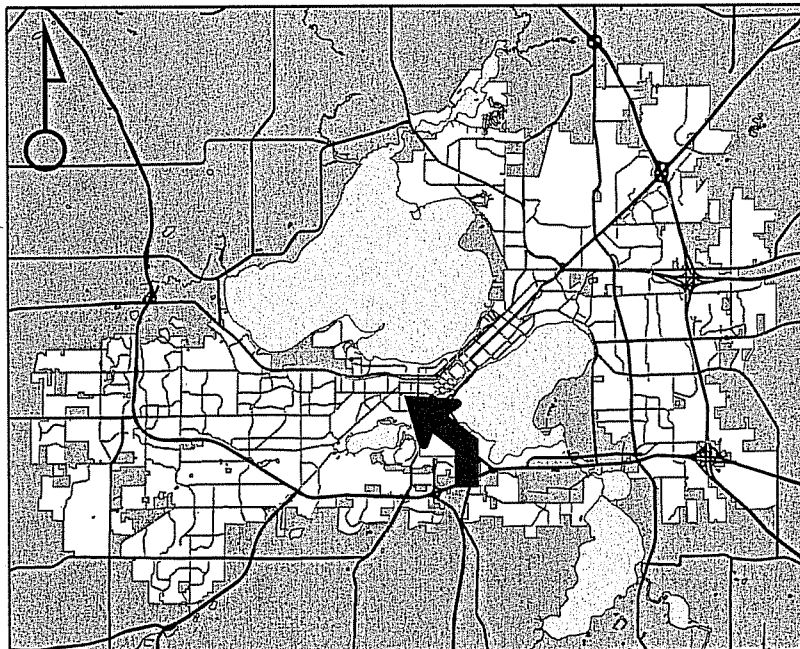


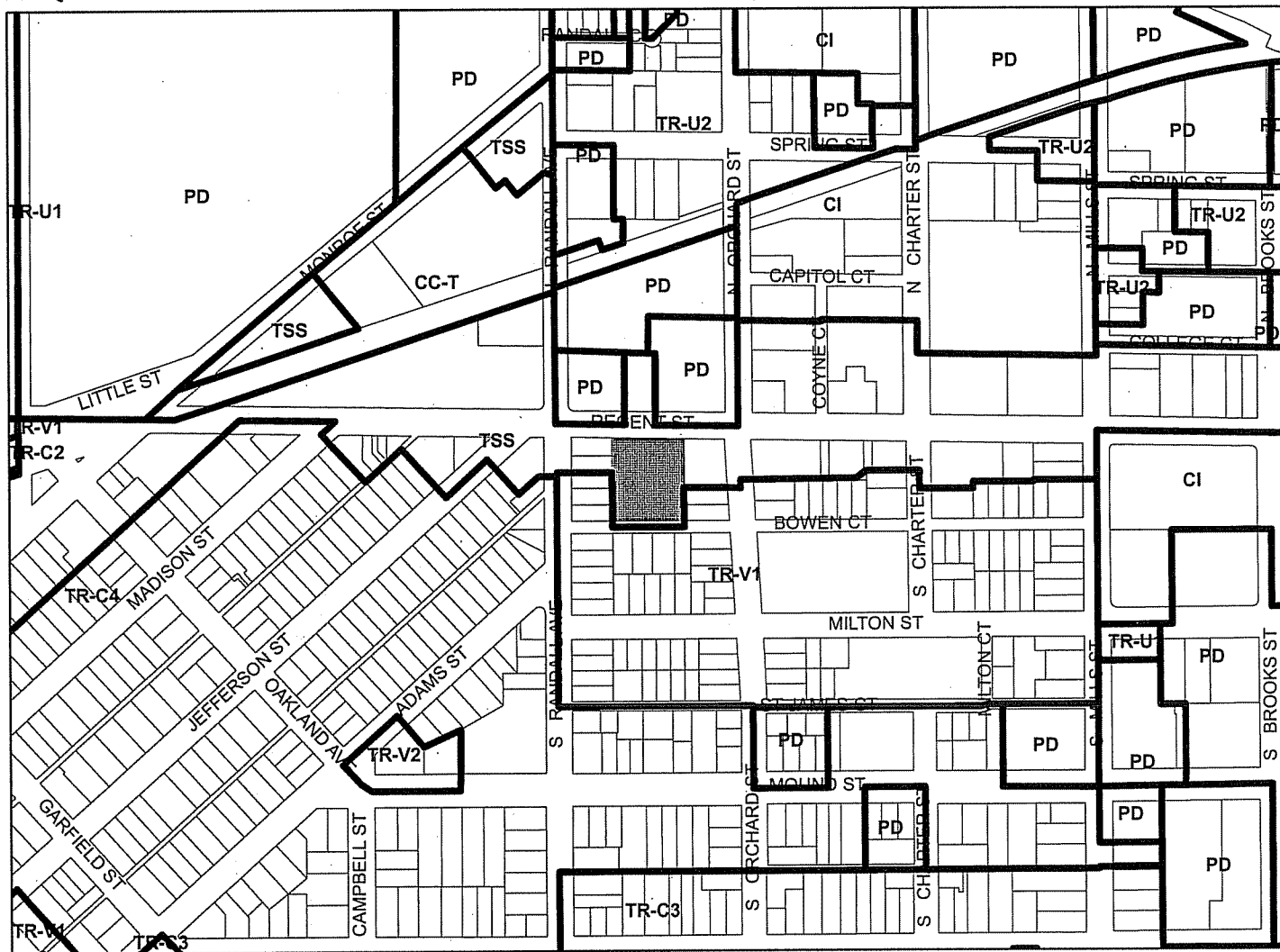


## Proposed Conditional Use

Public Hearing Date  
Plan Commission  
19 October 2015

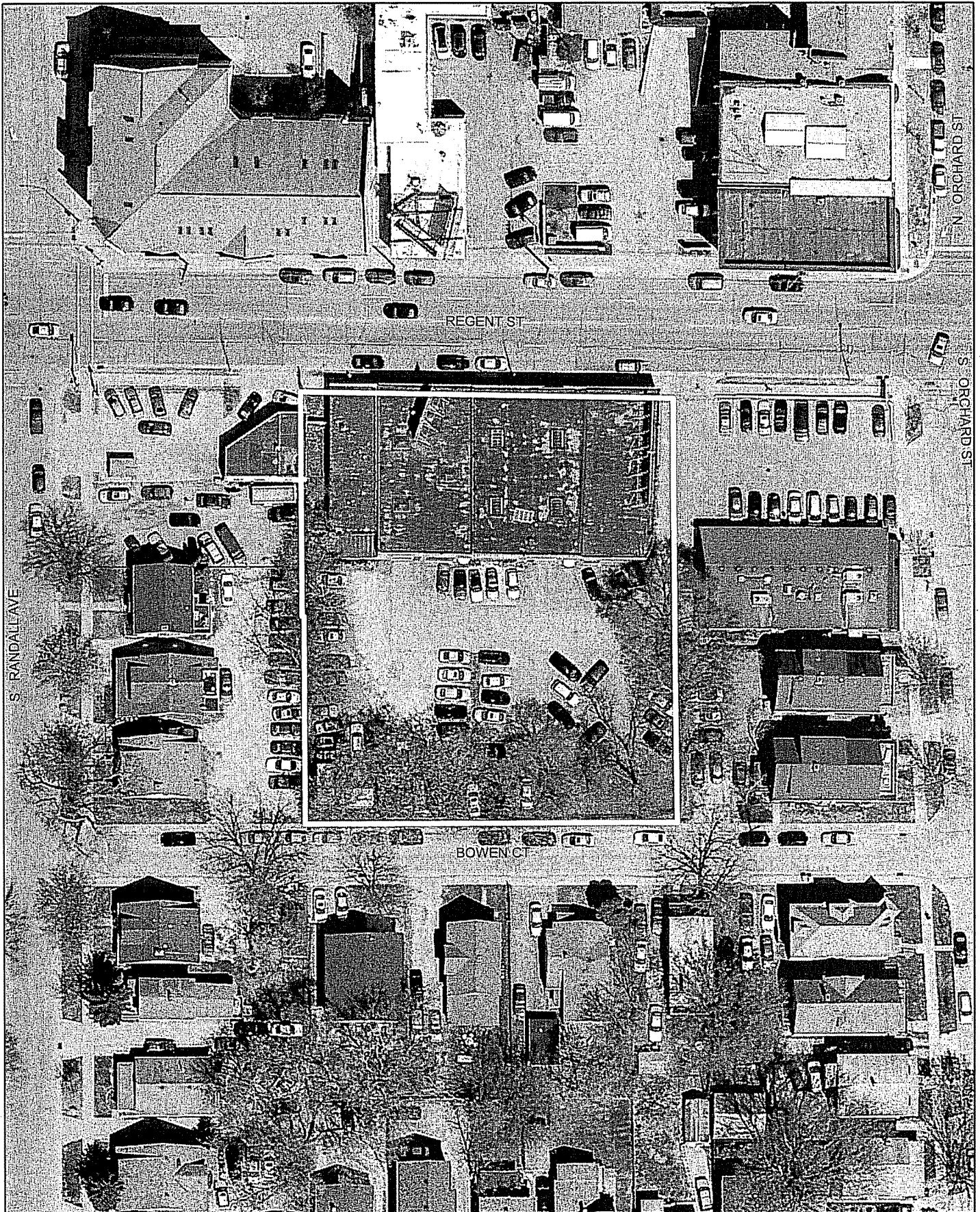


For Questions Contact: Kevin Firchow at: 267-1150 or [kfirchow@cityofmadison.com](mailto:kfirchow@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 12 October 2015





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

| FOR OFFICE USE ONLY:                             |                                                     |
|--------------------------------------------------|-----------------------------------------------------|
| Amt. Paid <u>600</u>                             | Receipt No. <u>6147-0012</u>                        |
| Date Received <u>7/22/15</u>                     |                                                     |
| Received By <u>PDA</u>                           |                                                     |
| Parcel No. <u>0709-224-0304-6</u>                |                                                     |
| Aldermanic District <u>13 - ESKRICH</u>          |                                                     |
| Zoning District <u>TSS</u>                       |                                                     |
| Special Requirements <u>WP-27</u>                |                                                     |
| Review Required By:                              |                                                     |
| <input type="checkbox"/> Urban Design Commission | <input checked="" type="checkbox"/> Plan Commission |
| <input type="checkbox"/> Common Council          | <input type="checkbox"/> Other: _____               |

Form Effective: February 21, 2013

1. Project Address: 1313 REGENT STREET - BOWEN COURT  
Project Title (if any): REGENT STREET DEVELOPMENT

2. This is an application for (Check all that apply to your Land Use Application):

- ☐ Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- ☐ Major Amendment to Approved PD-GDP Zoning ☐ Major Amendment to Approved PD-SIP Zoning
- ☐ Review of Alteration to Planned Development (By Plan Commission)
- ☒ Conditional Use, or Major Alteration to an Approved Conditional Use
- ☐ Demolition Permit
- ☐ Other Requests: \_\_\_\_\_

3. Applicant, Agent & Property Owner Information:

Applicant Name: JOHN BIENO Company: TJK DESIGN BUILD  
Street Address: 1012 WEST MAIN ST STE City/State: MADISON WI Zip: 53703  
Telephone: (608) 257-1090 Fax: (608) 257-1092 Email: JBIENO@TJKDESIGNBUILD.COM

Project Contact Person: SAME AS ABOVE Company: \_\_\_\_\_  
Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Email: \_\_\_\_\_

Property Owner (if not applicant): FCS PLAN B LLC ROD RIPLEY  
Street Address: 51025 CORALSTONE LN City/State: WAUNAKEE WI Zip: 53597

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: SEE ATTACHED

Development Schedule: Commencement NOV 2015 Completion: OCTOBER 2016

## 5. Required Submittal Information

All Land Use applications are required to include the following:

☒ **Project Plans including:**\*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

☒ **Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |                                               |                                                 |                                                              |
|-----------------------------------------------|-------------------------------------------------|--------------------------------------------------------------|
| • Project Team                                | • Building Square Footage                       | • Value of Land                                              |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |                                                 |                                                              |

☒ **Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

☒ **Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

☐ **Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

## 6. Applicant Declarations

☒ **Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

ALDER ESKRICH (Ltr MA 22) GREENEASH NA (EMAIL VIA ALDER JUNE 2)

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

☒ **Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: KENIA FERRER Date: 3.19.15 Zoning Staff: MATT TUCKER Date: 3.19.15

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant JOHN BIELO Relationship to Property: ARCHITECT/OWNER REP  
Authorizing Signature of Property Owner [Signature] Date 6/22/15

July 22, 2015

Department of Planning & Development  
City of Madison  
215 Martin Luther King Jr. Blvd  
PO Box 2985  
Madison WI 53701

RE: **Letter of Intent**  
1313 Regent Street  
Madison, WI

To Whom It May Concern:

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

**Organizational structure:**

Owner: FCS Plan B, LLC  
5626 Cobblestone Lane  
Waunakee, WI 53597  
Contact: Rod Ripley

Architect: TJK Design Build Inc  
612 West Main Street, Ste. 201  
Madison WI 53703  
608-257-1090  
608-257-1092 fax  
Contact: John J Bieno  
jjbieno@tjkdesignbuild.com

Engineer: D'Onofrio, Kottke & Assocs, Inc.  
7530 Westward Way  
Madison, WI 53717  
608-833-7530  
Contact: Ron Klaas

Landscape  
Design: Richard Slayton, ASLA

## **Introduction:**

The site is located mid block on the south side of the 1300 block of Regent Street. The site is approximately 22,454 square feet in size. It currently has an existing structure that has seen many purposes over its 70+ year lifespan. Most recently as a car repair center. The property extends all the way through the block to Bowen Court. Regent Street is an active area in the city for all modes of transportation. Bowen Court is a one way street that primarily serves as a link to the converted housing along this street. To the east and west of the property there is a mix of commercial properties and more converted housing.

