROUND THEM BY USE OF A CULVERT, DIVERSION BERM OR OTHER PRACTICES AS APPROVED BY THE CONSTRUCTION ENGINEER.
- 6. CLEANING BY SCRAPING OR ADDING NEW STONE SHALL BE REQUIRED IF ENTRANCE BECOMES MORE THAN 50% COVERED BY TRACKED MUD.



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LANDSCAPE ARCHITECTS

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No.	Description		ıte
1	BUILDING MDOFICATION	4/12	2/1

UP Campus Properties

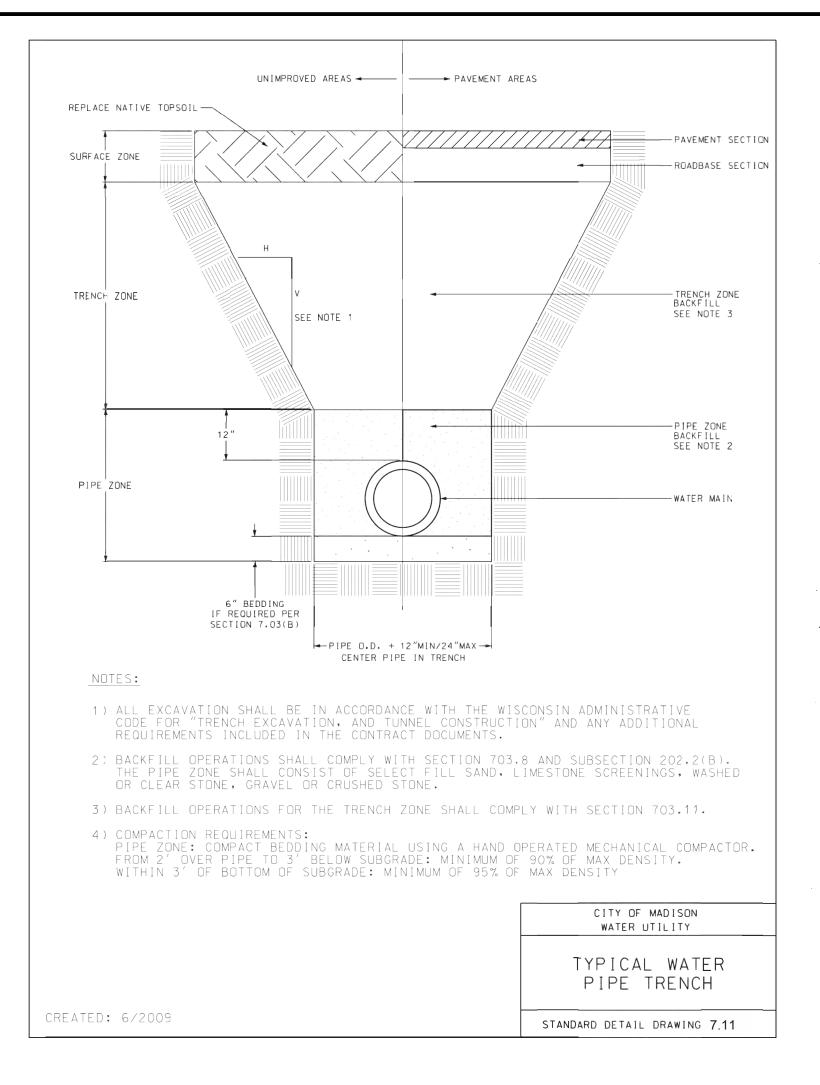
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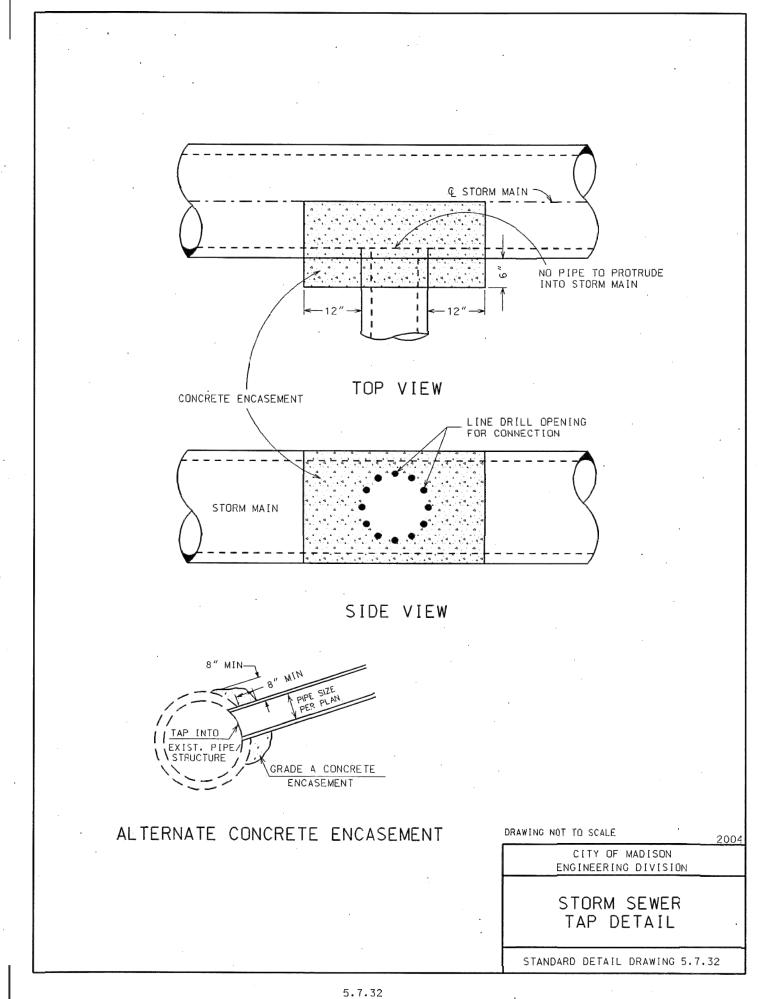
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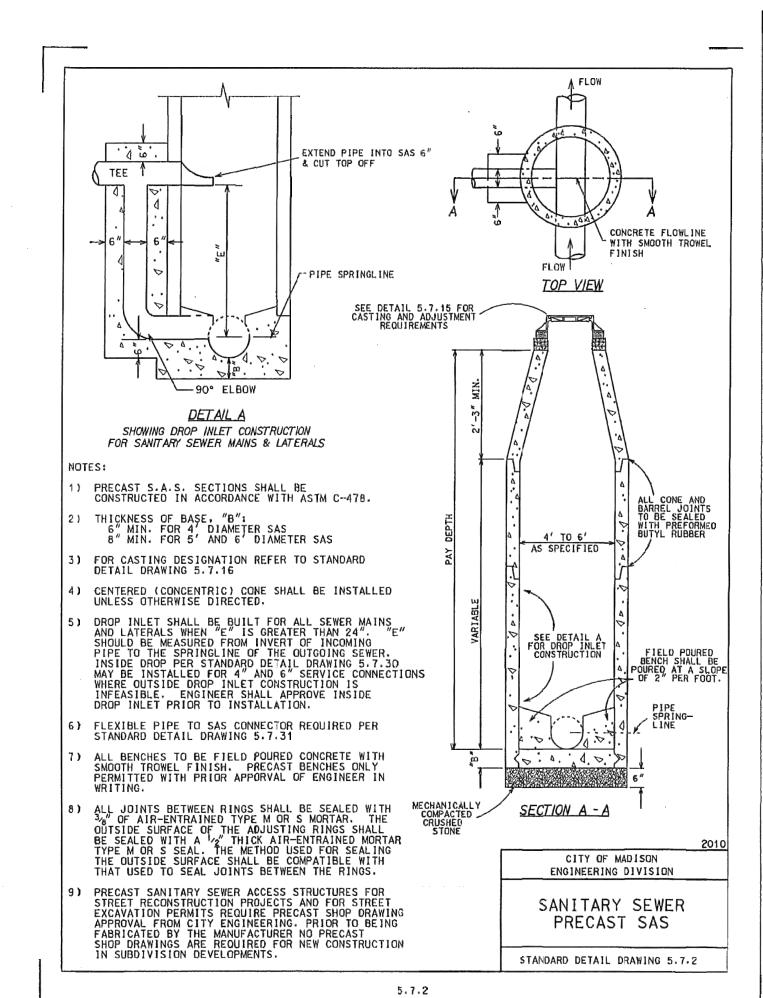
Madison, WI 53703

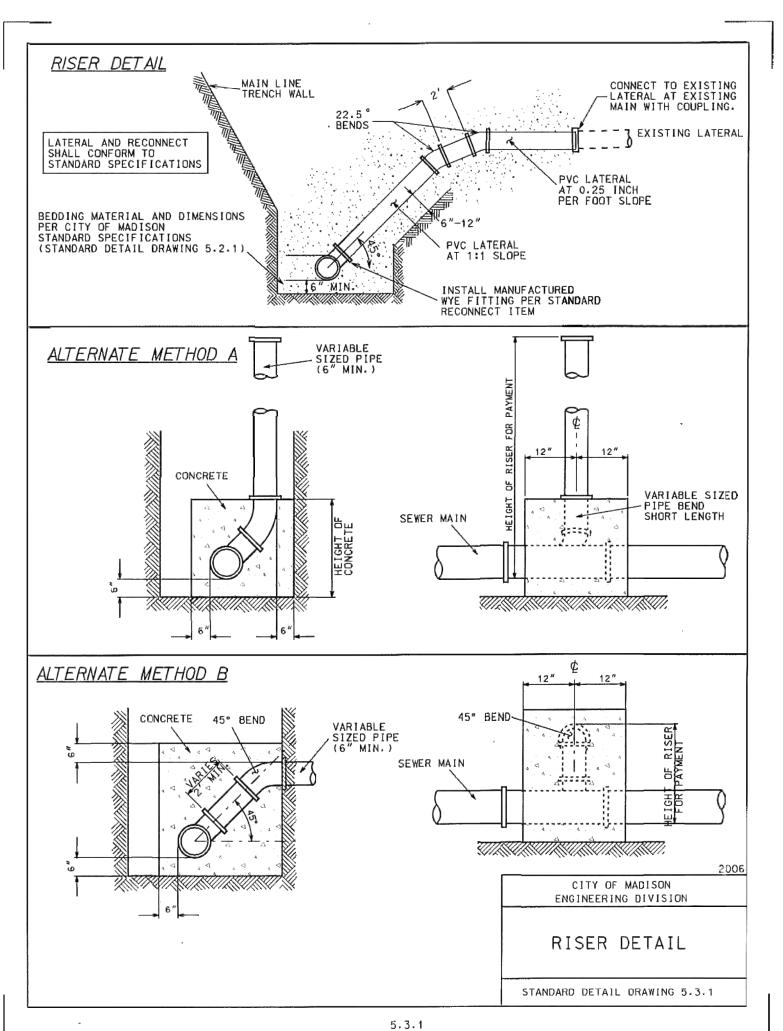
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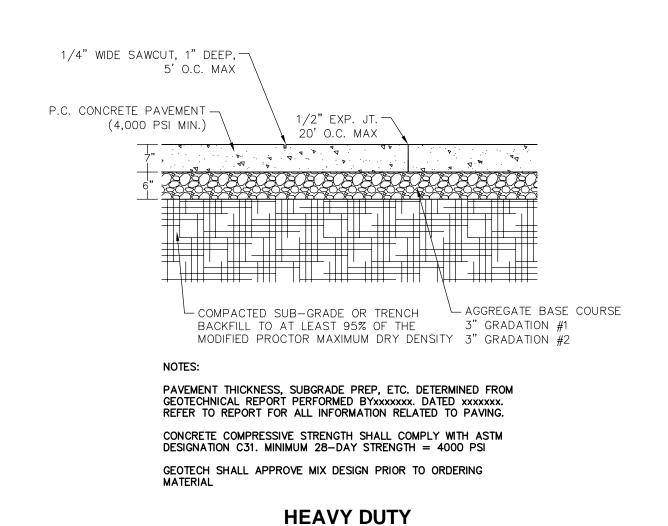
CIVIL ENGINEERING PLANS		
Project number	168454	000
Date	03/2	3/16
C10.0		











