



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: _____	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: _____	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input type="checkbox"/> Final Approval

1. Project Address: 1345 Applegate Rd
 Project Title (if any): Bargstrom

2. This is an application for (Check all that apply to this UDC application):

- New Development Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
 Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
 Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee) Street Graphics Variance* (public hearing-\$300 fee)
 Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

- Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: <u>Jones Sign Co Inc</u>	Company: <u>Jones Sign Co</u>
Street Address: <u>1711 Scheuring Rd</u>	City/State: <u>De Pere, WI</u> Zip: <u>54115</u>
Telephone: <u>920 425-9807</u> Fax: <u>920 983-9159</u>	Email: <u>speters@jonessign.com</u>
Project Contact Person: <u>Sarah Peters</u>	Company: <u>Jones Sign Co Inc</u>
Street Address: <u>1711 Scheuring Rd</u>	City/State: <u>De Pere, WI</u> Zip: <u>54115</u>
Telephone: <u>920 425-9807</u> Fax: <u>920 983-9159</u>	Email: <u>speters@jonessign.com</u>
Project Owner (if not applicant): <u>Bargstrom</u>	
Street Address: <u>1 Neenah Center Ste 700</u>	City/State: <u>Neenah, WI</u> Zip: <u>54956</u>
Telephone: () Fax: ()	Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin, Matthew Tucker on 3/16/2016

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant: Sarah Peters Relationship to Property: Sign Contractor
 Authorized Signature: Sarah Peters For Jones Sign Date: 3-22-2016

SIGN LOCATIONS



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JOB #:
 DATE:
 DESIGNER:
 SALES REP:
 PROJ MGR: —

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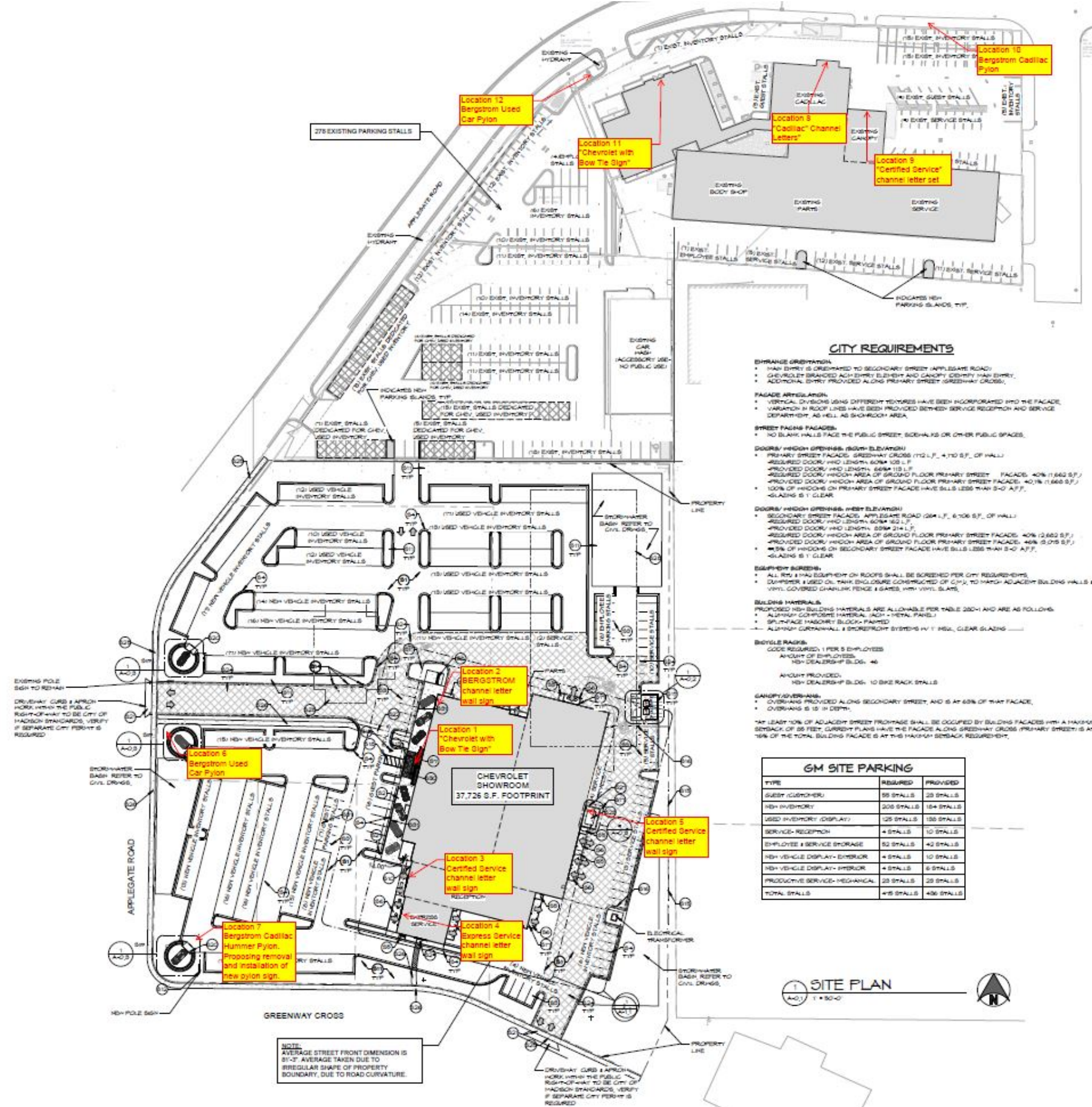
CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	

**BERGSTROM CHEVROLET
 OF MADISON INC**

DESIGN PHASE: CONCEPTUAL

SHEET NUMBER
1.0

SIGN LOCATIONS



CITY REQUIREMENTS

ENTRANCE ORIENTATION

- MAIN ENTRY IS ORIENTED TO SECONDARY STREET (APPLICABLE ROAD)
- CHEVROLET BRANDED ARCH ENTRY ELEVATION AND CANOPY (OPTIONAL MAIN ENTRY)
- ADDITIONAL ENTRY PROVIDED ALONG PRIMARY STREET (GREENWAY CROSS)

FACADE ARTS/DESIGN

- VERTICAL DIVISIONS USING DIFFERENT TEXTURES HAVE BEEN INCORPORATED INTO THE FACADE
- VARIATION IN ROOF LINES HAVE BEEN PROVIDED BETWEEN SERVICE RECEIPTION AND SERVICE DEPARTMENT, AS WELL AS SHOWROOM AREA

STREET FRONTAGE

- NO BLANK WALLS FACE THE PUBLIC STREET, SIDEWALKS OR OTHER PUBLIC SPACES

DOORS/ HATCHES (GROUND ELEVATION)

