



Location  
4707 Pflaum Road

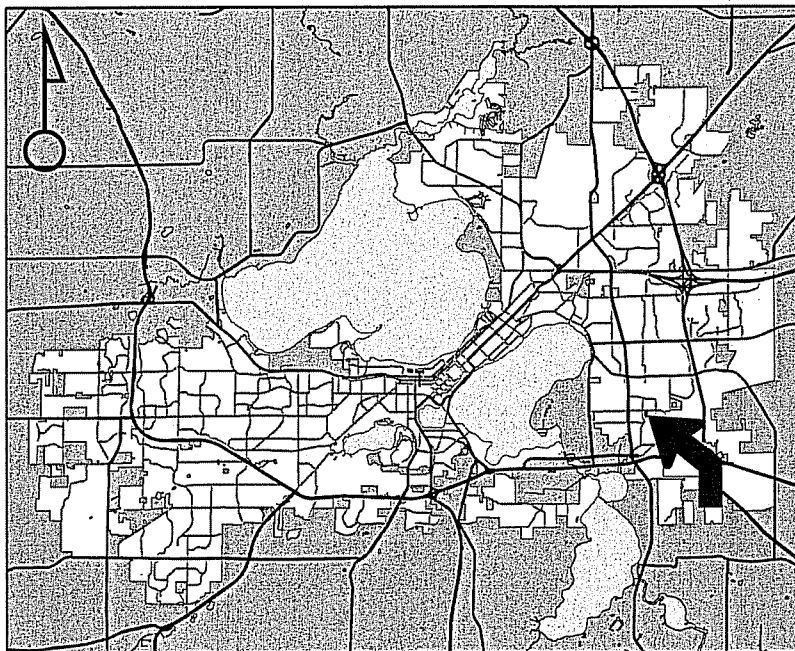
Project Name  
Perkin's Oil Inc.

Applicant  
Richard Perkins/Jim Daggett-Ideal Builders

Existing Use  
Existing building

Proposed Use  
Demolish an existing 11,000 square foot building to allow for a 22,000 square foot warehouse addition

Public Hearing Date  
Plan Commission  
08 February 2016

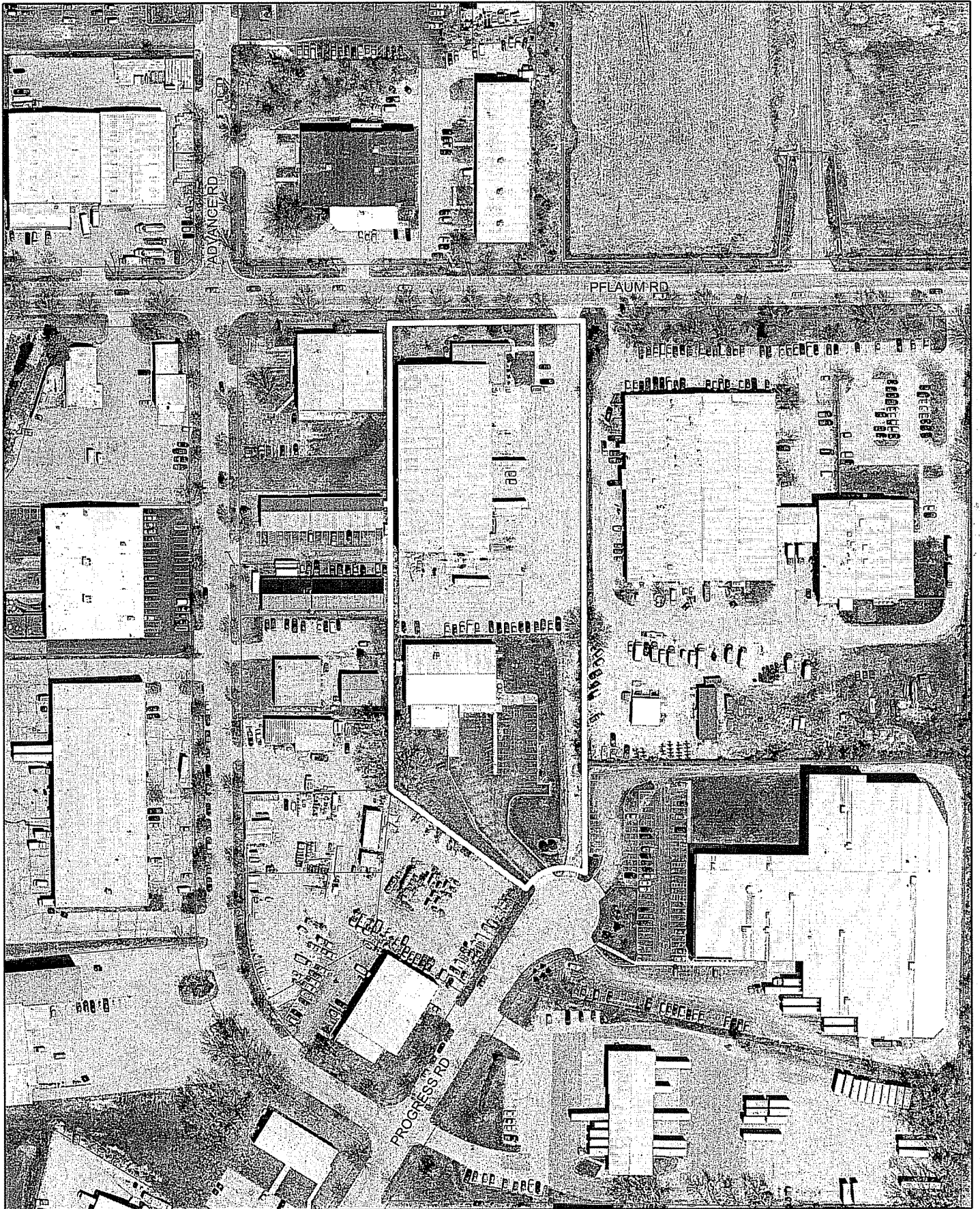


For Questions Contact: Chris Wells at: 261-9135 or [cwells@cityofmadison.com](mailto:cwells@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 01 February 2016





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

**FOR OFFICE USE ONLY:**

Amt. Paid \$600 Receipt No. 011187-0003  
 Date Received 12/21/15  
 Received By [Signature]  
 Parcel No. 0710-222-0112-4  
 Aldermanic District #16 - DeMarb  
 Zoning District LL  
 Special Requirements Zoning Hold  
 Review Required By:  
 Urban Design Commission     Plan Commission  
 Common Council                 Other: \_\_\_\_\_

Form Effective: February 21, 2013

1. **Project Address:** 4707 Pflaum Road  
**Project Title (if any):** Perkins Oil Inc.

### 2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to Approved PD-GDP Zoning       Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: Plan review for building demolition, addition, and new building

### 3. Applicant, Agent & Property Owner Information:

**Applicant Name:** Boyd E Coleman III; PE Company: Struc Rite Design, Inc.  
**Street Address:** 805 Clinton St City/State: Waukesha, WI Zip: 53186  
**Telephone:** (262) 549-3222 x2 Fax: (262) 896-2079 Email: boydc@srinc.biz

**Project Contact Person:** Jim Daggett Company: Ideal Builders  
**Street Address:** 1406 Emil Street City/State: Madison, WI Zip: 53713  
**Telephone:** (608) 271-8111 Fax: (608) 271-6223 Email: jjdaggett@idealbuilders.com

**Property Owner (if not applicant):** Richard Perkins  
**Street Address:** 4707 Pflaum Road City/State: Madison, WI Zip: 53718

### 4. Project Information:

Provide a brief description of the project and all proposed uses of the site: 22008 sq ft storage building addition, demolition of an existing building and construction of a new 4,992 sq ft truck storage garage

Development Schedule: Commencement 2/8/2016 Completion 9/15/2016

## 5. Required Submittal Information

All Land Use applications are required to include the following:

**Project Plans** including:\*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

## 6. Applicant Declarations

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: \_\_\_\_\_ ? \_\_\_\_\_ Date: \_\_\_\_\_ Zoning Staff: MATT TUCKER Date: 3-9-2015

JEFF BENEDICT 10/21/13

JENNY KIRCHGATTER

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Boyd E Coleman Relationship to Property: A/E Designer

Authorizing Signature of Property Owner Richard D Perkins Date 12/21/15 9



**Letter of Intent**

Perkins Oil Company (Pflaum Investment, LLC.) located at 4707 Pflaum Road, Madison, WI has purchased the adjacent property located at 2542 Progress Road, Madison, WI (formerly owned by C.L. Swanson Co.) and subsequently combined the two properties into one lot and recorded under CSM Map No. 13926 in 2014.

It is the intent of the owner to demolish the existing 11,000 sq.ft. building located on the adjoining property and construct a 22,000 sq.ft. warehouse addition together with a separate 5,000 sq.ft. garage storage building as detailed on the plans by Struc-Rite Design Inc. and Burse Surveying & Engineering, Inc.

The project team consists of the following:

Architect/Structural Engineer

Boyd Coleman ([boydc@srdinc.com](mailto:boydc@srdinc.com))

Struc-Rite Design, Inc.

805 Clinton St.

Waukesha, WI 53186

262-549-3222

Civil/Storm water Engineer

Michelle Burse ([mburse@bse-inc.com](mailto:mburse@bse-inc.com))

Burse Surveying & Engineering, Inc.

2801 International Ln. – Ste. 101

Madison, WI 53704

608-250-9263

General Contractor

Jim Daggett ([jjdaggett@idealbuildersinc.com](mailto:jjdaggett@idealbuildersinc.com))

Ideal Builders, Inc.

1406 Emil St.

Madison, WI 53713

608-271-8111

Demolition Contractor

Curt Diehl ([diehlneumaier@yahoo.com](mailto:diehlneumaier@yahoo.com))



Diehl & Neumaier Co.  
5466 Norway Grove School Rd.  
Deforest, WI 53532  
608-846-4824

Perkins Oil Company currently has 25 full time employees at the Pflaum Road facility and will be adding 2 more full time positions with this expansion.

There will be 28 parking stalls provided together with 2 handicap stalls and a bike rack.

Normal hours of operation are from 7am-5pm, Monday thru Friday.

The current value of the land is 1.25 million and the estimated value of the proposed expansion is 1.5 million.

With the completion of this expansion, the total impervious area will be 138,683 sq.ft. which provides for a lot of coverage if 74.5%

Demolition is anticipated to start in mid-February of 2016 with completion of the construction to include landscape and restoration of all disturbed areas established by mid-September later that year.

More specifically, refer to the Demolition Plan, C 1.2 prepared by Burse Surveying & Engineering, Inc.

Alderperson, Denise DeMarb, has been contracted with regard to obtaining a waiver of the pre-application notification and approval for the project.

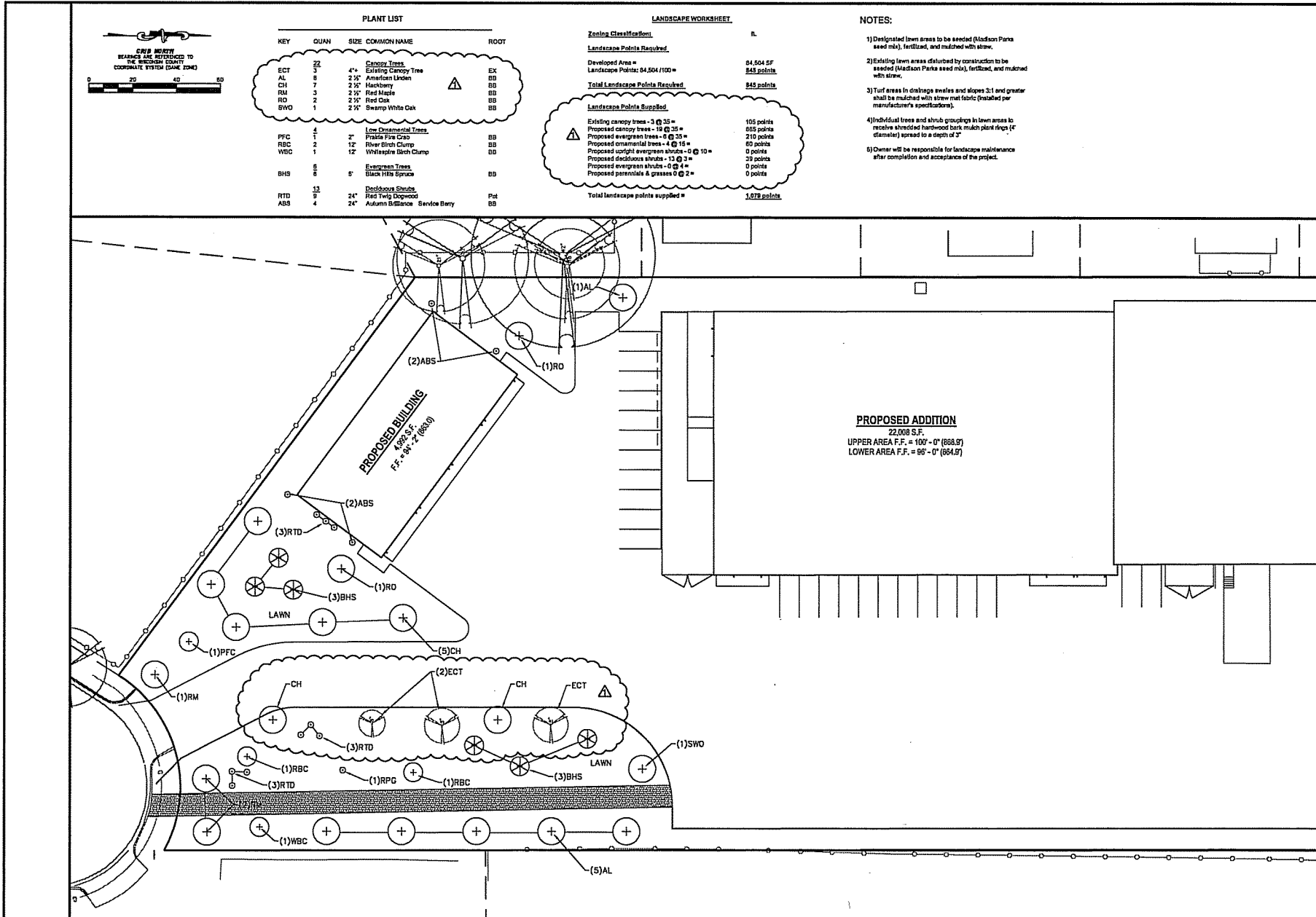
The deconstruction of the metal building constructed in 1997 will be provided by Diehl & Neumaier Co. DeForest, WI.

All scrap metal will be removed and processed by Diehl & Neumaier. Preparation prior to starting together with the demolition will include removing items containing CFC's and mercury for recycling performed by Diehl & Neumaier.

All construction waste will be sorted by Diehl & Neumaier and hauled off site by Royal Container Service.

The concrete foundations, slabs, & asphalt will be re-ground on-site by TriCor and utilized as fill materials for the proposed expansion.

Royal Container Service will provide the amount of scrap metal and landfill waste hauled off site at the time the work is performed.



PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	ROOT
<b>Canopy Trees</b>				
ECT	2	4"	Existing Canopy Tree	EX
AL	8	2 1/2"	American Linden	BB
CH	7	2 1/2"	Hackberry	BB
RM	3	2 1/2"	Red Maple	BB
RO	2	2 1/2"	Red Oak	BB
SVO	1	2 1/2"	Swamp White Oak	BB
<b>Low Ornamental Trees</b>				
PFC	4	2"	Prairie Fire Crab	BB
RBC	2	12"	River Birch Clump	BB
WRC	1	12"	Whisper Birch Clump	BB
<b>Evergreen Trees</b>				
BHS	8	6"	Black Hills Spruce	BB
<b>Deciduous Shrubs</b>				
RTD	13	24"	Red Twig Dogwood	Pat
ABS	4	24"	Autumn Brilliance Service Berry	BB

LANDSCAPE WORKSHEET

Zone Classification	FL
<b>Landscape Points Required</b>	
Developed Area =	84,504 SF
Landscape Points: 84,504 / 100 =	845 points
<b>Total Landscape Points Required</b>	<b>845 points</b>
<b>Landscape Points Supplied</b>	
Existing canopy trees - 3 @ 25 =	105 points
Proposed canopy trees - 19 @ 25 =	605 points
Proposed evergreen trees - 0 @ 25 =	210 points
Proposed ornamental trees - 4 @ 15 =	60 points
Proposed upright evergreen shrubs - 0 @ 10 =	0 points
Proposed deciduous shrubs - 13 @ 3 =	39 points
Proposed evergreen shrubs - 0 @ 4 =	0 points
Proposed perennials & grasses @ 2 =	0 points
<b>Total landscape points supplied =</b>	<b>1,079 points</b>

NOTES:

- 1) Designated lawn areas to be seeded (Madison Parks seed mix), fertilized, and mulched with straw.
- 2) Existing lawn areas disturbed by construction to be seeded (Madison Parks seed mix), fertilized, and mulched with straw.
- 3) Turf areas in drainage swales and slopes 3:1 and greater shall be mulched with straw mat fabric (treated per manufacturer's specifications).
- 4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4" diameter) spread to a depth of 3".
- 5) Owner will be responsible for landscape maintenance after completion and acceptance of the project.

**Burse**  
Surveying and Engineering, Inc.  
2501 International Lane, Suite 101  
Madison, WI 53704  
Phone: 608-260-3703  
Fax: 608-260-0200  
e-mail: Mburse@Burse-Eng.com  
www.burseeng.com

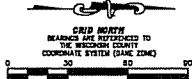
**PERKINS OIL CO., INC.**  
2087 ATWOOD AVENUE  
MADISON, WI 53713  
**PERKINS OIL CO., INC.**  
2087 ATWOOD AVENUE  
MADISON, WI 53713

PROJECT #: DSE 1781-15  
 PLOT DATE: 03/22/2010  
 REVISION DATES:  
 03/22/2011

ISSUE DATES:  
 Cond. Use 12/12/2010  
 02/22/2011

LANDSCAPE PLAN  
(Revised)  
**Burse**  
Surveying and Engineering, Inc.  
DRAWING NUMBER  
**LS-1**

REVISED



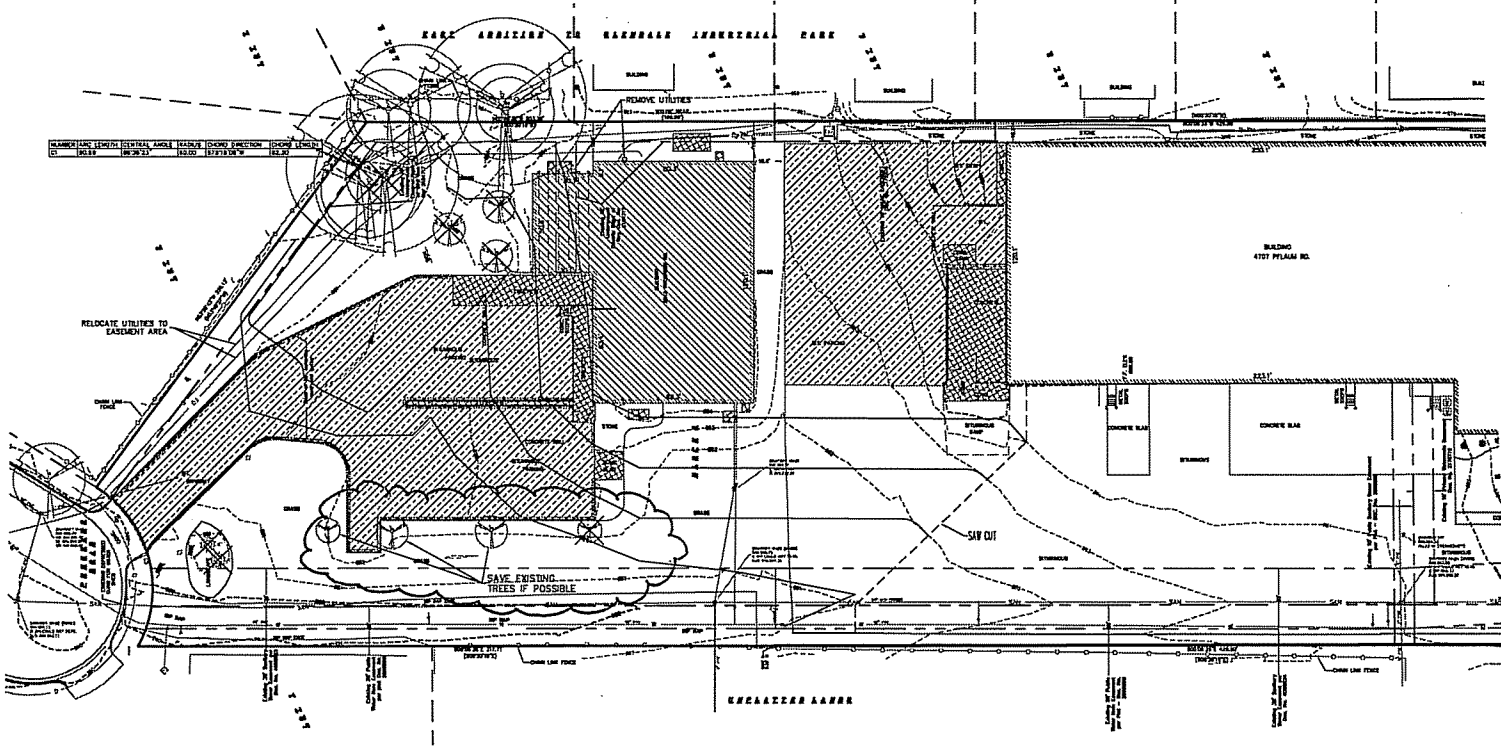
**DIGGERS HOTLINE**  
 Dial 811 or (800) 242-8511  
 www.DiggersHotline.com

**DEMOLITION NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FOR ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDING.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
7. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
8. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
10. DAMAGE TO ALL EXISTING CONDITION TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

**LEGEND**

- REMOVE BITUMINOUS PAVEMENT
- REMOVE CONCRETE
- RAZE BUILDING
- REMOVE UTILITY LINE
- REMOVE TREE



**LEGEND**

- 1-1/4" SOLID IRON ROD FOUND
- 1/2" SOLID IRON ROD FOUND
- 1" IRON PIPE FOUND
- 1/2" x 1" SOLID IRON RE-ROD BELL W/L LHM 1/4" FL.
- OVERHEAD UTILITY WIRE
- BURIED GAS LINE
- BURIED SAN
- SANITARY SEWER
- STORM SEWER
- BURIED TELEPHONE
- BURIED ELECTRIC
- BURIED CABLE ACCESS TELEVISION LINE
- BURIED FIBER OPTIC
- WATER VALVE
- ELECTRIC BOX
- UTILITY POLE
- LIGHT POLE
- TELEPHONE BOX
- FIRE HYDRANT
- SIGN
- CUT TREE
- MAJOR
- SANITARY SEWER MANHOLE
- DECADUOUS TREE
- CONIFEROUS TREE
- BOLLARD
- ( ) INDICATES RECORDS AS

NOTES: ALL UTILITIES ARE SHOWN TO THE NEAREST HAZENRATH OF A POLE. SURFACES ARE SHOWN TO THE NEAREST TYPICAL OF A POLE.

**Burse**  
 Surveying and Engineering, Inc.  
 2501 Hometown Lane, Suite 101  
 Madison, WI 53718  
 Phone: 608-250-7200  
 Fax: 608-252-0260  
 e-mail: burse@buse.com  
 www.burseengineering.com

NO.	DATE	DESCRIPTION
1	02/03/2018	ISSUE FOR PERMITS
2	02/03/2018	REVISED PER COMMENTS

4707 Pilgrim Road  
 MADISON, WI 53718  
**PERKINS OIL CO., INC.**  
 4707 Pilgrim Road  
 MADISON, WI 53718

PROJECT #: DSE1781-14  
 PLOT DATE: 02/03/2018  
 REVISION DATE: 02/03/2018

ISSUE DATE: 12/18/2018  
 02/03/2018

DEMOLITION PLAN  
 (Revised)  
**Burse**  
 Surveying and Engineering, Inc.  
 Drawing Number  
**C-200**

REVISED



# IDEAL BUILDERS PERKINS OIL INC.

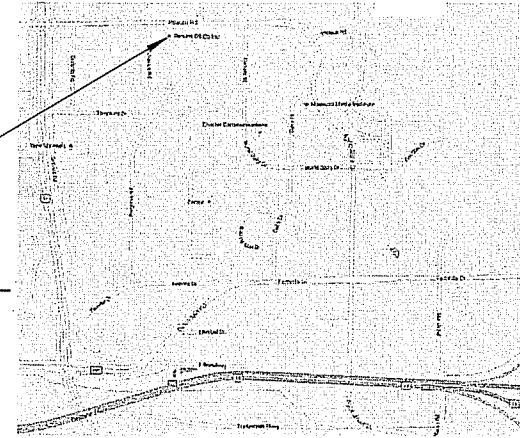
4707 PFLAUM ROAD  
MADISON, WI 53718

## PLAN REVIEW

### SHEET INDEX

SHEET	Sheet Name	DESIGN DEVELOPMENT	PLAN REVIEW	STATE REVIEW	REVISION 1	REVISION 2
G1.0	COVER PAGE	12.02.2015	12.18.2015			
C1.0	ARCHITECTURAL SITE PLAN	12.02.2015	12.18.2015			
C1.1	CIVIL - EXISTING CONDITIONS		12.18.2015			
C1.2	CIVIL - DEMO PLAN		12.18.2015			
C1.3	CIVIL - GRADING AND EROSION CONTROL PLAN		12.18.2015			
C1.4	CIVIL - UTILITY PLAN		12.18.2015			
C1.5	CIVIL - SITE PLAN		12.18.2015			
LS1.0	LANDSCAPE PLAN		12.18.2015			
A0.9	BUILDING AREAS	12.02.2015	12.18.2015			
A1.1	ADDITION - FLOOR PLAN	12.02.2015	12.18.2015			
A1.2	ADDITION - ROOF PLAN	12.02.2015	12.18.2015			
A1.3	STORAGE GARAGE - FLOOR & ROOF PLAN	12.02.2015	12.18.2015			
A2.0	ADDITION - EXTERIOR ELEVATIONS	12.02.2015	12.18.2015			
A2.1	STORAGE GARAGE - EXTERIOR ELEVATIONS	12.02.2015	12.18.2015			
A4.0	DETAIL PLANS	12.02.2015	12.21.2015			

PROJECT LOCATION



#### DESIGNER/SUPERVISING PROFESSIONAL

Struc Rite Design, Inc.  
Boyd E. Coleman, P.E.  
President, Engineer  
805 Clinton Street  
Waukesha, WI 53186  
262.549.3222  
262.896.2079  
www.srdinc.biz

#### CONTRACTOR

IDEAL BUILDERS  
JIM DAGGET  
BUILDING CONSULTANT  
1406 EMIL STREET  
MADISON, WI  
608.271.8111  
608.271.6233  
IDEALBUILDERSINC.COM

#### OWNER

PERKINS OIL INC.

#### Drawing Key:

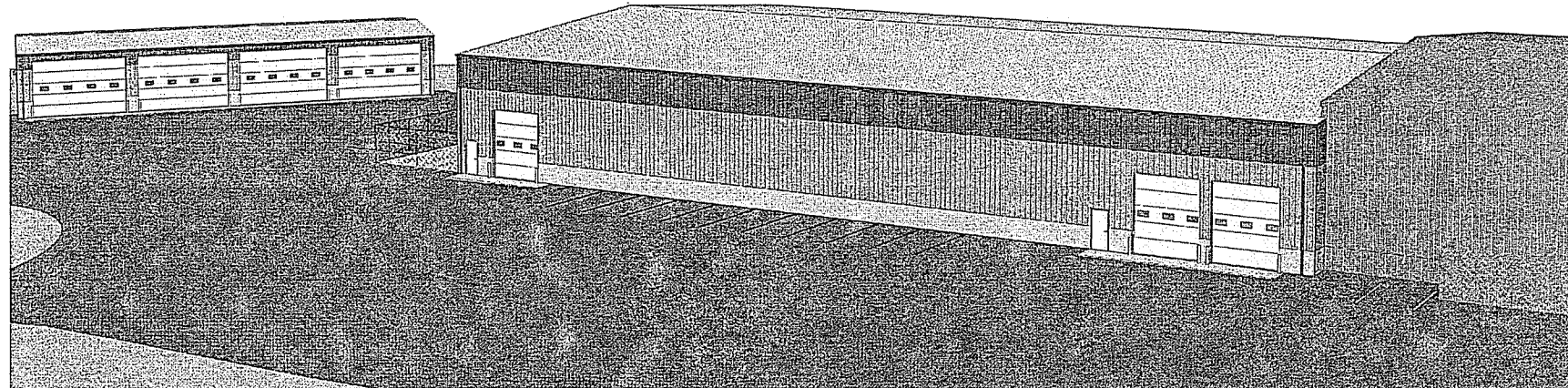
	DOOR TAG & DOOR PANEL TYPE		EXISTING CONSTRUCTION
	WINDOW TAG		NEW CONSTRUCTION
	WALL TAG		TYPICAL DIMENSION
	PROJECT KEYED NOTE		DIMENSION SHOWING FINISH TO FINISH
	FIRE ALARM HORN & STROBE		
	FIRE ALARM BELL		
	FIRE ALARM PULL BOX		
	FIRE ALARM CONTROL PANEL		
	EMERGENCY EXIT SIGN		
	FIRE EXTINGUISHER		

#### ADDITION CODE INFORMATION:

SUBMITTAL TYPE		ADDITION		2009 INTERNATIONAL BUILDING CODE w/ WISCONSIN AMENDMENTS	
TYPE OF CONSTRUCTION	IIB	MAXIMUM EXIT DISTANCE	MAXIMUM	250'-0"	ACTUAL
NUMBER OF STORIES	1	MAXIMUM COMMON PATH	MAXIMUM	100'-0"	ACTUAL
SPRINKLED	YES	MAXIMUM DEAD-END CORRIDOR	MAXIMUM	50'-0"	ACTUAL
SPRINKLER TYPE	WET	TOTAL NUMBER OF EXITS	REQUIRED		ACTUAL
FIRE SUPPRESSION	NFPA-13	REQUIRED STAIR WIDTH	REQUIRED	44"	ACTUAL NA
FIRE ALARM	YES	REQUIRED EGRESS WIDTH	REQUIRED	NA	ACTUAL NA
ALARM TYPE	AUTOMATIC	MAIN OCCUPANCY TYPE	S-1		
WATER CLOSET-MALE	REQUIRED 1	ALL OCCUPANCY TYPES	S-1,B		
WATER CLOSET-FEMALE	REQUIRED 1	OCCUPANCY SEPARATIONS	NONE		
LAVATORIES	REQUIRED 1	INCIDENTAL USES	* ALLOWABLE AREA		
TUBS/SHOWERS	REQUIRED NA	ACTUAL AREA FOR	EXIST B: 2,896 SQFT, EXIST S-1: 29,967 SQFT		
DRINKING FOUNTAINS	REQUIRED 3	ACTUAL AREA FOR	NEW B: 616 SQFT, NEW S-1: 21,392 SQFT		
OTHER		ACTUAL AREA FOR			
		TOTAL ACTUAL AREA	54,871 SQFT		
		TOTAL OCCUPANT LOAD	138		