## **Deconstruction:**

This proposed development envisions the deconstruction of a 1650 square foot addition on the west side of the existing building. There will also be selective demolition on the existing structure including opening existing windows which have long been closed. A chain link fence encompassing the position of the lot along Bowen Court will also be removed.

## **Description:**

The site under consideration is along a busy thorough fare near the UW Campus. An existing structure along Regent Street will be repurposed into a multi-tenant building. The major tenant will be a brew pub. The brew pub will benefit from an access way on the western edge of the development. The access way will also contain 14 off street parking stalls. Pedestrian and bicycle access and parking is readily available.

The existing structure will be cleaned, repaired and benefit from selective demolition. The demolition will primarily be in two parts. First, an existing addition to the original building, along the western side, will be removed to make way for the access road. The second part of the demolition will be opening existing window and door opportunities long closed. Existing skylights will be removed in order to install new, more energy efficient options along with interior demolition to accommodate the needs of the tenant. There will be an area established for on-site brewing and food preparation. There is also an area set aside for the occasional use for an event. Some of the events may be, but not limited to: football Saturdays, neighborhood gatherings, club and/or group meetings and small family events. An outdoor patio has been created to offer patrons another dining option during good weather and established hours.

## **Hours of Operation:**

Brew Pub            Sunday – Thursday    11:00 AM – 2:00 AM  
                         Friday - Saturday    11:00 AM – 2:30 AM

Outdoor Dining    7 days a week (weather permitting) 11:00 AM – 10:00 PM

Banquet Facility    (by reservation) same as Brew Pub

## **Occupancy Load:**

Brew Pub            2,863 SF = 200 Persons  
Commercial Kitchen    1,044 SF = 5 Persons  
Banquet Facility    2,432 SF = 450 Persons (owner set amount)



Brewery 1,393 SF = 3 Persons  
Outdoor Dining 1,269 SF = 58 Persons (owner set amount)

### **Parking:**

Brew Pub Vehicle 14 Provided 40 required for Brew Pub  
68 required for Banquet  
Bicycle 5% of Capacity 36 required

### **Lot Coverage/Useable Open Space:**

|                   |             |           |
|-------------------|-------------|-----------|
| Brew Pub Building | Lot Area    | 22,454 SF |
|                   | Building    | 10,091 SF |
|                   | Green Space | 2,133 SF  |

### **Schedule:**

|                       |                    |
|-----------------------|--------------------|
| Plan Submitted        | July 22, 2015      |
| Plan Commission       | September 21, 2015 |
| Common Council        | October 6, 2015    |
| Plan Approval         | October 20, 2015   |
| Final Zoning Approval | November 3, 2015   |
| Start Construction    | November 17, 2015  |
| Bar Operational       | March 1, 2016      |
| Final Completion      | October 1, 2016    |

### **CU Requested:**

- Reduction in parking for Brew Pub Building
- Outdoor eating area

### **Social and Economic Impact:**

This development will have a positive social and economic impact. The development will potentially increase the city's tax base with minimal if any increased cost to the city. The redevelopment will provide new work opportunities and housing options. It also promotes pedestrian, bicycle and mass transit circulation.

Thank you for your time in reviewing our proposal.

Sincerely,

John J Bieno, AIA  
TJK Design Build Inc

PROPOSED FACILITY FOR:

# REGENT STREET DEVELOPMENT

1313 REGENT STREET  
MADISON, WISCONSIN

TJK

DESIGN BUILD

TJK Design Build

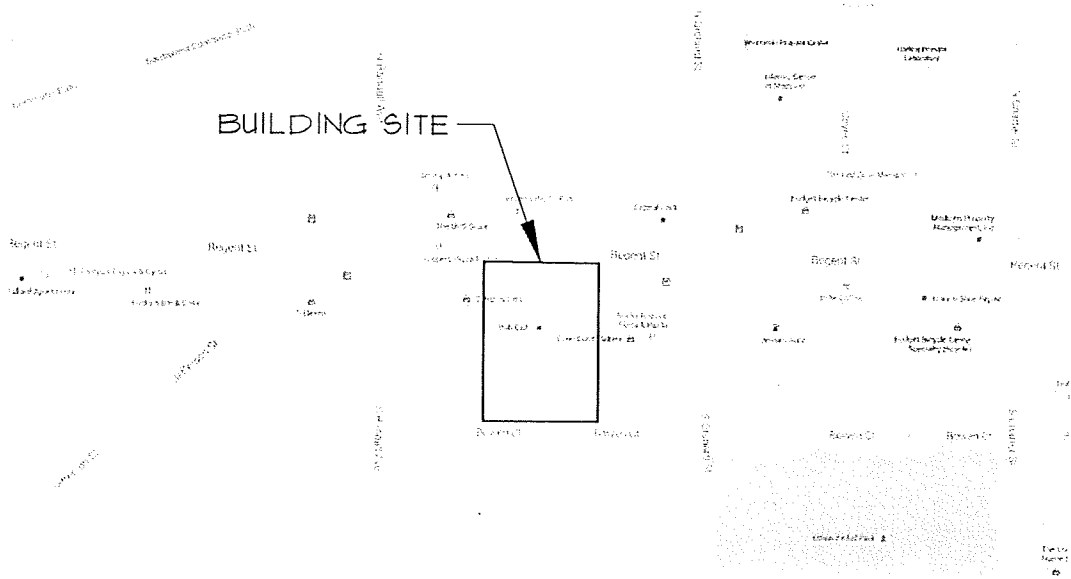
612 West Main Street

Madison, WI 53703

608-257-1090

FAX 608-257-1092

| INDEX OF DRAWINGS: |                                  |
|--------------------|----------------------------------|
| C-1.0              | PROPOSED SITE PLAN               |
| C-1.1              | GRADING AND EROSION CONTROL PLAN |
| C-1.2              | UTILITY PLAN                     |
| C-1.3              | PHOTOMETRIC PLAN                 |
| C-1.4              | LANDSCAPE PLAN                   |
| A-1.1              | BREW PUB FLOOR PLAN              |
| A-1.2              | BREW PUB ROOF PLAN               |
| A-2.1              | EXTERIOR ELEVATIONS              |
| A-3.1              | BUILDING SECTIONS                |
| A-3.2              | BUILDING SECTIONS                |
| A-5.1              | INTERIOR ELEVATIONS              |
| A-5.2              | INTERIOR ELEVATIONS              |
| A-5.3              | INTERIOR ELEVATIONS              |
| A-6.1              | PARTITION TYPES                  |
| A-7.1              | FLOOR FINISH PLAN                |
| A-7.2              | REFLECTED CEILING FINISH PLAN    |



SITE LOCATION MAP

PROPOSED FACILITY FOR:  
REGENT STREET DEVELOPMENT  
1313 REGENT STREET, MADISON, WI



# BIKE RACK

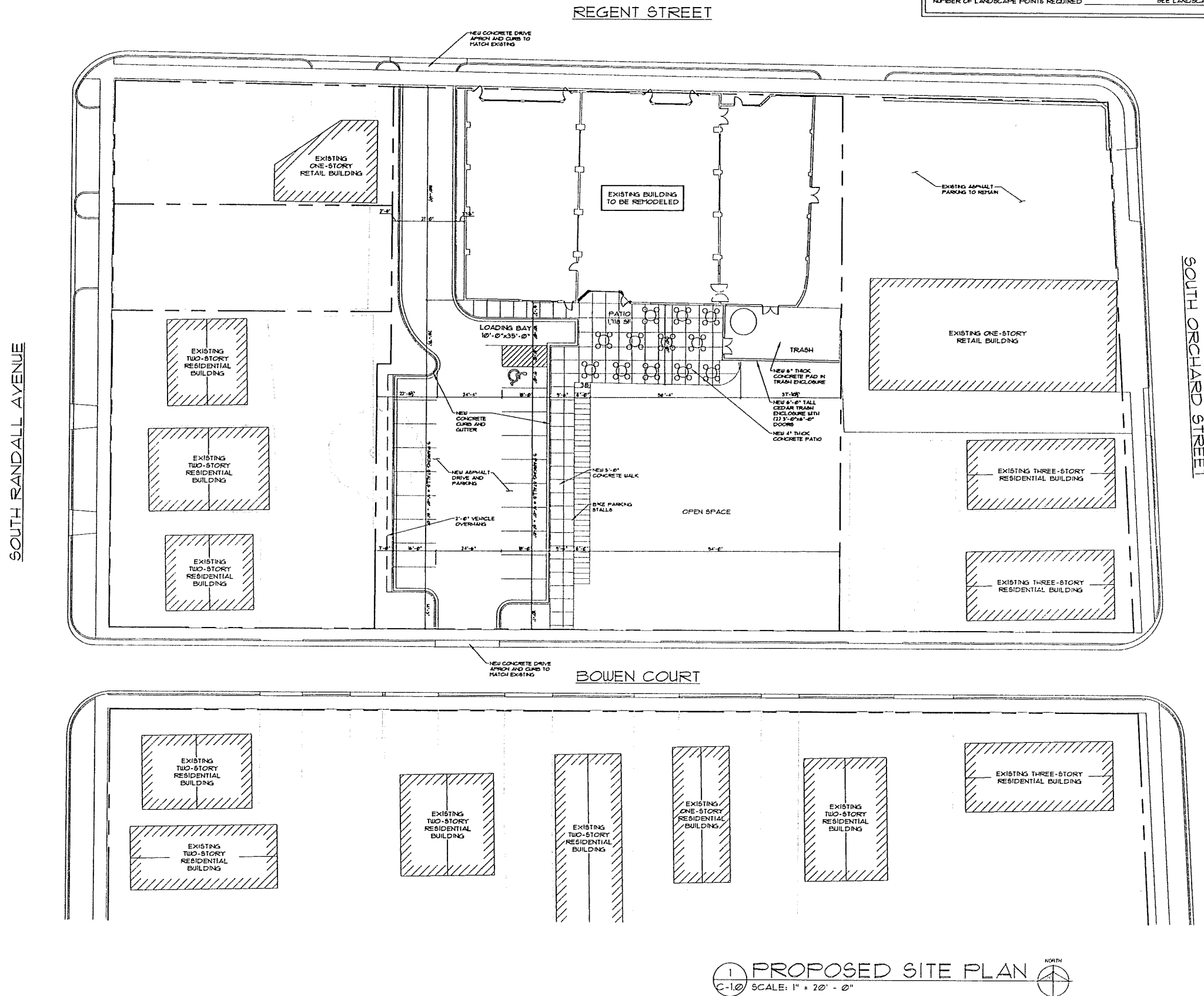
---

SCALE: N.T.S.

## LEGEND:

---

|                                                                                       |                      |
|---------------------------------------------------------------------------------------|----------------------|
|  | PROPERTY CORNER      |
| ---                                                                                   | PROPERTY LINE        |
| -SAN-                                                                                 | SANITARY SEWER       |
| -STM-                                                                                 | STORM SEWER          |
| -W-                                                                                   | WATER MAIN           |
|  | FIRE HYDRANT         |
|  | UTILITY POLE         |
|  | CITY STREET LIGHT    |
|  | MANHOLE              |
| ---                                                                                   | 2 1/2" FIRE HOSE LAY |
| ■                                                                                     | WATER VALVE          |
|  | CURB INLET           |
|  | EXISTING BUILDING    |



LEGEND  
EXISTING SPOT GRADE  
PROPOSED SPOT GRADE

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.2540 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

