

16 September 2015

Ms. Katherine Cornwell
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: McKenzie Place Mixed Use Development
Updated Plan Commission Application for approval of a property in the NMX District
2107-2249 Sherman Avenue, Madison, WI

Ms. Katherine Cornwell:

The following is submitted together with the plans and application for the staff and Plan Commission consideration for approval.

Organizational Structure:

Owner/Developer:

McKenzie Place LLC
315 Lakewood Blvd
Madison, WI 53704
Contact: John Fish
Trout204@comcast.net

Engineer & Landscaping:

Vierbicher Associates, Inc.
999 Fourier Drive, Suite 201
Madison, WI 53717
608-821-3961
Contact: Matt Schreiner
msch@vierbicher.com

Architect:

Plunkett Raysich Architects, LLP
2310 Crossroads Drive, Suite 2000
Madison, WI 53718
608-478-4013
Contact: Kirk Keller, AIA, NCARB
kkeller@prarch.com

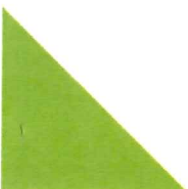
Introduction:

The triangular, 1.10 acre, property located at the intersection of Sherman Avenue and Fordem Avenue in Madison, Wisconsin currently contains 3 vacant, former commercial buildings in various stages of dilapidation. The site is zoned Neighborhood Mixed-Use (NMX). In conjunction with this application, a 2-lot CSM will be submitted to combine the appropriately subdivided underlying lots.

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Partners: Michael P. Brush, Martin P. Choren, Gregg R. Golden, Mark C. Herr, John J. Holz, Nicholas D. Kent,
Steven A. Kieckhafer, Scott A. Kramer, David J. Raysich, Michael H. Scherbel, Michael J. Sobczak



Project Description:

The mixed-use project will consist of 63 market rate apartments and approximately 6,000 square feet of commercial / retail space and will include 59 underground parking stalls. The project also includes an approximately 6,600 square foot commercial / retail "pad" site along Fordem Avenue that will be developed in the future as Lot 2.

The main commercial suite at the "point" of the project will be highly visible and include covered public spaces. Professional office space is also provided along Sherman Avenue adjacent to the main entry for the apartment residents. A 21 stall surface parking lot, plus readily available street parking, will serve the commercial / retail space.

The residential component will include "walk-up" units that can be accessed directly from the sidewalk along Sherman Avenue. The building is set back from the corner of Sherman and Fordem Avenues with a landscaped public plaza. This public plaza allows the existing crosswalks to converge into one area for use by area residents. The four story building includes four to five units on the Fordem Avenue side of the 4th floor with a loft-room and roof-top patio. All other units will enjoy either a balcony or patio. A 59 stall underground parking level along with surface parking, plus immediately adjacent bus routes, and a plethora of bike parking options will accommodate the resident's transportation needs.

Anticipated building amenities will include a third floor community roof-top patio and adjacent community room; an exercise room; dog-wash area; external and internal canoe and kayak storage racks; under private storage units; secure bike storage; outdoor open space to include a landscaped plaza / seating area and garden plots.

Certified Survey Map

The CSM will create two lots. Lot 1 will accommodate this mixed-use apartment project and Lot 2 is configured as a pad-site to accommodate the future development of an additional retail or commercial building along Fordem Avenue. In the interim prior to development Lot 2 will be fully landscaped and be available for use by tenants as additional green space.

Demolition

The site currently contains three former commercial and retail buildings ranging in size from approximately 2,500 sf to 7,500 sf. The buildings are of no architectural significance and are functionally obsolete either due to a lack of use or configuration. To the extent possible, prior to demolition, all buildings will be either recycled, used for City of Madison Fire Department training exercises or elements of plantings, furnishings and building materials will be donated. Any building components containing hazardous materials will be properly abated prior to demolition.

