



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>March 23, 2016</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>May 11, 2016</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): <u>May 23, 2016</u>	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 601 Langdon St., Madison, WI
Project Title (if any): Graduate Madison

2. This is an application for (Check all that apply to this UDC application):

- New Development
- Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)
- Street Graphics Variance* (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Joyce Ke Company: AJ Capital Partners
 Street Address: 133 N. Jefferson St., 4th Floor City/State: Chicago, IL Zip: 60661
 Telephone: (312) 777-3129 Fax: (312) 275-1070 Email: jk@ajcpt.com

Project Contact Person: Bill Wellman Company: Graduate Madison
 Street Address: 601 Langdon St. City/State: Madison, WI Zip: 53703
 Telephone: (608) 257-4391 Fax: (608) 257-2832 Email: bwellman@graduatemadison.com

Project Owner (if not applicant): Graduate Madison Owner LLC
 Street Address: 133 N. Jefferson St., 4th Floor City/State: Chicago, IL Zip: 60661
 Telephone: (312) 777-3129 Fax: (312) 275-1070 Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on March 14, 2016.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Graduate Madison Owner LLC Relationship to Property Property owner / fee holder

Authorized Signature [Signature] Date 3/18/2016

LETTER OF INTENT FOR LAND USE APPLICATION

Matthew Tucker
Zoning Administrator
Madison Municipal Building, LL 100
215 Martin Luther King, Jr. Blvd.
PO Box 2984
Madison, WI 53701-2984

Re: Zoning Map Amendment for Planned Development (PD) Zoning
Letter of Intent
Graduate Madison
601 Langdon St.

Dear Matt:

We are pleased to submit the Zoning Map Amendment application for Planned Development Zoning to Amended Planned Development Zoning for Graduate Madison, located at 601 Langdon Street.

The Graduate Madison currently operates as a 72-room hotel with rooftop restaurant and bar and a ground floor restaurant. The zoning change incorporates rooftop HVAC and HVAC screening, as well as a walk-up service window for the ground floor restaurant.

To the best of our knowledge, the HVAC system plans changed to relocate the HVAC to the roof at some point during construction and, due to an unfortunate oversight, revised approvals were not obtained. The individual overseeing the renovation for the building owner has since left the company, so exact details regarding the approval oversight are unknown.

Further details about the zoning change are as follows:

Name of Project

Graduate Madison/601 Langdon St., Madison, WI 53703

Project Team

Property Owner: Graduate Madison Owner LLC
c/o AJ Capital Partners
133 N. Jefferson St., 4th Floor
Chicago, IL 60661

Architect: Dimension IV Madison Design Group
6515 Grand Teton Plaza, Suite 120
Madison, WI 53719
Attn: Amy McNally
Telephone: 608- 829-4460

General Contractor: KSW Construction Corporation
807 Liberty Drive, Suite 106
Verona, WI 53593
Attn: Dan Crow
Telephone: 608-845-2290

Attorney: Reinhart Boerner Van Deuren s.c.
22 E. Mifflin Street, Suite 600
Madison, WI 53703
Attn: Melanie Lee/Nathan Wautier/Maya Zahn Rhine
Telephone: 608-229-2212

Description of Existing Conditions

The property currently operates as Graduate Madison, a 7-story, 72-room hotel with a rooftop restaurant and bar (The Madison Blind) and ground floor restaurant (Portage Pi). The lot comprising the hotel parcel totals approximately 12,173 square feet or 0.2794 acres, with the building comprising 50,109 square feet. The parcel includes 37 underground parking stalls, 1 stall on grade, and 4 bike parking stalls.

Project Schedule

Construction schedule would include begin upon receipt of City approvals, with anticipated completion in Summer 2016.

Proposed Uses of All Areas

The hotel and restaurants are currently operational. We are seeking a zoning change to a Planned Development to incorporate rooftop HVAC and HVAC screening and a walk-up window for the ground floor restaurant (Portage Pi), along with a conditional use permit for food and beverage service through the walk-up window. There will be no changes to building square footage or parking.

Hours of Operation

The hours of operation are as follows:

- Hotel: 24 hours a day/365 days a year.
- The Madison Blind: Monday through Thursday 4:30 p.m. – 12:00 a.m.; Friday 3:00 p.m. – 2:00 a.m.; Saturday 11:00 a.m. – 2:00 a.m.; Sunday 11:00 a.m. – 12:00 a.m.
- Portage Pi: Daily 6:30 a.m. – 8:00 p.m.
 - Walk-up window service: Daily 6:30 a.m. – 8:00 p.m.

Lot Coverage and Usable Open Space Calculations

N/A – Existing Planned Development.

Number of Employees/Construction Jobs

N/A.

Value of Land/Estimated Project Cost

The current value of the land and building according to City of Madison tax records is \$6,910,000.00. The cost of HVAC screening and walk-up window installation is under development.

Public Subsidy Requested

None.

Signage

Any signage depicted on the enclosed plans is for informational purposes. A separate Alteration to an Approved & Recorded Specific Implementation Plan related to the signage was recorded March 2, 2016, with the Dane County Register of Deeds as Document No. 5218061.

Zoning Text

Legal Description: Lot Seven (7), and the East 25 feet of Lot Six (6), Block Seven (7), Original Plat of the City of Madison, Dane County, Wisconsin.

Parcel No. 60-0709-143-0201-6

Common Address: 601 Langdon Street, Madison, WI 53703

Statement of Purpose: This zoning district is established to stabilize and protect the essential characteristics of an existing high density residential area located in the central part of the City of Madison, and to promote and encourage, insofar as compatible with the intensity of land uses, a suitable environmental for a predominantly adult population, and in those central areas located in close proximity to the central campus of the University of Wisconsin, to promote and encourage a suitable environmental for uses complimentary to University of Wisconsin functions.

Permitted Uses:

1. Those that are stated as permitted in the [NMX] District. **[NOTE: CONFIRM. Current zoning text references R6 zoning designation.]**
2. Uses accessory to those permitted uses listed above.
3. Hotel, inn, motel.
4. Restaurants and bars integral to hotels.
5. Roof-top restaurant and terrace.

Conditional Uses: Accessory outdoor eating areas for accessory restaurants or restaurant-taverns. Walk-up window food and beverage service related to ground floor restaurant.

Lot Area: As shown on the approved plans.

Height Regulations: As shown on the approved plans.

Yard Regulations: As shown on the approved plans.

Landscaping: Site landscaping shall be provided as shown on the approved plans.

Useable Open Space Requirements: Usable open space shall be provided as shown on the approved plans.

Parking & Loading: Off-street parking and loading shall be provided as shown on the approved plans.

Lighting: Site lighting shall be provided as shown on the approved plans.

Signage: Signage shall be allowed as provided by M.G.O. and as approved by the Urban Design Commission and Zoning Administrator.

Family Definition: The family definition shall coincide with the definition given by M.G.O. for the [NMX] District.

Alterations and Revisions: No alterations or revisions to this Planned Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

THE GRADUATE MADISON - ADDITION AND ALTERATIONS

601 LANGDON STREET
 MADISON, WI 53703



PROJECT PERSPECTIVE

LIST OF DRAWINGS

- C1.0 SITE & LANDSCAPE APPROVED
- C1.0R SITE & LANDSCAPE REVISED
- C1.1 GRADING & UTILITY APPROVED
- C1.1R GRADING & UTILITY REVISED
- A1.1 FIRST FLOOR PLAN APPROVED
- A1.1R FIRST FLOOR PLAN REVISED
- A1.8R ROOF PLAN
- A5.2R ENLARGED CAFE/PATIO PLAN
- A2.0 ELEVATIONS APPROVED
- A2.0CR ELEVATIONS REVISED
- A2.1 ELEVATIONS APPROVED
- A2.1CR ELEVATIONS REVISED

Architecture :

Dimension IV Madison Design Group

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
 p: 608.829.4444 www.dimensionivmadison.com

Structural Engineering:

Oneida Total Integrated Enterprises (OTIE)

5100 Eastpark Boulevard, Suite 200, Madison, WI 53718
 p: 608.243.6470 www.otie.com

LIST OF DRAWINGS

- GENERAL
- G0.1 COVER SHEET
- G0.2 PROJECT INFORMATION
- G1.1R CODE COMPLIANCE PLANS
- G1.2R CODE COMPLIANCE PLANS

- CIVIL
- SURVEY
- C1.0R SITE AND LANDSCAPE PLAN
- C1.1R GRADING AND UTILITY PLAN

- DEMOLITION
- D1.1R FIRST FLOOR DEMOLITION PLAN
- D1.2R SECOND FLOOR AND SEVENTH FLOOR DEMOLITION PLAN

- STRUCTURAL
- S0.1 STRUCTURAL NOTE SHEET
- S1.0 BASEMENT, 1ST FLOOR, 2ND THRU 6TH FLOOR FRAMING PLANS & DETAILS
- S1.1 7TH FLOOR/ROOF FRAMING PLANS
- S8.0 STRUCTURAL DETAILS

- ARCHITECTURAL
- A1.0 BASEMENT FLOOR PLAN
- A1.1R FIRST FLOOR PLAN
- A1.2 SECOND THROUGH FIFTH FLOOR PLANS
- A1.6R SIXTH & SEVENTH FLOOR PLANS
- A1.8R ROOF PLAN
- A2.0R EXTERIOR ELEVATIONS
- A2.1R EXTERIOR ELEVATIONS
- A3.0 BUILDING SECTION

LIST OF DRAWINGS

- A3.1R STAIR AND ELEVATOR SECTIONS
- A3.2R BUILDING SECTIONS
- A3.3R BUILDING AND WALL SECTIONS
- A4.1R REFLECTED CEILING PLANS
- A5.0R ENLARGED STAIR AND RESTROOM PLANS
- A6.0R WALL AND PARTITION TYPES
- A6.1 FLOOR, CEILING, AND ROOF TYPES
- A6.2R DOOR & WINDOW SCHEDULES, TYPES, & ELEVATIONS
- A6.3R DOOR & WINDOW DETAILS
- A7.0 INTERIOR ELEVATIONS
- A7.1 GUEST ROOM ADA BATHROOMS
- A8.0R DETAILS
- A8.1R DETAILS
- A8.2R DETAILS
- A8.3R DETAILS
- A8.4 DETAILS
- A8.5 DETAILS

- FOODSERVICE
- FS1.0 FOODSERVICE EQUIPMENT FLOOR PLAN
- FS2.0 FOODSERVICE EQUIPMENT SCHEDULE
- FS3.0 FOODSERVICE ELECTRICAL ROUGH-IN PLAN
- FS4.0 FOODSERVICE PLUMBING ROUGH-IN PLAN
- FS5.0 FOODSERVICE MECHANICAL PLAN
- FS5.1 FOODSERVICE HOOD SHOP DRAWING
- FS5.2 FOODSERVICE HOOD SHOP DRAWING
- FS6.0 FOODSERVICE SPECIAL CONDITIONS PLAN
- FS6.1 WALK-IN COOLER MANUFACTURER SHOP DRAWING
- FS7.0 FOODSERVICE ELEVATIONS
- FS7.1 FOODSERVICE ELEVATIONS
- FS8.0 FOODSERVICE GENERAL NOTES

CODE COMPLIANCE GENERAL NOTES

A. REFER TO SHEET A7.0 FOR ACCESSIBLE MOUNTING AND CLEARANCES INFORMATION.

B. ALL FIRE EXTINGUISHER CABINETS SHALL BE IN APPROVED LOCATIONS WITH A MINIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET PER I.F.C. - SEE PLANS FOR LOCATIONS.

C. EXIT ACCESS TRAVEL DISTANCE IS 250' FEET MAXIMUM WITH SPRINKLERS PER TABLE 1016.1.

D. COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75' PER 1014.3 (RESIDENTIAL AND ASSEMBLY WITH FEWER THAN 50 OCCUPANTS).

E. EVERY ASSEMBLY OCCUPANCY ROOM OR SPACE TO HAVE SIGNAGE POSTING OCCUPANT LOAD NEAR THE DOOR/EXIT FROM THE ROOM OR SPACE.

CODE COMPLIANCE SYMBOLS LEGEND

XXX INDICATES OCCUPANCY LOAD

--- INDICATES ADA ACCESSIBLE ROUTE

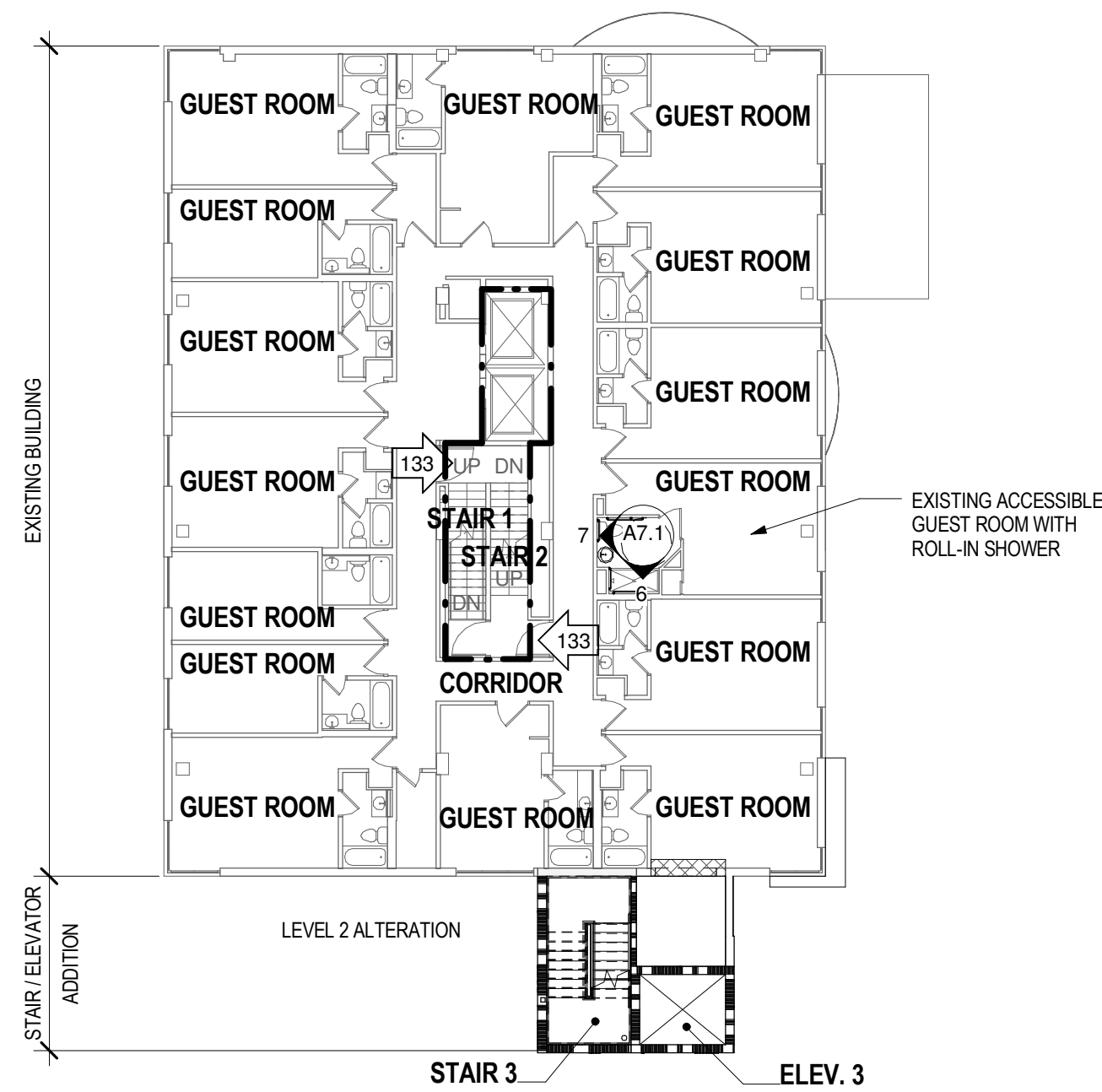
XXX INDICATES EXIT AND EXIT CAPACITY

INDICATES 1 HOUR FIRE RATED WALL (SEC 709)