- PRIMARY STREET FACADE, GREENWAY CROSS (12' L.F., 4' TO 8' F., OF WALL)
- REQUIRED DOOR/ HATCH LENGTH: 60" x 108" L.F.
- REQUIRED DOOR/ HATCH AREA OF GROUND FLOOR PRIMARY STREET FACADE: 40% (1,662 S.F.)
- REQUIRED DOOR/ HATCH AREA OF GROUND FLOOR SECONDARY STREET FACADE: 40% (1,662 S.F.)
- LOOK OF HATCHES ON PRIMARY STREET FACADE HAVE SILLS LESS THAN 3'-0" A.F.F.
- GLAZING IS 1' CLEAR

DOORS/ HATCHES (SECOND ELEVATION)

- SECONDARY STREET FACADE, APPLICABLE ROAD (24' L.F., 6' TO 8' F., OF WALL)
- REQUIRED DOOR/ HATCH LENGTH: 60" x 108" L.F.
- REQUIRED DOOR/ HATCH AREA OF GROUND FLOOR SECONDARY STREET FACADE: 40% (2,662 S.F.)
- LOOK OF HATCHES ON SECONDARY STREET FACADE HAVE SILLS LESS THAN 3'-0" A.F.F.
- GLAZING IS 1' CLEAR

SCREENING SCREENS

- ALL RTU & HVAC EQUIPMENT ON ROOFS SHALL BE SCREENED PER CITY REQUIREMENTS
- DUMPSTER & USED OIL TANK ENCLOSURE CONSTRUCTED OF C.I.P., TO MATCH ADJACENT BUILDING WALLS & VINYL COVERED CHARLIS FENCE & GATES, WITH VINYL SLATS

BUILDING MATERIALS

PROPOSED NEW BUILDING MATERIALS ARE ALLOWABLE PER TABLE 200-1 AND ARE AS FOLLOWS:

- ALUMINUM COMPOSITE MATERIAL (ACM - METAL PANEL)
- SPLIT-FACE MASONRY BLOCK (PAINTED)
- ALUMINUM CORNERWALL & STOREFRONT SYSTEMS W/ 1" INSUL. CLEAR GLAZING

BIKE RACKS

CODE REQUIRED: 1 PER 5 EMPLOYEES
 AMOUNT OF EMPLOYEES: 46
 NEW DEALERSHIP BLDG: 46

AMOUNT PROVIDED:
 NEW DEALERSHIP BLDG: 10 BIKE RACK STALLS

GARAGE/ASHTRAYS

- OVERHANG PROVIDED ALONG SECONDARY STREET, AND IS AT 65% OF WALK FACADE
- OVERHANG IS 12" IN DEPTH

*AT LEAST 10% OF ADJACENT STREET FRONTAGE SHALL BE OCCUPIED BY BUILDING FACADES WITH A MAXIMUM SETBACK OF 55 FEET. CURRENT PLANS HAVE THE FACADE ALONG GREENWAY CROSS (PRIMARY STREET) IS AT 16% OF THE TOTAL BUILDING FACADE IS AT THIS MAXIMUM SETBACK REQUIREMENT.

GM SITE PARKING

TYPE	REQUIRED	PROVIDED
GUEST (CUSTOMER)	95 STALLS	23 STALLS
NEW INVENTORY	205 STALLS	154 STALLS
USED INVENTORY (DISPLAY)	125 STALLS	130 STALLS
SERVICE-RECEPTION	4 STALLS	10 STALLS
EMPLOYEE & SERVICE STORAGE	52 STALLS	42 STALLS
NEW VEHICLE DISPLAY- EXTERIOR	4 STALLS	10 STALLS
NEW VEHICLE DISPLAY- INTERIOR	4 STALLS	6 STALLS
PRODUCTIVE SERVICE-MECHANICAL	23 STALLS	23 STALLS
TOTAL STALLS	478 STALLS	438 STALLS

1 SITE PLAN
 1" = 50'-0"

NOTE:
 AVERAGE STREET FRONT DIMENSION IS 81'-3" AVERAGE TAKEN DUE TO IRREGULAR SHAPE OF PROPERTY BOUNDARY, DUE TO ROAD CURVATURE.

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CLIENT APPROVAL _____ DATE _____
 LANDLORD APPROVAL _____ DATE _____
 QC

**BERGSTROM CHEVROLET
 OF MADISON INC**

DESIGN PHASE: CONCEPTUAL

SHEET NUMBER
1.0

LOCATION 1

BERGSTROM USED CARS CHANNEL LETTER WALL SIGN

This building being removed and new building being built

This wall sign to be removed



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CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	QC APPROVED <small>By Rhoda Schley at 11:24 am, Mar 14, 2016</small>

