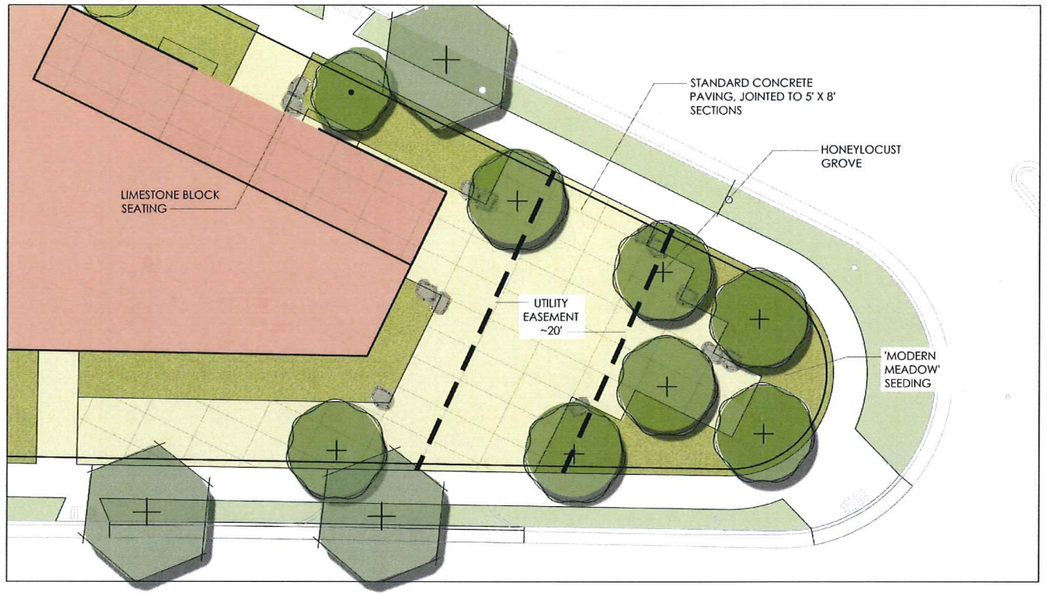
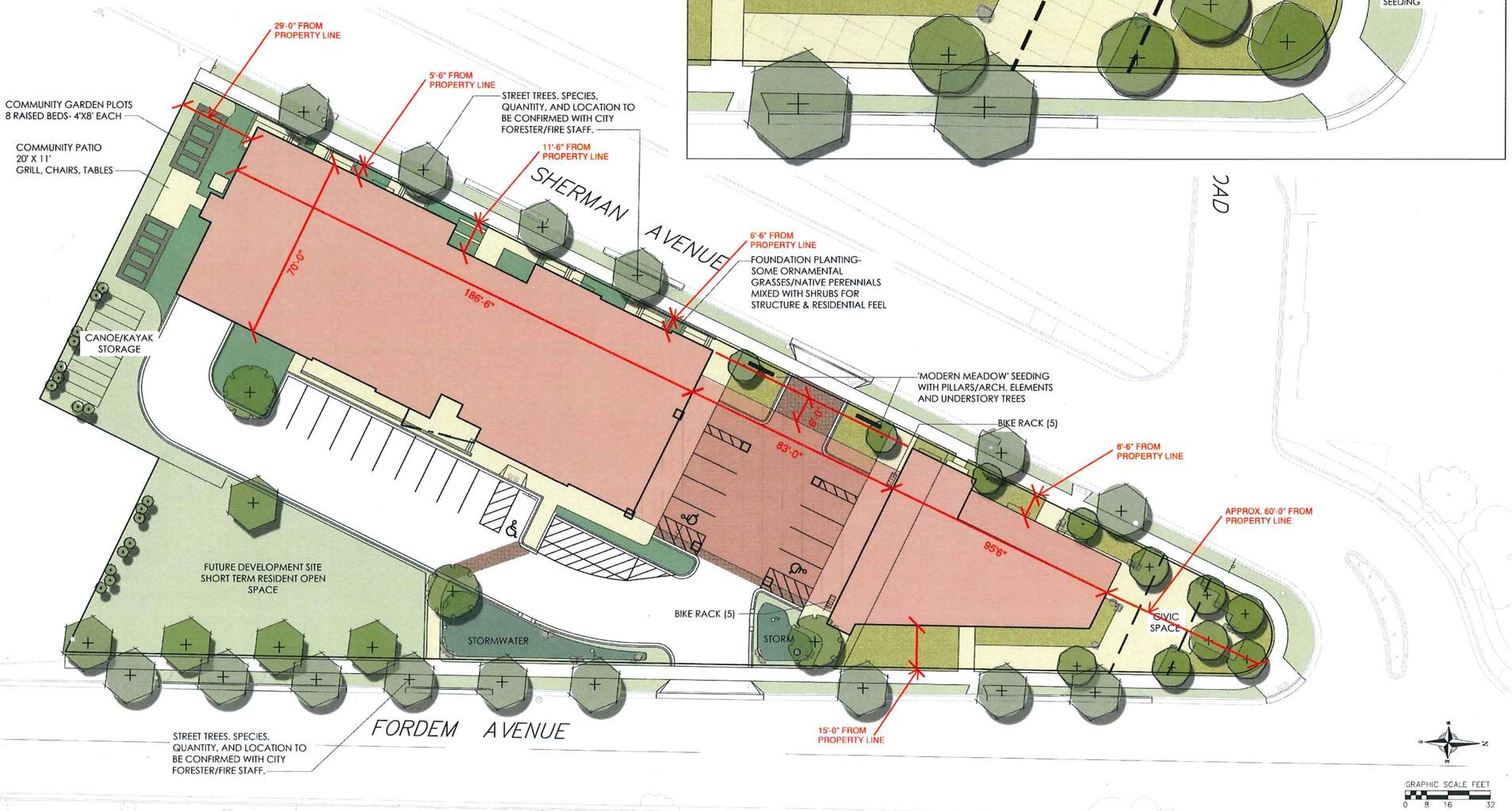
1 CIVIC SPACE DETAIL

GRAPHIC SCALE, FEET
0 4 8 16





vierbicher
planners | engineers | advisors

RETTEBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

Site Plan/Conceptual Landscape Plan
McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS NO.	DATE	REMARKS

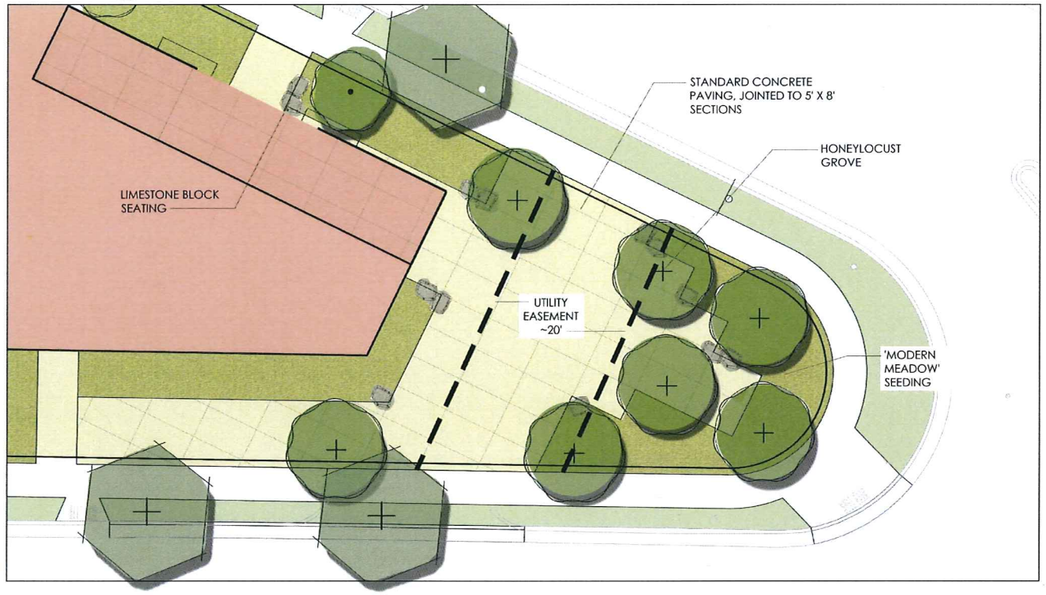
REVISIONS NO.	DATE	REMARKS

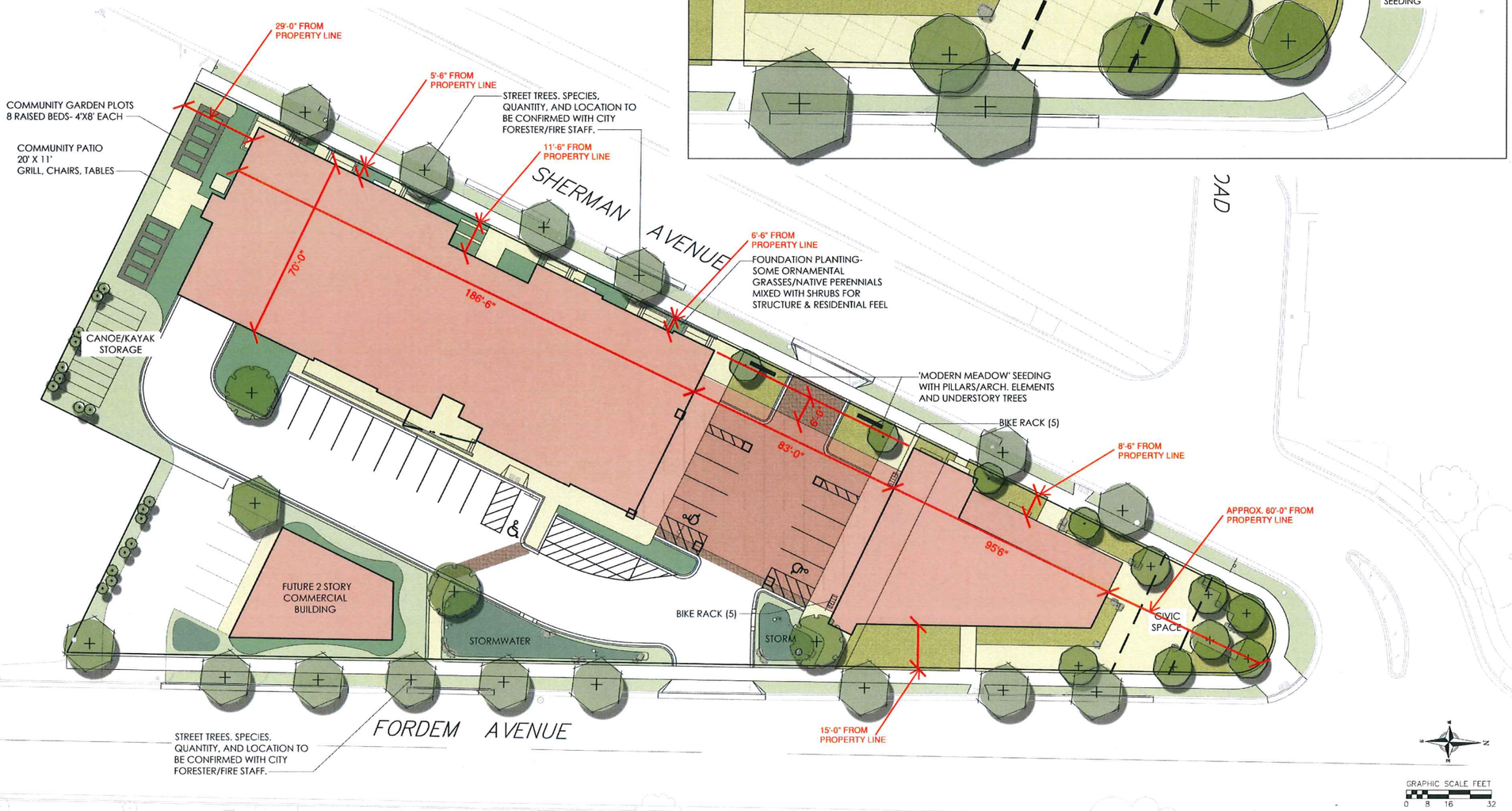
SCALE: AS SHOWN
DATE: 9/9/2015
DRAFTER: SWN
CHECKED: MSCH
PROJECT NO.: 150109.00

L
1

1 CIVIC SPACE DETAIL

GRAPHIC SCALE FEET
0 4 8 16





vierbicher
planners | engineers | advisors
KEEDSBURG - MADISON - PRAIRIE DU CHIEN
www.vierbicher.com
Phone: (608) 826-0532 Fax: (608) 826-0530

Site Plan/Conceptual Landscape Plan
McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS			
NO.	DATE	REMARKS	
NO.	DATE	REMARKS	

SCALE: AS SHOWN
DATE: 9/9/2015
DRAFTER: SWN
CHECKED: MSCH
PROJECT NO.: 150109.00

L
1

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING MAILBOX
- EXISTING MONITORING WELL
- EXISTING POST
- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET
- EXISTING ROOF DRAIN CLEANOUT
- EXISTING STORM MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY MANHOLE
- EXISTING SEPTIC VENT
- EXISTING FIRE HYDRANT
- EXISTING STANDPIPE
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING WELL
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING GUY POLE
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING UTILITY POLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND CABLE TV
- EXISTING OVERHEAD CABLE TV
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD TELEPHONE LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING GUY LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING EDGE OF TREES
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING WETLAND DELINEATION
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED POROUS PAVEMENT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

ABBREVIATIONS

TC - TOP OF CURB
FF - FINISHED FLOOR
FL - FLOW LINE
SW - TOP OF WALK
TW - TOP OF WALL
BW - BOTTOM OF WALL

SURVEY LEGEND

- BENCHMARK
- FOUND CHISELED "X"
- PUBLIC LAND CORNER AS NOTED
- FOUND NAIL
- FOUND 1" ø IRON PIPE
- FOUND 2" ø IRON PIPE
- FOUND P.K. NAIL
- FOUND 1 1/4" ø IRON ROD
- FOUND 3/4" ø IRON ROD
- FOUND RAILROAD SPIKE
- SET CHISELED "X"
- SET NAIL
- SET P.K. NAIL
- SET 1 1/4" ø IRON ROD
- SET 3/4" ø IRON ROD
- SET RAILROAD SPIKE
- GENERAL CONTROL POINT

GRADING LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS (820)
- PROPOSED MINOR CONTOURS (818)
- DITCH CENTERLINE
- SILT FENCE
- DISTURBED LIMITS
- BERM
- DRAINAGE DIRECTION
- PROPOSED SLOPE ARROWS (2.92%)
- EXISTING SPOT ELEVATIONS (1048.61)
- PROPOSED SPOT ELEVATIONS (1048.61)
- STONE WEEPER
- VELOCITY CHECK
- INLET PROTECTION
- EROSION MAT CLASS_____
- EROSION MAT CLASS_____
- TRACKING PAD
- RIP RAP

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER PIPE (FORCE MAIN)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE

ABBREVIATIONS

STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE

CONSTRUCTION AND GENERAL NOTES:

1. INSTALL A 50'L X 24'W X 1.0'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.

2. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. REPORTS SHALL BE SUBMITTED TO CITY ENGINEER WEEKLY.

3. UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.

4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.

5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.

6. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.

7. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.

8. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY.

9. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

10. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.

11. INSTALL WATER MAIN AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR STANDARDS EXCEPT WHERE NOTED ON THE PLANS. MAINTAIN MINIMUM 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.

12. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAT 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP PER CONSTRUCTION DETAIL.

13. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

14. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.

15. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.

16. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.

17. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.

18. ADJUST ALL EXISTING MANHOLE AND VALVE RIMS TO FINAL GRADE.

19. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES

AGENCIES:

EMERGENCY - FIRE, RESCUE, AMBULANCE, POLICE
DIAL 911

UNITED STATES POST OFFICE
3902 MILWAUKEE ST
MADISON, WI 53714-9998
PHONE: 608-831-5501

MADISON POLICE DEPARTMENT
211 S. CARROL ST
MADISON, WI 53703
PHONE: 608-255-2345 NON-EMERGENCY

MADISON FIRE DEPARTMENT
30 W. MIFFLIN ST.
MADISON, WI 53703
PHONE: 608-266-4420 NON-EMERGENCY

MADISON METRO
1245 E. WASHINGTON AVE.
SUITE 201
MADISON, WI 53703
TIM SOBOTA
PHONE: 608-261-4289

UTILITIES:

MG&E (GAS)
PO BOX 1231
MADISON WI 53701
SHAUN ENDRES
PHONE: 608-252-7224 (O)
608-516-7913 (C)

MG&E (ELECTRIC)
PO BOX 1231
MADISON, WI 53701
CHRIS ERICKSON
PHONE: 608-252-5670

CHARTER COMMUNICATIONS (CABLE TV)
2701 DANIELS STREET
MADISON, WI 53718
JON MARSCHKE
PHONE: 608-225-2479

TDS (TELEPHONE + FIBER)
1912 PARMENTER ST
MIDDLETON, WI 53562
JERRY MYERS
PHONE: 608-664-4404

CITY OF MADISON - CITY ENGINEER
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING JR. BOULEVARD
MADISON, WI 53703
ROBERT F. PHILLIPS, P.E.
PHONE: 608-266-4090

CITY OF MADISON - SANITARY AND STORM SEWER ENGINEER
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING JR. BOULEVARD
MADISON, WI 53703
GREG FRIES
PHONE: 608-267-1199

CITY OF MADISON - WATER UTILITY
119 EAST OLIN AVE.
MADISON, WI 53703
TOM HEIKKINEN, GENERAL MANAGER
PHONE: 608-266-4651

MADISON GAS & ELECTRIC (GAS)
133 S. BLAIR STREET
MADISON, WI 53703
ATTN: JOHN WICHERN
(608) 252-7224

NOT FOR CONSTRUCTION

vierbicher
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201, Madison, WI 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

LEGENDS AND NOTES
McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 9/17/15
DRAFTER: DDH/MKR
CHECKED: MSCH
PROJECT NO.: 150109.00

C
1

BENCHMARK LIST (TOP NUT-HYD)	
BM#	ELEV.
9	861.10
10	857.64
11	860.23
17	861.55
18	858.03
22	859.97
32	858.88

GRAPHIC SCALE FEET
0 10 20 40

EXISTING SANITARY STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT
S1	SMH	853.07	845.74 N 845.66 S 846.09 E 845.90 NW
S2	SMH	854.75	845.74 S 846.51 W 846.68 E 846.51 N
S3	SMH	856.55	847.85 NW 848.14 N 848.01 E 848.15 S
S4	SMH	857.08	846.84 SW 846.76 NE 846.88 NW
S5	SMH	856.03	847.28 SE 847.20 NW 847.23 SW
S6	SMH	856.89	847.20 SE 846.96 NE 847.03 W 846.96 SW
S7	SMH	854.80	847.91 E 847.93 W
S8	SMH	856.85	846.95 W 846.93 E 846.95 SW
S9	SMH	857.34	848.76 NE 848.80 SW
S10	SMH	858.21	849.46 NE 849.56 SW
S11	SMH	858.49	850.59 SW 850.54 NE 850.89 W
S12	SMH	861.33	852.23 NE 852.30 SW 852.33 SE
S13	SMH	856.83	846.84 SW 846.75 N 848.13 E

EXISTING STORM STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	RIM/TC	INVERT
S1	CI	856.08	852.93 N
S2	STMH	856.13	852.59 S 852.23 NW 852.22 E
S3	CI	855.91	852.56 W
S4	STMH	855.12	852.12 E 852.07 W 852.12 SE 852.07 NW
S5	STMH	855.98	850.90 SW 850.93 W 850.98 N
S6	CI	856.07	850.77 S 850.77 N
S7	CI	852.25	848.60 E 849.01 N
S8	CI	856.53	853.10 S
S9	CI	856.55	852.58 E
S10	CI	856.39	851.74 NW 851.54 NE 853.49 NE
S11	CI	856.40	852.05 W 852.05 W 851.55 SE
S12	CI	856.34	852.44 SE
S13	FI	856.43	852.13 SW 851.98 W 852.10 SW 851.93 E 851.93 E 851.98 W
S14	FI	855.83	853.28 NE
S15	FI	858.24	852.87 NE 852.87 SW
S16	CI	859.21	853.31 NE

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING MAILBOX
- EXISTING MONITORING WELL
- EXISTING POST
- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET
- EXISTING ROOF DRAIN CLEANOUT
- EXISTING STORM MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY MANHOLE
- EXISTING SEPTIC VENT
- EXISTING FIRE HYDRANT
- EXISTING STANDPIPE
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING WELL
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING GUY POLE
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING UTILITY POLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND CABLE TV
- EXISTING OVERHEAD CABLE TV
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD TELEPHONE LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING GUY LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING EDGE OF TREES & BUSHES
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING PAINTED STRIPE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

NOTES:

1. The property lines are shown per the Plat Of Survey prepared by Vierbicher, Map No. S-588, dated April 16, 2015.
2. This map was compiled from data using GPS and robotic total station and is referenced to Dane County Coordinates. Elevations are referenced to the North American Vertical Datum (NAVD) 88 as per City of Madison Monument #709039 at the corner of Sherman Ave. and Lakewood Blvd.; El.=855.76.
3. All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and or their authorized representatives. Markings are per Digger's Hotline Ticket #'s 20151615799, 20151615820, 20151717469 and 20151717488. Vierbicher does not warrant the locations marked or mapped by others.
4. Field work for this map was completed by 4-24-15. Any changes after this date are not reflected on this map.
5. The following streets are graphically depicted for reference only and their locations are approximate per the City of Madison GIS maps: Harbort Drive, Warner Drive, Burrows Road, Old Shore Road, Erie Court and Northfield Place.
6. Two storm sewer pipes (one above the other) exit S10 CI northeasterly towards S5 STMH. The table shows the approximate 2-foot difference between the two. Only one pipe was viewed coming into S5 STMH. It is not known which pipe from S10 CI continues all the way to S5 STMH, therefore the elevation of that pipe is also unknown.

vierbicher | planners | engineers | advisors
KEESBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201, Madison, Wisconsin 53717
Phone 608 826 0532 | www.vierbicher.com

Existing Conditions Plan
McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 9/17/15
DRAFTER: DEHL/MKRI
CHECKED: MSCH
PROJECT NO.: 150109.00

C
2

WARNER DRIVE

MCGUIRE STREET

SHERMAN AVENUE

BURROWS ROAD

FORDEM AVENUE

OLD SHORE ROAD

NORTHFIELD PLACE

GRAPHIC SCALE FEET
0 10 20 40

SAWCUT CONCRETE SIDEWALK (TYP.)

MGE TO RELOCATE POLE TO SOUTH PROPERTY LINE

SAWCUT, REMOVE AND REPLACE EXISTING CURB AND ASPHALT. REPLACE PER CITY STANDARDS AND RESTORE TERRACE

EXISTING OVERHEAD ELECTRIC TO BE RELOCATED UNDERGROUND (BY OTHERS)

CAP AND ABANDON EXISTING SEWER AND WATER LATERALS. TO BE REMOVED AT MAIN BY CITY OF MADISON DURING SHERMAN AVENUE RECONSTRUCTION

SAWCUT CONCRETE CURB AND GUTTER (TYP.)

REMOVE EXISTING CURB AND GUTTER (TYP.)

REMOVE EXISTING DRIVEWAY APRON (TYP.)

SAWCUT, REMOVE AND REPLACE EXISTING CURB AND ASPHALT. REPLACE PER CITY STANDARDS AND RESTORE TERRACE

REMOVE EXISTING SIDEWALK (TYP.)

REMOVE TIMBER PLANTER

REMOVE SIGN AND SIGN BASE

REMOVE EXISTING SIDEWALK (TYP.)

INLET PROTECTION (TYP.)

REMOVE EXISTING TREE (TYP.)

REMOVE EXISTING ASPHALT (TYP.)

REMOVE EXISTING BUILDING (TYP.)

TRACKING PAD (TYP.)

CAP AND ABANDON EXISTING SEWER AND WATER LATERALS. TO BE REMOVED AT MAIN BY CITY OF MADISON DURING FORDEM AVENUE RECONSTRUCTION

SILT FENCE (TYP.)

#2105 EXISTING BUILDING
L.O.E.=858.8
FFL EL=859.5
L.O.E.=858.7

#2107

EXIST. DECK

EXISTING ASPHALT

EXISTING BUILDING

FFL EL=856.8

GAS METER

EX PLANTER

DEMOLITION/EROSION CONTROL NOTES:

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
11. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

DEMOLITION KEY:

1. REMOVE EXISTING SIGN AND CONCRETE BASE.
2. CLEAR AND GRUB EXISTING TREE/BRUSH.
3. COORDINATE THE REMOVAL/BURY OF THE EXISTING OVERHEAD POWER LINE/POLE WITH MG&E.
4. REMOVE EXISTING CURB & GUTTER (SEE DEMOLITION LEGEND).
5. REMOVE EXISTING CONCRETE SIDEWALK (SEE DEMOLITION LEGEND).
6. REMOVE EXISTING BUILDINGS AND ALL THEIR APPURTENANCES INCLUDING BUT NOT LIMITED TO BUILDINGS, SLABS, PORCHES, DECKS AND LANDSCAPING (SEE DEMOLITION LEGEND).
7. ABANDON EXISTING GAS LINE/METER. COORDINATE WITH LOCAL GAS UTILITY COMPANY.
8. PLUG & ABANDON EXISTING WATER LATERALS PER CITY OF MADISON REQUIREMENTS.
9. PLUG & ABANDON EXISTING SANITARY LATERALS PER CITY OF MADISON REQUIREMENTS.
10. REMOVE EXISTING DRIVEWAY APRONS.
11. REMOVE EXISTING PLANTER.
12. REMOVE EXISTING PAVEMENT (SEE DEMOLITION LEGEND.)
13. COORDINATE WITH LOCAL UTILITY AND REMOVE OVERHEAD TELEPHONE/CABLE SERVICES..
14. ABANDON TEMPORARY MONITORING WELLS IN ACCORDANCE WITH NR141.

DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
- (12) ASPHALT REMOVAL
- (5) CONCRETE REMOVAL
- (6) BUILDING REMOVAL
- X TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL

NOT FOR CONSTRUCTION

vierbicher | planners | engineers | advisors
www.vierbicher.com
999 Fourier Drive, Suite 201, Madison, Wisconsin 53717
Phone: 608.826.0532 Fax: (608) 826-0530

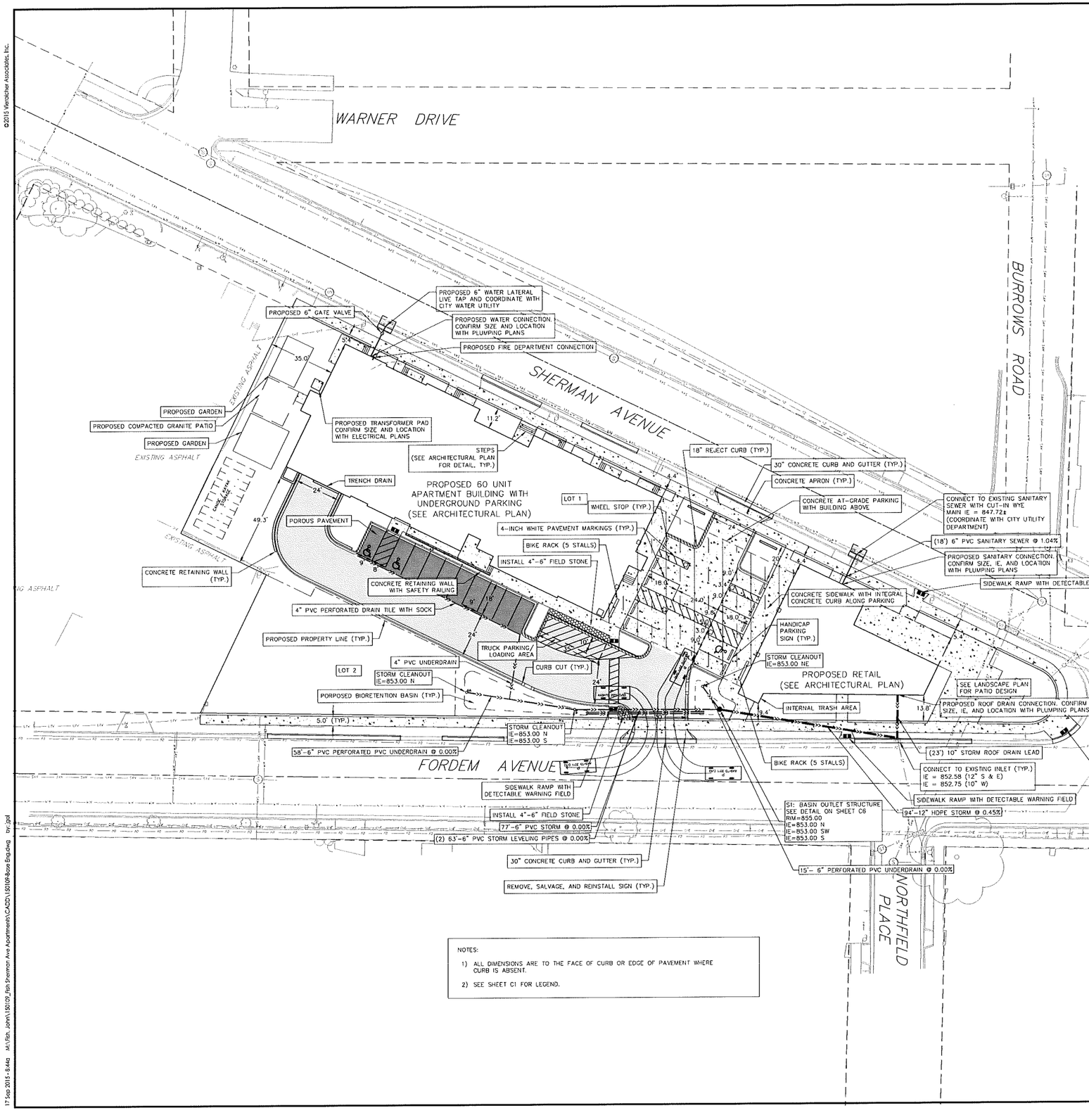
Demolition Plan
McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS NO.	DATE	REMARKS

REVISIONS NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 9/17/15
DRAFTER: DEHL/MKRI
CHECKED: MSCH
PROJECT NO.: 150109.00

C
3



NOTES:

1) ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT WHERE CURB IS ABSENT.