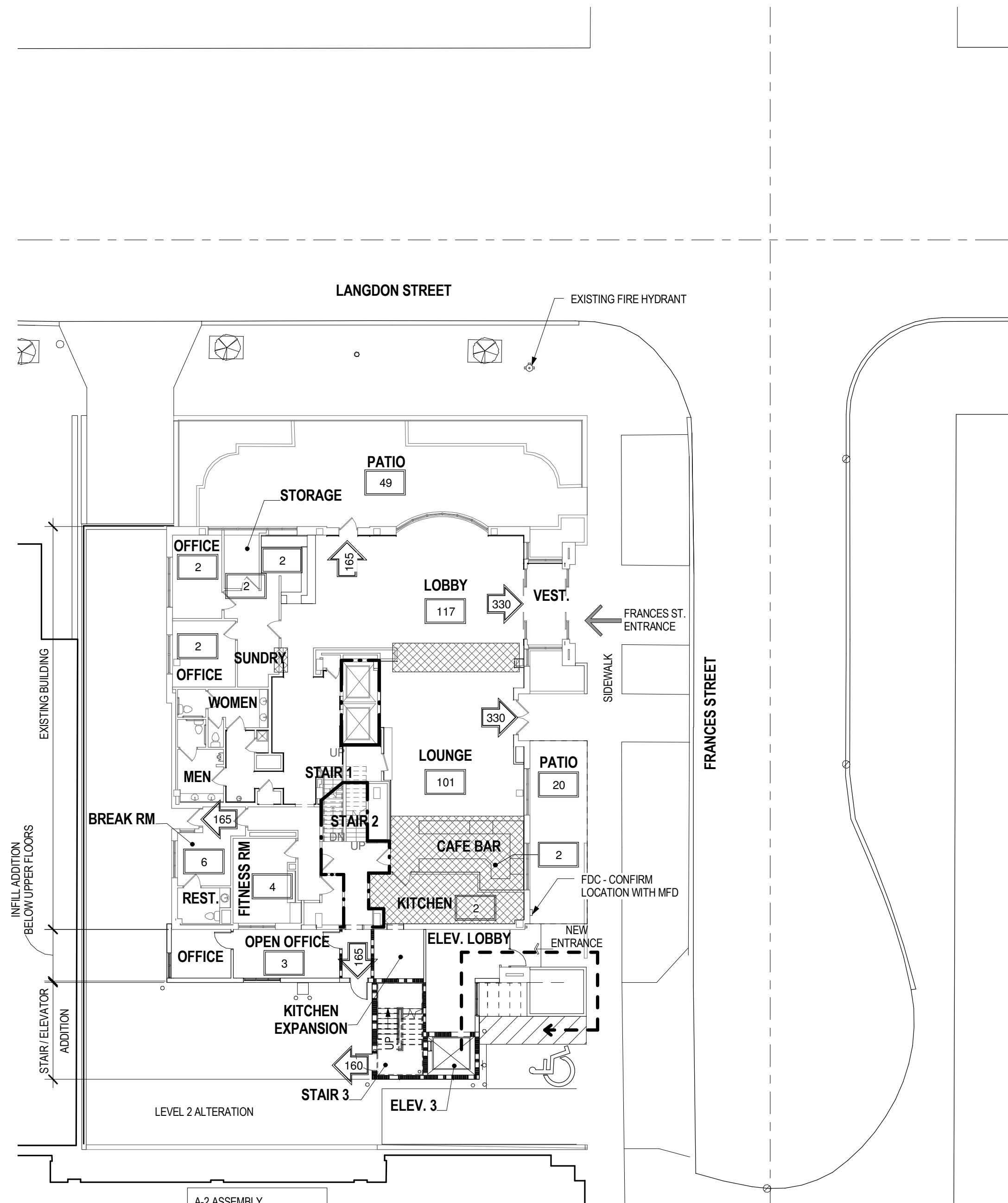
INDICATES 2 HOUR FIRE RATED WALL (SEC 709)

--- EXISTING RATED WALL

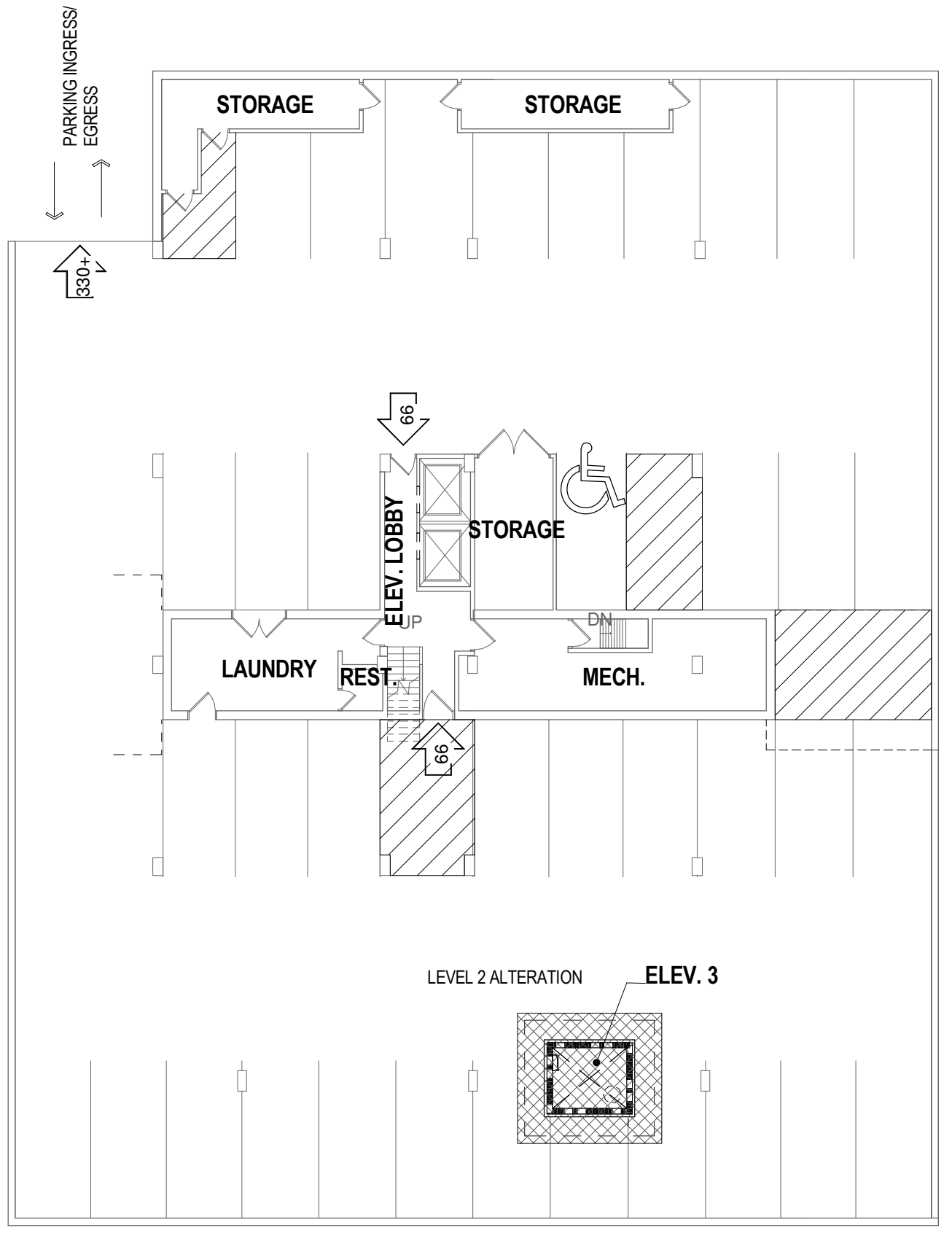
INDICATES AREA OF ALTERATIONS



4 CODE COMPLIANCE PLAN - SECOND FLOOR
1/16" = 1'-0"



3 CODE COMPLIANCE PLAN - FIRST FLOOR
1/16" = 1'-0"



2 CODE COMPLIANCE PLAN - BASEMENT FLOOR
1/16" = 1'-0"

**THE GRADUATE
MADISON - ADDITION
AND ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

REVISIONS:

PROJECT # 14043

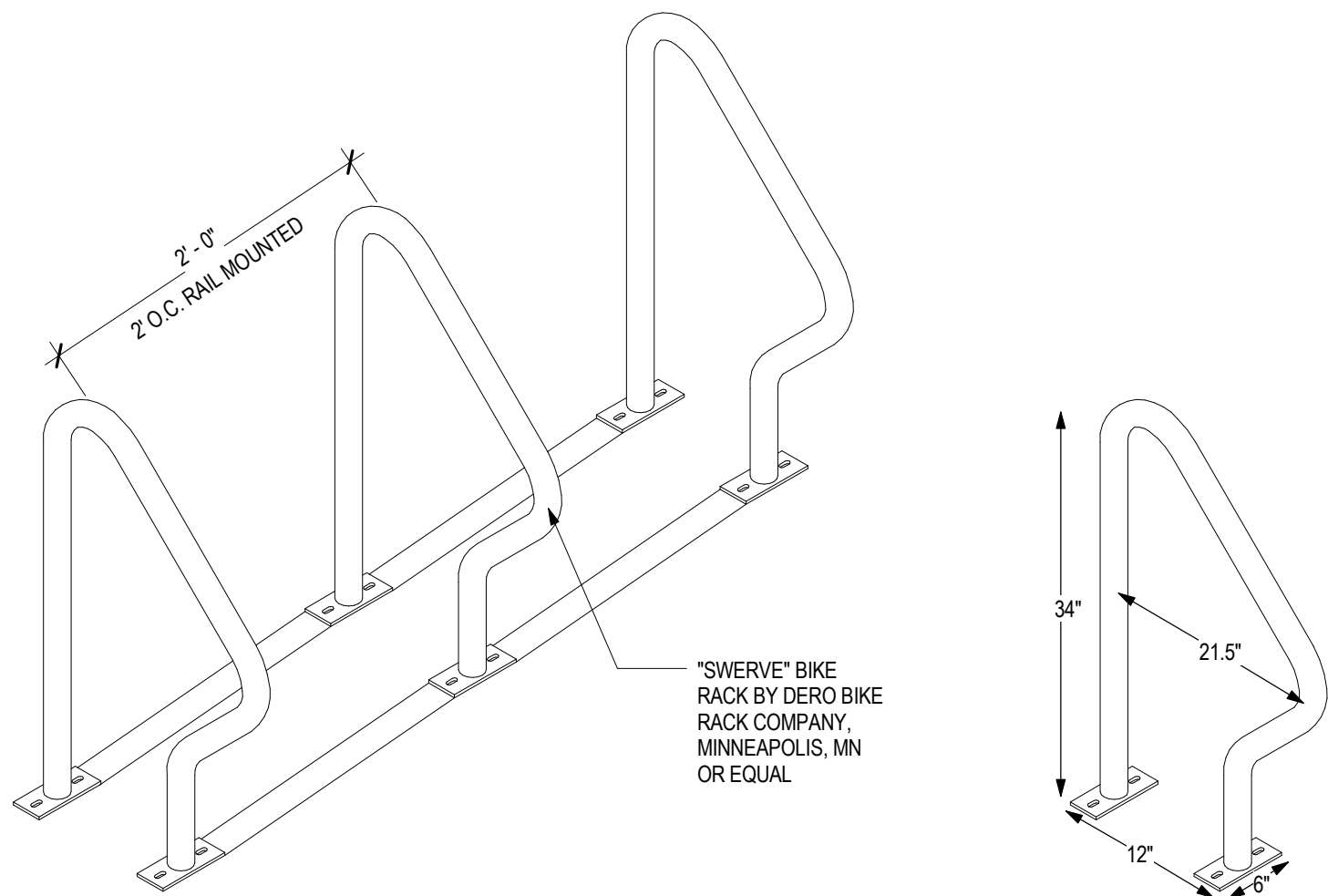
**CODE COMPLIANCE
PLANS**

FLOOR PLAN KEYNOTES

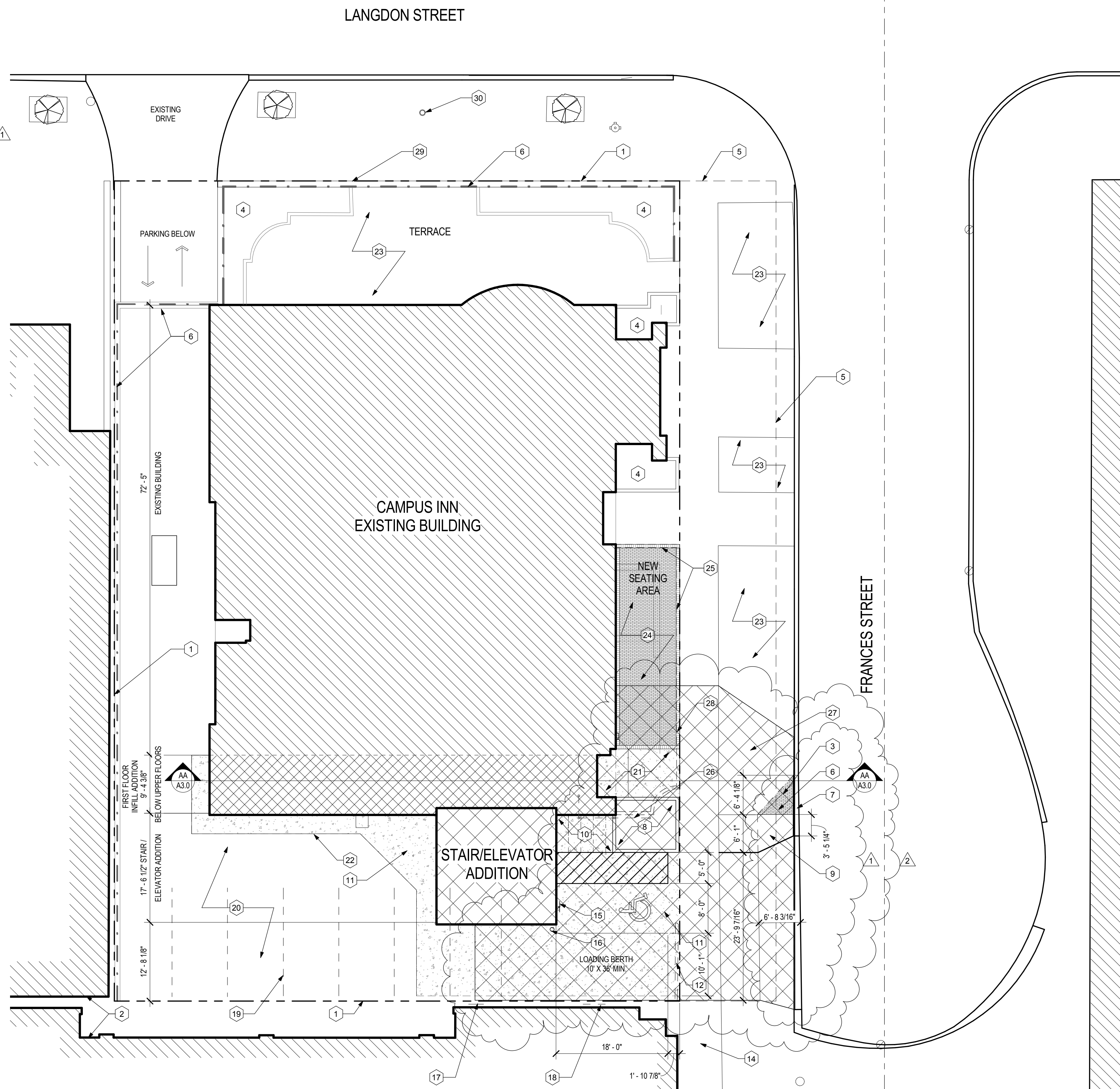
- 1 PROPERTY LINE
- 2 ADJACENT BUILDING
- 3 REMOVE EXISTING CURB CUT AND PORTION OF DRIVE. INFILL AND INTEGRATE WITH PAVERS TO MATCH EXISTING TO EDGE OF EXISTING PAVERS.
- 4 EXISTING PLANTER BED
- 5 PARKING BASEMENT BELOW
- 6 EXISTING RAILING TO REMAIN
- 7 CURB AND GUTTER TO MATCH EXISTING, BLEND WITH EXISTING DRIVEWAY APPROACH
- 8 PLANTER BED TO BE CONSTRUCTED WITH SALVAGED STONE CURB. PLANTINGS TO BE ANNUALS AND PERENNIALS, TYP. - SELECTIONS VARY
- 9 FILL IN REMAINING EXCAVATION WITH CONCRETE TO MATCH EXISTING SIDEWALK AND TO CREATE NEW EDGE OF DRIVEWAY APPROACH
- 10 4 BIKE PARKING STALLS 2'-0" X 6'-0" SEE DETAIL 2 / C1.0
- 11 CONCRETE PAVEMENT - TAPER SURFACE TO MATCH EXISTING GRADES/ SURFACES
- 12 REMOVE EXISTING CONCRETE CURB
- 13 NOT USED
- 14 EXISTING CONCRETE SIDEWALK TO REMAIN
- 15 ADA PARKING STALL SIGNAGE
- 16 STEEL BOLLARD
- 17 REMOVE EXISTING ADA PARKING SIGN
- 18 REMOVE EXISTING SIGN AND INSTALL "LOADING ZONE - NO PARKING" SIGN
- 19 EXISTING PARKING TO BE REMOVED
- 20 EXISTING PAVEMENT TO REMAIN
- 21 CONCRETE WALK, MAX SLOPE 1:20
- 22 SAW CUT AND REMOVE EXISTING PAVEMENT. STRUCTURAL CONCRETE DECK BELOW TO REMAIN
- 23 EXISTING BRICK PAVERS TO REMAIN
- 24 BRICK PAVERS TO MATCH EXISTING COLORS AND PATTERN
- 25 PROVIDE MOVABLE FENCE - TO MATCH EXISTING RAILING
- 26 REMOVE EXISTING BOLLARDS AND RAILS
- 27 SHADED AREA TO BE REGRADED AS SHOWN ON C1.1. EXISTING LANDSCAPE CURB AND PAVERS TO BE SAVED FOR RE-USE.
- 28 EXISTING PLANTER TO BE REMOVED - SALVAGE STONE CURB FOR REUSE
- 29 EXISTING RETAINING WALL
- 30 EXISTING STREET LIGHT

SITE PLAN GENERAL NOTES

- A. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
- B. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- C. CONTRACTOR TO FILED VERIFY DIMENSION AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
- D. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
- E. CONTRACTOR SHALL RESTORE ALL PAVEMENT CURB & GUTTER, SIDEWALK, AND PAVEMENT AREAS ON PROPERTY OR IN RIGHT OF WAY DAMAGED DURING CONSTRUCTION.
- F. ALL DISTURBED PAVEMENT, CURB AND GUTTER IN THE RIGHT OF WAY FOR FRANCES STREET AND LANGDON STREET TO BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.