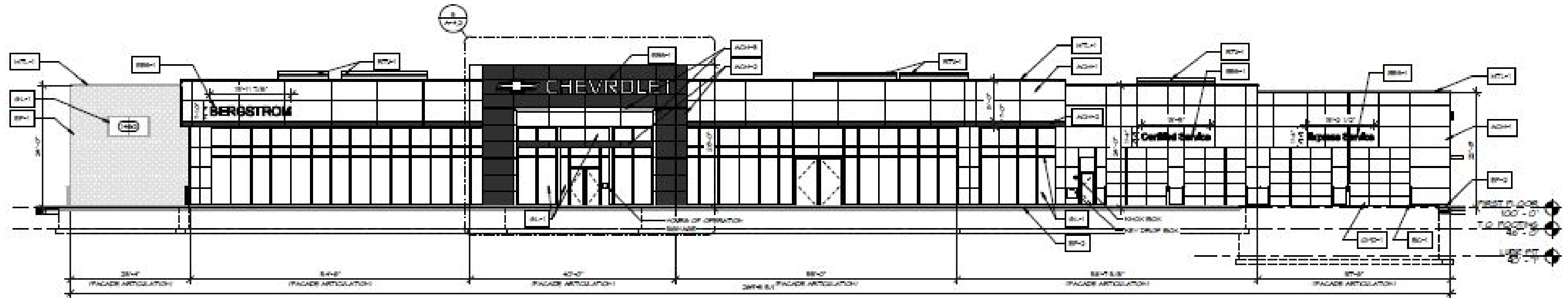
BERGSTROM CHEVROLET
 OF MADISON INC

DESIGN PHASE: CONCEPTUAL

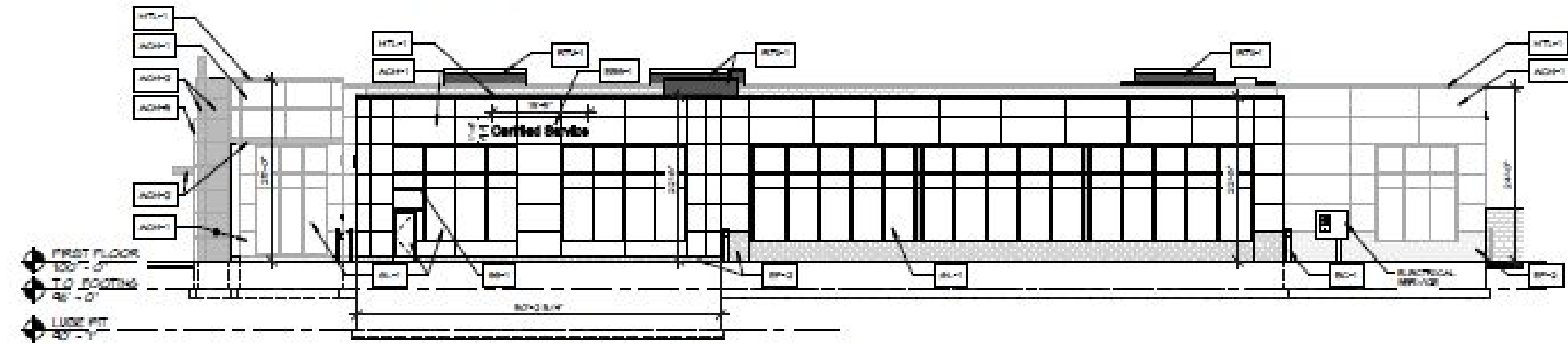
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**LOCATION 1
NEW BUILDING
CHEVROLET WITH LOGO CHANNEL LETTER WALL SIGN ON
WEST ELEVATION**

Occupancies of 25,000 Square Feet. For a single occupancy, stand-alone, non-residential building with twenty-five thousand (25,000) square feet or more in floor area, the maximum net area of all wall, roof and above roof signs shall be thirty percent (30%) of the signable area. The lineal foot measurement method shall not be available. In no case shall a wall sign exceed one hundred twenty (120) square feet in net area.



1 WEST ELEVATION
SHEET 1 OF 2

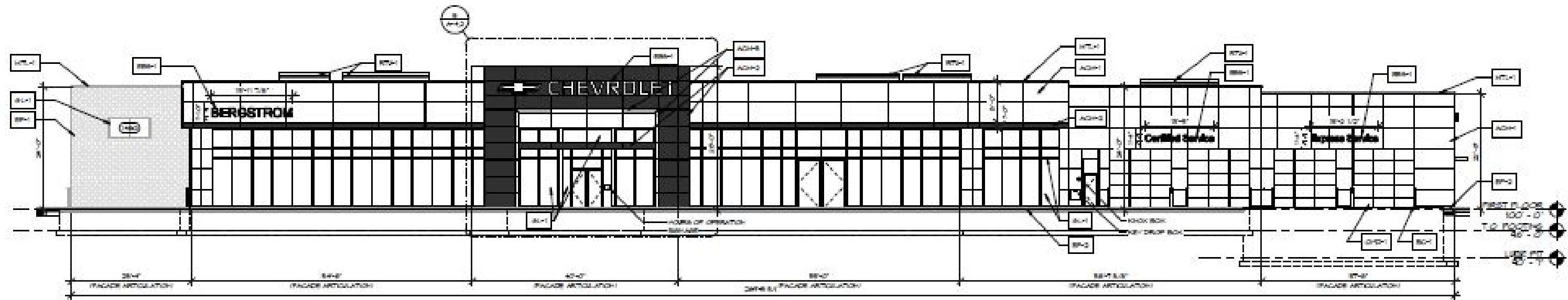


2 SOUTH ELEVATION
SHEET 2 OF 2

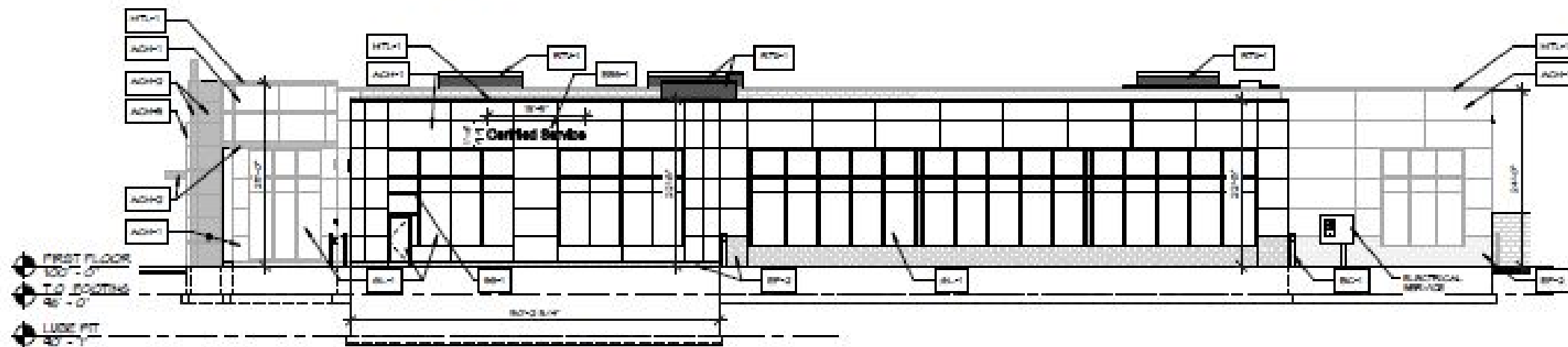
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LOCATION 2
 NEW BUILDING
 BERGSTROM CHANNEL LETTER WALL SIGN ON WEST
 ELEVATION