#### STORAGE GARAGE PROJECT INFORMATION:

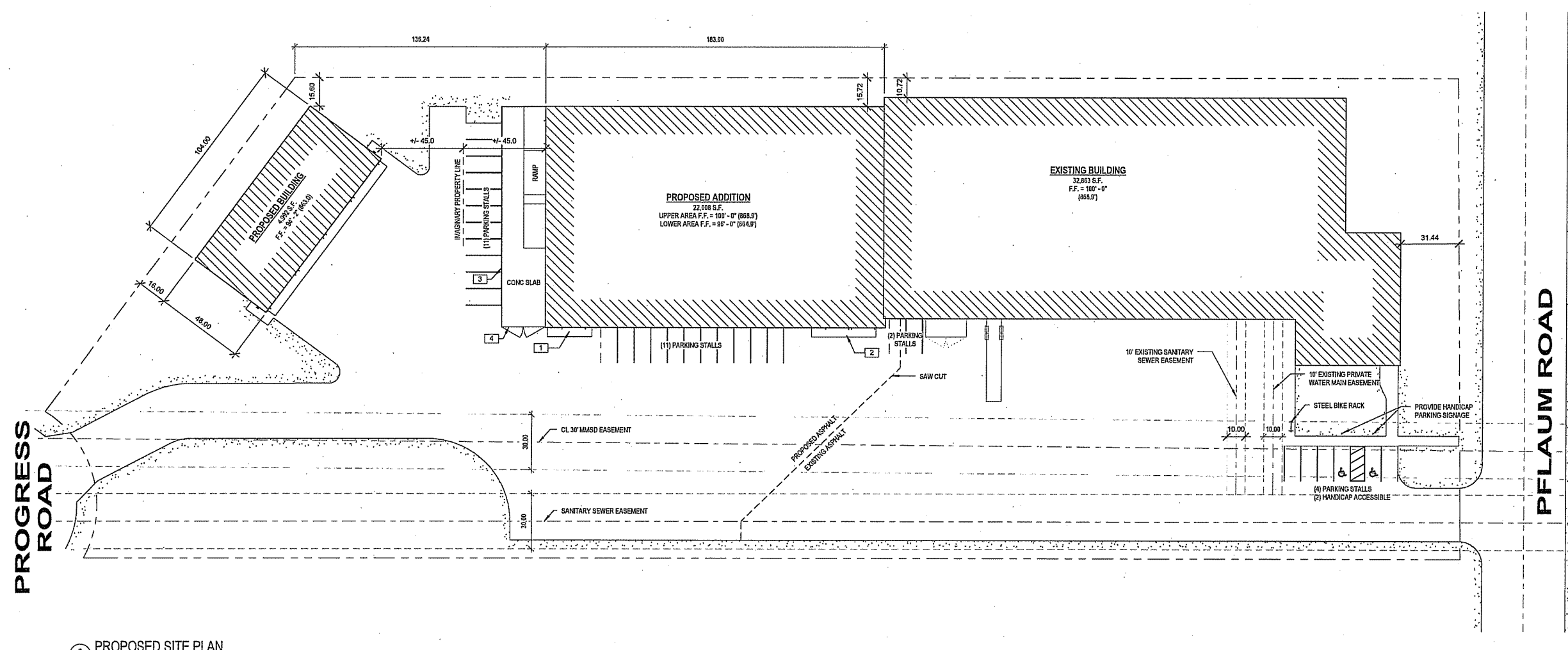
SUBMITTAL TYPE		ADDITION		2009 INTERNATIONAL BUILDING CODE w/ WISCONSIN AMENDMENTS	
TYPE OF CONSTRUCTION	IIB	MAXIMUM EXIT DISTANCE	MAXIMUM	300'-0"	ACTUAL
NUMBER OF STORIES	1	MAXIMUM COMMON PATH	MAXIMUM	100'-0"	ACTUAL
SPRINKLED	NO	MAXIMUM DEAD-END CORRIDOR	MAXIMUM	20'-0"	ACTUAL
SPRINKLER TYPE	NONE	TOTAL NUMBER OF EXITS	REQUIRED	1	ACTUAL
FIRE SUPPRESSION	NONE	REQUIRED STAIR WIDTH	REQUIRED	NA	ACTUAL NA
FIRE ALARM	NONE	REQUIRED EGRESS WIDTH	REQUIRED	NA	ACTUAL NA
ALARM TYPE		MAIN OCCUPANCY TYPE	S-2		
WATER CLOSET-MALE	REQUIRED	ALL OCCUPANCY TYPES	S-2		
WATER CLOSET-FEMALE	REQUIRED	OCCUPANCY SEPARATIONS	NONE		
LAVATORIES	REQUIRED	INCIDENTAL USES	* ALLOWABLE AREA		
TUBS/SHOWERS	REQUIRED	ACTUAL AREA FOR	26,000 SQFT.		
DRINKING FOUNTAINS	REQUIRED	ACTUAL AREA FOR	S2 4,992 SQFT.		
OTHER		ACTUAL AREA FOR			
		TOTAL ACTUAL AREA	4,992 SQFT.		
		TOTAL OCCUPANT LOAD	10		



KEYNOTE LEGEND	
KEY #	KEYNOTE TEXT
1	6'x5'-0" x 24'-0" CONCRETE APRON
2	6'x5'-0" x 35'-0" CONCRETE APRON
3	6'-0" HIGH ALUMINIZED 2' MESH CHAIN LINK FENCE WITH PRIVACY SLATS AND POSTS AT 8'-0" O.C. FLANGED TO CONCRETE SLAB.
4	24'-0" WIDE DOUBLE LEAF SWINGING GATE COMPLETE WITH PRIVACY SLATS & GATE POSTS SET IN CONCRETE.

**SITE PLAN NOTES:**

- TOTAL SITE AREA 185,970 S.F.
- TOTAL IMPERVIOUS AREA 138,683 S.F. (74.5%)



① PROPOSED SITE PLAN  
1" = 30'-0"

**STRUC RITE DESIGN, INC**  
805 Clinton Street  
Waukesha, WI 53186  
262.549.3222  
www.srdinc.biz

**IDEAL BUILDERS**  
1406 EMIL STREET  
MADISON, WI  
608.2718111  
608.2716233  
DEALBUILDERSINC.COM

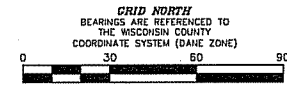
**IDEAL BUILDERS**  
**PERKINS OIL INC.**  
4707 PFLAUM ROAD  
MADISON, WI 53718

SHEET TITLE	
ARCHITECTURAL SITE PLAN	
PLAN REVIEW	
12.02.2015	
12.18.2015	

PROJECT DATA	
JOB NUMBER:	14-007
DRAWN BY:	JJR
CHECKED BY:	

**C1.0**

ALL OF LOTS 3, 4 AND 5, BLOCK 3, SECOND ADDITION TO GLENDALE INDUSTRIAL PARK, AS RECORDED IN VOLUME 56-040B OF PLATS, ON PAGE 113, AS DOCUMENT NUMBER 2069866, DANE COUNTY REGISTRY, LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN



**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

**NOTES:**

- Dates of field work: October 29th - November 4th, 2014.
- Total Parcel Area: 185972 Square Feet/4.2693 Acres.
- Site Addresses: 2542 Progress Way and 4707 Pflaum Road.
- Elevations are based upon NAVD83 datum. The 1-1/4" rebar (monument) at the South Quarter Corner of Section 15-7-10 has an elevation of 862.97 based upon the Dane County Land Survey Monument Record.
- Routing of public utilities is based upon markings provided by Digger's Hotline Ticket Numbers 20144312679 and 20144312686, drawings obtained from the City of Madison, and visible aboveground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. BURSE does not warrant the location of underground utilities. Before excavations are performed contact Digger's Hotline.
- All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- By graphic plotting only, this parcel is located in Zone X (Areas determined to be outside the 500-year flood plain according to FEMA FIRM Community Panel No. 55025C041F, effective date June 17, 2003)
- Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership (title evidence), or any other facts that an accurate and current title search may disclose. Surveyor was provided with a Title Commitment No NCS-694430-MAD, which references the following items from Schedule B, Section II: Easements and Restrictions recorded during the past sixty (60) years from the date hereof and recording date:  
Right of Way Easement recorded December 3, 1963, in Volume 401 of Misc., Page 466, as Document No. 1089300. [Shown hereon]  
Sanitary Sewer Easement recorded November 22, 1971, in Volume 299 of Misc., Page 346, as Document No. 1310233. [Shown hereon]  
Sanitary Sewer Easement recorded May 10, 1973, in Volume 437 of Misc., Page 328, as Document No. 1364133. [Question???? POB????]  
Declaration of Conditions and Covenants recorded March 21, 1988, in Volume 11200 of Records, Page 92, as Document No. 2071142. [Not Mappable]  
Easements, Drainage Swales, Notes, and other matters as shown on the Plat, Document No. 2069866. [Shown hereon]  
THE FOLLOWING AFFECT PARCEL A:  
Right-of-Way Grant Underground Electric recorded February 12, 1990, in Volume 13845 of Records, Page 90, as Document No. 2184717. [Shown hereon]  
Permanent Sanitary Sewer Easement recorded August 5, 2005, as Document No. 4090925. [Shown hereon]  
The effect, if any, of the encroachment of the improvements onto the easement of Document 2184717 listed above, as shown on Survey by Burse Surveying & Engineering, Inc. dated August 3, 2007, job #/Projects/BSE1123/DWG/ALTA.DWG

- Rights of C.L. Swanson Corporation, as Tenant, as disclosed by Subordination, Non-Disturbance and Attornment Agreement, recorded August 31, 2007 as Document No. 4352475. [Not Mappable]
- THE FOLLOWING AFFECT PARCEL B:  
Right-of-Way Grant Underground Electric, to Madison Gas and Electric Company, recorded May 19, 1987 as Document No. 2018931. [Does not affect Property]  
Private Water Main Easement, recorded November 3, 1989 as Document No. 2170719. [Shown hereon]  
Matters contained in Warranty Deed, recorded March 29, 1999 as Document No. 3096172.  
Right-of-Way Grant Electric Pole Line, recorded December 13, 1999 as Document No. 3178034. [Shown hereon]  
Right-of-Way Grant Underground Electric, recorded December 20, 1999 as Document No. 3179556. [Shown hereon]  
Permanent Sanitary Sewer Easement, recorded August 5, 2005 as Document No. 4090924. [Shown hereon]  
Right of Way Grant for Underground Electric to Madison Gas and Electric Company recorded in Vol. 13845 of Records, page 90, as #2184717. This item does affect the subject property, and is plotted hereon. NOTICE THAT THIS ITEM LIES WITHIN THE BUILDING. [Shown hereon]  
Permanent Sanitary Sewer Easement to Madison Metropolitan Sewerage District record as #4090925. This property, and is plotted hereon.
- DESCRIPTION FURNISHED**  
By First American Title Insurance Company National Commercial Services 60 Year Title Search Order No: NCS-694430-MAD.
- Parcel A:  
Lot Three (3), Block Three (3), Second Addition to Glendale Industrial Park, in the City of Madison, Dane County, Wisconsin.
- Parcel B:  
Lots Four (4) and Five (5), Block Three (3), Second Addition to Glendale Industrial Park, in the City of Madison, Dane County, Wisconsin.
- Parcel No. 251/0710-222-0112-4 and 251/0710-222-0111-6

**LEGEND**

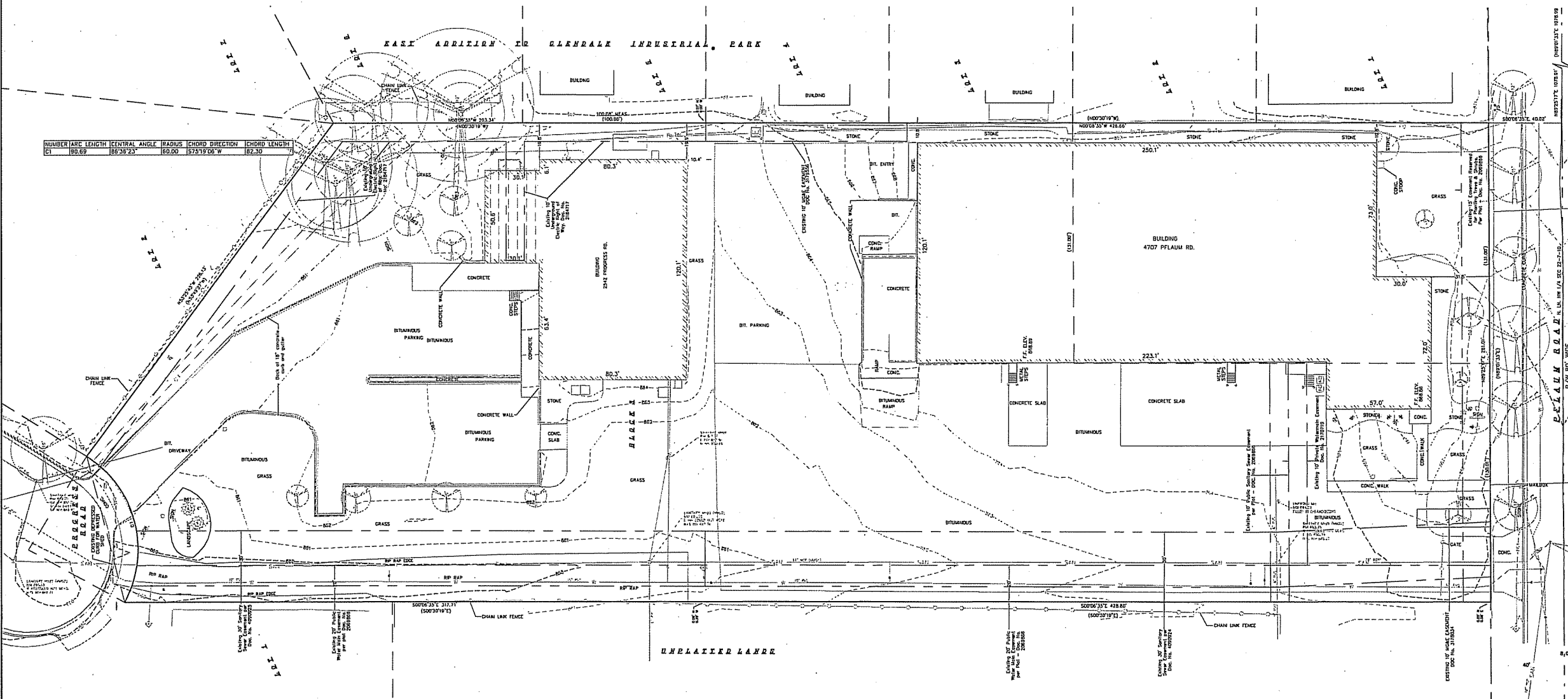
- 1-1/4" SOLID IRON ROD FOUND
- 3/4" SOLID IRON ROD FOUND
- 1" IRON PIPE FOUND
- 3/4" x 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
- OVERHEAD UTILITY WIRE
- BURIED GAS LINE
- WATER MAIN
- SAUNITARY SEWER
- STORM SEWER
- BURIED TELEPHONE
- BURIED ELECTRIC
- BURIED CABLE ACCESS TELEVISION LINE
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- SIGN
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- MAILBOX
- SAUNITARY SEWER MANHOLE
- DECIDUOUS TREE
- CONIFEROUS TREE
- BOLLARD
- ( ) INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

**Burse**  
Surveying and Engineering, Inc.  
2801 International Lane, Suite 101  
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e-mail: mburse@Burse-INC.net  
www.bursesurveying.com

**PERKINS OIL CO., INC.**  
4707 Pflaum Road  
MADISON, WI 53718

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PROJECT #: BSE1781-14  
PLOT DATE: 12/18/2015

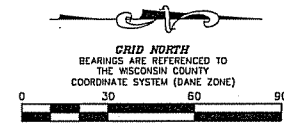
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ISSUE DATES:  
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EXISTING CONDITIONS