CONCRETE PAVEMENT SECTION



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ARCHITECTS

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Description	Date
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CONSTRUCTION DETAILS

CIVIL ENGINEERI	NG PLANS
Project number	16845400
Date	03/23/1
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No.	Description	Date

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402 West Washington

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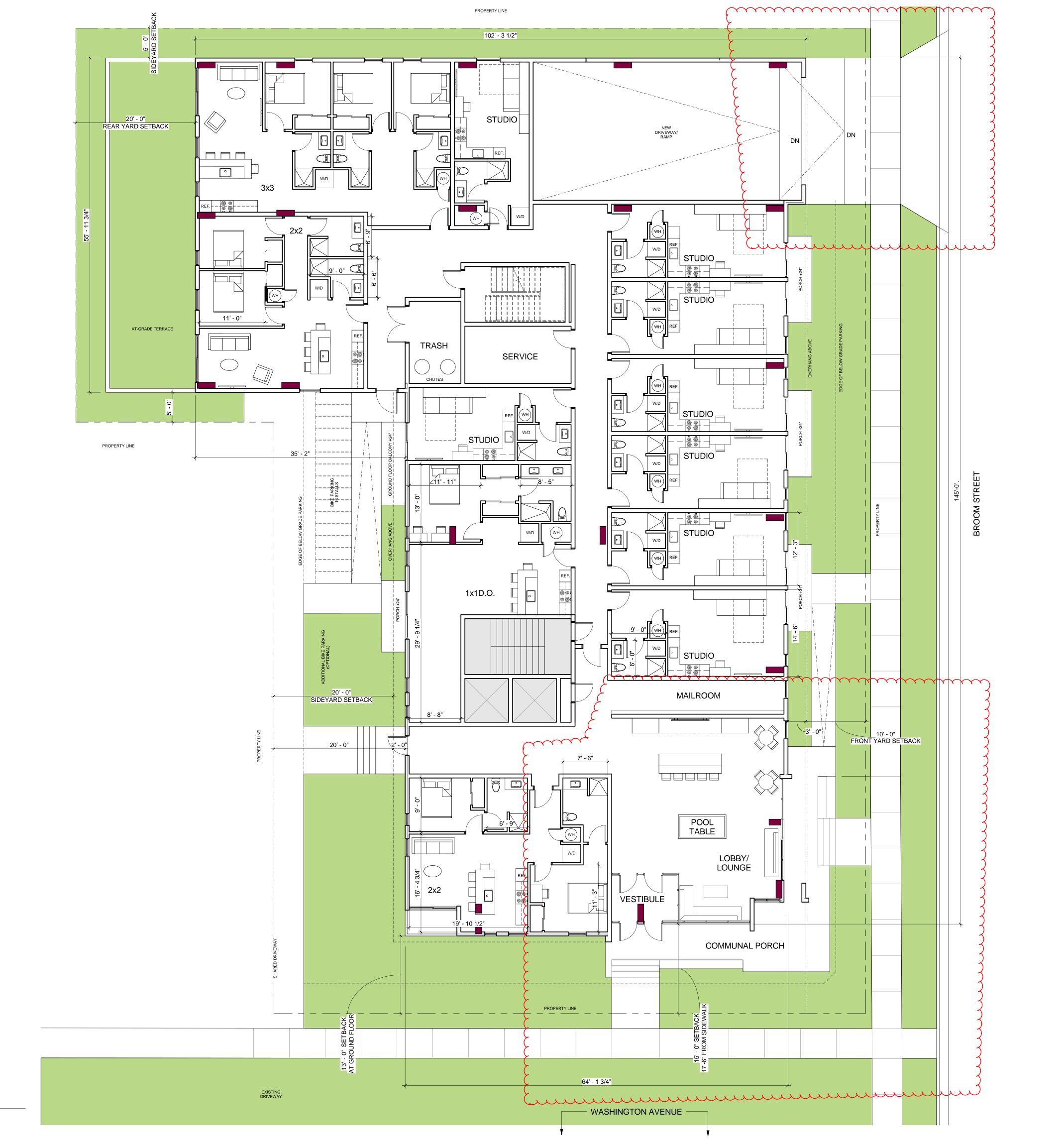
LOWER LEVEL

Project Status	
Project number	####
Date	4.12.16

A100

1 PARKING LL1

1/8" = 1'-0"





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NO.	Description	Date

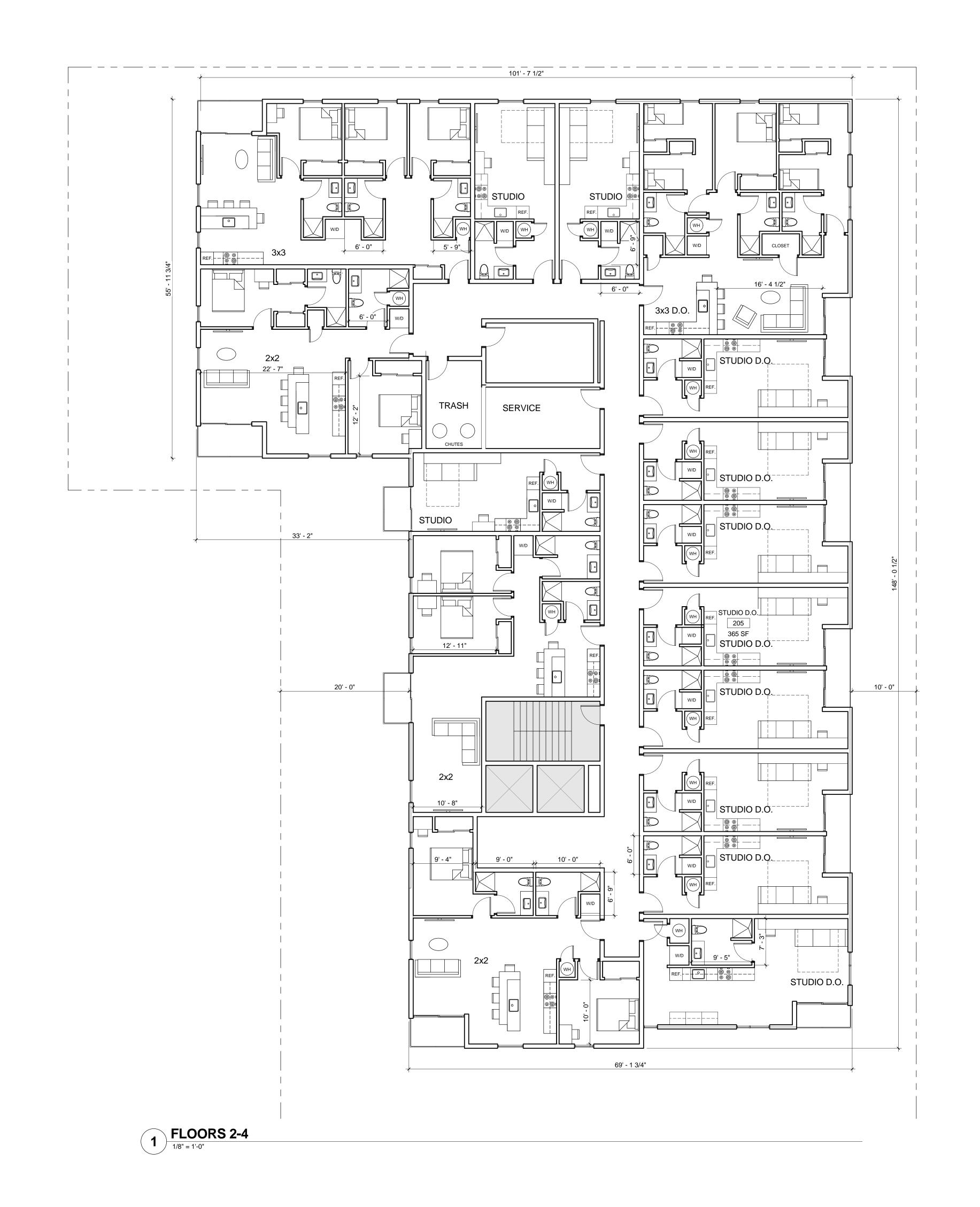
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FIRST FLOOR

