



LAND USE APPLICATION

CITY OF MADISON

**215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739**

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____
Date Received _____
Received By _____
Parcel No. _____
Aldermanic District _____
Zoning District _____
Special Requirements _____
Review Required By:
☐ Urban Design Commission ☐ Plan Commission
☐ Common Council ☐ Other: _____

Form Effective: February 21, 2013

1. Project Address: 2107-2249 Sherman Ave. Final Address to be determined by City

Project Title (if any): McKenzie Place, LLC

2. This is an application for (Check all that apply to your Land Use Application):

- ☐ Zoning Map Amendment from _____ to _____
- ☐ Major Amendment to Approved PD-GDP Zoning ☐ Major Amendment to Approved PD-SIP Zoning
- ☐ Review of Alteration to Planned Development (By Plan Commission)
- ☒ Conditional Use, or Major Alteration to an Approved Conditional Use
- ☐ Demolition Permit
- ☐ Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: John Fish **Company:** McKenzie Place, LLC
Street Address: 315 Lakewood Blvd. **City/State:** Madison, WI **Zip:** 53704
Telephone: (608) 219.7766 **Fax:** () NA **Email:** trout204@comcast.net

Project Contact Person: Kirk Keller **Company:** Plunkett Raysich Architects, LLP
Street Address: 2310 Crossroads Dr., Suite 2000 **City/State:** Madison, WI **Zip:** 53718
Telephone: (608) 478.4013 **Fax:** () NA **Email:** kkeller@prarch.com

Property Owner (if not applicant): NA
Street Address: _____ **City/State:** _____ **Zip:** _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Four story mixed use retail and apartment building replaces three older structures. Underground tenant parking. Future development lot.

Development Schedule: Commencement October 2015 Completion August 2016

5. Required Submittal Information

All Land Use applications are required to include the following:

☒ **Project Plans** including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

☒ **Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

☒ **Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

☒ **Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

☐ **Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

☐ **Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Multiple meetings held. Alderman, City staff, neighborhood association and area planning group more than 30 days prior to application

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

☐ **Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Heather Stouder Date: Multiple Zoning Staff: Jenny Kirchgatter Date: July, 1, 2015

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Kirk Keller

Relationship to Property: Architect

Authorizing Signature of Property Owner 

As Owner's
agent

Date July 22, 2015

22 July 2015

Ms. Katherine Cornwell
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: McKenzie Place Mixed Use Development
Plan Commission Review Application for a property in the NMX District
Certified Survey Map application
2107-2249 Sherman Avenue, Madison, WI

Ms. Katherine Cornwell:

The following is submitted together with the plans and application for the staff and Plan Commission consideration of approval.

Organizational Structure:

Owner/Developer:

McKenzie Place LLC
315 Lakewood Blvd
Madison, WI 53704
Contact: John Fish
Trout204@comcast.net

Engineer & Landscaping:

Vierbicher Associates, Inc.
999 Fourier Drive, Suite 201
Madison, WI 53717
608-821-3961
Contact: Matt Schreiner
msch@vierbicher.com

Architect:

Plunkett Raysich Architects, LLP
2310 Crossroads Drive, Suite 2000
Madison, WI 53718
608-478-4013
Contact: Kirk Keller, AIA, NCARB
kkeller@prarch.com

Introduction:

The triangular, 1.10 acre, property located at the intersection of Sherman Avenue and Fordem Avenue in Madison, Wisconsin currently contains 3 vacant, former commercial buildings in various stages of dilapidation. The site is zoned Neighborhood Mixed-Use. In conjunction with this application, a 2-lot CSM will be submitted to combine the appropriately sub-divided the underlying lots.

209 south water street milwaukee, wisconsin 53204 414 359 3060
2310 crossroads drive suite 2000 madison, wisconsin 53718 608 240 9900
1613 fruitville road suite 3 sarasota, florida 34236 941 348 3618

intelligent designs. inspired results. | www.prarch.com

Partners: Michael P. Brush, Martin P. Choren, Gregg R. Golden, Mark C. Herr, John J. Holz, Nicholas D. Kent,
Steven A. Kieckhafer, Scott A. Kramer, David J. Raysich, Michael H. Scherbel, Michael J. Sobczak



Project Description:

The mixed-use project will consist of 60 market rate apartments and approximately 6,700 square feet of commercial / retail space and will include 62 underground parking stalls. The project also includes a 6,667 square foot commercial / retail "pad" site along Fordem Avenue that will be developed in the future.

The main commercial suite at the "point" of the project will be highly visible and include interior mezzanine space with a private outdoor roof top patio. A 30 stall surface parking lot, plus readily available street parking, will serve the commercial / retail space.

The residential component will include "walk-up" units that can be accessed directly from the sidewalk along Sherman Avenue. The building will step-back from the Sherman Avenue frontage, with the building being 4 stories tall along the Fordem Avenue frontage. Six of the units on the 4th floor will include a loft-room and private roof-top patio. All other units will enjoy either a balcony or patio. A 62 stall underground parking level along with surface parking, plus immediately adjacent bus routes, and a plethora of bike parking options will accommodate the resident's transportation needs.

Anticipated building amenities will include a community roof-top patio and adjacent community room; an exercise room; dog-wash area; external and internal canoe and kayak storage racks; private storage units; secure bike storage; outdoor open space to include a landscaped plaza / seating area and garden plots.

Certified Survey Map

The CSM will create two lots, one to accommodate the mixed-use apartment project and the other to create a pad-site to accommodate the future development of an additional retail or commercial building along Fordem Avenue.

Demolition

The site currently contains three former commercial buildings ranging in size from 2,500 sf to 7,500 sf. The buildings are of no architectural significance and are functionally obsolete either due to a lack of up-keep or configuration. To the extent possible, prior to demolition, all interior materials will be either recycled or donated. Any building components containing asbestos will be properly abated prior to demolition.

Site Development Data:

Densities:

| | |
|-----------------------------|---|
| Lot Area: | 47,842 S.F. (apartment mixed use building) 6,667 S.F. (future retail or commercial pad site) |
| Dwelling Units: | 60 units |
| Lot Area / D.U.: | 797 S.F./unit |
| Density: | 54.5 units/acre |
| Lot 1 Coverage: | 35,868 S.F. |
| Usable Open Space required: | 12,480 S.F. required (160 S.F. X 42 units & 320 S.F. X 18 units) |

Dwelling Unit Mix: - Apartments

| | |
|-------------------------------|--------------------------|
| Studio: | 10 |
| One Bedroom: | 24 (includes 1 ADA unit) |
| One Bedroom plus Den: | 4 |
| Two Bedroom: | 10 (includes 1 ADA unit) |
| Two Bedroom plus Den: | 3 |
| Three Bedroom: | 3 |
| One Bedroom plus Loft: | 4 |
| <u>Two Bedroom plus Loft:</u> | <u>2</u> |
| Total | 60 |

Building Height: 4 Stories above grade

Floor Area Ratio:

| | |
|---------------------|--|
| Commercial | 6,089 S.F. |
| First Level Parking | 24,543 (including circulation, storage and utility spaces) |
| <u>Residential</u> | <u>76,959 (including circulation, amenity areas)</u> |
| Gross Floor Area | 107,591 SF |
| Floor Area Ratio | 75% (74.97%) |

Vehicle Parking Stalls

| | |
|--------------------|---|
| Surface | 23 (20 full size & 3 handicap) |
| <u>Underground</u> | <u>60 (58 full size & 2 handicap)</u> |
| Total | 83 |

Bicycle parking Stalls

| | |
|--------------------|-------------------------|
| Surface | 10 (10 required) |
| <u>Underground</u> | <u>65 (60 required)</u> |
| Total | 75 |

Project Schedule

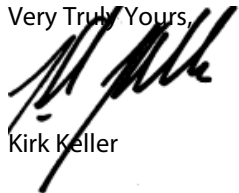
Project construction will begin in October, 2015 and continue through July, 2016. The development of the commercial / retail pad site will follow as market demand dictates.

Hours of Operation

The hours of operation of the commercial spaces in the project will vary depending on the specific commercial user.

Thank you for your time reviewing our proposal.

Very Truly Yours,



Kirk Keller

Plunkett Raysich Architects, LLP

209 south water street milwaukee, wisconsin 53204 t 414 359 3060
2310 crossroads drive suite 2000 madison, wisconsin 53718 t 608 240 9900
1613 fruitville road suite 3 sarasota, florida 34236 t 941 348 3618

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Steven A. Kieckhafer, Scott A. Kramer, David J. Raysich, Michael H. Scherbel, Michael J. Sobczak

COPIES

Traffic Engineering White
City Engineering Green
Applicant Yellow

PERMIT TO CONSTRUCT COMMERCIAL DRIVEWAY APPROACH

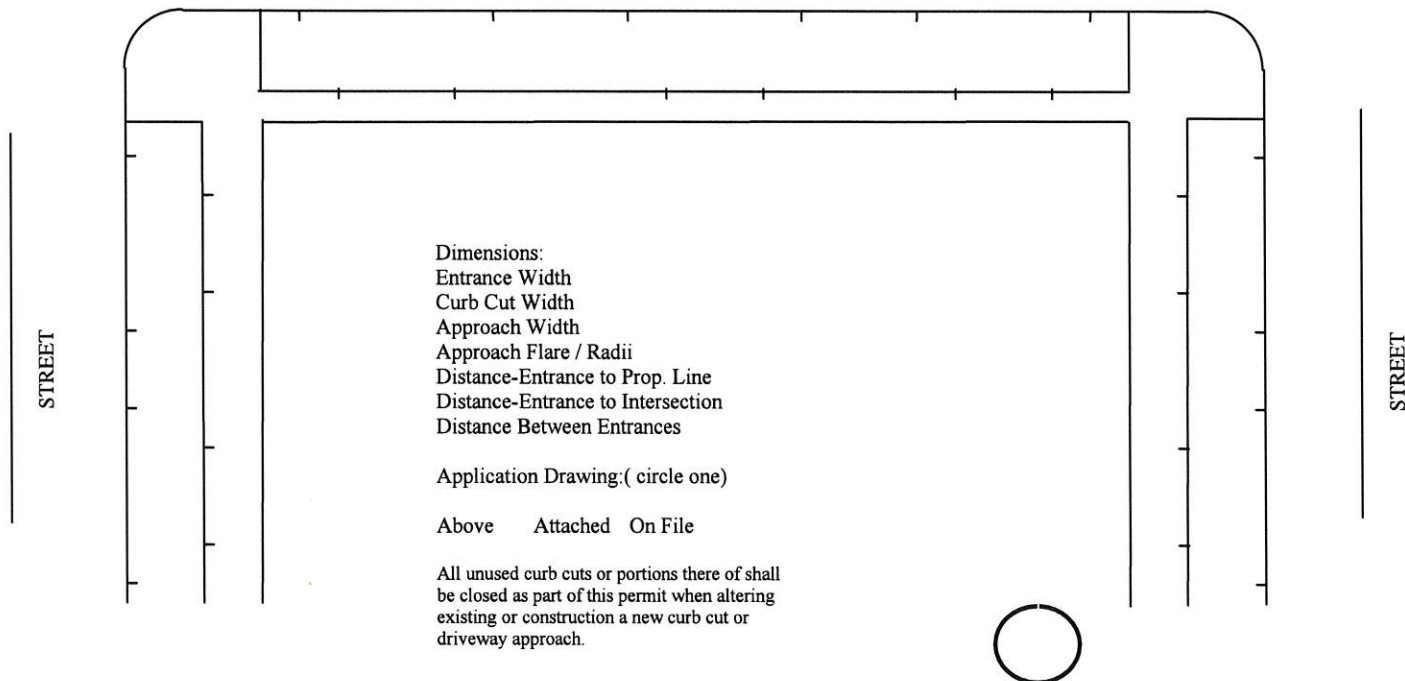
At 2107-2249 SHERMAN AVENUE

Street Address of Site Served

Diagram for Office Use Only

Sheet of

STREET



Read Carefully the Front and Reverse Side of Permit

Box for Office Use Only Class of Driveway: I II III IIIa IV SPECIAL DESIGN - (Circle Type/s of Driveway approaches)

Site Use: Residential Commercial Parking Facility

Required: Inch PVC conduit shall be installed under the driveway approach(es) as noted.

Required: Split Inch PVC Schedule conduit to encase cable-in-duct shall be installed under the driveway approach(es). The split duct shall be installed above and below the cable-in-duct, fused together and then taped.

Parking facility plan required: No Yes This permit is valid for a period of one (1) year from the date of approval.

Approach Material: Concrete Asphalt Other

Prevent Encroachment By: Curb Post Rail Sod Other

Approval Necessary By: City Engineer County Other

Pipe Culvert Under (Class II/IV Approaches) Size Length

Permission is hereby granted to construct the driveway approach(es) described above in accordance with Section 10.08 of the General Ordinances of the City of Madison

Traffic Engineering Division Approved By/Date:

Inspected By and Dept/Date:

Permit Fee \$

I agree to notify the **City Engineering, Sidewalk Inspection, (266-4537)** to arrange for inspection of the approach(es) and the **Traffic Engineering Shop Electrical Section, (266-4767)** to arrange for inspection of the duct(s) placement under the approach(es), a minimum of 48 hours before concrete or asphalt is place.

I hereby agree that I will faithfully comply with the terms of this permit, including the Special Provisions; that I will comply with all applicable statutes, ordinances, rules and regulations of the State of Wisconsin and the City Of Madison; that contractors shall be qualified by the City of Madison prior to starting work on this permit; that I will indemnify, defend and hold the City Of Madison harmless from any and all claims, liability, loss, damage or expense incurred by the City Of Madison on account of any injury to or death of any person or any damage to property caused by or resulting from activity or work performed under this permit, whether caused by or contributed to by the City Of Madison, its officials, agents or employees.

I agree to pay the driveway approach fees according to M.G.O. 10.08(f).

I have read and understand the above requirements.

Signature of Owner/Contractor/Agent: Brian Barritt (Agent) Telephone Number:

Brian Barritt

608.821-3980

Address:

VIERBICHER ASSOCIATES, INC. 999 FOURIER DRIVE, SUITE 201, MADISON, WI 53717



Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Blvd., Ste. LL-100
Madison, WI 53703
266-4551 FAX 267-8739

Parking Lot / Site Plan Approval Application Checklist

Instructions: Please complete this form and submit it with all the materials necessary for a parking lot plan review and approval. Check boxes for the items submitted that apply to your project. If you are not sure about what to show or submit, call the appropriate agency (see Box G). Once your application is accepted, staff will review, approve and return your application materials within 7 working days or sooner.

| | | |
|---|--|---|
| Site Address 2107-2249 SHERMAN AVENUE, MADISON, WI 53704 | | |
| Contact Person BRIAN BARRIT (AKA) | Company VIERBICHER ASSOCIATES, INC | Phone/FAX 608.821-3980/608.826-0530 |
| Contact Person Address 999 FOURIER DRIVE, MADISON, WI 53717 | | |
| Project Type (check one): <input checked="" type="checkbox"/> New <input type="checkbox"/> Alteration | | |

A. These items must be included with an application:

- ☒ 1. Scaled plan drawing(s): 1" = 20' or larger: 7 complete sets
- ☒ 2. Conditional Use or PUD/SIP approval letter (if applicable)
- ☒ 3. Driveway Opening Permit application
- ☒ 4. Easements for joint driveways or joined parking lots on separate parcels (if applicable) **CSM**
- ☒ 5. Land Disturbing Activity Permit Application (sizes 1 acre or more in size)
- ☒ 6. Erosion Control Plan: 7 copies (sizes 1 acre or more in size-See Example Plan 2)
- ☒ 7. Landscape Worksheet (sites with more than 3 parking stalls)
- ☐ 8. Outdoor Lighting Plan and manufacturers specs (if applicable)

B. Information about your property that must be shown on your drawing(s). See Example Plan W:

- ☒ 9. Project information block on first page of plan
- ☒ 10. Property lines
- ☒ 11. Abutting right-of-way, roadways, driveways and terraces shown and dimensioned
- ☒ 12. Elevations of existing and proposed site to City datum
- ☒ 13. Elevation of top of curb
- ☒ 14. Storm sewers or drainage pattern (See Example Plan Y)
- ☒ 15. Proposed driveway radii
- ☒ 16. Type of surface on driveway, approach and lot (grass, concrete, bituminous)
- ☒ 17. Location of existing and proposed impervious surfaces
- ☒ 18. Means of separation between parking lot and sidewalk or adjoining property
- ☒ 19. Tree islands and protective curbing
- ☒ 20. Screening or landscaping (See Example Plan X)
- ☐ 21. On-site fire hydrants **N/A**

C. Information about the structures that must be shown on your drawing:

- ☒ 22. Existing structures (footprints and dimensions)
- ☒ 23. Proposed structures (footprints and dimensions)
- ☒ 24. Setback distances (front, rear and sides)
- ☒ 25. Fencing and/or screening (type and location)

OFFICE USE ONLY:

| | |
|---------------------|-----------|
| Date/Time Received: | Accepted: |
| Staff Person | |

D. Parking layout information that must be on your drawing(s). See Example Plan W:

- ☒ 26. Dimensions of parking stalls and drive aisles
- ☒ 27. Location of accessible parking stalls
- ☒ 28. Location of accessible parking stall signs
- ☒ 29. Location and width of accessibility ramps
- ☒ 30. Location of loading facilities
- ☒ 31. Bicycle parking rack locations and rack style

E. "Off-property" information that must be shown on your drawing(s):

- ☒ 32. Trees, poles, signs in the right-of-way (if applicable)
- ☒ 33. Medians (if applicable)
- ☒ 34. Driveway openings directly across the street (if applicable)
- ☒ 35. Distance to nearest intersection
- ☒ 36. Fire hydrants within 500 feet of your property line

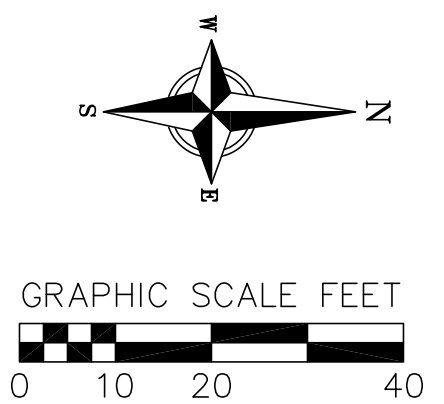
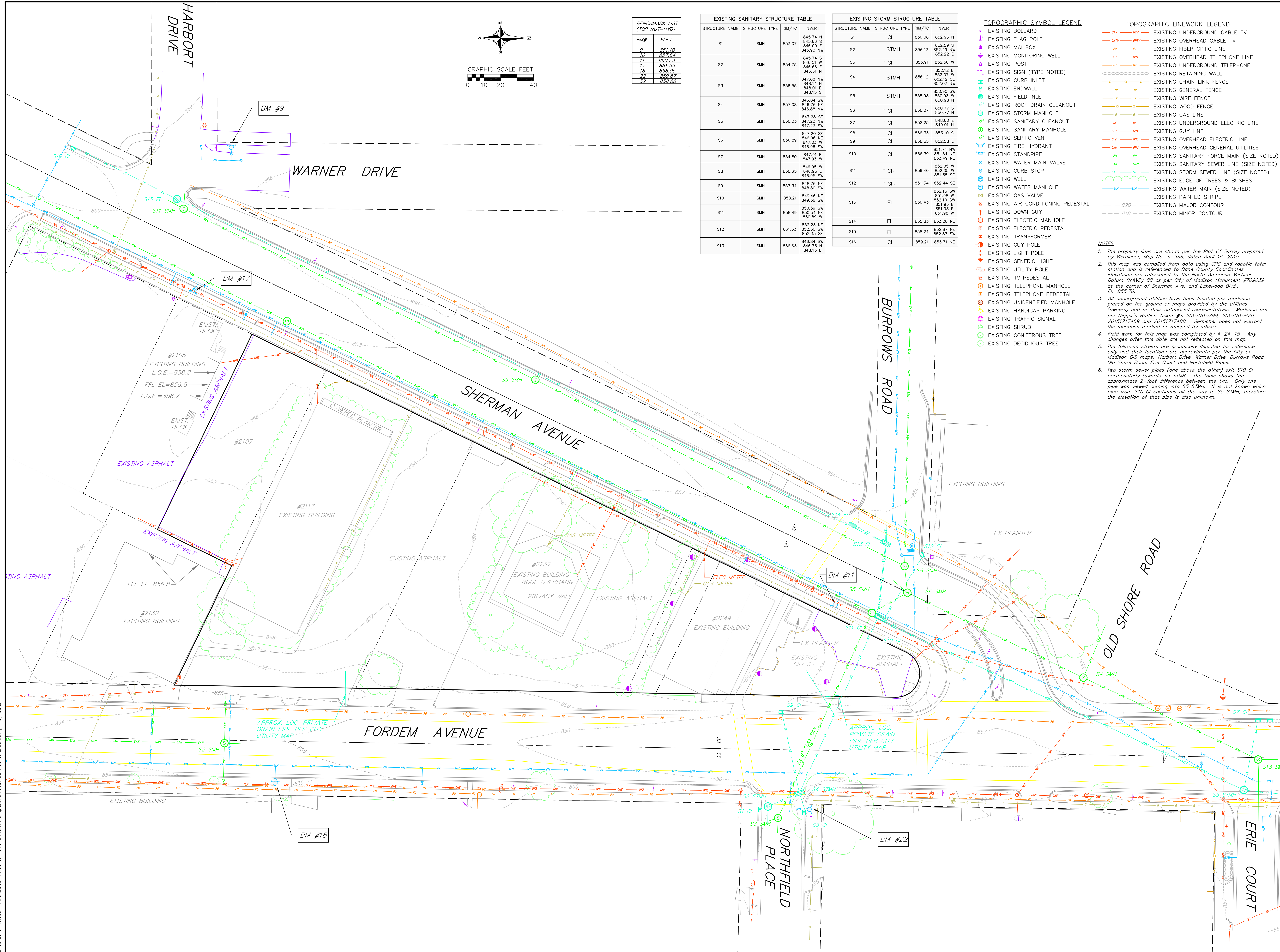
F. Other information you want staff to know:

| |
|--|
| |
| |
| |

G. Questions: Call City Staff for help.

| | | |
|---------------------|--------------------------|----------|
| ZONING | Building Use | 266-4551 |
| | Setbacks | |
| | Landscaping | |
| | Occupancy | |
| TRAFFIC ENGINEERING | Parking lot geometrics | 266-4761 |
| ENGINEERING | Drainage | 266-4751 |
| | Land disturbing activity | |
| | Soil erosion | |
| FIRE | Fire hydrants / access | 266-4484 |
| BUILDING INSPECTION | Parking lot lighting | 266-4568 |

| | | | | | |
|--------------------------|-----------|-----------|------|-----------|------|
| SCALE AS SHOWN | | REVISIONS | | REVISIONS | |
| DATE | 7/17/15 | NO. | DATE | NO. | DATE |
| DRAFTER | DEHL/MKRI | | | | |
| CHECKED | MSCH | | | | |
| PROJECT NO. 150109.00 | | | | | |
| C | | | | | |
| 1 | | | | | |



| BENCHMARK LIST (TOP NUT-HYD) | |
|---------------------------------|--------|
| BM# | ELEV. |
| 9 | 861.10 |
| 10 | 857.64 |
| 11 | 860.23 |
| 17 | 861.55 |
| 18 | 858.05 |
| 22 | 859.87 |
| 32 | 858.88 |

| EXISTING SANITARY STRUCTURE TABLE | | | |
|-----------------------------------|----------------|--------|---|
| STRUCTURE NAME | STRUCTURE TYPE | RIM/TC | INVERT |
| S1 | SMH | 853.07 | 845.74 N 845.66 S 846.09 E 845.80 NW |
| S2 | SMH | 854.75 | 845.74 S 846.51 W 846.88 E 846.51 N |
| S3 | SMH | 856.55 | 847.88 NW 848.14 N 848.01 E 848.15 S |
| S4 | SMH | 857.08 | 846.84 SW 846.76 NE 846.88 NW |
| S5 | SMH | 856.03 | 847.28 SE 847.20 NW 847.23 SW |
| S6 | SMH | 856.89 | 847.20 SE 846.96 NE 847.03 W 846.85 SW |
| S7 | SMH | 854.80 | 847.91 E 847.93 W |
| S8 | SMH | 856.65 | 846.95 W 846.93 E 846.95 SW |
| S9 | SMH | 857.34 | 848.76 NE 848.80 SW |
| S10 | SMH | 858.21 | 850.59 SW 850.54 NE 850.89 W |
| S11 | SMH | 858.49 | 852.23 NE 852.23 SW 852.33 SE |
| S12 | SMH | 861.33 | 846.84 SW 846.76 N 848.13 E |
| S13 | SMH | 856.63 | |

| EXISTING STORM STRUCTURE TABLE | | | |
|--------------------------------|----------------|--------|--|
| STRUCTURE NAME | STRUCTURE TYPE | RIM/TC | INVERT |
| S1 | CI | 856.08 | 852.93 N |
| S2 | STMH | 856.13 | 852.59 S 852.29 NW 852.22 E |
| S3 | CI | 855.91 | 852.56 W |
| S4 | STMH | 856.12 | 852.12 E 852.07 W 852.12 SE 852.07 NW |
| S5 | STMH | 855.98 | 850.90 SW 850.93 W 850.98 N |
| S6 | CI | 856.07 | 850.77 S 850.77 N |
| S7 | CI | 852.25 | 848.60 E 848.01 N |
| S8 | CI | 856.33 | 853.10 S |
| S9 | CI | 856.55 | 852.58 E |
| S10 | CI | 856.39 | 851.74 NW 851.54 NE 853.49 NE |
| S11 | CI | 856.40 | 852.05 W 852.05 W 851.55 SE |
| S12 | CI | 856.34 | 852.44 SE |
| S13 | FI | 856.43 | 852.13 SW 851.98 W 852.10 SW 851.93 E 851.93 E 851.98 W |
| S14 | FI | 855.83 | 853.28 NE |
| S15 | FI | 858.24 | 852.87 NE 852.87 SW |
| S16 | CI | 859.21 | 853.31 NE |

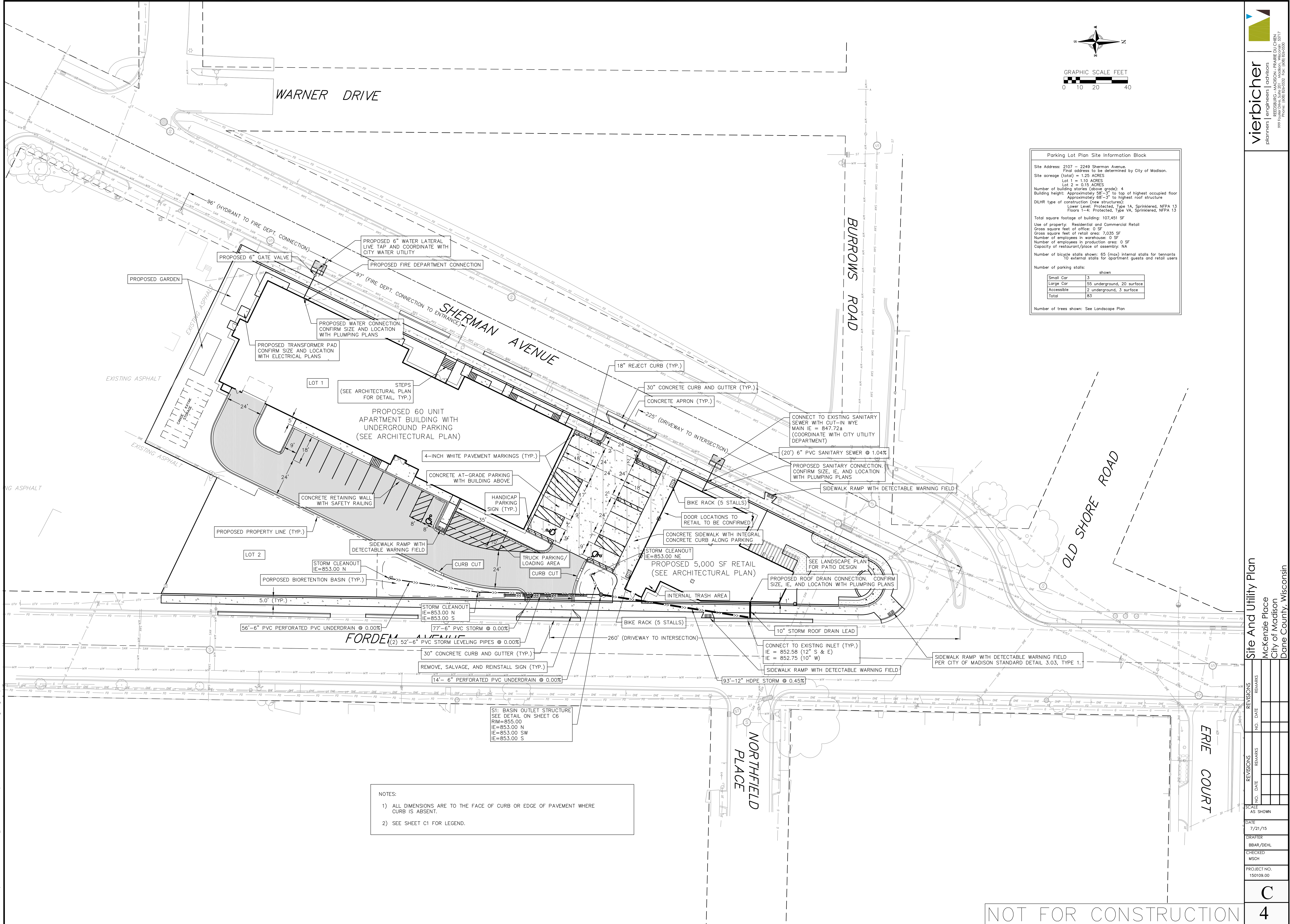
- TOPOGRAPHIC SYMBOL LEGEND
- EXISTING BOLLARD
 - EXISTING FLAG POLE
 - EXISTING MAILBOX
 - EXISTING MONITORING WELL
 - EXISTING POST
 - EXISTING SIGN (TYPE NOTED)
 - EXISTING CURB INLET
 - EXISTING ENDWALL
 - EXISTING FIELD INLET
 - EXISTING ROOF DRAIN CLEANOUT
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY CLEANOUT
 - EXISTING SANITARY MANHOLE
 - EXISTING SEPTIC VENT
 - EXISTING FIRE HYDRANT
 - EXISTING STANDPIPE
 - EXISTING WATER MAIN VALVE
 - EXISTING CURB STOP
 - EXISTING WELL
 - EXISTING WATER MANHOLE
 - EXISTING GAS VALVE
 - EXISTING AIR CONDITIONING PEDESTAL
 - EXISTING DOWN GUY
 - EXISTING ELECTRIC MANHOLE
 - EXISTING ELECTRIC PEDESTAL
 - EXISTING TRANSFORMER
 - EXISTING GUY POLE
 - EXISTING LIGHT POLE
 - EXISTING GENERIC LIGHT
 - EXISTING UTILITY POLE
 - EXISTING TV PEDESTAL
 - EXISTING TELEPHONE MANHOLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UNIDENTIFIED MANHOLE
 - EXISTING HANDICAP PARKING
 - EXISTING TRAFFIC SIGNAL
 - EXISTING SHRUB
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE

- TOPOGRAPHIC LINEWORK LEGEND
- EXISTING UNDERGROUND CABLE TV
 - EXISTING OVERHEAD CABLE TV
 - EXISTING FIBER OPTIC LINE
 - EXISTING OVERHEAD TELEPHONE LINE
 - EXISTING UNDERGROUND TELEPHONE
 - EXISTING RETAINING WALL
 - EXISTING CHAIN LINK FENCE
 - EXISTING GENERAL FENCE
 - EXISTING WIRE FENCE
 - EXISTING WOOD FENCE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING GUY LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING OVERHEAD GENERAL UTILITIES
 - EXISTING SANITARY FORCE MAIN (SIZE NOTED)
 - EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - EXISTING STORM SEWER LINE (SIZE NOTED)
 - EXISTING EDGE OF TREES & BUSHES
 - EXISTING WATER MAIN (SIZE NOTED)
 - EXISTING PAINTED STRIPE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR

- NOTES:
- The property lines are shown per the Plat Of Survey prepared by Vierbicher, Map No. S-588, dated April 16, 2015.
 - This map was compiled from data using GPS and robotic total station and is referenced to Dane County Coordinates. Elevations are referenced to the North American Vertical Datum (NAVD) 88 as per City of Madison Monument #709039 at the corner of Sherman Ave. and Lakewood Blvd., El.=855.76.
 - All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline Ticket #'s 20151615799, 20151615820, 20151717489 and 20151717488. Vierbicher does not warrant the locations marked or mapped by others.
 - Field work for this map was completed by 4-24-15. Any changes after this date are not reflected on this map.
 - The following streets are graphically depicted for reference only and their locations are approximate per the City of Madison GIS maps: Harbort Drive, Warner Drive, Burrows Road, Old Shore Road, Erie Court and Northfield Place.
 - Two storm sewer pipes (one above the other) exit S10 CI northeasterly towards S5 STMH. The table shows the approximate 2-foot difference between the two. Only one pipe was viewed coming into S5 STMH. It is not known which pipe from S10 CI continues all the way to S5 STMH, therefore the elevation of that pipe is also unknown.

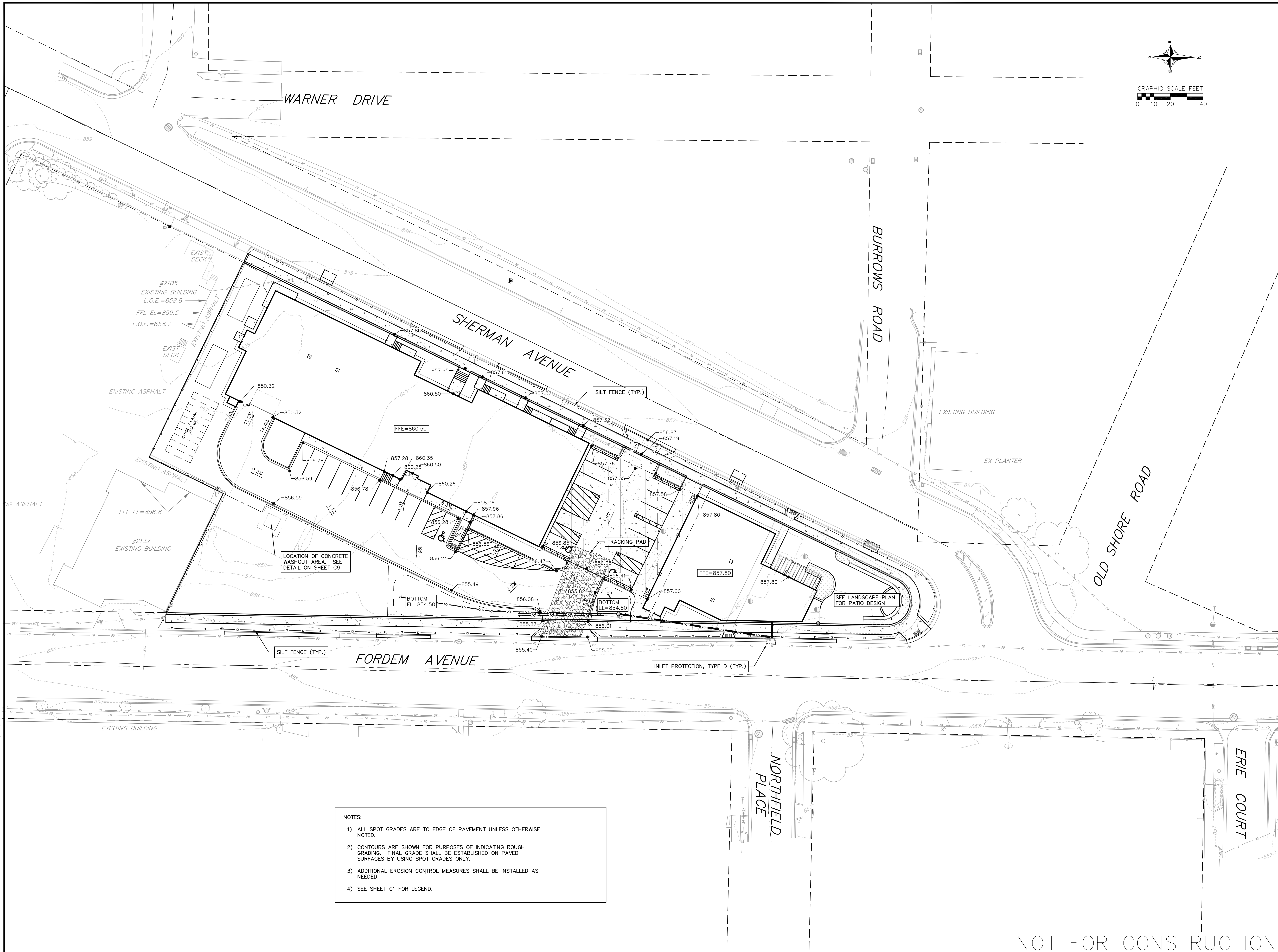
| Existing Conditions Plan | |
|---|---------|
| McKenzie Place City of Madison Dane County, Wisconsin | |
| REVISIONS | REMARKS |
| NO. DATE | |
| 1 7/22/15 | |
| 2 | |
| 3 | |
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| Parking Lot Plan Site Information Block | |
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| Site Address: 2107 - 2249 Sherman Avenue. | |
| Final address to be determined by City of Madison. | |
| Site acreage (total) = 1.25 ACRES | |
| Lot 1 = 1.10 ACRES | |
| Lot 2 = 0.15 ACRES | |
| Number of building stories (above grade): 4 | |
| Building height: Approximately 58'-3" to top of highest occupied floor | |
| Approximately 68'-3" to highest roof structure | |
| DILHR type of construction (new structures): | |
| Lower Level: Protected, Type VA, Sprinklered, NFPA 13 | |
| Floors 1-4: Protected, Type VA, Sprinklered, NFPA 13 | |
| Total square footage of building: 107,451 SF | |
| Use of property: Residential and Commercial Retail | |
| Gross square feet of office: 0 SF | |
| Gross square feet of retail area: 7,035 SF | |
| Number of employees in warehouse: 0 SF | |
| Number of employees in production area: 0 SF | |
| Capacity of restaurant/place of assembly: NA | |
| Number of bicycle stalls shown: 65 (max) internal stalls for tenants | |
| 10 external stalls for apartment guests and retail users | |
| Number of parking stalls: | |
| shown | |
| Small Car | 3 |
| Large Car | 55 underground, 20 surface |
| Accessible | 2 underground, 3 surface |
| Total | 83 |
| Number of trees shown: See Landscape Plan | |

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EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
13. USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
14. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
15. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
16. AFTER DETENTION BASIN GRADING IS COMPLETE, THE BOTTOM OF DRY BASINS SHALL RECEIVE 6" TOPSOIL AND SHALL BE CHISEL-PLOWED TO A MINIMUM DEPTH OF 12" PRIOR TO RESTORATION.
17. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
18. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
19. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
20. EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
21. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
22. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
23. INSTALL MINIMUM 6'-7' WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
24. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
25. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
26. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
27. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
28. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
29. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL-DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL-STREETS & LOTS.
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

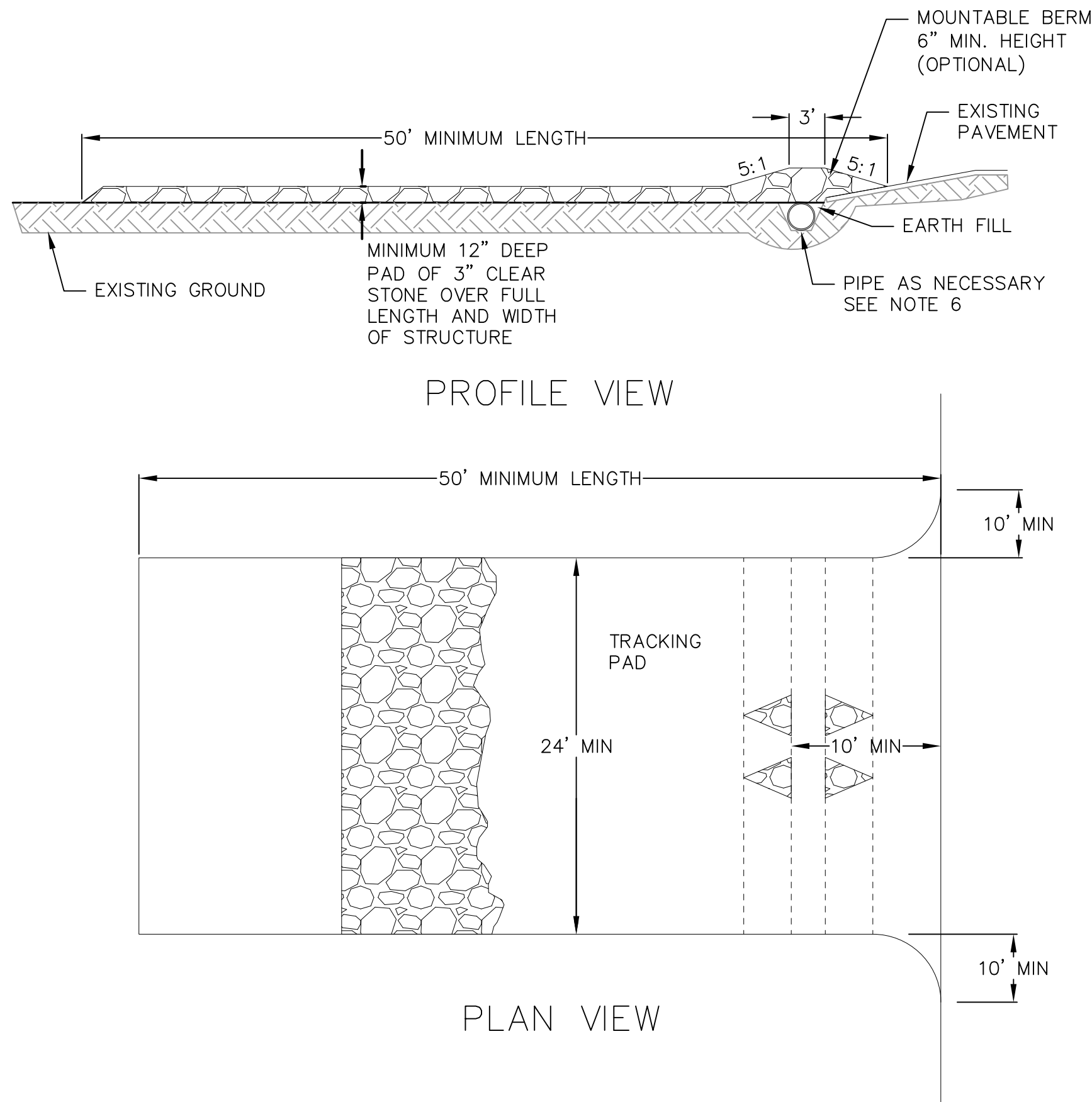
TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