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DRAWING NUMBER  
**C-1.1**



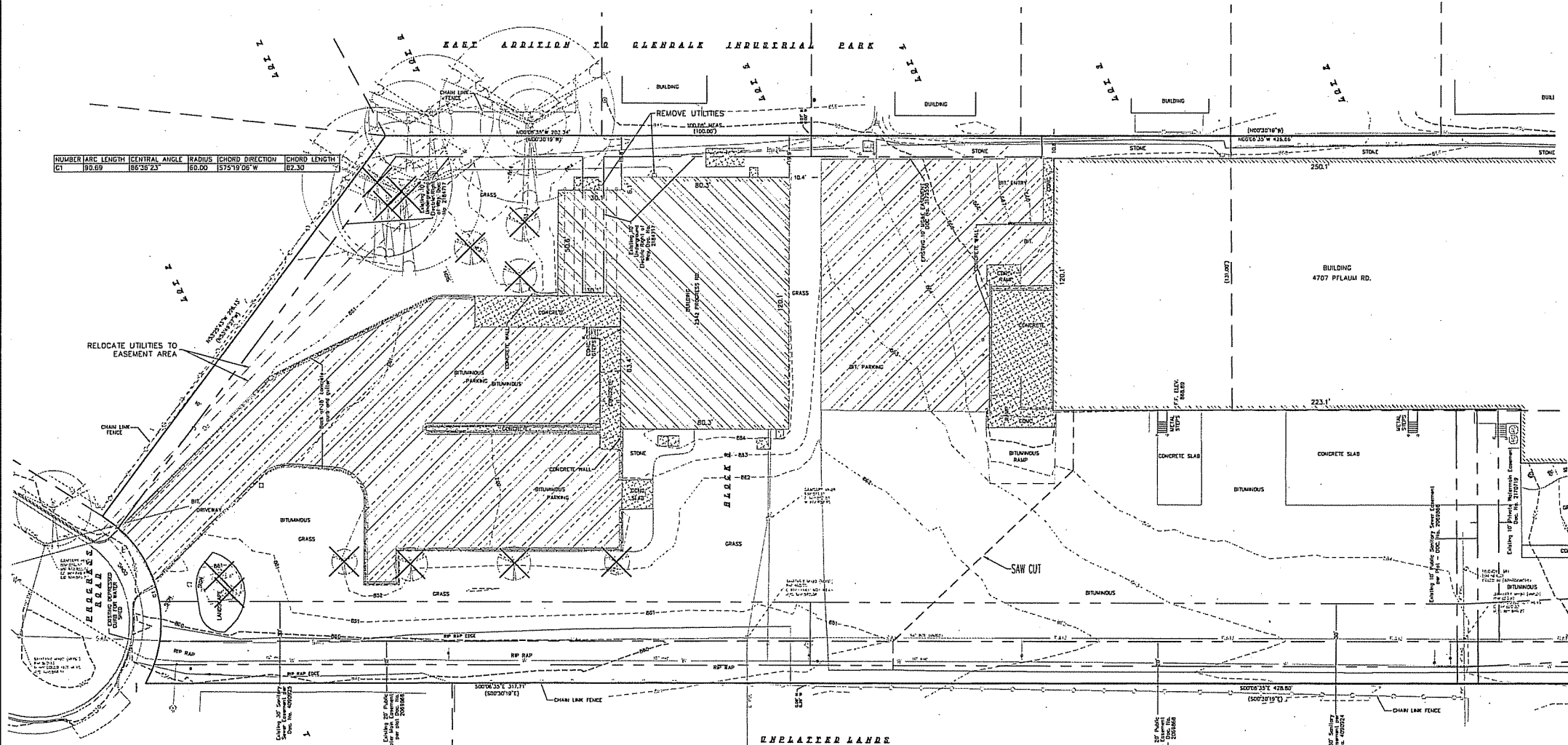
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 Dial 811 or (800) 242-8511  
 www.DiggersHotline.com

**DEMOLITION NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
7. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
8. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
10. DAMAGE TO ALL EXISTING CONDITION TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

**LEGEND**

- REMOVE BITUMINOUS PAVEMENT
- REMOVE CONCRETE
- RAZE BUILDING
- REMOVE UTILITY LINE
- REMOVE TREE



- LEGEND**
- 1-1/4" SOLID IRON ROD FOUND
  - 3/4" SOLID IRON ROD FOUND
  - 1" IRON PIPE FOUND
  - 3/4" X 18" SOLID IRON RC-ROD SEC. WT. 1.50 Lb./ft.
  - OVERHEAD UTILITY WIRE
  - BURIED GAS LINE
  - WATER MAIN
  - SANITARY SEWER
  - STORM SEWER
  - BURIED TELEPHONE
  - BURIED ELECTRIC
  - BURIED CABLE ACCESS TELEVISION LINE
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 Phone 608-250-9263  
 Fax 608-250-9269  
 e-mail: MBurse@BurseS&E.com  
 www.bursesurveyengr.com

APPROVALS:	DATE:
PROJECT MGR:	DATE:
DESIGNER:	DATE:
CHECKER:	DATE:
PREPARED BY:	DATE:
DATE:	DATE:
DATE:	DATE:

4707 Pflaum Road  
 MADISON, WI 53718  
**PERKINS OIL CO., INC.**  
 4707 Pflaum Road  
 MADISON, WI 53718

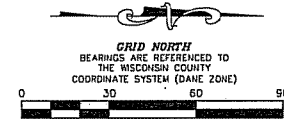
PROJECT #:	BSE1781-14
PLOT DATE:	12/18/2015
REVISION DATES:	
ISSUE DATES:	12/18/2015

DEMOLITION PLAN

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**LEGEND**

---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED FINISHED GRADE
---	PROPOSED FLOOR ELEVATION INSIDE DOOR
---	SILT FENCE

**Erosion Control Notes/Specifications:**

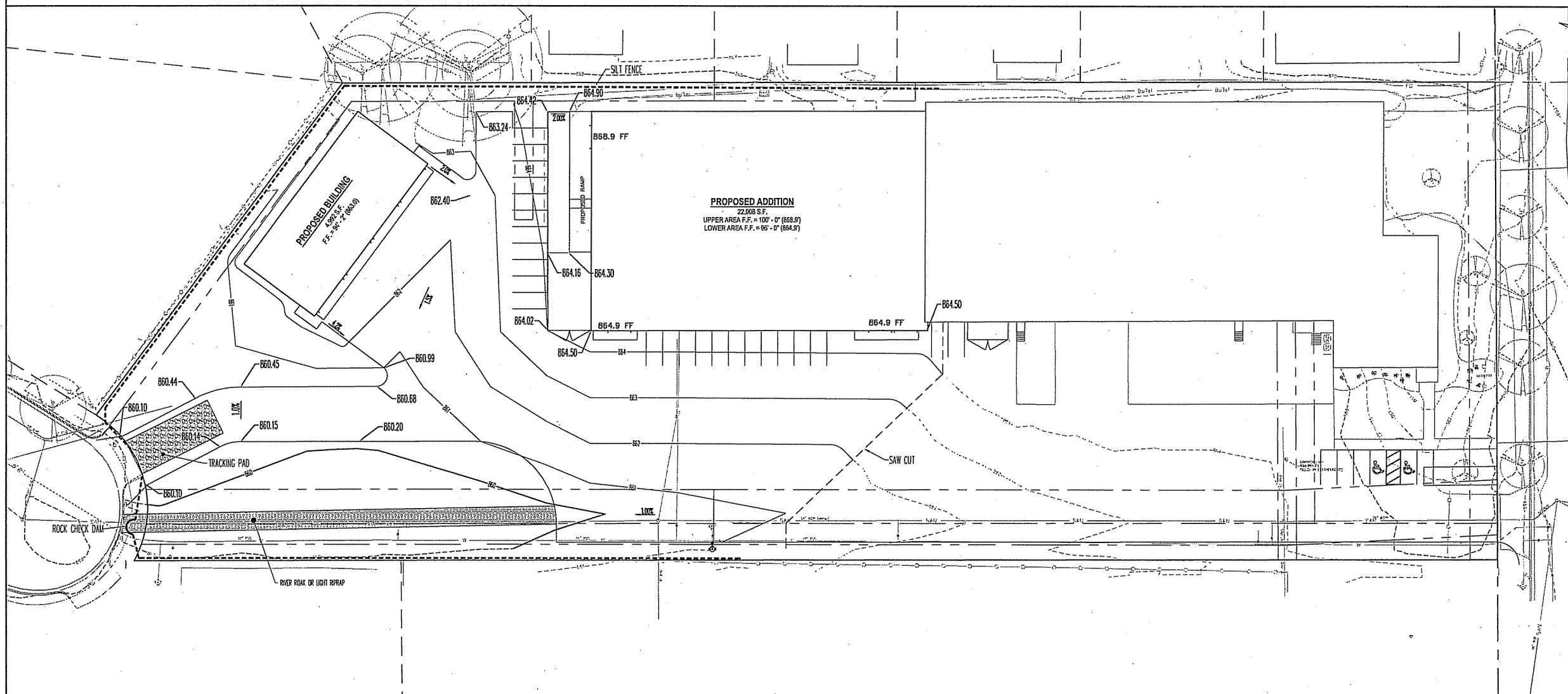
- Erosion control devices and/or structures shall be installed prior to demolition operations. These shall be properly maintained for maximum effectiveness until the site is completely stabilized.
- Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
- All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours. Inspection schedule and record keeping shall comply with NR 216.46(9), Wis. Adm. Code.
- Construction Entrances - Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057.
- Dewatering - Water pumped from the site shall be treated by using a geotextile bag. Sandy soil is expected to be found at the bottom of the excavation, therefore Geotextile Bags shall be Type I per DNR Technical Standard 1061. The following table identifies the size of a bag required for a given sized pump. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.

Pump Size (Max GPM)	Type I Bag Size (sq-ft)
50	25
100	50
150	75

- Storm Sewer Inlets - Provide WDOT Type D "CatchAll" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engserv/pol.htm>. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until site stabilization is complete.
- Building and waste materials shall be prevented from running-off the site and entering waters of the state in conformance with NR151.12(6m).
- No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 33 USC 1344 permits.
- Erosion control devices shall adhere to the technical standards found at: [http://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html) and comply with all City of Madison ordinances.
- All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
- All building and waste material shall be handled properly to prevent runoff of these materials off of the site. Contractor shall prepare a concrete management plan.
- All disturbed areas shall be seeded, sodded, or otherwise restored immediately after grading activities have been completed per the approved landscape plan.

**Schedule:**

February 8, 2016	Begin site demolition
March 1, 2016	Begin foundation excavation/building construction.
August 1, 2016	Building substantially complete. Restore disturbed areas, install landscape installation.
September 15, 2016	Vegetation established.



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 Fax: 608-250-9255  
 e-mail: mburse@BSE-INC.com  
 www.bursesurveyeng.com

APPROVALS	DATE
PROJECT MGR	
DESIGNER	
CHECKER	
DATE	

**PERKINS OIL CO., INC.**  
 4707 Pflaum Road  
 MADISON, WI 53718

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 4707 Pflaum Road  
 MADISON, WI 53718

PROJECT #: BSE1781-14  
 PLOT DATE: 12/18/2015

REVISION DATES:


ISSUE DATES:  
 Cond. Use 12/18/2015

GRADING AND EROSION CONTROL PLAN

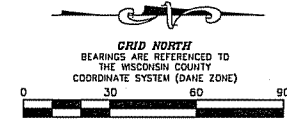
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 Dial 811 or (800) 242-8511  
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- NOTES:**
1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
  2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
  3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
  4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.

**LEGEND**

- 1-1/4" SOLID IRON ROD FOUND
- 3/4" SOLID IRON ROD FOUND
- ⊙ 1" IRON PIPE FOUND
- 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 LBS./FT.
- OVERHEAD UTILITY WIRE
- BURIED GAS LINE
- WATER MAIN
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PROJECT #: BSE1781-14  
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REVISION DATES:

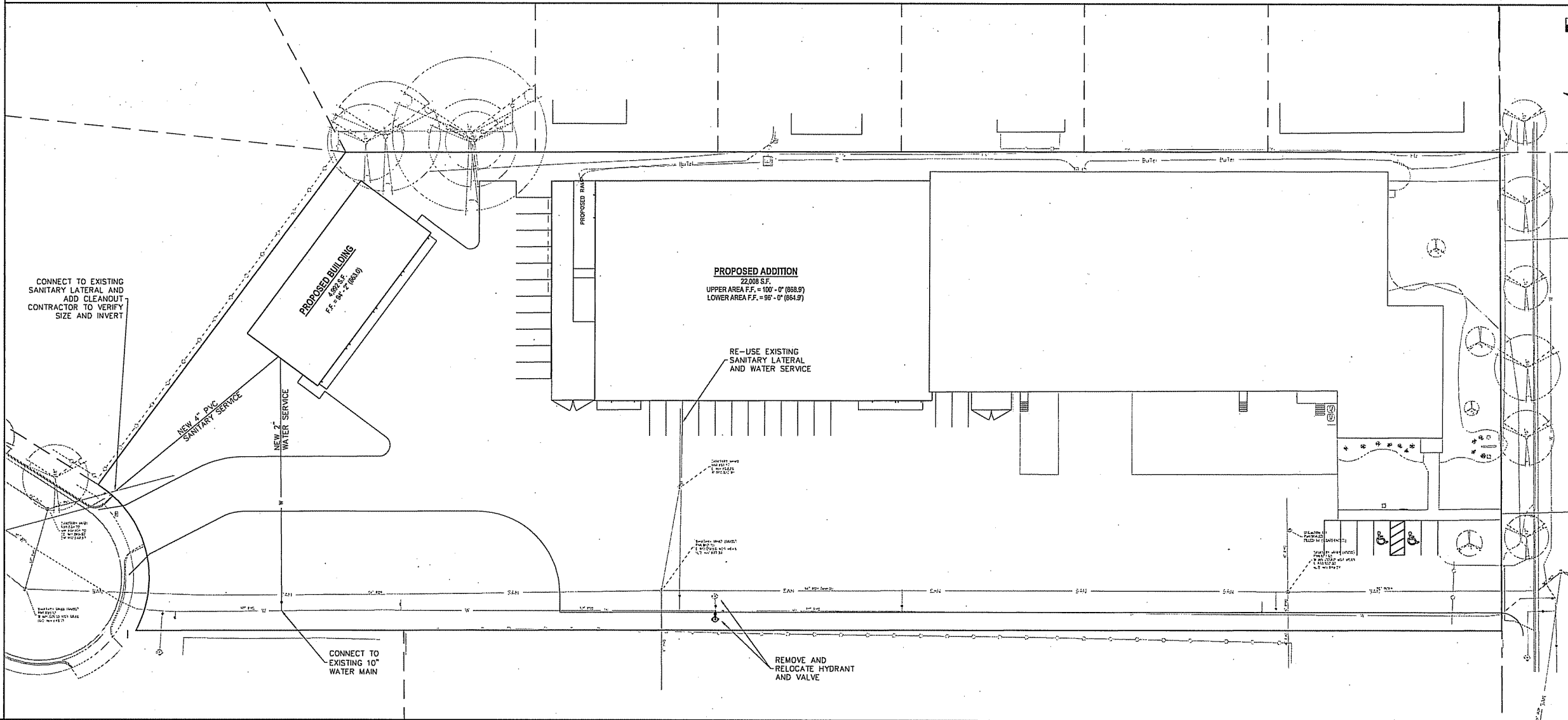
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UTILITY PLAN