2) SEE SHEET C1 FOR LEGEND.

GRAPHIC SCALE FEET
0 10 20 40

Parking Lot Plan Site Information Block

Site Address: 2107 – 2249 Sherman Avenue,
Final address to be determined by City of Madison
Site acreage (total) = 1.25 ACRES
Lot 1 = 1.10 ACRES
Lot 2 = 0.15 ACRES
Number of building stories (above grade): 4
Building height: Approximately 58'-8" to top of highest occupied level and highest point of roof structure
DILHR type of construction (new structures):
Lower Level: Protected, Type 1A, Sprinklered, NFPA 13
Floors 1-4: Protected, Type 1A, Sprinklered, NFPA 13 and 13R

Total square footage of building: 107,451 SF
Use of property: Residential and Commercial Retail
Gross square feet of office: 0 SF
Gross square feet of retail area: Approximately 6,000 SF
Number of employees in warehouse: 0 SF
Number of employees in production area: 0 SF
Capacity of restaurant/place of assembly: NA

Number of bicycle stalls shown: 65 (max) internal stalls for tennants
10 external stalls for apartment guests and retail users

Number of parking stalls:

	shown
Small Car	2
Large Car	55 underground, 17 surface
Accessible	2 underground, 3 surface
Total	79

Number of trees shown: See Landscape Plan

vierbicher
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201, Madison, WI 53717
Phone 608.826.0532 Fax 608.826.0530

Site And Utility Plan
McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 9/17/15
DRAFTER: BBAR/DRH/JGOL
CHECKED: MSCH
PROJECT NO.: 150109.00

C
4

NOT FOR CONSTRUCTION

17 Sep 2015 - 8:44a M:\fish_John\150109_fish Sherman Ave Apartments\CADD\150109-Base Eng.dwg by: jpal

WARNER DRIVE

HARBORT DRIVE

BURROWS ROAD

SHERMAN AVENUE

OLD SHORE ROAD

FORDEM AVENUE

NORTHFIELD PLACE

EARL COURT

EXISTING HYDRANT #1

96' (HYDRANT TO FIRE DEPT. CONNECTION)

83' (FIRE DEPT. CONNECTION TO ENTRANCE)

MATURE HEIGHT OF ALL SITE LANDSCAPING ADJACENT TO BUILDING WILL BE LESS THAN 15'

PER COORDINATION WITH CITY FORESTER:
ALL PROPOSED TERRACE TREES ADJACENT TO BUILDING WILL HAVE A MATURE HEIGHT LESS THAN 15', OR BE SPACED TO ALLOW FOR 20' OF HORIZONTAL SEPARATION BETWEEN MATURE CANOPY WIDTHS.

OVERHEAD UTILITY LINES TO BE BURIED BY LOCAL UTILITY (TYP.)

EXISTING STREET LIGHT

OVERHEAD UTILITY LINES TO BE BURIED BY LOCAL UTILITY (TYP.)

EXIST. DECK

#2105 EXISTING BUILDING
L.O.E.=858.8
FFL EL=859.5
L.O.E.=858.7

EXIST. DECK

FIRE LANE NO PARKING SIGN 12"x18"

NO PARKING FIRE LANE

26.0' FIRE LANE

15.5'

EXISTING ASPHALT

EXISTING ASPHALT

EXISTING ASPHALT

FFL EL=856.8

#2132 EXISTING BUILDING

162.5'

EXISTING HYDRANT #2

EXISTING BUILDING

EX PLANTER

FIRE LANE NO PARKING SIGN 12"x18"

NO PARKING FIRE LANE

EXISTING STREET LIGHT

85.0'

EXISTING HYDRANT #4

EXISTING BUILDING

EXISTING HYDRANT #3

GRAPHIC SCALE FEET
0 15 30 60

vierbicher
planners | engineers | advisors
Vierbicher Associates, Inc.
999 Fourier Drive, Suite 201, Madison, Wisconsin 53717
Phone (608) 826-0532 Fax (608) 826-0530

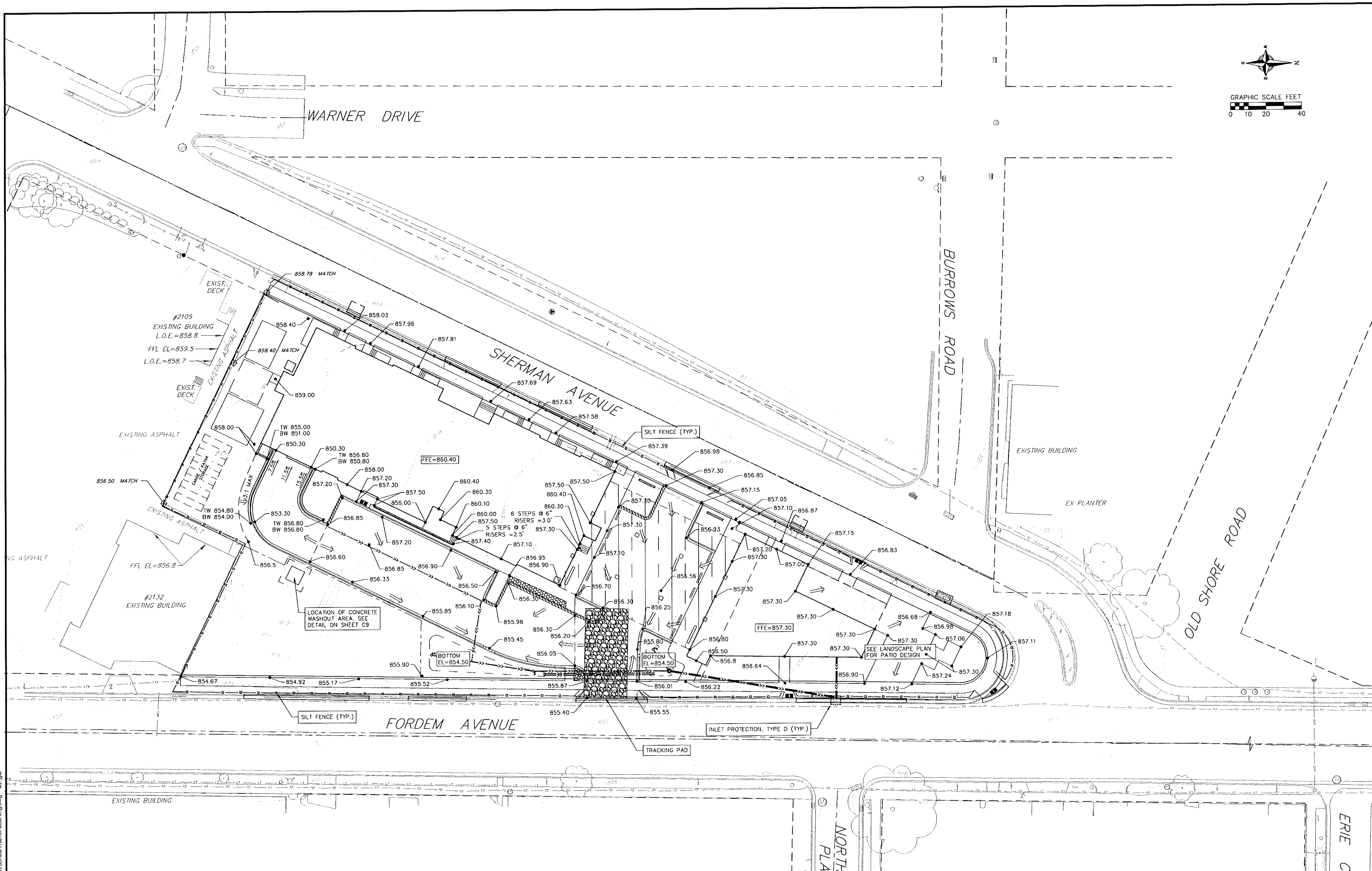
REVISIONS
NO. DATE REMARKS

REVISIONS
NO. DATE REMARKS

SCALE: AS SHOWN
DATE: 9/17/2015
DRAFTER: ODHL
CHECKED: MSCH
PROJECT NO.: 150109.00

Fire Apparatus Access Plan
McKenzie Place
City of Madison
Dane County, Wisconsin

C
4.1



NOTES:

1) ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

2) CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.

3) ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED.

4) SEE SHEET C1 FOR LEGEND.

NOT FOR CONSTRUCTION

vierbicher
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

Grading and Erosion Control Plan

McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS

SCALE AS SHOWN
DATE 9/17/15
DRAFTER BBAR/DEHL/JGOL
CHECKED MSCH
PROJECT NO. 150109.00

C
5

16 Sep 2015 - 5:37p M:\Fish, John\150109_Fish Sherman Ave Apartments\CADD\150109-Base Eng.dwg by: jgol

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.

2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.

3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.

4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.

7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.

8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.

9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).

10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.

11. SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".

12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.

13. USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.

14. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.

15. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.

16. AFTER DETENTION BASIN GRADING IS COMPLETE, THE BOTTOM OF DRY BASINS SHALL RECEIVE 6" TOPSOIL AND SHALL BE CHISEL-PLOWED TO A MINIMUM DEPTH OF 12" PRIOR TO RESTORATION.

17. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.

18. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.

19. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.

20. EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.

21. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.

22. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.

23. INSTALL MINIMUM 6'-7" WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.

24. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.

25. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.

26. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.

27. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.

28. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.

29. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL-DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL-STREETS & LOTS.
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

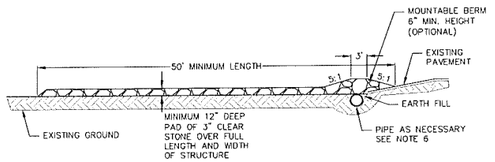
PERMANENT:
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

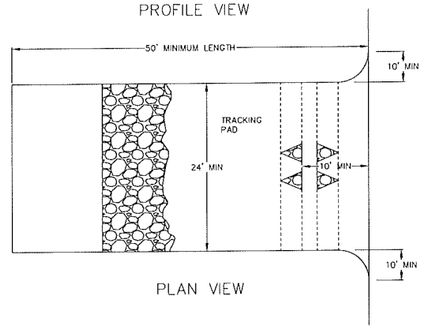
TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



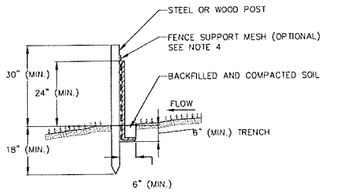
PROFILE VIEW



PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1/1 TRACKING PAD
NOT TO SCALE

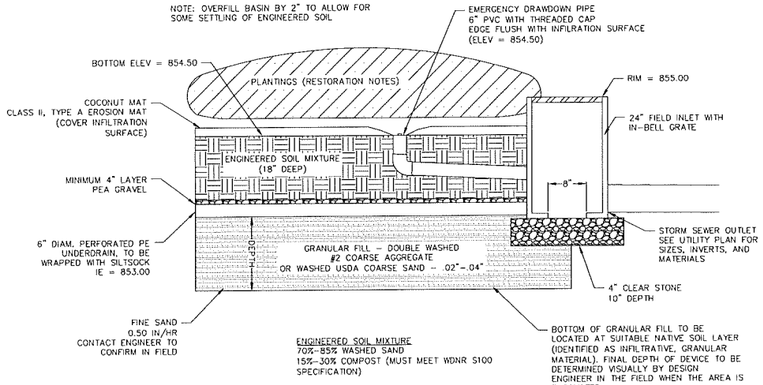


NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)

   POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

1/1 SILT FENCE
NOT TO SCALE



ENGINEERED SOIL MIXTURE
70%-85% WASHED SAND
15%-30% COMPOST (MUST MEET WDNR S100 SPECIFICATION)

BIO-RETENTION AREA RESTORATION SPECIFICATIONS:
NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)

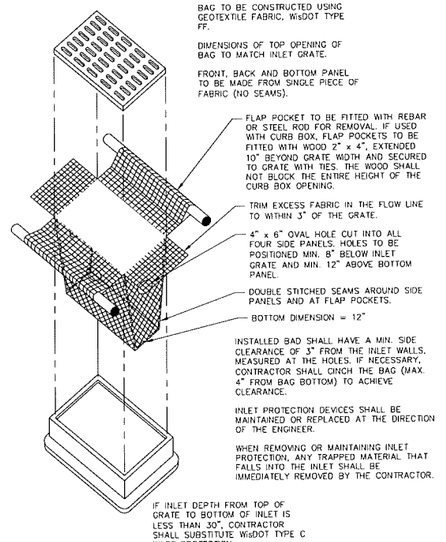
USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT, OR MEDIUM STATURE) - OR ENGINEER APPROVED EQUAL.

PLANT PLUGS AT 1 PER SQUARE FOOT.

PLANTING, MULCH, AND MAINTENANCE NOTES:
PLANTING SHOULD TAKE PLACE BETWEEN AVAILABILITY OF PLANTS IN SPRING AND JUNE 30TH, OR BETWEEN SEPTEMBER 1ST AND OCTOBER 15TH. IF PLANTED JULY 1ST THROUGH AUGUST 31ST, HEAVILY WATER THE PLANTS AT THE TIME THEY ARE PLANTED, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING. IF PLANTED SEPTEMBER 1ST THROUGH OCTOBER 15TH, PLACE CERTIFIED WEED-FREE STRAW MULCH AT 3" MINIMUM THICKNESS BETWEEN PLANTS TO HELP PREVENT FROST HEAVE. IF PLANTING IS TO OCCUR AFTER OCTOBER 15TH, IT MUST BE POSTPONED UNTIL THE FOLLOWING SPRING (MAY). FOR THE FIRST 3 YEARS AFTER PLANTING, SPOT TREAT THE AREA WITH HERBICIDE TO REMOVE WEEDS.

RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):
1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
3. PLACE WASHED SAND (FREE OF P200 PARTICLES) TO 46 INCHES BELOW GROUND SURFACE (IF REQUIRED).
4. PLACE 36 INCHES OF ENGINEERED SOIL, COMPRISED OF:
   70-85% WASHED SAND
   15-30% COMPOST (MUST MEET WDNR S100 SPECIFICATION
5. PLANT PLUG, MULCH, WATER, AND MAINTAIN AS DIRECTED ABOVE.

1/1 BIO-RETENTION BASIN
NOT TO SCALE



1/1 INLET PROTECTION TYPE D
NOT TO SCALE

NOT FOR CONSTRUCTION

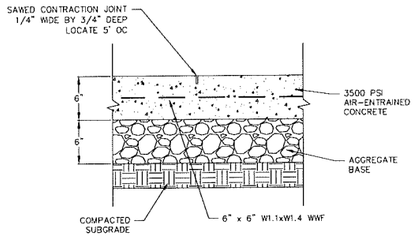
vierbicher
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201, Madison, WI 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

Construction Details
McKenzie Place
City of Madison
Dane County, Wisconsin

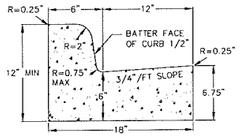
REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 9/17/15
DRAFTER: DEHL/MKRI
CHECKED: MSCH
PROJECT NO.: 150109.00

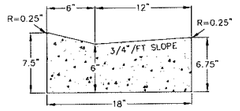
C
6



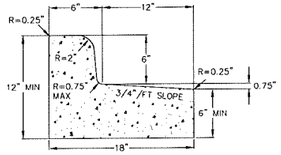
1/1 CONCRETE PAD
NOT TO SCALE



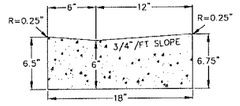
CURB AND GUTTER
CROSS SECTION



DRIVEWAY GUTTER
CROSS SECTION

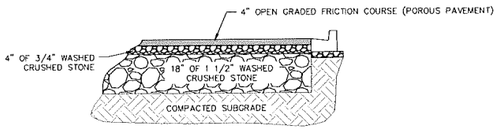


CURB AND GUTTER
REJECT SECTION



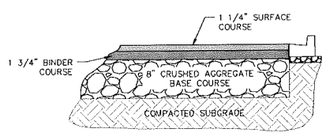
HANDICAP RAMP
GUTTER CROSS SECTION

1/1 18" CONCRETE CURB AND GUTTER
NOT TO SCALE



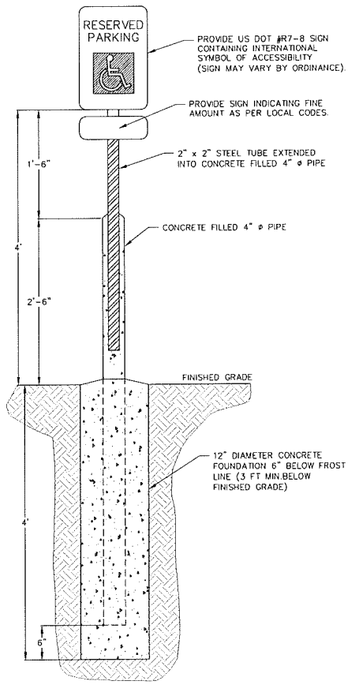
POROUS PAVEMENT
PARKING LOT

1/1 POROUS PAVEMENT
NOT TO SCALE

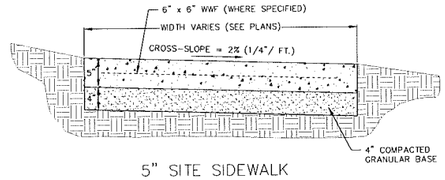


BITUMINOUS PAVEMENT
PARKING LOT

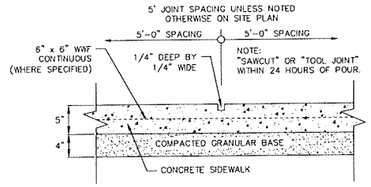
1/1 SITE PAVEMENT
NOT TO SCALE



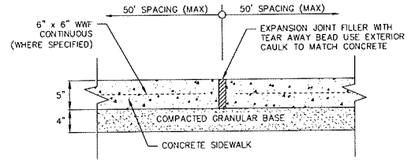
1/1 HANDICAP PARKING SIGN
NOT TO SCALE



5" SITE SIDEWALK



SIDEWALK CONTROL JOINT

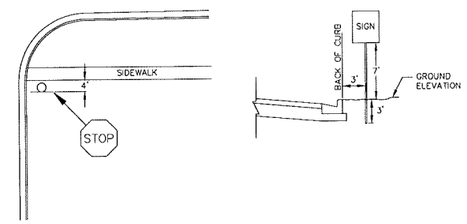


SIDEWALK EXPANSION JOINT

1/1 5" SIDEWALK
NOT TO SCALE

SIGNAGE NOTES:

1. ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. SIGNS SHALL BE A DISTANCE OF 7' FROM GROUND LEVEL TO THE BOTTOM OF THE SIGN MOUNTED ON THE POST AND LOCATED 3' BEHIND THE BACK OF CURB.
3. STREET NAME SIGNS SHALL HAVE WHITE LETTERS AND GREEN BACKGROUND.
4. SIGN POSTS SHALL BE 2-3/8" O.D., GALVANIZED 10 FT LONG, 13 GAUGE, AND 0.095 WALL THICKNESS. MOUNT SIGN AT TOP OF THE POST, AND INSTALL POSTS 3' DEEP AND MIX 1/2 BAG OF 80 LB SAKRETE CONCRETE, POURING IT AROUND THE POST BELOW THE GROUND BEFORE COVERING WITH 8" OF TOPSOIL.



1/1 STOP SIGN
NOT TO SCALE

vierbicher
planners | engineers | advisors
Phone: (608) 826-0532 Fax: (608) 826-0530
999 Fourier Drive, Suite 201, Madison, WI 53717

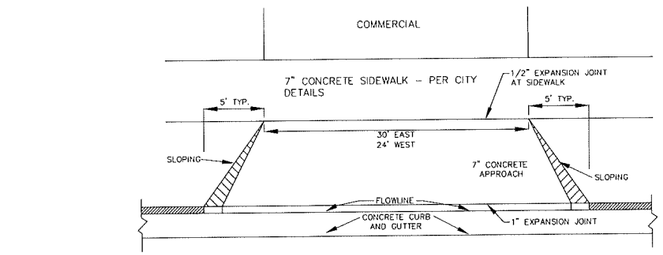
Construction Details
McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS

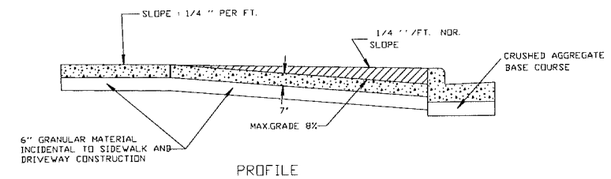
SCALE
AS SHOWN
DATE
9/17/15
DRAFTER
DEHL/MKRI/JSOL
CHECKED
MSCH
PROJECT NO.
150109.00

C
7

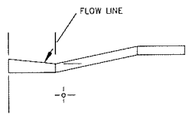
NOT FOR CONSTRUCTION



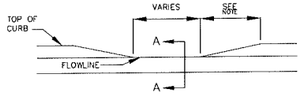
PLAN



PROFILE

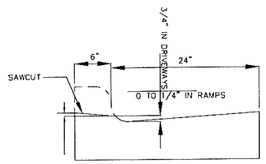


CONDUIT DETAIL



NOTE:
12" TO 18" TAPER FOR STANDARD DRIVEWAY APPROACH
18" TO 24" FOR STANDARD RAMP

TYPICAL CURB CUT TAPER

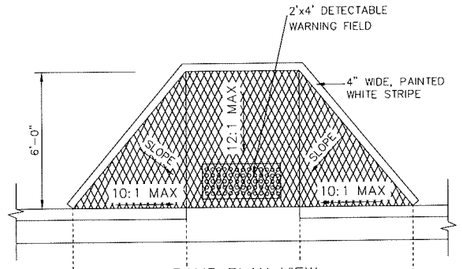


DRIVEWAY SECTION TYPE 'A'
CONCRETE CURB & GUTTER

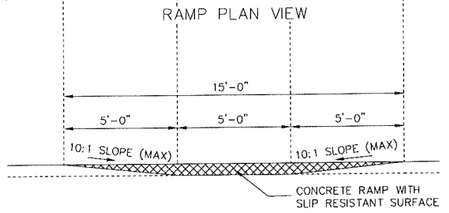
SECTION A–A

GENERAL NOTE:
IF THE CURB CUT IS NOT CONSTRUCTED WITH THE INITIAL CURB AND GUTTER CONSTRUCTION, THE CURB CUT CAN BE MADE BY REMOVING AND REPLACING THE ENTIRE CURB AND GUTTER SECTION OR BY SAWCUTTING THE EXISTING CURB HEAD BY MEANS OF A SPECIAL SAW DESIGNED TO MEET THE DETAILS ABOVE FOR MADISON STANDARD CURB CUTS.

CURB CUT DETAILS REFER TO MADISON STANDARD DETAIL DRAWING 3.02 & 3.09	
NOT TO SCALE JULY 2003	VAI–MAD–2



RAMP PLAN VIEW

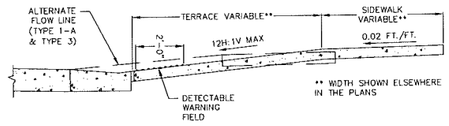


RAMP PROFILE VIEW

GENERAL NOTES
RAMPS SHALL BE BUILT AT 12:1 OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

THE RAMP SHALL BE BORDERED ON BOTH SIDES AND ON THE CURB LINE WITH A 4 INCH WIDE YELLOW STRIPE OR WITH BRICK OF A CONTRASTING COLOR. NORMALLY THE PAINT STRIPE ALTERNATE WILL BE USED. THE CONTRACTOR WILL APPLY THIS STRIPING UNLESS OTHERWISE SPECIFIED IN THE CONTRACT.

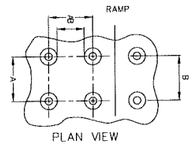
IF THE OWNER REQUIRES THE BRICK ALTERNATE, SPECIAL DETAILS AND PROVISIONS ARE SHOWN ELSEWHERE IN THE PLANS.



SECTION B–B

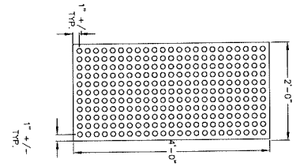
	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"

* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION



PLAN VIEW

ELEVATION VIEW



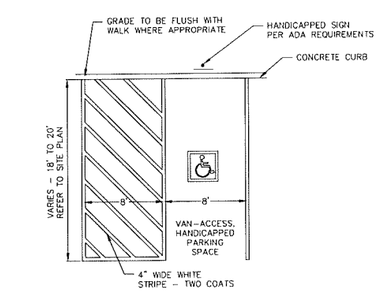
PLAN VIEW

TRUNCATED DOMES
DETECTABLE WARNING
PATTERN DETAIL

DETECTABLE WARNING
FIELD (TYPICAL)

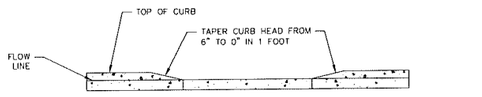
NOTE: MATERIALS AND METHOD OF CONSTRUCTION FOR TRUNCATED DOMES SHALL BE SPECIFIED IN SPECIAL PROVISIONS OR AS REQUIRED BY THE CITY ENGINEER

1/1 SITE HANDICAP RAMP
NOT TO SCALE

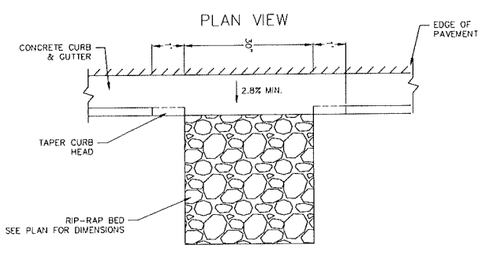


1/1 HANDICAP STRIPING
NOT TO SCALE

PROFILE VIEW

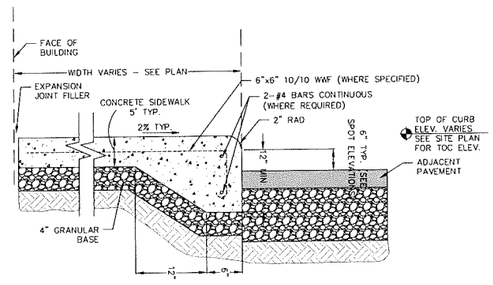


PLAN VIEW



CURB CUT
NOT TO SCALE

1/1 CURB CUT
NOT TO SCALE



1/1 CURBED SIDEWALK DETAIL
NOT TO SCALE

NOT FOR CONSTRUCTION

vierbicher
planners | engineers | advisors
www.vierbicher.com
MADISON, WISCONSIN
999 Fourier Drive, Suite 201
Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

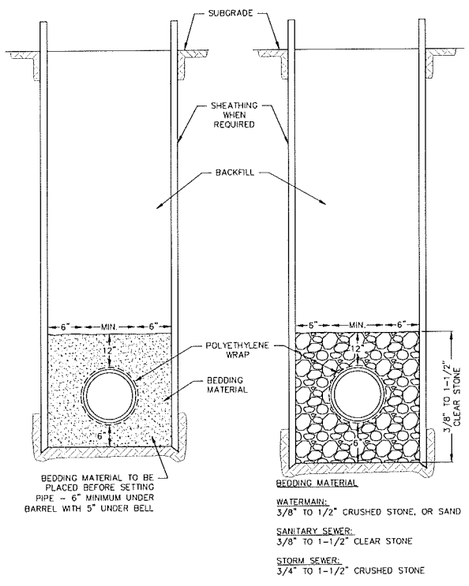
Construction Details
McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS NO.	DATE	REMARKS

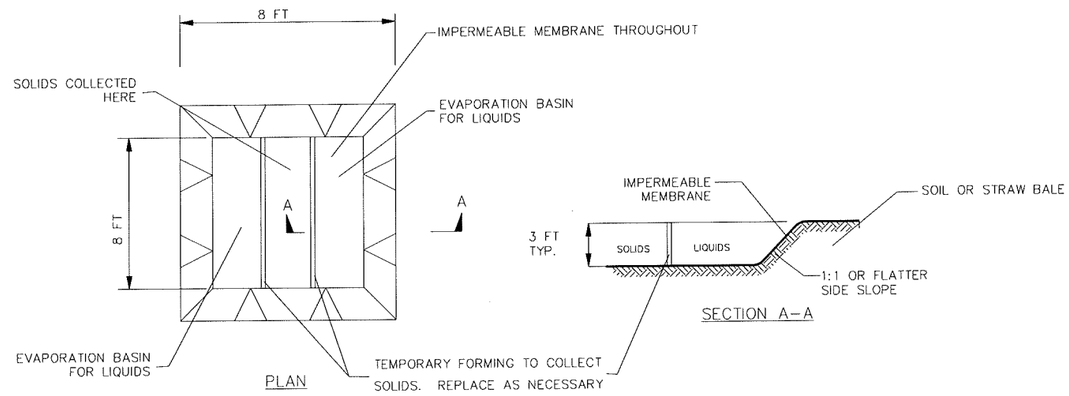
REVISIONS NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 9/17/15
DRAFTER: DDH/MKR
CHECKED: MSCH
PROJECT NO.: 150109 00

C
8



1/1 STANDARD TRENCH SECTION
NOT TO SCALE



EXCAVATED WASHOUT STRUCTURE

CONSTRUCTION SPECIFICATIONS

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.