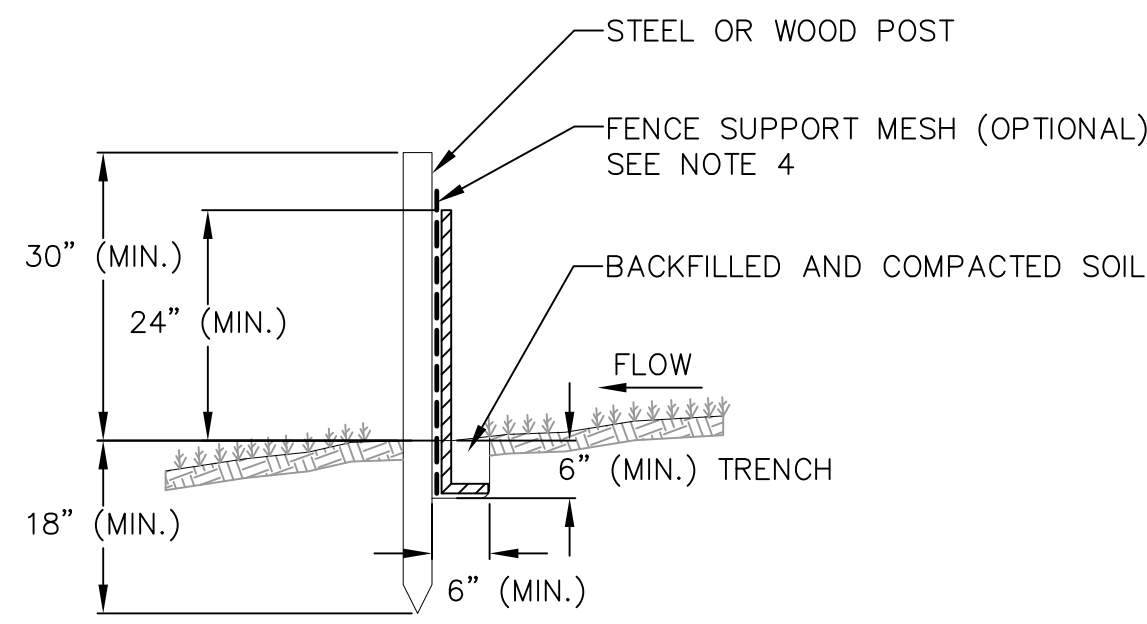
TEMPORARY AND PERMANENT:

- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

TRACKING PAD
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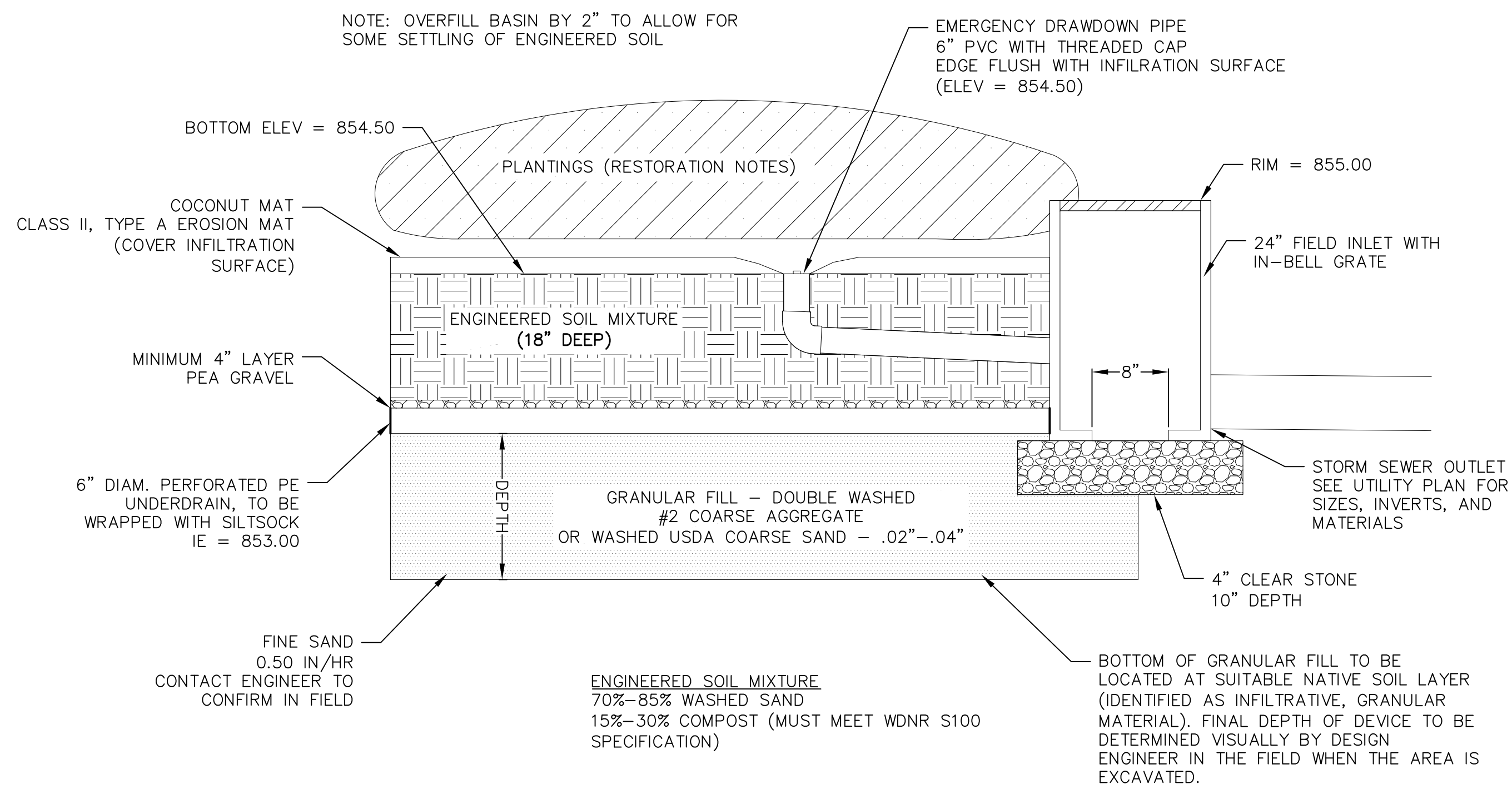


NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)

POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

SILT FENCE
NOT TO SCALE



BIO-RETENTION BASIN
NOT TO SCALE

BIO-RETENTION AREA RESTORATION SPECIFICATIONS:

NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)

USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT, OR MEDIUM STATURE) - OR ENGINEER APPROVED EQUAL.

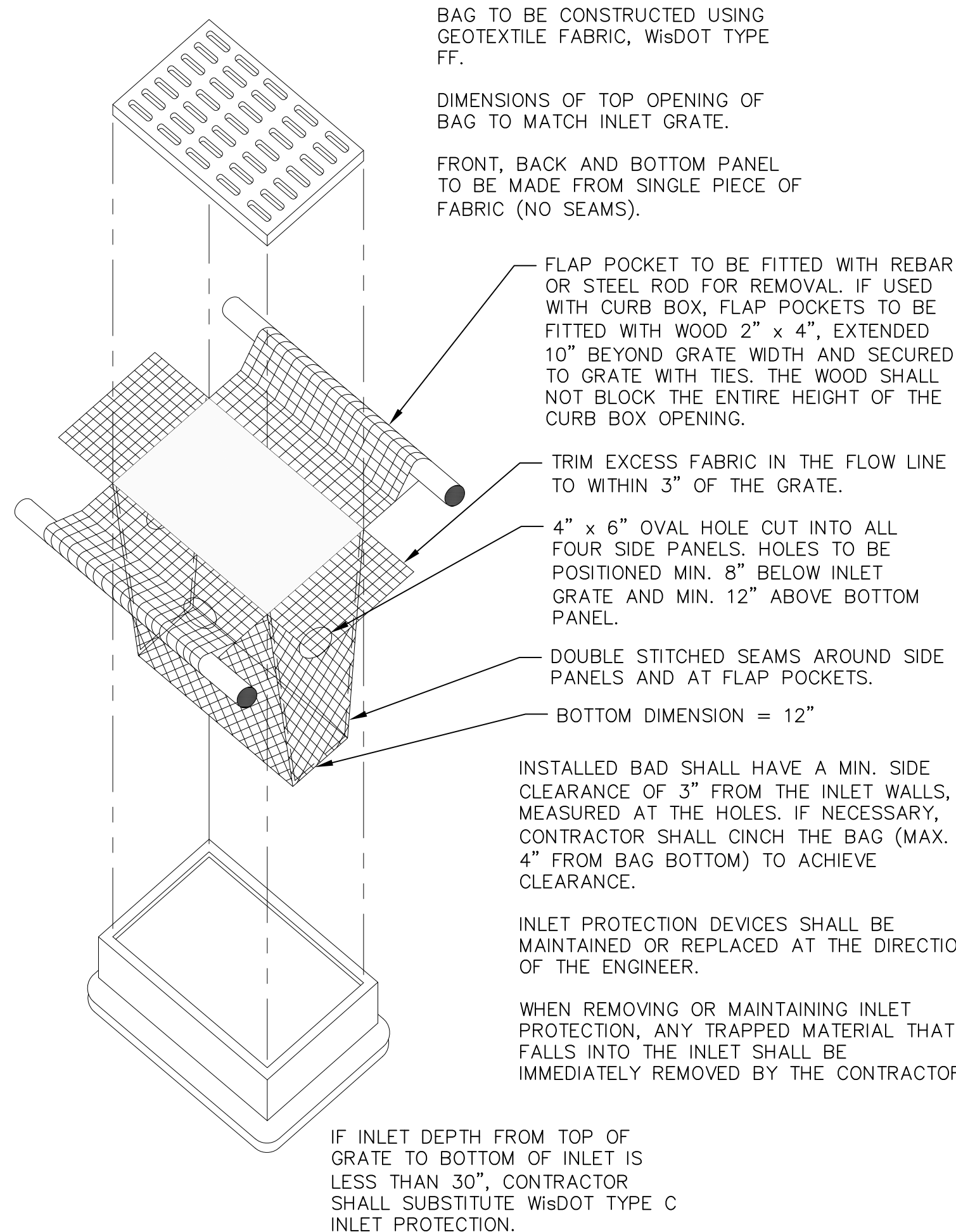
PLANT PLUGS AT 1 PER SQUARE FOOT.

PLANTING, MULCH, AND MAINTENANCE NOTES:

PLANTING SHOULD TAKE PLACE BETWEEN AVAILABILITY OF PLANTS IN SPRING AND JUNE 30TH, OR BETWEEN SEPTEMBER 1ST AND OCTOBER 15TH. IF PLANTED JULY 1ST THROUGH AUGUST 31ST, HEAVILY WATER THE PLANTS AT THE TIME THEY ARE PLANTED, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING. IF PLANTED SEPTEMBER 1ST THROUGH OCTOBER 15TH, PLACE CERTIFIED WEED-FREE STRAW MULCH AT 3" MINIMUM THICKNESS BETWEEN PLANTS TO HELP PREVENT FROST HEAVE. IF PLANTING IS TO OCCUR AFTER OCTOBER 15TH, IT MUST BE POSTPONED UNTIL THE FOLLOWING SPRING (MAY). FOR THE FIRST 3 YEARS AFTER PLANTING, SPOT TREAT THE AREA WITH HERBICIDE TO REMOVE WEEDS.

RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):

1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
3. PLACE WASHED SAND (FREE OF P200 PARTICLES) TO 46 INCHES BELOW GROUND SURFACE (IF REQUIRED).
4. PLACE 36 INCHES OF ENGINEERED SOIL, COMPRISED OF:
70-85% WASHED SAND
15-30% COMPOST (MUST MEET WDNr S100 SPECIFICATION)
5. PLANT PLUG, MULCH, WATER, AND MAINTAIN AS DIRECTED ABOVE.

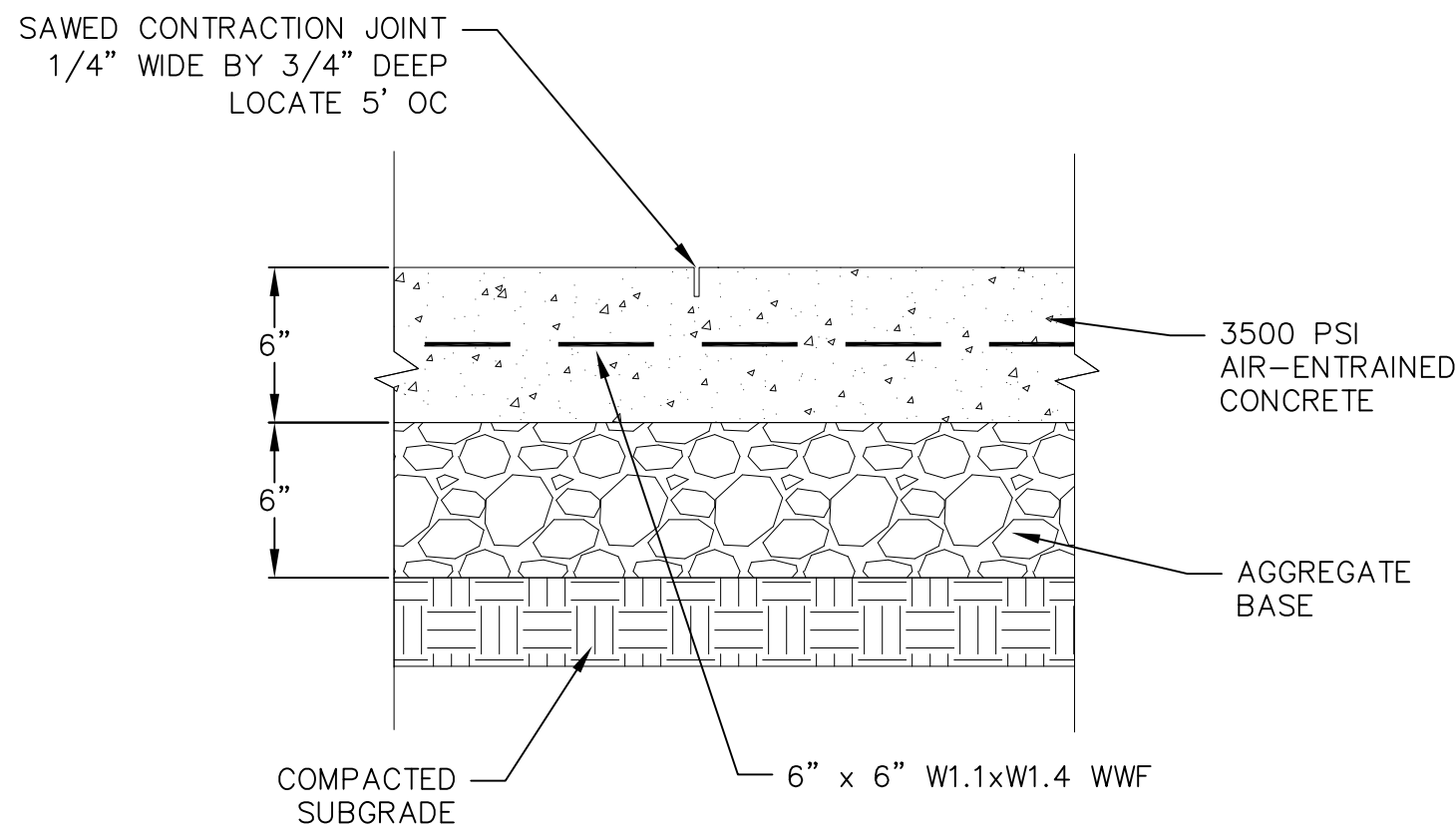


INLET PROTECTION TYPE D
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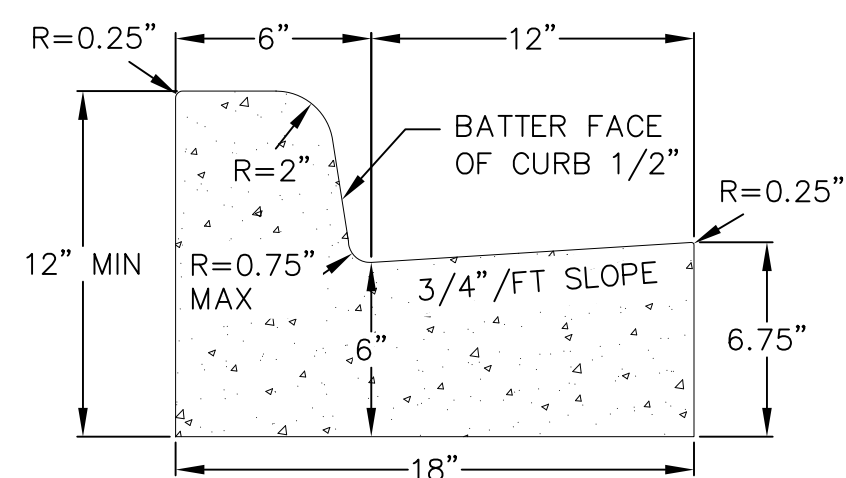
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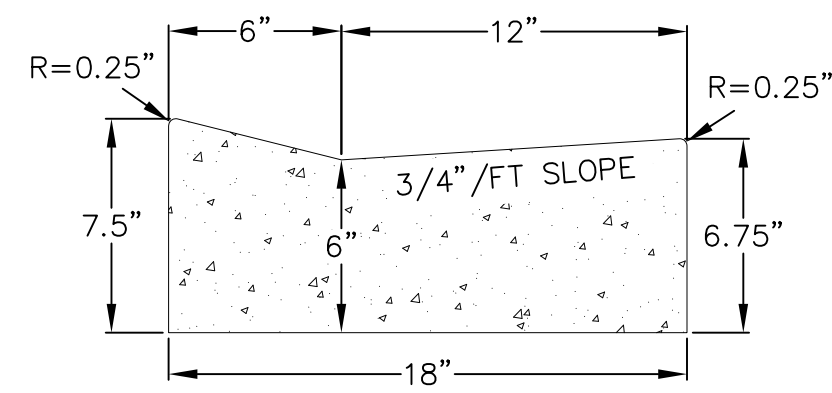
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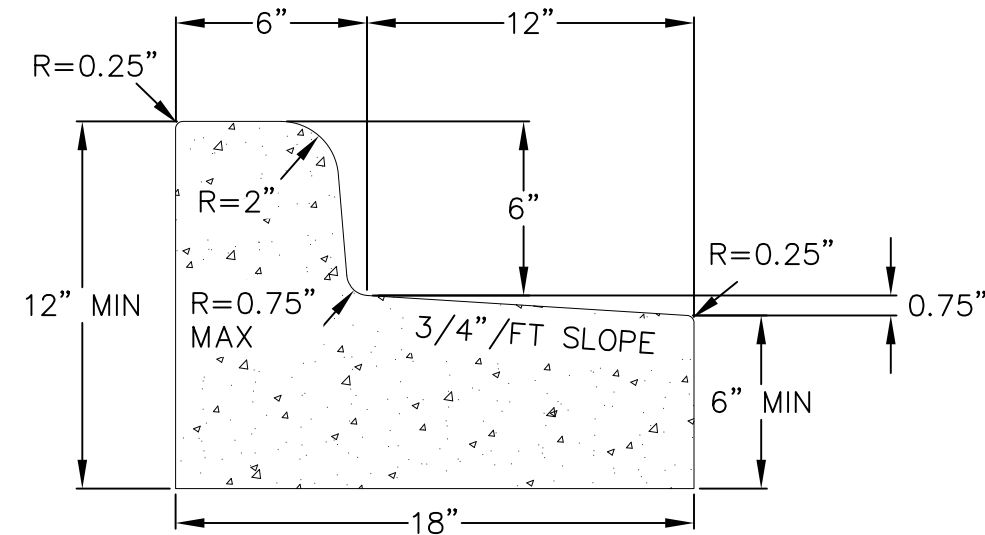
1 CONCRETE PAD
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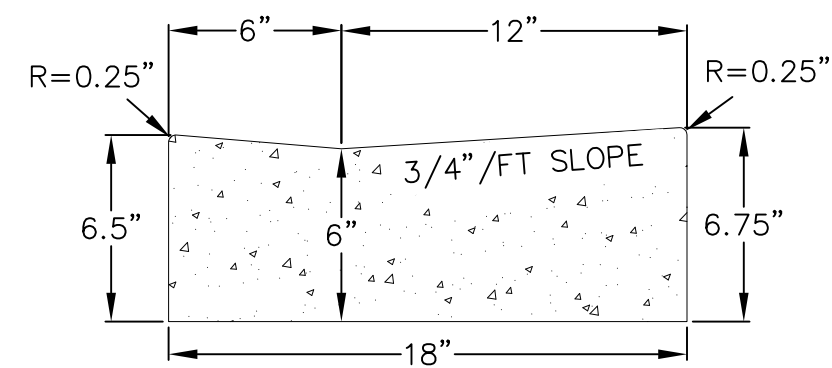
CURB AND GUTTER
CROSS SECTION