SIGN SIZE
 1'-10" x 15'-11 7/8" 29.31 SQ. FT



1 WEST ELEVATION
 1'-10" x 15'-11 7/8"



3 SOUTH ELEVATION
 1'-10" x 15'-11 7/8"

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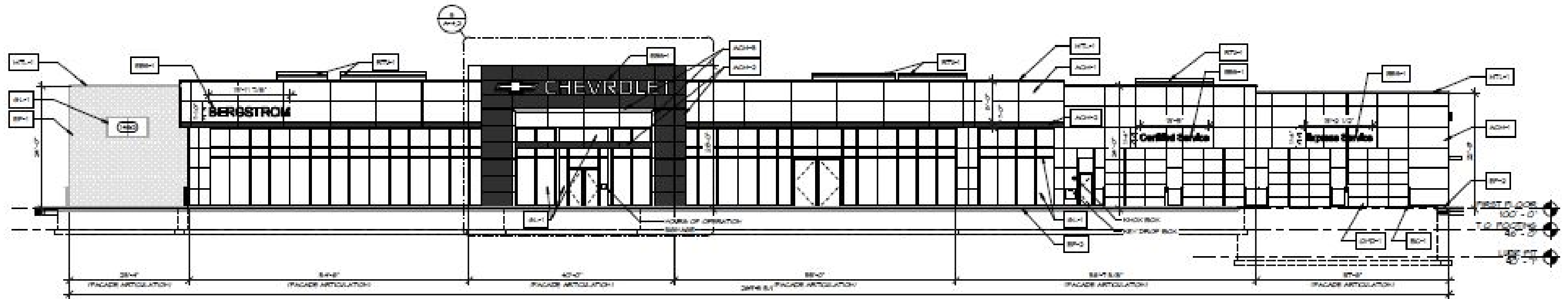
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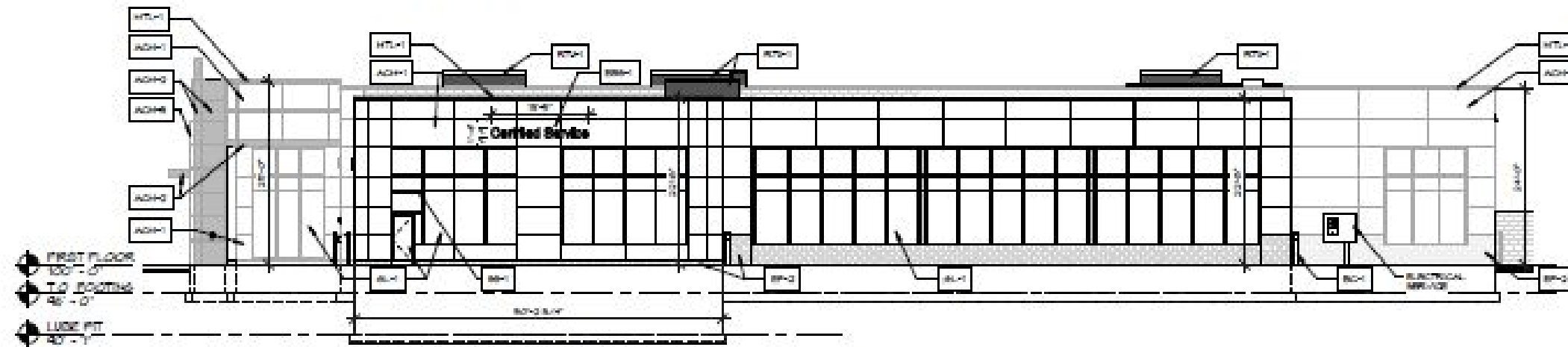
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LOCATION 3
 NEW BUILDING
 CERTIFIED SERVICE CHANNEL LETTER WALL SIGN
 ON WEST ELEVATION

SIGN SIZE
 1'-4" x 13'-5" 17.84 SQ. FT



1 WEST ELEVATION
 1'-4" x 13'-5"



2 SOUTH ELEVATION
 1'-4" x 13'-5"

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BERGSTROM CHEVROLET
 OF MADISON INC