Site Development Data:

Densities Lot 1:

Lot Area:	47,842 S.F. (apartment mixed use building) 6,667 S.F. (future retail or commercial pad site)
Dwelling Units:	63 units
Lot Area / D.U.:	761 S.F./unit
Density:	57.27 units/acre
Lot 1 Coverage:	34,880 S.F.
Usable Open Space required:	13,760 S.F. required (160 S.F. X 40 units & 320 S.F. X 23 units)

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Dwelling Unit Mix: - Apartments

Studio:	5
One Bedroom:	29 (includes 1 ADA unit)
One Bedroom plus Den:	4
Two Bedroom:	20 (includes 1 ADA unit)
Three Bedroom:	1
One Bedroom plus Loft:	2
<u>Two Bedroom plus Loft:</u>	<u>2</u>
Total	63

Building Height: 4 Stories above grade

Floor Area Ratio:

Commercial	~6,089 S.F.
First Level Parking	~24,543 (including circulation, storage and utility spaces)
<u>Residential</u>	<u>~76,959 (including circulation, amenity areas)</u>
Gross Floor Area	107,591 SF
Floor Area Ratio	75% (74.97%)

Vehicle Parking Stalls

Surface	21 (18 full size & 3 handicap)
<u>Underground</u>	<u>59 (55 full size, 2 compact & 2 handicap)</u>
Total	83

Bicycle parking Stalls

Surface	10 (10 required)
<u>Underground</u>	<u>65 (60 required)</u>
Total	75

Project Schedule


Project demolition and construction will begin in October, 2015 and continue through August, 2016. The development of the commercial / retail pad site will follow as market demand dictates.

Hours of Operation

The hours of operation of the commercial spaces in the project will vary depending on the specific commercial user.

Thank you for your time reviewing our proposal.