TJK  
DESIGN

612 WEST MAIN STREET  
MADISON, WI 53703  
608-257-1090  
FAX 608-257-1092

REV DATE

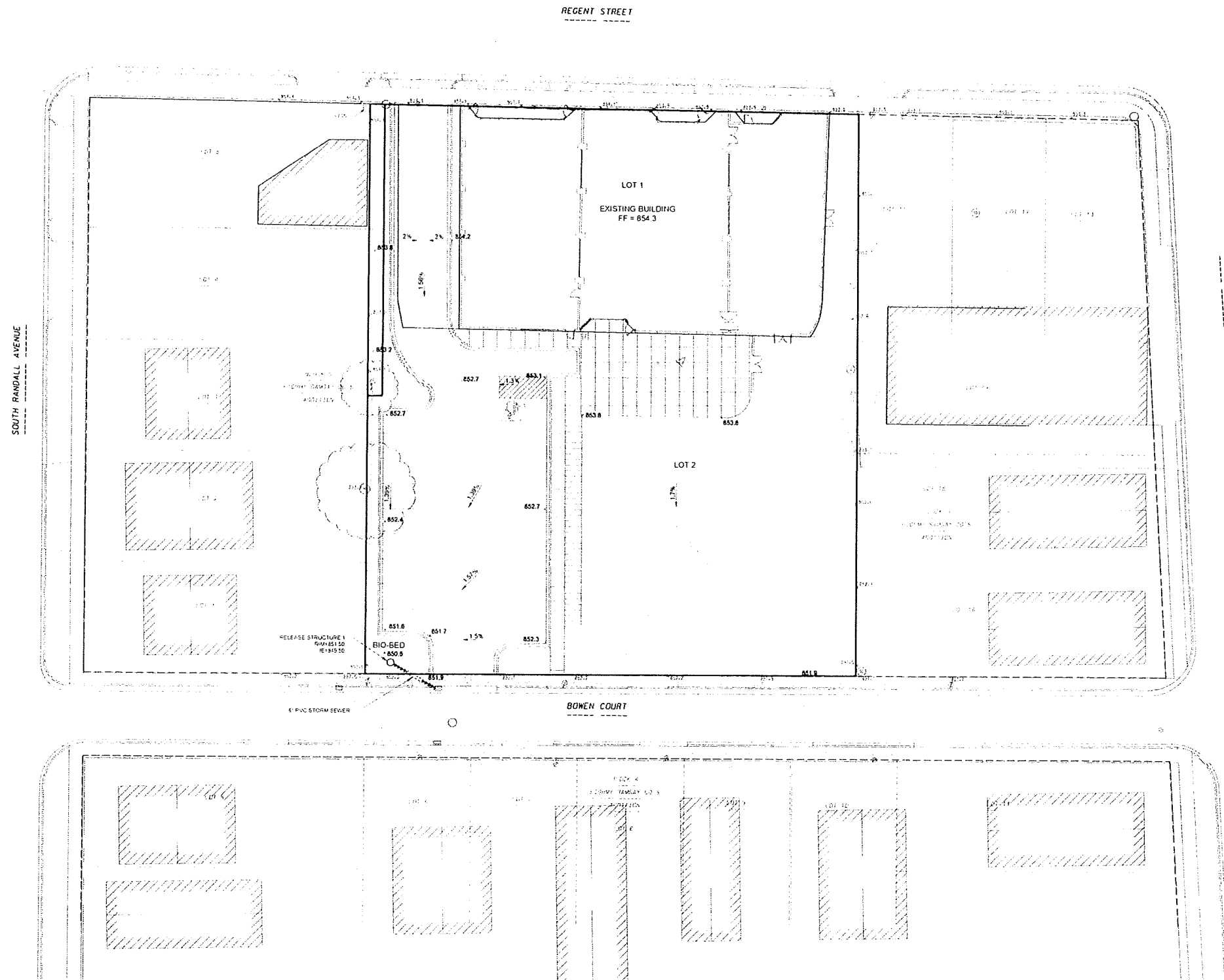
COPYRIGHTED DRAWING  
© 2015, TJK DESIGN, INC. ALL RIGHTS  
RESERVED. NEITHER THIS DOCUMENT NOR THE  
INFORMATION HEREIN MAY BE REPRODUCED,  
DISTRIBUTED, USED OR DISCLOSED, IN WHOLE  
OR IN PART, WITHOUT EXPRESSLY AUTHORIZED  
WRITING BY TJK DESIGN, INC.

PROPOSED FACILITY FOR:  
REGENT STREET

1313 REGENT STREET  
MADISON, WI

C-1.1

9.16.15



GRADING PLAN  
C-1.1

# SITE UTILITY NOTES

1. ALL SITE UTILITY WORK SHALL COMPLY WITH THE CITY OF MADISON CODE OF ORDINANCES. ALL MATERIALS SHALL BE IN COMPLIANCE WITH THE CITY'S MATERIAL STANDARDS.
2. SANITARY SEWER SHALL BE SDR 35 PVC
3. SITE UTILITY CONTRACTOR SHALL COORDINATE WORK EFFORTS INVOLVING ANY OTHER UTILITIES WITH THEIR PERSPECTIVE COMPANIES: MG&E, CHARTER, TDS, ETC
4. UTILITIES LOCATED IN THE RIGHT-OF-WAY TO BE CONSTRUCTED AS PART OF A CITY OF MADISON IMPROVEMENT PROJECT

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**TJK**  
DESIGN

612 WEST MAIN STREET  
MADISON, WI 53703  
608-257-1090  
FAX 608-257-1092

REV DATE

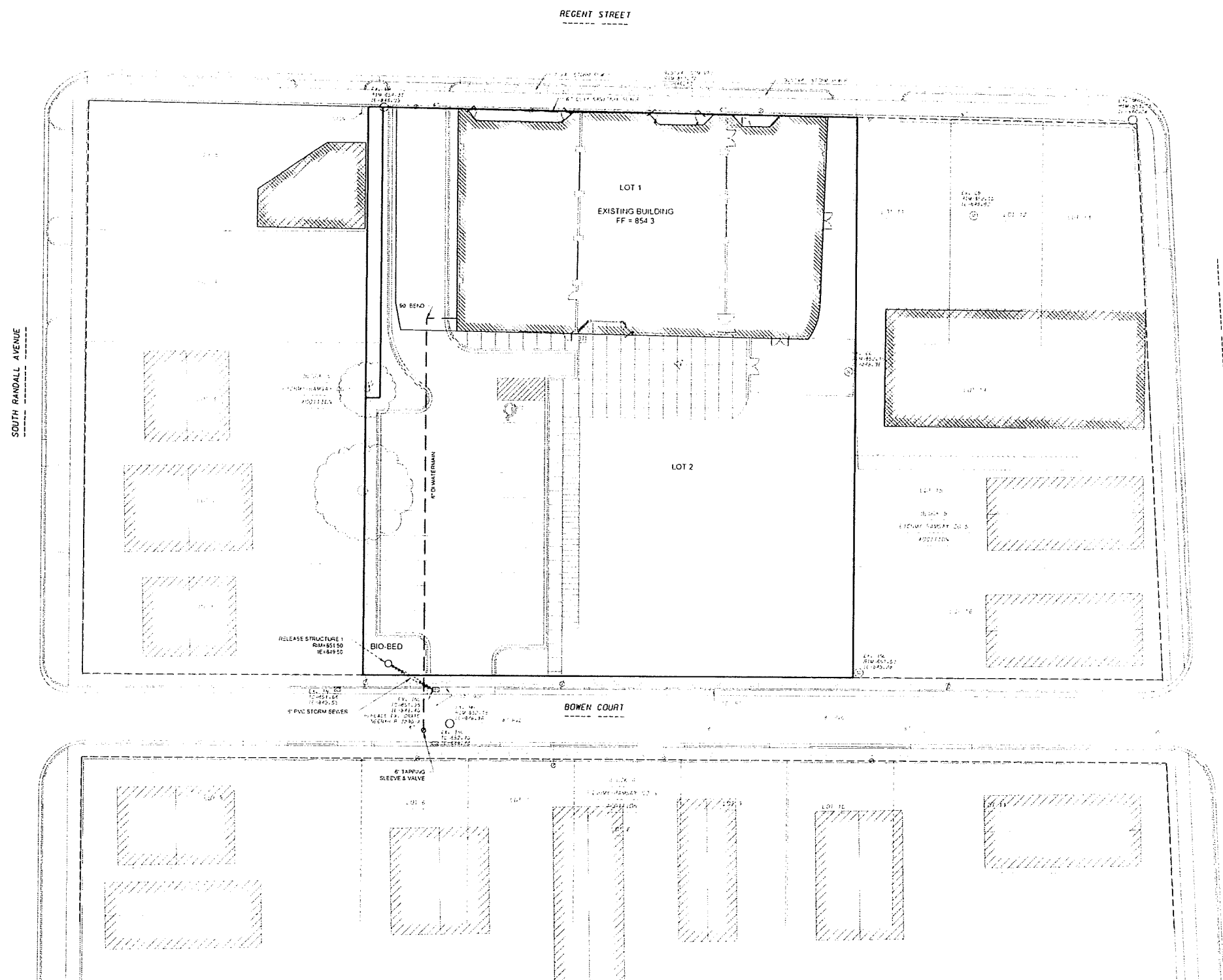
**COPYRIGHTED DRAWING**  
© 2015 The Design Group, Inc. All Rights Reserved. Neither this document nor the information herein may be reproduced, distributed, used or disclosed in whole or in part, unless expressly authorized in writing by The Design Group, Inc.

PROPOSED FACILITY FOR:  
REGENT STREET

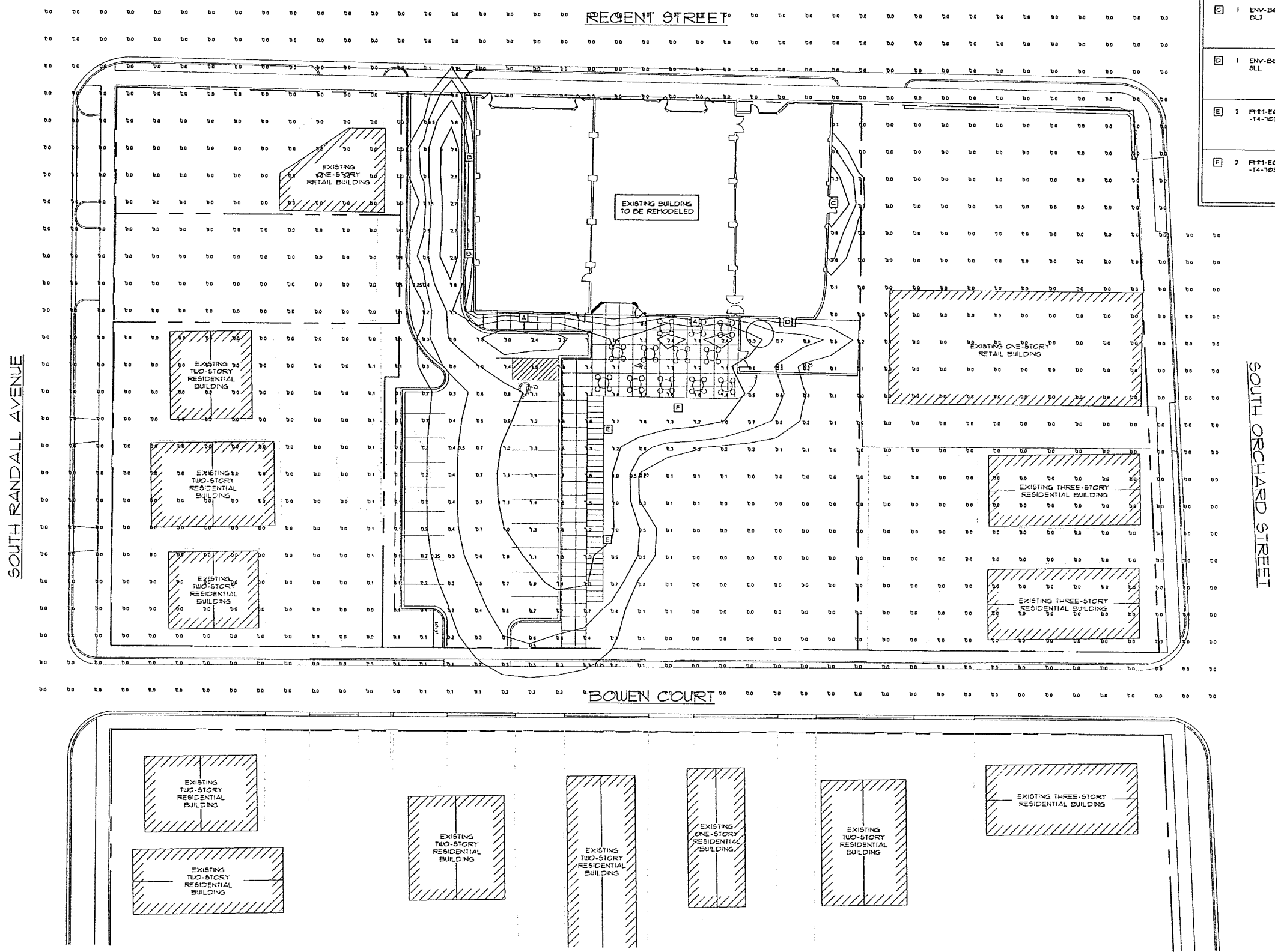
1313 REGENT STREET  
MADISON, WI

**C-1.2**

09.16.15



**SITE UTILITY PLAN**  
SCALE: 1\"/>



| LUMINAIRE SCHEDULE |     |                         |                                                                                                                                 |                                 |
|--------------------|-----|-------------------------|---------------------------------------------------------------------------------------------------------------------------------|---------------------------------|
| Label              | Qty | Catalog Number          | Description                                                                                                                     | Notes                           |
| A                  | 2   | ENV-B01-LED-EI-BL3      | ENTRI LED LUMINAIRE WITH UPLIGHT (1) LIGHTBAR WITH ACCOULED OPTICS - TYPE 3 WITH SPILL LIGHT CONTROL MOUNTED 10'-0" ABOVE GRADE | 21                              |
| B                  | 2   | ENV-B01-LED-EI-BL2      | ENTRI LED LUMINAIRE WITH UPLIGHT (1) LIGHTBAR WITH ACCOULED OPTICS - TYPE 2 WITH SPILL LIGHT CONTROL MOUNTED 10'-0" ABOVE GRADE | 21                              |
| C                  | 1   | ENV-B01-LED-EI-BL2      | ENTRI LED LUMINAIRE WITH UPLIGHT (1) LIGHTBAR WITH ACCOULED OPTICS - TYPE 2 WITH SPILL LIGHT CONTROL MOUNTED 10'-0" ABOVE GRADE | 21                              |
| D                  | 1   | ENV-B01-LED-EI-BLL      | ENTRI LED LUMINAIRE WITH UPLIGHT (1) LIGHTBAR WITH ACCOULED OPTICS - 90° SPILL LIGHT ELIMINATOR LEFT MOUNTED 10'-0" ABOVE GRADE | 21                              |
| E                  | 2   | FTM-E01-LED-E-U-14-1030 | MESA DECORATIVE LED LUMINAIRE (2) LIGHTBARS WITH ACCOULED OPTICS - TYPE 4 SHORT MOUNTED 10'-0" ABOVE GRADE                      | (1) 3500K CCT, 10 CRI LED, 24.1 |
| F                  | 2   | FTM-E01-LED-E-U-14-1030 | MESA DECORATIVE LED LUMINAIRE (2) LIGHTBARS WITH ACCOULED OPTICS - TYPE 4 SHORT MOUNTED 14'-0" ABOVE GRADE                      | (1) 3500K CCT, 10 CRI LED, 24.1 |



612 WEST MAIN STREET  
MADISON, WI 53703  
608-257-1090  
FAX 608-257-1092

REV      DATE

COPYRIGHTED DRAWING  
©2011, TJK Design Builds, Inc. ALL RIGHTS RESERVED. NEITHER THIS DOCUMENT NOR THE INFORMATION HEREIN MAY BE REPRODUCED, DISTRIBUTED, USED OR DISCLOSED, IN WHOLE OR IN PART, UNLESS EXPRESSLY AUTHORIZED BY TJK Design Builds, Inc.