2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.

3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

vierbicher | planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201, Madison, WI 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

Construction Details
McKenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 9/17/15
DRAFTER: DDH, MKR
CHECKED: MSCH
PROJECT NO.: 150109.00

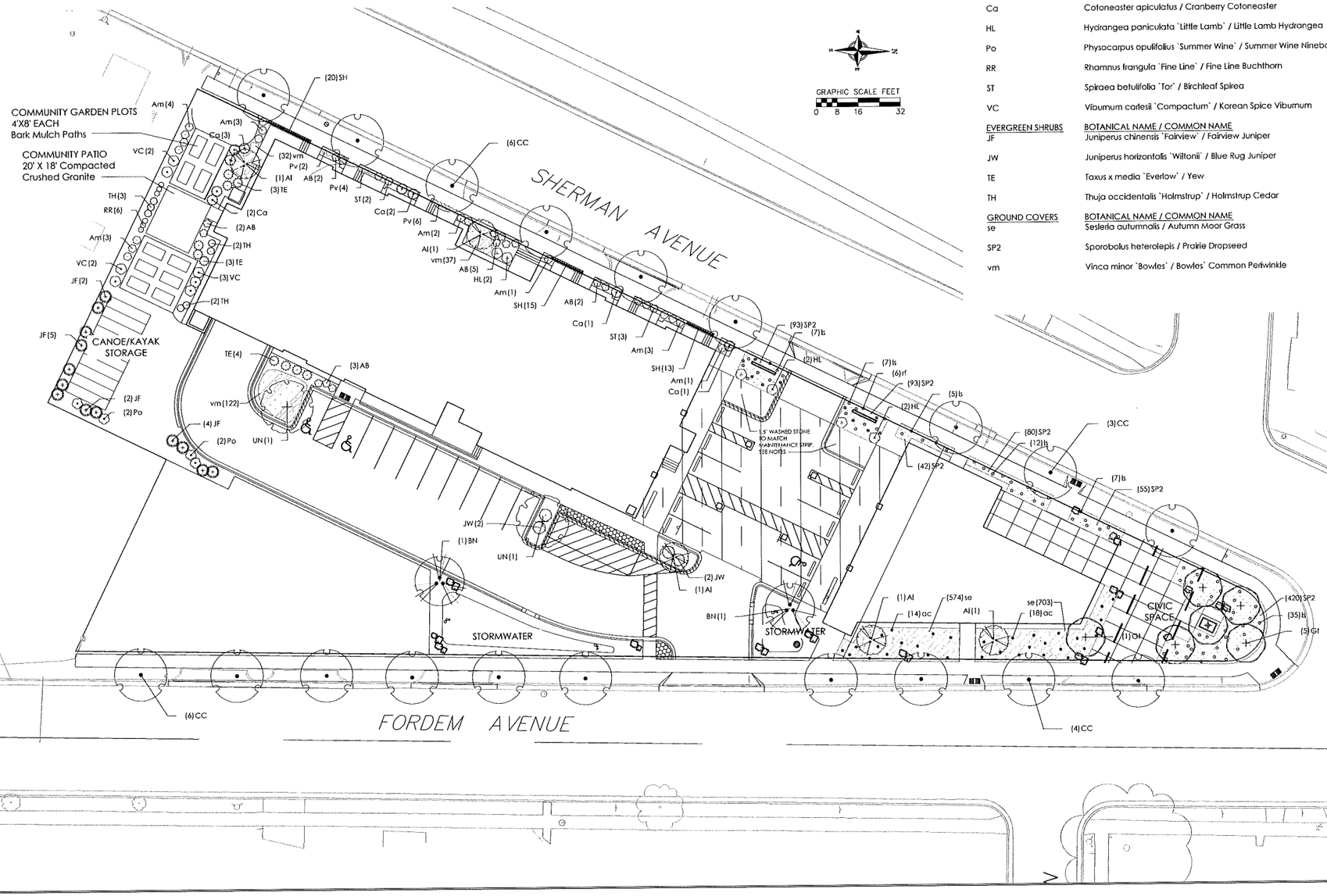
C
9

NOT FOR CONSTRUCTION

GENERAL NOTES:
1. All plantings shall conform to quality requirements as per ANSI Z60.1.
2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
4. All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply ½" water twice weekly until final acceptance.
5. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
6. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
7. Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. Edge with commercial grade steel landscape edging.
8. Provide 24" wide stone maintenance strip around building, 1.5" washed stone over weed barrier fabric.
9. Stormwater areas to be planted with 2" plugs (32 plugs per flat) of species from Swale Seed Mix by Cardno JF New or equivalent. Limit total species count to 10, 6 of which shall be forbs. Plant plugs in drifts by species, 12-18 plants per drift.
10. Street tree species, placement, and quantity to be coordinated with City Forester and Fire.

PLANT SCHEDULE

	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
DECIDUOUS TREES				
BN	Betula nigra `Cully` TM / Heritage Birch 8` ht. 2-3 Stem Clump	B & B		2
CC	Celtis occidentalis `Chicagoland` / Common Hackberry	B & B	2.5"Cal	19
Gt	Gleditsia triacanthos `Skyline` / Skyline Honey Locust	B & B	2.5"Cal	6
UN	Ulmus x `New Horizon` / New Horizon Elm	B & B	2.5"Cal	2
FLOWERING TREES	**BOTANICAL NAME / COMMON NAME**	**CONT**	**CAL**	**QTY**
AI	Amelanchier laevis `Spring Flurry` / Spring Flurry Serviceberry 6` ht. 2-3 Stem Clump	B & B		5
ANNUALS/PERENNIALS	**BOTANICAL NAME / COMMON NAME**	**SIZE**	**FIELD2**	**QTY**
AB	Amsonia tabernaemontana `Blue Ice` / Blue Ice Star Flower	1 gal	Cont	14
ac	Astilbe chinensis `Visions` / Visions Astilbe	4" pot	Cont	32
ls	Liatris spicata `Kobold` / Spike Gayleather	4"pot	Cont	73
Pv	Panicum virgatum `Heavy Metal` / Blue Switch Grass	1 gal	Cont	11
rf	Rudbeckia fulgida `Goldstrum` / Coneflower	4" pot	Cont	12
SH	Sporobolus heterolepis / Prairie Dropseed	4"pot	Cont	81
DECIDUOUS SHRUBS	**BOTANICAL NAME / COMMON NAME**	**SIZE**	**FIELD2**	**QTY**
Am	Aronia melanocarpa `Autumn Magic` / Autumn Magic Black Chokeberry	3 gal	Cont	17
Ca	Cotoneaster apiculatus / Cranberry Cotoneaster	3 gal	Cont	9
HL	Hydrangea paniculata `Little Lamb` / Little Lamb Hydrangea	5 gal	Cont	6
Po	Physocarpus opulifolius `Summer Wine` / Summer Wine Ninebark	5 gal	Cont	4
RR	Rhamnus frangula `Fine Line` / Fine Line Buchthorn	5 gal	Cont	6
ST	Spiraea betulifolia `Tor` / Birchleaf Spirea	3 gal	Cont	5
VC	Viburnum carlesii `Compactum` / Korean Spice Viburnum	5 gal	Cont	7
EVERGREEN SHRUBS	**BOTANICAL NAME / COMMON NAME**	**SIZE**	**FIELD2**	**QTY**
JF	Juniperus chinensis `Fairview` / Fairview Juniper	15 gal	Cont	13
JW	Juniperus horizontalis `Wiltonii` / Blue Rug Juniper	5 gal	Cont	4
TE	Taxus x media `Everlow` / Yew	5 gal	Cont	10
TH	Thuja occidentalis `Holmstrup` / Holmstrup Cedar	B & B	5` ht	7
GROUND COVERS	**BOTANICAL NAME / COMMON NAME**	**CONT**	**FIELD2**	**SPACING**	**QTY**
se	Sesleria autumnalis / Autumn Moor Grass	flat	2" pot	12" o.c.	1,277
SP2	Sporobolus heterolepis / Prairie Dropseed	flat	2" pot	18" o.c.	783
vm	Vinca minor `Bowles` / Bowles` Common Periwinkle	flat	2" pot	18" o.c.	191



vierbicher
planners | engineers | advisors
VIERBICHER - MADISON - PRAIRIE du CHIEN
999 Fourier Drive, Suite 201, Madison, WI 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

SUZANNE VINCENT LA-820 MADISON WISCONSIN LANDSCAPE ARCHITECT

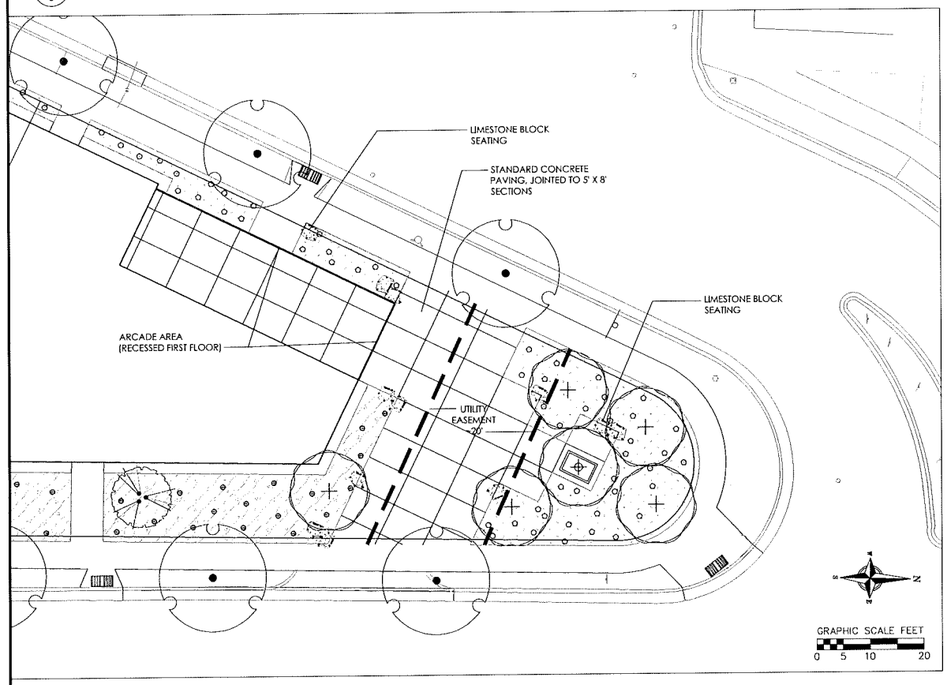
Landscape Plan
Mckenzie Place
City of Madison
Dane County, Wisconsin

REVISIONS NO.	DATE	REMARKS
REVISIONS NO.	DATE	REMARKS

SCALE: AS SHOWN
DATE: 9/17/2015
DRAFTER: SVN
CHECKED: MSCH
PROJECT NO.: 1501109.00

L 1

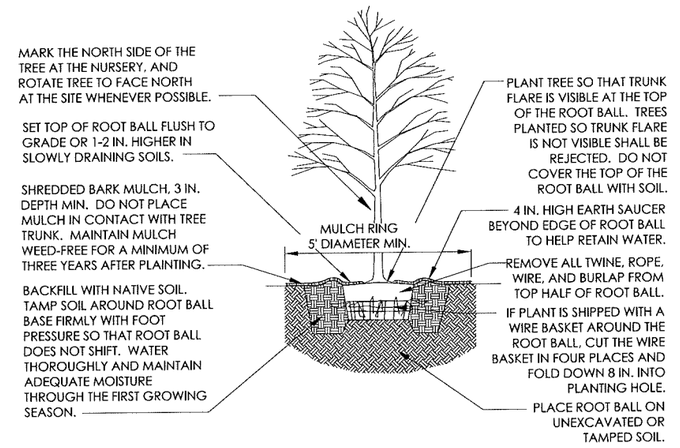
1 CIVIC SPACE DETAIL



2 TREE PLANTING DETAIL- B&B TREES

NOT TO SCALE

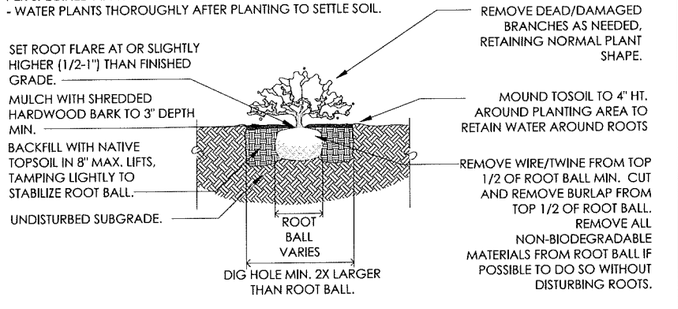
NOTES:
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.



3 SHRUB PLANTING DETAIL

NOT TO SCALE

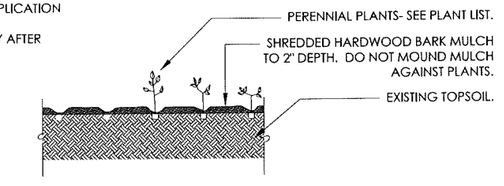
NOTES:
- KEEP CONTAINER/BURLAP ON PLANTS UNTIL READY TO INSTALL TO MINIMIZE ROOT DAMAGE FROM EXPOSURE TO AIR. GENTLY LOOSEN ROOTS ON ROOTBOUND PLANTS. SEVERELY ROOTBOUND PLANTS SHALL BE REJECTED.
- APPLY BALANCED SLOW RELEASE FERTILIZER PELLETS TO SURFACE OF SOIL PRIOR TO MULCHING, PER SPECIFIED APPLICATION RATES.
- WATER PLANTS THOROUGHLY AFTER PLANTING TO SETTLE SOIL.