DRIVEWAY GUTTER
CROSS SECTION

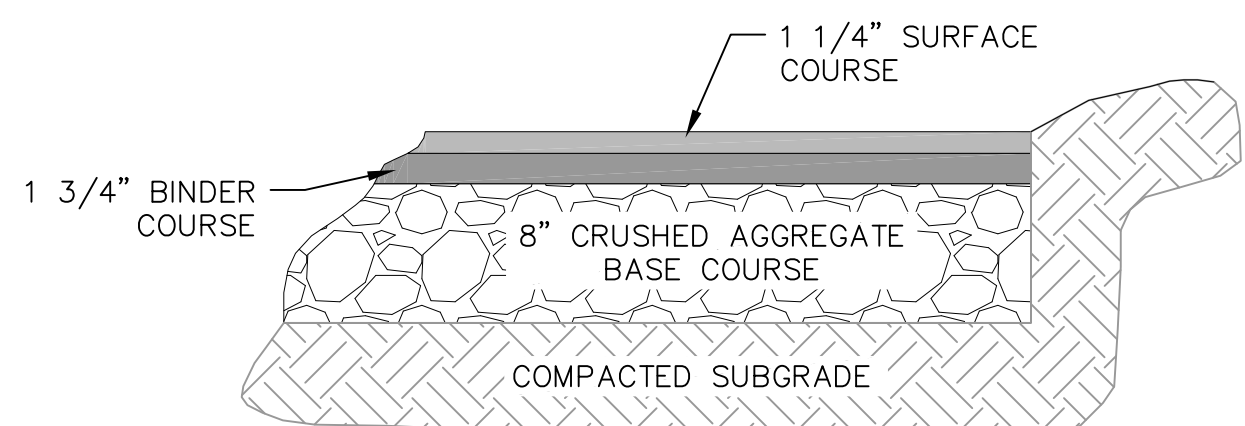


CURB AND GUTTER
REJECT SECTION



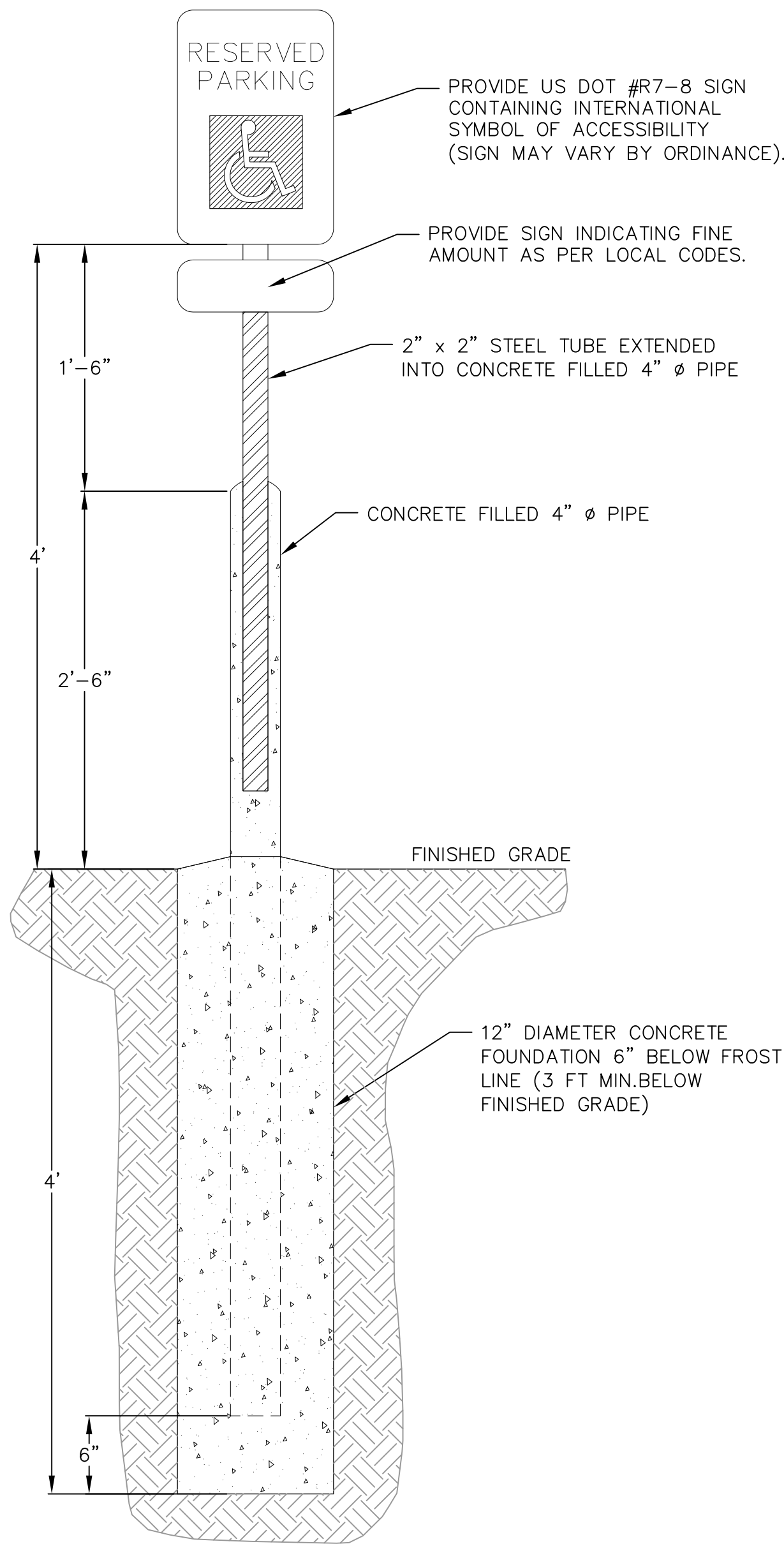
HANDICAP RAMP
GUTTER CROSS SECTION

1 18\" CONCRETE CURB AND GUTTER
1 NOT TO SCALE



BITUMINOUS PAVEMENT
PARKING LOT

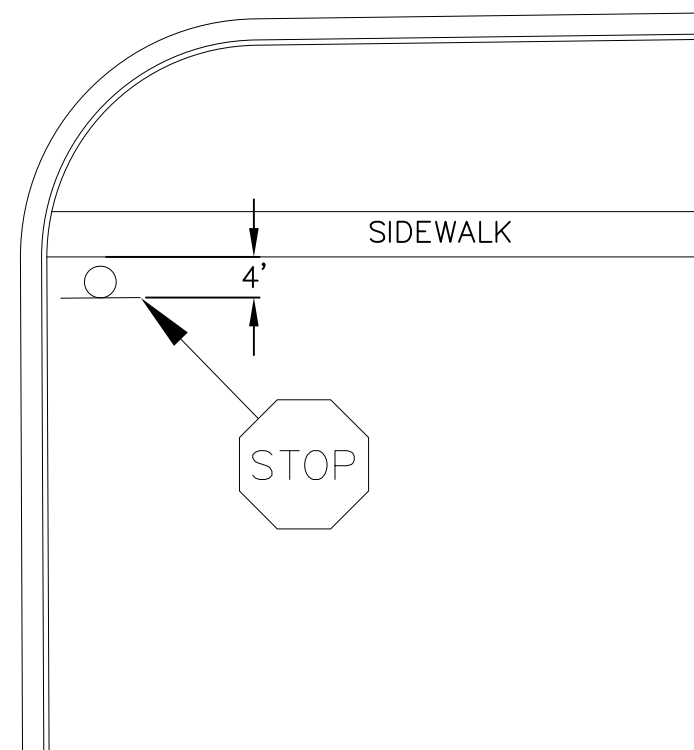
1 SITE PAVEMENT
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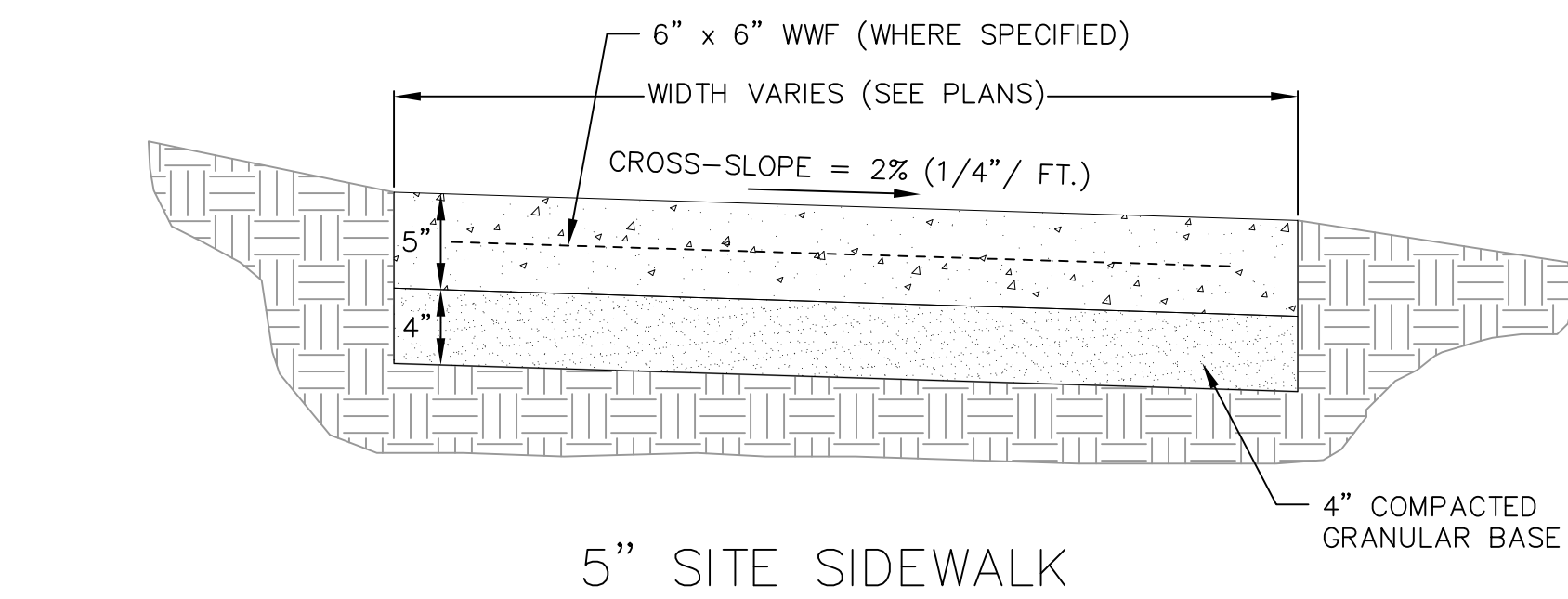
1 HANDICAP PARKING SIGN
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SIGNAGE NOTES:

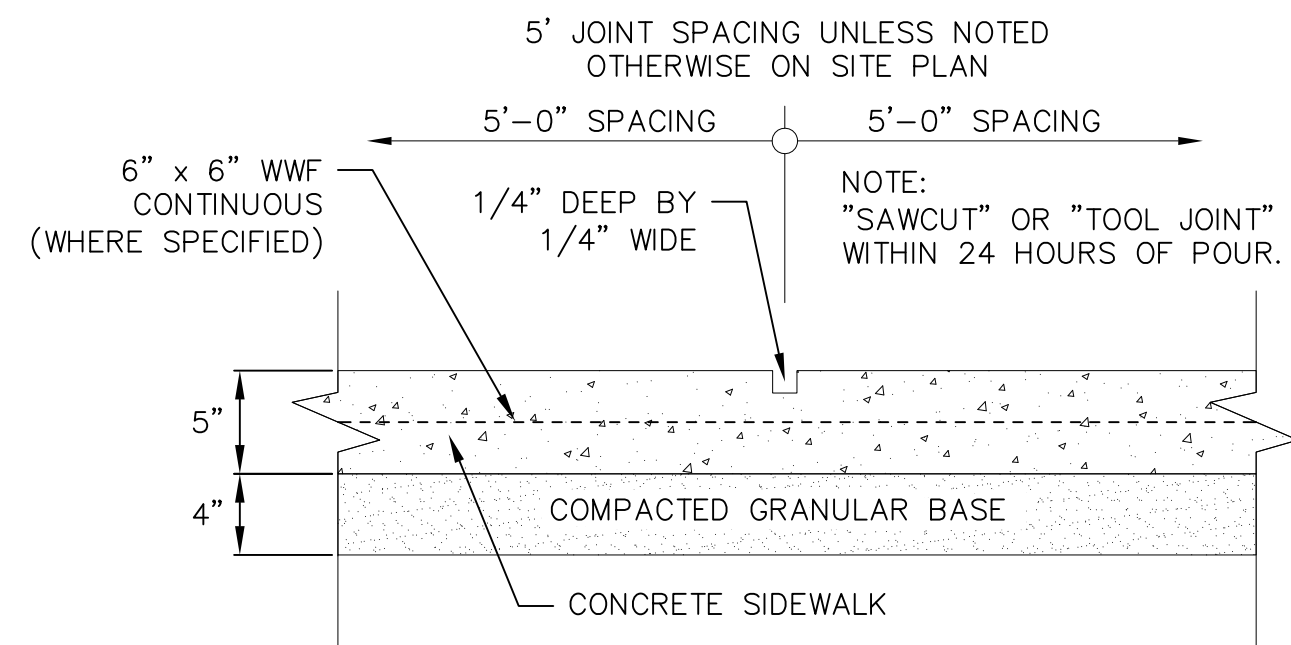
1. ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. SIGNS SHALL BE A DISTANCE OF 7" FROM GROUND LEVEL TO THE BOTTOM OF THE SIGN MOUNTED ON THE POST AND LOCATED 3' BEHIND THE BACK OF CURB.
3. STREET NAME SIGNS SHALL HAVE WHITE LETTERS AND GREEN BACKGROUND.
4. SIGN POSTS SHALL BE 2-3/8" O.D., GALVANIZED 10 FT LONG, 13 GAUGE, AND 0.095 WALL THICKNESS. MOUNT SIGN AT TOP OF THE POST, AND INSTALL POSTS 3' DEEP AND MIX 1/2 BAG OF 80 LB SAKRETE CONCRETE, POURING IT AROUND THE POST BELOW THE GROUND BEFORE COVERING WITH 8" OF TOPSOIL.



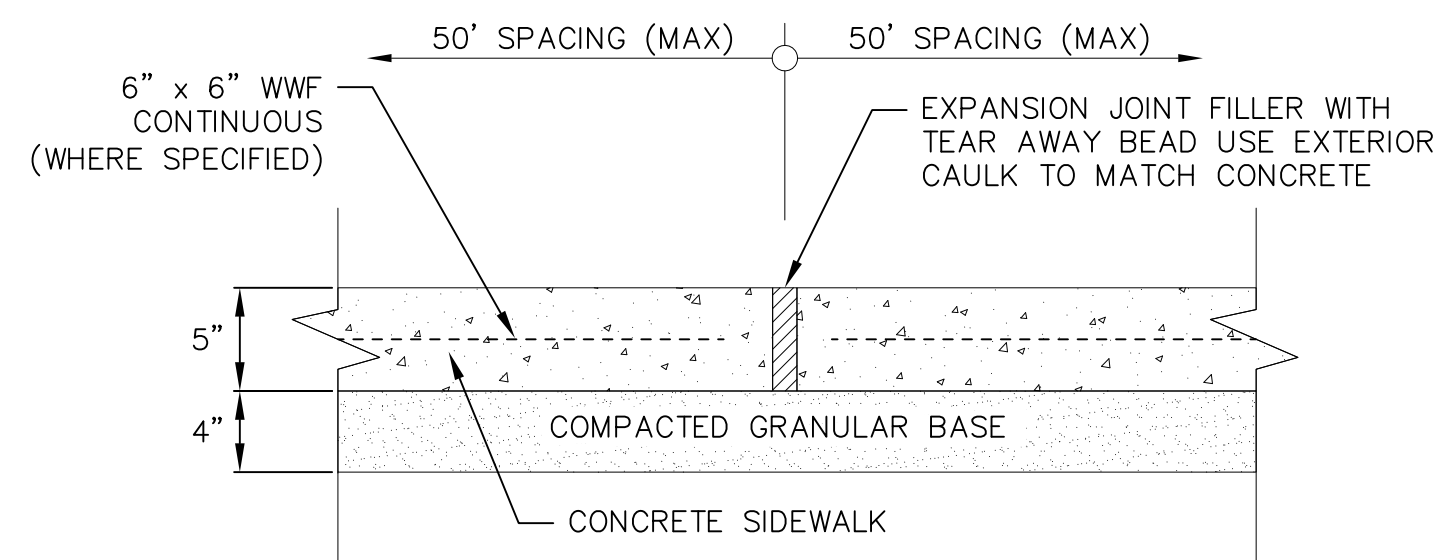
1 STOP SIGN
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5" SITE SIDEWALK



SIDEWALK CONTROL JOINT



SIDEWALK EXPANSION JOINT

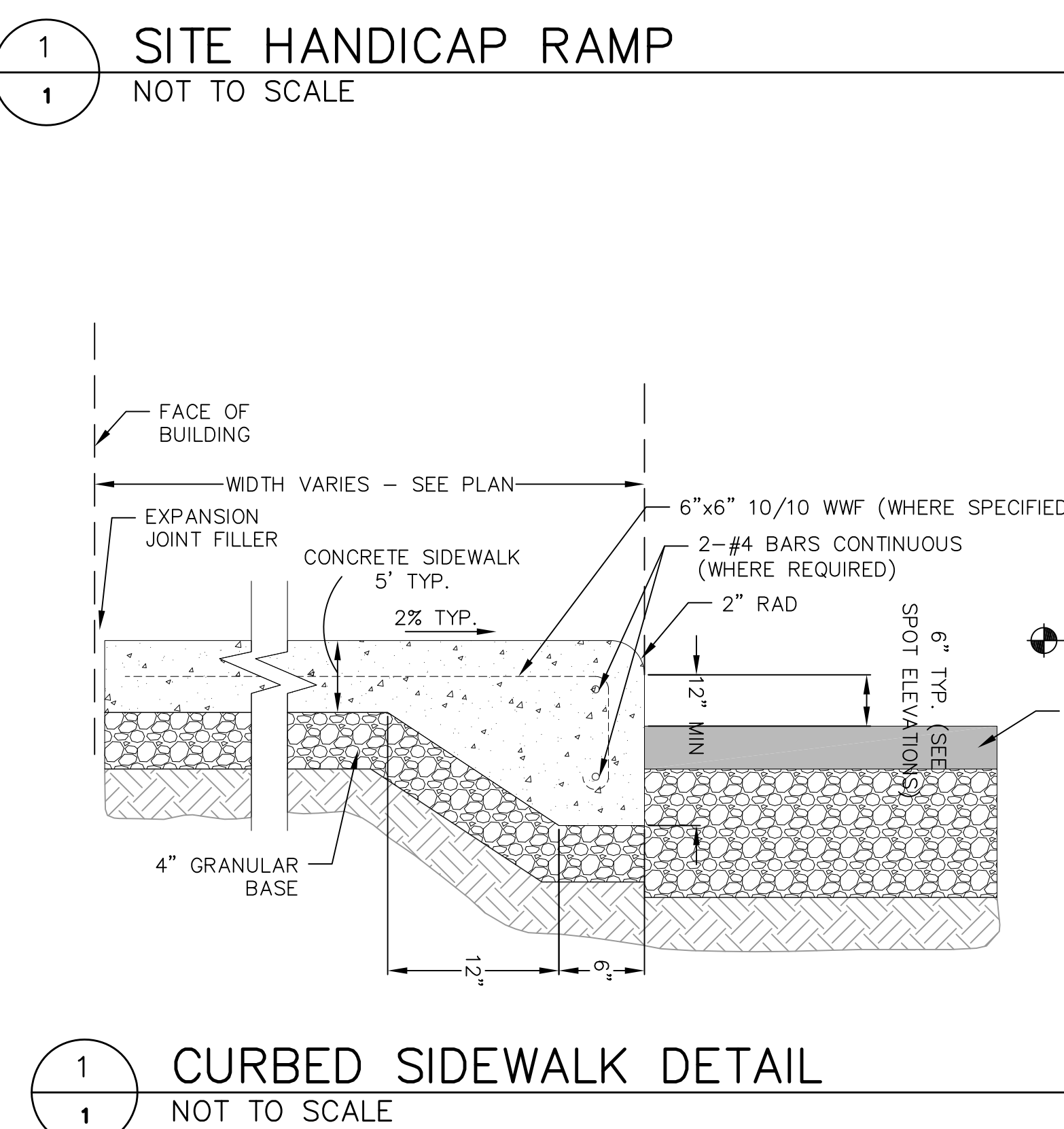
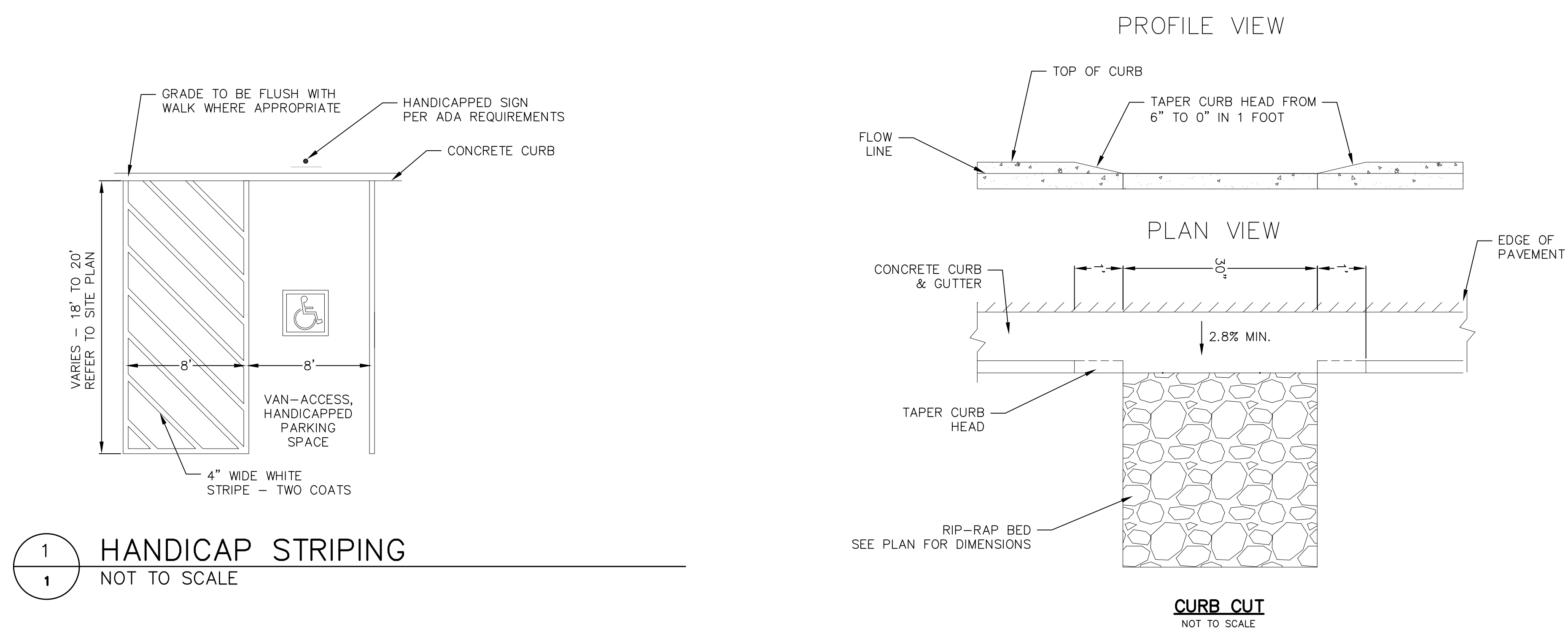
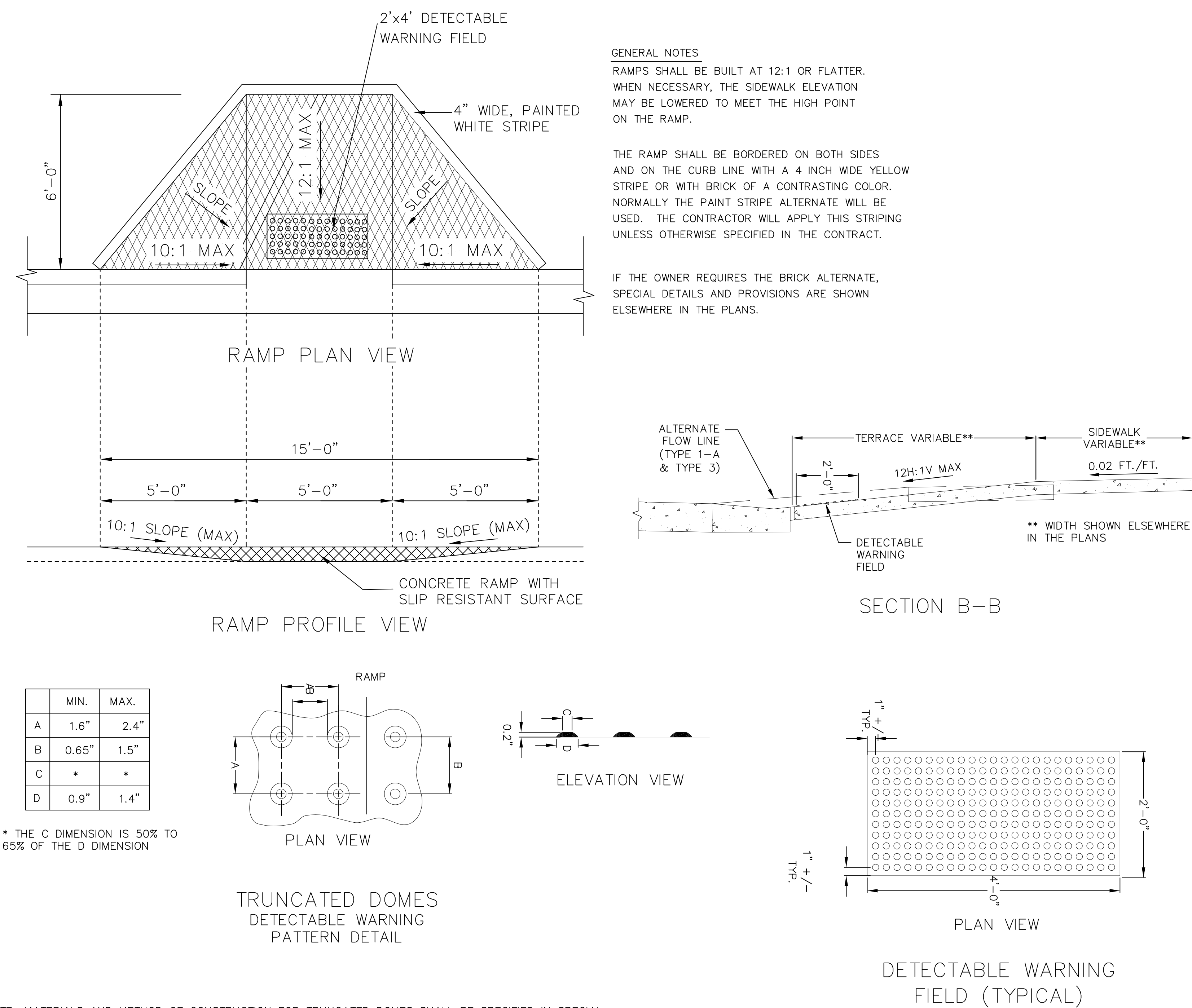
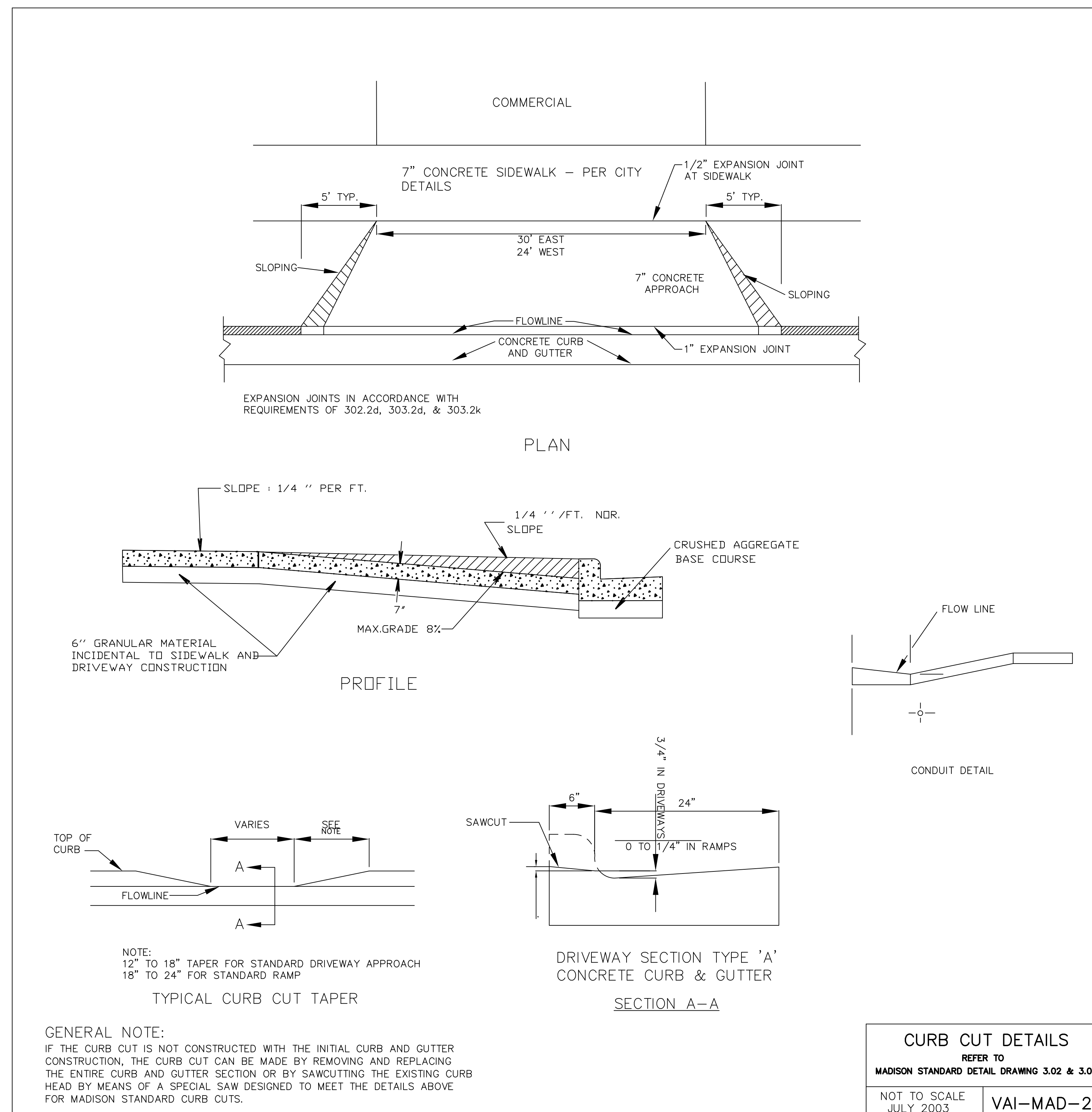
1 5" SIDEWALK
1 NOT TO SCALE