Very Truly Yours,



Kirk Keller

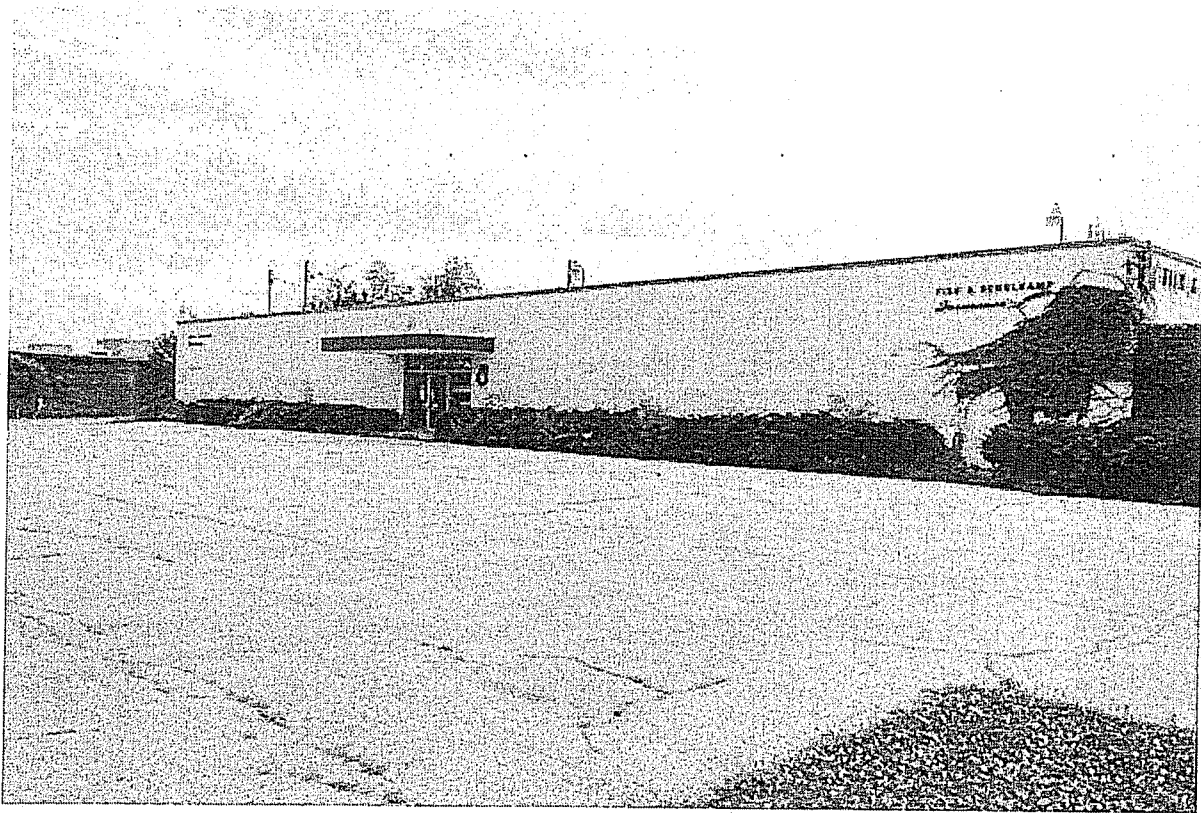
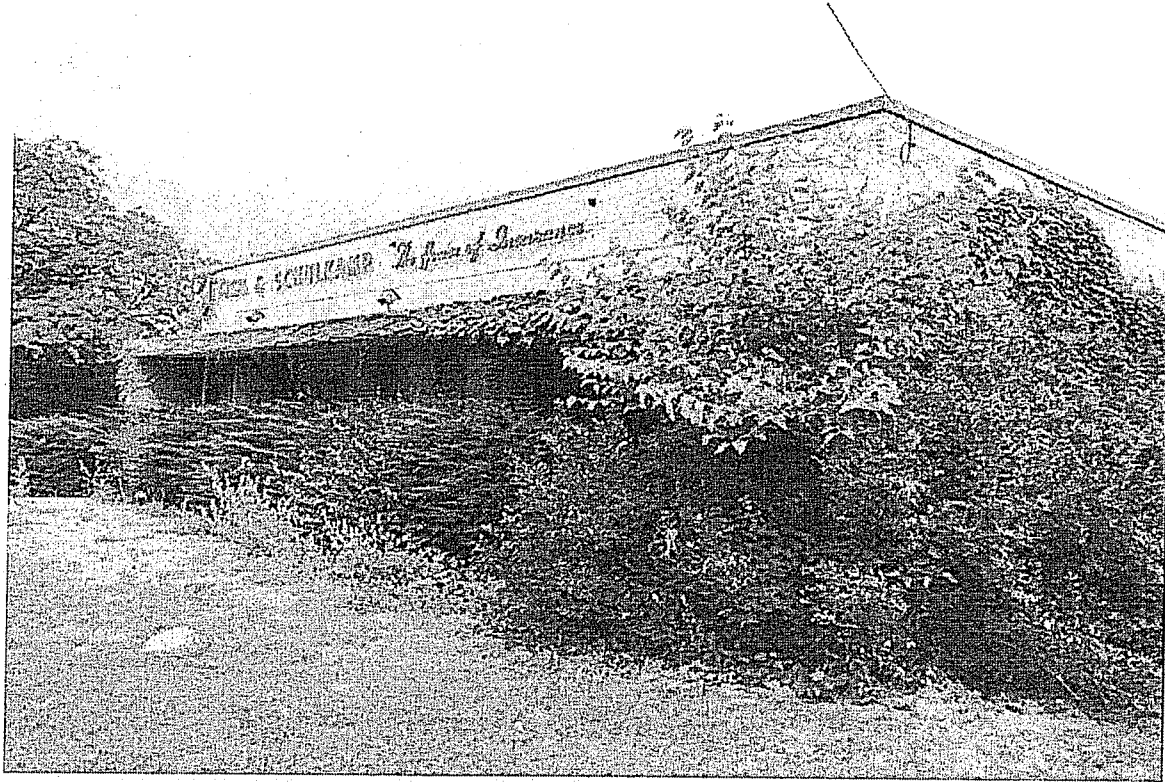