DESIGN PHASE: CONCEPTUAL

SHEET NUMBER
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LOCATION 5

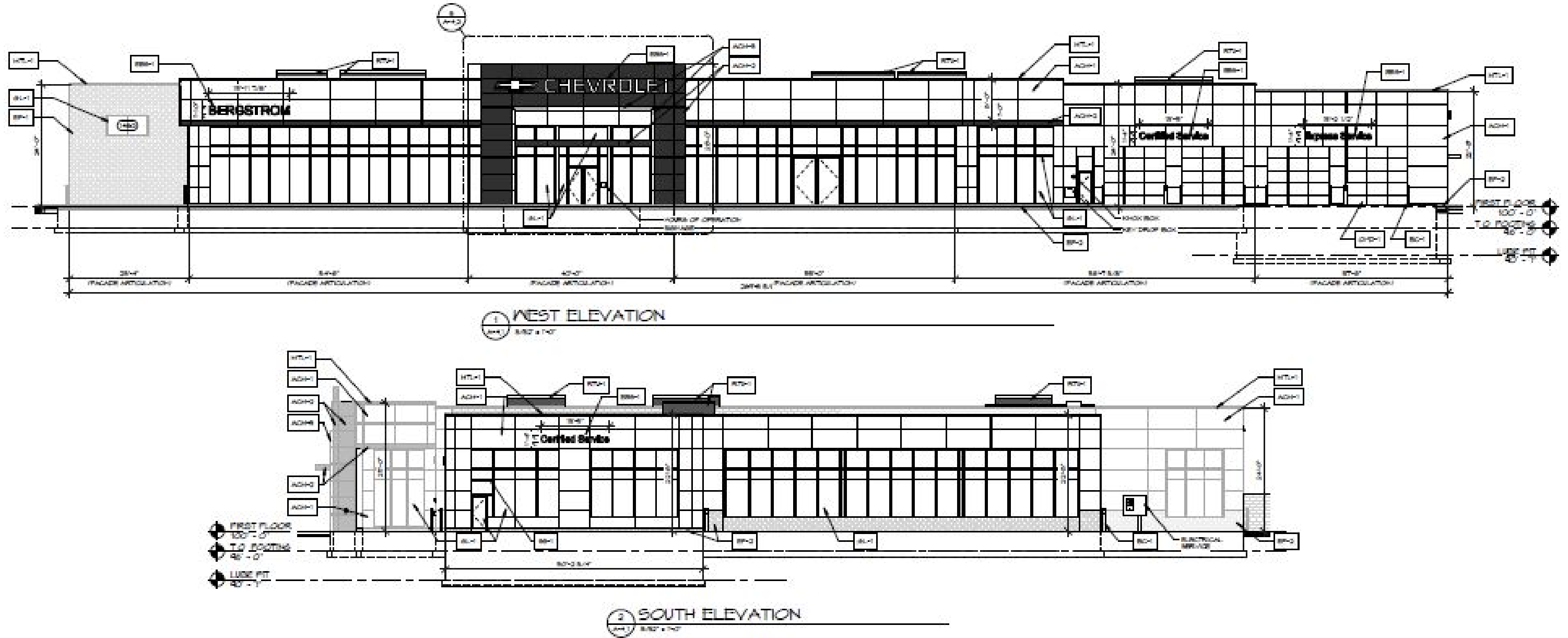
NEW BUILDING

CERTIFIED SERVICE CHANNEL LETTER WALL

SIGN ON SOUTH ELEVATION

SIGN SIZE

1'-4" x 13'-5" 17.84 SQ. FT



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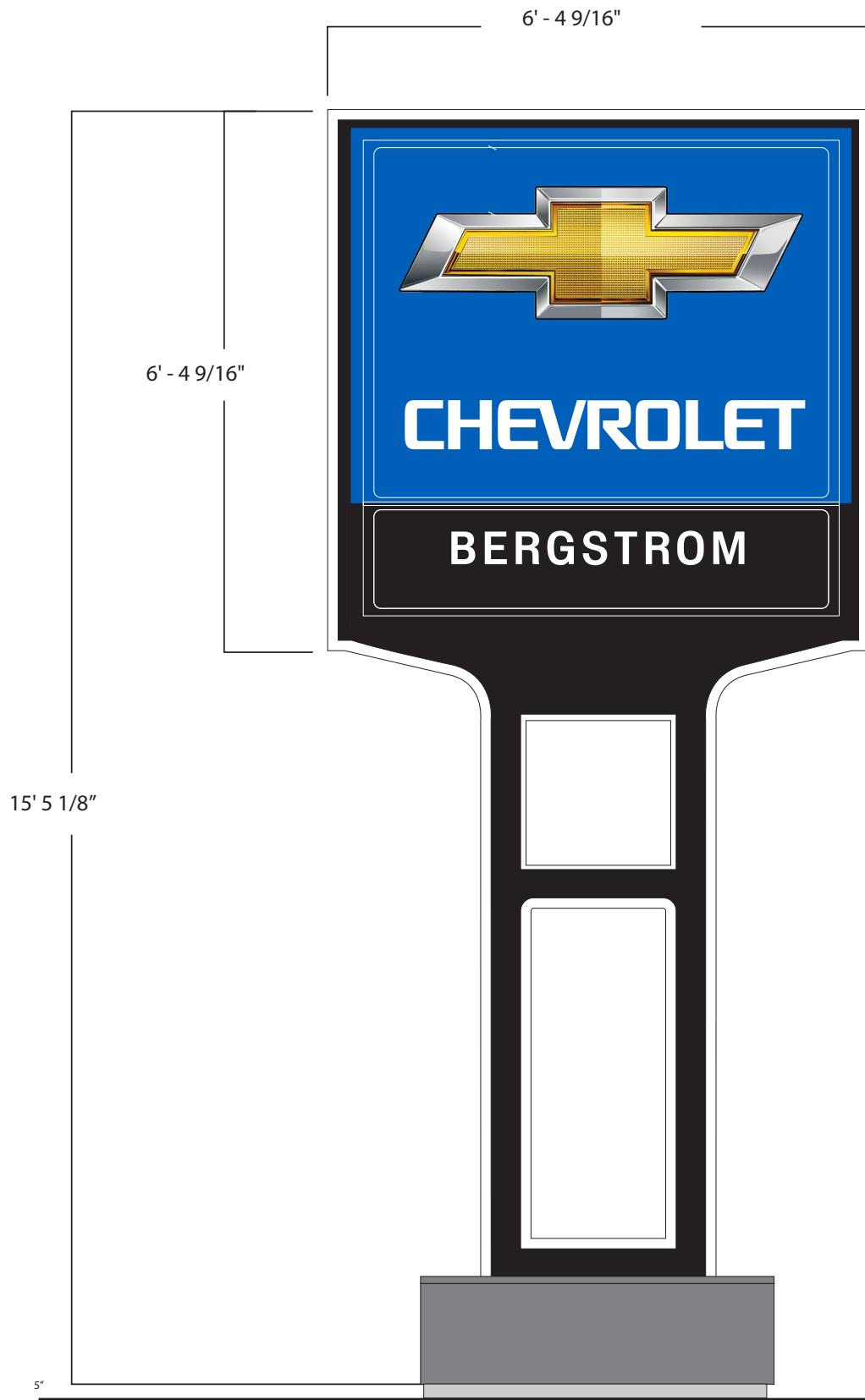
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**LOCATION 6
BERGSTROM USED CAR
PYLON SIGN**