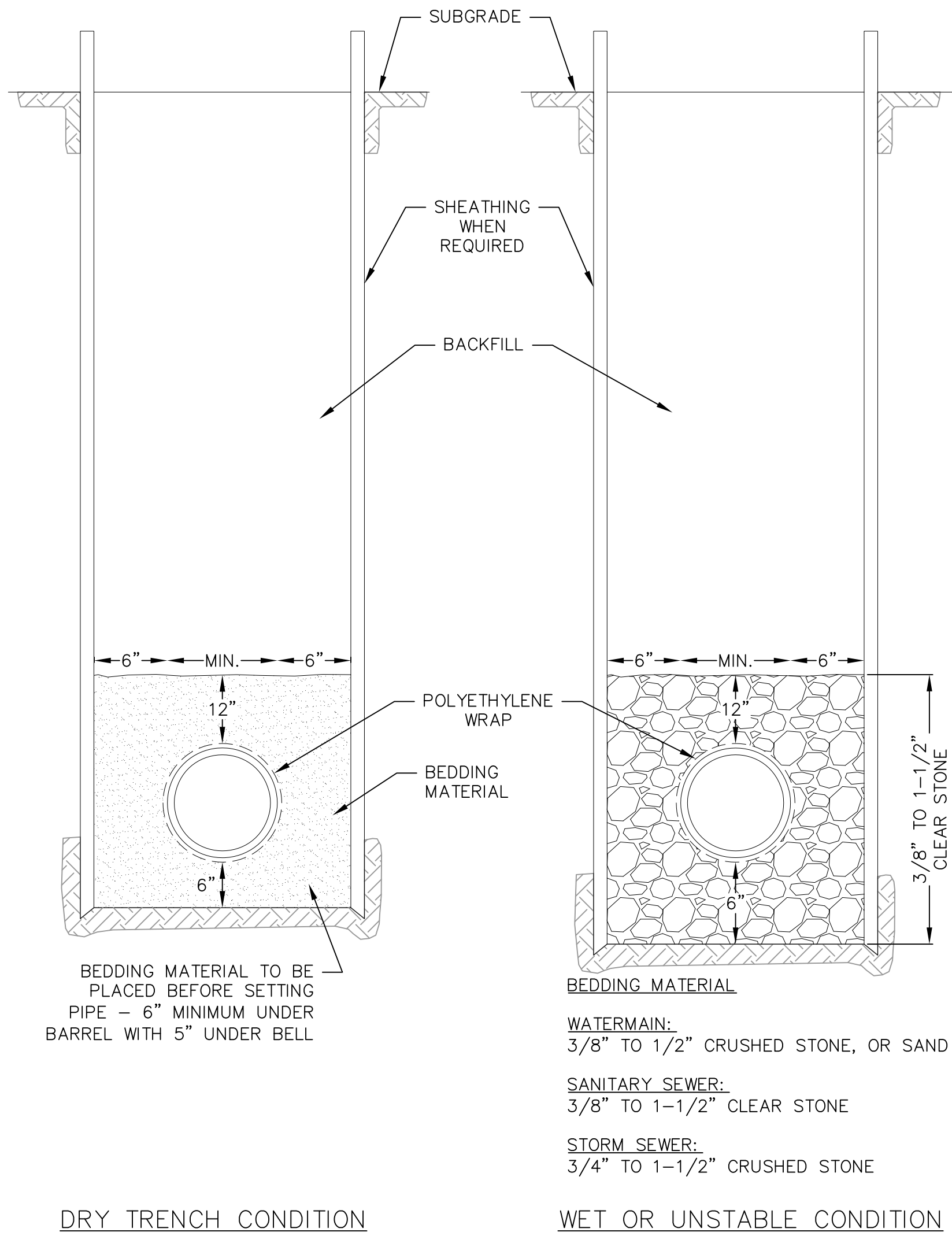
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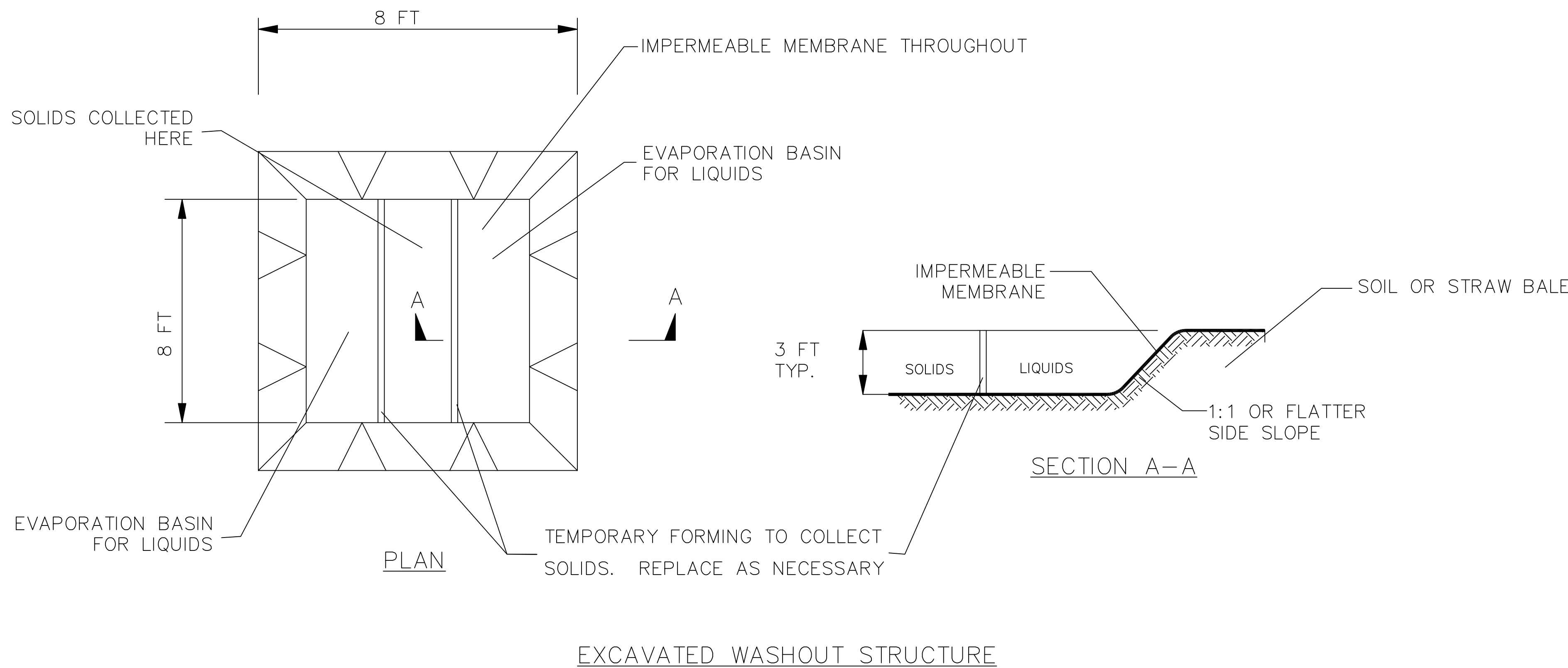
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1 STANDARD TRENCH SECTION
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CONSTRUCTION SPECIFICATIONS



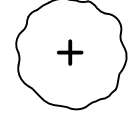















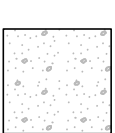
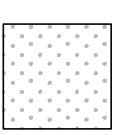
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

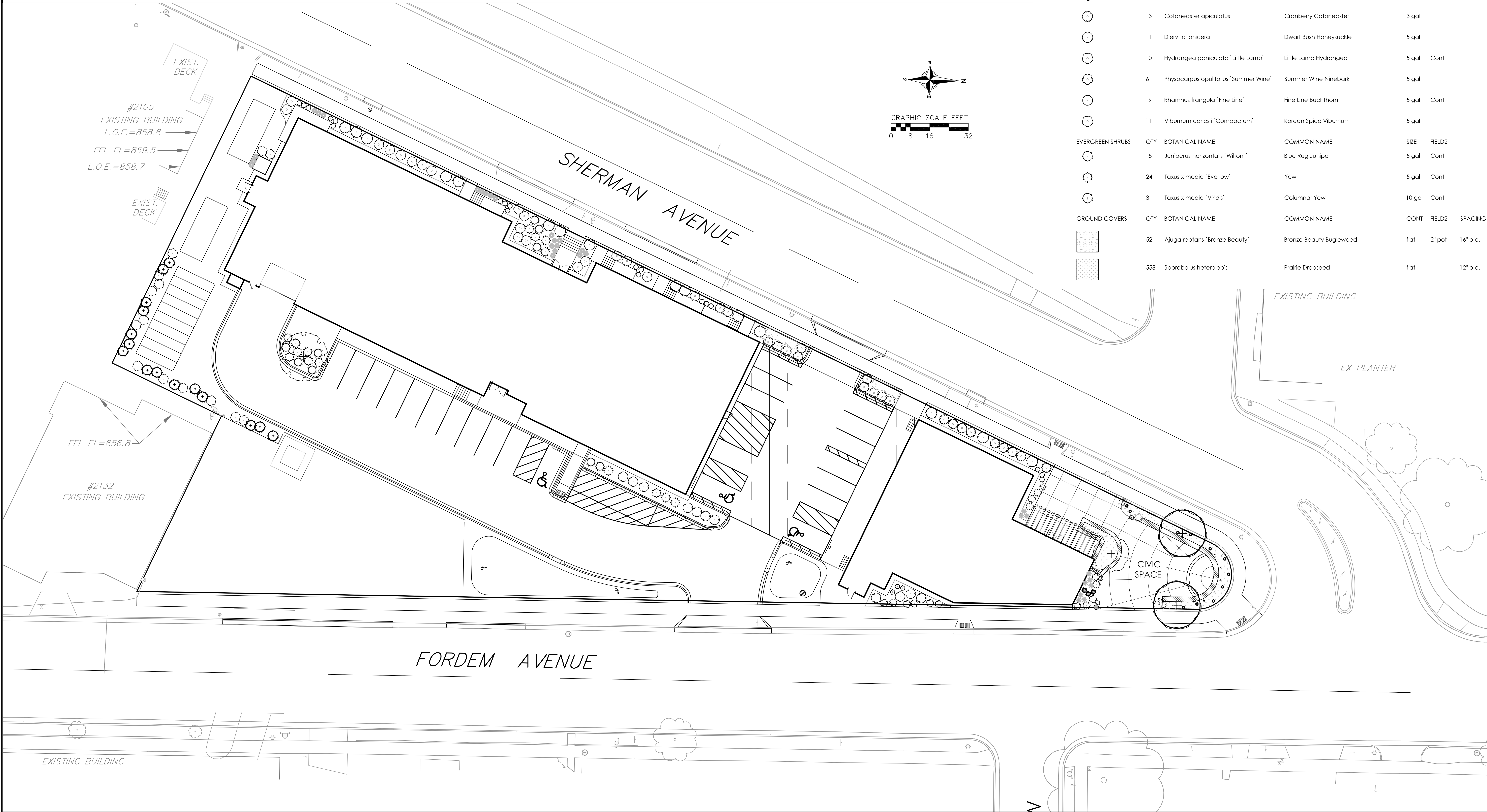
| REVISIONS | | REVISIONS | |
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| NO. | DATE | NO. | DATE |
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| SCALE | AS SHOWN |
| DATE | 7/21/15 |
| DRAFTER | DEHL/MKRI |
| CHECKED | MSCH |
| PROJECT NO. | 150109.00 |

- GENERAL NOTES:**
1. All plantings shall conform to quality requirements as per ANSI Z60.1.
 2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
 3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
 4. All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
 5. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
 6. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
 7. Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. Edge with commercial grade steel landscape edging.
 8. Provide 24" wide stone maintenance strip around building. 1.5" washed stone over weed barrier fabric.

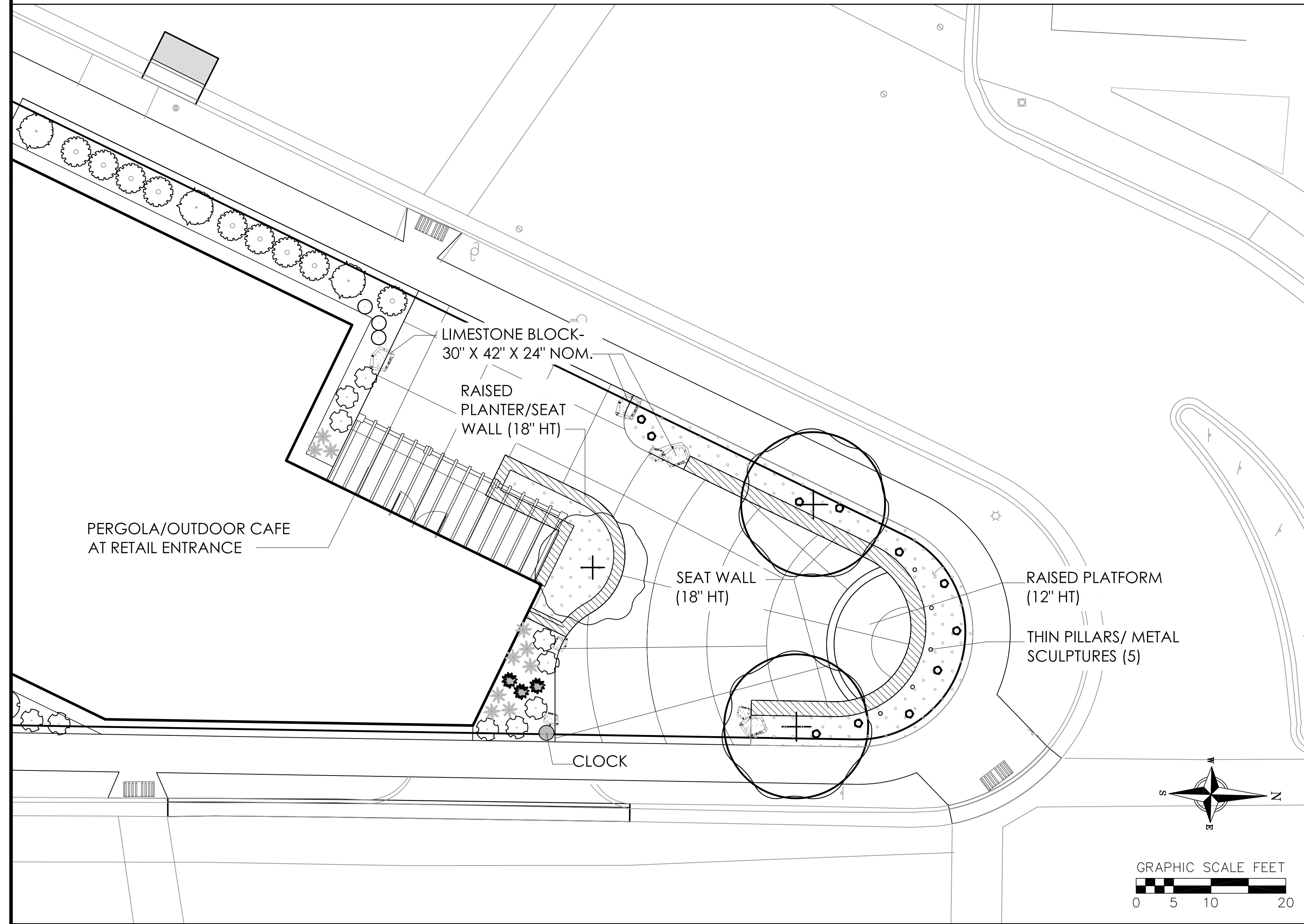
PLANT SCHEDULE

| DECIDUOUS TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | |
|---|-----|--|---|--------|----------|----------|
|  | 2 | Gleditsia triacanthos 'Imperial' | Imperial Honeylocust | B & B | 2"Cal | |
| | 1 | Ulmus x 'New Horizon' | New Horizon Elm | B & B | 2"Cal | |
| EVERGREEN TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | |
|  | 15 | Juniperus chinensis 'Fairview' | Fairview Juniper | 15 gal | | |
| FLOWERING TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | |
|  | 1 | Crataegus crus-galli 'Inermis' | Thornless Hawthorn | B & B | 1.75"Cal | |
| ANNUALS/PERENNIALS | QTY | BOTANICAL NAME | COMMON NAME | SIZE | FIELD2 | |
|  | 14 | Amsonia tabernaemontana 'Blue Ice' | Blue Ice Star Flower | 1 gal | Cont | |
|  | 21 | Calamagrostis x acutiflora 'Karl Foerster' | Feather Reed Grass | 1 gal | Cont | |
|  | 10 | Hosta x 'August Moon' | Plantain Lily | 1 gal | Cont | |
|  | 3 | Hosta x 'Golden Tiara' | Plantain Lily | 1 gal | Cont | |
|  | 11 | Liatris pycnostachya | Gayfeather | 4"pot | Cont | |
| DECIDUOUS SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | SIZE | FIELD2 | |
|  | 14 | Aronia arbutifolia 'Brilliantissima' | Brilliant Red Chokeberry/Red Chokeberry | 5 gal | | |
|  | 13 | Cotoneaster apiculatus | Cranberry Cotoneaster | 3 gal | | |
|  | 11 | Diervilla lonicera | Dwarf Bush Honeysuckle | 5 gal | | |
|  | 10 | Hydrangea paniculata 'Little Lamb' | Little Lamb Hydrangea | 5 gal | Cont | |
|  | 6 | Physocarpus opulifolius 'Summer Wine' | Summer Wine Ninebark | 5 gal | | |
|  | 19 | Rhamnus frangula 'Fine Line' | Fine Line Buchthorn | 5 gal | Cont | |
|  | 11 | Viburnum carlesii 'Compactum' | Korean Spice Viburnum | 5 gal | | |
| EVERGREEN SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | SIZE | FIELD2 | |
|  | 15 | Juniperus horizontalis 'Wiltoni' | Blue Rug Juniper | 5 gal | Cont | |
|  | 24 | Taxus x media 'Everlow' | Yew | 5 gal | Cont | |
|  | 3 | Taxus x media 'Viridis' | Columnar Yew | 10 gal | Cont | |
| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | CONT | FIELD2 | SPACING |
|  | 52 | Ajuga reptans 'Bronze Beauty' | Bronze Beauty Bugleweed | flat | 2" pot | 16" o.c. |
|  | 558 | Sporobolus heterolepis | Prairie Dropseed | flat | | 12" o.c. |