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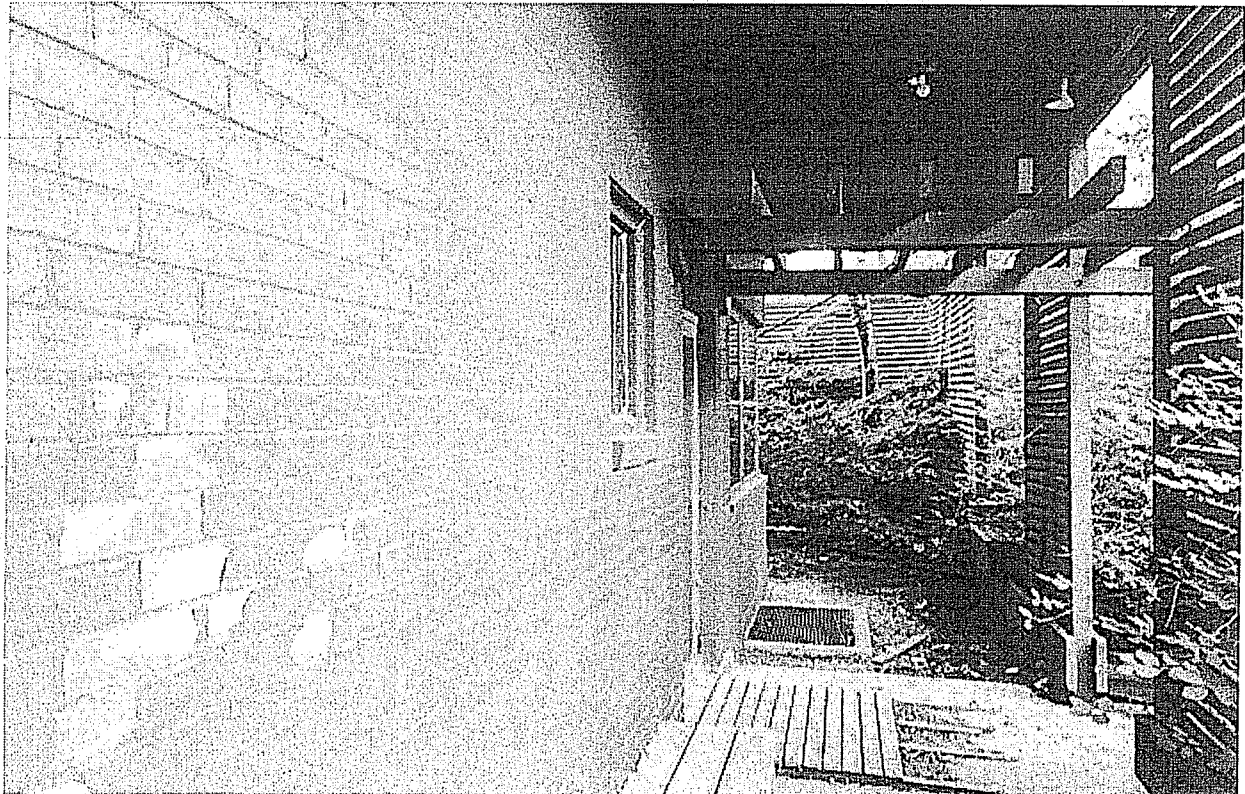