**Burse**  
 Surveying and Engineering, Inc.

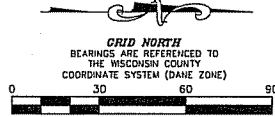
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DRAWING NUMBER  
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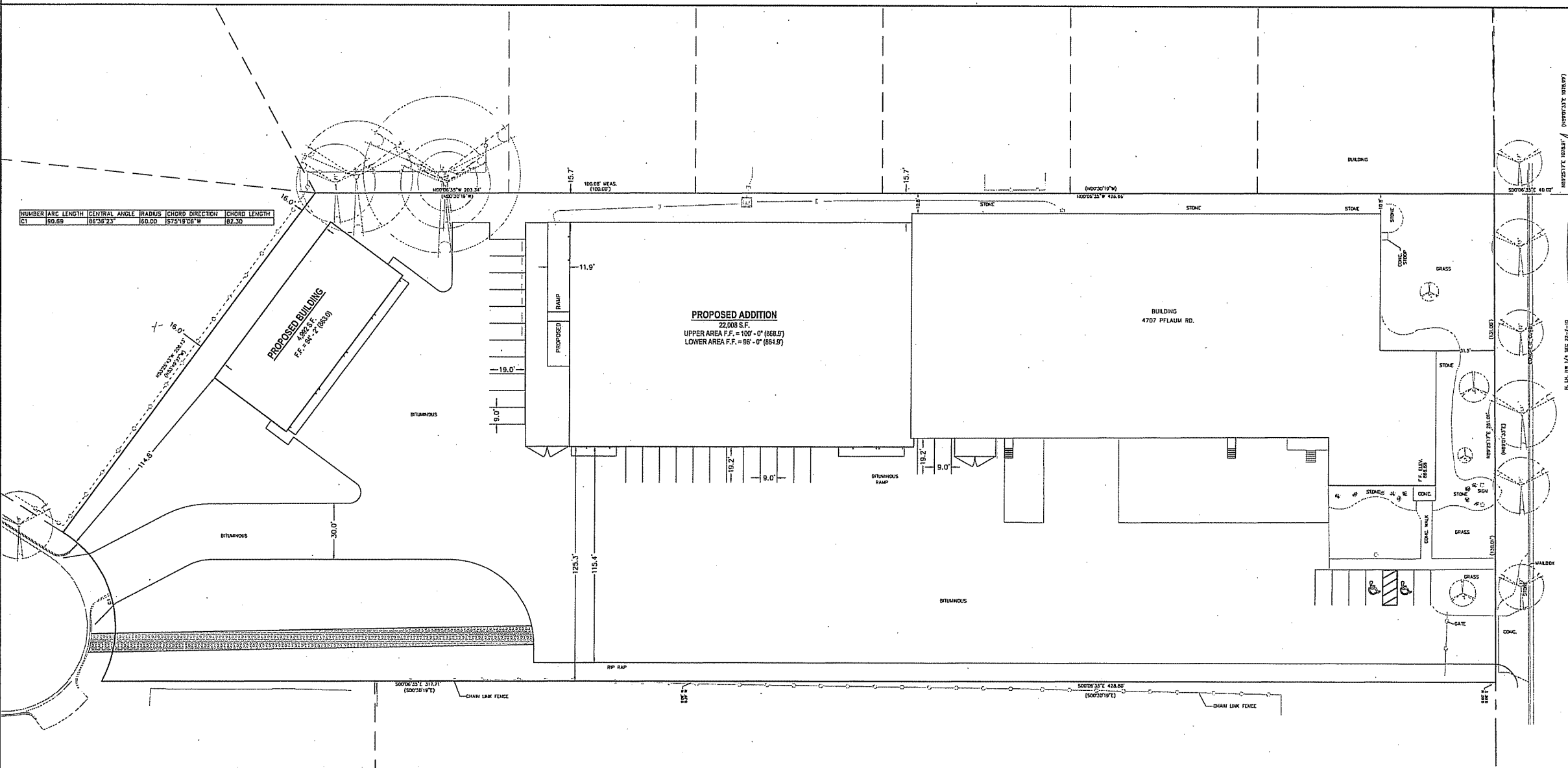
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GRID NORTH  
BEARINGS ARE REFERENCED TO  
THE WISCONSIN COUNTY  
COORDINATE SYSTEM (DANE ZONE)

**DIGGERS HOTLINE**  
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NOTES:  
1. ALL SIDEWALK, PAVEMENT, AND CURB & GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB & GUTTER THAT THE CITY ENGINEER DETERMINES THAT IT NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.



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APPROVALS	DATE
PROJECT ENG	
DESIGNER	
CHECKER	
PDF	
DATE	
PROJECT ENG	
DESIGNER	
CHECKER	
DATE	

**PERKINS OIL CO., INC.**  
4707 Pflaum Road  
MADISON, WI 53716

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PROJECT #: BSE1781-14  
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ISSUE DATES:

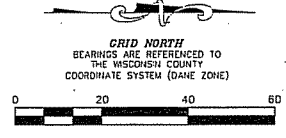
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SITE PLAN

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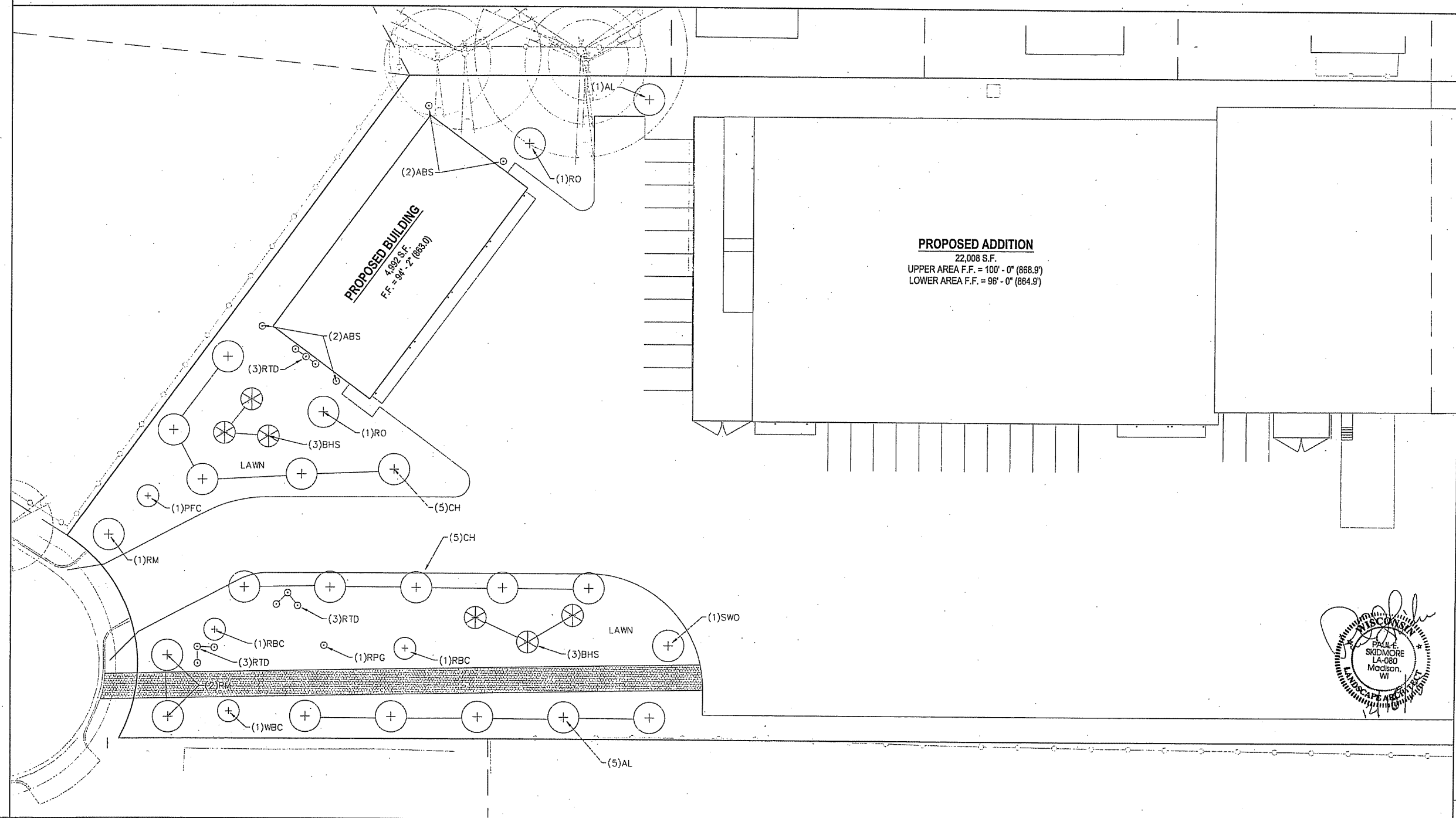
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**C-1.5**



PLANT LIST				
KEY	QUAN	SIZE	COMMON NAME	ROOT
<b>Canopy Trees</b>				
AL	22	2 1/2"	American Linden	BB
CH	10	2 1/2"	Hackberry	BB
RM	3	2 1/2"	Red Maple	BB
RO	2	2 1/2"	Red Oak	BB
SWO	1	2 1/2"	Swamp White Oak	BB
<b>Low Ornamental Trees</b>				
PFC	4	2"	Prairie Fire Crab	BB
RBC	2	12"	River Birch Clump	BB
WBC	1	12"	Whitespire Birch Clump	BB
<b>Evergreen Trees</b>				
BHS	6	5'	Black Hills Spruce	BB
<b>Deciduous Shrubs</b>				
RTD	13	24"	Red Twig Dogwood	Pot
ABS	4	24"	Autumn Brilliance Service Berry	BB

LANDSCAPE WORKSHEET	
Zoning Classification:	IL
<b>Landscape Points Required</b>	
Developed Area =	84,504 SF
Landscape Points: 84,504 / 100 =	845 points
<b>Total Landscape Points Required</b>	
845 points	
<b>Landscape Points Supplied</b>	
Proposed canopy trees - 22 @ 35 =	770 points
Proposed evergreen trees - 6 @ 35 =	210 points
Proposed ornamental trees - 4 @ 15 =	60 points
Proposed upright evergreen shrubs - 0 @ 10 =	0 points
Proposed deciduous shrubs - 13 @ 3 =	39 points
Proposed evergreen shrubs - 0 @ 4 =	0 points
Proposed perennials & grasses 0 @ 2 =	0 points
<b>Total landscape points supplied =</b>	
1,079 points	

- NOTES:**
- 1) Designated lawn areas to be seeded (Madison Parks seed mix), fertilized, and mulched with straw.
  - 2) Existing lawn areas disturbed by construction to be seeded (Madison Parks seed mix), fertilized, and mulched with straw.
  - 3) Turf areas in drainage swales and slopes 3:1 and greater shall be mulched with straw mat fabric (installed per manufacturer's specifications).
  - 4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".
  - 5) Owner will be responsible for landscape maintenance after completion and acceptance of the project.



**Burse**  
Surveying and Engineering, Inc.

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**PERKINS OIL CO., INC.**  
2087 ATWOOD AVENUE  
MADISON, WI 53703

**PERKINS OIL CO., INC.**  
2020 EASTWOOD DRIVE  
MADISON, WI 53703

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PROJECT #: BSE1781-15  
PLOT DATE: 12/18/2015

REVISION DATES:

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ISSUE DATES:  
Cond. Use 12/18/2015

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LANDSCAPE PLAN

**Burse**  
Surveying and Engineering, Inc.

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DRAWING NUMBER  
**LS-1**



**EGRESS PLAN DRAWING KEY:**

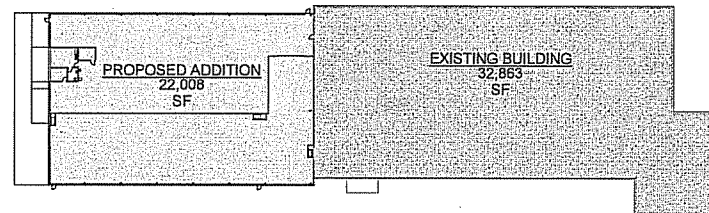
- EGRESS PATH
- ACCESSIBLE ROUTE
- EXIT SIGN
- FIRE EXTINGUISHER
- FIRE WALL, 4-HOUR ASSEMBLY RATING
- FIRE WALL, 3-HOUR ASSEMBLY RATING
- FIRE WALL, 2-HOUR ASSEMBLY RATING
- FIRE BARRIER, 4-HOUR ASSEMBLY RATING
- FIRE BARRIER, 3-HOUR ASSEMBLY RATING
- FIRE BARRIER, 2-HOUR ASSEMBLY RATING
- SHAFT ENCLOSURE, 2-HOUR ASSEMBLY RATING
- SHAFT ENCLOSURE, 1-HOUR ASSEMBLY RATING
- FIRE PARTITION, 1-HOUR ASSEMBLY RATING
- FIRE PARTITION, 0.5-HOUR ASSEMBLY RATING
- NON-RATED WALL

**A1.0 GENERAL NOTES:**

1. MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED TO MEET CURRENT CODES. ELECTRICAL CONTRACTOR RESPONSIBLE FOR DESIGN AND SUBMITTAL TO STATE.
2. AN EXTERIOR LIGHT SHALL BE PROVIDED AT EXIT DOOR AND BE PROVIDED WITH EMERGENCY POWER PER CURRENT CODES AND BE INCLUDED IN EGRESS ILLUMINATION PLANS.
3. FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS NOTED ON PLANS BELOW. EXTINGUISHERS ARE TO BE MOUNTED TO ADJACENT WALL OR COLUMN USING STANDARD MANUFACTURERS BRACKETS OR EQUIVALENT. FOR WALL MOUNT LOCATIONS ATTACH BRACKET TO STUDS OR BLOCKING ONLY. EXTINGUISHERS TO MEET CURRENT BUILDING CODE AND NFPA 10.