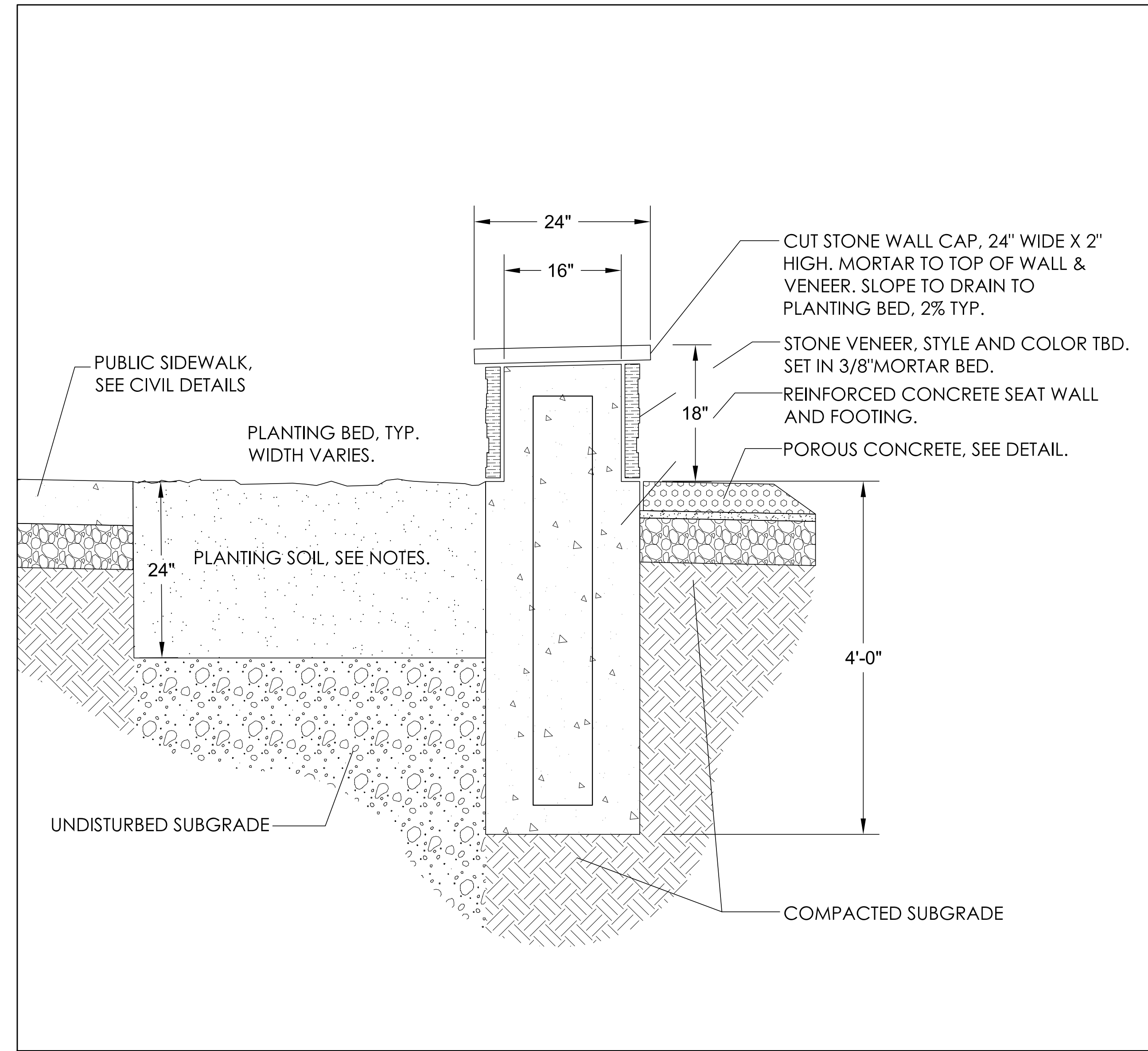
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1 CIVIC SPACE DETAIL



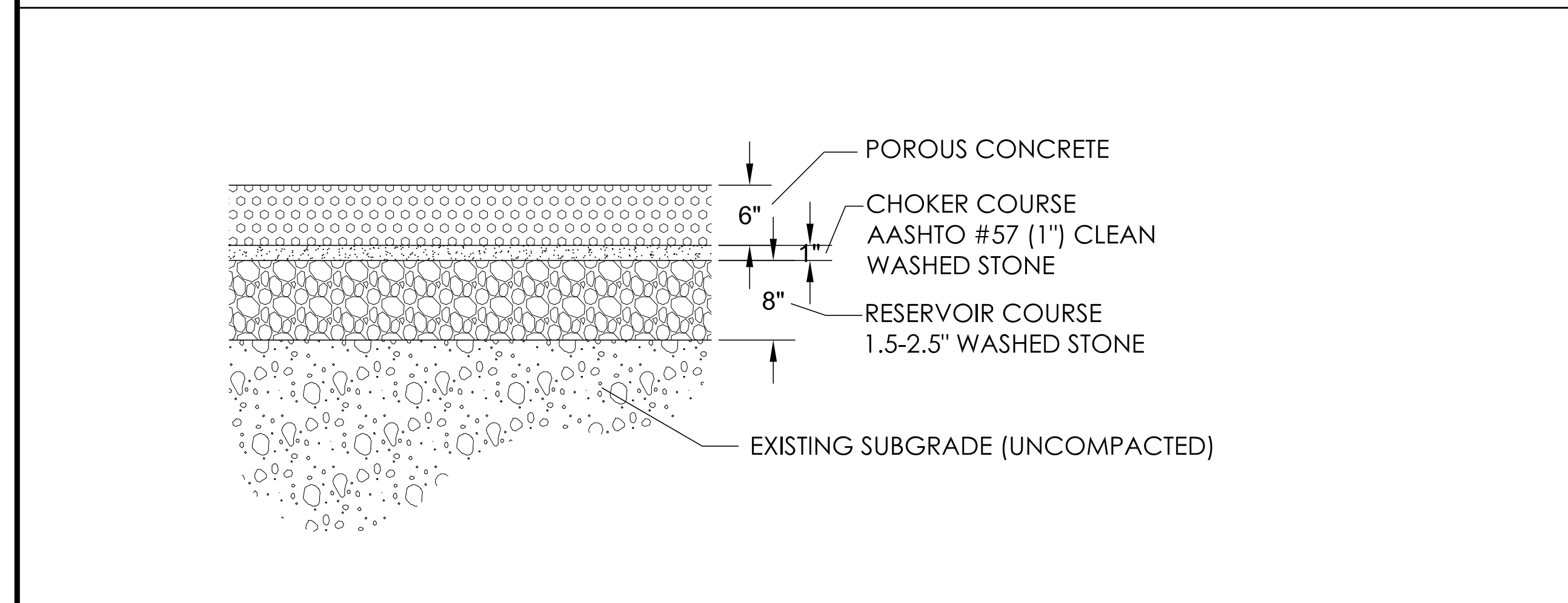
2 SEAT WALL & PLANTING BED DETAIL

NOT TO SCALE



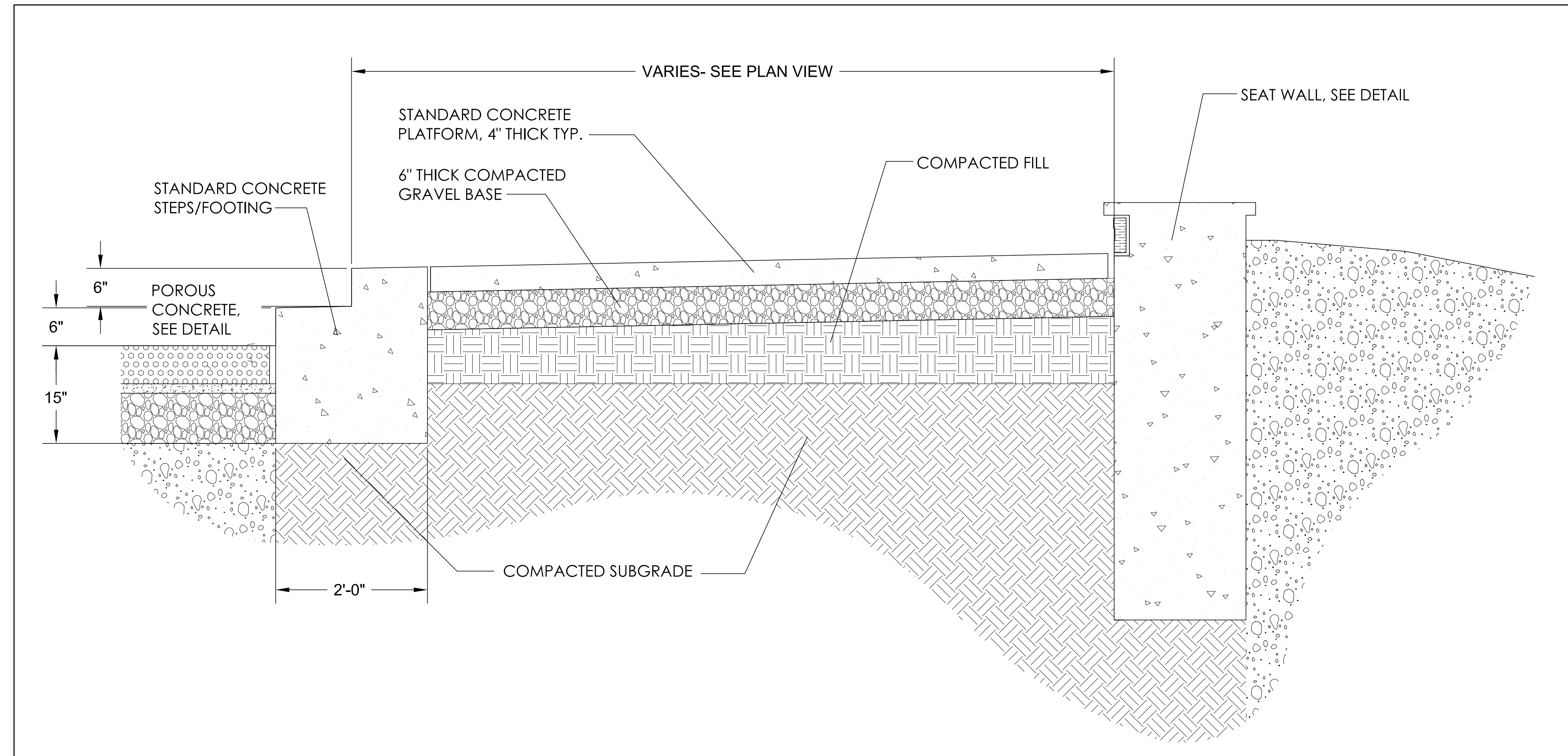
3 TYPICAL POROUS CONCRETE SECTION

NOT TO SCALE



4 PLATFORM DETAIL

NOT TO SCALE



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| REVISIONS | NO. | DATE | REMARKS |
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| SCALE | AS SHOWN |
| DATE | 7/22/2015 |
| DRAFTER | SVN |
| CHECKED | MSCH |
| PROJECT NO. | 150109.00 |
| L | |
| 2 | |

2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)



| | | | |
|------------------------|-------------------------------|-------|--------------|
| 209 south water street | milwaukee, wisconsin | 53204 | 414 359 3060 |
| 2310 crossroads drive | suite 2000 madison, wisconsin | 53718 | 608 240 9900 |
| 1613 fruitville road | suite 3 sarasota, florida | 34236 | 941 348 3618 |

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Architectural

| | |
|------|------------------------|
| A000 | TITLE SHEET |
| A200 | L1 PARKING FLOOR PLANS |
| A201 | L1 FLOOR PLAN |
| A202 | L2 FLOOR PLAN |
| A203 | L3 FLOOR PLAN |
| A204 | L4 FLOOR PLAN |
| A205 | L5 FLOOR PLAN |
| A221 | EXTERIOR PERSPECTIVES |
| A400 | EXTERIOR ELEVATIONS |

Civil

| | |
|-----|-------------------------------------|
| C1 | LEGEND AND NOTES |
| C2 | EXISTING CONDITIONS PLAN |
| C3 | DEMOLITION AND EROSION CONTROL PLAN |
| C4 | SITE AND UTILITY PLAN |
| C5 | GRADING AND EROSION CONTROL PLAN |
| C6 | CONSTRUCTION DETAILS |
| C7 | CONSTRUCTION DETAILS |
| C8 | CONSTRUCTION DETAILS |
| C9 | LANDSCAPE PLAN |
| L.1 | LANDSCAPE DETAILS |
| L.2 | |

Project Date: 07-22-15
PRA Project Number: 130139-03
Owner Project Number:
Bid Package Number:

Applicable Codes and Zoning

Wisconsin enrolled commercial building code 2002
Residential occupancy, Group R-2, Resident Units
Merchantile occupancy, Group M, Rentail Space
Zoning: City of Madison Ordances

Type of Construction

New Construction
Lower Level, protected, type IA, sprinklered, NFPA 13
First Floor and Above, protected, type VA, sprinklered, NFPA 13

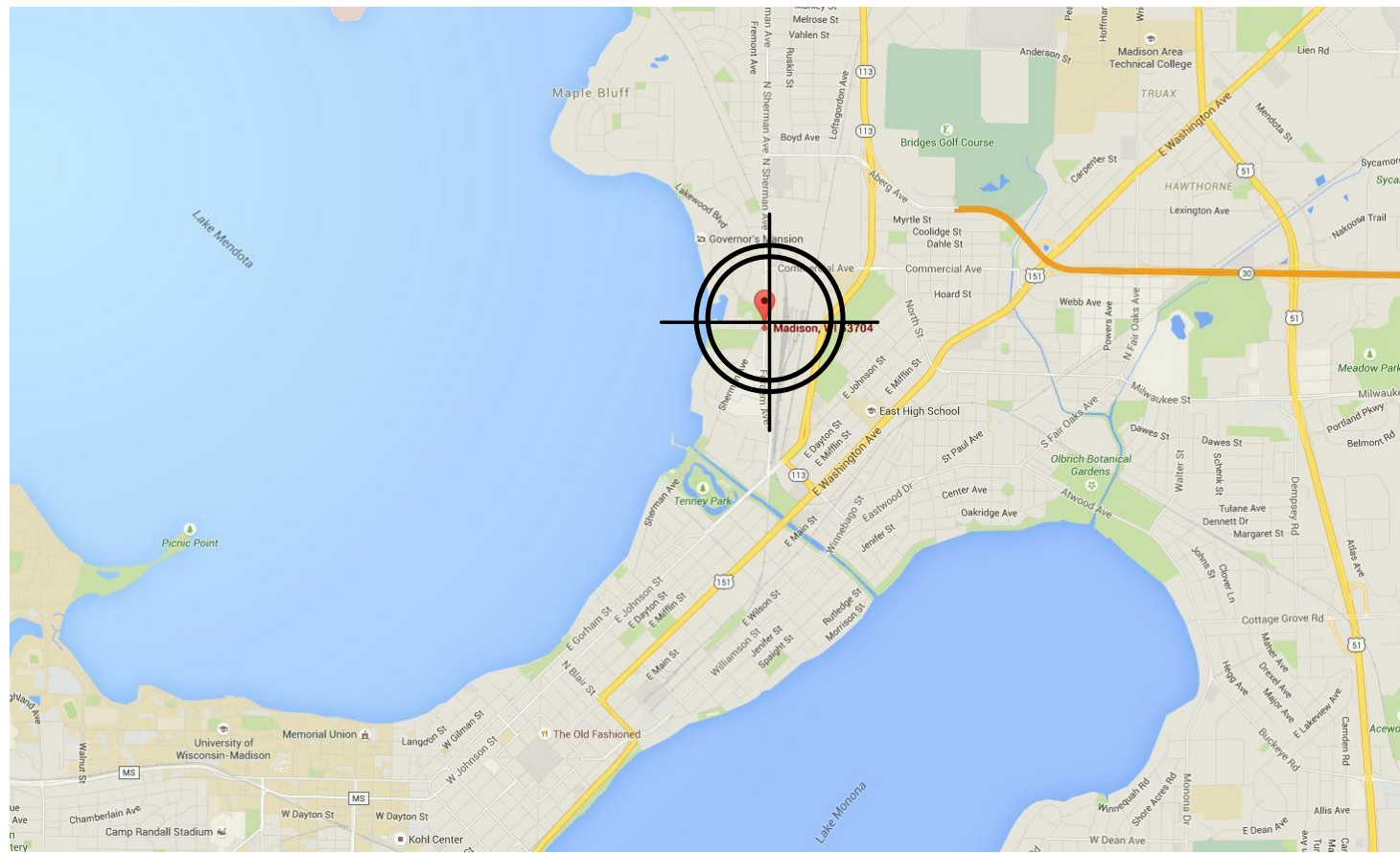
Bicycles

| | | | | |
|-----------------|----|-----------------|----|---------------|
| <u>Required</u> | | <u>Provided</u> | | |
| Tenant | 60 | Tenant | 65 | (Lower Level) |
| Guests | 6 | Guests | 6 | (Site) |
| Retail | 4 | Retail | 4 | (Site) |
| | 70 | | 75 | |

Building Area

| | |
|----------------------|----------------------|
| Lower Level Parking: | 24,543 SQ FT |
| Level One: | 19,642 SQ FT |
| Level Two: | 25,510 SQ FT |
| Level Three: | 18,560 SQ FT |
| Level Four: | 18,560 SQ FT |
| Mezzanine Level: | 776 SQ FT |
| Total: | 107,591 SQ FT |

Project Location



Project Team

Owner
John Fish
315 Lakewood Blvd.
Madison, WI 53704

Civil
Brian Barritt
Vierbicher Associates, Inc.
999 Fourier Drive #201
Madison, WI 53717