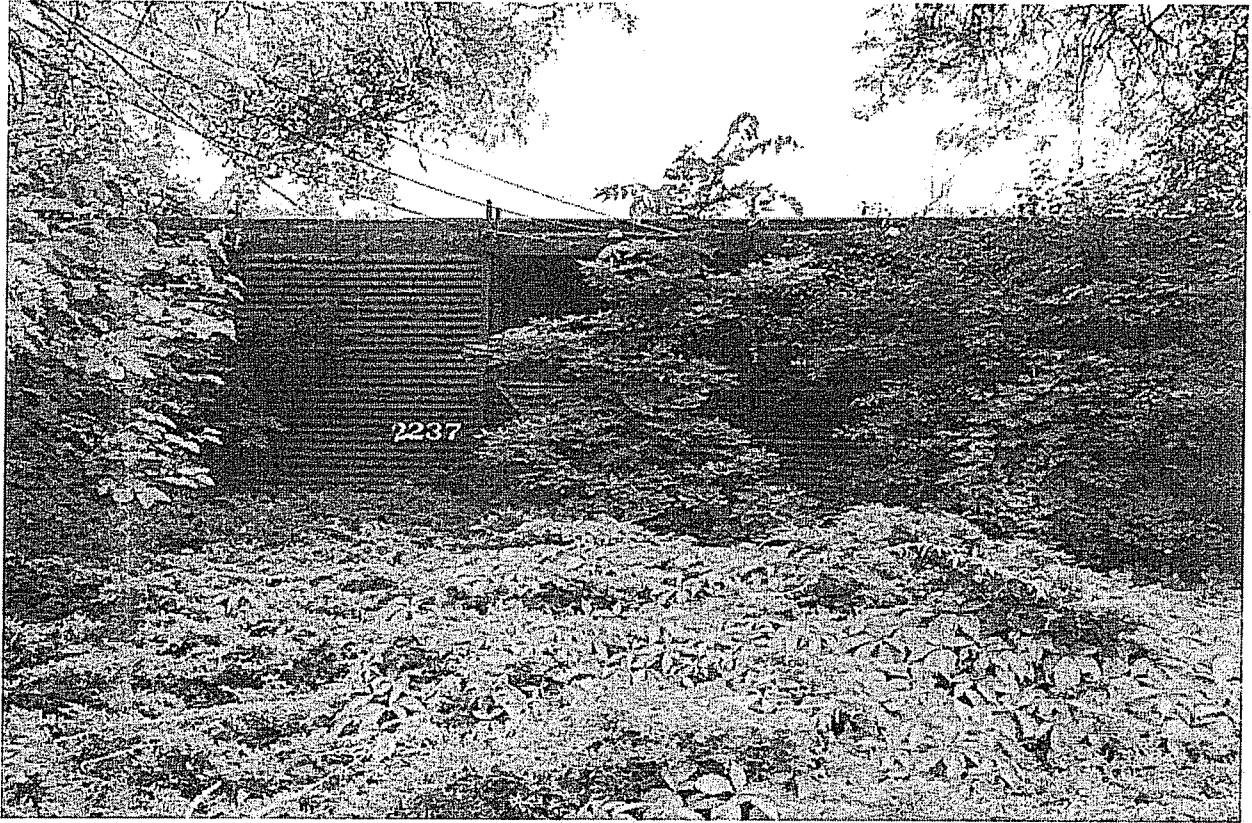
Demolition Permit Photos – 2117 Sherman Avenue