2 BIKE STALL DETAIL
1" = 1'-0"



1 SITE AND LANDSCAPE PLAN
1" = 10'-0"

**THE DAHLMAN
CAMPUS INN -
ADDITION AND
ALTERATIONS**
601 LANGDON STREET
MADISON, WI 53703

**APPROVED
DRAWING**

**PLAN
COMMISSION
SUBMITTAL**

DATE OF ISSUE: 7/16/2014

REVISIONS:

1	PLAN COMMISSION REVISIONS	10-9-14
2	PLAN COMMISSION REVISIONS	11-26-14

PROJECT # 14043

**SITE AND
LANDSCAPE PLAN**

C1.0

**THE GRADUATE
MADISON - ADDITION
AND ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

REVISIONS:		
1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

**SITE AND
LANDSCAPE PLAN**

C1.0R

SITE PLAN KEYNOTES

- 1 PROPERTY LINE
- 2 ADJACENT BUILDING
- 3 REMOVE EXISTING CURB CUT AND PORTION OF DRIVE
- 4 EXISTING PLANTER BED
- 5 LINE OF PARKING BASEMENT BELOW
- 6 EXISTING RAILING TO REMAIN
- 7 CURB AND GUTTER TO MATCH EXISTING, BLEND WITH ADJACENT CURB AND GUTTER
- 8 PLANTER BED TO BE CONSTRUCTED WITH SALVAGED STONE CURB. PLANTINGS TO BE ANNUALS AND PERENNIALS, TYP. - SELECTIONS VARY
- 9 REPLACE / FILL IN REMAINING EXCAVATION WITH EXISTING PAVERS TO MATCH EXISTING AND TO CREATE NEW EDGE OF DRIVEWAY APPROACH
- 10 4 BIKE PARKING STALLS 2'-0" X 6'-0" SEE DETAIL 2 / C1.0R
- 11 CONCRETE PAVEMENT INFILL - TAPER SURFACE TO MATCH EXISTING GRADES/ SURFACES
- 12 REMOVE EXISTING CONCRETE CURB
- 13 EXISTING TREES TO REMAIN - PROTECT DURING CONSTRUCTION
- 14 EXISTING CONCRETE SIDEWALK TO REMAIN
- 15 ADA PARKING STALL SIGNAGE - MOUNT ON STEEL BOLLARD CENTERED ON PARKING STALL
- 16 STEEL BOLLARD
- 17 REMOVE EXISTING ADA PARKING SIGN
- 18 REMOVE EXISTING SIGN AND INSTALL "LOADING ZONE - NO PARKING" SIGN
- 19 EXISTING PARKING STRIPING TO BE REMOVED
- 20 EXISTING PAVEMENT TO REMAIN
- 21 CONCRETE WALK, MAX SLOPE 1:20
- 22 SAW CUT AND REMOVE EXISTING PAVEMENT. STRUCTURAL CONCRETE DECK BELOW TO REMAIN
- 23 EXISTING BRICK PAVERS TO REMAIN
- 24 NEW PAVERS BY OWNER
- 25 NOT USED
- 26 REMOVE EXISTING BOLLARDS AND RAILS
- 27 HATCHED AREA TO BE REGRADED AS SHOWN ON C1.1. EXISTING LANDSCAPE CURB AND PAVERS TO BE SAVED FOR RE-USE
- 28 EXISTING PLANTER TO BE REMOVED - SALVAGE STONE CURB FOR REUSE
- 29 EXISTING RETAINING WALL
- 30 EXISTING STREET LIGHT
- 31 EXISTING FIRE HYDRANT
- 32 REMOTE CONDENSING UNIT - SEE FOODSERVICE DRAWINGS
- 33 GENERATOR WITH CONCRETE PAD
- 34 5'-0" LANDING AT ENTRY DOOR

SITE PLAN GENERAL NOTES

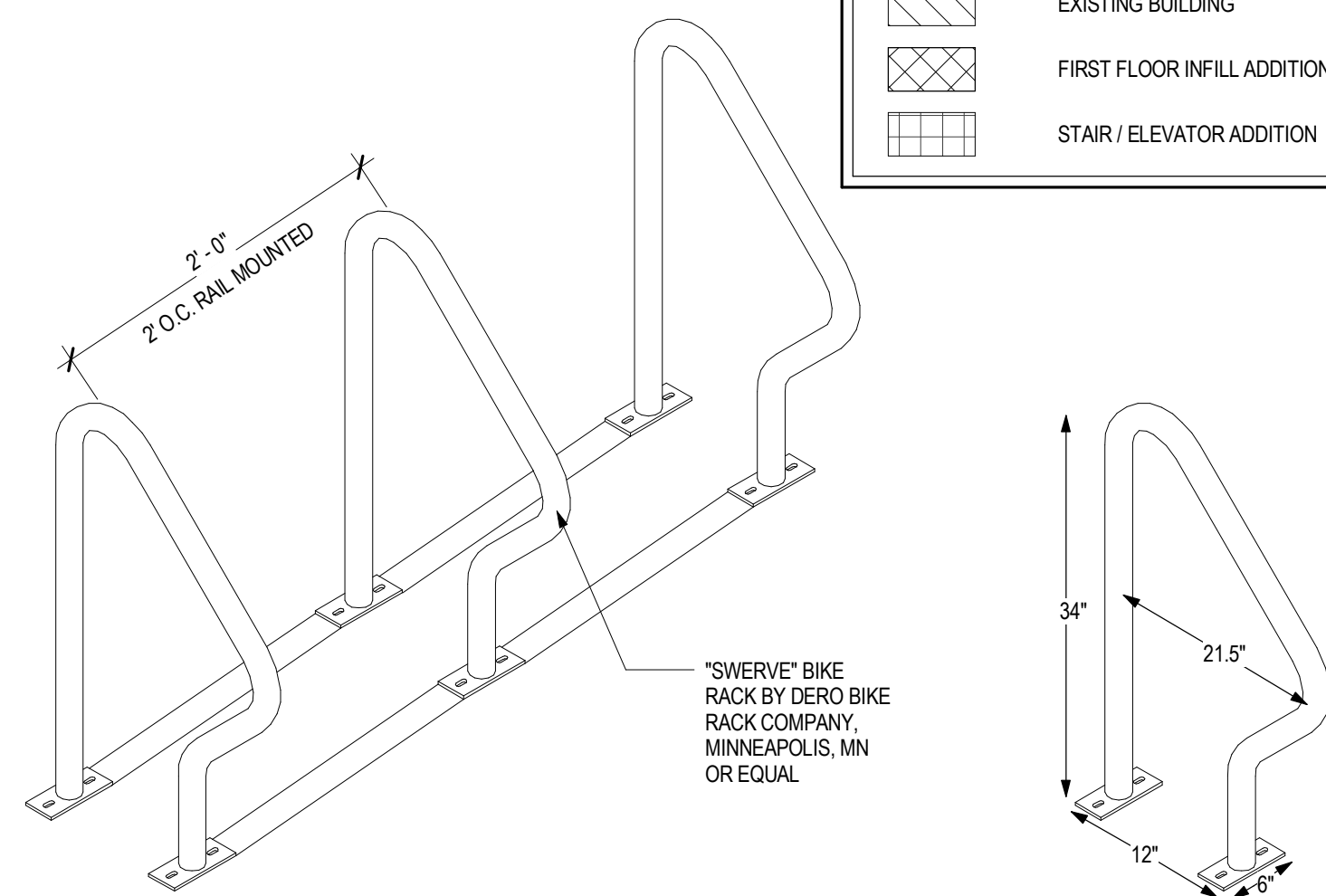
- A. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
- B. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- C. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
- D. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
- E. CONTRACTOR SHALL RESTORE ALL PAVEMENT CURB & GUTTER, SIDEWALK, AND PAVEMENT AREAS ON PROPERTY OR IN RIGHT OF WAY DAMAGED DURING CONSTRUCTION.
- F. ALL DISTURBED PAVEMENT, CURB AND GUTTER IN THE RIGHT OF WAY FOR FRANCES STREET AND LANGDON STREET TO BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- G. PROTECT EXISTING STRUCTURES, FINISHES, SITE IMPROVEMENTS, AND ADJACENT BUILDINGS DURING CONSTRUCTION.

DEMOLITION GENERAL NOTES

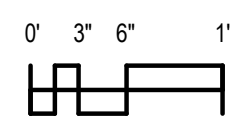
- A. MAINTAIN ALL EXIT DOORS IN UNOBSTRUCTED OPERABLE CONDITION WITH SAFE PASSAGE WAY FROM THE BUILDING. COORDINATE WITH THE LOCAL FIRE MARSHAL.
- B. PROVIDE AND MAINTAIN BARRICADES, GATES, OR OTHER MEANS OF MAINTAINING PUBLIC SAFETY AT ALL AREAS OF CONSTRUCTION OR DEMOLITION.
- C. COORDINATE STORAGE LOCATIONS FOR SALVAGED EQUIPMENT WITH OWNER.
- D. ALL STRUCTURES SHOWN DASHED ON THIS PLAN SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF BY THE THIS CONTRACT UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE ALL ELECTRICAL, MECHANICAL OR PLUMBING WITHIN THE REMOVED STRUCTURE. TERMINATE MEP AS REQUIRED. VERIFY EXISTING CONDITIONS IN FIELD PRIOR TO BIDDING AND COMMENCING WORK.
- E. PREPARATION FOR NEW FINISHES SHALL INCLUDE REMOVAL OF FINISHES, REMOVAL OF TAPES, GLUES (MASTIC), NAILS, ETC. PATCHING OF HOLES AND CRACKS, AND UP TO 1" OF LEVELER COMPOUND IF REQUIRED TO PROVIDE AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING, ETC. REQUIRED FOR REMOVAL WORK. WORK TO BE CERTIFIED BY STRUCTURAL ENGINEER IF REQUIRED.
- G. WORK WHICH RENDERS THE EXISTING BUILDING NON-WEATHER TIGHT SHALL BE FITTED TO PROVIDE WEATHER TIGHT STRUCTURE PRIOR TO NEW WORK BEING INSTALLED WITHIN.
- H. COORDINATE REMOVAL AND PATCHING REQUIRED BY MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION AND NEW WORK.
- I. OWNER WILL REMOVE LOOSE FURNISHINGS FROM THE WORK AREAS PRIOR TO START OF CONSTRUCTION.
- J. DIMENSIONS FOR REMOVAL SHOWN FOR INFORMATION ONLY. GENERAL CONTRACTOR TO VERIFY EXACT DIMENSIONS AND LOCATIONS OF REMOVAL AS REQUIRED TO INSTALL NEW WORK.

SITE PLAN LEGEND

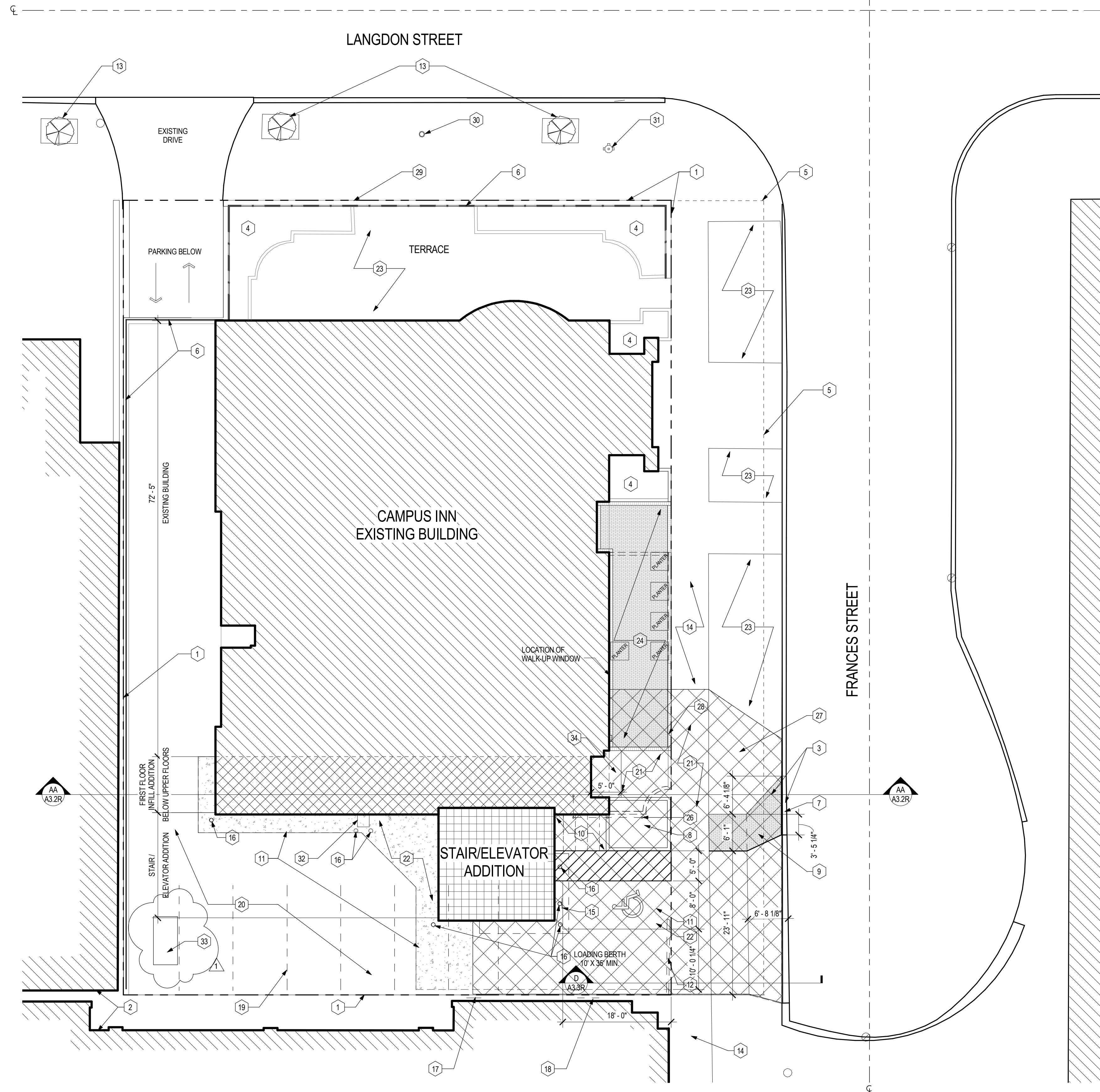
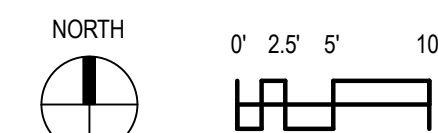
- BRICK PAVERS 9 24
- AREA TO BE REGRADED 27
- CONCRETE 11 22
- INDICATES ITEMS TO BE REMOVED
- EXISTING BUILDING
- FIRST FLOOR INFILL ADDITION
- STAIR / ELEVATOR ADDITION