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**LOCATION 7
BERGSTROM PYLON
SIGN TO REPLACE
EXISTING SIGN**

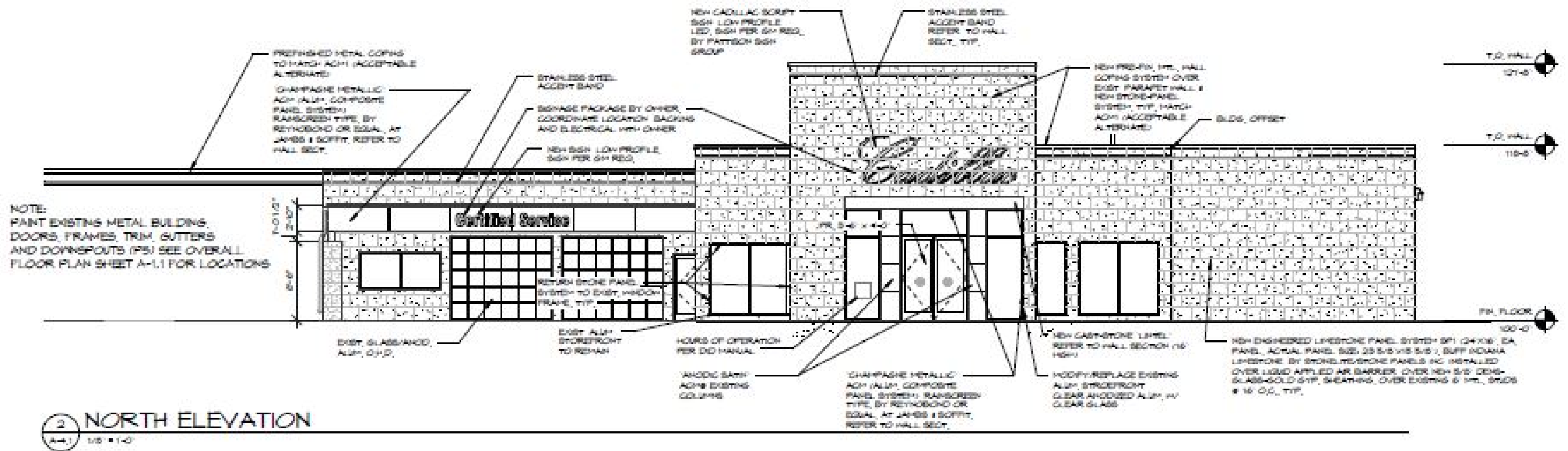


EXISTING SIGN TO BE REPLACED



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**LOCATION 8
CADILLAC CHANNEL
LETTER WALL SIGN**



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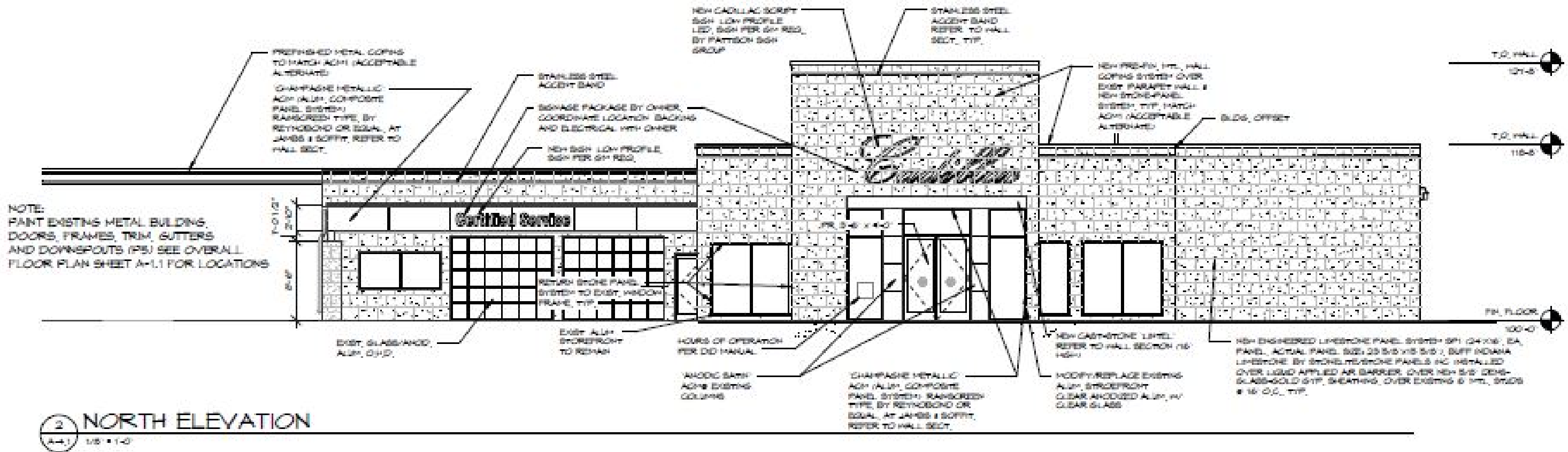
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**BERGSTROM CHEVROLET
OF MADISON INC**

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**LOCATION 9
CADILLAC CHANNEL
LETTER WALL SIGN**



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**BERGSTROM CHEVROLET
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**LOCATION 10
BERGSTROM CADILLAC
PYLON SIGN**



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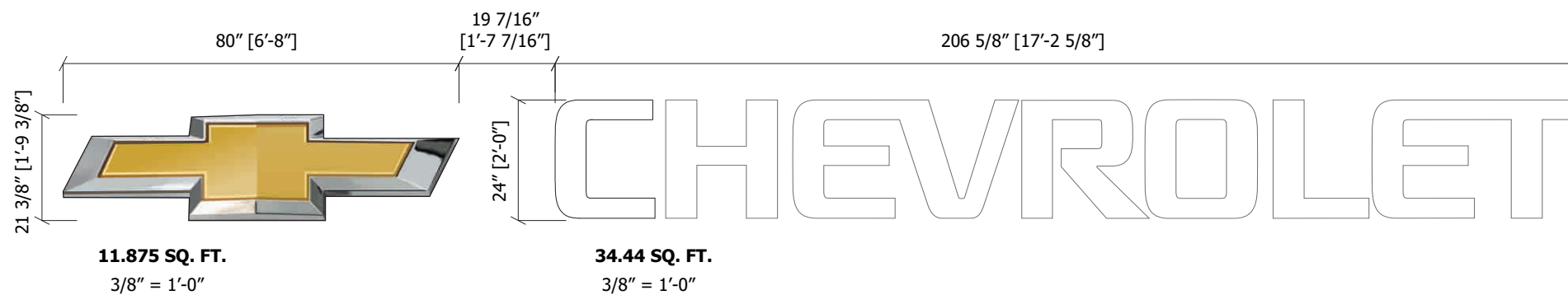
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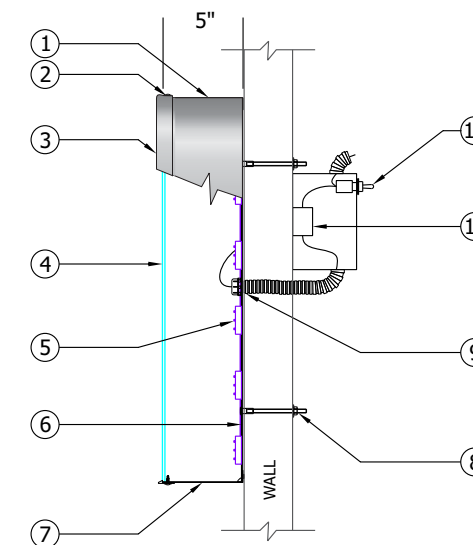
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LOCATION 11
CHEVROLET CHANNEL
LETTER WALL SIGN