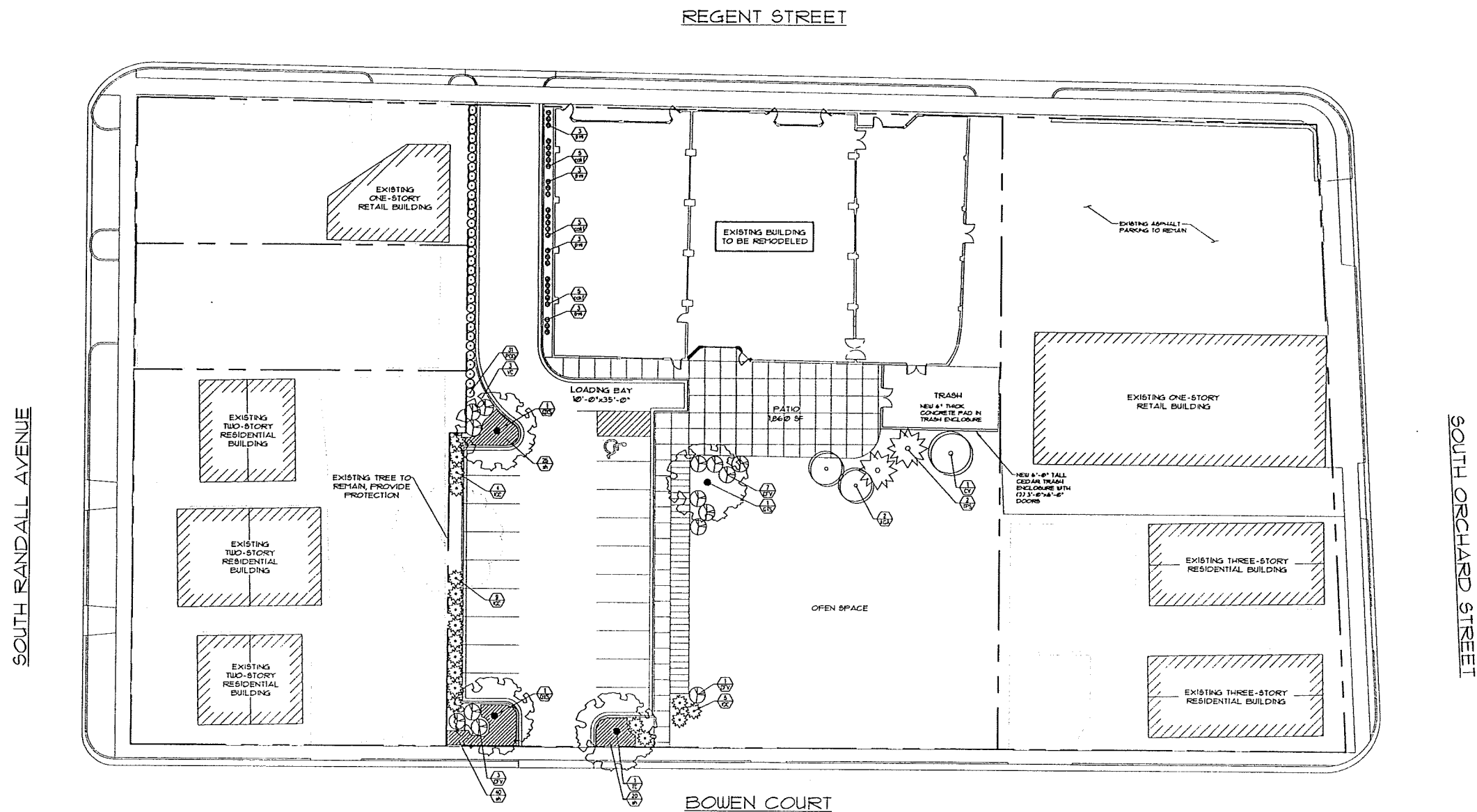
PROPOSED FACILITY FOR:  
REGENT STREET DEVELOPMENT

1313 REGENT STREET  
MADISON, WI

C-1.3

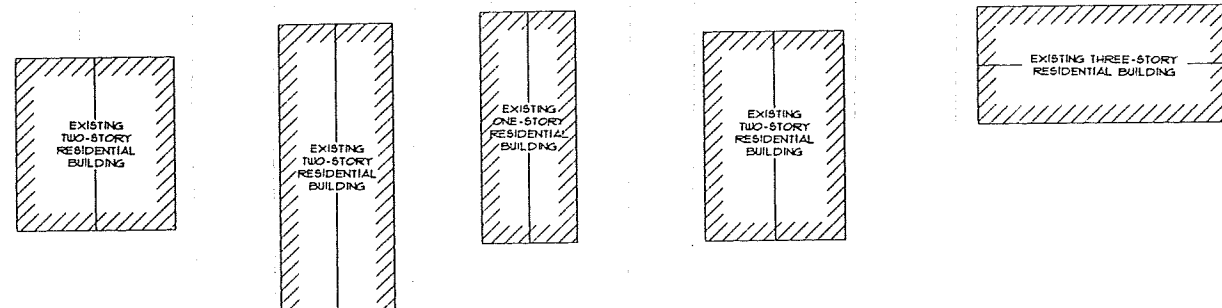
9.18.15

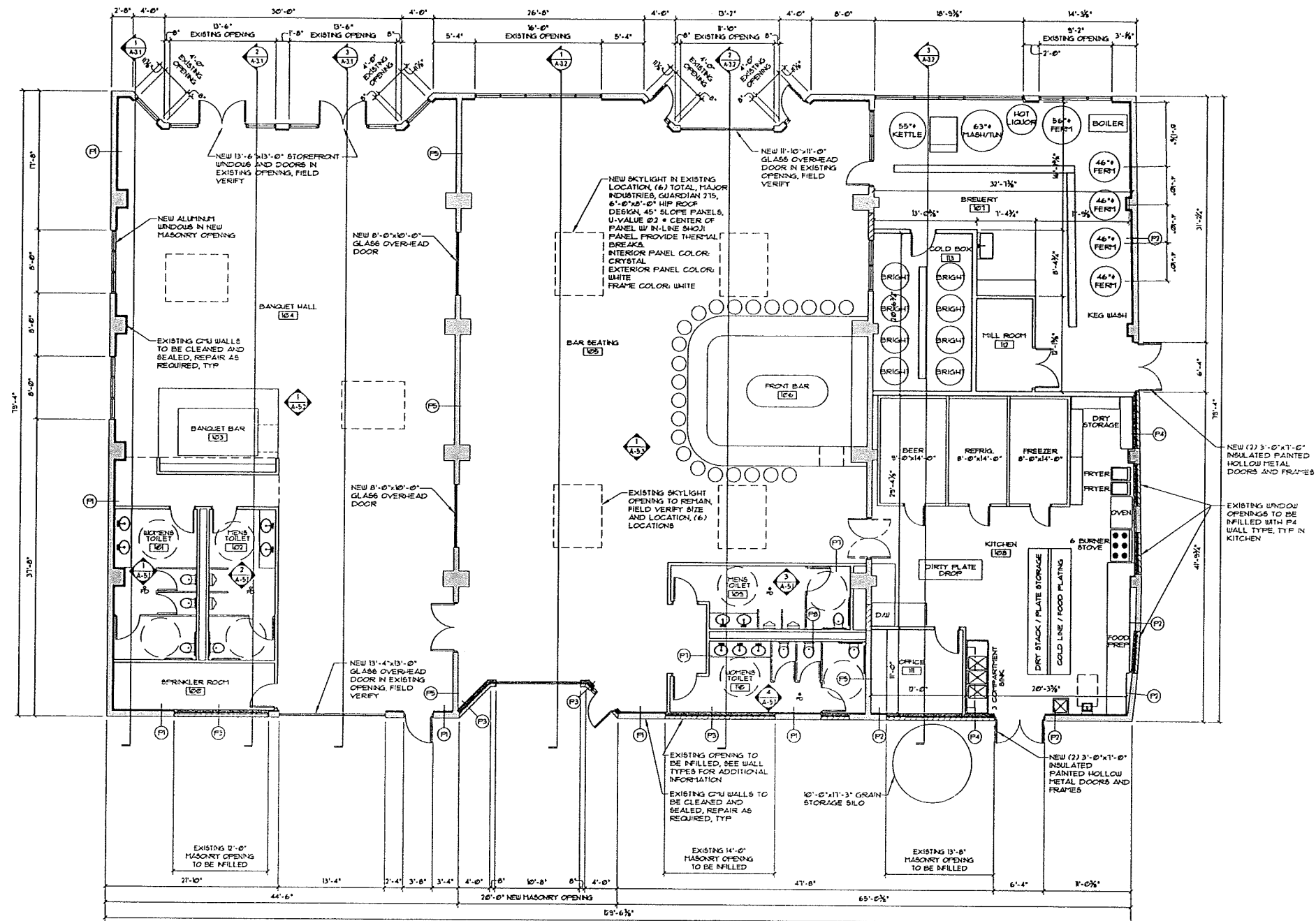
1 PHOTOMETRIC PLAN  
C-1.3 SCALE: 1" = 20' - 0" NORTH



## PLANTING SCHEDULE AND LEGEND

| Key                                                           | Botanical Name                                                    | Common Name                    | Qty | Planting Size | Root Spec | Spacing  | Comments                 |
|---------------------------------------------------------------|-------------------------------------------------------------------|--------------------------------|-----|---------------|-----------|----------|--------------------------|
| <b>Deciduous Trees</b>                                        |                                                                   |                                |     |               |           |          |                          |
| AGA                                                           | Ampelocler grand 'Autumn Brilliance'                              | Autumn Brilliance Serviceberry | 2   | 6-8' Ht       | B&B       | As shown | Multi-stem               |
| CV                                                            | Chionanthus virginicus                                            | White Fringe Tree              | 1   | 6-8' Ht       | B&B       | As shown | Multi-stem               |
| GTS                                                           | Gleditsia triacanthos 'Skyline'                                   | Skyline Honeylocust            | 1   | 2 1/2" cal    | B&B       | As shown | Straight leader          |
| QXS                                                           | Quercus x Schuettei                                               | Schuettei Oak                  | 2   | 2 1/2" cal    | B&B       | As shown | Straight leader, matched |
| TC                                                            | Tilia cordata 'June Bride'                                        | June Bride Littleleaf Linden   | 1   | 2 1/2" cal    | B&B       | As shown | Straight leader          |
| <b>Deciduous Shrubs</b>                                       |                                                                   |                                |     |               |           |          |                          |
| CFV                                                           | Calycanthus floridus 'Venus'                                      | Venus Carolina Allspice        | 11  | 24" HT/3 Gal  | Cont      | As shown | Full plants, matched     |
| POD                                                           | Physocarpus opulifolius 'Dona May'                                | Little Devil Ninebark          | 31  | 24" HT/3 Gal  | Cont      | As shown | Full plants              |
| VC                                                            | Viburnum carlesii                                                 | Koreanspice Viburnum           | 3   | 18" HT/3 Gal  | Cont      | As shown | Full plants, matched     |
| <b>Evergreens</b>                                             |                                                                   |                                |     |               |           |          |                          |
| IGC                                                           | Ilex glabra 'Compacta'                                            | Compact Inkberry               | 18  | 24" HT/3 Gal  | Cont      | As shown | Full plants, matched     |
| TPS                                                           | Thuja plicata 'Spring Grove'                                      | Spring Grove Arborvitae        | 2   | 4' HT         | B&B       | As shown | Full plants              |
| <b>Perennials, Ornamental Grasses, Vines and Groundcovers</b> |                                                                   |                                |     |               |           |          |                          |
| cald                                                          | Calamagrostis acutiflora 'Karl Foerster'                          | Karl Foerster Reed Grass       | 15  | 1 Gal         | Cont      | As shown | Full plants, matched     |
| prv                                                           | Panicum virgatum 'Shenandoah'                                     | Shenandoah Switchgrass         | 12  | 1 Gal         | Cont      | As shown | Full plants, matched     |
| sh                                                            | Sporobolus heterolepis                                            | Prairie Dropseed               | 85  | 1 Gal         | Cont      | As shown | Full plants, matched     |
| <b>Non-Plant Groundlayer Treatment</b>                        |                                                                   |                                |     |               |           |          |                          |
| sh                                                            | Shredded Bark Mulch Shredded Natural Cypress at all planting beds |                                |     |               |           |          |                          |