2 BIKE STALL DETAIL
1" = 1'-0"



1 SITE AND LANDSCAPE PLAN
1" = 10'-0"



EROSION CONTROL NOTES

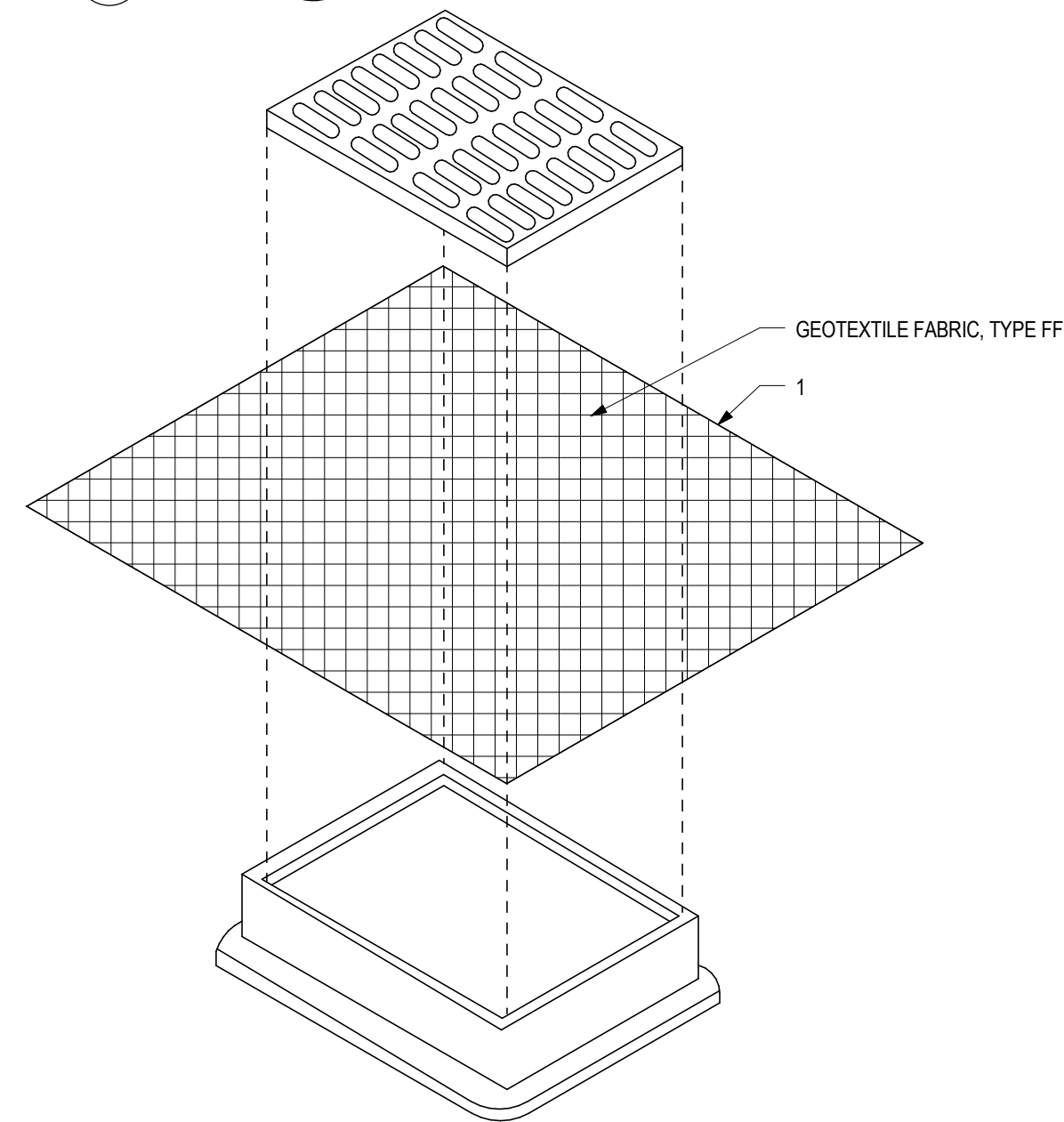
- A. THIS PROJECT SITE IS COMPLETELY COVERED BY AN EXISTING BUILDING AND PARKING BASEMENT. NO SOIL DISTURBING ACTIVITIES ARE ANTICIPATED.
- B. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF CONSTRUCTION ACTIVITIES UNTIL THE FINAL STABILIZATION OF THE CONSTRUCTION SITE AND COMPLETION OF EXTERIOR CONSTRUCTION.
- C. ALL EROSION CONTROL MEASURE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- D. CLEANING, RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- E. INSPECTION, THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE, AND THE CONSTRUCTION SITE PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- F. INLET PROTECTION, ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH WISCONSIN DOT TYPE B OR C INLET PROTECTION OR APPROVED EQUAL. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE A/E.
- G. TEMPORARY EROSION CONTROL, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- H. GENERAL CONTRACTOR TO PROVIDE TRACKING CONTROL AND SWEEPING AS NEEDED.

INLET PROTECTION NOTES

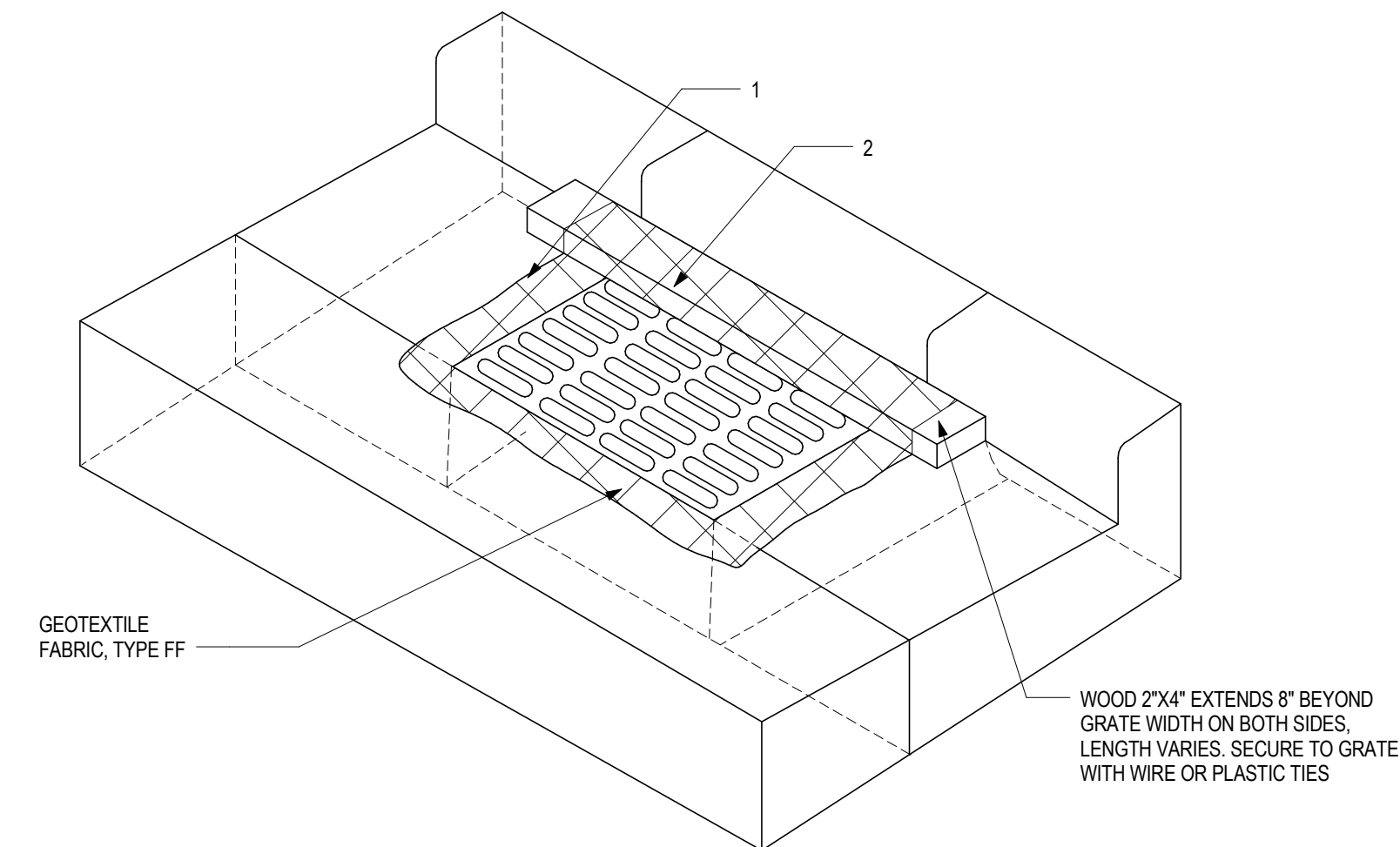
- A. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- B. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAT, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- C. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENTS EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- D. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- 1. FINISHED SIZE INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- 2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

SITE LEGEND

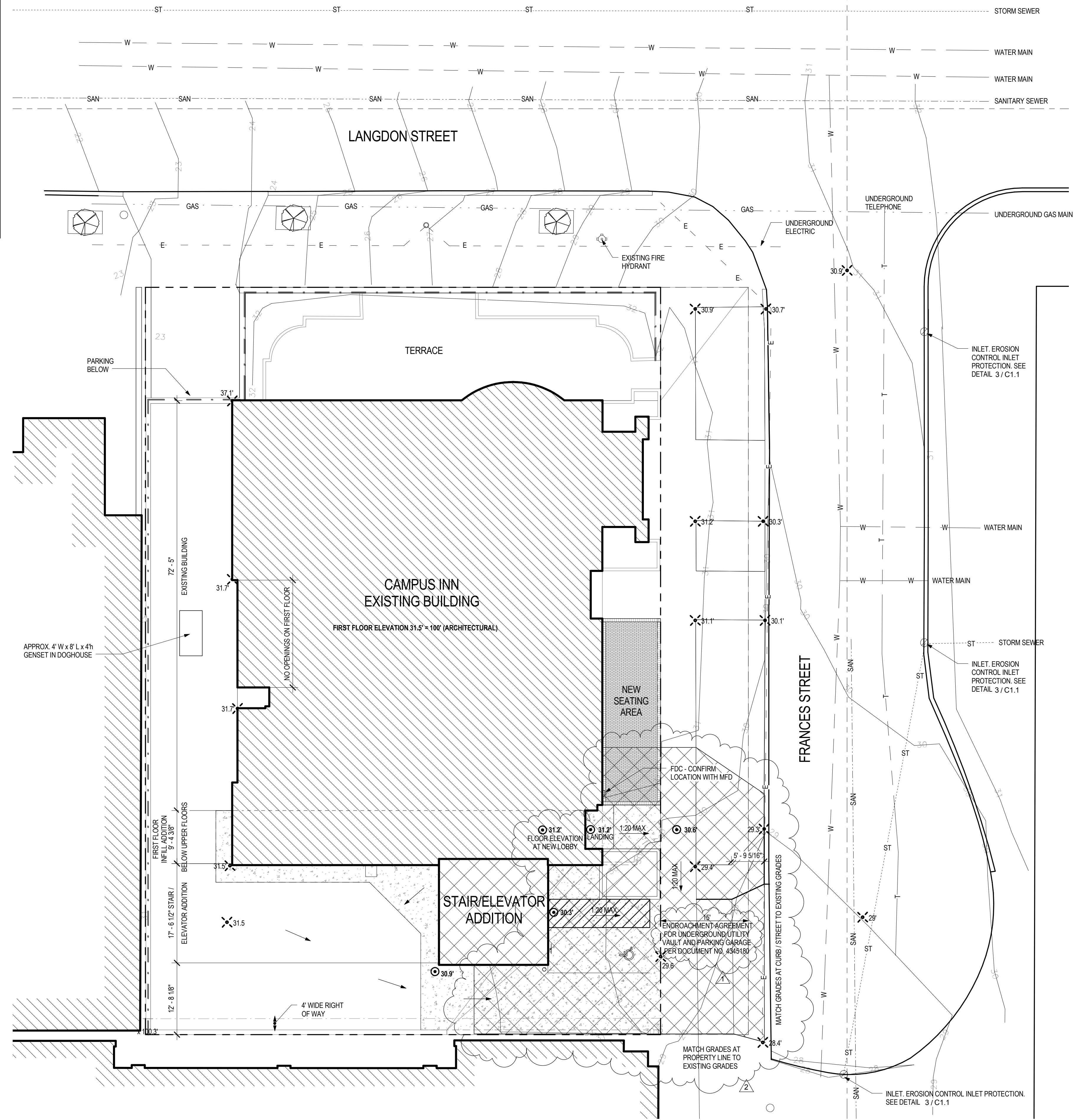
- ✕ EXISTING SPOT ELEVATION
- ⊙ PROPOSED SPOT ELEVATION
- DRAINAGE



2 INLET PROTECTION TYPE B (WITHOUT CURB BOX)
N.T.S.



3 INLET PROTECTION TYPE C (WITH CURB BOX)
N.T.S.



1 GRADING AND UTILITY PLAN
1" = 10'-0"

**THE DAHLMAN
CAMPUS INN -
ADDITION AND
ALTERATIONS**
601 LANGDON STREET
MADISON, WI 53703

**APPROVED
DRAWING**

**PLAN
COMMISSION
SUBMITTAL**

DATE OF ISSUE: 7/16/2014

REVISIONS:		
1	PLAN COMMISSION REVISIONS	10-9-14
2	PLAN COMMISSION REVISIONS	11-26-14

PROJECT # 14043

**GRADING AND
UTILITY PLAN**

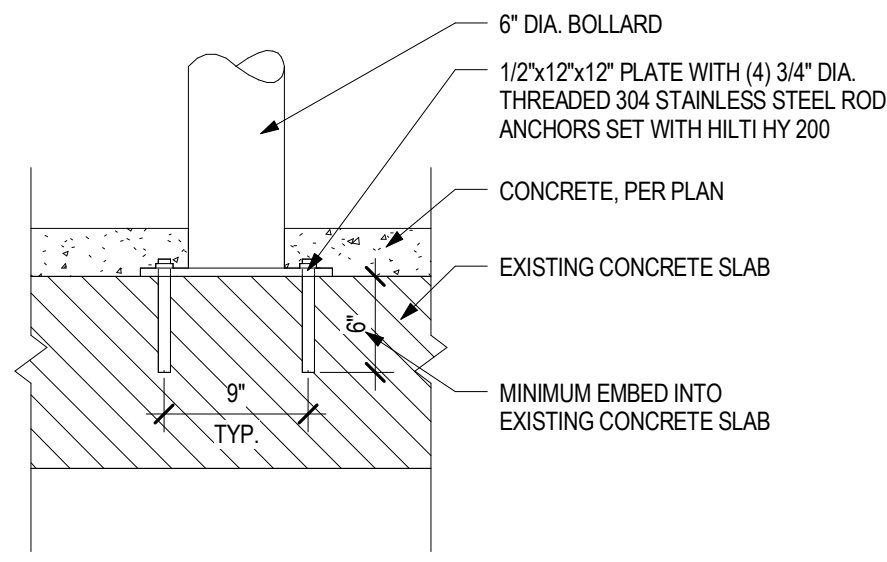
C1.1

EROSION CONTROL NOTES

- A. THIS PROJECT SITE IS COMPLETELY COVERED BY AN EXISTING BUILDING AND PARKING BASEMENT. NO SOIL DISTURBING ACTIVITIES ARE ANTICIPATED.
- B. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF CONSTRUCTION ACTIVITIES UNTIL THE FINAL STABILIZATION OF THE CONSTRUCTION SITE AND COMPLETION OF EXTERIOR CONSTRUCTION.
- C. ALL EROSION CONTROL MEASURE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- D. CLEANING, RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- E. INSPECTION, THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE, AND THE CONSTRUCTION SITE PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- F. INLET PROTECTION, ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH WISCONSIN DOT TYPE B OR C INLET PROTECTION OR APPROVED EQUAL. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE A/E.
- G. TEMPORARY EROSION CONTROL, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- H. GENERAL CONTRACTOR TO PROVIDE TRACKING CONTROL AND SWEEPING AS NEEDED.