Project Status	
Project number	###
Date	4.12.1





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No.	Description	Date

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FLOORS TWO THROUGH FOUR

Project Status	
Project number	####
Date	4.12.16







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No.	Description	Date

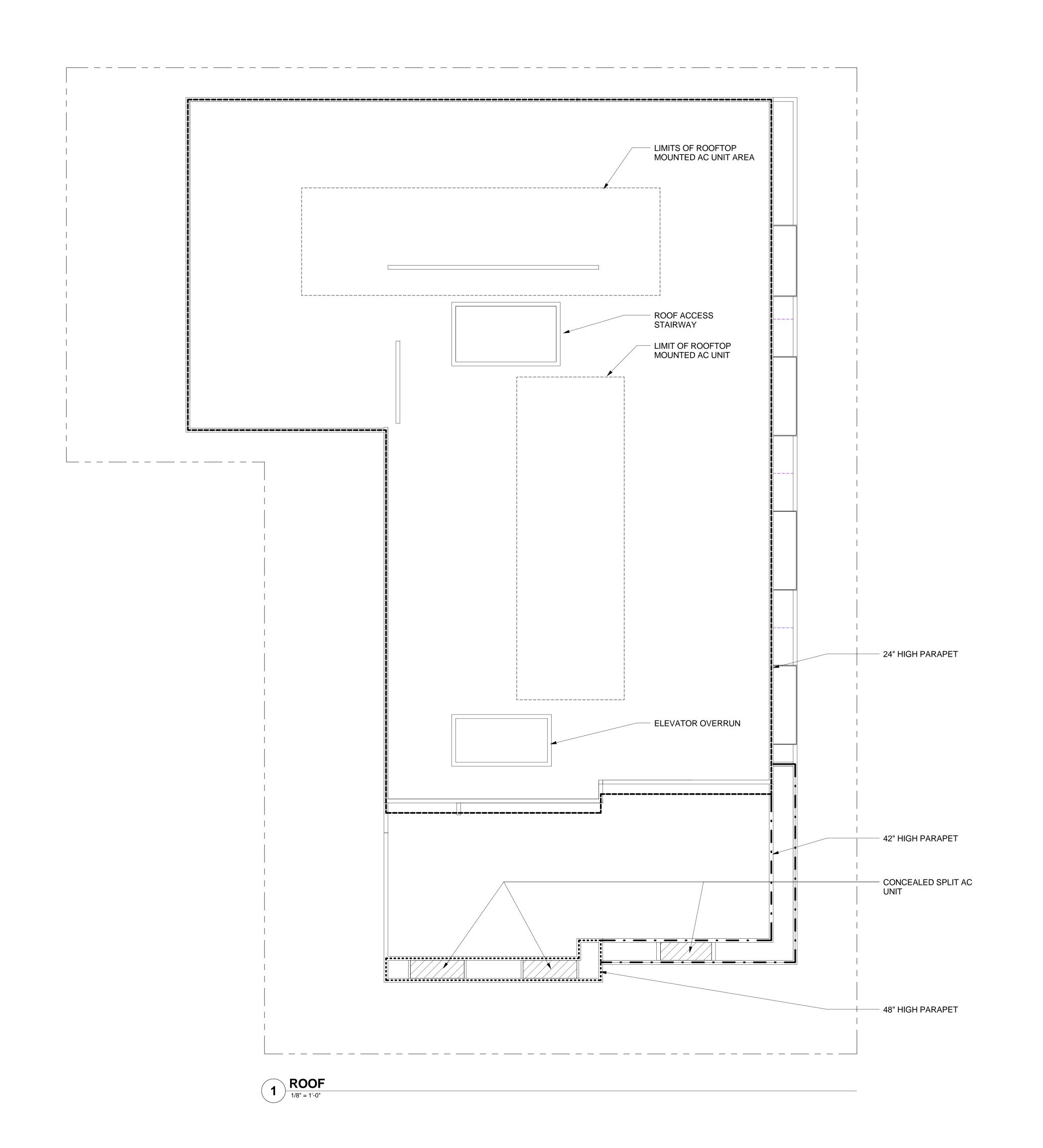
UP Urban Properties

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FLOORS FIVE AND SIX (SIM)

Project Status	
Project number	###
Date	4.12.1





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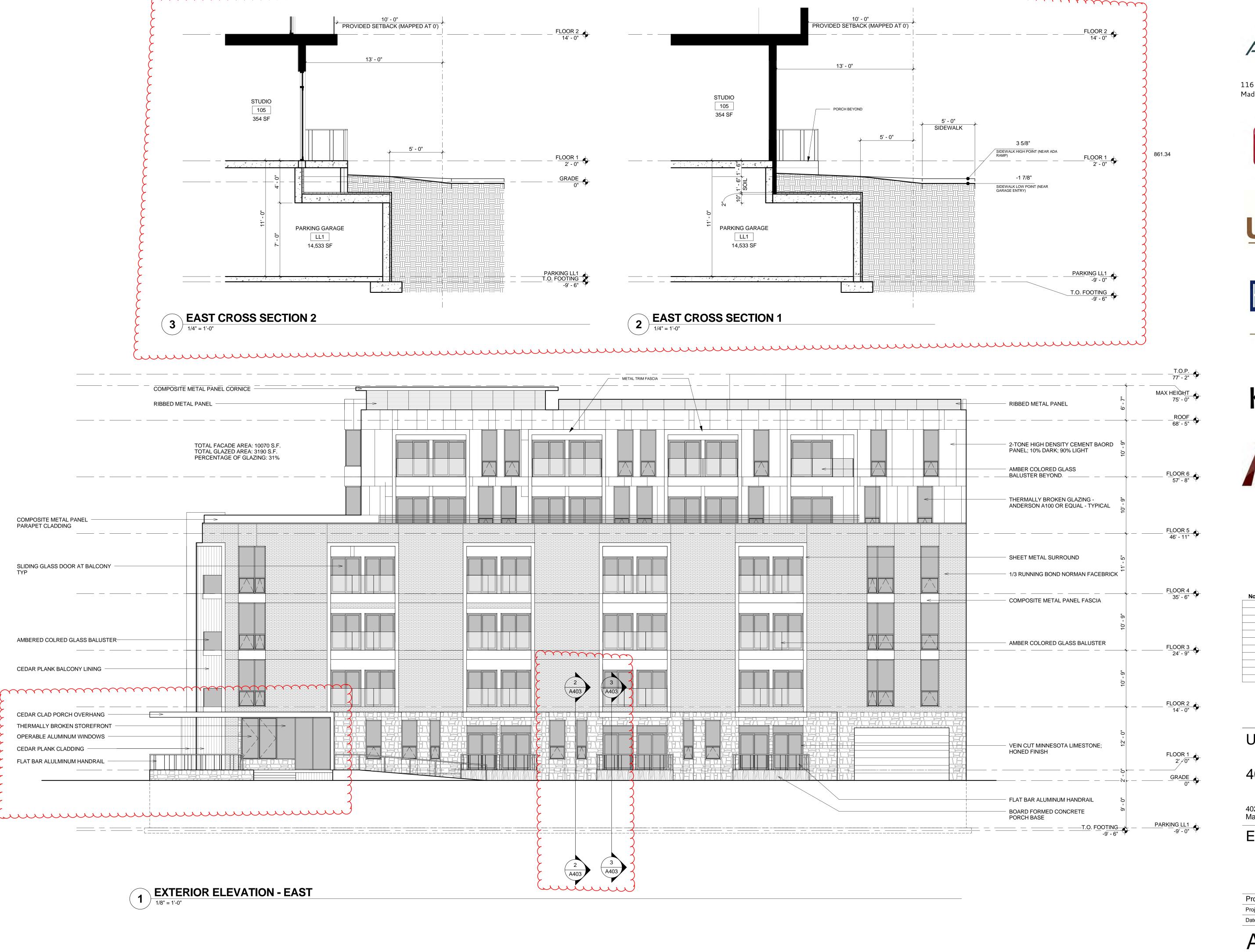
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ROOF PLAN

Project Status
Project number ####
Date 4.12.16





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Description	Date
	Description

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EAST ELEVATION

Project Status	
Project number	####
Date	4.12.16

TOTAL FACADE AREA: 7045 S.F. TOTAL GLAZED AREA: 1524 S.F. PERCENTAGE OF GLAZING: 21.63%







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No.	Description	Date

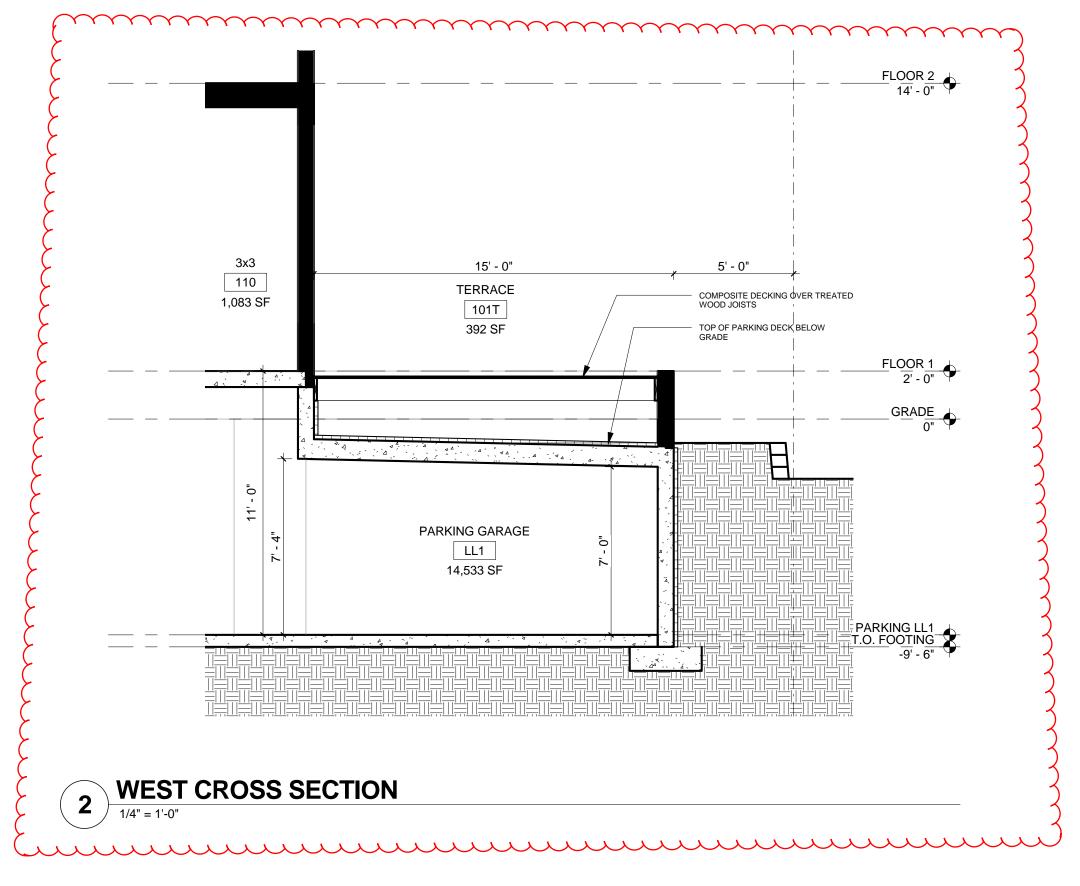
UP Urban Properties

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NORTH ELEVATION

Project Status	
Project number	####
Date	4.12.16







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No.	Description	Date

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WEST ELEVATION

Project Status	
Project number	####
Date	4.12.16

A401



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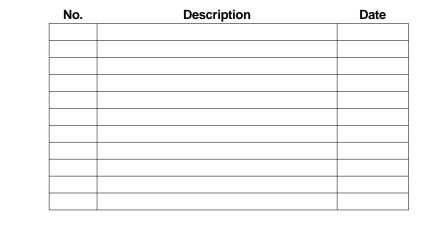