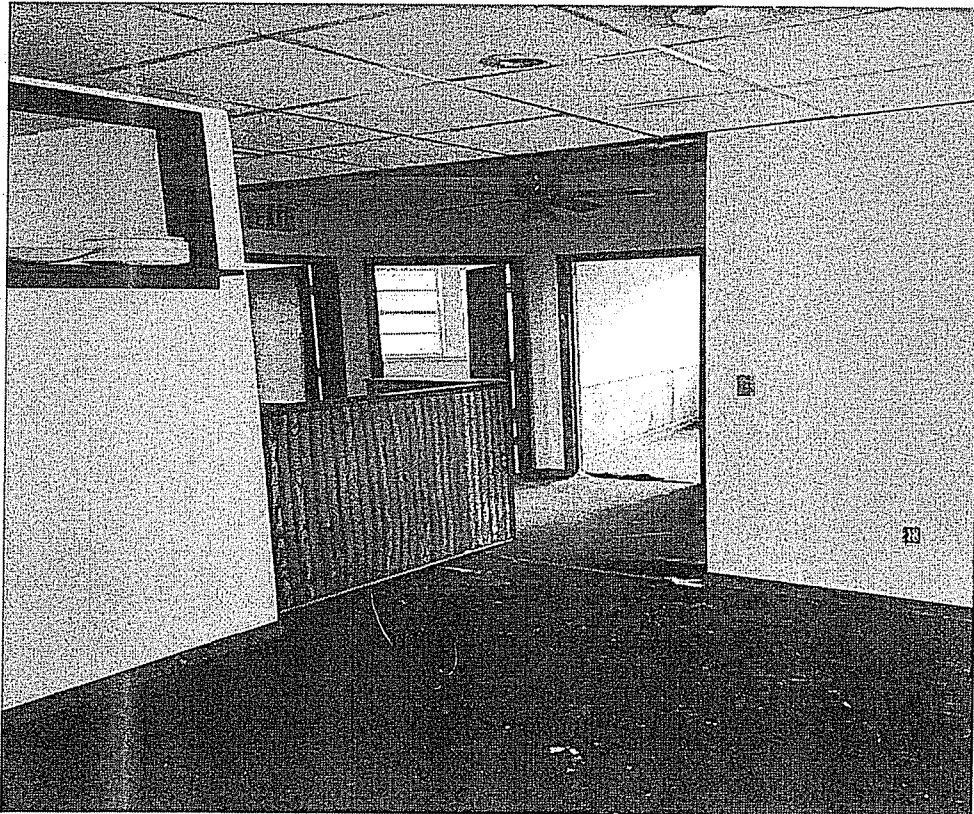
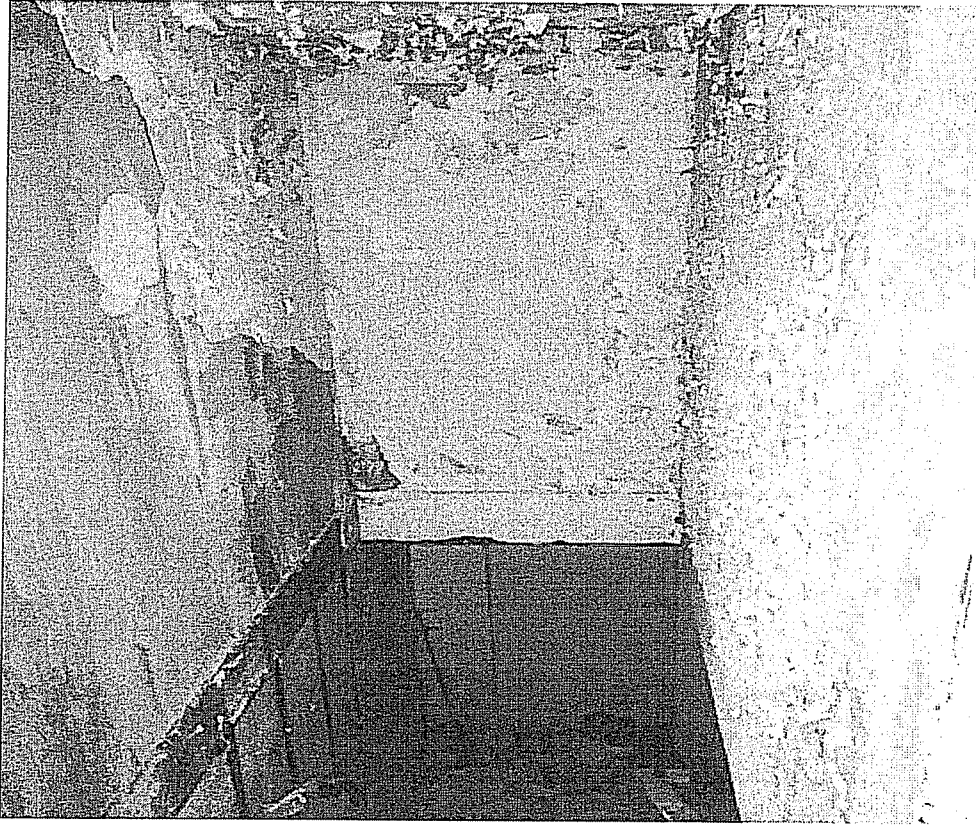
Interior Photos 2117 Sherman