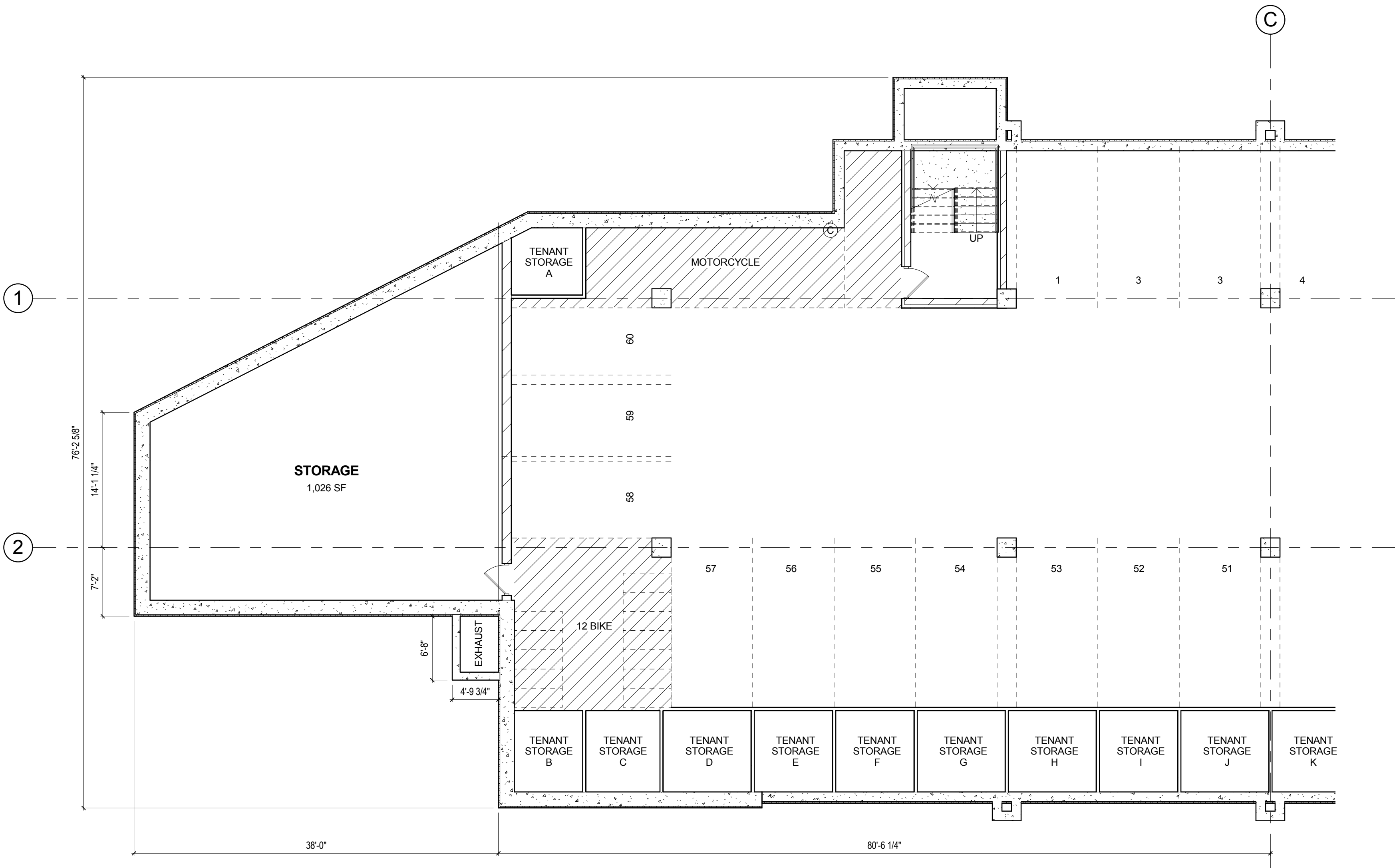
(Under direct contract to Owner)

Dwelling Unit Count

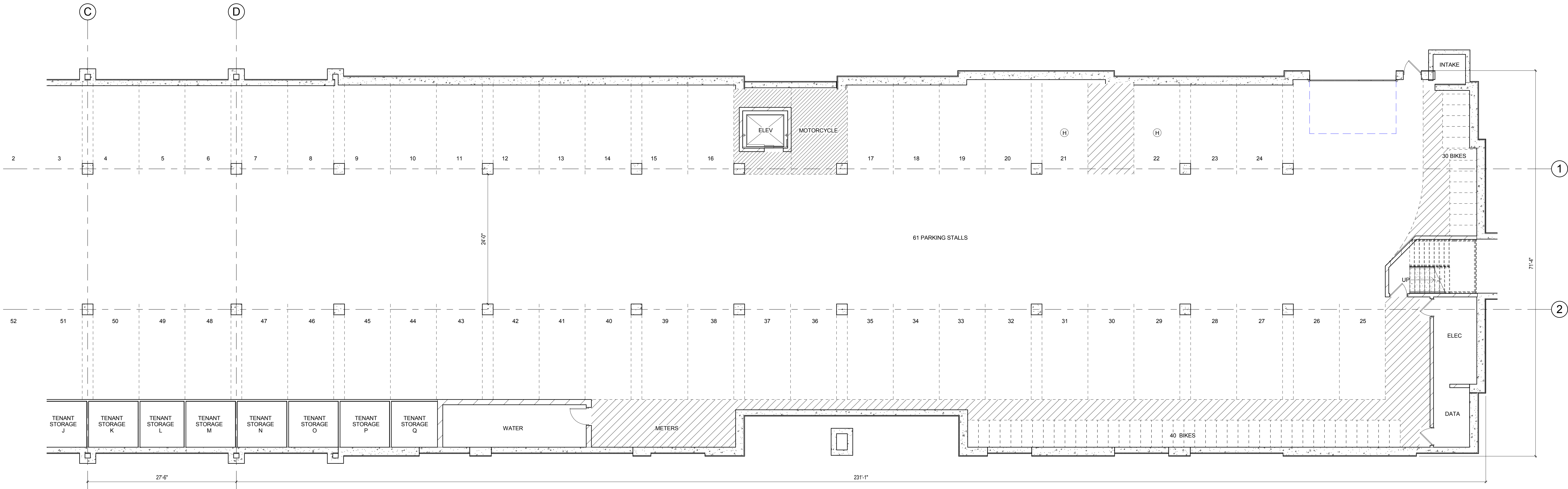
| | UNIT TYPES | | | | | | | | | | |
|--------|------------|-------|-----------|-------------|-------|-----------|-------------|-------|------------|------------|--------------|
| FLOOR | STUDIO | 1 BED | 1 BED ADA | 1 BED + DEN | 2 BED | 2 BED ADA | 2 BED + DEN | 3 BED | LOFT 1 BED | LOFT 2 BED | TOTAL/ FLOOR |
| 1 | 3 | 4 | | 1 | 2 | | | | | | 10 |
| 2 | 5 | 11 | | 1 | 2 | | 2 | | | | 21 |
| 3 | 2 | 7 | | 1 | 2 | 1 | | 1 | | | 15 |
| 4/LOFT | | 1 | 1 | 1 | 3 | | | 2 | 4 | 2 | 14 |
| TOTAL | 10 | 23 | 1 | 4 | 9 | 1 | 3 | 3 | 4 | 2 | 60 |

Dwelling Unit Design Count

| | | UNIT DESIGN TYPES | | | | | | | | | | | | | |
|--------|------------------|-------------------|------------------------|-----------------|--------------------------|--------------------------|------------------------|-----------------|-----------------|--------------------------|-----------------|-----------------|-------------------------|-------------------------|-----------------|
| FLOOR | UNIT A STUDIO | UNIT B 1 BED | UNIT B 1 BED ADA | UNIT C 1 BED | UNIT D 1 BED + DEN | UNIT E 1 BED + DEN | UNIT F 2 BED ADA | UNIT G 2 BED | UNIT H 2 BED | UNIT I 2 BED + DEN | UNIT J 3 BED | UNIT K 3 BED | UNIT L LOFT 1 BED | UNIT M LOFT 2 BED | TOTAL/ FLOOR |
| 1 | 3 | 4 | | | | 1 | | | 2 | | | | | | 10 |
| 2 | 5 | 11 | | | | | | | 2 | 2 | | | | | 21 |
| 3 | 2 | 5 | | 2 | 1 | 1 | 1 | 1 | 1 | 1 | | 1 | | 15 | 21 |
| 4/LOFT | | | 1 | 1 | 1 | 2 | | 1 | | | 1 | 1 | 4 | 2 | 14 |
| TOTAL | 20 | 20 | 1 | 3 | 2 | 2 | 3 | 1 | 2 | 4 | 3 | 1 | 2 | 4 | 60 |



C1 LOWER LEVEL PARKING - NORTH
A200 1/8" = 1'-0"



E1 LOWER LEVEL PARKING - SOUTH
A200 1/8" = 1'-0"

| KEYNOTE LEGEND - CONSTRUCTION TYPES | |
|-------------------------------------|--------------------------|
| TAG | CONSTRUCTION DESCRIPTION |

| KEYNOTE LEGEND - EXTERIOR WALL TYPES | |
|--------------------------------------|---------------------------|
| TAG | EXTERIOR WALL DESCRIPTION |

| NOTE # | FLOOR PLAN NOTE |
|--------|-----------------|
|--------|-----------------|

| KEYNOTE LEGEND - INTERIOR PARTITION TYPES | |
|---|--------------------------------|
| TAG | INTERIOR PARTITION DESCRIPTION |

| FLOOR PLAN - SYMBOLS LEGEND | |
|-----------------------------|--------------------------------------|
| | NEW WALL/PARTITION |
| | EXISTING WALL TO REMAIN |
| | NEW DOOR |
| | EXISTING DOOR TO REMAIN |
| | SECTION REFERENCE |
| | DETAIL REFERENCE |
| | EXTERIOR ELEVATION |
| | INTERIOR ELEVATION |
| | FLOOR PLAN KEYNOTE |
| | CONSTRUCTION LIMITS |
| | ONE HOUR FIRE RESISTIVE CONSTRUCTION |
| | TWO HOUR FIRE RESISTIVE CONSTRUCTION |
| | EQUIPMENT |
| | WINDOW TYPE |
| | WALL/PARTITION TYPE |
| | FLOOR DRAIN - PITCH FLOOR TO DRAIN |

FLOOR PLAN - GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. REFER TO SHEET A80X FOR ROOM FINISH SCHEDULE AND NOTES.

C. REFER TO SHEET A80X FOR DOOR SCHEDULES, DOOR TYPES, AND NOTES.

D. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL, NEEDS TO BE PROTECTED TO 2 HOURS WISPRAY APPLIED FIRE PROTECTION.

GYPSUM BOARD PARTITIONS - GENERAL NOTES

ALL GYPSUM BOARD PARTITIONS SHALL BE (V4)4 UNLESS OTHERWISE NOTED ON FLOOR PLAN.

ALL CORRIDOR WALLS SHALL BE (V4)4 UNLESS OTHERWISE NOTED ON FLOOR PLAN.

GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK OR ROOF ASSEMBLY ABOVE.

MASONRY PARTITIONS - GENERAL NOTES

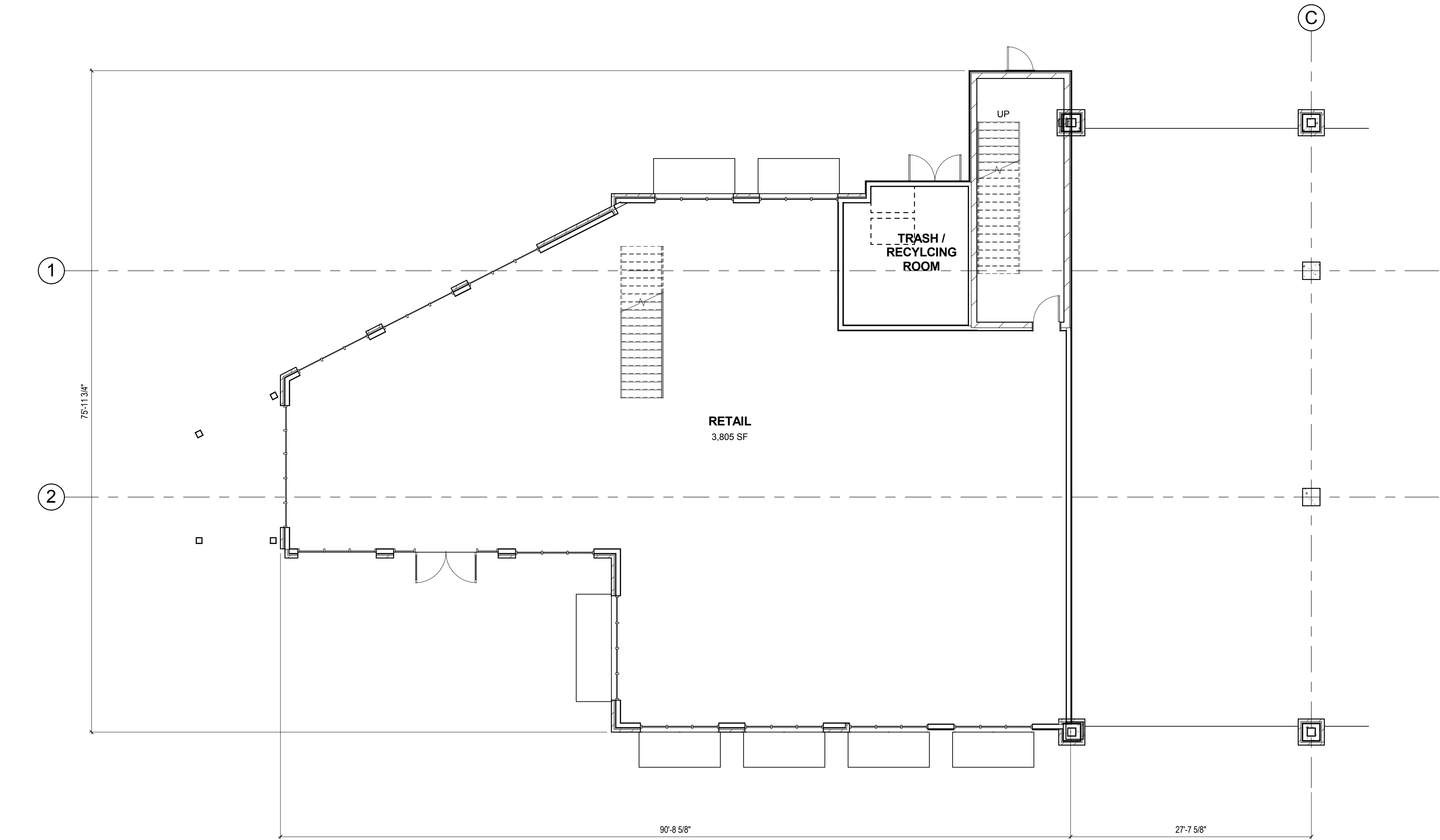
MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

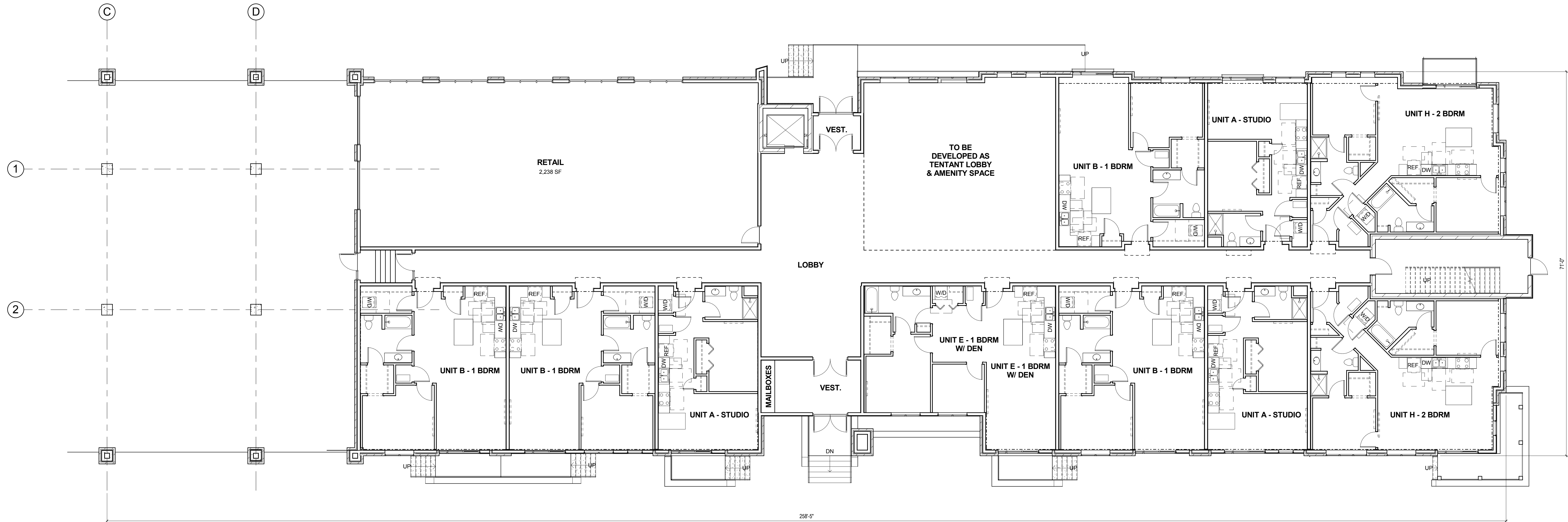
PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL XXXXXX. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.



C1
A201
LEVEL 1 FLOOR PLAN - NORTH
1/8" = 1'-0"



E1
A201
LEVEL 1 FLOOR PLAN - SOUTH
1/8" = 1'-0"

KEYNOTE LEGEND - EXTERIOR WALL TYPES
EXTERIOR WALL DESCRIPTION

| TAG | |
|-----|--|
|-----|--|

NOTE # FLOOR PLAN NOTE

KEYNOTE LEGEND - INTERIOR PARTITION TYPES
INTERIOR PARTITION DESCRIPTION

| TAG | |
|-----|--|
|-----|--|

KEYNOTE LEGEND - CONSTRUCTION TYPES
CONSTRUCTION DESCRIPTION

| TAG | |
|-----|--|
|-----|--|

FLOOR PLAN - SYMBOLS LEGEND

| | | | |
|--|--------------------------------------|--|------------------------------------|
| | NEW WALL/PARTITION | | EXISTING WALL TO REMAIN |
| | NEW DOOR | | EXISTING DOOR TO REMAIN |
| | SECTION REFERENCE | | DETAIL REFERENCE |
| | EXTERIOR ELEVATION | | EQUIPMENT |
| | INTERIOR ELEVATION | | WINDOW TYPE |
| | FLOOR PLAN KEYNOTE | | WALL/PARTITION TYPE |
| | CONSTRUCTION LIMITS | | FLOOR DRAIN - PITCH FLOOR TO DRAIN |
| | ONE HOUR FIRE RESISTIVE CONSTRUCTION | | |
| | TWO HOUR FIRE RESISTIVE CONSTRUCTION | | |

FLOOR PLAN - GENERAL NOTES

- A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).
- B. REFER TO SHEET A80X FOR ROOM FINISH SCHEDULE AND NOTES.
- C. REFER TO SHEET A80X FOR DOOR SCHEDULES, DOOR TYPES, AND NOTES.
- D. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL, NEEDS TO BE PROTECTED TO 2 HOURS WSPRAY APPLIED FIRE PROTECTION.

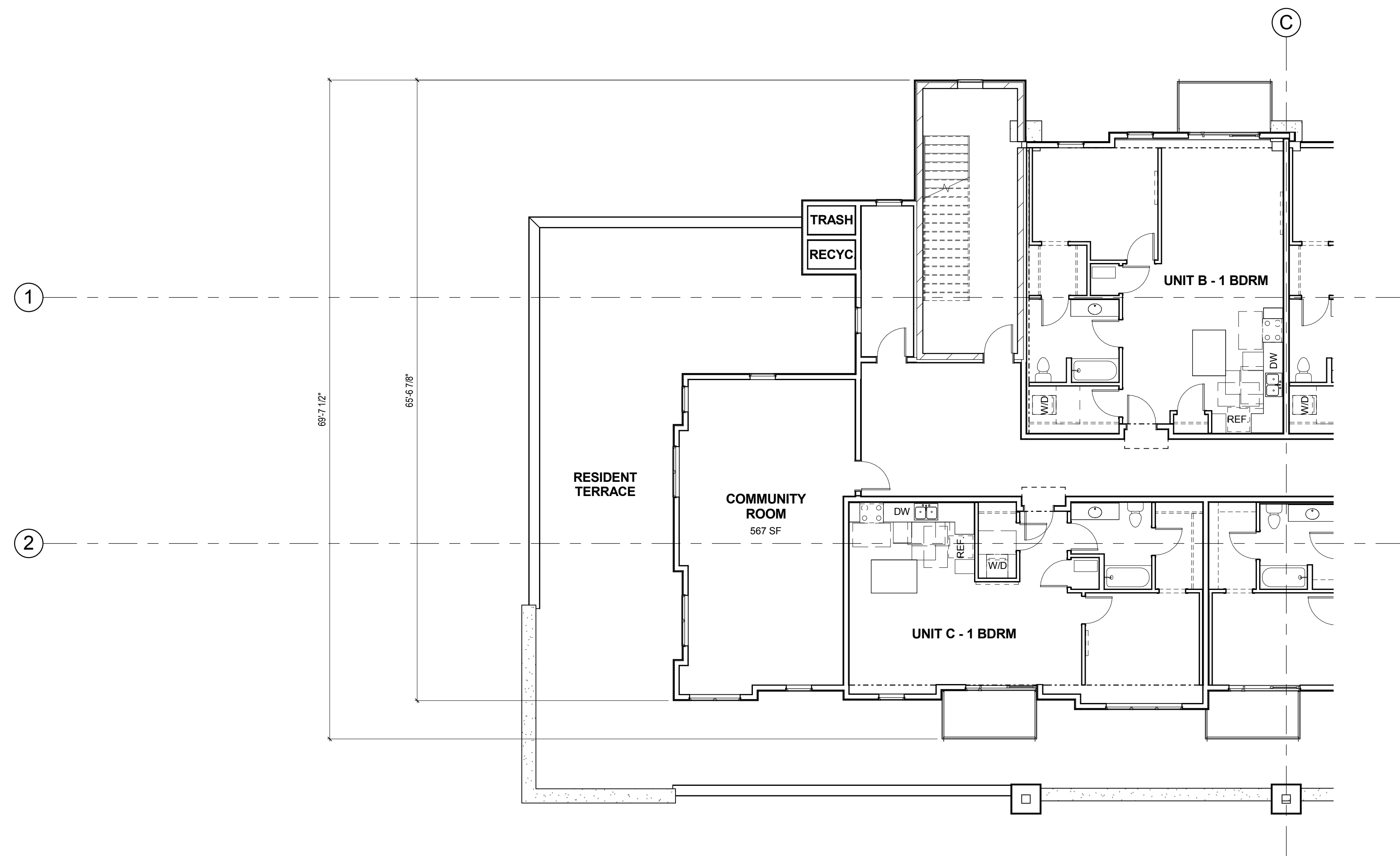
GYPSUM BOARD PARTITIONS - GENERAL NOTES

- ALL GYPSUM BOARD PARTITIONS SHALL BE (VA-9) UNLESS OTHERWISE NOTED ON FLOOR PLAN.
- ALL CORRIDOR WALLS SHALL BE (VA-9) UNLESS OTHERWISE NOTED ON FLOOR PLAN.
- GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).
- REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.
- PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.
- SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.
- EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK OR ROOF ASSEMBLY ABOVE.