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SOUTH ELEVATION

Project Status	
Project number	####
Date	4.12.16

A400

TOTAL FACADE AREA: 7432 S.F. TOTAL GLAZED AREA: 2106 S.F. PERCENTAGE OF GLAZING: 28.3%







Arctivations

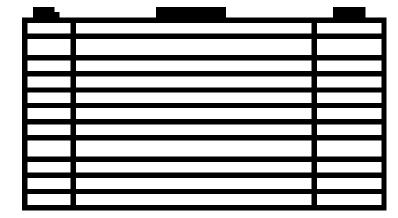


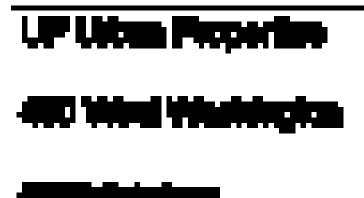


















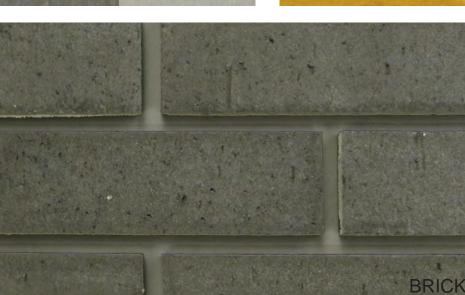
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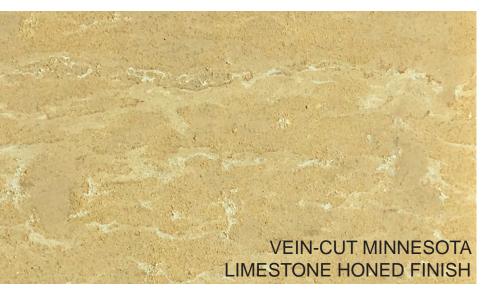
