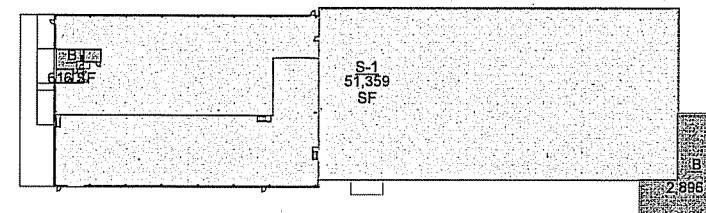
GROSS BUILDING AREA	
NAME	AREA
EXISTING BUILDING	32,863 SF
PROPOSED ADDITION	22,008 SF
STORAGE GARAGE	4,992 SF
<b>GRAND TOTAL:</b>	<b>59,863 SF</b>

OCCUPANCY AREAS	
OCCUPANCY	AREA
B	2,896 SF
B	616 SF
S-1	51,359 SF
S-2	4,992 SF
<b>GRAND TOTAL:</b>	<b>59,863 SF</b>



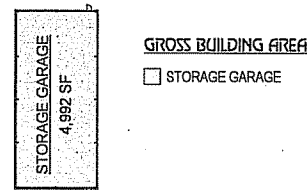
**GROSS BUILDING AREA**  
 ■ EXISTING BUILDING  
 □ PROPOSED ADDITION

① GROSS SQFT  
1" = 60'-0"



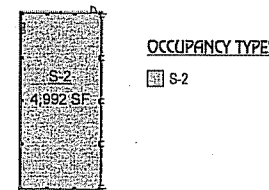
**OCCUPANCY TYPES**  
 ■ B  
 □ S-1

② OCCUPANCY AREAS  
1" = 60'-0"



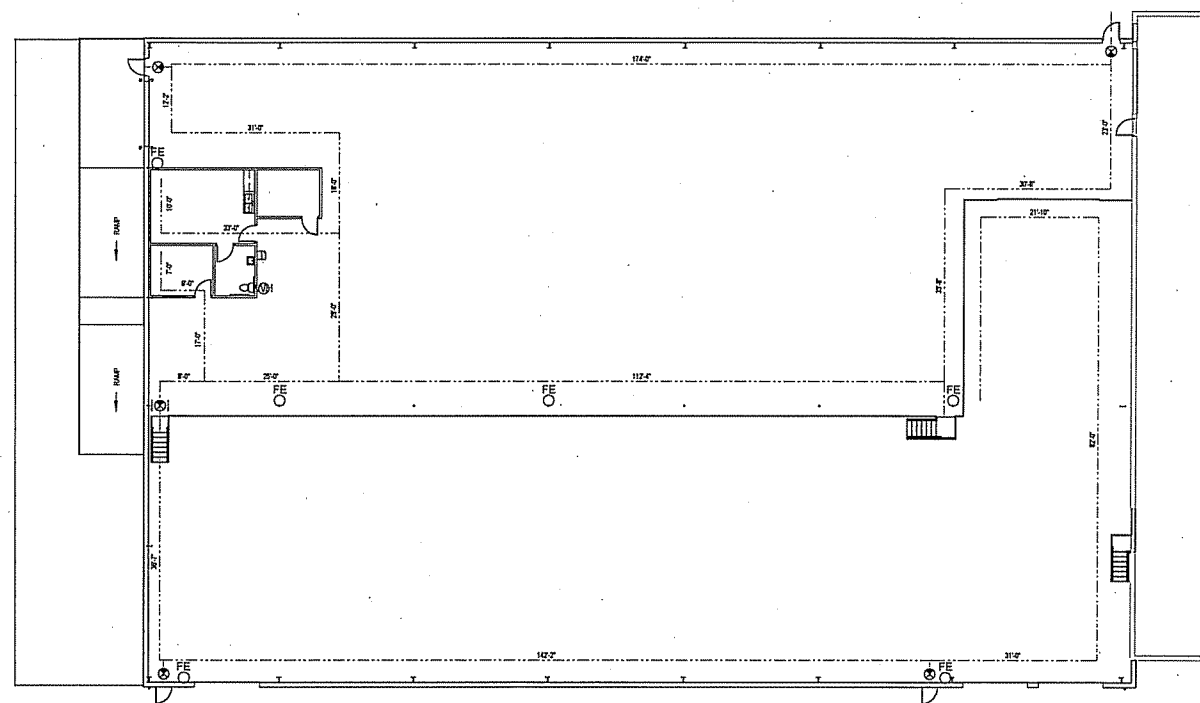
**GROSS BUILDING AREA**  
 □ STORAGE GARAGE

③ STORAGE GARAGE GROSS SQFT  
1" = 60'-0"

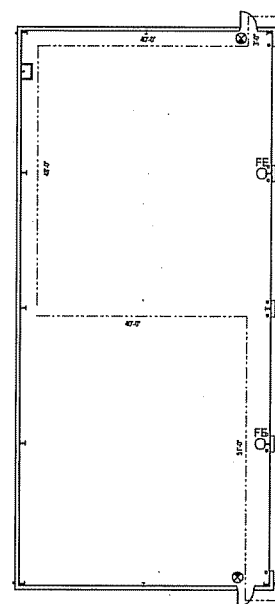


**OCCUPANCY TYPES**  
 ■ S-2

④ STORAGE GARAGE OCCUPANCY AREAS  
1" = 60'-0"



⑤ ADDITION EGRESS PLAN  
1/16" = 1'-0"



⑥ STORAGE GARAGE EGRESS PLAN  
1/16" = 1'-0"

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 4707 PFLAUM ROAD  
 MADISON, WI 53718

**SHEET TITLE**

BUILDING AREAS

**PLAN REVIEW**

12.02.2015

12.18.2015

**PROJECT DATA**

JOB NUMBER: 14-007

DATE: JJR

DRAWN BY: JJR

CHECKED BY: JJR

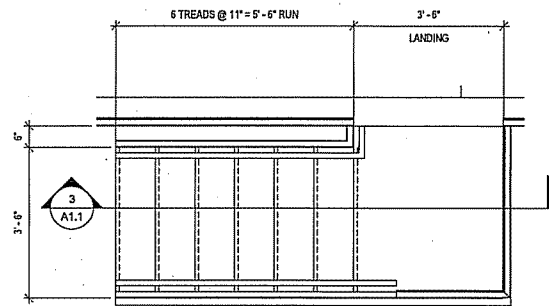


**A0.9**

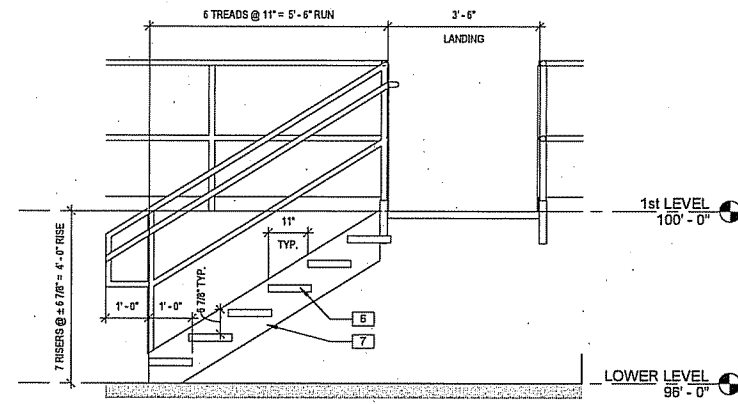
**GENERAL PLAN NOTES:**

- SEE SHEET A5.0 FOR ALL TYPICAL MOUNTING HEIGHTS AND DOOR CLEARANCES.
- NOT USED

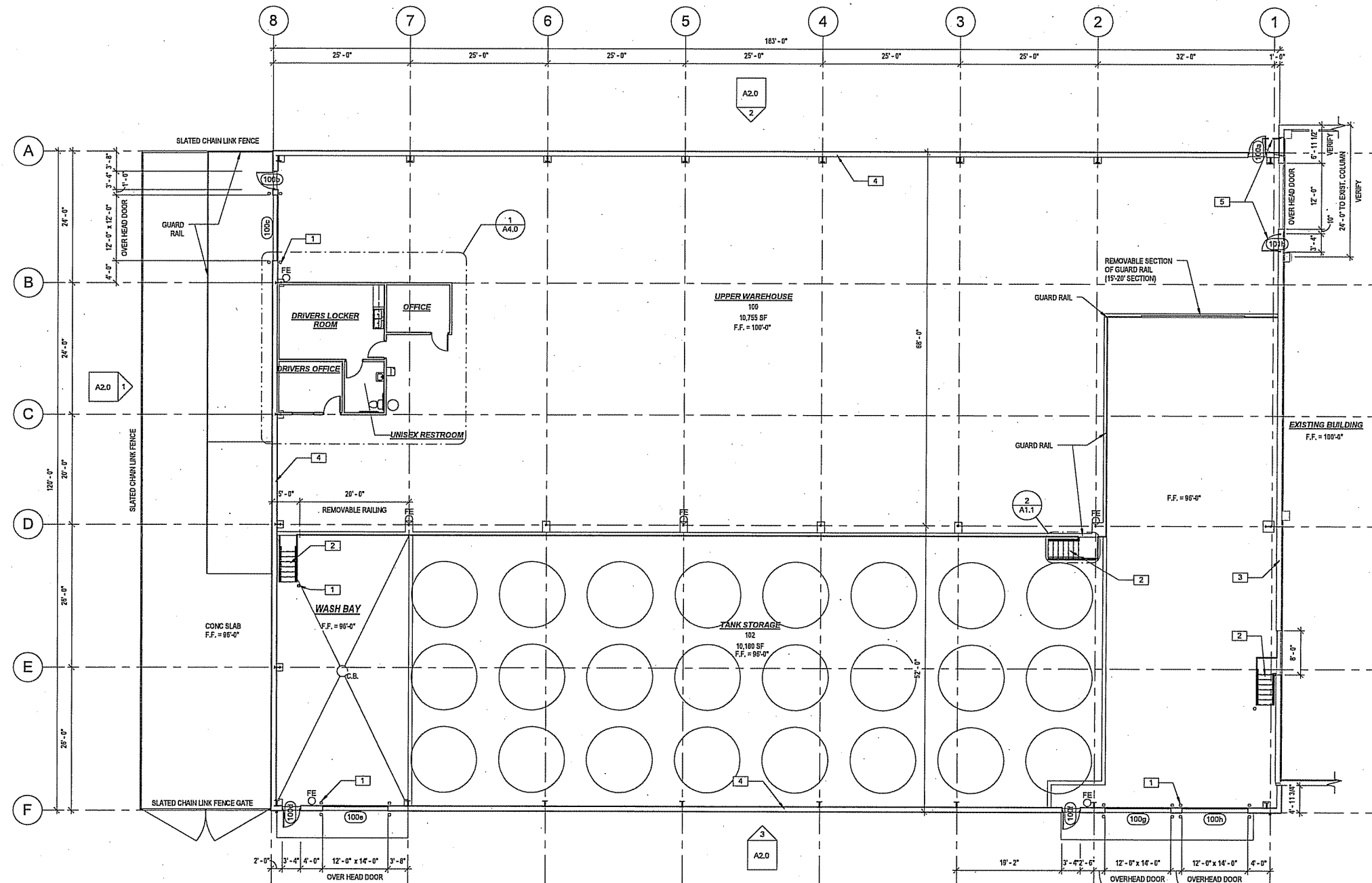
KEYNOTE LEGEND	
KEY #	KEYNOTE TEXT
1	PROVIDE 6"Ø CONCRETE FILLED PIPE BOLLARDS AS SHOWN.
2	METAL STAIR AND RAILING
3	EXISTING WALL PANEL, LINER PANEL, COLUMNS & GIRTS TO REMAIN IN PLACE
4	26 GA WHITE LINER PANEL 16'-0" HIGH
5	REMOVE EXISTING DOOR & RELOCATE EAST OF OVERHEAD DOOR.
6	METAL GRATE STAIR TREAD
7	MC12x10.6 STAIR STRINGER



2 TYP. METAL STAIR  
1/2" = 1'-0"



3 TYP. METAL STAIR  
1/2" = 1'-0"



1 ADDITION FLOOR PLAN  
3/32" = 1'-0"

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<b>SHEET TITLE</b>	
ADDITION - FLOOR PLAN	
<b>PLAN REVIEW</b>	
12.02.2015	
12.18.2015	
<b>PROJECT DATA</b>	
JOB NUMBER:	14-007
DRAWN BY:	JJR
CHECKED BY:	
<b>A1.1</b>	

**GENERAL ROOF PLAN NOTES:**

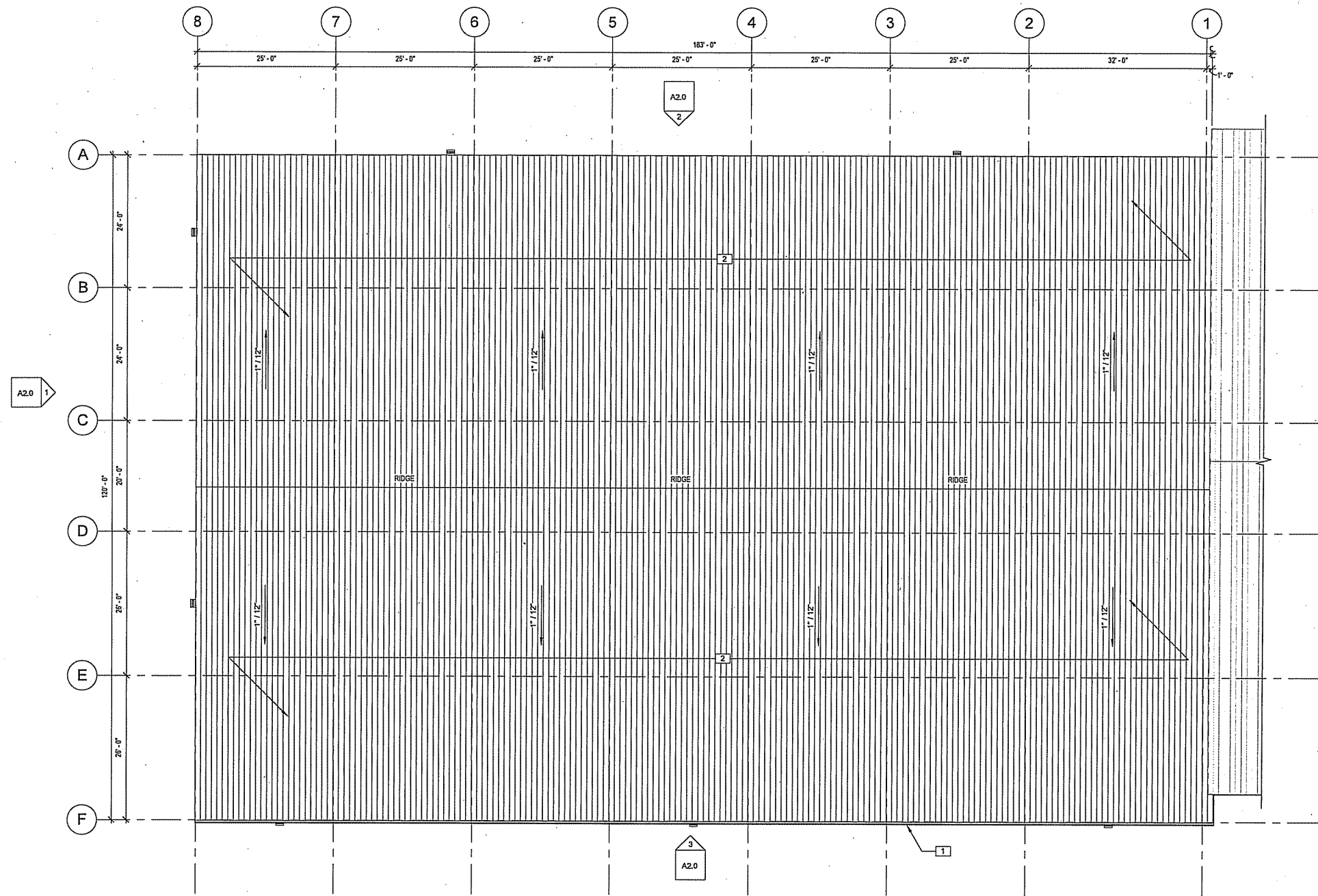
- ROOFING CONTRACTOR TO INSTALL ALL ROOFING AND INSULATION PER MANUFACTURER'S DETAILS AND SPECIFICATIONS (TYP). PROVIDE ALL REQUIRED MATERIALS AND ACCESSORIES FOR A COMPLETE, WATER-TIGHT SYSTEM.
- ROOFING CONTRACTOR TO PROVIDE AND INSTALL MEMBRANE FROM FLASHING FOR ALL ROOF PENETRATIONS PER ROOF MEMBRANE MANUF. REQUIREMENTS.
- ROOF PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
- SEE MECHANICAL DRAWINGS FOR LOCATIONS AND SIZE OF ALL ROOF PENETRATIONS AND CURBS REQUIRED FOR MECH. EQUIPMENT.
- ALL TAPERED INSULATION TO BE E.P.S. @ 147 FT SLOPE.
- TAPERED FIBER EDGE STRIP TYPICAL @ ENTIRE PERIMETER.

→ -12 = INDICATES DIRECTION OF ROOF SLOPE

DS = SCUPPER / DOWNSPOUT LOCATION

- COORDINATE ALL ROOF OPENINGS AND PENETRATIONS WITH PLUMBING, MECHANICAL, AND ELECTRICAL CONTRACTORS.
- ROOF-TOP EQUIPMENT SHOWN FOR REFERENCE. SEE MECHANICAL FOR ACTUAL EQUIPMENT AND LOCATIONS, TYPICAL.