4 PERENNIAL PLANTING DETAIL

NOT TO SCALE

NOTES:
- KEEP CONTAINERS ON PLANTS UNTIL READY TO INSTALL TO MINIMIZE ROOT DAMAGE FROM EXPOSURE TO AIR. GENTLY LOOSEN ROOTS ON ROOTBOUND PLANTS. SEVERELY ROOTBOUND PLANTS WILL BE REJECTED.
- APPLY BALANCED SLOW RELEASE FERTILIZER PELLETS TO SOIL SURFACE PRIOR TO MULCHING, PER SPECIFIED APPLICATION RATES.
- WATER PLANTS THOROUGHLY AFTER PLANTING TO SETTLE SOIL.



vierbicher
planners | engineers | advisors
RESIDENCE • MADISON • PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0532 Fax: (608) 826-0530

Landscape Details
McKenzie Place
City of Madison
Dane County, Wisconsin

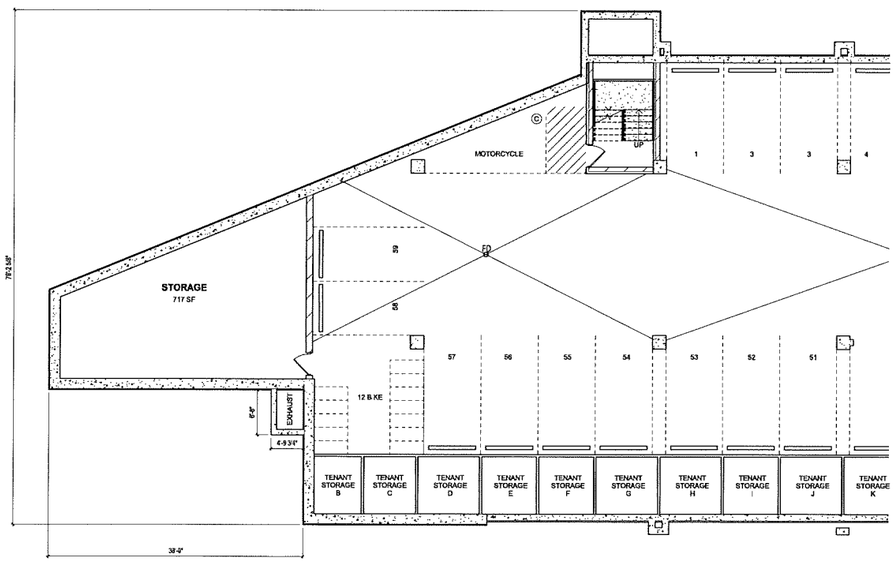
REVISIONS		
NO.	DATE	REMARKS

REVISIONS		
NO.	DATE	REMARKS

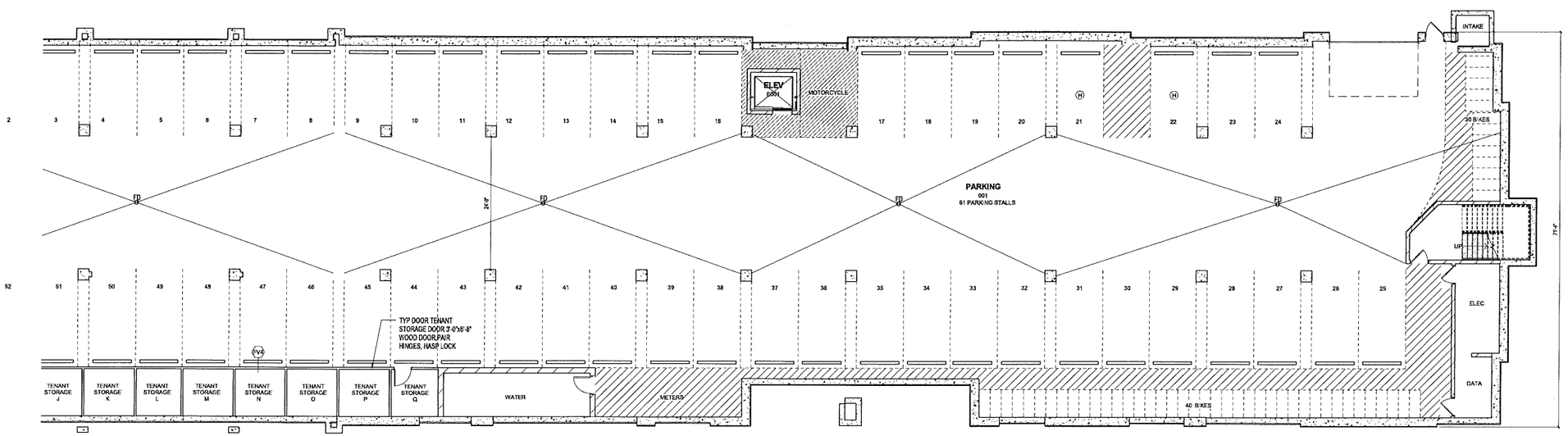
SCALE: AS SHOWN
DATE: 9/17/2015
DRAFTER: SVN
CHECKED: MSCH
PROJECT NO: 150109.00

L
2


Fidelity
INVESTMENTS
STARBUCKS
COFFEE



C1 / A200 LOWER LEVEL PARKING - NORTH
1/8" = 1'-0"



E1 / A200 LOWER LEVEL PARKING - SOUTH
1/8" = 1'-0"

KEYNOTE LEGEND - CONSTRUCTION TYPES	
TAG	CONSTRUCTION DESCRIPTION
R2	SINGLE PLY ROOFING SYSTEM, 1 HOUR RATED ASSEMBLY UL DES GN #P522 : FULLY ADHERED TPO MEMBRANE ON TAPERED R GID INSULATION ON 3/4" EXTERIOR WOOD SHEATHING ON 24" WOOD TRUSS ROOF FRAMING WITH FULL-CAVITY BLOWN-IN INSULATION. 5/8" TYPE 'C' GYPSUM BOARD ON VAPOR RETARDER ON RESILIENT CHANNELS AT 16" O.C. DIRECTLY SECURED TO UNDERSIDE OF WOOD STRUCTURE.
R2A	SINGLE PLY ROOFING SYSTEM, 1 HOUR RATED ASSEMBLY UL DES GN #P522 : FULLY ADHERED TPO MEMBRANE ON TAPERED R GID INSULATION ON 3/4" EXTERIOR WOOD SHEATHING ON XXX" WOOD JO ST. ROOF FRAMING WITH FULL-CAVITY BLOWN-IN INSULATION. 5/8" TYPE 'C' GYPSUM BOARD ON VAPOR RETARDER ON RESILIENT CHANNELS AT 16" O.C. DIRECTLY SECURED TO UNDERSIDE OF WOOD STRUCTURE.
R3	ROOF PATIO SYSTEM. COMPOSITE DECKING ON ADJUSTABLE HEIGHT PEDESTALS, ON EPDM PROTECTION MAT ON ROOF TYPE BELOW.
S1	X" REINFORCED CONCRETE SLAB ON VAPOR RETARDER ON X" DRAINAGE FILL
S2	X" REINFORCED CONCRETE TOPPING ON X" STRUCTURAL CONCRETE DECK.
S5	FLOOR CEILING ASSEMBLY, 1 HOUR RATED ASSEMBLY UL DES GN #563: 1-1/2" LEVELING GYPSUM UNDERLAYMENT ON 3/4" T&G PLYWOOD SUBFLOOR ON 24" WOOD TRUSS FLOOR FRAMING WITH FULL-CAVITY BLOWN-IN INSULATION. 5/8" TYPE 'C' GYP BO ON 1/2: RES CHANNELS AT 16" O.C. ON BOTTOM OF WOOD FRAMING
S5A	FLOOR CEILING ASSEMBLY, 1 HOUR RATED ASSEMBLY UL DES GN #563: 1-1/2" LEVELING GYPSUM UNDERLAYMENT ON 3/4" T&G PLYWOOD SUBFLOOR ON 9X" WOOD JO ST FLOOR FRAMING WITH FULL-CAVITY BLOWN-IN INSULATION. 5/8" TYPE 'C' GYP BO ON 1/2: RES CHANNELS AT 16" O.C. ON BOTTOM OF WOOD FRAMING

NOTE #	FLOOR PLAN NOTE

KEYNOTE LEGEND - EXTERIOR WALL TYPES	
TAG	EXTERIOR WALL DESCRIPTION
W1A	EXTERIOR WALL: MASONRY CAVITY WALL CONSISTING OF 4" FACE BRICK (EDIT FOR OTHER MATERIALS), 1-3/4" AIR SPACE, 1" R GID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON X0" CAST IN PLACE CONCRETE BACK-UP WALL WITH ADJUSTABLE (TWO-PIECE) HORIZONTAL MASONRY JOINT REINFORCING @ 16" OC (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING). PROVIDE CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPS/VENTS AT TOP/BOTTOM OF CAVITY.
W1A	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK (EDIT FOR OTHER MATERIAL), 1-3/4" AIR SPACE, 1" R GID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING (EDIT FOR THICKNESS, VERIFY SHEATHING TYPE WITH STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY. CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY AND PROVIDE CAVITY WEEPS/VENTS AT TOP AND BOTTOM OF CAVITY.
W1A	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT LAP SIDING, 3/8" R GID INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING (VERIFY SHEATHING TYPE WITH STRUCTURAL), 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
W94	EXTERIOR WALL (BELOW GRADE): 12" REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL WITH SHEET MEMBRANE WATERPROOFING. TERMINATE ALL MEMBRANE PERIMETER EDGES WITH 1.9" x 1" ALUMINUM COMPRESSION BAR WITH CONTINUOUS SEALANT. (EDIT FOR DAMPPROOFING) SHEET MEMBRANE MUST INTERFACE WITH VERTICAL WALL AIR & VAPOR BARRIER LINE. PROVIDE 2" R GID FOUNDATION INSULATION, EXTEND FULL HEIGHT VERTICALLY.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES	
TAG	INTERIOR PARTITION DESCRIPTION
PT4	INTERIOR FURRING (PARTITION): 3-1/2" WOOD STUDS @ 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD

FLOOR PLAN - SYMBOLS LEGEND

- NEW WALL/PARTITION
- EXISTING WALL TO REMAIN
- 100'-0" NEW DOOR
- EXISTING DOOR TO REMAIN
- DTL SHT — SECTION REFERENCE
- DTL SHT — DETAIL REFERENCE
- SHT — EXTERIOR ELEVATION
- 001 — EQUIPMENT
- DTL SHT — INTERIOR ELEVATION
- 1 — WINDOW TYPE
- W1 — WALL/PARTITION TYPE
- 1 — FLOOR PLAN KEYNOTE
- FD — FLOOR DRAIN - PITCH FLOOR TO DRAIN
- CONSTRUCT ON LIMITS
- 1 1 / 2 2 — ONE HOUR FIRE RESISTIVE CONSTRUCTION / TWO HOUR FIRE RESISTIVE CONSTRUCTION

FLOOR PLAN - GENERAL NOTES

A DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL)

B REFER TO SHEET A0XX FOR ROOM FINISH SCHEDULE AND NOTES.

C REFER TO SHEET A0XX FOR DOOR SCHEDULES, DOOR TYPES, AND NOTES.

D ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL NEEDS TO BE PROTECTED TO 2 HOUR INTUMESCENT SPRAY APPLIED FIRE PROTECTION

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE (XXX) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

ALL CORRIDOR WALLS SHALL BE (XXX) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL)

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN

ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS

PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL XX/AXXX. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS

plunkett raysich architects
309 south water street milwaukee, wisconsin 53204 414.369.3900
2318 crossroads drive suite 2000 madison, wisconsin 53718 608.205.9900
1613 northville road suite 3 aircadia, florida 34266 941.349.3618
intelligent designs. inspired results. | www.prarch.com

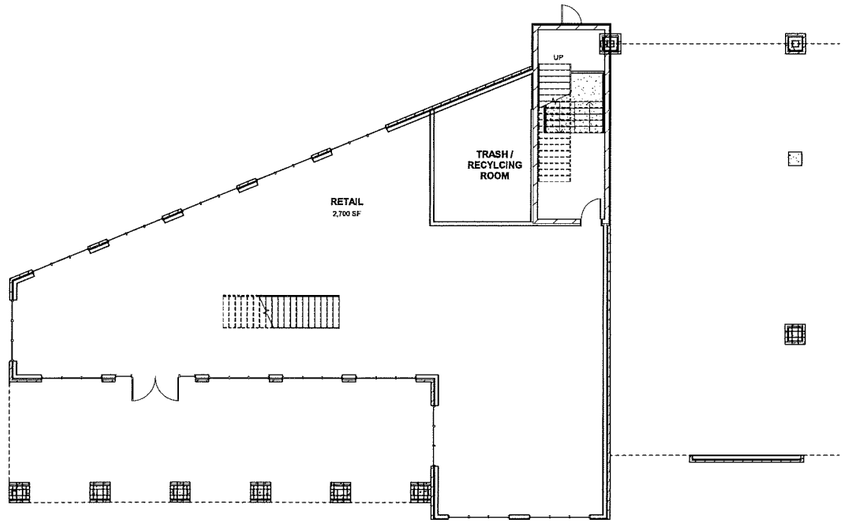
JOHN FISH
McKENZIE PLACE, LLC
2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