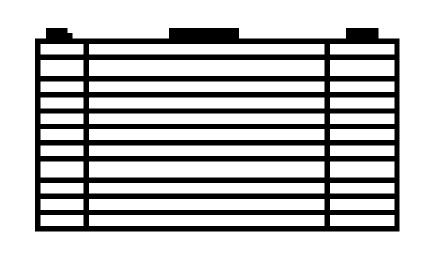




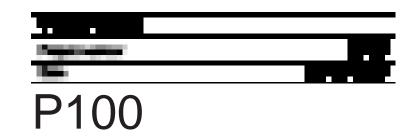








UP Ulban Properties 400 White Washington



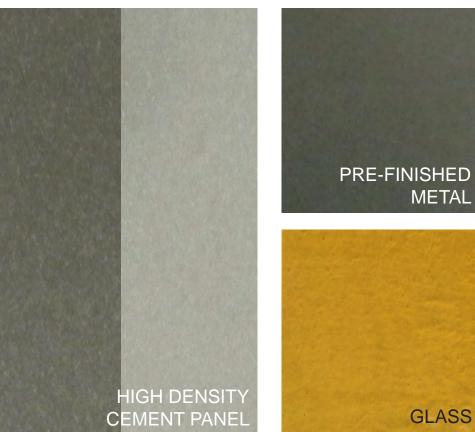
WEST ELEVATION

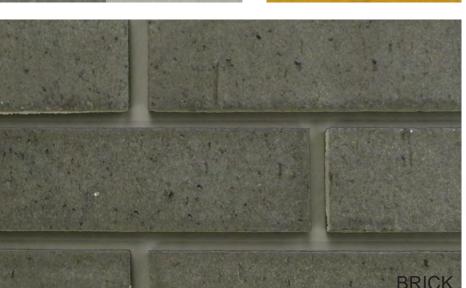




















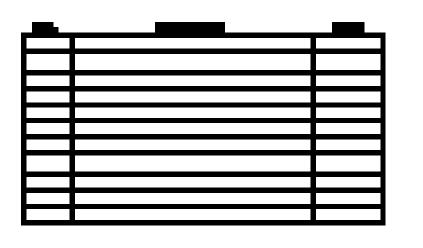


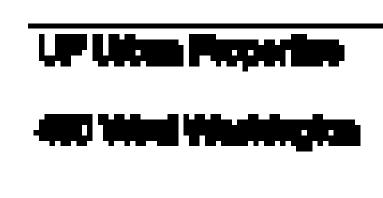


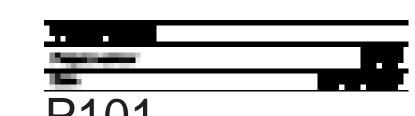












NORTH ELEVATION



















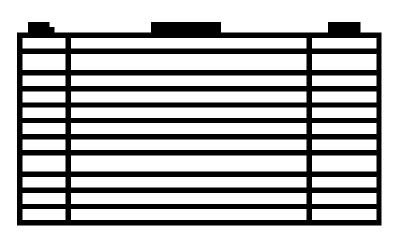


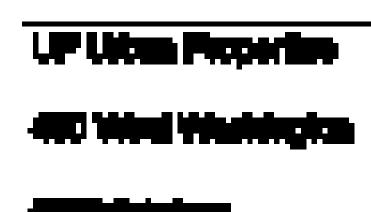


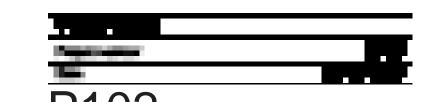










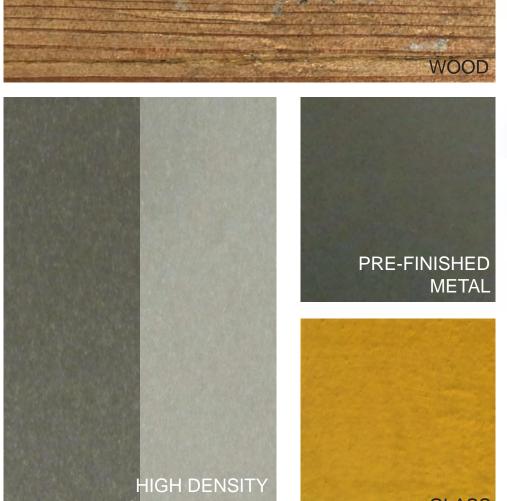


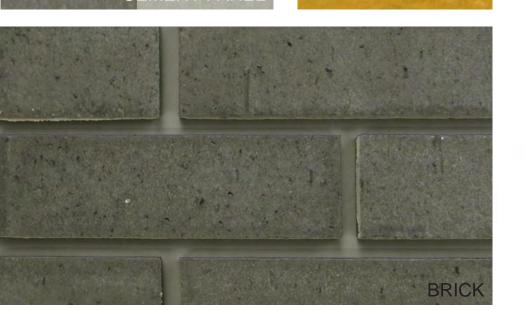
EAST ELEVATION

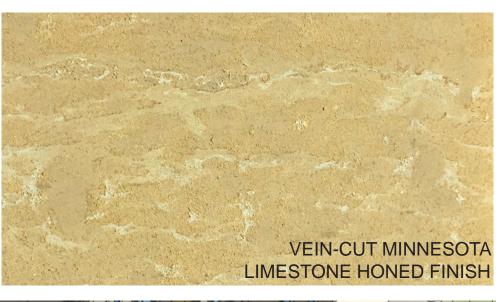


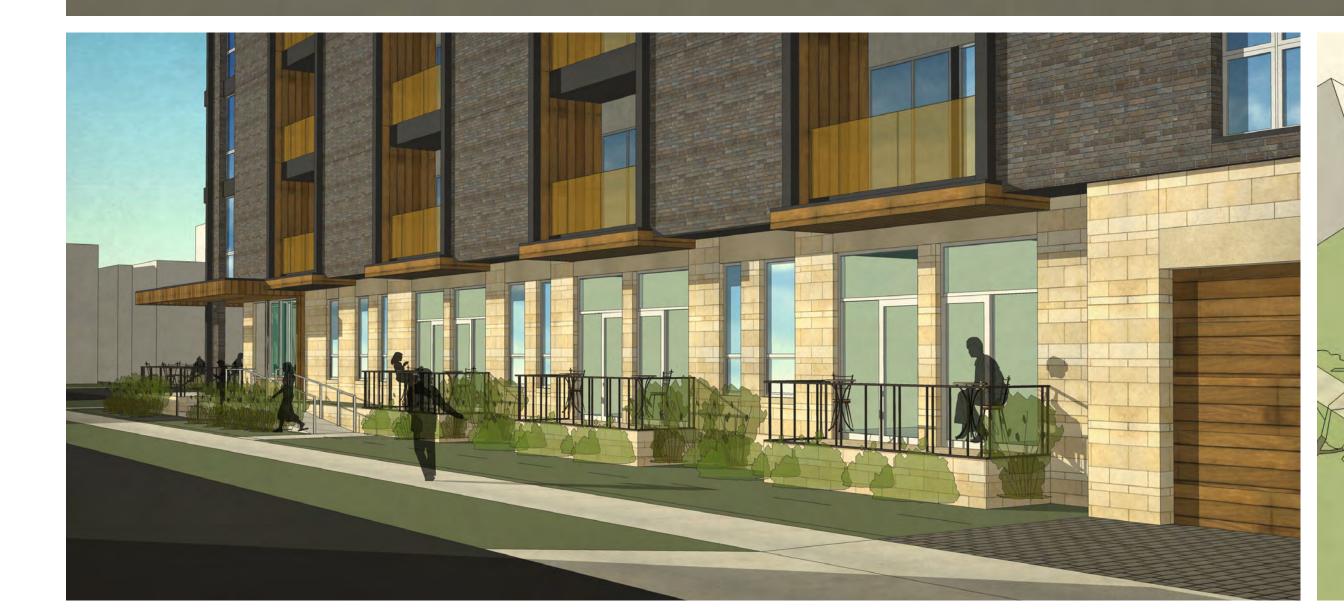




















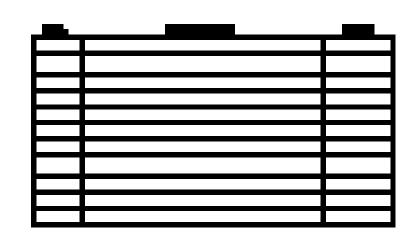


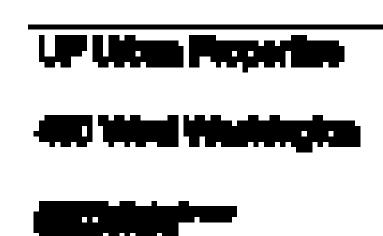


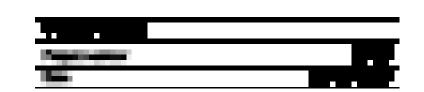














SITE LOCATOR













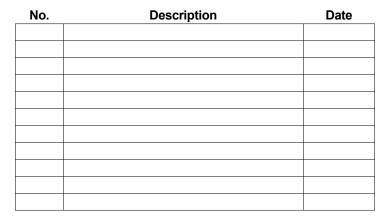






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CONTEXT ACROSS BROOM STREET			

UP Campus Properties

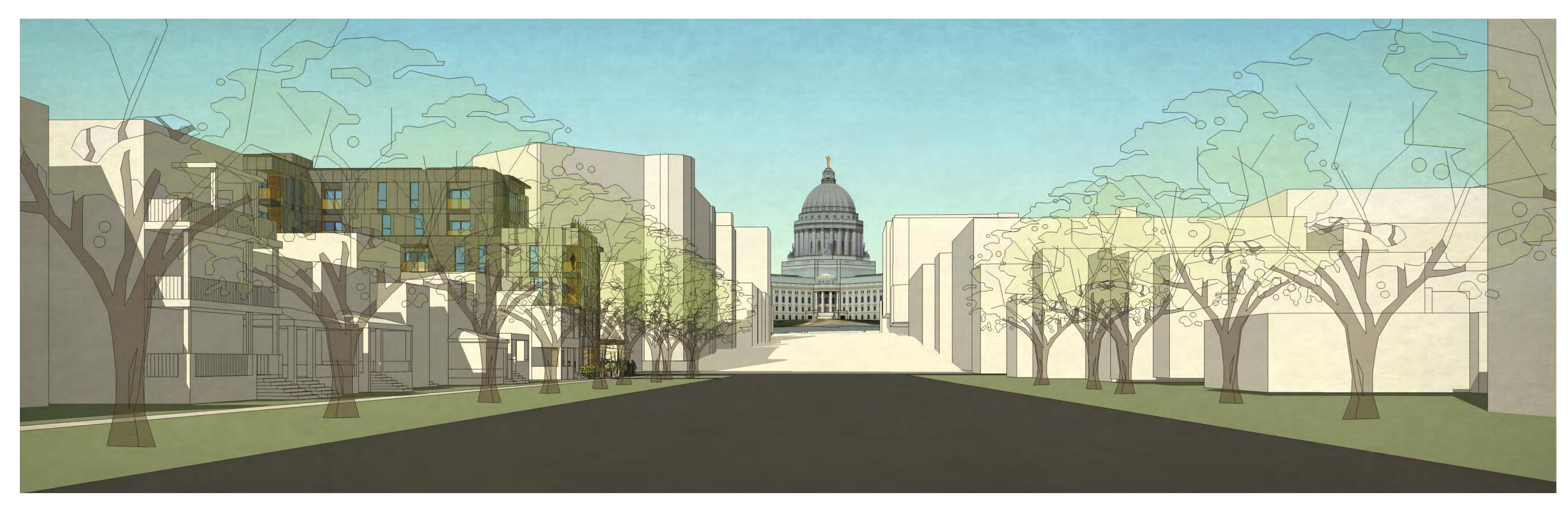
400 West Washington

400 W Washington Avenue Madison, WI 53703

P104

Project Status	
Project number	####
Date	Issue Date





SITE CORRIDOR - VIEW TO CAPITAL FROM WEST WASHINGTON



WEST WASHINGTON SETBACKS



AERIAL PHOTO



VIEW FROM BROOM









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No.	Description	Date

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P105	
Date	Issue Da
Project number	###
Project Status	



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400 W Washington Avenue Madison, WI 53703