KEYNOTE LEGEND	
KEY #	KEYNOTE TEXT
1	DELUX PRE-PAINTED GUTTER WITH OPEN DOWNSPOUTS-COLOR: FOX GRAY
2	24 GA STANDING SEAM METAL ROOF PANEL w/ THERMAL BLOCKS AND 8" INSULATION-COLOR: GALVALUME



1 ADDITION ROOF PLAN  
3/32" = 1'-0"

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SHEET TITLE	
ADDITION - ROOF PLAN	
PLAN REVIEW	
	12.02.2015
	12.18.2015

PROJECT DATA	
JOB NUMBER:	14-007
DRAWN BY:	JJR
SHEET NUMBER:	

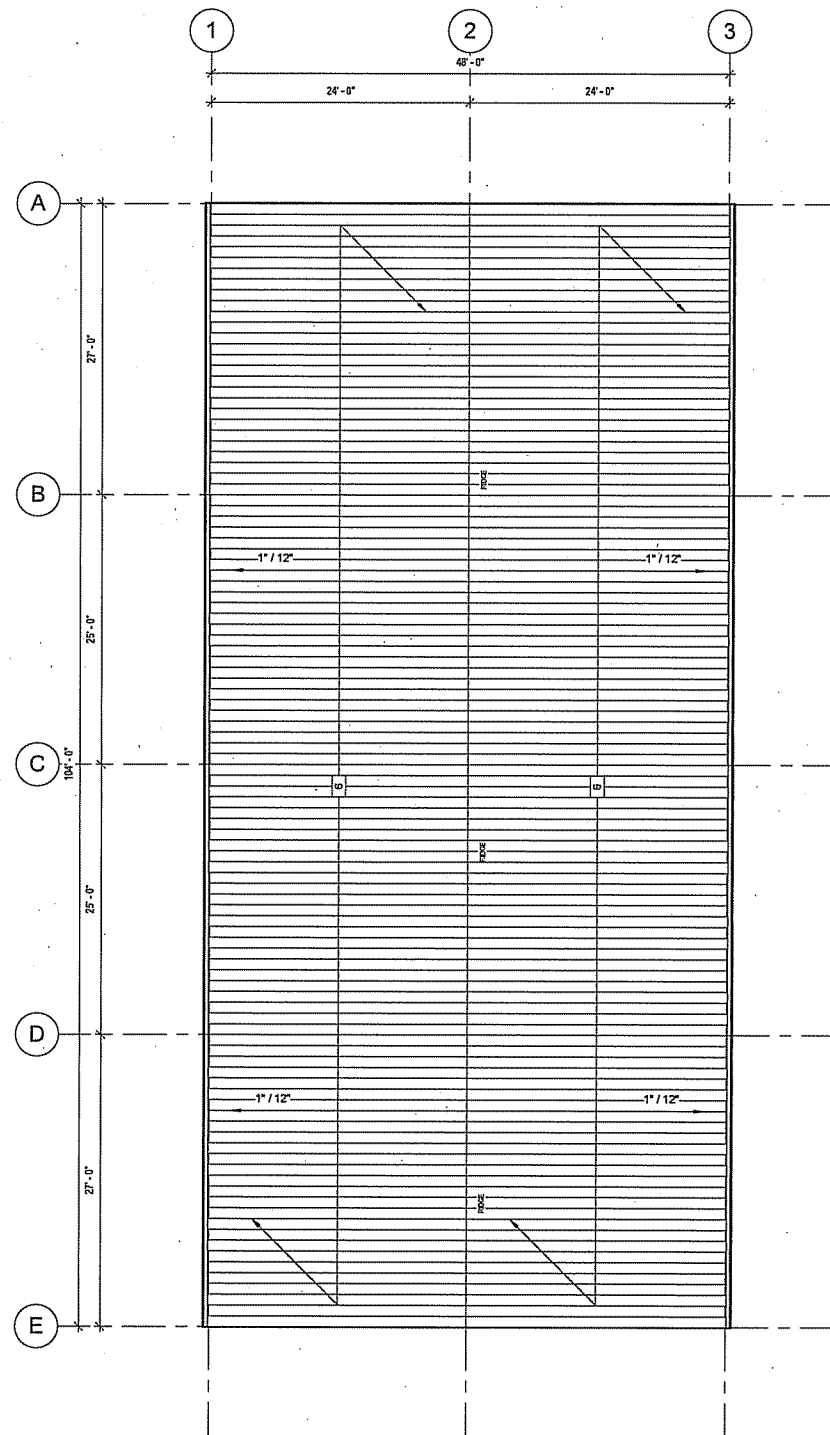


**A1.2**

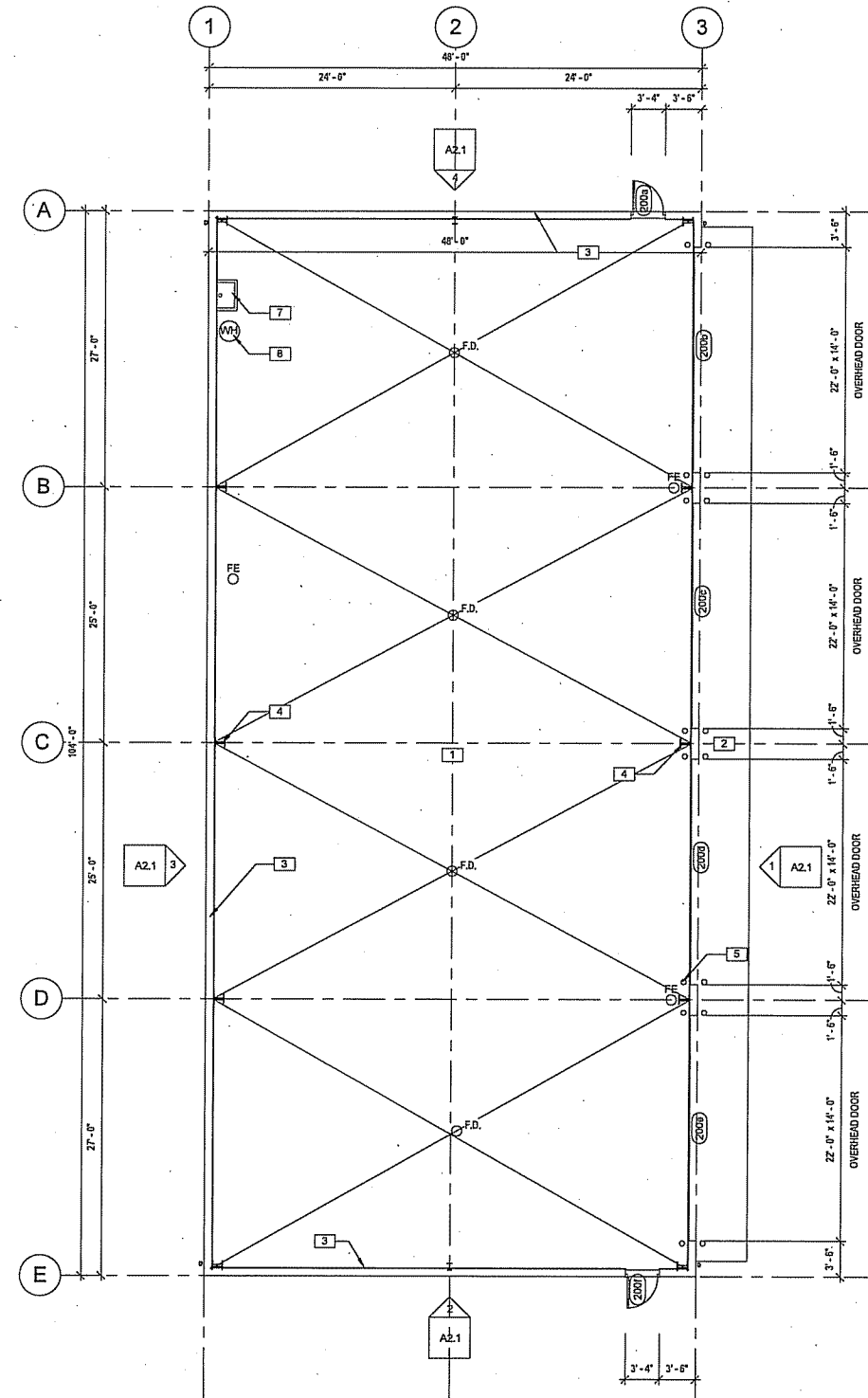
**GENERAL PLAN NOTES:**

1. SEE SHEET A5.8 FOR ALL TYPICAL MOUNTING HEIGHTS AND DOOR CLEARANCES.
2. NOT USED

KEYNOTE LEGEND	
KEY #	KEYNOTE TEXT
1	6" CONCRETE FLOOR SLAB w/ REINFORCEMENT PER SPEC & VAPOR BARRIER ON 6" COMPRESSED CRUSHED STONE BASE
2	6"x5'-0"x104'-0" CONCRETE APRON
3	8" CONCRETE CURB WALL w/ BI-PASS GIRTS (TYPICAL AT SIDE WALL & END WALL) w/ 26 GA WHITE LINER PANEL TO 8'-0" A.F.F.
4	EXTERIOR COLUMNS TO EXTEND TO 8'-2" (F.F.)
5	PROVIDE 6" CONCRETE FILLED PIPE BOLLARDS AS SHOWN.
6	26 GA SCREW DOWN LAP ROOF PANEL - COLOR: GLAVALUME
7	18"x18" UTILITY SINK. COORDINATE LOCATION WITH GENERAL CONTRACTOR
8	COORDINATE FINAL LOCATION OF WATER HEATER WITH GENERAL CONTRACTOR



**2 STORAGE GARAGE ROOF LEVEL**  
1/8" = 1'-0"



**1 STORAGE GARAGE FLOOR PLAN**  
1/8" = 1'-0"

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**SHEET TITLE**

STORAGE GARAGE - FLOOR & ROOF PLAN

**PLAN REVIEW**

12.02.2015

12.18.2015

**PROJECT DATA**

JOB NUMBER: 14-007

DRAWN BY: JUR

CHECKED BY:

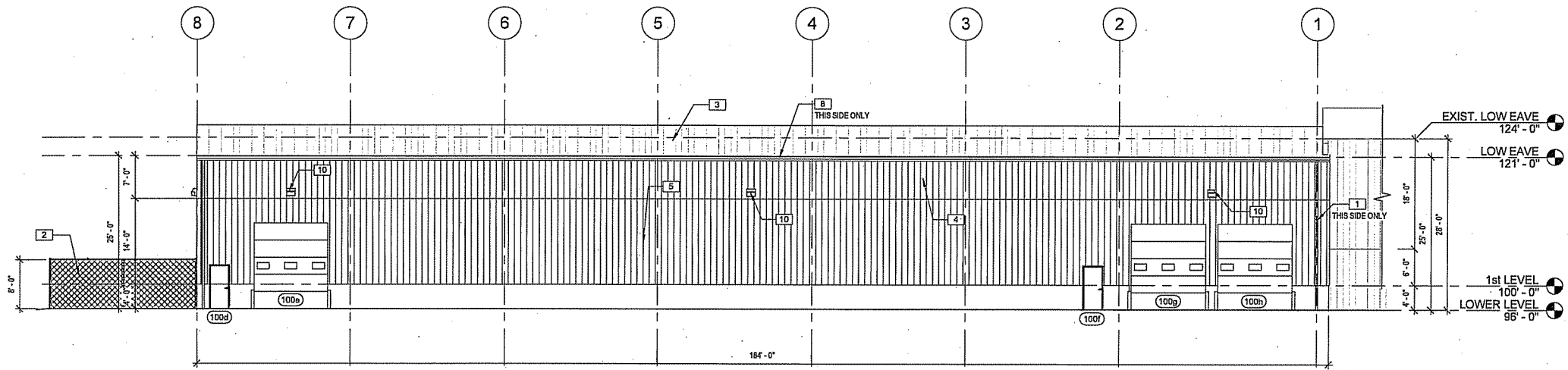


**A1.3**

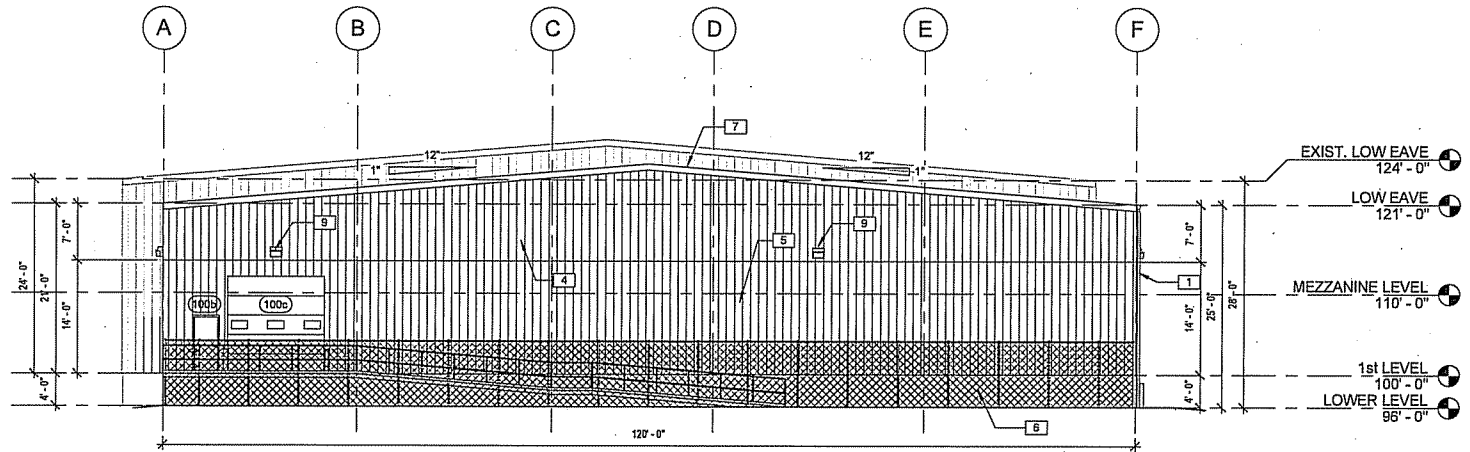
**ELEVATION GENERAL NOTES:**

1. NOT USED

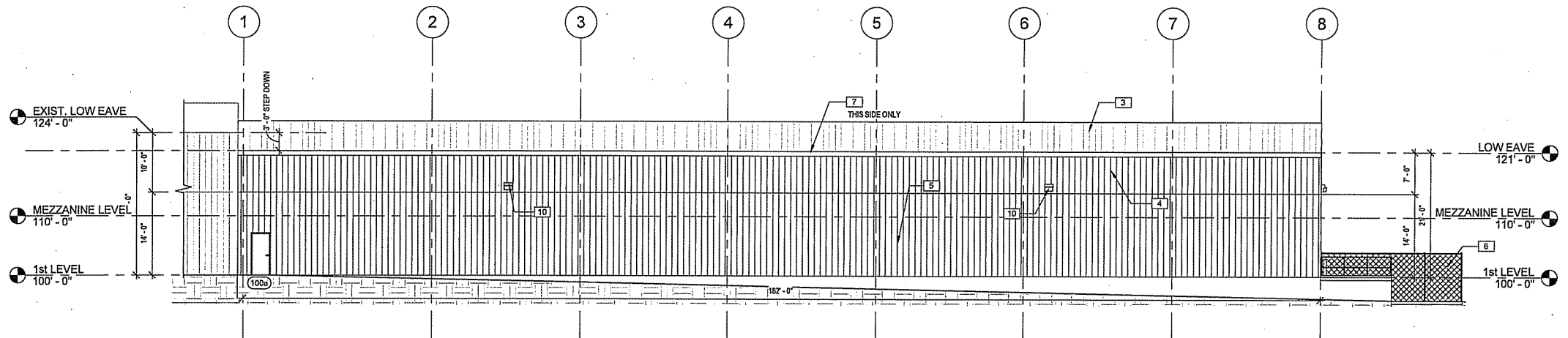
KEYNOTE LEGEND	
KEY #	KEYNOTE TEXT
1	DOWNSPOUT -COLOR FOX GRAY
2	24'-0" WIDE DOUBLE LEAF SWINGING GATE COMPLETE WITH PRIVACY SLATS & GATE POSTS SET IN CONCRETE.
3	24 GA STANDING SEAM METAL ROOF PANEL w/ THERMAL BLOCKS AND 8" INSULATION -COLOR: GALVALUME
4	26 GA METAL WALL PANEL -COLOR: FOX GRAY
5	26 GA METAL WALL PANEL -COLOR: POLAR WHITE
6	8'-0" HIGH ALUMINIZED 2" MESH CHAIN LINK FENCE WITH PRIVACY SLATS AND POSTS AT 8'-0" O.C. FLANGED TO CONCRETE SLAB.
7	DELUX PRE-PAINTED GABLE/EAVE TRIM -COLOR: FOX GRAY
8	DELUX PRE-PAINTED GUTTER WITH OPEN DOWNSPOUTS -COLOR: FOX GRAY
9	RELOCATE EXISTING L.E.D. WALL PACK FROM EXISTING SOUTH END WALL.
10	L.E.D. WALL PACK