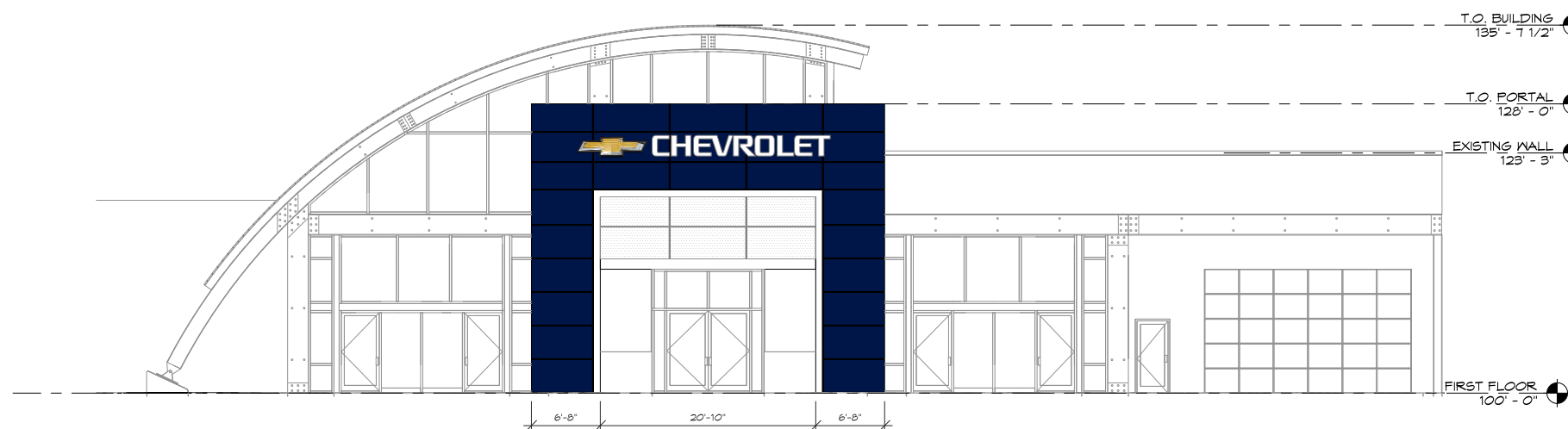


- FINISHES:**
- P-1 MATTHEWS 41-342 BRUSHED ALUMINUM
 - A-1 7328 WHITE ACRYLIC
 - DP-1 DIGITAL PRINT



REMOTE WIRED FACE LIT CHANNEL LETTERS
SCALE: NTS

- ① .040" X 5" ALUMINUM COIL PAINTED P-1 (WHITE INSIDE)
- ② #8 - 1/2" PAN HEAD SCREWS
- ③ 1" PRE-FINISHED JEWELITE CHEMICALLY BONDED TO FACES PAINTED P-1
- ④ 3/16" ACRYLIC A-1 WITH DP-1 APPLIED 1ST SURFACE [CHEVY CROSS]
- ⑤ WHITE LEDs / 1 ROW SECURED TO BACK OF LETTER
- ⑥ .063" PRE-FINISHED BLK/WHT ALUMINUM BACK
- ⑦ 1/4" DIA. WEEP HOLES (EXTERIOR APPLICATIONS ONLY)
- ⑧ MOUNTING HARDWARE (TBD BY WALL CONSTRUCTION)
- ⑨ 7/8" ELECTRICAL HOLE / 3/4" COUPLER WITH FLEXIBLE CONDUIT TO POWER SUPPLY BOX
- ⑩ LED POWER SUPPLY INSIDE POWER SUPPLY BOX
- ⑪ TOGGLE SWITCH MOUNTED TO POWER SUPPLY BOX



2 NORTHWEST ELEVATION
A-1.0
1/16" = 1'-0"

REVISIONS:

REV.	BY	DATE

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JOB #:
DATE:
DESIGNER:
SALES REP:
PROJ MGR: —

REV.	DATE	BY	DESCRIPTION
1	3/10/16	JP	REVISED TO JIM M.'S NOTES
2	00.00.00	XX	XXXX
3	00.00.00	XX	XXXX
4	00.00.00	XX	XXXX
5	00.00.00	XX	XXXX
6	00.00.00	XX	XXXX
7	00.00.00	XX	XXXX
8	00.00.00	XX	XXXX
9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	