Revisions

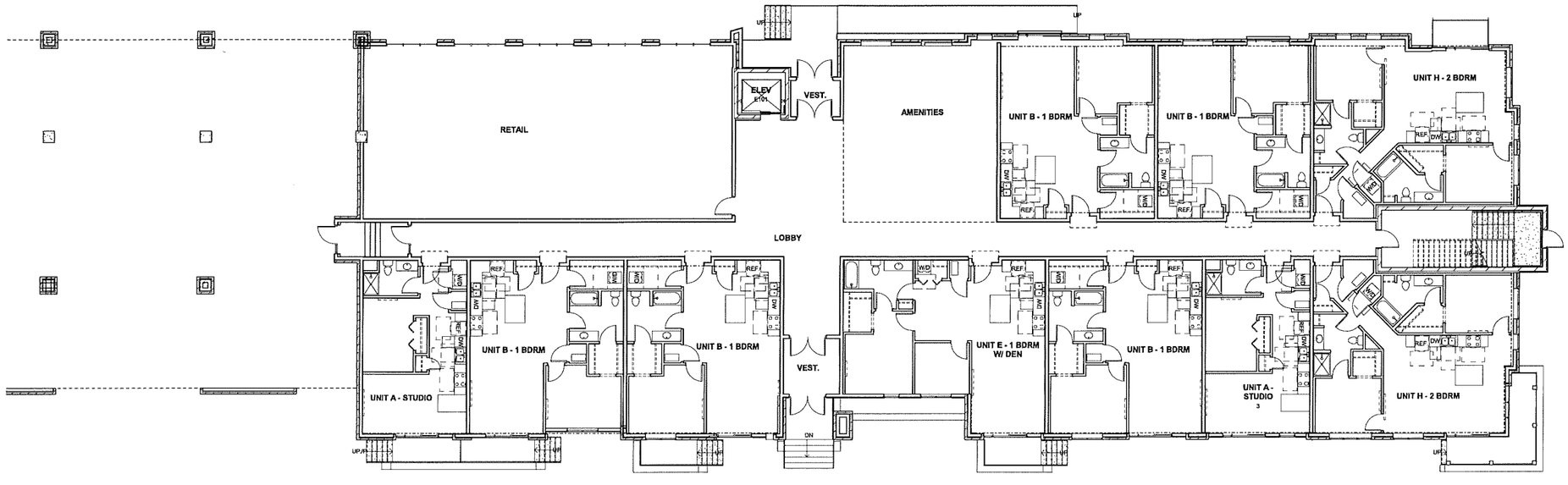
Drawn By:	Author
Date:	07-26-15
Job No.:	130139-03
Sheet No.:	A200

NOT FOR CONSTRUCTION

9/8/2015 10:20:05 AM C:\PRA RAC\Local Project Files\130139-03-central-v15_Option 2_mstelyn.rvt



C1 / A201 LEVEL 1 FLOOR PLAN - NORTH
1/8" = 1'-0"



E1 / A201 LEVEL 1 FLOOR PLAN - SOUTH
1/8" = 1'-0"

KEYNOTE LEGEND - EXTERIOR WALL TYPES	
TAG	EXTERIOR WALL DESCRIPTION
W1A	EXTERIOR WALL: MASONRY CAVITY WALL CONSTING OF 4" FACE BRICK (EDIT FOR OTHER MATERIALS), 1-3/4" AIR SPACE, 3" RGD INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON XX" CAST IN PLACE CONCRETE BACK-UP WALL WITH ADJUSTABLE (TWO-PIECE) HORIZONTAL MASONRY JOINT REINFORCING @ 16" OC (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING) PROVIDE CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANS ON AND CONTROL JOINTS. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPS/VENTS AT TOP/BOTTOM OF CAVITY.
W13	EXTERIOR WALL: MASONRY VENEER STUD WALL CONSISTING OF 4" FACE BRICK (EDIT FOR OTHER MATERIAL), 1-3/4" AIR SPACE, 1" RGD INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD OSB SHEATHING (EDIT FOR THICKNESS; VERIFY SHEATHING TYPE W/ STRUCTURAL); 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE. PROVIDE ADJUSTABLE MASONRY VENEER ANCHORS @ 16" OC EACH WAY, CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPS/VENTS @ 24" OC AND MASONRY EXPANS ON AND CONTROL JOINTS. COMPARTMENTALIZE CAVITY AND PROVIDE CAVITY WEEPS/VENTS AT TOP AND BOTTOM OF CAVITY
W14	EXTERIOR WALL: FIBER CEMENT CLAD WALL CONSISTING OF FIBER CEMENT LAP SIDING, 3/4" RGD INSULATION, BUILDING WRAP ON 1/2" EXTERIOR GRADE PLYWOOD/OSB SHEATHING (VERIFY SHEATHING TYPE W/STRUCTURAL); 2 X 6 WOOD STUDS @ 16" OC WITH FULL THICKNESS BATT INSULATION, VAPOR RETARDER AND ONE LAYER 5/8" GYPSUM BOARD AT INTERIOR FACE.
W5A	EXTERIOR WALL (BELOW GRADE): 12" REINFORCED CAST-IN-PLACE CONCRETE FOUNDATION WALL WITH SHEET MEMBRANE WATERPROOFING. TERMINATE ALL MEMBRANE PERIMETER EDGES WITH 1/8" x 1" ALUMINUM COMPRESS ON BAR WITH CONTINUOUS SEALANT. (EDIT FOR DAMPPROOFING) SHEET MEMBRANE MUST INTERFACE WITH VERTICAL WALL A/B & VAPOR BARRIER LINE. PROVIDE 2" RGD FOUNDATION INSULATION, EXTEND FULL HEIGHT VERTICALLY.

KEYNOTE LEGEND - INTERIOR PARTITION TYPES	
TAG	INTERIOR PARTITION DESCRIPTION
FV1	INTERIOR FURRING (PARTITION): 3-1/2" WOOD STUDS @ 16" OC WITH ONE LAYER 5/8" GYPSUM BOARD

KEYNOTE LEGEND - CONSTRUCTION TYPES	
TAG	CONSTRUCTION DESCRIPTION
R2	SINGLE PLY ROOFING SYSTEM, 1 HOUR RATED ASSEMBLY UL DES GN #P522 ; FULLY ADHERED TPO MEMBRANE ON TAPERED R GID INSULATION ON 3/4" EXTERIOR WOOD SHEATHING ON 24" WOOD TRUSS ROOF FRAMING WITH FULL CAVITY BLOWN IN INSULATION. 5/8" TYPE 'C' GYPSUM BOARD ON VAPOR RETARDER ON RESILIENT CHANNELS AT 16" O C. DIRECTLY SECURED TO UNDERSIDE OF WOOD STRUCTURE.
R2A	SINGLE PLY ROOFING SYSTEM, 1 HOUR RATED ASSEMBLY UL DES GN #P522 ; FULLY ADHERED TPO MEMBRANE ON TAPERED R GID INSULATION ON 3/4" EXTERIOR WOOD SHEATHING ON XXX" WOOD JOIST ROOF FRAMING WITH FULL CAVITY BLOWN IN INSULATION. 5/8" TYPE 'C' GYPSUM BOARD ON VAPOR RETARDER ON RESILIENT CHANNELS AT 16" O C. DIRECTLY SECURED TO UNDERSIDE OF WOOD STRUCTURE.
R3	ROOF PAT O SYSTEM: COMPOSITE DECKING ON ADJUSTAB L E HEIGHT PEDESTALS, ON EPDM PROTECTION MAT ON ROOF TYPE BELOW.
S1	X" REINFORCED CONCRETE SLAB ON VAPOR RETARDER ON X" DRAINAGE FILL.
S2	X" RE INFORCED CONCRETE TOPPING ON X" STRUCTURAL CONCRETE DECK.
S5	FLOOR CEILING ASSEMBLY, 1 HOUR RATED ASSEMBLY, UL DES GN #563. 1-1/2" LEVELING GYPSUM UNDERLAYMENT ON 3/4" T&G PLYWOOD SUBFLOOR ON 24" WOOD TRUSS FLOOR FRAMING WITH FULL-CAVITY B LOWN IN INSULATION. 5/8" TYPE 'C' GYP SO ON 1/2 RES CHANNELS AT 16" O.C. ON BOTTOM OF WOOD FRAMING
S5A	FLOOR CEILING ASSEMBLY, 1 HOUR RATED ASSEMBLY, UL DES GN #563. 1-1/2" LEVELING GYPSUM UNDERLAYMENT ON 3/4" T&G PLYWOOD SUBFLOOR ON XX" WOOD JO ST FLOOR FRAMING WITH FULL-CAVITY BLOWN IN INSULATION. 5/8" TYPE 'C' GYP SO ON 1/2 RES CHANNELS AT 16" O C. ON BOTTOM OF WOOD FRAMING

FLOOR PLAN NOTES

FLOOR PLAN - SYMBOLS LEGEND

- NEW WALL/PARTITION
- EXISTING WALL TO REMAIN
- 100.0 NEW DOOR
- EXISTING DOOR TO REMAIN
- DTL SHT — SECT ON REFERENCE
- DTL SHT — DETAIL REFERENCE
- ELEV SHT — EXTERIOR ELEVATION
- 001 — EQUIPMENT
- DTL SHT — INTERIOR ELEVATION
- 1 — WINDOW TYPE
- W1 — WALL/PARTITION TYPE
- 1 — FLOOR PLAN KEYNOTE
- FD — FLOOR DRAIN - PITCH FLOOR TO DRAIN
- CONSTRUCTION LIMITS
- 1 1 — ONE HOUR FIRE RESISTIVE CONSTRUCTION
- 2 2 — TWO HOUR FIRE RESISTIVE CONSTRUCTION

FLOOR PLAN - GENERAL NOTES

A DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL)

B REFER TO SHEET A80X FOR ROOM FINISH SCHEDULE AND NOTES

C REFER TO SHEET A80X FOR DOOR SCHEDULES, DOOR TYPES, AND NOTES

D ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE (VA) UNLESS OTHERWISE NOTED ON FLOOR PLAN

ALL CORRIDOR WALLS SHALL BE (VAR) UNLESS OTHERWISE NOTED ON FLOOR PLAN

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL)

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN

ALL MASONRY PARTITIONS SHALL BE #" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS

PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOPPING ALL RATED PARTITIONS

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL XX/AXXX. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

209 south water street milwaukee, wisconsin 53204 414 359 3060
2310 crossroads drive suite 2000 madison, wisconsin 53718 608 240 9000
1613 fruitville road suite 3 sarasota, florida 34236 941 388 3618
intelligent designs. inspired results. | www.prarch.com

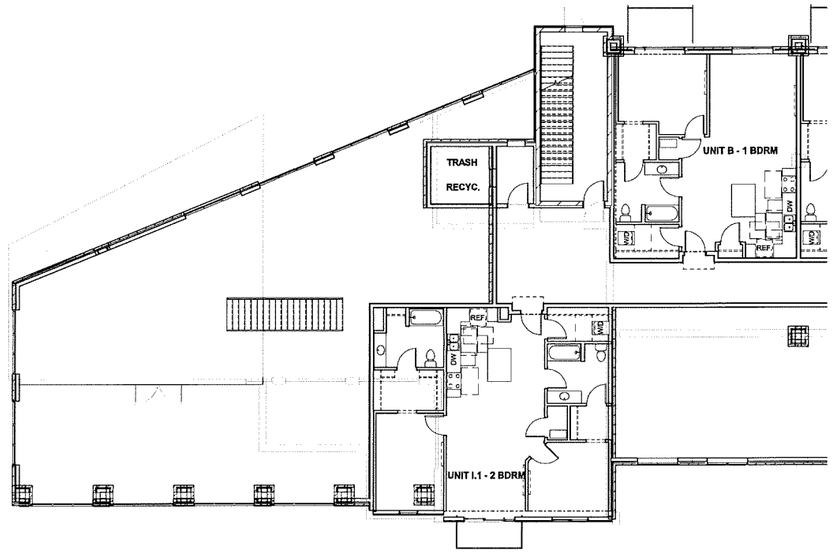
JOHN FISH
McKENZIE PLACE, LLC
2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

Revisions

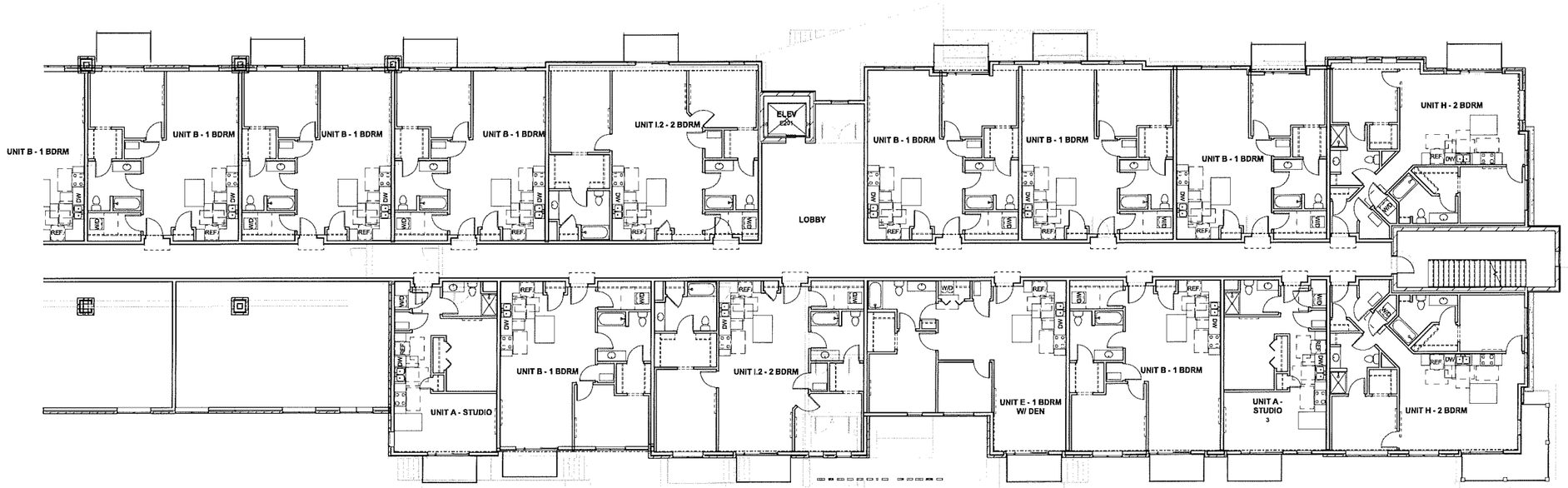
Drawn By: Author
Date: 07-26-15
Job No.: 130139-03
Sheet No.: A201

NOT FOR CONSTRUCTION

9/9/2015 10:20:09 AM C:\PRA RAC\Local Project Files\130139-03-central-v15_Option 2_mcallaj.rvt



C1 / A202 LEVEL 2 FLOOR PLAN - NORTH
1/8" = 1'-0"



E1 / A202 LEVEL 2 FLOOR PLAN - SOUTH
1/8" = 1'-0"

9/9/2015 10:20:13 AM C:\PRA RAC\Local Project Files\130139-03-central-v15_Option 2_models.rvt