3 EAST ELEVATION  
3/32" = 1'-0"



1 SOUTH ELEVATION  
3/32" = 1'-0"



2 WEST ELEVATION  
3/32" = 1'-0"

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**SHEET TITLE**

ADDITION - EXTERIOR ELEVATIONS

**PLAN REVIEW**

12.02.2015

12.18.2015

**PROJECT DATA**

14-007

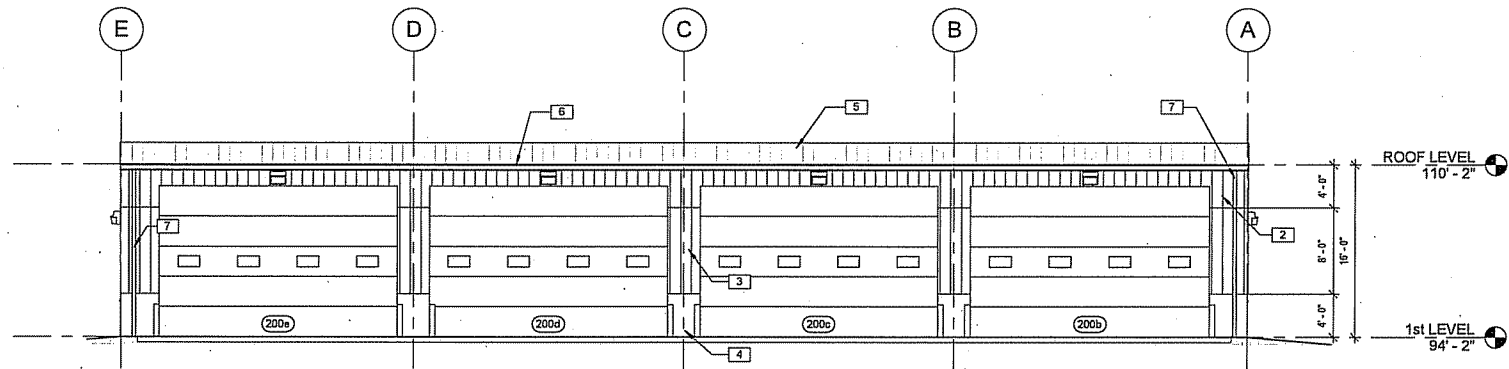
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**A2.0**

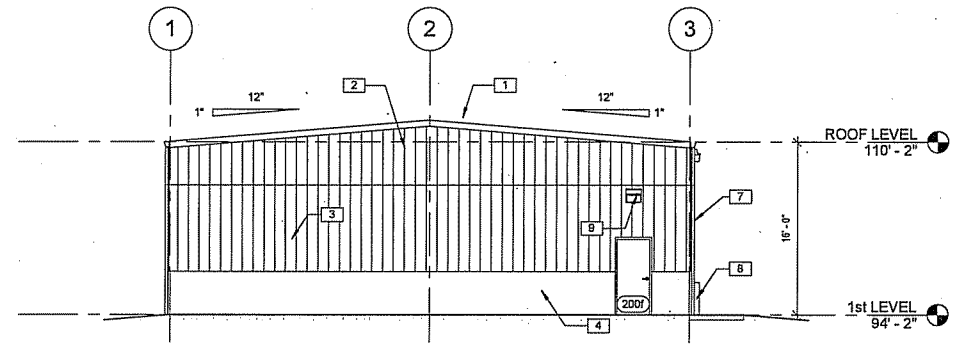
**ELEVATION GENERAL NOTES:**

1. NOT USED

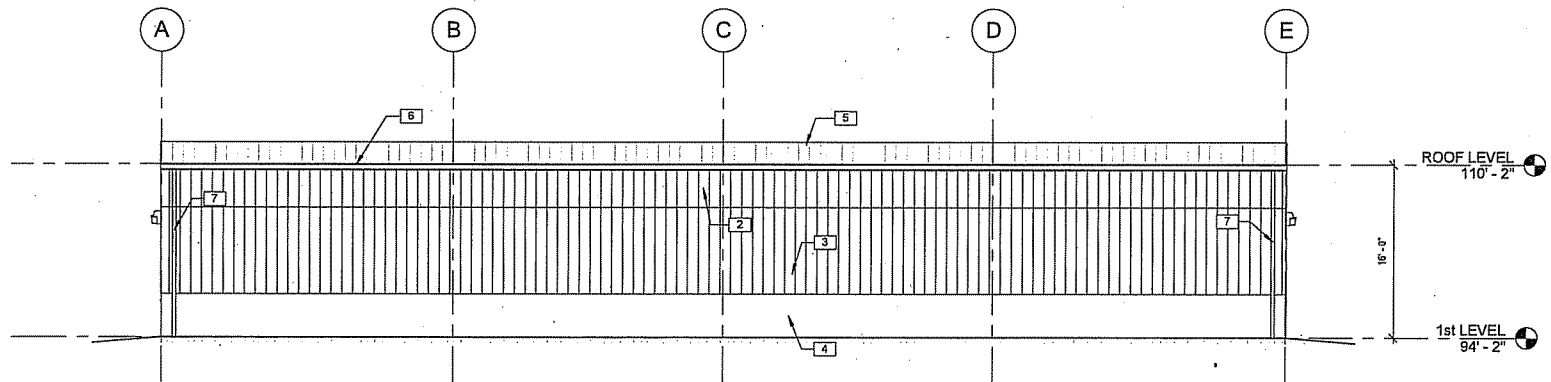
KEYNOTE LEGEND	
KEY #	KEYNOTE TEXT
1	DELUX PRE-PAINTED GABLE/EAVE TRIM - COLOR: FOX GRAY
2	26 GA METAL WALL PANEL - COLOR: FOX GRAY
3	26 GA METAL WALL PANEL - COLOR: POLAR WHITE
4	8" CONC CURB WALL - SEE STRUCTURAL DRAWINGS
5	26 GA SCREW DOWN LAP ROOF PANEL - COLOR: GLAVALUME
6	DELUX PRE-PAINTED GUTTER WITH OPEN DOWNSPOUTS - COLOR: FOX GRAY
7	DOWNSPOUT - COLOR FOX GRAY
8	PROVIDE 6"Ø CONCRETE FILLED PIPE BOLLARDS AS SHOWN
9	L.E.D. WALL PACK



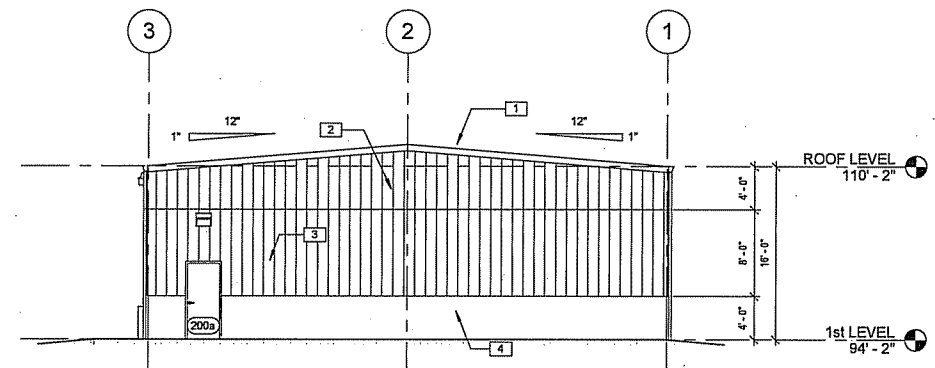
1 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



3 SOUTH ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"

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**SHEET TITLE**

STORAGE GARAGE - EXTERIOR  
ELEVATIONS

PLAN REVIEW

12.02.2015

12.18.2015

**PROJECT DATA**

JOB NUMBER: 14-007

DRAWN BY: JJR

CHECK MARKED:

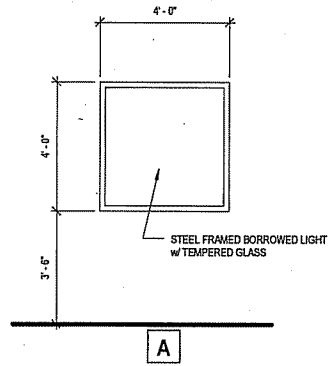
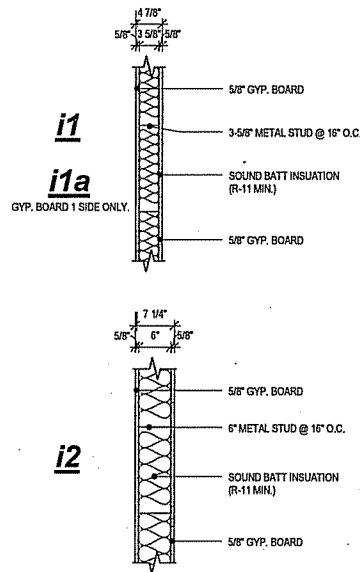
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**RESTROOM NOTES:**

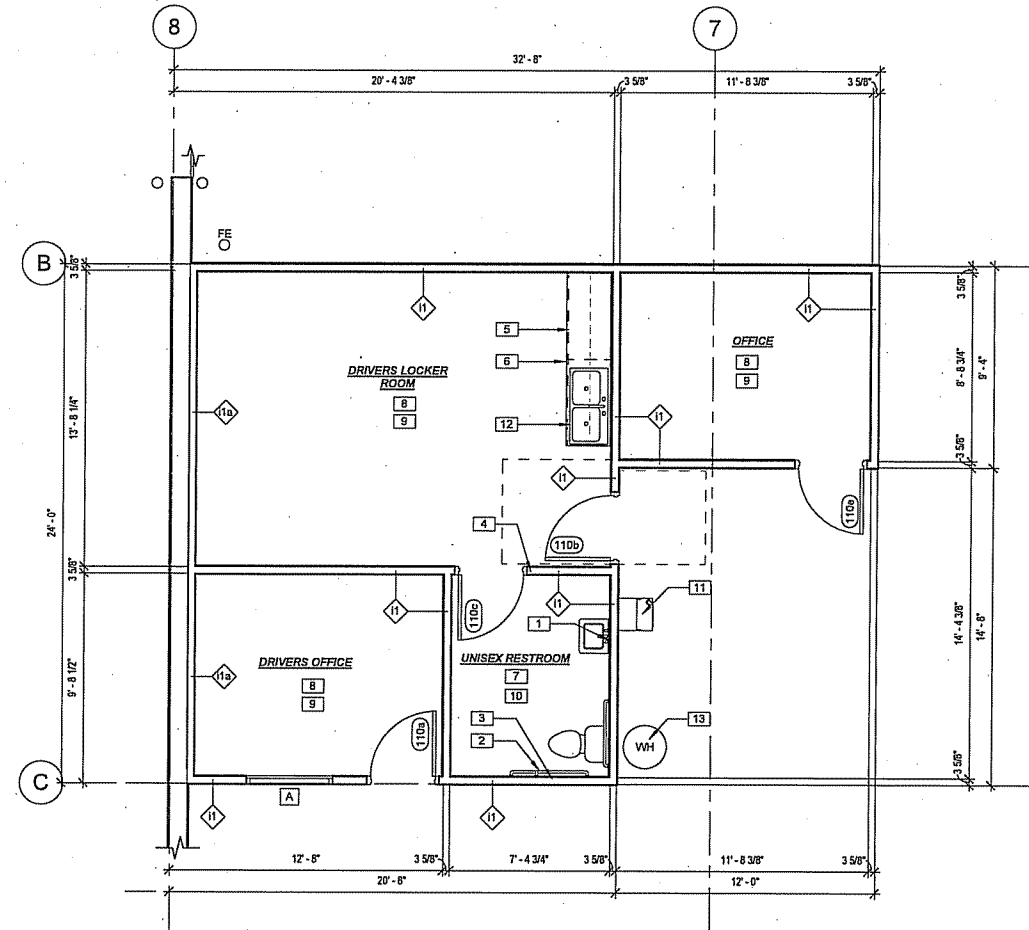
- IF FLOOR FINISHES ARE NOT SPECIFIED AND BEING DONE BY OTHERS THE MUST CONFORM WITH THE FOLLOWING. IN A TOILET AND BATHING ROOMS THE FLOOR SURFACE SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 6 INCHES.
- IF WALL FINISHES ARE NOT SPECIFIED AND BEING DONE BY OTHERS THE MUST CONFORM WITH THE FOLLOWING. ALL WALLS IN TOILET AND BATHING ROOMS SHALL HAVE A SMOOTH, HARD NONABSORBENT SURFACE TO A HEIGHT OF 4'-0" THE FLOOR AND THE MATERIALS USED IN SUCH WALLS SHALL BE A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.

KEYNOTE LEGEND	
KEY #	KEYNOTE TEXT
1	PROVIDE 30"x36" RESTROOM MIRROR, SEE SHEET A5.0 FOR MOUNTING HEIGHTS. PROVIDE BLOCKING AS REQUIRED.
2	GRAB BARS, SEE SHEET A5.0 FOR MOUNTING HEIGHTS. PROVIDE BLOCKING AS REQUIRED.
3	PROVIDE TOILET PAPER DISPENSER, SEE SHEET A5.0 FOR MOUNTING HEIGHT AND LOCATION. PROVIDE BLOCKING AS REQUIRED.
4	PROVIDE A.D.A. SIGNAGE AS REQUIRED. SEE SHEET A5.0
5	8'-0" LAMINATED BASE AND WALL CABINETS
6	8'-0" LAMINATED COUNTER TOP.
7	PROVIDE 13"x13" CERAMIC TILE w/ 6" BASE TILE AT PERIMETER IN RESTROOM
8	PROVIDE VINYL COMPOSITE FLOOR TILE w/ 4" HIGH VINYL BASE AT BOTH SIDES OF WALL UNLESS NOTED OTHERWISE.
9	PROVIDE 2"x4" LAY-IN ACOUSTIC TILE WITH SUSPENDED CEILING GRID AT 8'-0" A.F.F.
10	PROVIDE 2"x4" SUSPENDED VINYL COVERED GYP BRD CEILING AT 8'-0" A.F.F.
11	WALL MOUNTED ELECTRIC WATER COOLER
12	STAINLESS STEEL SINK & FAUCET. TOP OF SINK TO BE 34" A.F.F. PER ADA REQUIREMENTS.
13	COORDINATE FINAL LOCATION OF WATER HEATER WITH GENERAL CONTRACTOR

**INTERIOR WALL ASSEMBLIES:**



**BORROWED LIGHT LEGEND**



**1 OFFICE/LOCKER ROOM LAYOUT**  
1/4" = 1'-0"

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SHEET TITLE	
DETAIL PLANS	
PLAN REVIEW	
12.02.2015	
12.21.2015	

PROJECT DATA	
JOB NUMBER:	14-007
DRAWN BY:	JJR
CHECKED BY:	



**A4.0**