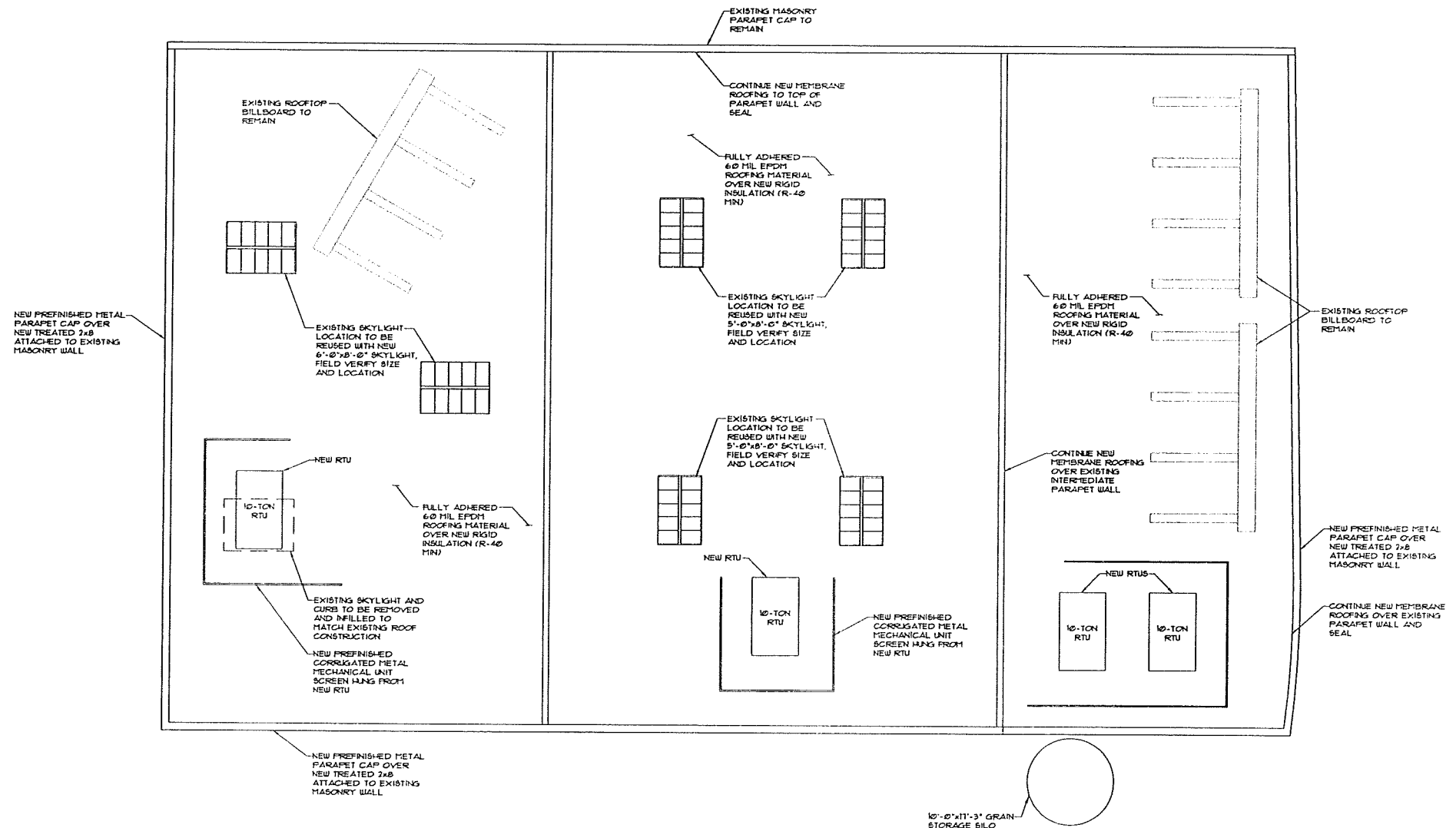




**1 PROPOSED BREW PUB FLOOR PLAN**  
A-1.1 SCALE: 1/8" = 1' - 0"

NOTES:  
1. ALL DIMENSIONS ARE FROM FACE OF CMU BLOCK OR FACE OF STUD, UNLESS NOTED OTHERWISE.  
2. SEE A-6J FOR ADDITIONAL WALL TYPE INFORMATION.



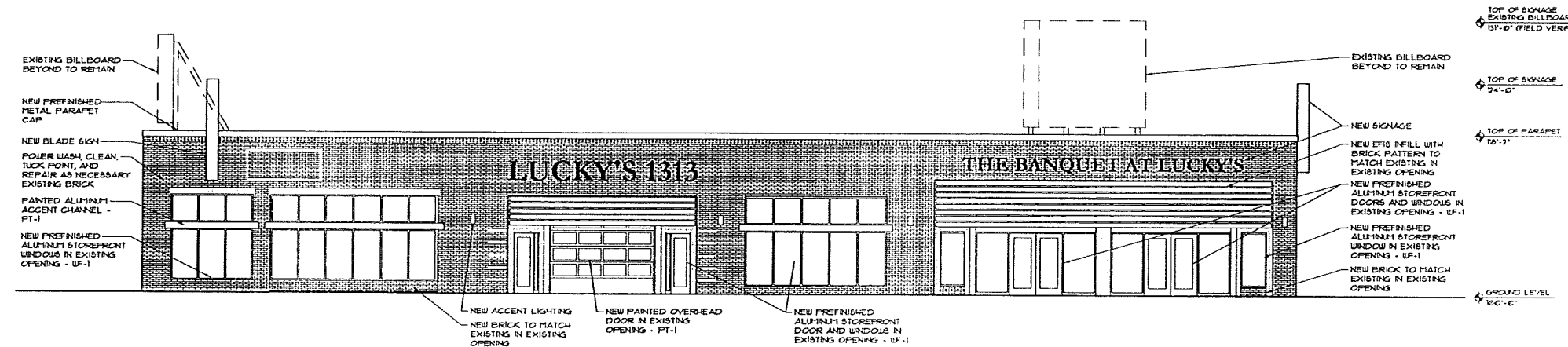


**1** PROPOSED ROOF PLAN  
A-12 SCALE: 1/8" = 1' - 0"  
NOTE: NORTH

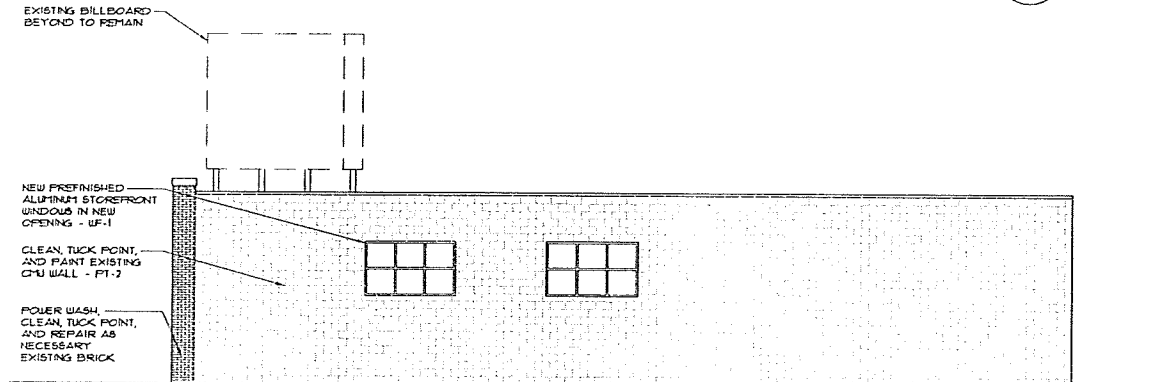


# EXTERIOR FINISH MATERIAL SCHEDULE

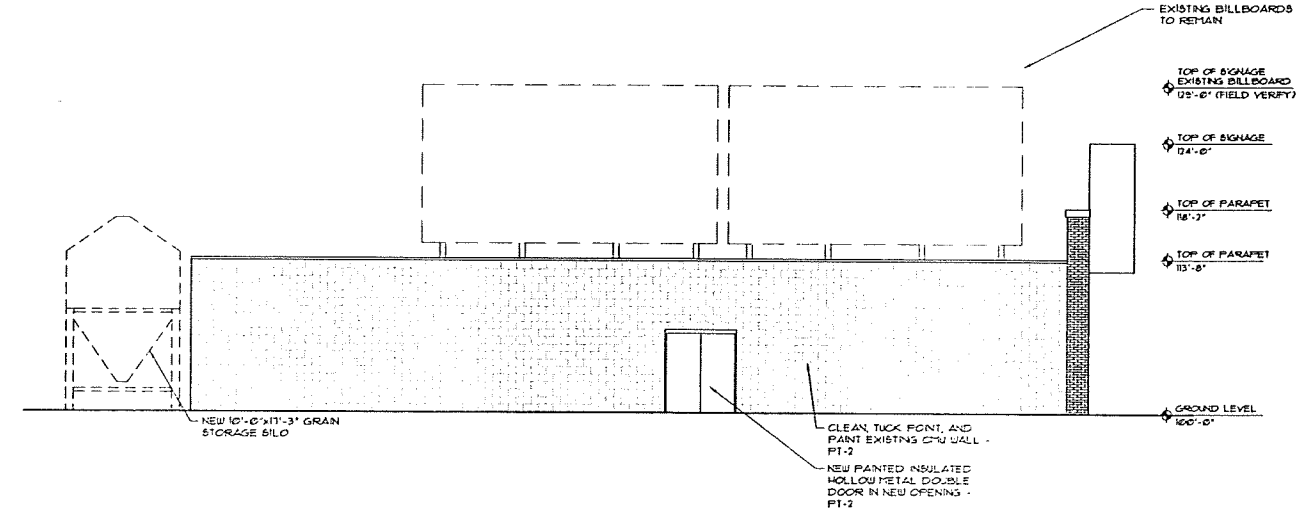
| TAG  | MANUFACTURER     | PRODUCT NUMBER | COLOR                | DESCRIPTION/REMARKS                                                    |
|------|------------------|----------------|----------------------|------------------------------------------------------------------------|
| PT-1 | SHERWIN WILLIAMS | 90W 6066       | HEARTHROB            | ALUMINUM ACCENTS AND OVERHEAD DOORS                                    |
| PT-2 | SHERWIN WILLIAMS | 90W 6060       | UTTERLY BEIGE        | NEW AND EXISTING EXTERIOR CMU WALLS                                    |
| CT-1 | --               | --             | PAC-CLAD "SANDSTONE" | PREFINISHED METAL CAP FLASHING AT MASONRY                              |
| UF-1 | --               | --             | BLACK ANODIZED       | THERMALLY BROKEN ALUMINUM WINDOWS AND DOORS WITH INSULATED LOW-E GLASS |



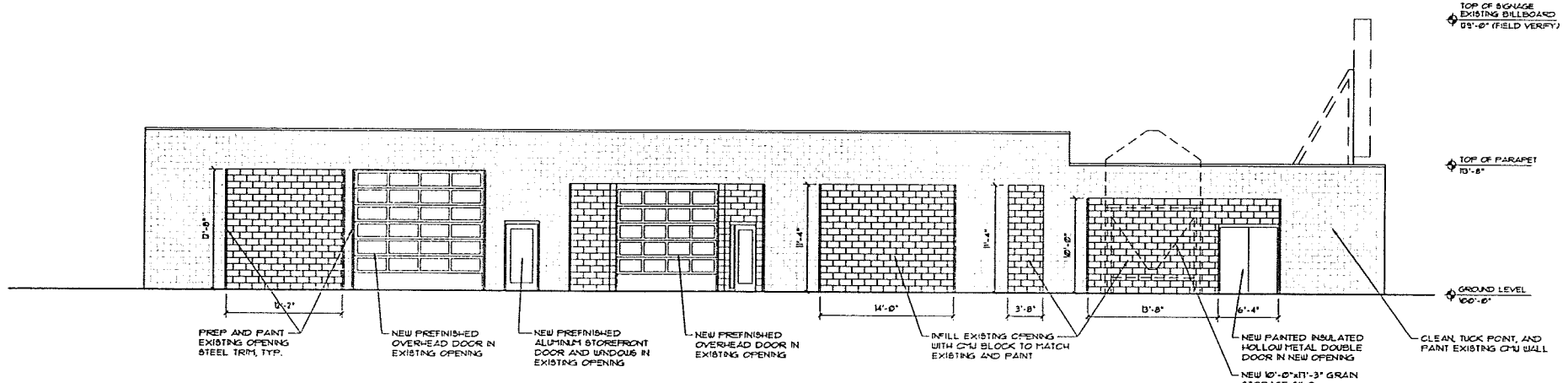
1 NORTH ELEVATION  
A-2.1 SCALE: 1/8" = 1' - 0"