SITE LEGEND

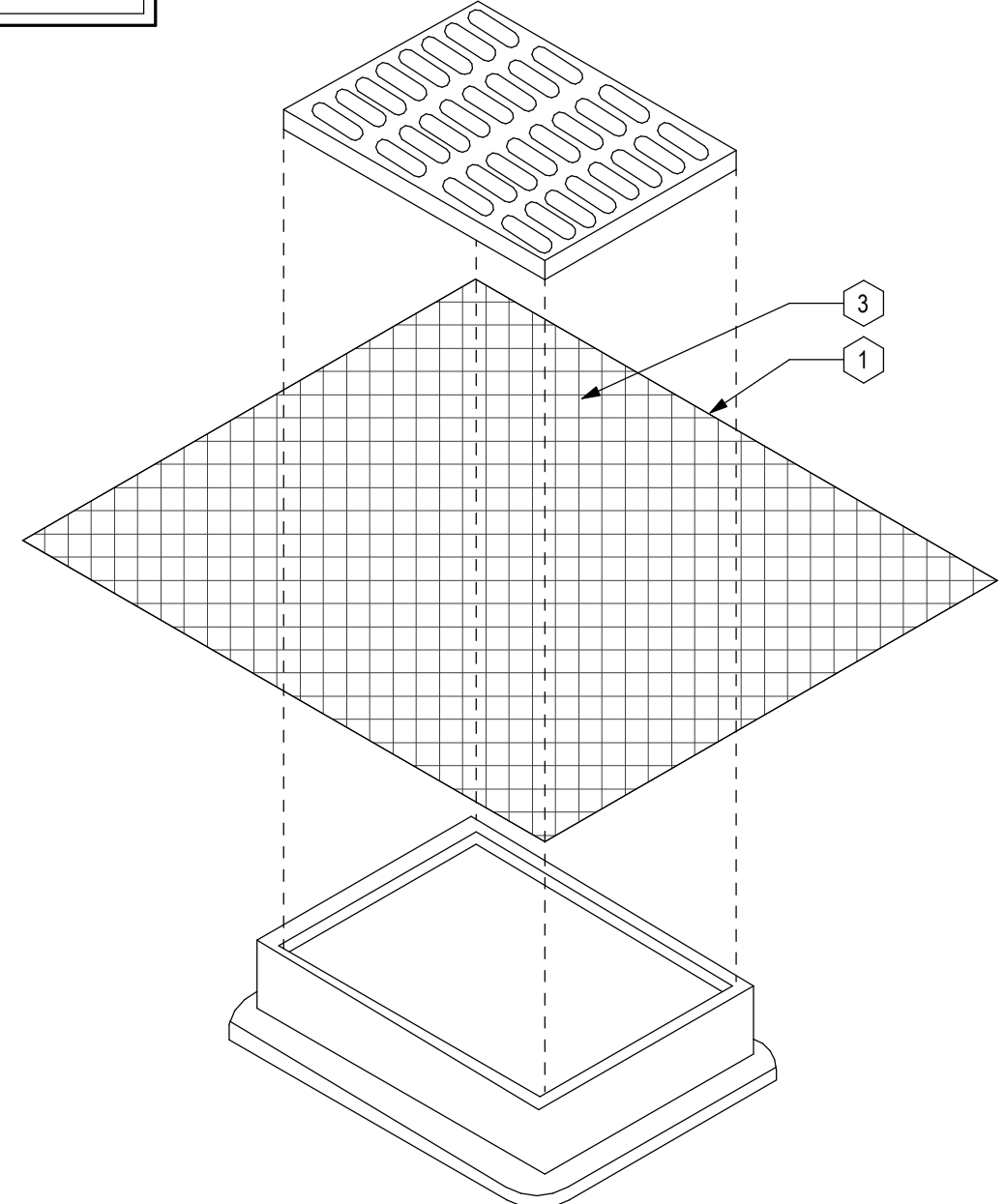
- ✕ EXISTING SPOT ELEVATION
- ⊙ PROPOSED SPOT ELEVATION
- DRAINAGE



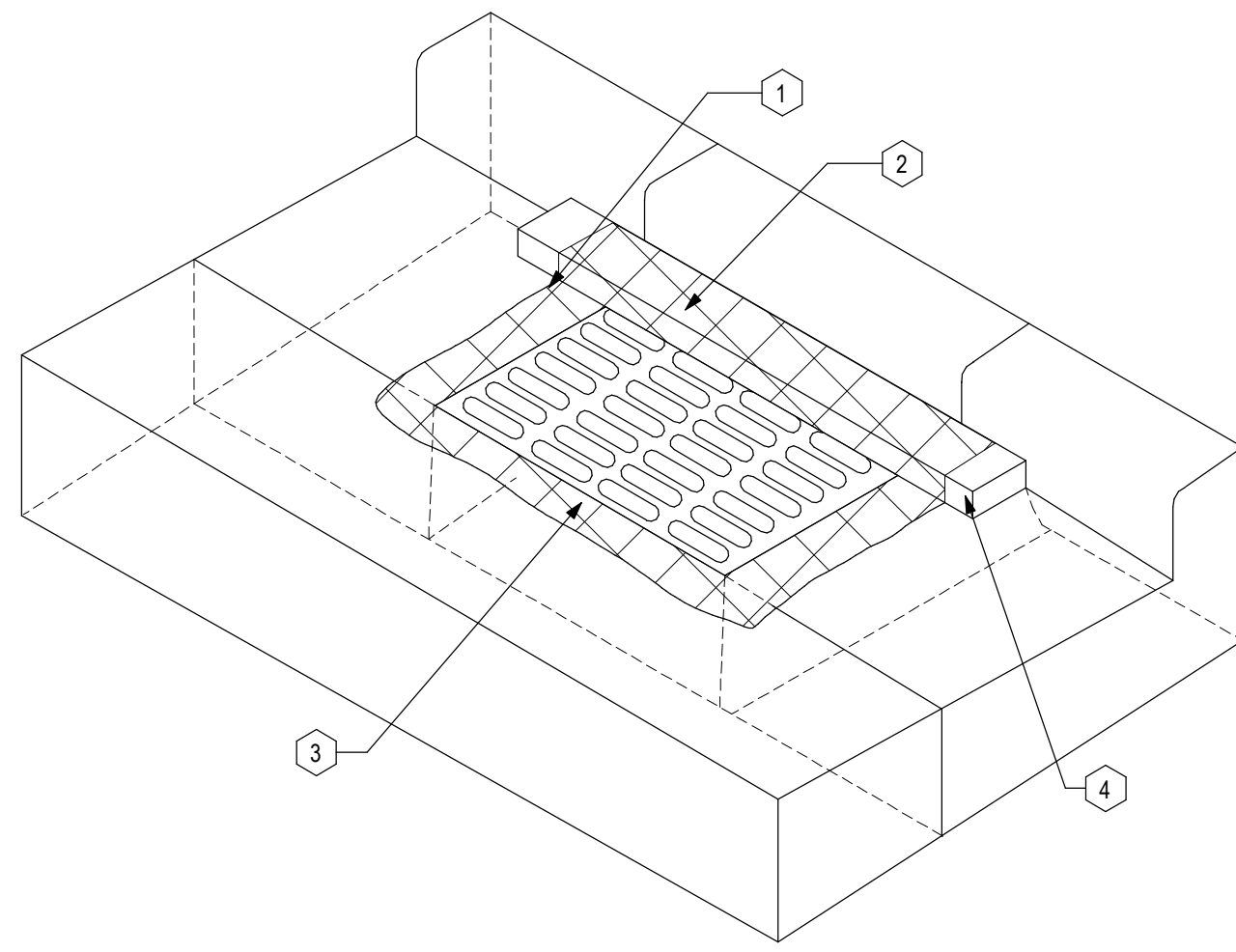
4 BOLLARD BASE
N.T.S.

INLET PROTECTION NOTES

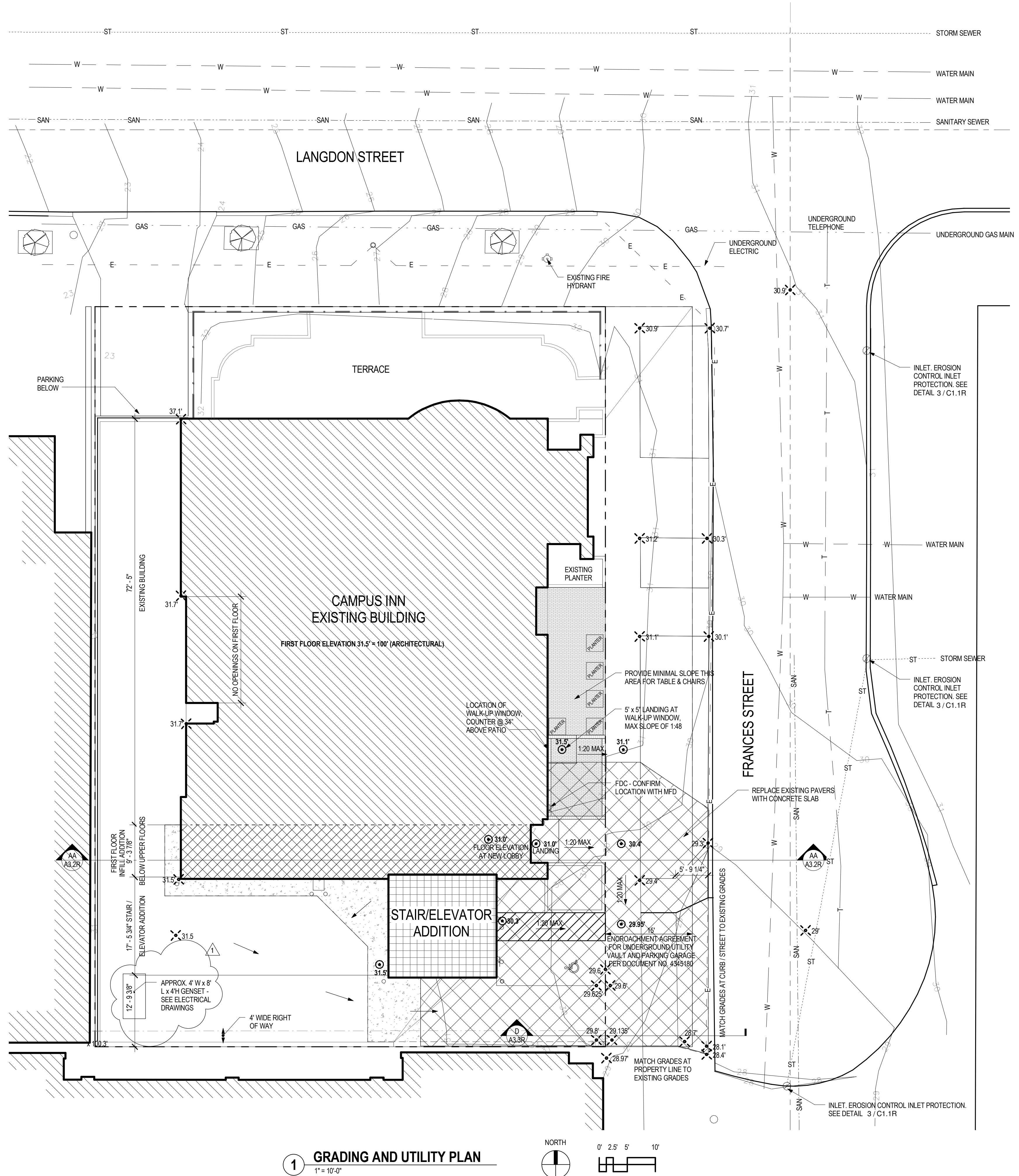
- A. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 - B. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAT, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
 - C. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENTS EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
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- 1 FINISHED SIZE INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - 2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - 3 GEOTEXTILE FABRIC, TYPE FF.
 - 4 WOOD 2"x4" EXTENDS 8" BEYOND GRATE WIDTH ON BOTH SIDES, LENGTH VARIES. SECURE TO GRATE WITH WIRE OR PLASTIC TIES.



2 INLET PROTECTION TYPE B (WITHOUT CURB BOX)
N.T.S.



3 INLET PROTECTION TYPE C (WITH CURB BOX)
N.T.S.



1 GRADING AND UTILITY PLAN
1" = 10'-0"

THE GRADUATE MADISON - ADDITION AND ALTERATIONS

601 LANGDON STREET
MADISON, WI 53703

ISSUED FOR CONSTRUCTION

DATE OF ISSUE: 01/15/2015

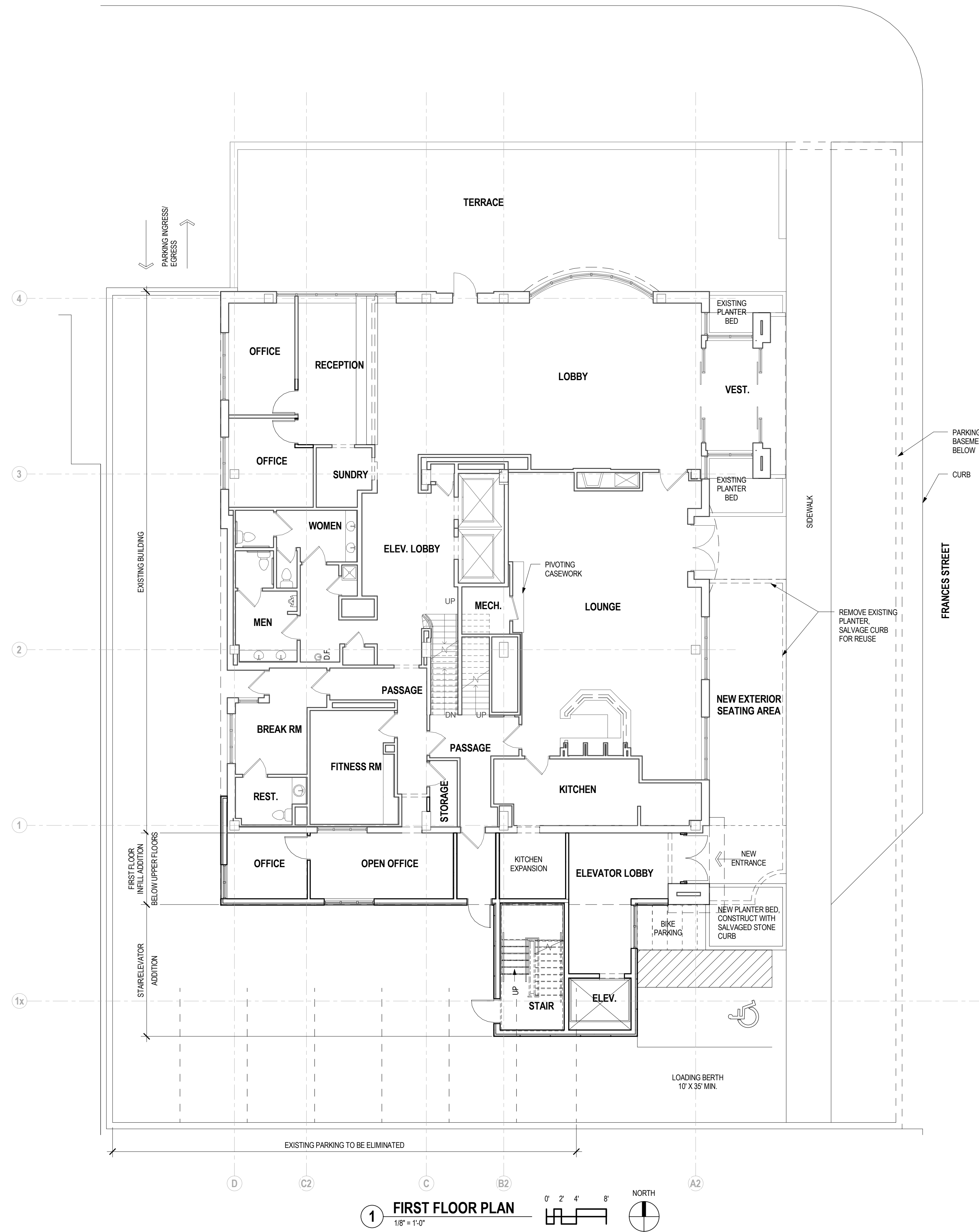
REVISIONS:

1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

GRADING AND UTILITY PLAN

C1.1R



**THE CAMPUS INN -
ADDITION AND
ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

**APPROVED
DRAWING**

**PLAN
COMMISSION
SUBMITTAL**

DATE OF ISSUE: 07/16/2014

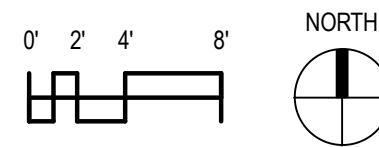
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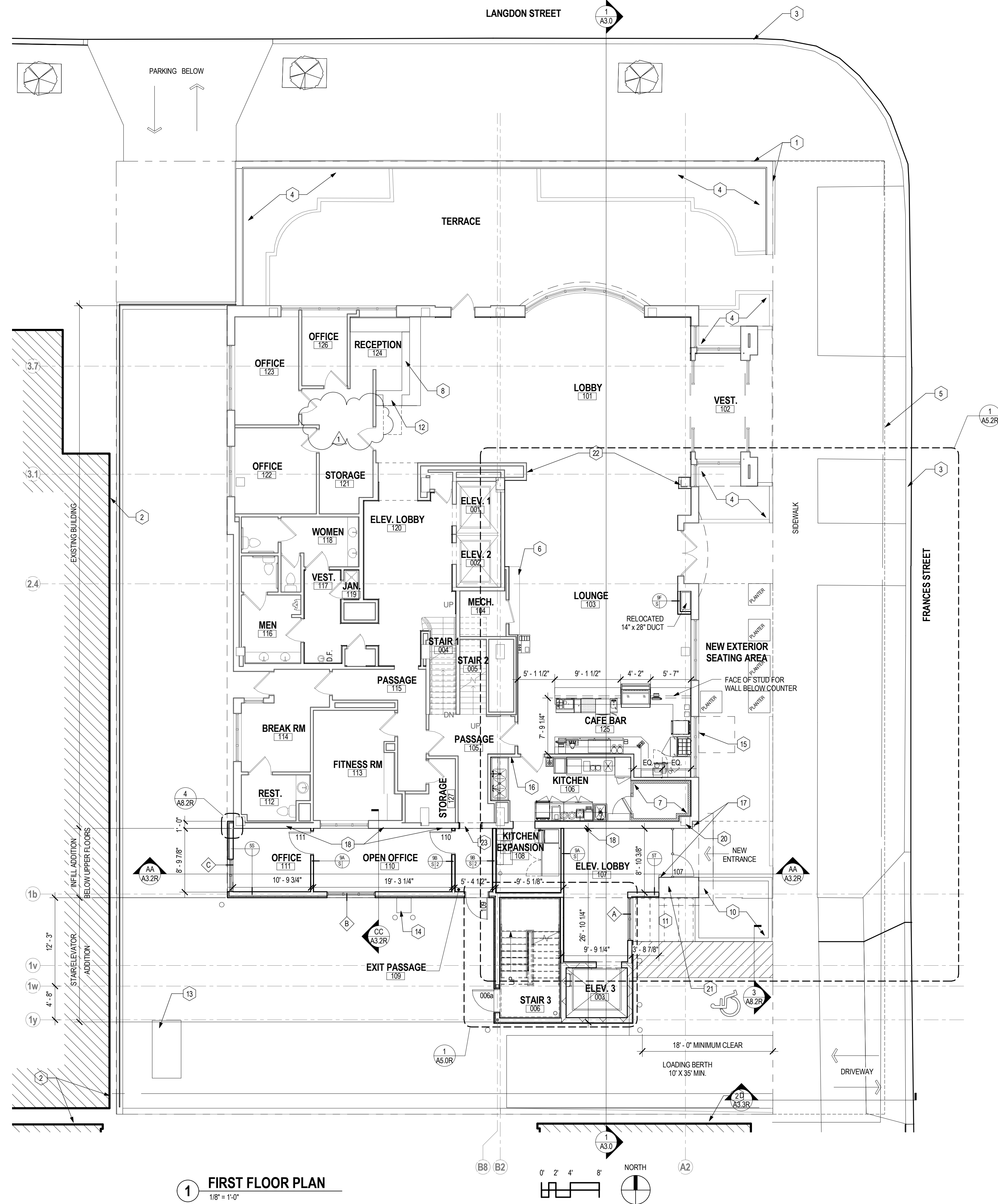
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PROJECT # 14043

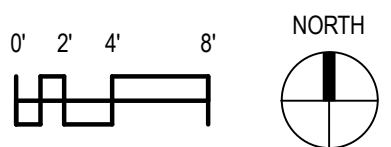
FIRST FLOOR PLAN

1 FIRST FLOOR PLAN
1/8" = 1'-0"





1 FIRST FLOOR PLAN
1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

A. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK.

B. PROVIDE VERTICAL CONTROL JOINTS (CJS) WHERE STRUCTURAL SYSTEMS CHANGE. LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURERS INSTALLATION RECOMMENDATIONS.

C. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.

D. GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.

E. GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING. COORDINATE WITH OWNER'S FINISHES, FIXTURES AND EQUIPMENT MOUNTING REQUIREMENTS.

F. SEE FOODSERVICE DRAWINGS FOR CAFE AND KITCHEN EQUIPMENT, COUNTER HEIGHTS, AND LAYOUTS.

G. SEE FOOD SERVICE DRAWINGS FOR KITCHEN AND BAR EQUIPMENT

LEGEND

- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WALL TO REMAIN
- NEW WALL

FLOOR PLAN KEYNOTES

- 1 PROPERTY LINE
- 2 ADJACENT BUILDING
- 3 EXISTING CURB
- 4 EXISTING PLANTER BED
- 5 PARKING BASEMENT BELOW
- 6 EXISTING PIVOTING CASEWORK
- 7 WALK-IN COOLER - SEE FOODSERVICE DRAWINGS
- 8 RECEPTION COUNTER AND DESK WITH ADA TRANSACTION COUNTER 30" WIDE(MIN) AND 36" HIGH, COORDINATE WITH OWNER
- 9 INFILL WALL TO MATCH ADJACENT CONSTRUCTION
- 10 PLANTER BED, CONSTRUCT WITH SALVAGED STONE CURB
- 11 BIKE PARKING
- 12 ADA COUNTER AT RECEPTION DESK
- 13 PROVIDE CONCRETE PAD AT GENERATOR - COORDINATE SIZE WITH MANUFACTURER.
- 14 WALL-MOUNTED REMOTE CONDENSING UNIT - SEE FOODSERVICE DRAWINGS
- 15 LOCATION OF WALK-UP WINDOW
- 16 BRACKET-MOUNTED FIRE EXTINGUISHER, COORDINATE WITH FOOD SERVICE DRAWINGS - CLASS K - 1.5 GAL (6L) MIN. CAP.
- 17 ADA PUSH-BUTTON DOOR OPERATOR, BOLLARD MOUNTED AT EXTERIOR
- 18 EXISTING BRICK TO REMAIN
- 19 OPENING CENTERED IN WALL - SEE FOODSERVICE DRAWINGS
- 20 KNOX BOX - VERIFY EXACT LOCATION WITH FIRE DEPARTMENT
- 21 EXISTING MASONRY CLAD COLUMN
- 22 PATCH/REPAIR WALL TO MATCH EXISTING
- 23 PROVIDE CASED OPENING IN PLACE OF DOOR AND FRAME
- 24 NOT USED

THE GRADUATE MADISON - ADDITION AND ALTERATIONS

601 LANGDON STREET
MADISON, WI 53703

DATE OF ISSUE: 02/12/2015

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NO.	DESCRIPTION	DATE
A	ISSUED FOR CONSTRUCTION	2/27/15
1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

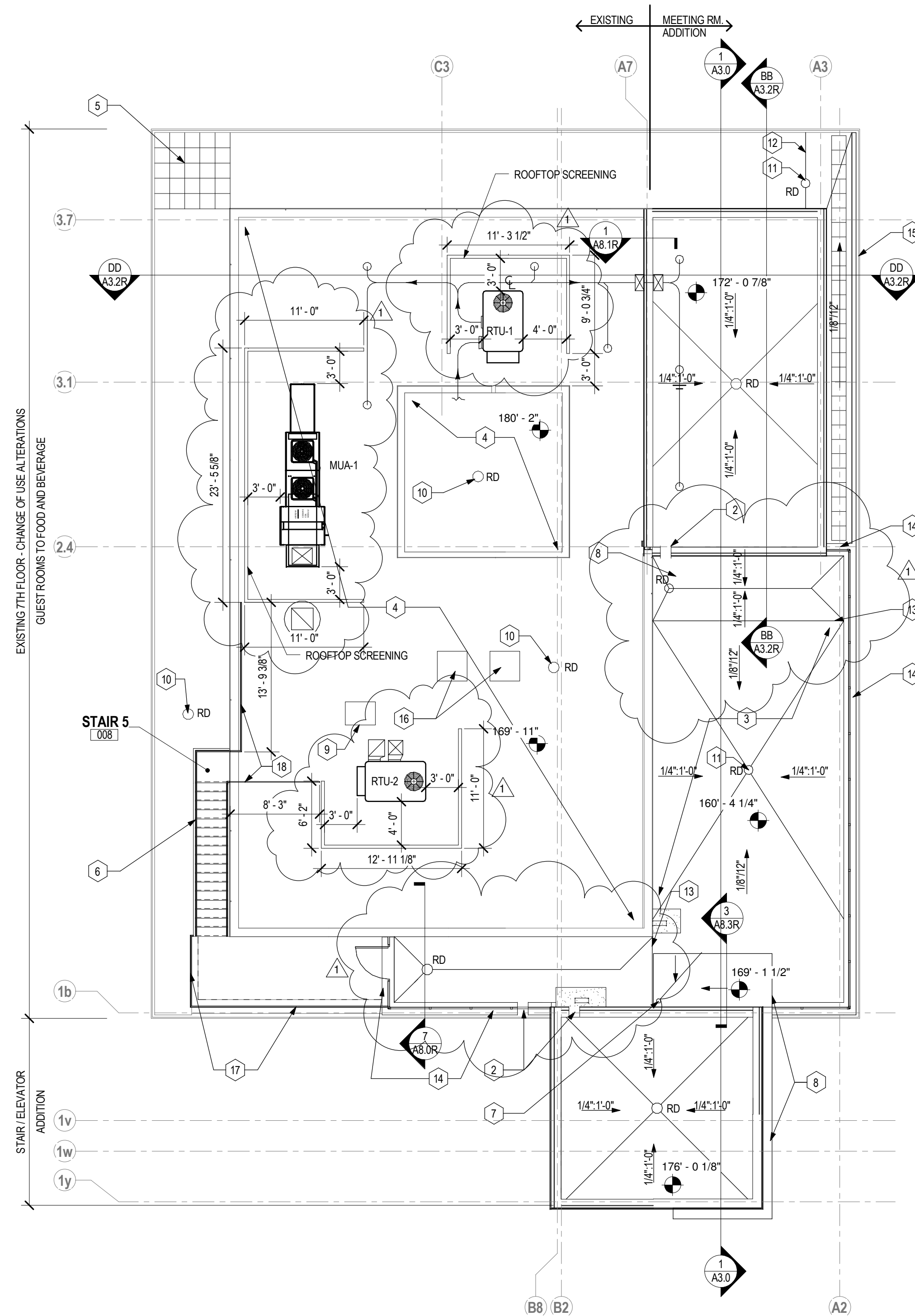
FIRST FLOOR PLAN

FLOOR PLAN GENERAL NOTES

- A. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK.
- B. REFER TO MEP DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS, ROOF CURBS AND ROOF MOUNTED EQUIPMENT. COORDINATE EQUIPMENT AND CURBS WITH ROOF DRAINAGE AND PROVIDE INSULATION SADDLES AS REQUIRED FOR DRAINAGE.

ROOF PLAN KEYNOTES

- 1 AWNING BELOW
- 2 OVERFLOW SCUPPER
- 3 TERRACE BELOW, SEE 7TH FLOOR PLAN
- 4 EXISTING ROOF
- 5 EXISTING PAVERS TO REMAIN
- 6 RELOCATED STAIR, SEE 7TH FLOOR PLAN
- 7 DOWNSPOUT TO END ON UNDERSIDE OF PAVERS
- 8 ROOF CANOPY
- 9 FOODSERVICE EQUIPMENT - SEE FOODSERVICE DRAWINGS, COORDINATE WITH HVAC
- 10 EXISTING ROOF DRAIN TO REMAIN. LOCATION TO BE VERIFIED IN FIELD
- 11 ROOF DRAIN, VERIFY IN FIELD
- 12 MATCH NEW ROOF TO EXISTING ROOF
- 13 HIGH POINT OF ROOF INSULATION
- 14 CONCRETE CURB TO SUPPORT RAILING
- 15 ROOF CURB FOR TAPERED INSULATION
- 16 EXISTING SKYLIGHTS
- 17 BOLT RAILING TO EXISTING BEAM, WATERPROOF WHERE RAILING ANCHORS TO BEAM.
- 18 GUARDRAILS AT RELOCATED STAIR PER OSHA REQUIREMENTS



1 ROOF PLAN
 1/8" = 1'-0"
 0' 2' 4' 8' NORTH

**THE GRADUATE
 MADISON - ADDITION
 AND ALTERATIONS**

601 LANGDON STREET
 MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

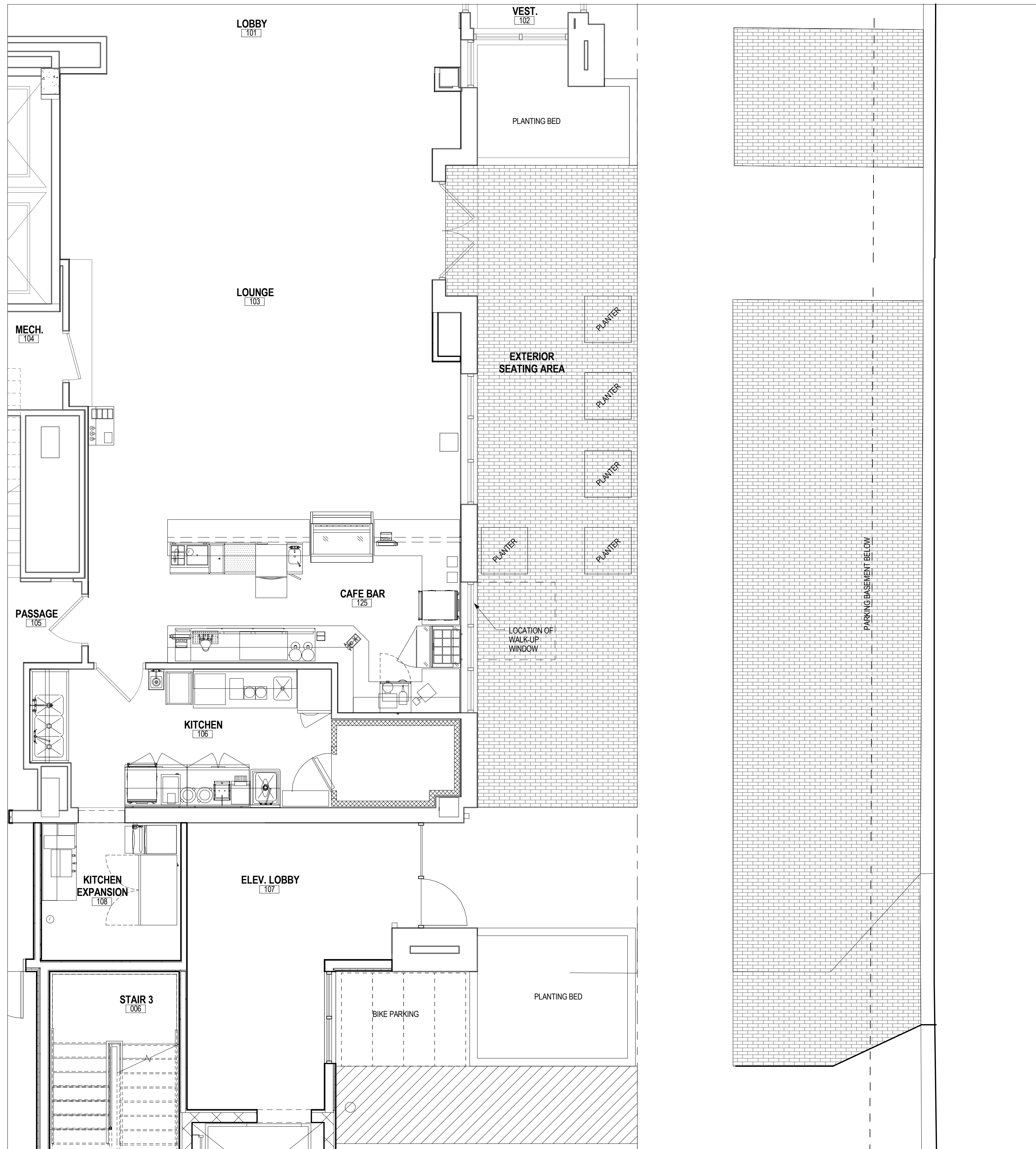
REVISIONS:

A	ISSUED FOR CONSTRUCTION	2/27/15
1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

ROOF PLAN

A1.8R



**THE GRADUATE
 MADISON - ADDITION
 AND ALTERATIONS**

601 LANGDON STREET
 MADISON, WI 53703

DATE OF ISSUE: 03/15/2016

REVISIONS:

PROJECT # 14043

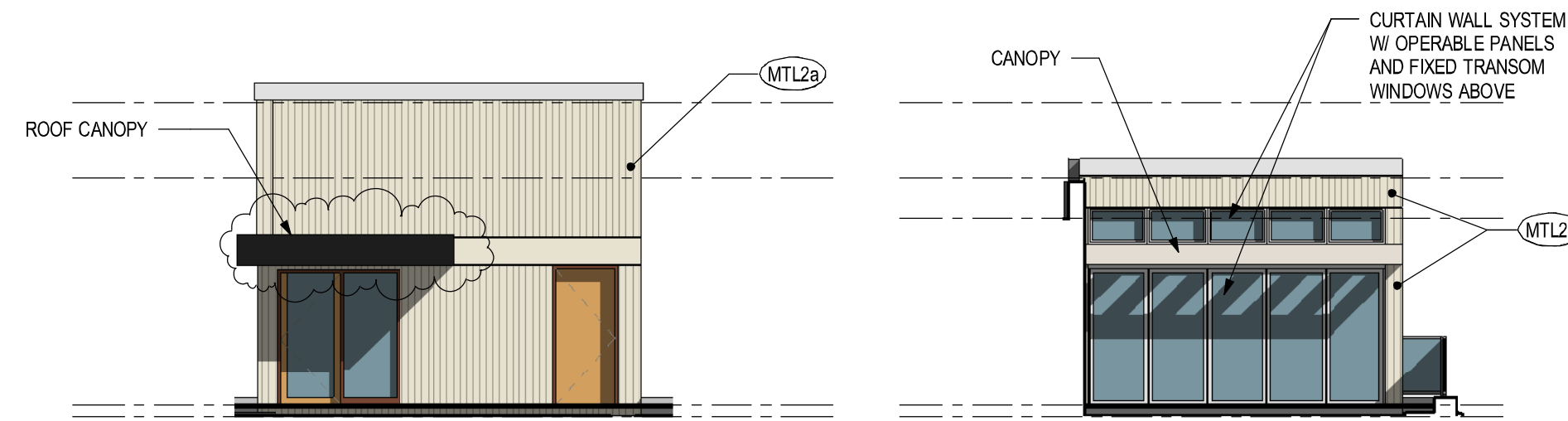
**ENLARGED CAFE/
 PATIO PLAN**

1 ENLARGED CAFE/PATIO PLAN
 1/4" = 1'-0"

EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND

- LEGEND**
- (MTL1a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
FINISH: SMOOTH
 - (MTL1b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
SIZE: 16"H x 48"W
 - (MTL2a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
 - (MTL2b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
SIZE: 16"H x 48"W
 - (MTL2c) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
SIZE: 12"H x 24"W
 - (AGR1) ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION DETAIL 8 / A8.0
 - (STL1) PAINTED STEEL PIPE GUARDRAIL
- ROOF CANOPY / AWNING
COLOR: BENJAMIN MOORE, BLACK, PM-9
- CJ CONTROL JOINT
- PMC PRE FINISHED METAL CORNICE
- GENERAL NOTES**

- A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.
- B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.
- C. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE WALL SECTIONS FOR DIMENSIONS
- D. COMPONENT/CLADDING WIND LOADS FOR 7TH FLOOR ARE: ZONE 4 (21.9 PSF FOR 10 SF, 20.2 PSF FOR 50 SF); ZONE 5 (CORNERS - 40.2 PSF FOR 10 SF, 35.6 PSF FOR 50 SF)



4 STAIR ELEVATOR HIDDEN ELEVATION
1/8" = 1'-0"

3 SOUTH HIDDEN ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

1 EAST ELEVATION
1/8" = 1'-0"

**THE GRADUATE
MADISON INN -
ADDITION AND
ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

**APPROVED
DRAWING**

**PLAN
COMMISSION
SUBMITTAL**

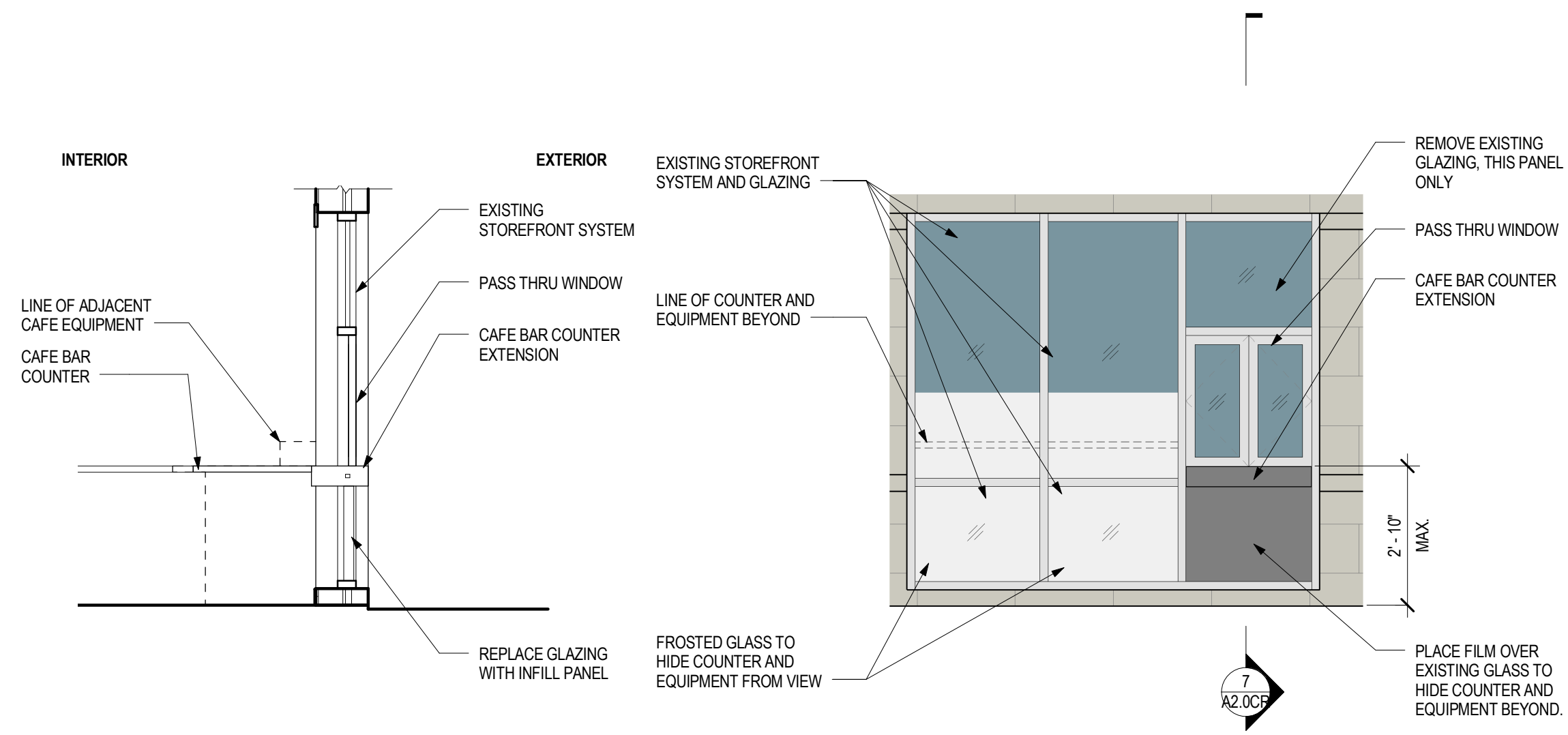
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2	PLAN COMMISSION REVISIONS	11-26-14
3	ELEVATION UPDATES	12-22-14

PROJECT # 14043

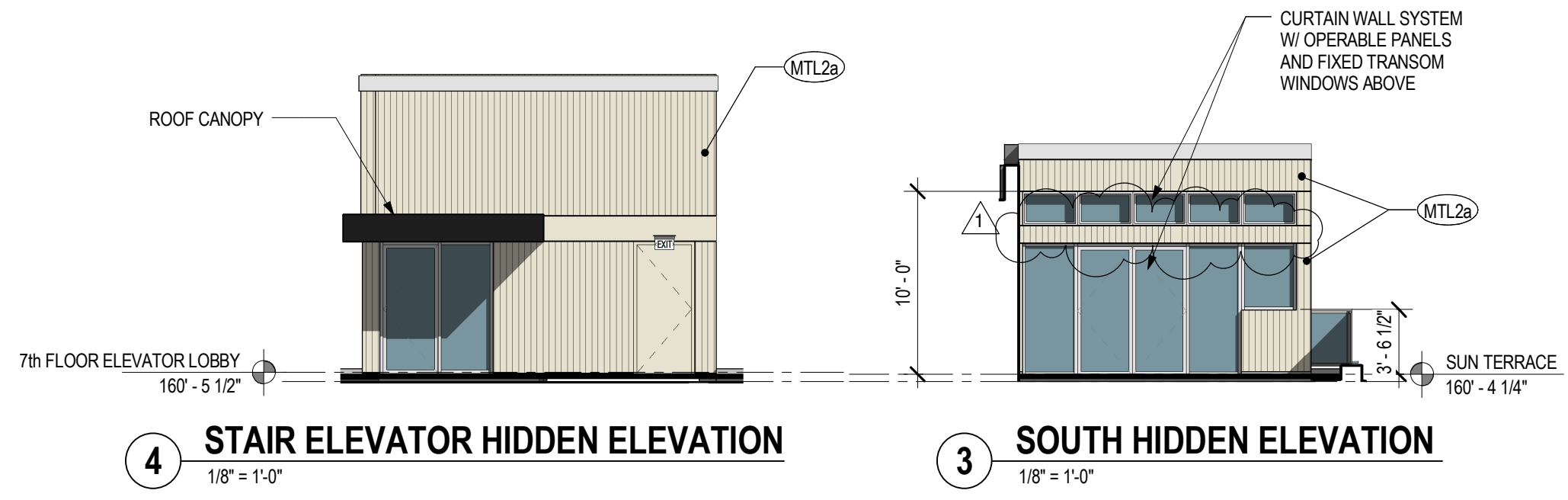
**EXTERIOR
ELEVATIONS**

A2.0



7 CAFE BAR - PASS THRU SECTION
3/8" = 1'-0"

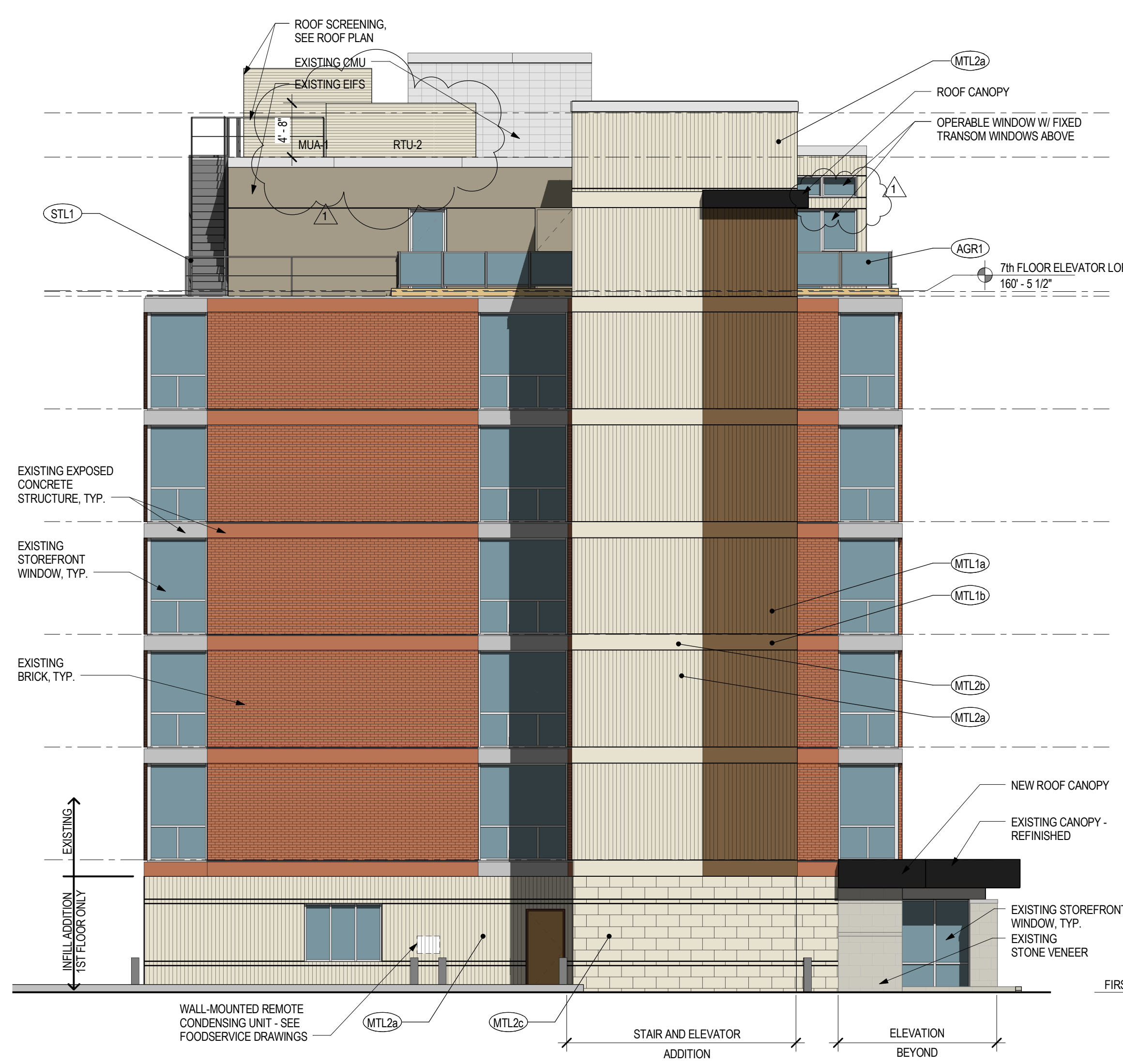
6 CAFE BAR - PASS THRU ENLARGED ELEVATION
3/8" = 1'-0"



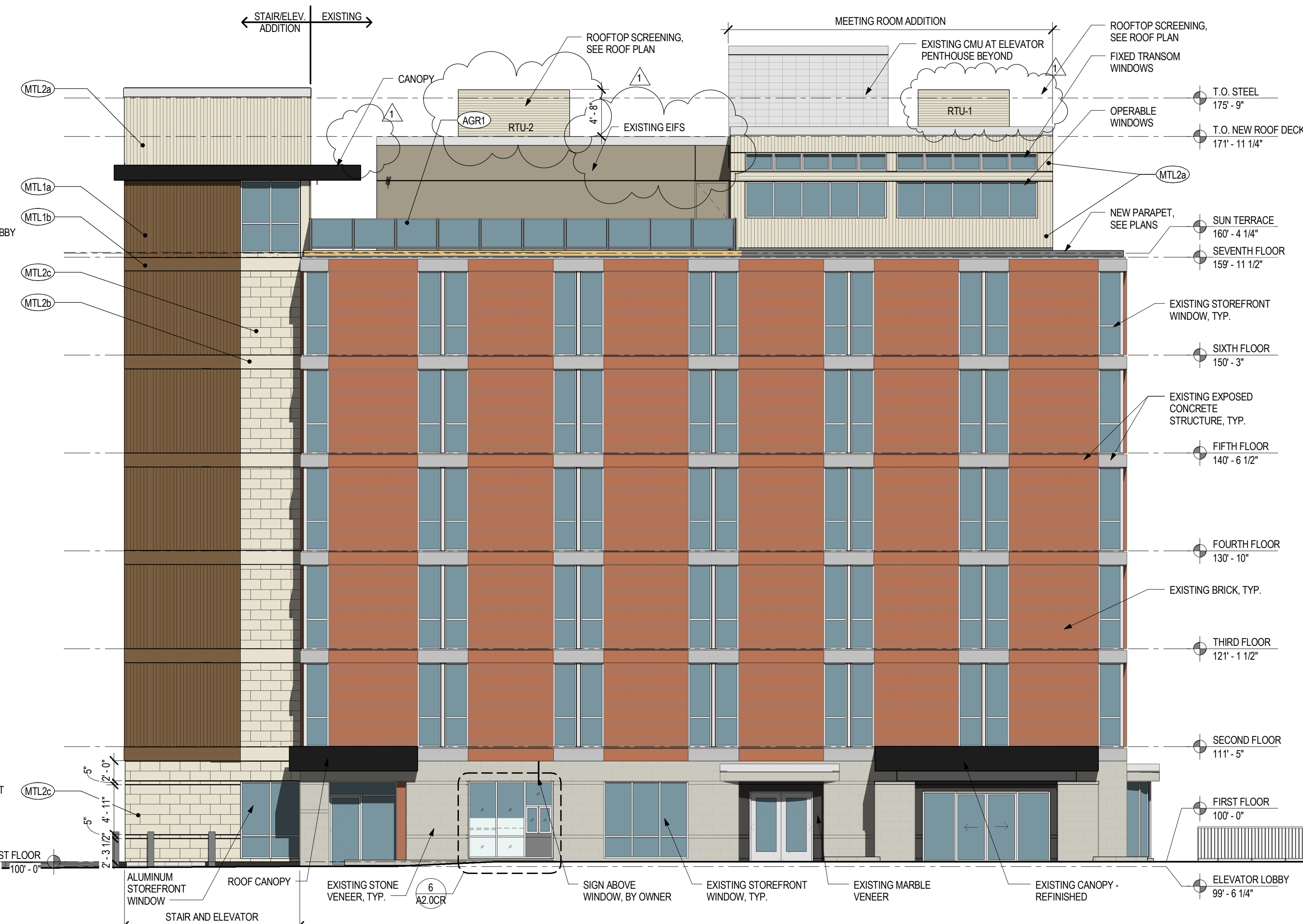
4 STAIR ELEVATOR HIDDEN ELEVATION
1/8" = 1'-0"