P106

12:00 PM

Project Status	
Project number	###
Date	Issue Da



12:00 PM

5:00 PM













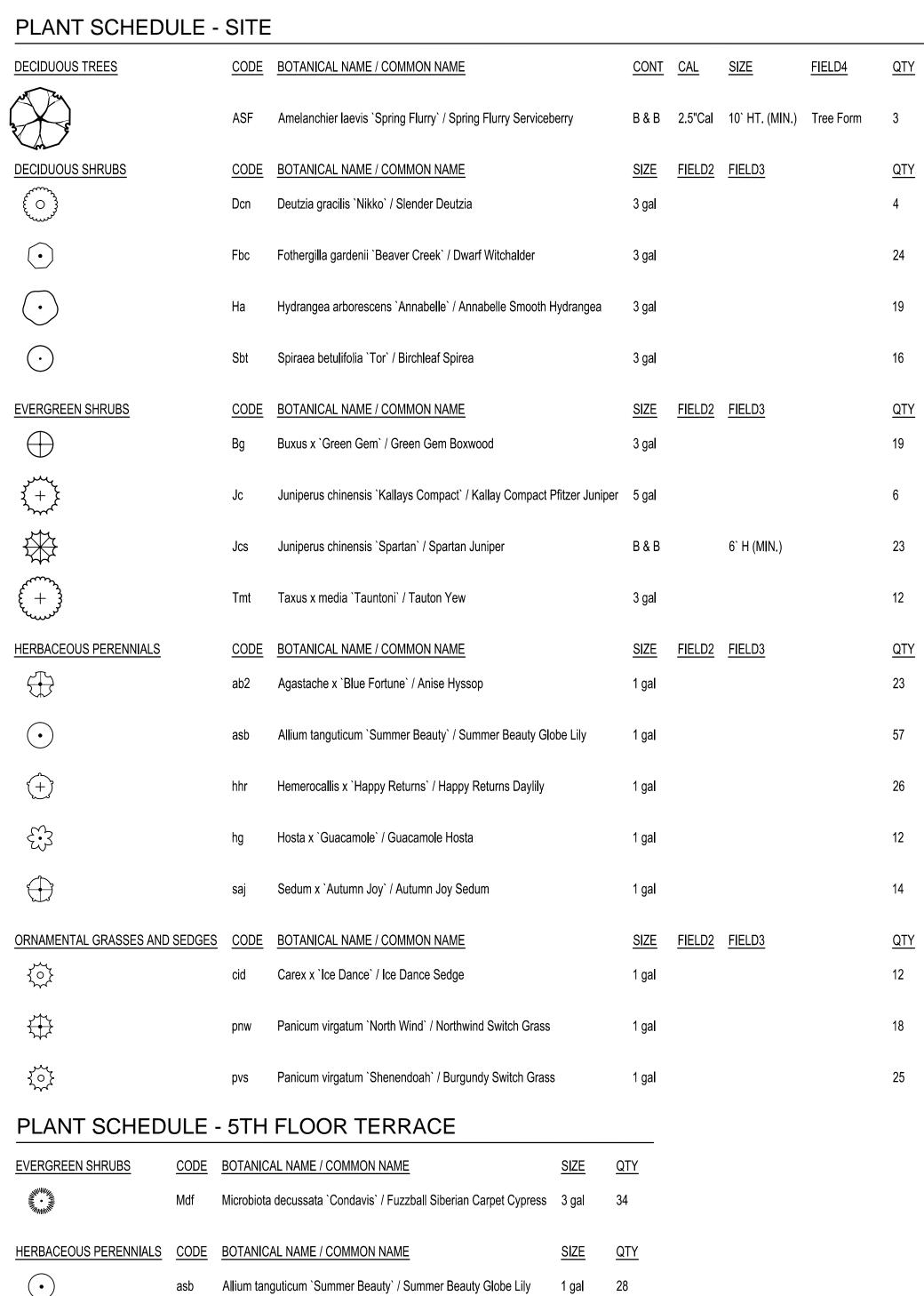


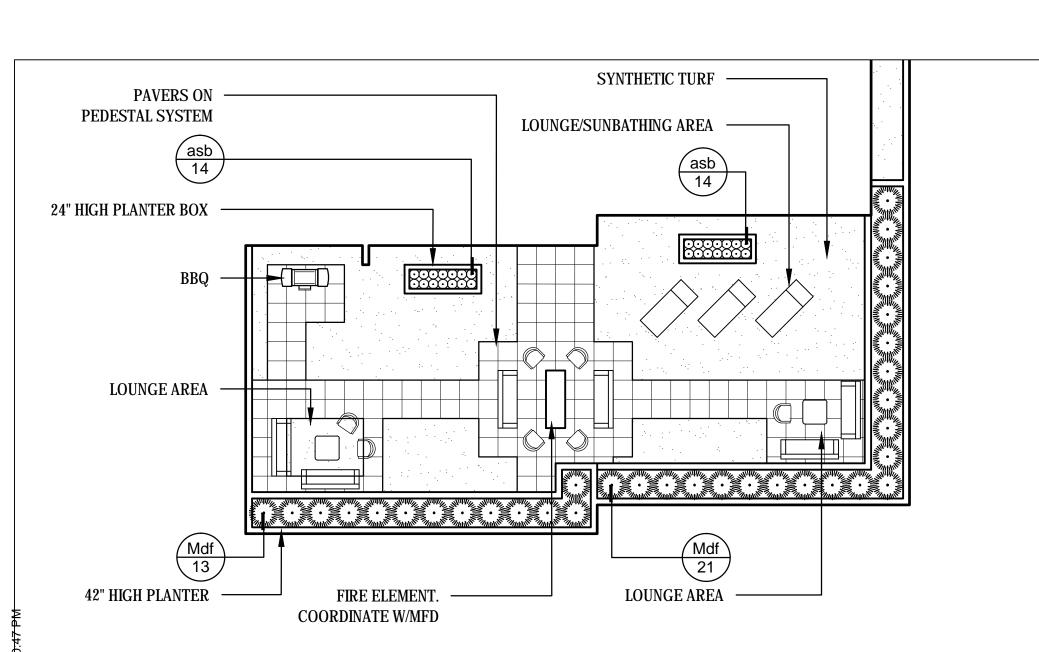






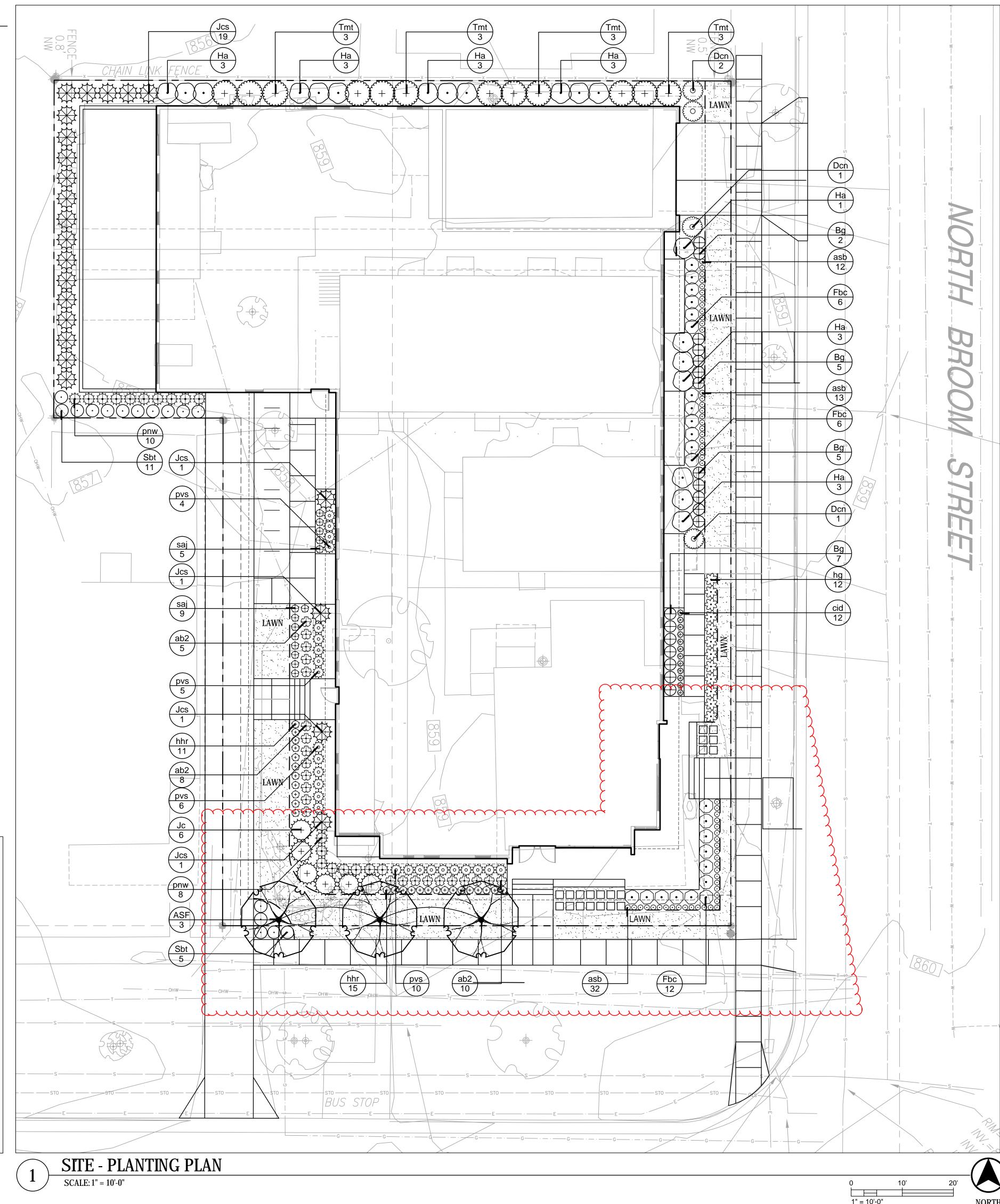
WINTER SOLSTICE





5TH FLOOR TERRACE - PLANTING PLAN

SCALE: 1" = 10'-0"





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ARCHITECTS

Kimley » Horn



No.	Description	Date
<u> </u>		
 		
-		

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Site and 5th Floor Terrace Planting Plans

	Project Status	
	Project number	2016-026
	Date	04/13/16

L100















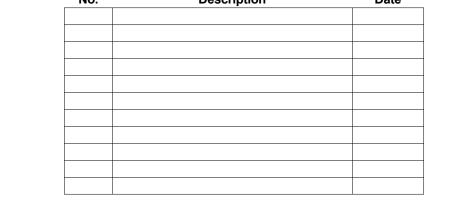


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TERRACE INSPIRATION AND MATERIALS

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Project Status	
Project number	####
Date	Issue Date
L200	





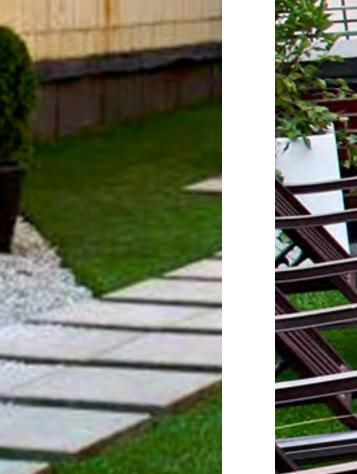


THE RESERVE THE PROPERTY OF TH

LOUNGE AREA —







24" HIGH PLANTER BOX

LOUNGE AREA —

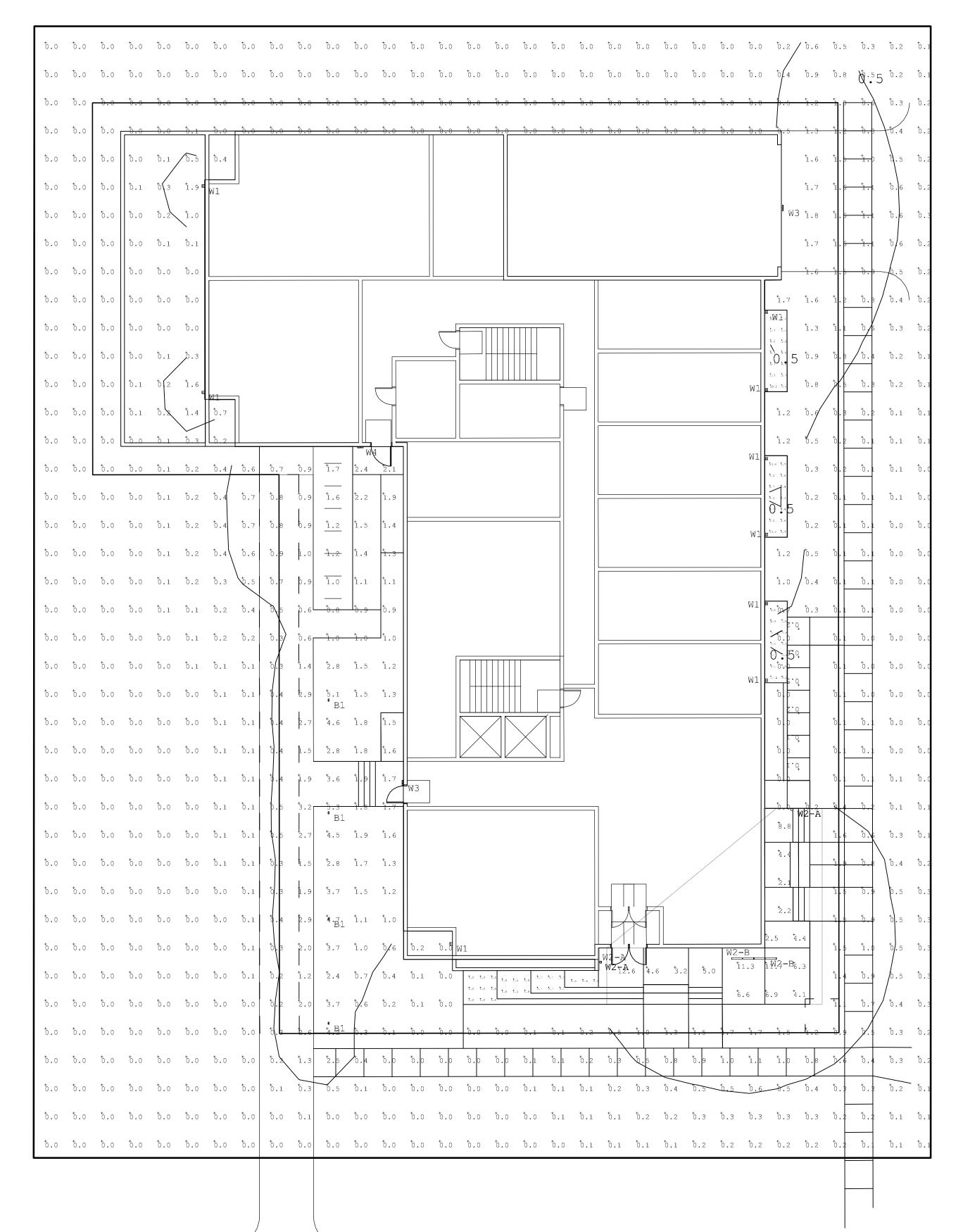
42" HIGH PLANTER

TERRACE PLAN

AND THE TRANSPORT TO A STATE OF THE TRANSPORT TO A STATE TO A STAT

FIRE ELEMENT. COORDINATE W/MFD

Luminaire Schedule							
Symbol	Qty	Tag	Label	Description	LLF	Lum. Lumens	Lum. Watts
	4	B1	303-B1-LEDB1-3000-UNV-T2	Lumiere Eon Bollard - Type II	0.900	600	8.16
→	9	W1	3456-KDB-LED_4	Eureka SILENE OUT 3456-KDB LED.4 (mount pointing down)	0.900	314	3.93
->-	<u> </u>	W2-A	WBRLED-B3-MF-300-80-35-S	Axis Wet Beam Recessed 300 lm per foot	0.540	1984	22
->-	2	W2-B	WBRLED-B3-MF-500-80-35-S	Axis Wet Beam Recessed 500 lm per foot	0.900	1984	22
	2	W3	IST-E01-LED-E1-BL2-8030	McGraw Edison Trapezoidal Full Cutoff Wall - Type II	0.900	2311	24.7
	1	W4	IST-E01-LED-E1-BL4-8030	McGraw Edison Trapezoidal Full Cutoff Wall - Type IV	0.900	2205	24.7