2 WEST ELEVATION  
A-2.1 SCALE: 1/8" = 1' - 0"



3 EAST ELEVATION  
A-2.1 SCALE: 1/8" = 1' - 0"



3 SOUTH ELEVATION  
A-2.1 SCALE: 1/8" = 1' - 0"



612 WEST MAIN STREET  
MADISON, WI 53703  
608-257-1090  
FAX 608-257-1092

REV DATE

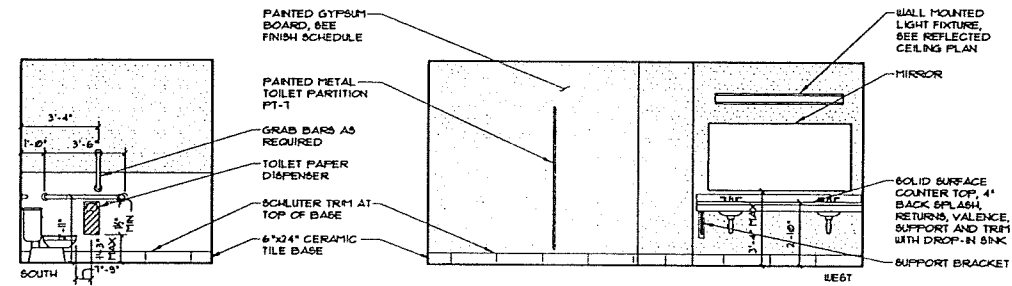
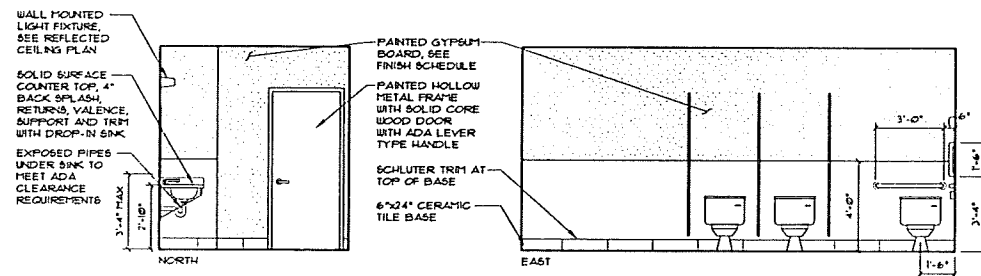
COPYRIGHTED DRAWING  
2021, TJK Design Build, Inc. ALL RIGHTS RESERVED. WITHIN THIS DOCUMENT FOR THE INFORMATION HEREIN MAY BE REPRODUCED, TRANSMITTED, USED OR DISCLOSED, IN WHOLE OR IN PART, WITHOUT EXPRESSLY AUTHORIZED WRITING BY TJK Design Build, Inc.

PROPOSED FACILITY FOR:  
REGENT STREET DEVELOPMENT

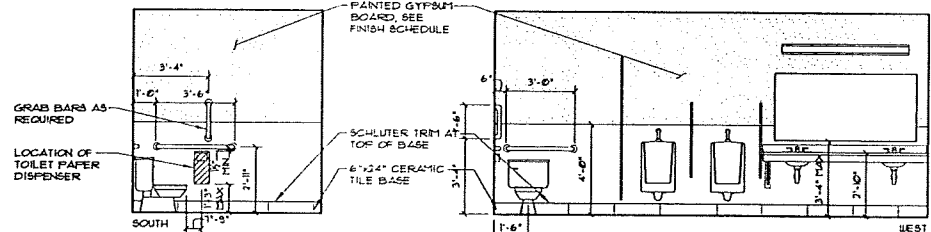
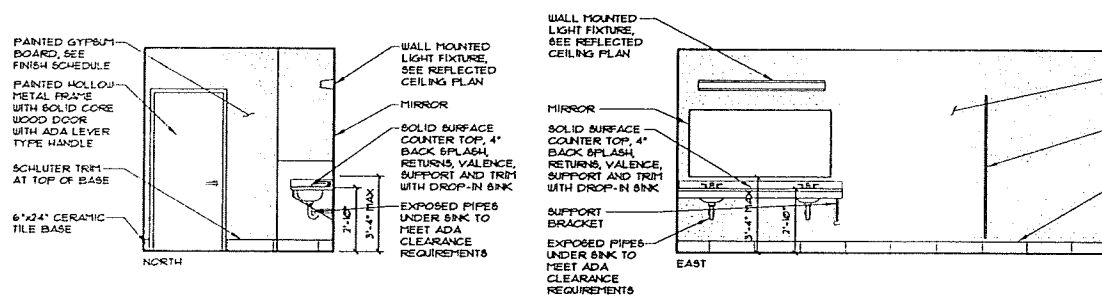
1313 REGENT STREET  
MADISON, WI

A-2.1

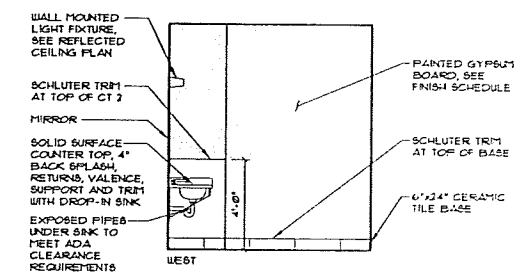
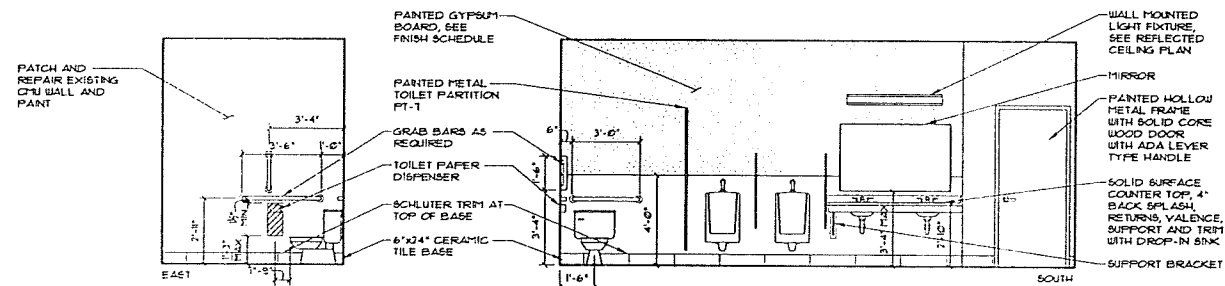
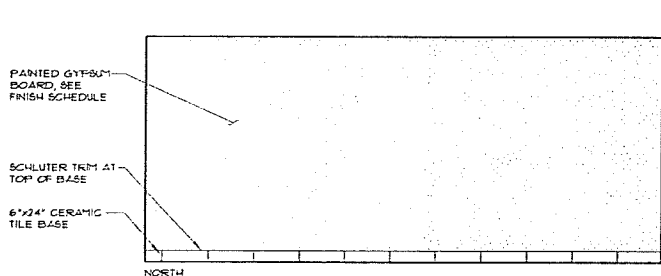
9.18.15



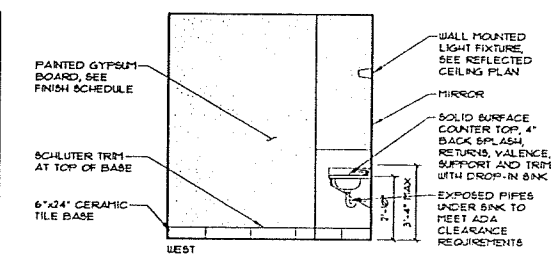
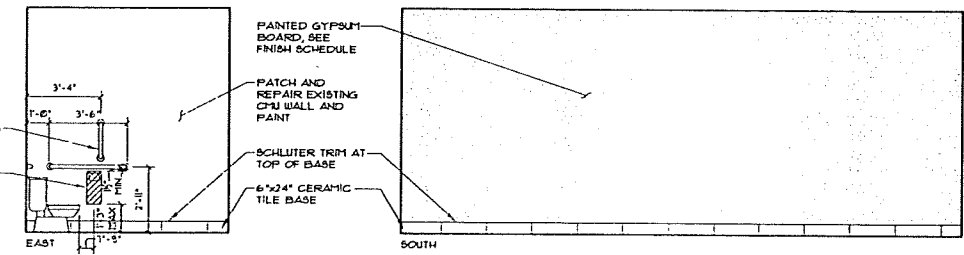
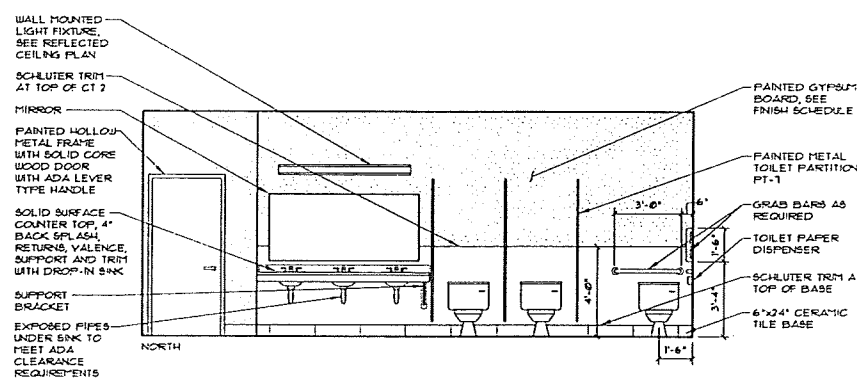
**1 INTERIOR ELEVATIONS ROOM 101 - WOMENS TOILET**  
A-5.1 SCALE: 1/4" = 1' - 0"



**2 INTERIOR ELEVATIONS ROOM 102 - MENS TOILET**  
A-5.1 SCALE: 1/4" = 1' - 0"



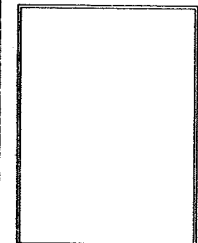
**3 INTERIOR ELEVATIONS ROOM 103 - MENS TOILET**  
A-5.1 SCALE: 1/4" = 1' - 0"



**4 INTERIOR ELEVATIONS ROOM 110 - WOMENS TOILET**  
A-5.1 SCALE: 1/4" = 1' - 0"

| REV | DATE |
|-----|------|
|     |      |

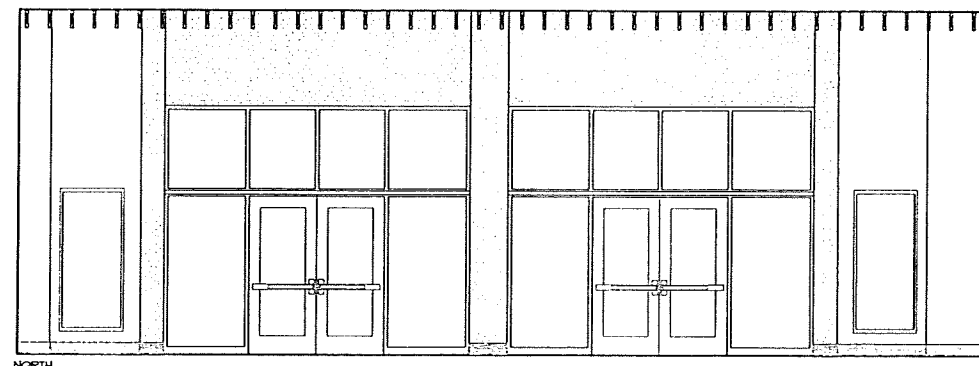
**COPYRIGHTED DRAWING**  
©2013, TJK Design LLC, Inc. ALL RIGHTS RESERVED. NEITHER THIS DOCUMENT NOR THE INFORMATION HEREIN MAY BE REPRODUCED, RETRANSMITTED, USED OR DISCLOSED, IN WHOLE OR IN PART, UNLESS EXPRESSLY AUTHORIZED BY TJK Design LLC, Inc.