3 SOUTH HIDDEN ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND	
LEGEND	
(MTL1a)	CORRUGATED METAL SIDING / PANEL COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73 FINISH: SMOOTH
(MTL1b)	INTERLOCKING METAL PANEL COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73 FINISH: SMOOTH SIZE: 16"H x 48"W
(MTL2a)	CORRUGATED METAL SIDING / PANEL COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95 FINISH: SMOOTH
(MTL2b)	INTERLOCKING METAL PANEL COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95 FINISH: SMOOTH SIZE: 16"H x 48"W
(MTL2c)	INTERLOCKING METAL PANEL COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95 FINISH: SMOOTH SIZE: 12"H x 24"W 8 / AB, OR
(AGR1)	ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION DETAIL
(STL1)	PAINTED STEEL PIPE GUARDRAIL
ROOF CANOPY / AWNING COLOR: BENJAMIN MOORE, BLACK, PM-9	
CJ	CONTROL JOINT
PMC	PRE FINISHED METAL CORNICE
GENERAL NOTES	
A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.	
B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.	
C. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE WALL SECTIONS FOR DIMENSIONS	
D. COMPONENT/CLADDING WIND LOADS FOR 7TH FLOOR ARE: ZONE 4 (21.9 PSF FOR 10 SF, 20.2 PSF FOR 50 SF); ZONE 5 (CORNERS - 40.2 PSF FOR 10 SF, 35.6 PSF FOR 50 SF)	



2 SOUTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

**THE GRADUATE
MADISON - ADDITION
AND ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

REVISIONS:		
1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

**EXTERIOR
ELEVATIONS**

A2.0CR

**EXTERIOR ELEVATIONS GENERAL
NOTES AND LEGEND**

- LEGEND**
- (MTL1a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
FINISH: SMOOTH
 - (MTL1b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
SIZE: 18"H x 48"W
 - (MTL2a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
 - (MTL2b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
SIZE: 18"H x 48"W
 - (MTL2c) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
SIZE: 12"H x 24"W
 - (AGR1) ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION
DETAIL: 8 / A8.0
 - (STL1) PAINTED STEEL PIPE GUARDRAIL
- ROOF CANOPY / AWNING
COLOR: BENJAMIN MOORE, BLACK, PM-9
- CJ CONTROL JOINT
- PMC PRE FINISHED METAL CORNICE

- GENERAL NOTES**
- A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.
 - B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.
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**THE GRADUATE
MADISON INN -
ADDITION AND
ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

**APPROVED
DRAWING**

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COMMISSION
SUBMITTAL**

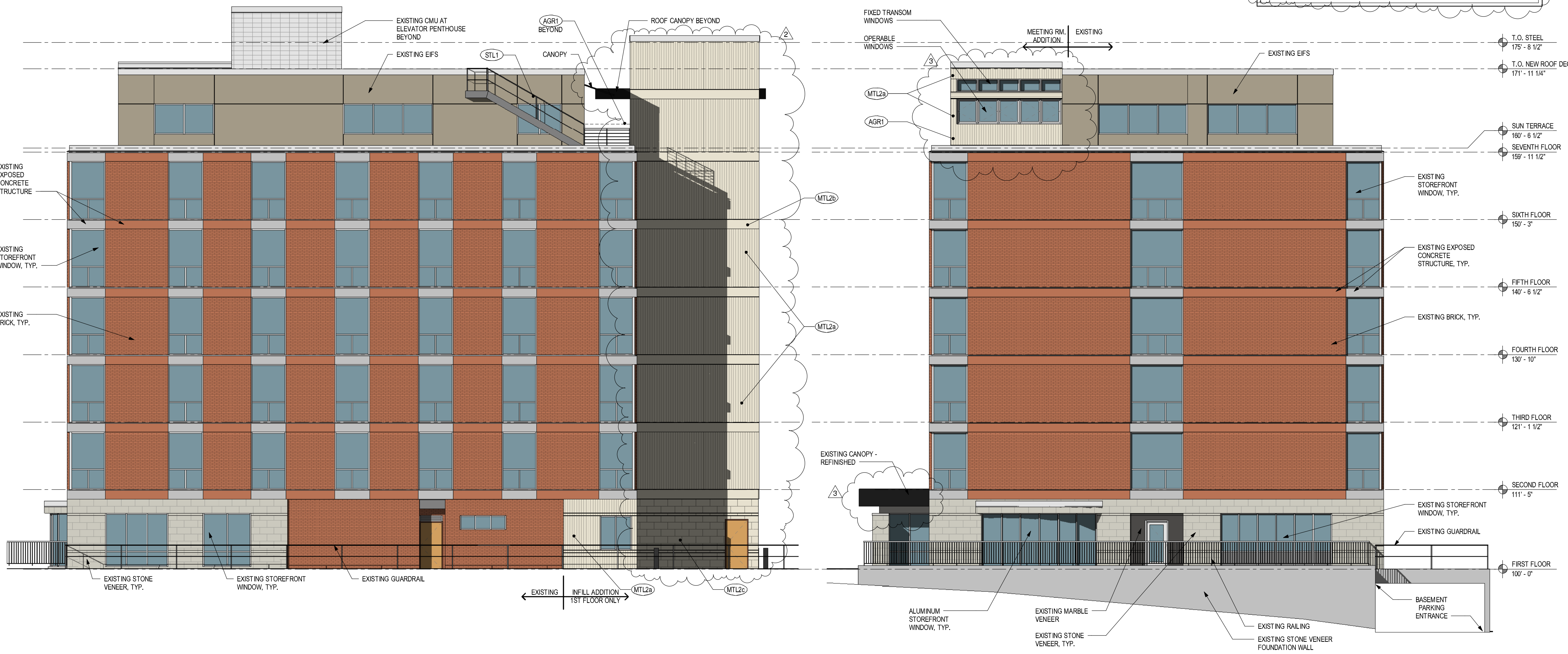
DATE OF ISSUE: 01/05/2014

REVISIONS:		
2	PLAN COMMISSION REVISIONS	11-26-14
3	ELEVATION UPDATES	12-22-14

PROJECT # 14043

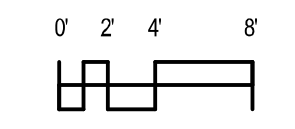
**EXTERIOR
ELEVATIONS**

A2.1



2 WEST ELEVATION
1/8" = 1'-0"

1 NORTH ELEVATION
1/8" = 1'-0"



EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND

- LEGEND**
- (MTL1a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
FINISH: SMOOTH
 - (MTL1b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, PLYMOUTH BROWN, HC-73
FINISH: SMOOTH
SIZE: 16"H x 48"W
 - (MTL2a) CORRUGATED METAL SIDING / PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
 - (MTL2b) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
SIZE: 16"H x 48"W
 - (MTL2c) INTERLOCKING METAL PANEL
COLOR: BENJAMIN MOORE, NAVAJO BEIGE, OC-95
FINISH: SMOOTH
SIZE: 12"H x 24"W
8 / AB, OR
 - (AGR1) ALUMINUM GUARDRAIL W/ GLASS PANELS - SEE ELEVATION DETAIL
 - (STL1) PAINTED STEEL PIPE GUARDRAIL
- ROOF CANOPY / AWNING
COLOR: BENJAMIN MOORE, BLACK, PM-9
- CJ CONTROL JOINT
- PMC PRE FINISHED METAL CORNICE

- GENERAL NOTES**
- A. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.
 - B. INTERLOCKING METAL PANELS AND CORRUGATED METAL SIDING/PANELS TO USE STANDARD COLORS PROVIDED BY MANUFACTURER. COLORS TO MATCH AS CLOSELY AS POSSIBLE TO BENJAMIN MOORE COLORS SPECIFIED.
 - C. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE WALL SECTIONS FOR DIMENSIONS
 - D. COMPONENT/CLADDING WIND LOADS FOR 7TH FLOOR ARE: ZONE 4 (21.9 PSF FOR 10 SF, 20.2 PSF FOR 50 SF); ZONE 5 (CORNERS - 40.2 PSF FOR 10 SF, 35.6 PSF FOR 50 SF)

**THE GRADUATE
MADISON - ADDITION
AND ALTERATIONS**

601 LANGDON STREET
MADISON, WI 53703

DATE OF ISSUE: 01/15/2015

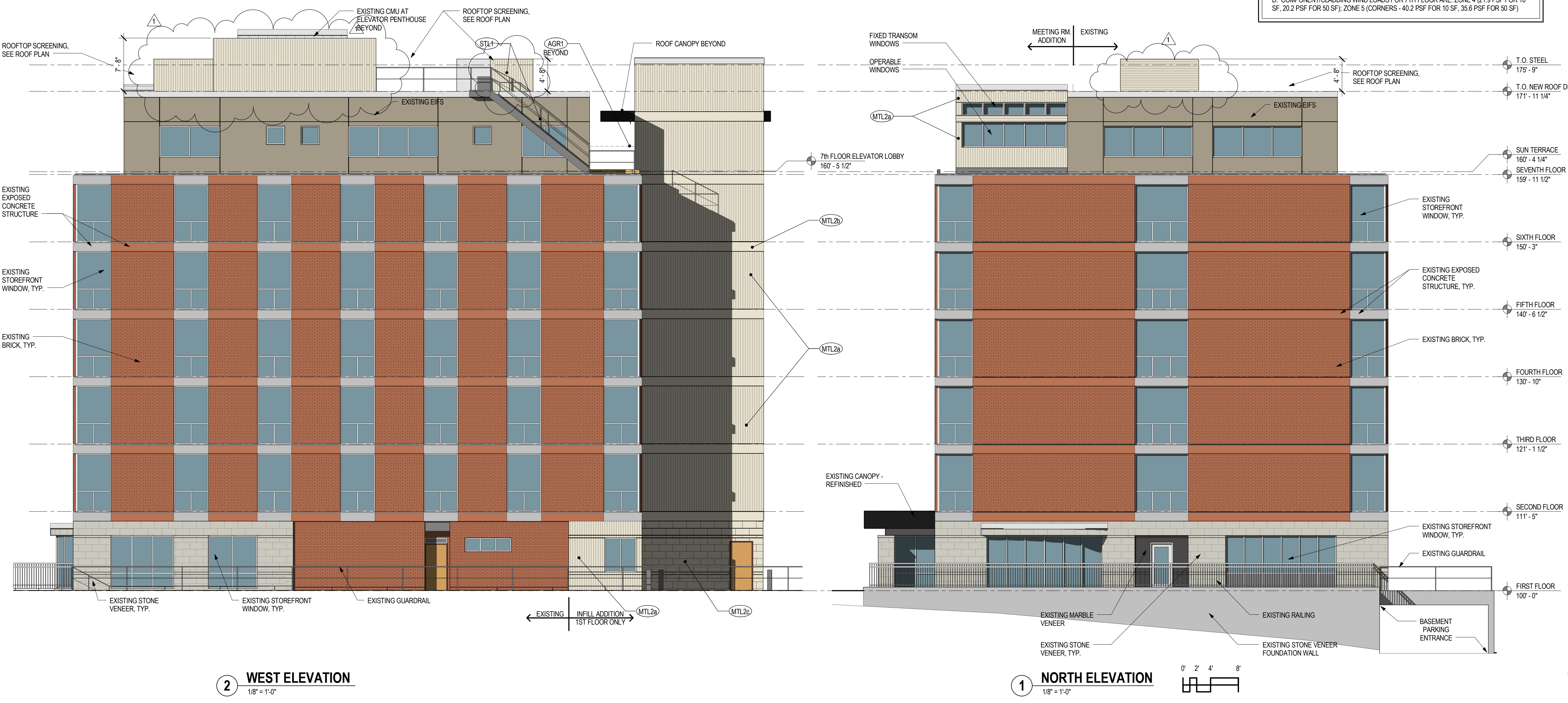
REVISIONS:

1	CONSTRUCTION BULLETIN #1	4/16/15

PROJECT # 14043

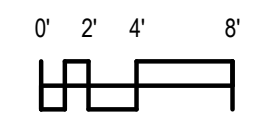
**EXTERIOR
ELEVATIONS**

A2.1CR



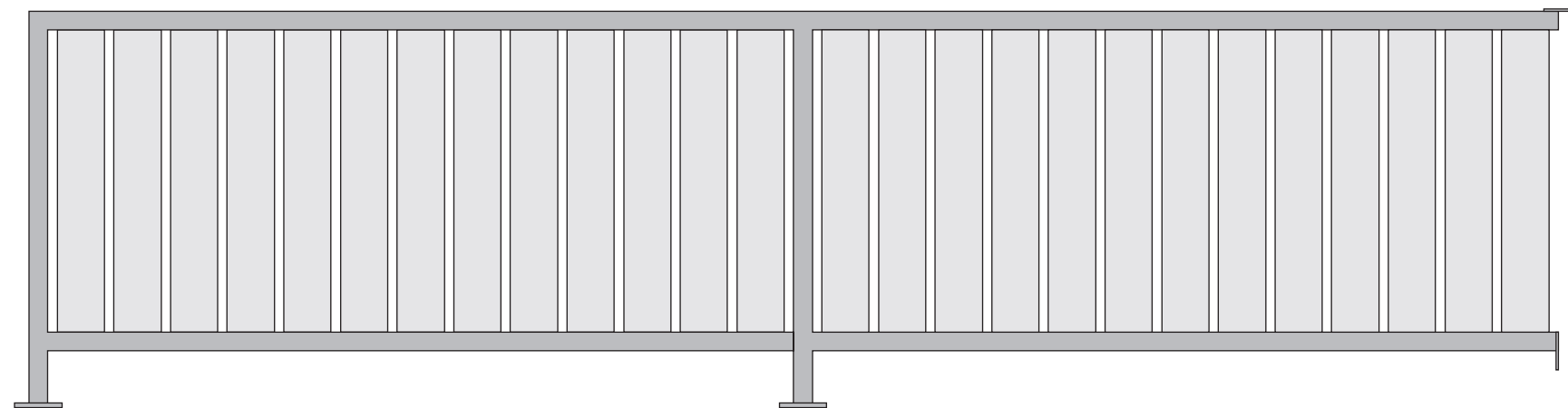
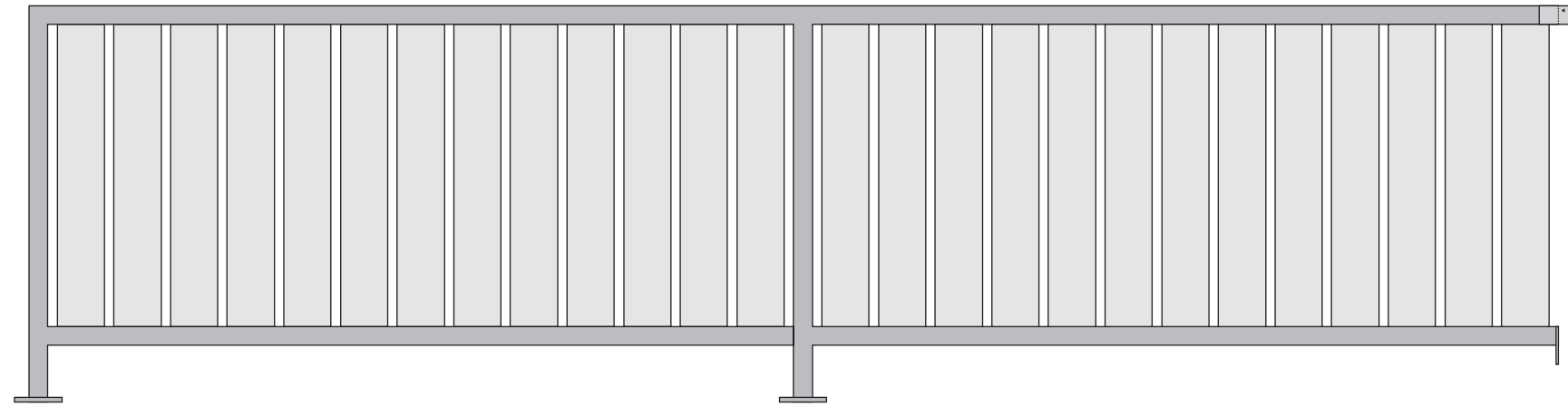
2 WEST ELEVATION
1/8" = 1'-0"

1 NORTH ELEVATION
1/8" = 1'-0"



PROPOSED HVAC SCREENING
COLOR TO MATCH EXISTING EXTERIOR COLOR

2" Sq. Tube Top/Bottom Rail & Posts
1" x 5" Rectangular Tube Infill w/ 1" Space Between Panels
1/2" x 5" Bases
Mechanical connections @ Rail Ends to Next Fence Section - Top or Side @ Top Rail Connections



Typical Surface Mounted Rail Configuration:
2" Sq. Posts, Top & Bottom Rails
1"x5" Rect. Tube Infill
1/2" Base Plates w/ Holes for 3/8" Anchors
Powder Coated Dark Anodized Bronze - Per Sample

PROPOSED HVAC SCREENING
SAMPLE LAYOUT
COLOR TO MATCH EXISTING EXTERIOR COLOR