BERGSTROM CHEVROLET
OF MADISON INC

DESIGN PHASE: CONCEPTUAL

SHEET NUMBER

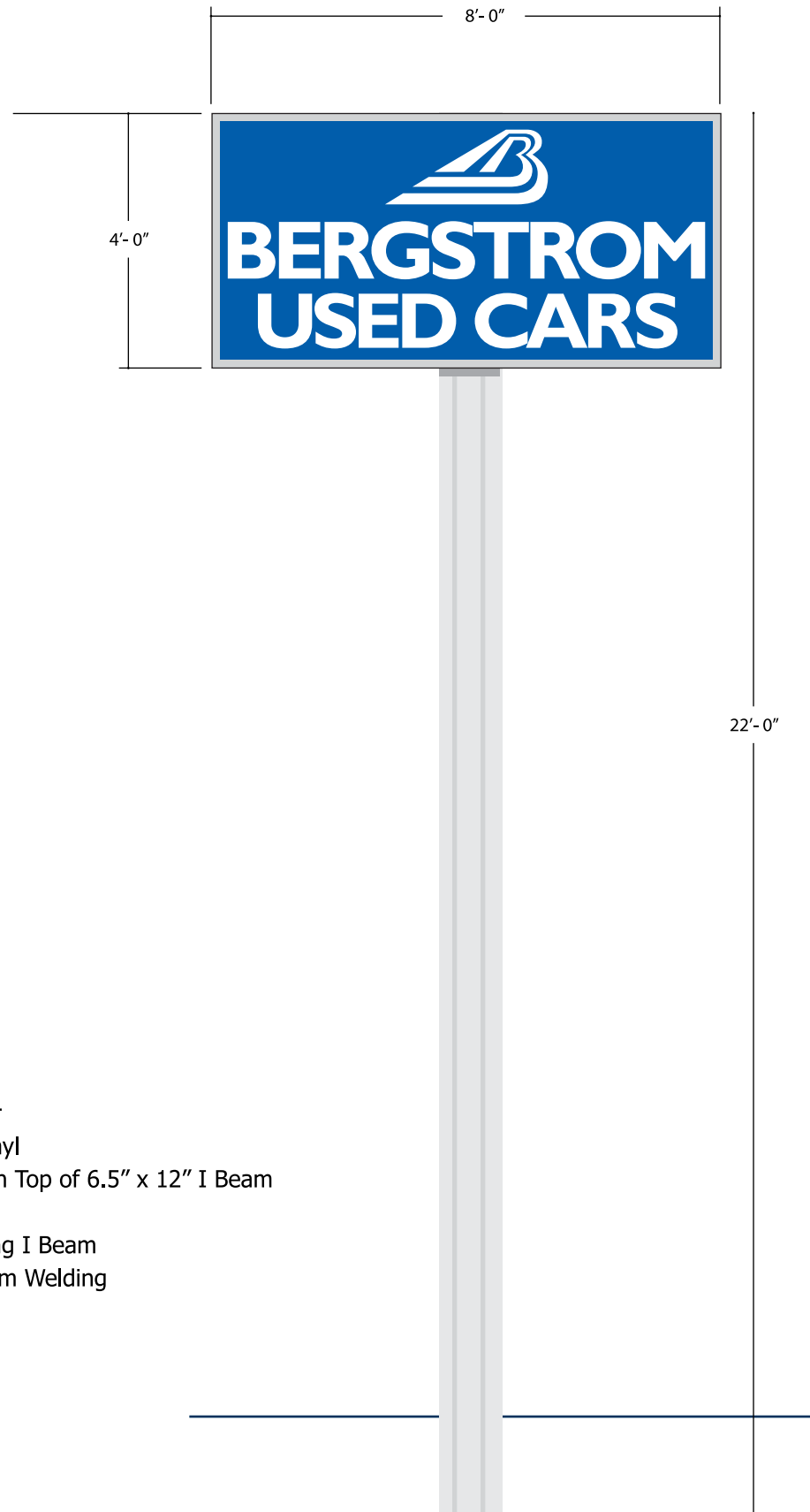
1.0

LOCATION 11
 CHEVROLET CHANNEL
 LETTER WALL SIGN

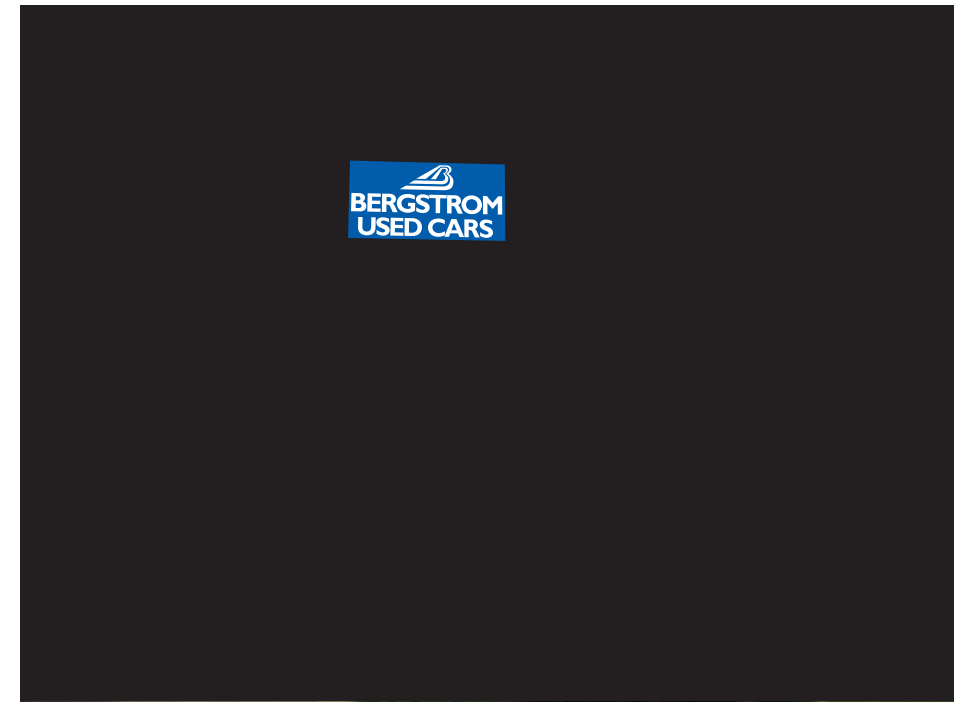


JONES SIGN Your Vision Accomplished GREEN BAY • PHILADELPHIA SAN DIEGO • LAS VEGAS www.jonessign.com	JOB #:	REV.	DATE	BY	DESCRIPTION	CLIENT APPROVAL	DATE	BERGSTROM CHEVROLET OF MADISON INC	SHEET NUMBER
	DATE:	1	3/10/16	JP	REVISED TO JIM M.'S NOTES				
	DESIGNER:	2	00.00.00	XX	XXXX	LANDLORD APPROVAL	DATE		DESIGN PHASE: CONCEPTUAL
	SALES REP:	3	00.00.00	XX	XXXX	QC			
PROJ MGR: —	4	00.00.00	XX	XXXX					
	5	00.00.00	XX	XXXX					
	6	00.00.00	XX	XXXX					
	7	00.00.00	XX	XXXX					
	8	00.00.00	XX	XXXX					
	9	00.00.00	XX	XXXX					
	10	00.00.00	XX	XXXX					

**LOCATION 12
BERGSTROM USED CARS
PYLON SIGN**



Day View - Approx Layout (NTS)



Night View - Approx Layout (NTS)

New D/F Cabinet for Existing I Beam Qty:1

- 1] Cabinet to be Prefinished White Aluminum w/White Retainer
- 2] Lexan Face w/Applied Calon 2500-2940 Translucent Blue Vinyl
- 3] Center Pole in Cabinet w/8.5" x 14" Mounting Plate to Set on Top of 6.5" x 12" I Beam
- 4] Internally Lit with Florescent Lighting
- 5] Remove Street Side I Beam at Grade, Cut Off 1' of Remaining I Beam
- 6] Weld Mounting Plate on Existing I Beam, Touch Up Paint from Welding

JONES SIGN Your Vision Accomplished GREEN BAY • PHILADELPHIA SAN DIEGO • LAS VEGAS www.jonessign.com	JOB #:		CLIENT APPROVAL	BERGSTROM CHEVROLET OF MADISON INC	SHEET NUMBER 1.0	
	DATE:		LANDLORD APPROVAL			DATE
	DESIGNER:		QC			
SALES REP:	7 00.00.00 XX XXXX				DESIGN PHASE: CONCEPTUAL	
PROJ MGR: —	8 00.00.00 XX XXXX					
	9 00.00.00 XX XXXX					
	10 00.00.00 XX XXXX					

COMPREHENSIVE DESIGN REVIEW

BERGSTROM
1345 APPLGATE RD
MADISON, WI

CDR CRITERIA

1. The sign plan for Bergstrom will create a visual harmony between each sign and the site layout. This site is unique because of the size of the zoning lot and the multiple buildings laid out across the site. With the size of signs and number of signs on the site, they will be appropriate to scale and character for the zoning lot and complement each building.
2. The sign plan for this location is necessary due to the layout of the site and the size of the site. There are multiple buildings on site and to identify each building, they all need separate signage which pertains to the services offered in each building.
3. The sign plan will not violate the purpose or intent of the sign control ordinance. The sign plan will be used to help customers identify services offered by each building located on the site without difficulty or confusion.
4. All signs will meet the minimum construction requirements as stated in the ordinance.
5. All signs in the sign plan will not have any off-premise advertising.
6.
 - a. The sign plan will not present a hazard to vehicular or pedestrian traffic on public or private property. The signs will be located so they do not interfere with customers coming onto the site.
 - b. The pole signs for the site will not obstruct views at points of ingress and egress of adjoining properties.
 - c. Signs will not obstruct or impede visibility of existing lawful signs on adjacent property or
 - d. The sign plan will not negatively impact the visibility quality of public or private open space.
7. The sign plan will only encompass signs on private property of the zoning lot and all signs will be located on private property.

31.07 WALL, ROOF AND ABOVE-ROOF SIGNS.

Number of Signable Areas. There shall be one (1) signable area, whether on the wall or the roof, for each facade facing a street. There shall be no more than four (4) signable areas per building,

For a single occupancy, stand-alone, non-residential building with twenty-five thousand (25,000) square feet or more in floor area, or a nonresidential occupancy or tenant space with twenty-five thousand (25,000) square feet or more in floor area in a multi-tenant building, the maximum net area of all wall, roof and above roof signs shall be thirty percent (30%) of the signable area.

31.08 GROUND SIGNS.

Number. No more than two (2) ground signs of the type permitted in this section may be displayed on a single zoning lot, unless approved by the Urban Design Commission through a Comprehensive Design Review

GROUND SIGNS ON SITE:

LOCATION 6 BERGSTROM PYLON SIGN

**LOCATION 7 NEW BERGSTROM PYLON SIGN TO REPLACE
EXISTING SIGN**

LOCATION 10 BERGSTROM CADILLAC PYLON SIGN

**LOCATION 12 BERGSTROM USED CARS PYLON SIGN
(BEING REMOVED)**