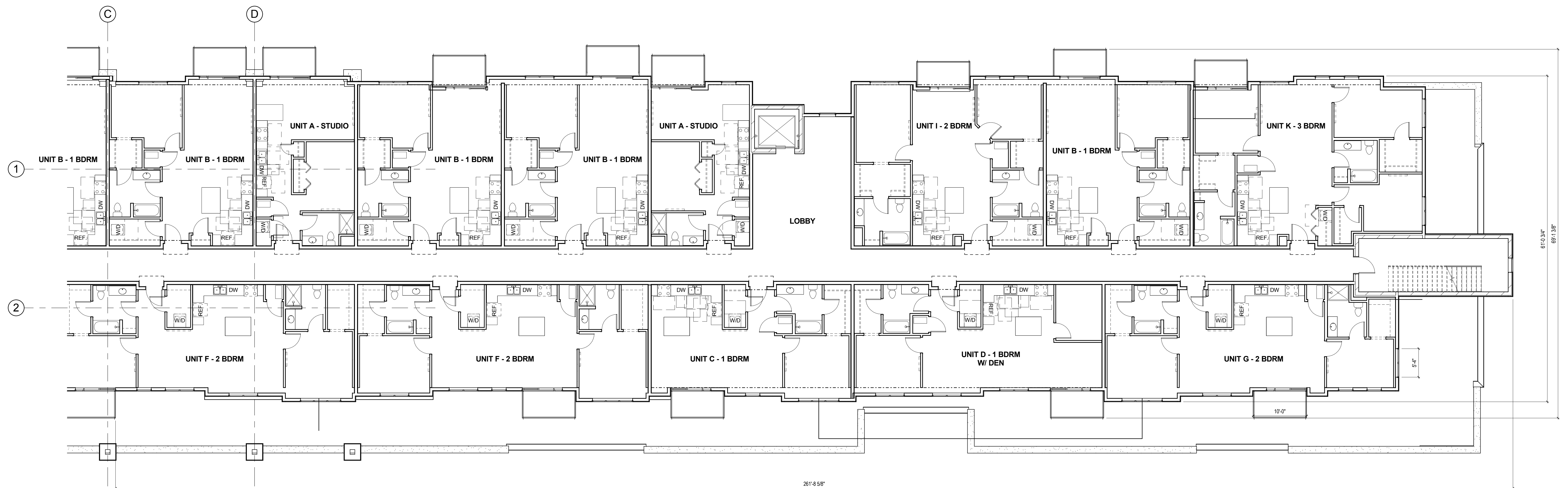
MASONRY PARTITIONS - GENERAL NOTES

- MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:
- ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.
- PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.
- SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.
- EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL XXXXX. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.



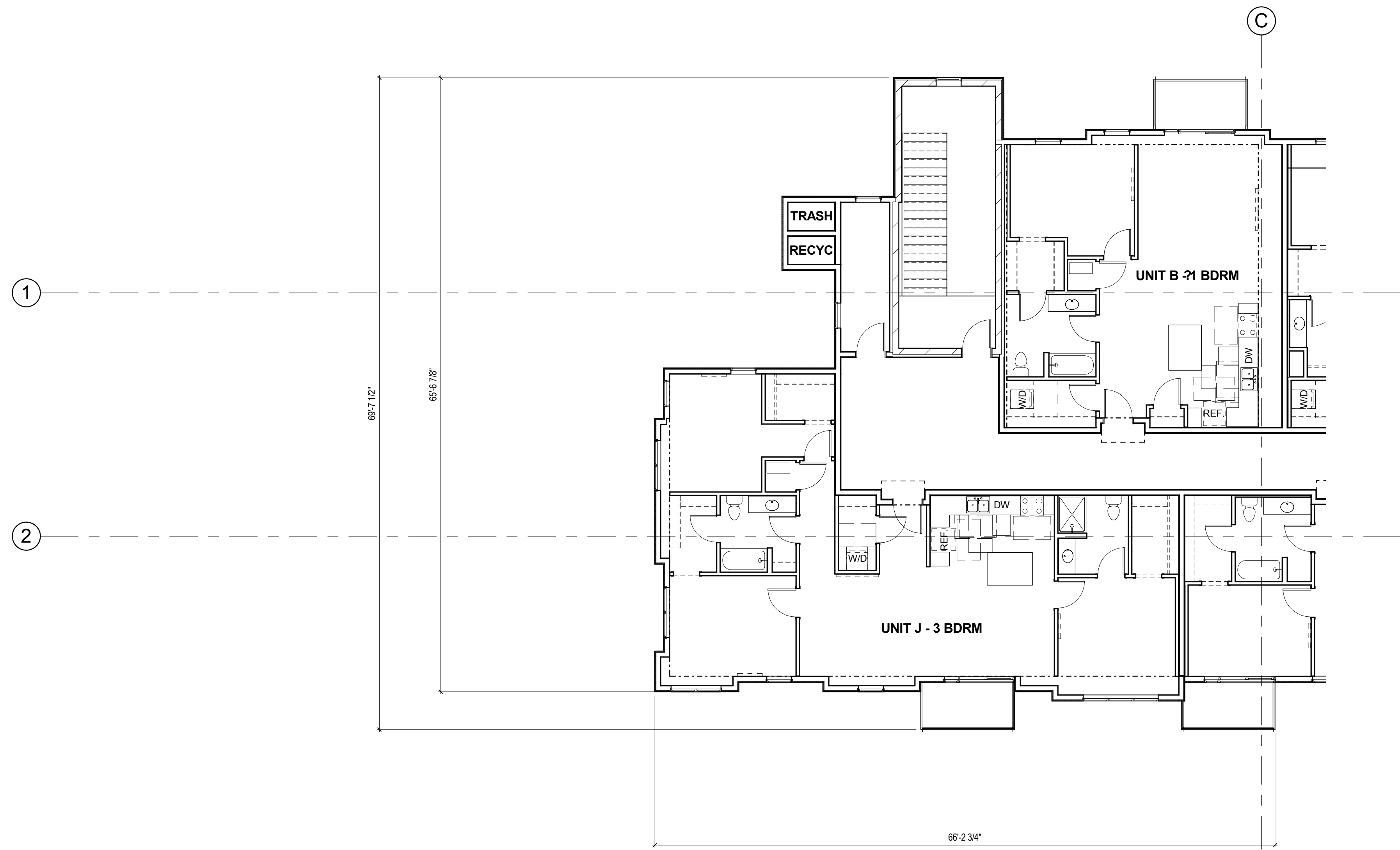


C1 LEVEL 3 FLOOR PLAN - NORTH
A203 1/8" = 1'-0"

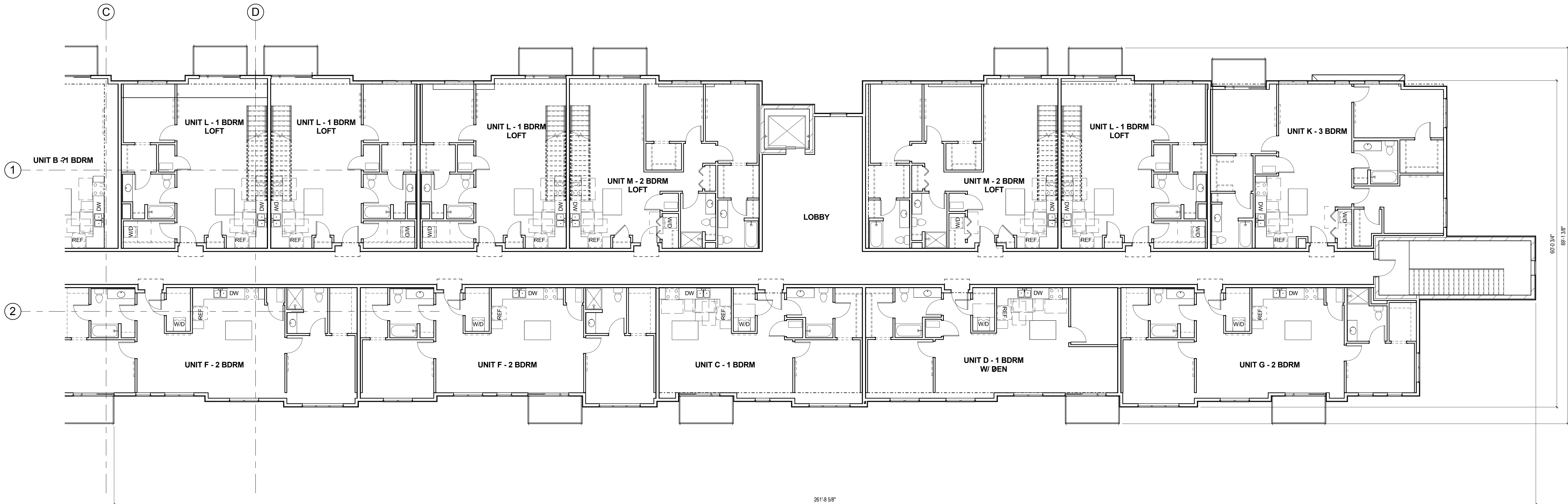


E1 LEVEL 3 FLOOR PLAN - SOUTH
A203 1/8" = 1'-0"

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C1 LEVEL 4 FLOOR PLAN - NORTH
A204 1/8" = 1'-0"



E1 LEVEL 4 FLOOR PLAN - SOUTH
A204 1/8" = 1'-0"

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JOHN FISH
MCKENZIE PLACE, LLC

2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

Revisions

Drawn By:

Author

Date:

07-22-15

Job No.:

130139-03

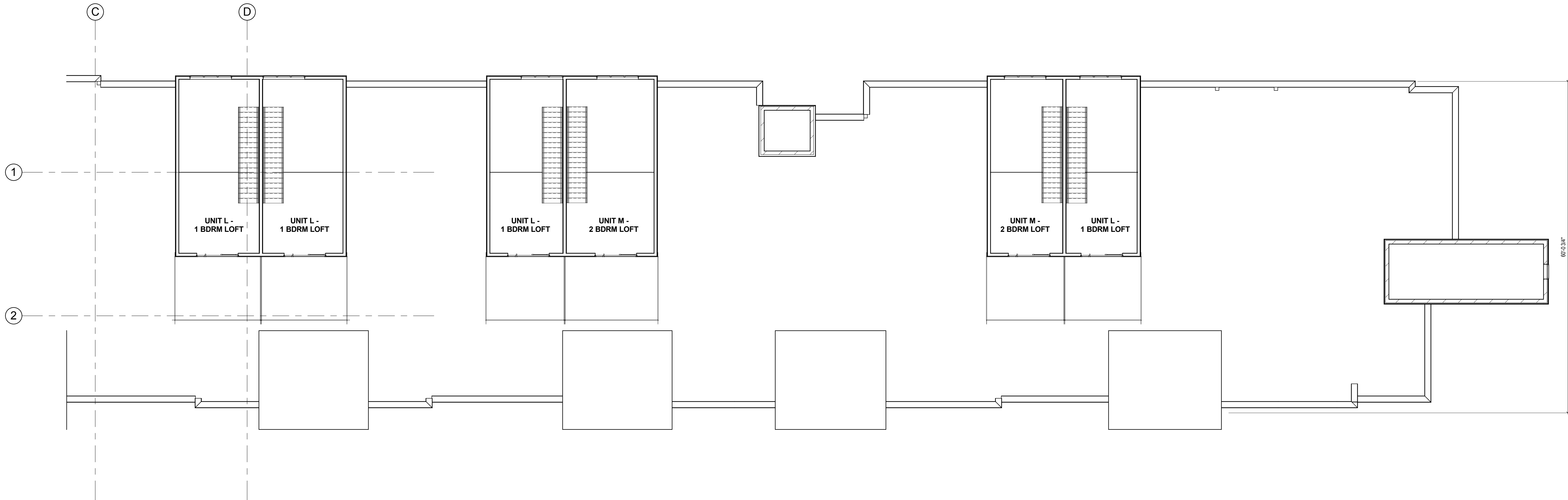
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A204

209 south water street milwaukee wisconsin 53204 414 359 3960
2310 crossroads drive suite 2000 madison wisconsin 53718 608 240 9900
1613 fruitville road suite 3 sarasota florida 34236 941 348 3618
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E1 LEVEL 5 FLOOR PLAN - LOFTS
A205 1/8" = 1'-0"



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JOHN FISH
McKENZIE PLACE, LLC

2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

Revisions

Drawn By:

Author

Date:

07-22-15

Job No.:

130139-03

Sheet No.:

A205

209 south water street milwaukee wisconsin 53204 414 359 3960
2310 crossroads drive suite 2000 madison wisconsin 53718 608 240 9900
1613 fruitville road suite 3 sarasota florida 34236 941 348 3418
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C2
A221 VIEW OF RETAIL ALONG SHERMAN
3/32" = 1'-0"



E2
A221 VIEW OF APARTMENT ENTRY ALONG SHERMAN
3/32" = 1'-0"

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B1 NORTH-WEST
A400 1/8" = 1'-0"

| EXTERIOR FINISH PATTERNS | | EXTERIOR ELEVATIONS - GENERAL NOTES | |
|--------------------------|--------------------------|-------------------------------------|--|
| | ARCHITECTURAL CAST STONE | A. | PAIN ALL EXPOSED STEEL UNTELS TO MATCH ADJACENT MASONRY COLOR |
| | BRICK | B. | TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SIDING PENETRATIONS WITH 1X4 FIBER CEMENT TRIM (TYP.) |
| | RED CEMENT SIDING | C. | REFER TO SHEET XXX FOR WINDOW FRAME ELEVATIONS |
| | BLACK CEMENT SIDING | D. | SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES. |
| | DARK TAN CEMENT SIDING | E. | FIBER CEMENT COLOR TO BE REDWOOD STAIN. |

| NOTE # | EXTERIOR ELEVATION NOTE |
|--------|-------------------------|
|--------|-------------------------|

| KEYNOTE LEGEND - CONSTRUCTION TYPES | |
|-------------------------------------|--------------------------|
| TAG | CONSTRUCTION DESCRIPTION |



E1 NORTH-EAST
A400 1/8" = 1'-0"



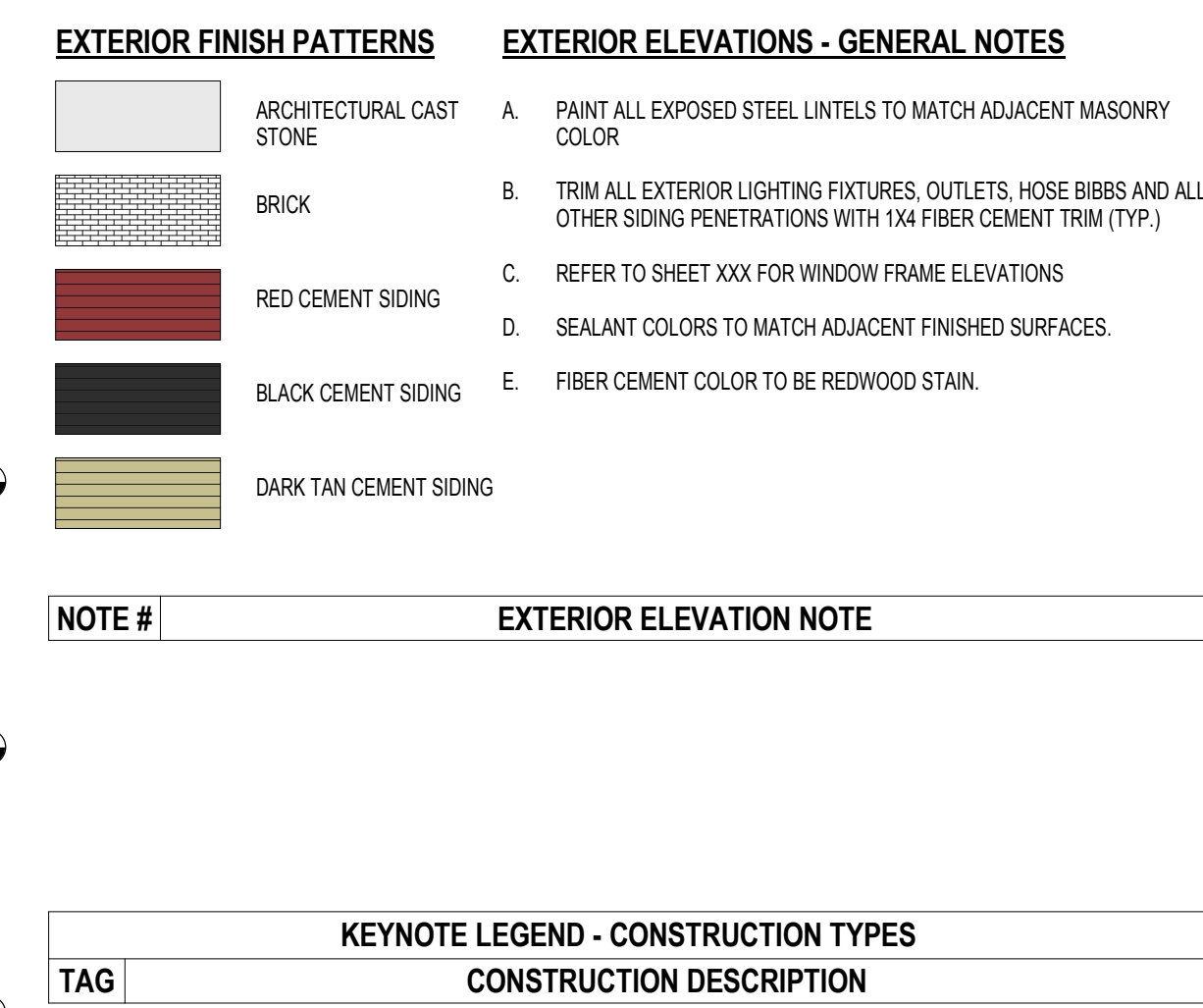
E5 EAST
A400 1/8" = 1'-0"

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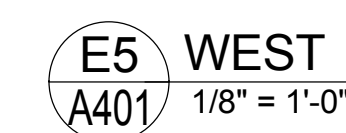
JOHN FISH
MCKENZIE PLACE, LLC
2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)

| Revisions | |
|------------|-----------|
| Drawn By: | Author |
| Date: | 07-22-15 |
| Job No.: | 130139-03 |
| Sheet No.: | A400 |

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B1
A401



E1
A401



Erosion Control Permit Application

City of Madison Engineering Division

210 Martin Luther King Jr. Blvd. ■ City-County Building Suite 115 ■ Madison, WI 53703

Section 1 ■ Property Information

Project Name: McKenzie Place Apartments 25/0709-121-0102-2

Property Address: Sherman Avenue 2107 - 2249 " - " - 0101-4
Madison WI 53704 " - " - 0104-8
City State ZIP Code " - " - 0103-0

Plat or CSM

Section 2 ■ Landowner Information

Company: McKenzie Place LLC

Full Name: Fish John Owner
Last First Title

Mailing Address: 315 Lakewood Boulevard
Street Apartment/Unit #
Madison WI 53704
City State ZIP Code

Contact Phone: _____ E-Mail: Trout204@comcast.net

Section 3 ■ Applicant Information (If different than Landowner)

☐ Same as Landowner (Check if YES, and continue with Section 4)

Company: _____

Full Name: _____
Last First Title

Mailing Address: _____
Street Apartment/Unit #
City State ZIP Code

Contact Phone: _____ E-Mail: _____

The applicant will be responsible for compliance with MGO Chapter 37 and the conditions of the permit, and may be cited for violations that occur on the premises.

Section 4 ■ Authorized Erosion Control Inspector (if known)

☐ Same as Applicant (Check if YES, and continue with Section 5)

Company: Vierbicher Associates, Inc.

Full Name: Barritt Brian Project Engineer
Last First Title

Mailing Address: 999 Fourier Drive Suite 201-
Street Apartment/Unit #
Madison WI 53717
City State ZIP Code

Contact Phone: 608.821-3980

E-Mail: bbar@vierbicher.com

Section 5 ■ Permit Type

Check Only One Option

☐ Simplified Plan Checklist—Disturbed Area < 20,000 ft², Slopes < 6% (\$100.00 permit base fee)

1. Provide construction entrances with tracking controls.
2. Protect any inlets receiving run-off from the disturbed construction area.
3. Provide perimeter control to retain sediments on the construction site.
4. Provide timely restoration with 14 days of land disturbance activities.

☒ Full Erosion Control Plan (\$200.00 permit base fee)
Attach erosion control report and plan for review

☐ Renewal of Expired Permit (\$50.00 permit base fee)

Work to be performed by:

☒ Same as Landowner (Check if YES) ☐ Same as Applicant (Check if YES) ☐ Same as Authorized Inspector (Check if YES)

Construction Contact (Not yet determined)

Contact Phone: E-Mail:

Section 6 ■ Fee Calculation

| | |
|--|------------------------|
| Permit Base Fee (Permit type selected above in Section 5) | \$ 200.00 |
| Total Disturbed area (ft ²) | 47,916 ft ² |
| Erosion Control Area Fee-Full Erosion Control Plan ONLY (\$5/1000 ft ² disturbed) | \$ 239.58 |
| Total Fees | \$ 439.58 |

FEES RECEIVED

Office Use Only

Date
Amt
By

USLE Rate (ton/acre/year) Construction Start Date 10/01/2015 Restoration Date 07/31/2015

*All measures to be installed prior to any other construction. No disturbance, grading, stockpiles, or borrow pits shall be allowed in park area without approval by the Parks Division prior to construction. **NO land disturbance work may proceed** until this application has been approved and a permit issued.

Section 7 ▣ Landowner and Applicant Signature

I have reviewed and understand Chapter 37 of the Madison General Ordinances regarding erosion control, and I shall implement the control plan or checklist for this project as approved by the City.

As a condition of the granting of this permit, I authorize, and have the authority to authorize, City of Madison personnel the right-of-entry onto the above described premises for the purpose of inspecting and monitoring for compliance with the aforesaid ordinance.

I acknowledge by submitting this application and signing below, that I shall be responsible for compliance with MGO Chapter 37 and the conditions of this permit.

Landowner Signature: _____ Date: _____

Applicant Signature: _____ Date: _____