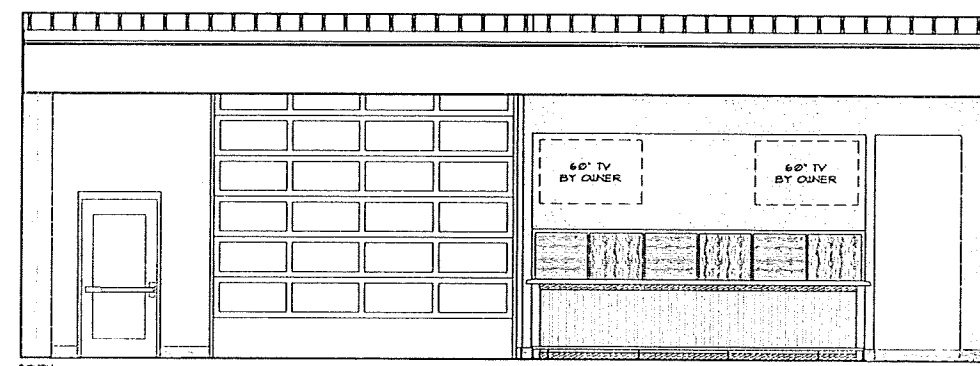
**PROPOSED FACILITY FOR:**  
**REGENT STREET DEVELOPMENT**  
1313 REGENT STREET  
MADISON, WI

**A-5.2**

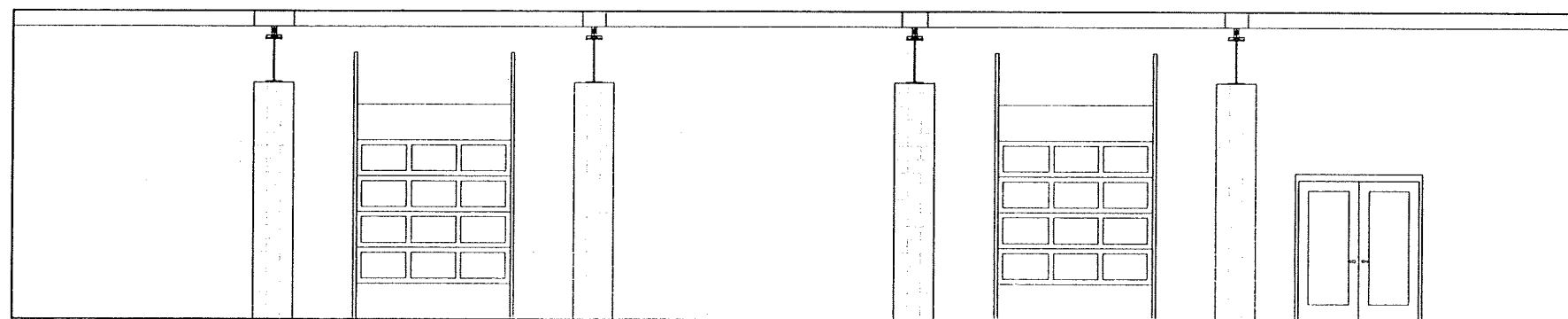
9.18.15



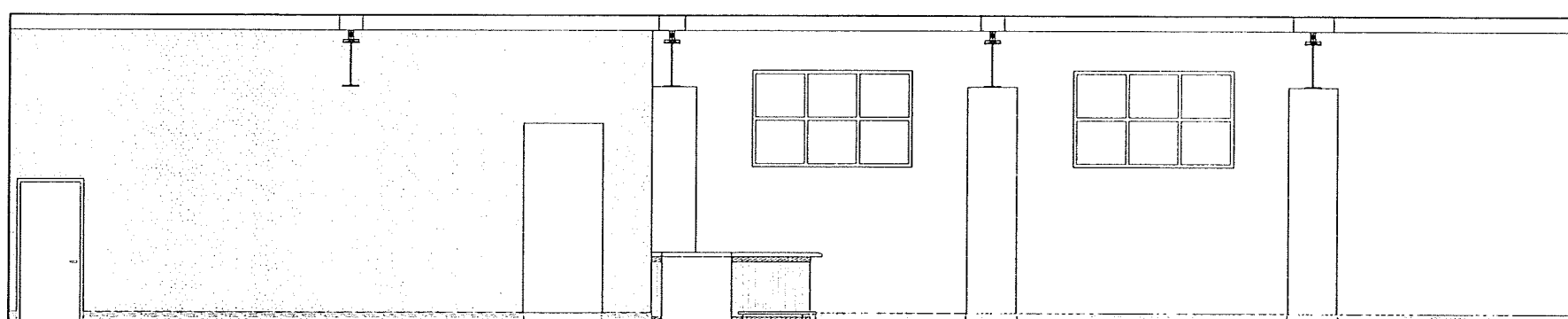
NORTH



SOUTH

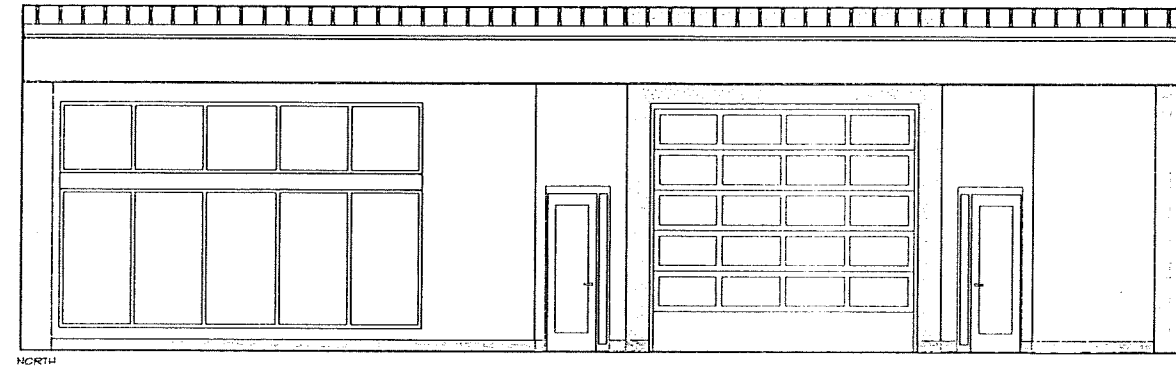


EAST

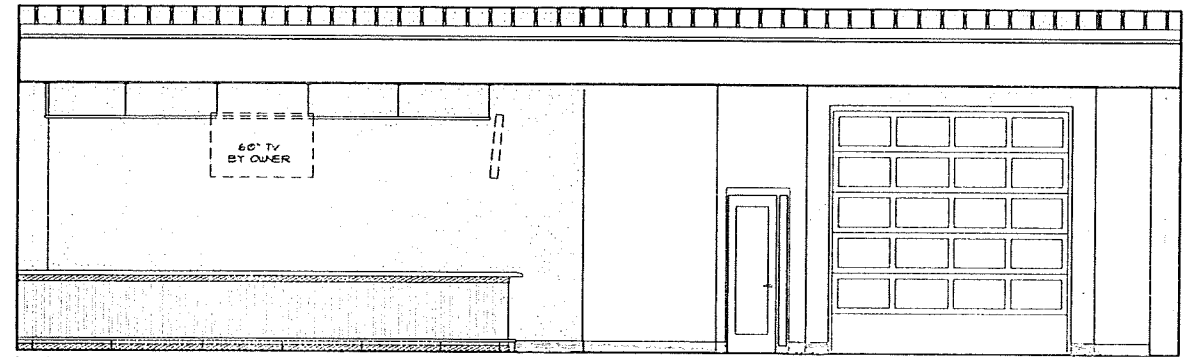


WEST

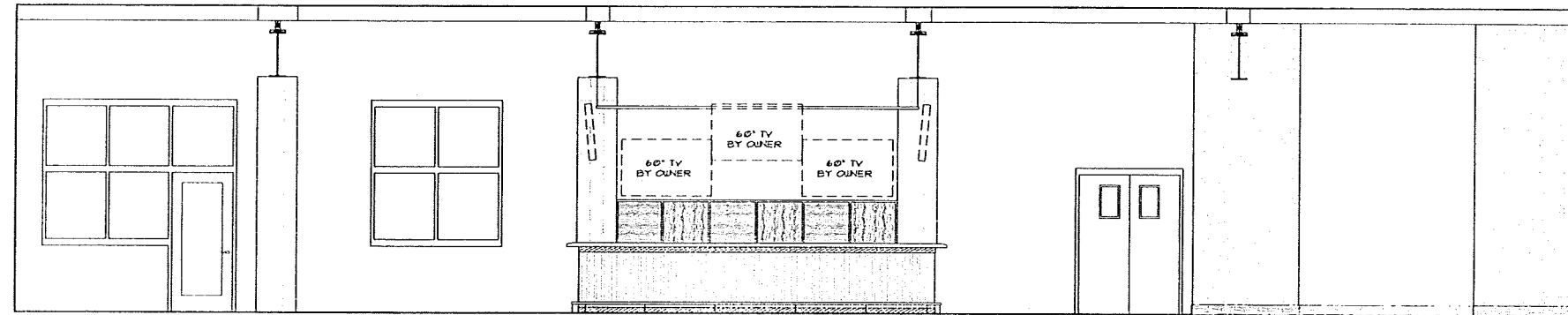
**1** INTERIOR ELEVATIONS ROOM 104 - BANQUET HALL  
A-5.2 SCALE: 1/4" = 1' - 0"