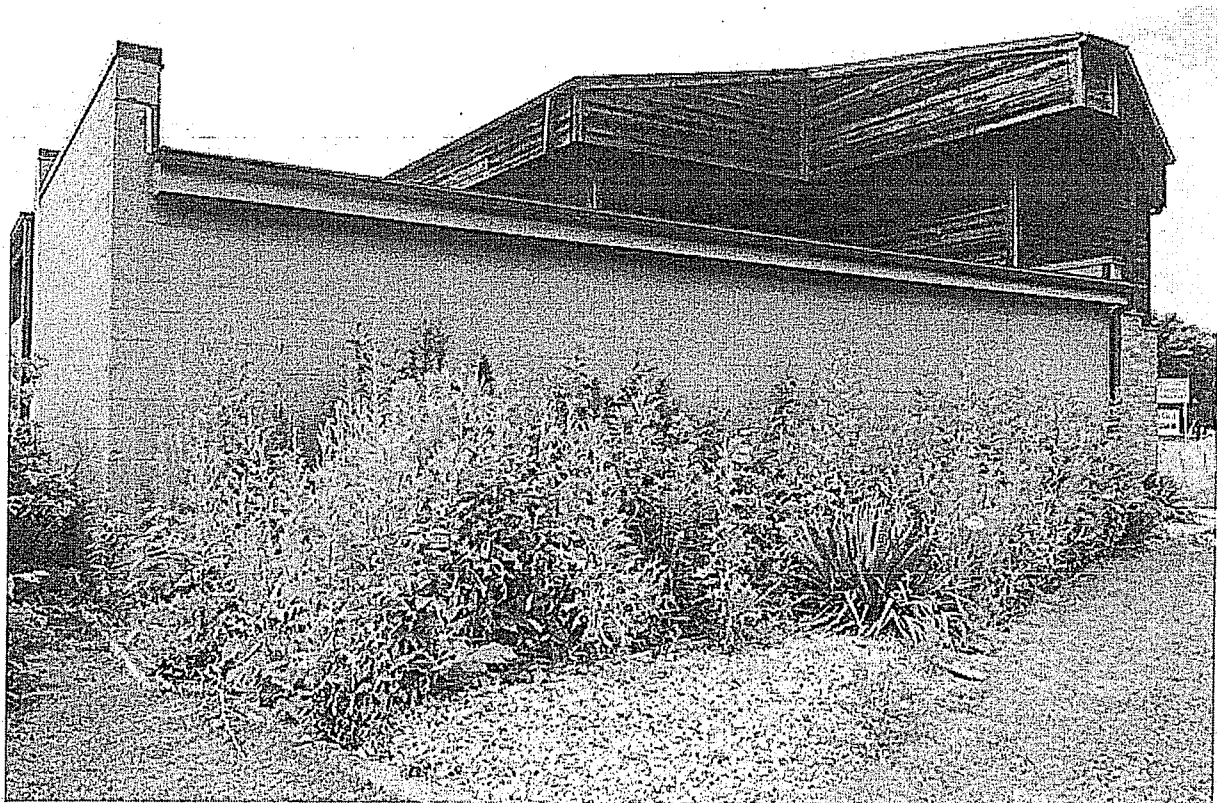
Demolition Permit Photos -2237 Sherman Avenue



Interior photos 2237 Sherman



Demolition Permit Photos 2249 Sherman Avenue



Interior Photos 2249 Sherman