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SITE PHOTOMETRIC

Project Status	
Project number	####
Date	Issue Date

E100







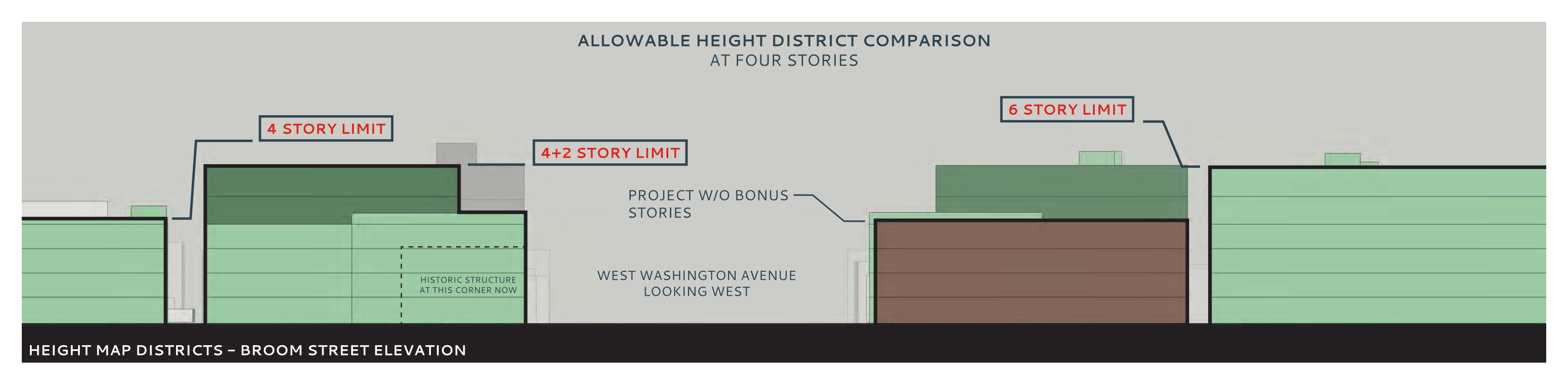


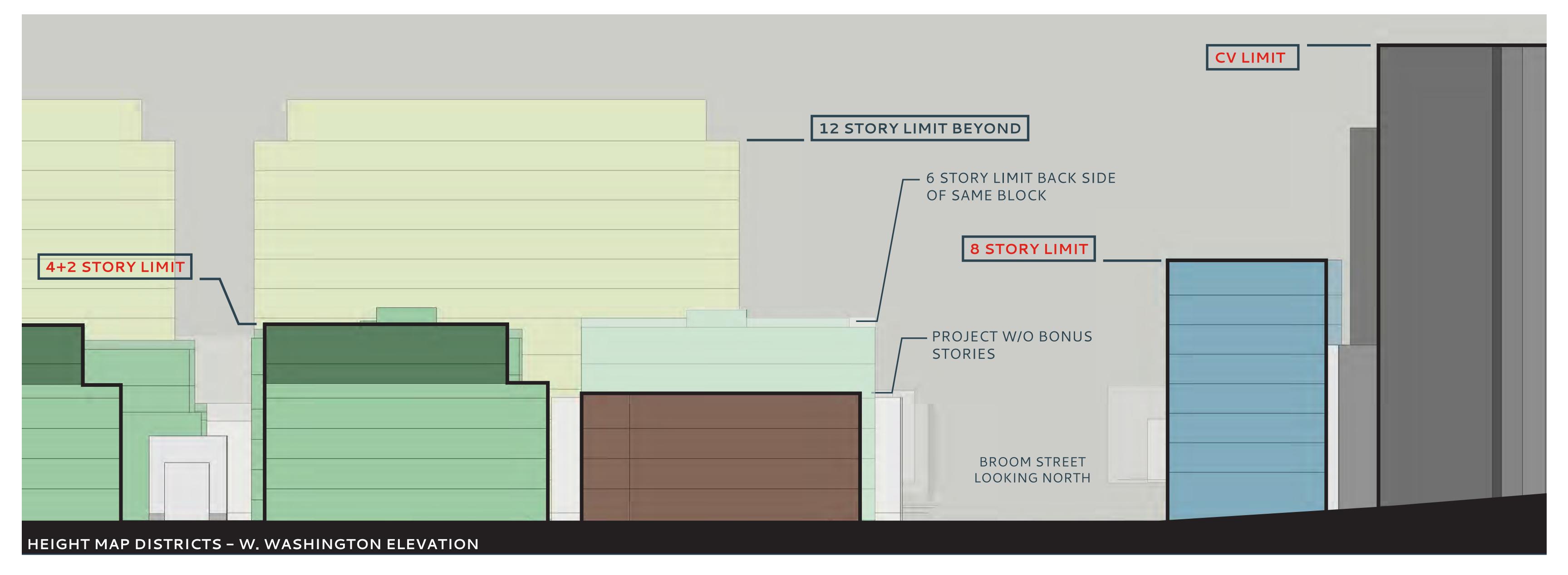














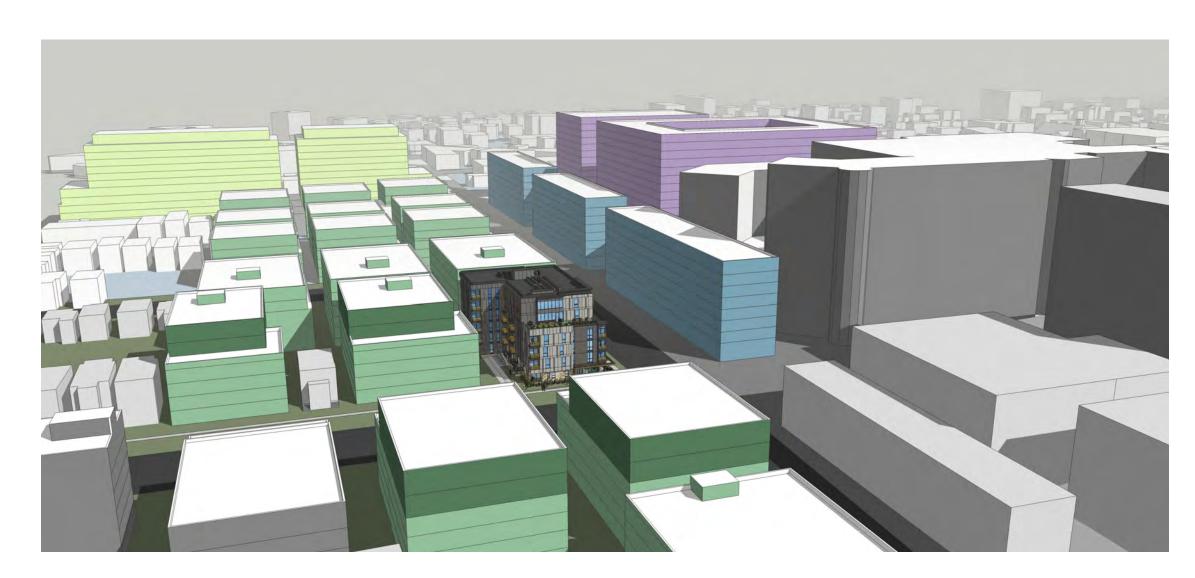






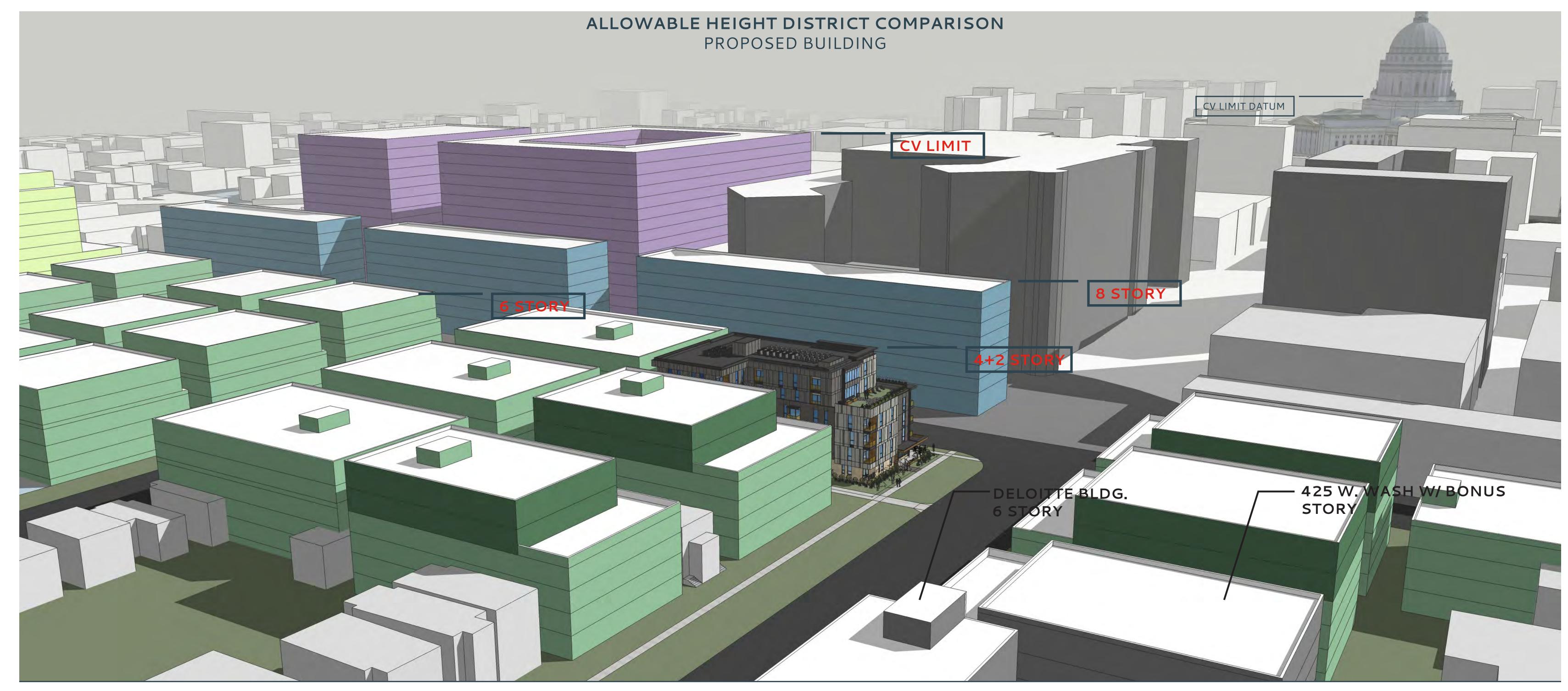
















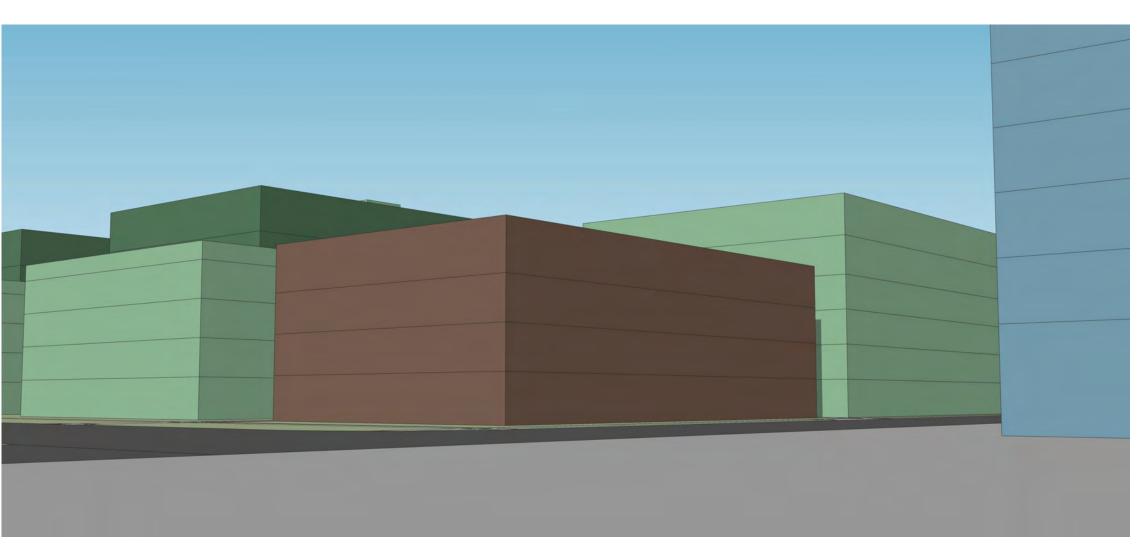




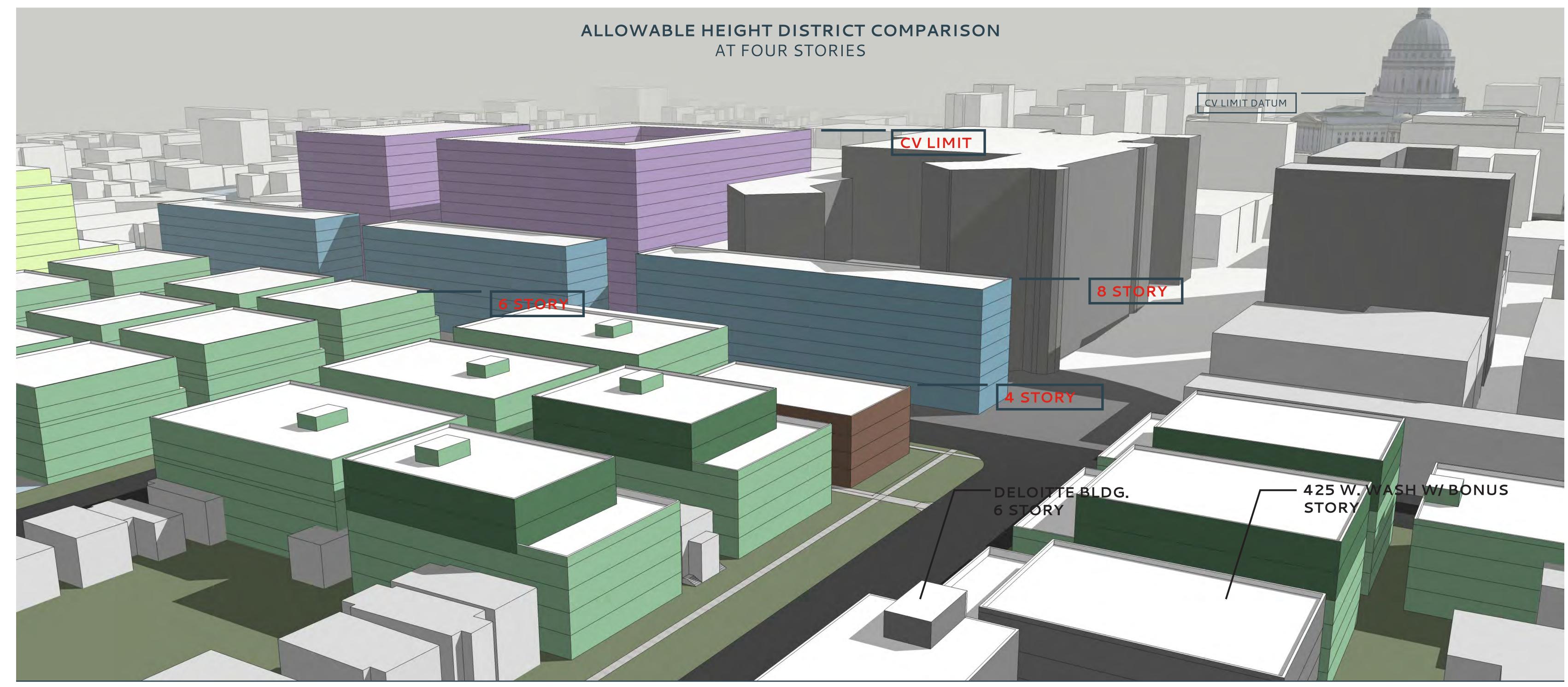






