NOT FOR CONSTRUCTION

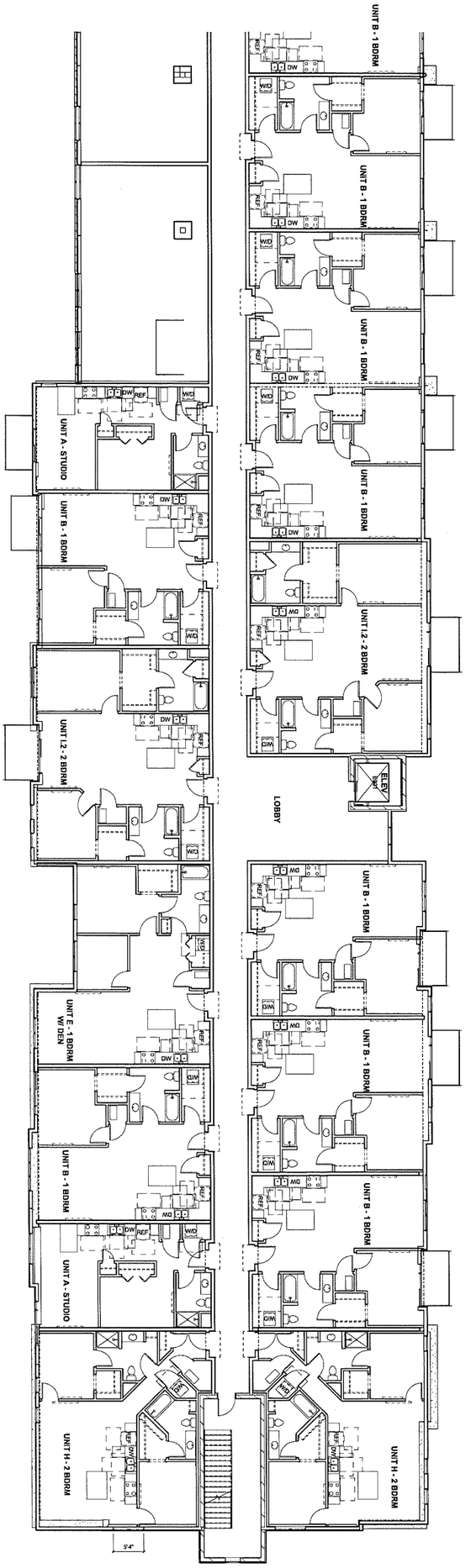
209 south water street milwaukee, wisconsin 53204 414 359 3060
2310 crossroads drive suite 2000 madison, wisconsin 53718 608 249 9900
1613 fruitville road suite 3 sarasota, florida 34236 941 388 3618
intelligent designs. inspired results. | www.prarch.com

JOHN FISH
McKENZIE PLACE, LLC
2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

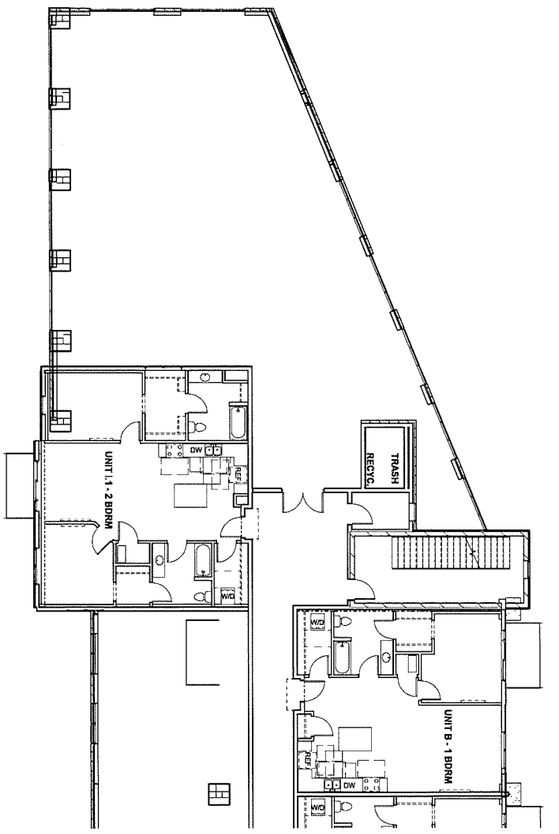
Revisions

Drawn By:
Author
Date:
07-26-15
Job No.:
130139-03
Sheet No.:
A202

E1 LEVEL 3 FLOOR PLAN - SOUTH
A203 1/8" = 1'-0"



C1 LEVEL 3 FLOOR PLAN - NORTH
A203 1/8" = 1'-0"



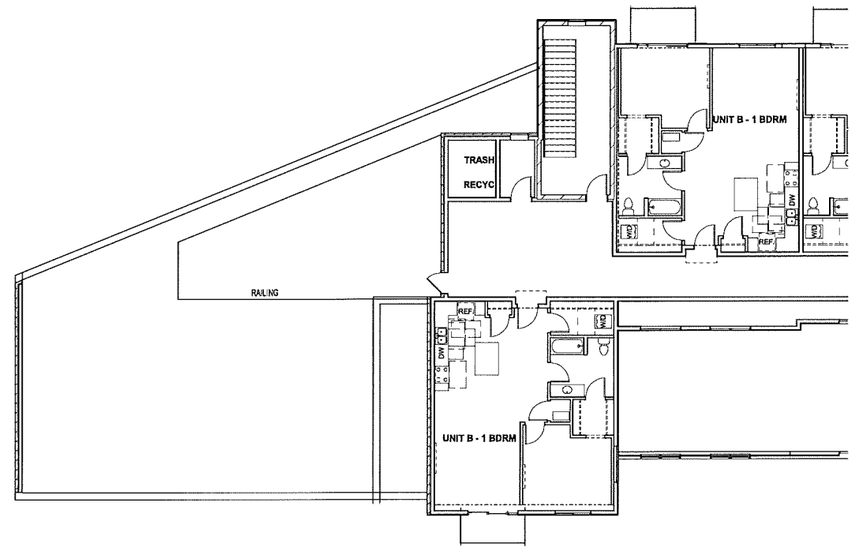
NOT FOR CONSTRUCTION

A203	Sheet No.:	130139-03	Job No.:	Drawn By: Author	Date: 07.28.15

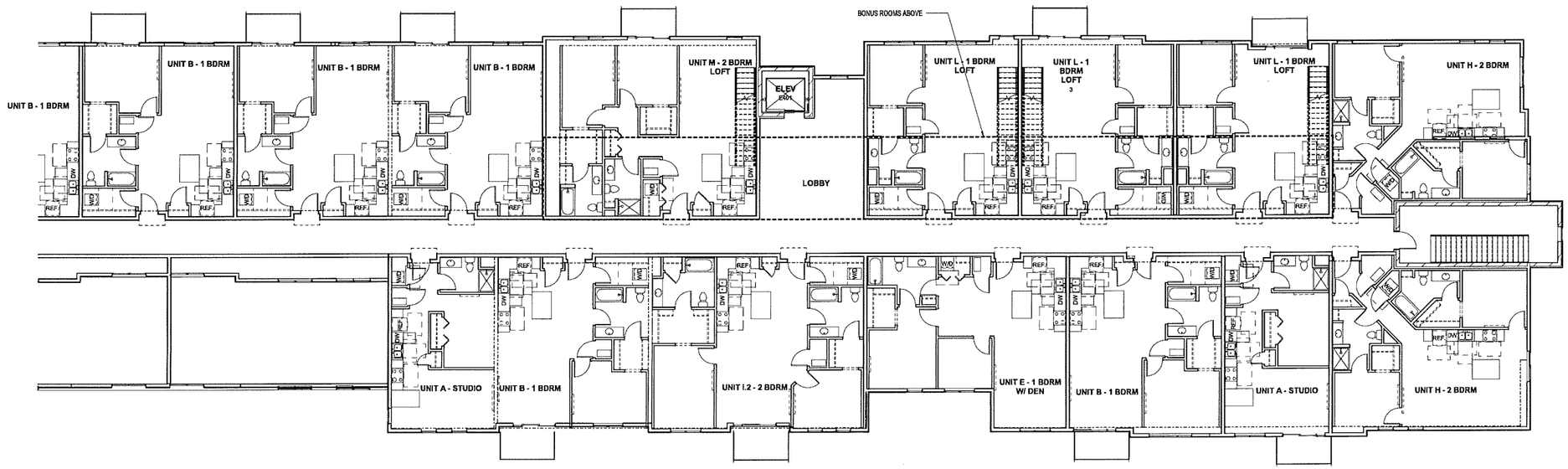
No.	Revision	Revisions Date
1		

JOHN FISH
McKENZIE PLACE, LLC
2107-2249 Sherman Avenue, Madison Wi (Final address to be determined by City of Madison)

209 south water street milwaukee, wisconsin 53204 414 259 3060
2310 crossroads drive suite 2000 madison, wisconsin 53718 608 240 9900
1613 fruitville road suite 3 sarasota, florida 34236 941 348 3618
intelligent designs. inspired results. | www.prarch.com



C1 / A204 LEVEL 4 FLOOR PLAN - NORTH
1/8" = 1'-0"



E1 / A204 LEVEL 4 FLOOR PLAN - SOUTH
1/8" = 1'-0"

9/9/2015 10:20:19 AM C:\PRA RAC\Local Project Files\130139-03-central-v15_Option 2_master.rvt

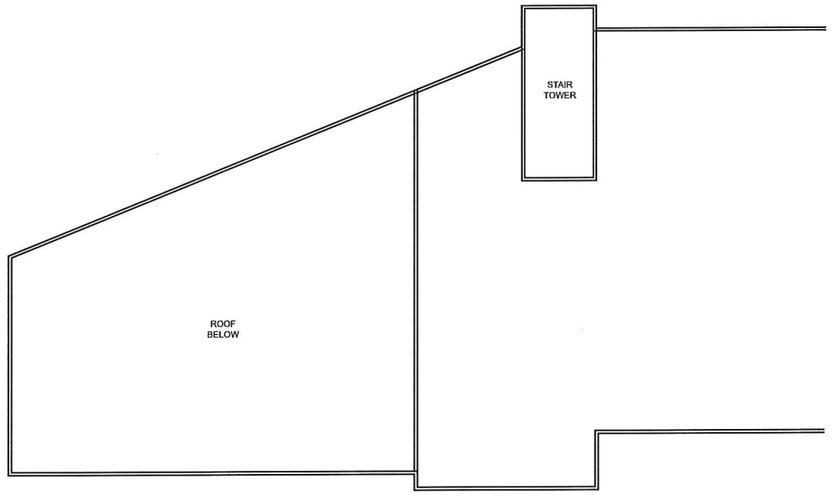
209 south water street milwaukee, wisconsin 53204 414 359 3060
2310 crossroads drive suite 2000 madison, wisconsin 53718 608 249 9900
1610 parkside road suite 3 carlsbad, florida 34236 760 548 3618
intelligent designs. inspired results. | www.prarch.com

JOHN FISH
McKENZIE PLACE, LLC
2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

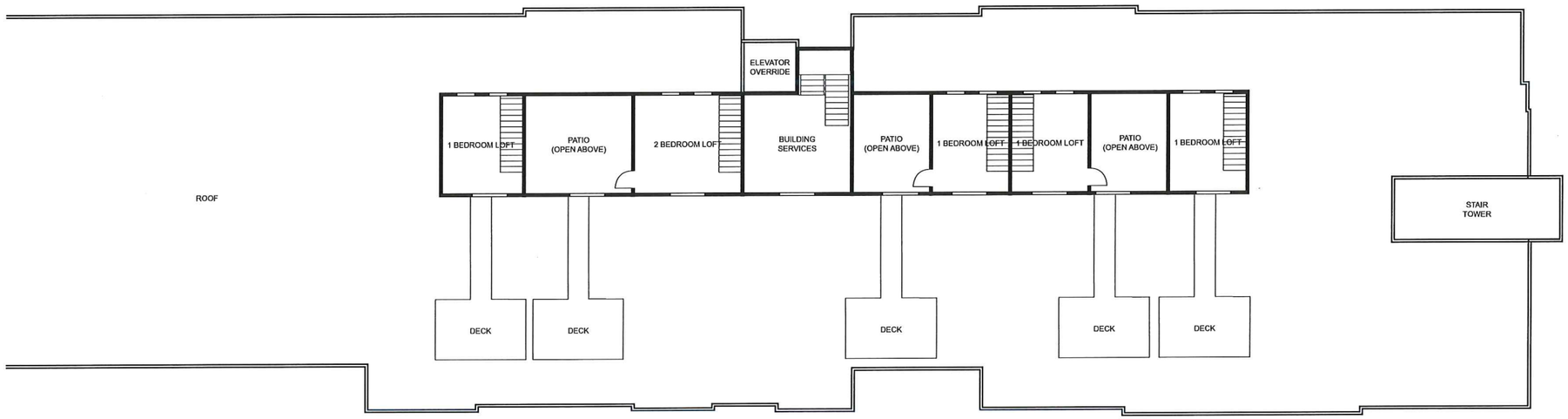
Revisions

Drawn By: Author
Date: 07-26-15
Job No.: 130139-03
Sheet No.: A204

NOT FOR CONSTRUCTION



C1 / A205 LOFT LEVEL 5 FLOOR PLAN - NORTH
1/8" = 1'-0"



E1 / A205 LOFT LEVEL 5 FLOOR PLAN - SOUTH
1/8" = 1'-0"

9/9/2015 10:20:19 AM C:\PRA RAC\Local Project Files\130139-03-central+v15_Option 2_mcabral.rvt

209 south water street milwaukee, wisconsin 53204 414.359.3060
2310 crossroads drive suite 2300 madison, wisconsin 53718 608.240.9000
1610 historic road suite 3 sarasota, florida 34236 941.548.3616
intelligent designs. inspired results. | www.prarch.com

JOHN FISH
McKENZIE PLACE, LLC
2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

Revisions

Drawn By: Author
Date: 07-26-15
Job No.: 130139-03
Sheet No.: A205

PLUNKETT RAYSICH
ARCHITECTS, LLP

McKenzie Place - Madison, WI

North Elevation

South Elevation

West Elevation

East Elevation

Elevations

PLUNKETT RAYSICH
ARCHITECTS, LLP

McKenzie Place - Madison, WI

View from Intersection of Fordem Ave. and Sherman Ave.

PLUNKETT RAYSICH
ARCHITECTS, LLP

McKenzie Place - Madison, WI

View of Retail

PLUNKETT RAYSICH
ARCHITECTS, LLP

McKenzie Place - Madison, WI

View down Sherman Ave

PLUNKETT RAYSICH
ARCHITECTS, LLP

McKenzie Place - Madison, WI

Aerial View

PLUNKETT RAYSICH
ARCHITECTS, LLP

McKenzie Place - Madison, WI

View through Drive

PLUNKETT RAYSICH
ARCHITECTS, LLP

McKenzie Place - Madison, WI

View into Drive

View of Sherman Entry

PLUNKETT RAYSICH
ARCHITECTS, LLP

McKenzie Place - Madison, WI

View of Fordem Entry

PLUNKETT RAYSICH
ARCHITECTS, LLP

McKenzie Place - Madison, WI

View of Retail