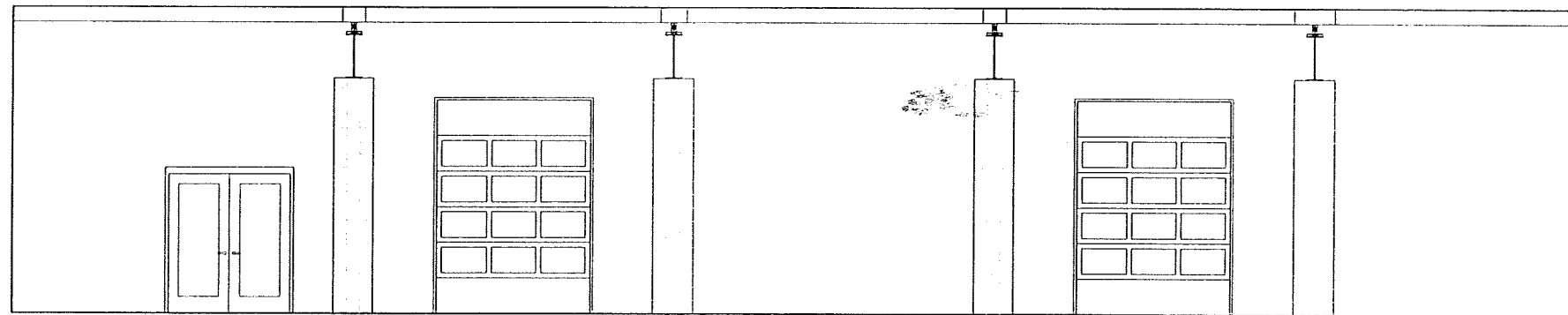
NORTH



SOUTH



EAST



WEST

1 INTERIOR ELEVATIONS ROOM 105 - BAR SEATING  
A-5.3 SCALE: 1/4" = 1' - 0"

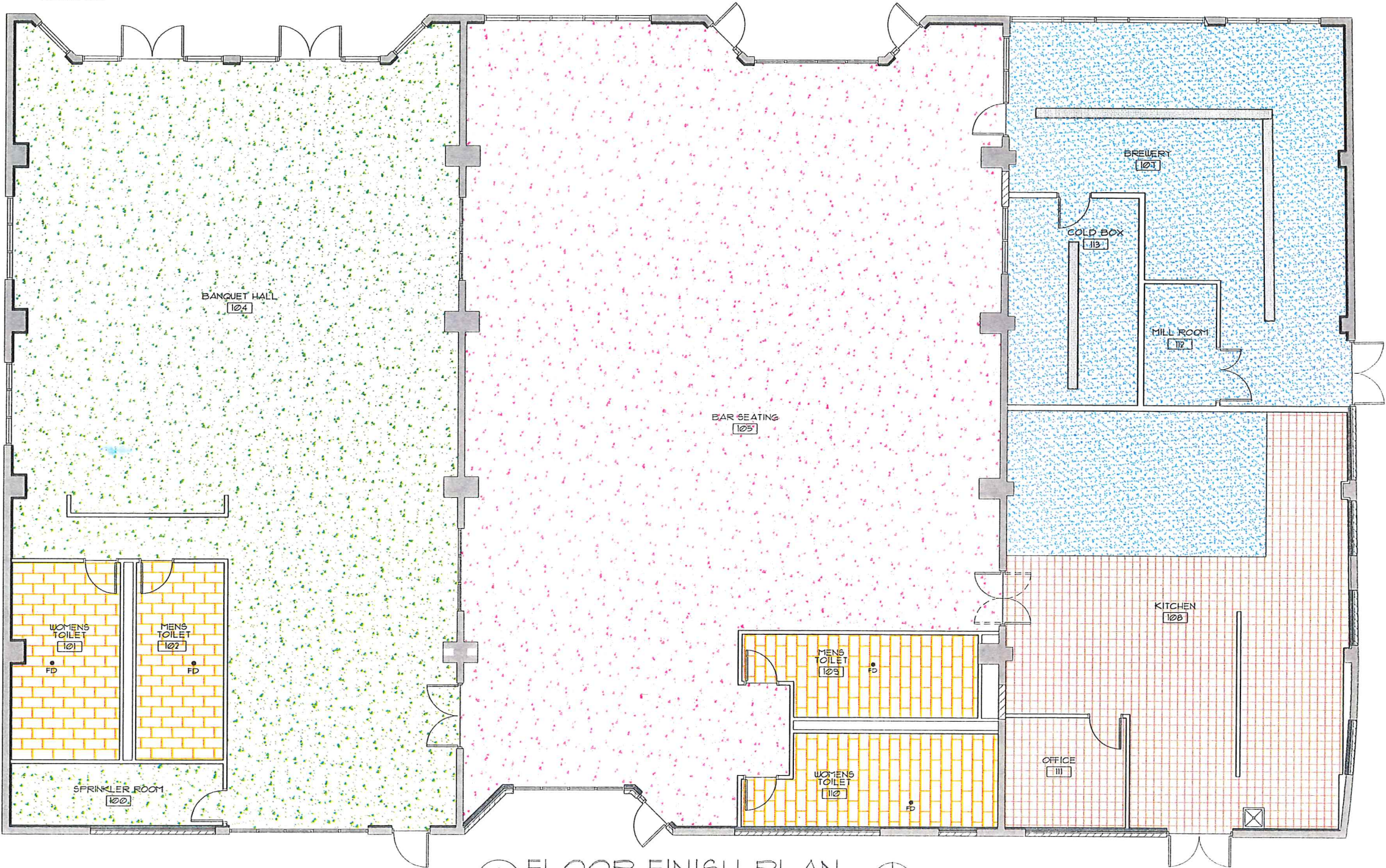


| ROOM FINISH SCHEDULE |                |       |       |             |       |      |      |         |         |
|----------------------|----------------|-------|-------|-------------|-------|------|------|---------|---------|
| MARK                 | ROOM NAME      | FLOOR | BASE  | WALL FINISH |       |      |      | CEILING | REMARKS |
|                      |                |       |       | NORTH       | SOUTH | EAST | WEST |         |         |
| 100                  | SPRINKLER ROOM | CT    | 4" UB | PT-2        | PT-2  | PT-2 | PT-2 | PT-1    |         |
| 101                  | WOMENS TOILET  | CT    | 4" UB | PT-3        | PT-2  | PT-2 | PT-2 | PT-1    |         |
| 102                  | MENS TOILET    | VCT-3 | 4" UB | PT-3        | PT-3  | PT-3 | PT-3 | PT-1    |         |
| 103                  | BANQUET BAR    | VCT-1 | 4" UB | PT-3        | PT-3  | PT-3 | PT-3 | PT-1    |         |
| 104                  | BANQUET HALL   | VCT-3 | 4" UB | PT-3        | PT-3  | PT-3 | PT-3 | PT-1    |         |
| 105                  | BAR SEATING    | VCT-3 | 4" UB | PT-3        | PT-3  | PT-3 | PT-3 | PT-1    |         |
| 106                  | FRONT BAR      | VCT-3 | 4" UB | PT-3        | PT-3  | PT-3 | PT-3 | PT-1    |         |
| 107                  | BREWERY        | VCT-3 | 4" UB | PT-3        | PT-3  | PT-3 | PT-3 | PT-1    |         |
| 108                  | KITCHEN        | VCT-3 | 4" UB | PT-3        | PT-3  | PT-3 | PT-3 | PT-1    |         |
| 109                  | MENS TOILET    | VCT-3 | 4" UB | PT-3        | PT-3  | PT-3 | PT-3 | PT-1    |         |
| 110                  | WOMENS TOILET  | CT    | 6" CT | PT-4        | PT-4  | PT-4 | PT-4 | PT-1    |         |
| 111                  | OFFICE         | VCT-1 | 4" UB | PT-3        | PT-3  | PT-3 | PT-3 | PT-1    |         |
| 112                  | MILL ROOM      | VCT-3 | 4" UB | PT-3        | PT-3  | PT-3 | PT-3 | PT-1    |         |
| 113                  | COLD BOX       | VCT-3 | 4" UB | PT-3        | PT-3  | PT-3 | PT-3 | PT-1    |         |
| 114                  | --             |       |       |             |       |      |      |         |         |

GENERAL ROOM FINISH NOTES:  
CT - CERAMIC TILE  
CPT - DIRECT GLUE CARPET  
PT - PAINT COLOR  
VCT - VINYL COMPOSITION TILE  
UB - WOOD BASE

| FLOOR FINISH MATERIAL LIST |                                            |                                                                                  |  |
|----------------------------|--------------------------------------------|----------------------------------------------------------------------------------|--|
| FLOOR                      | NEW SEALED CONCRETE (SC)                   | MANUFACTURER: --<br>STYLE: --<br>COLOR: --                                       |  |
|                            | NEW GROUND AND SEALED CONCRETE (GSC)       | MANUFACTURER: --<br>STYLE: --<br>COLOR: --                                       |  |
|                            | EXISTING CONCRETE GROUND AND SEALED (EGSC) | MANUFACTURER: --<br>STYLE: --<br>COLOR: --                                       |  |
|                            | CERAMIC TILE (CT-1)                        | MANUFACTURER: RIVERSLAB PORCELAIN<br>STYLE: TRENDS 12"x24"<br>COLOR: "SULLYBUSH" |  |
|                            | CERAMIC TILE (CT-2)                        | MANUFACTURER: DALTILE<br>STYLE: QUARRY TILE 6"x6"<br>COLOR: "..."                |  |

| WALL AND BAR FINISH MATERIAL LIST |      |                                                                  |
|-----------------------------------|------|------------------------------------------------------------------|
| CEILING/WALL FINISH               |      |                                                                  |
|                                   | PT-1 | MANUFACTURER: SHERWIN WILLIAMS<br>COLOR: "HEARTHROS" #506666     |
|                                   | PT-2 | MANUFACTURER: SHERWIN WILLIAMS<br>COLOR: "TRICORN BLAZZ" #506258 |
|                                   | PT-3 | MANUFACTURER: SHERWIN WILLIAMS<br>COLOR: "LAZY GRAY" #506254     |
|                                   | PT-4 | MANUFACTURER: SHERWIN WILLIAMS<br>COLOR: "SERIOUS GRAY" #506256  |
|                                   | PT-5 | MANUFACTURER: SHERWIN WILLIAMS<br>COLOR: "OLYMPUS WHITE" #506253 |
|                                   | PT-6 | MANUFACTURER: SHERWIN WILLIAMS<br>COLOR: CEILING WHITE           |
| WALL BASE                         | UB   | TYPE: 4" SQUARE EDGE PAINT GRADE<br>COLOR: PT-3                  |
|                                   | VCT  | TYPE: 6" VINYL BASE<br>COLOR: CHARCOAL                           |
| WOOD VENEER (OAK)                 | WV-1 | MANUFACTURER: MINWAX<br>COLOR: "RIVER STONE"                     |
|                                   | WV-2 | MANUFACTURER: MINWAX<br>COLOR: "CHARCOAL GREY"                   |
| SOLID SURFACE                     | SS-1 | MANUFACTURER: SILESTONE<br>COLOR: "EROS STELLAR"                 |
|                                   | SS-2 | MANUFACTURER: SILESTONE<br>COLOR: "WHITE DIAMOND"                |



1 FLOOR FINISH PLAN  
A-7.1 SCALE: 3/16" = 1' - 0"  
NOTES:



612 WEST MAIN STREET  
MADISON, WI 53703  
608-257-1090  
FAX 608-257-1092

REV DATE

COPYRIGHTED DRAWING  
© 2011, TJK Design Build, Inc. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT NOR THE INFORMATION HEREIN MAY BE REPRODUCED, DISTRIBUTED, USED OR DISCLOSED, IN WHOLE OR IN PART, UNLESS EXPRESSLY AUTHORIZED BY TJK Design Build, Inc.

PROPOSED FACILITY FOR:  
REGENT STREET DEVELOPMENT  
1313 REGENT STREET  
MADISON, WI

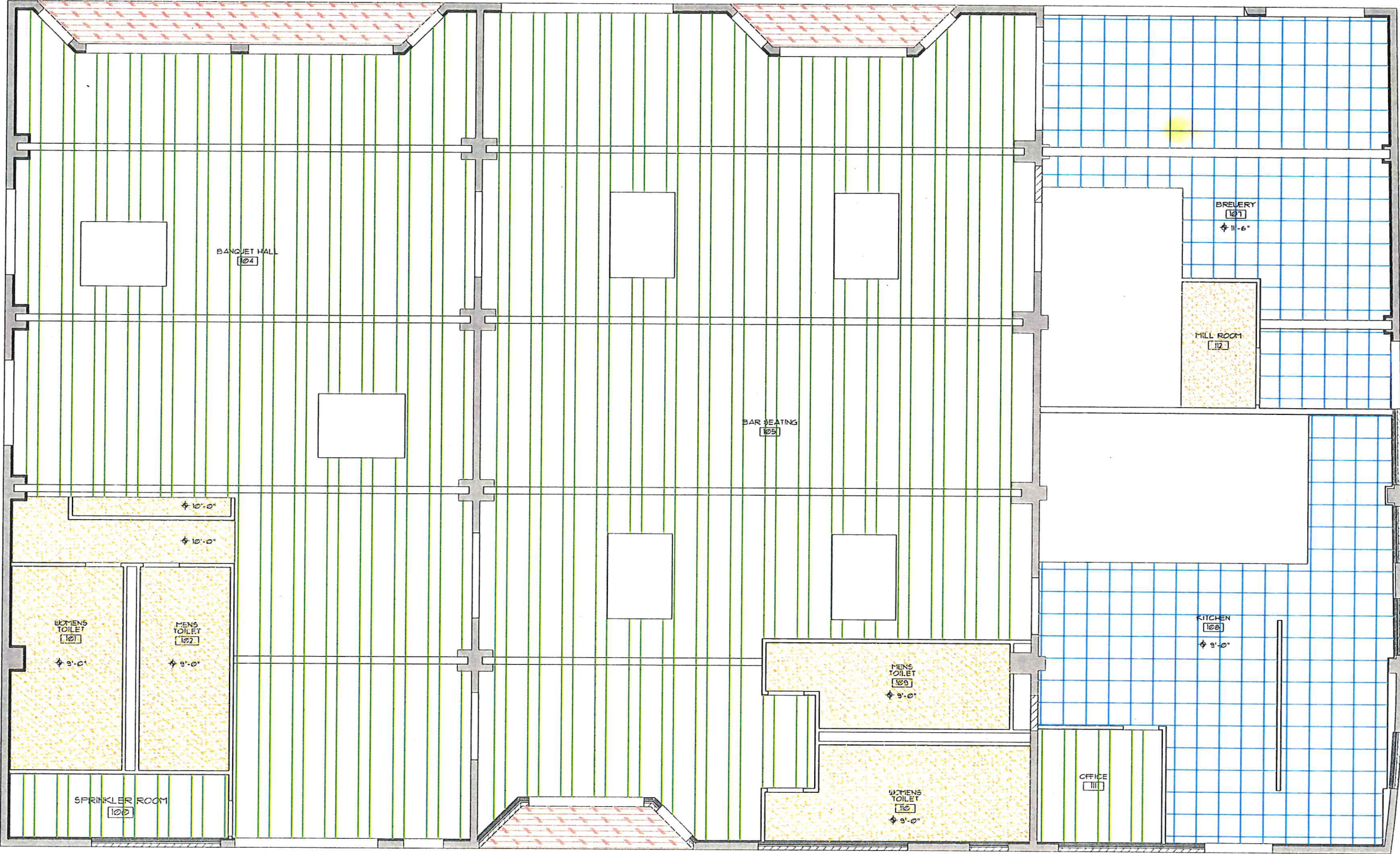
A-7.1  
9.18.15



| CEILING FINISH MATERIAL LIST |                                     |                                                            |  |
|------------------------------|-------------------------------------|------------------------------------------------------------|--|
| CEILING                      | PAINTED EXISTING STRUCTURE          | MANUFACTURER: SHERWIN WILLIAMS<br>STYLE: --<br>COLOR: PT-4 |  |
|                              | PAINTED GYPSUM BOARD CEILING        | MANUFACTURER: SHERWIN WILLIAMS<br>STYLE: --<br>COLOR: PT-6 |  |
|                              | SUSPENDED VINYL COATED GYPSUM BOARD | MANUFACTURER: --<br>STYLE: --<br>COLOR: --                 |  |
|                              | TBD                                 | MANUFACTURER: --<br>STYLE: --<br>COLOR: --                 |  |

| LIGHT FIXTURE KEY |                                                                                                                      |
|-------------------|----------------------------------------------------------------------------------------------------------------------|
|                   | 2'-0"x4'-0" FLUORESCENT PARABOLIC LIGHT FIXTURE<br>MOUNTING HEIGHT = CEILING HEIGHT                                  |
|                   | COOPER LIGHTING, METALUX WALL BRACKET<br>CATALOG # BA-220-D0V-U<br>MOUNTING HEIGHT = 7'-2"                           |
|                   | COOPER LIGHTING, HALO RECESSED 6" LED<br>CATALOG # HL10P071CATD00-494P06<br>MOUNTING HEIGHT = CEILING HEIGHT         |
|                   | COOPER LIGHTING, CORELITE STELLAR 12" SUSPENDED<br>CATALOG # 84-LB-41B-1C-100-AC100-51-8<br>MOUNTING HEIGHT = 11'-0" |
|                   | RKD, 2'-0"x4'-0" FLUORESCENT HIGH BAY LIGHT FIXTURE                                                                  |
|                   | COOPER LIGHTING, PORTFOLIO CEILING MOUNT 6" LED<br>CATALOG # LCR6                                                    |
|                   | COOPER LIGHTING, HALO LED TRACK LIGHTING<br>CATALOG # HL10P071CATD00-494P06                                          |

GENERAL NOTES:  
CEILING CONTRACTOR SHALL PROVIDE WIRE HANGERS WITH A MIN OF 12 GA, GALVANIZED, SOFT ANNEALED, MILD STEEL WIRE



1 REFLECTED CEILING FINISH PLAN  
A-7.2 SCALE: 3/16" = 1' - 0"  
NOTES:  
NORTH

| REV | DATE |
|-----|------|
|     |      |

COPYRIGHTED DRAWING  
© 2011, TJK Design Build, Inc. ALL RIGHTS RESERVED. NEITHER THIS DOCUMENT NOR THE INFORMATION HEREIN MAY BE REPRODUCED, DISTRIBUTED, USED OR DISCLOSED, IN WHOLE OR IN PART, UNLESS EXPRESSLY AUTHORIZED IN WRITING BY TJK Design Build, Inc.

PROPOSED FACILITY FOR:  
REGENT STREET DEVELOPMENT  
1313 REGENT STREET  
MADISON, WI

A-7.2  
9.18.15

TJK  
DESIGN BUILD  
612 WEST MAIN STREET  
MADISON, WI 53703  
608-257-1090  
FAX 608-257-1092