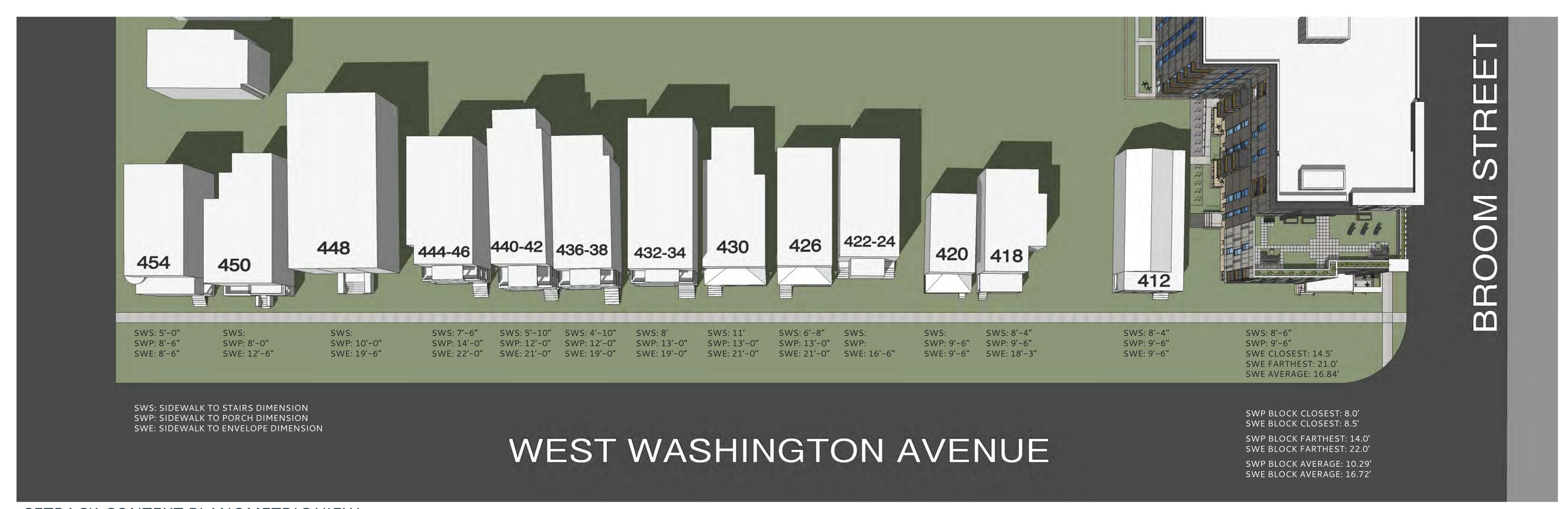






SETBACK CONTEXT LOOKING EAST

SETBACK CONTEXT LOOKING WEST



SETBACK CONTEXT PLANOMETRIC VIEW



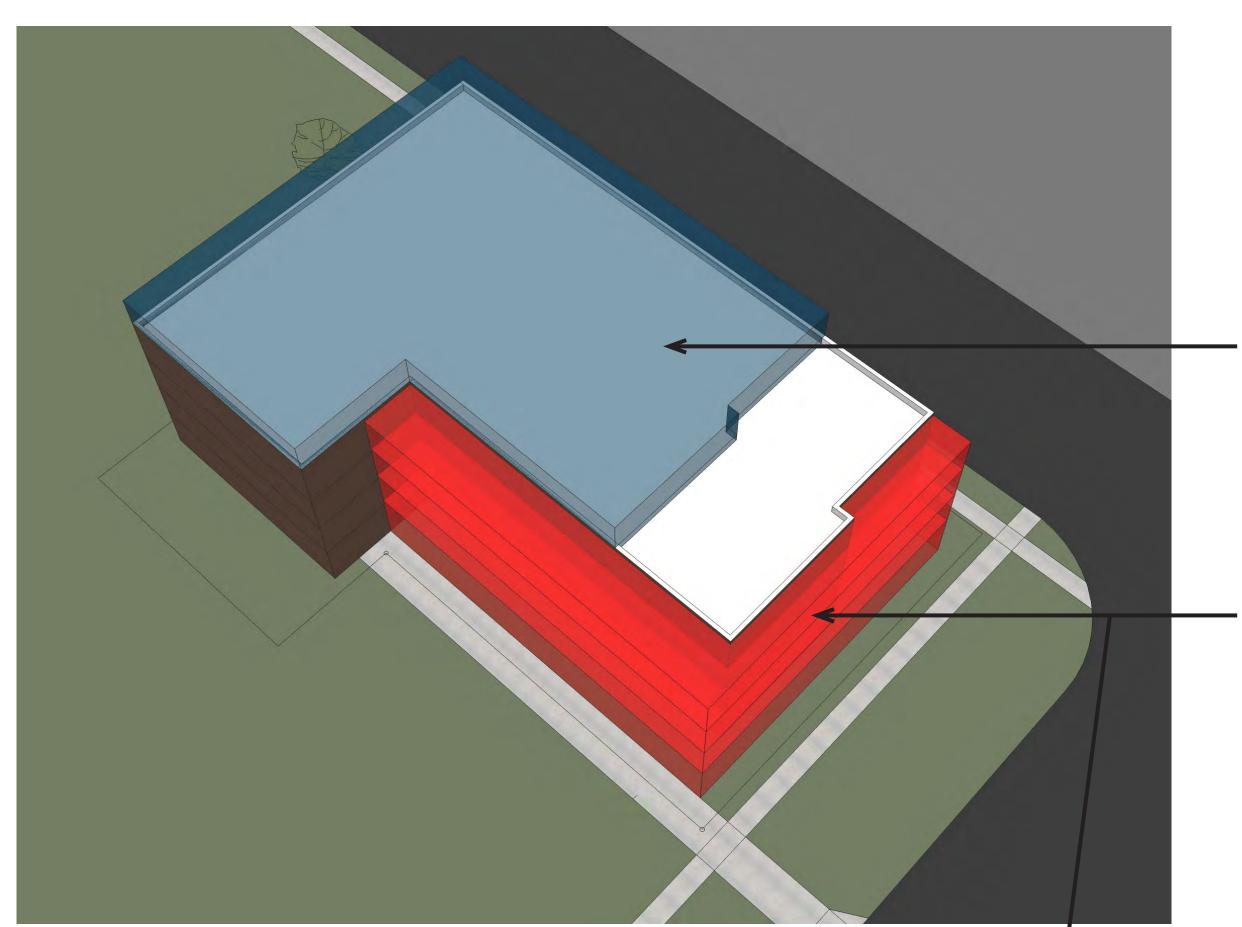












BLUE FORM REPRESENTS AREA EQUIVALENT TO PORTION OF AREA PROVIDED BY BONUS STORIES APPROXIMATELY 8,000 S.F.

RED FORM REPRESENTS BUILDABLE AREA AT FOUR STORIES PER DR2 ZONING - FOOTPRINT OF 1900 S.F. OVER FOUR FLOORS

