



The Hub at Madison II - Revised UDC Submittal

Core Campus Developers | Antunovich Associates Architecture · Planning

Submitted March 4th 2015

Madison, Wisconsin | May 14, 2015

Existing Conditions

Address/Existing Use	Surface Parking/Vacant
510 University Avenue	First floor: Retail
435 West Gilman	Second Floor: 8 Residential Apartments
Parcel Identification Numbers:	
510 University Avenue	0709-232-0116-8
Aldermanic District:	District 4
	Alder Mike Verveer
Neighborhood Association:	State Langdon Neighborhood Association
Alder/Neighborhood Notification:	December 1, 2014
Legal Description:	See Exhibit A
Lot Area:	.97 acres
Existing Zoning:	Urban Mixed Use
Downtown Plan:	State Street District
	Downtown Mixed Use
Comp. Plan Designation:	State Street District
Development Schedule:	Fall 2015 Construction Start
	14-18 Month Construction Period
	Target Opening: August 2017
Downtown Height Map:	12 Story Maximum
Downtown Stepback:	
University/Gorham:	15' stepback above 4 Floors
Gilman:	15' stepback above 4 Floors

Site Photos



Site Photos (Continued)



Site Photos (Continued)



Demolition Request

The building located at 435 West Gilman was originally built in 1929 as a automobile dealership/garage. This building was constructed as primarily a slab on grade simple concrete floor system with masonry sides and has been renovated numerous times to accommodate differing commercial uses. The exterior side and rear have been covered with stucco. Due to the utilitarian nature of the original use and subsequent repurposing no interior finishes remain. A small basement area is located at the rear 1/4 of the building which houses the first floor HVAC system and water heaters for the building.

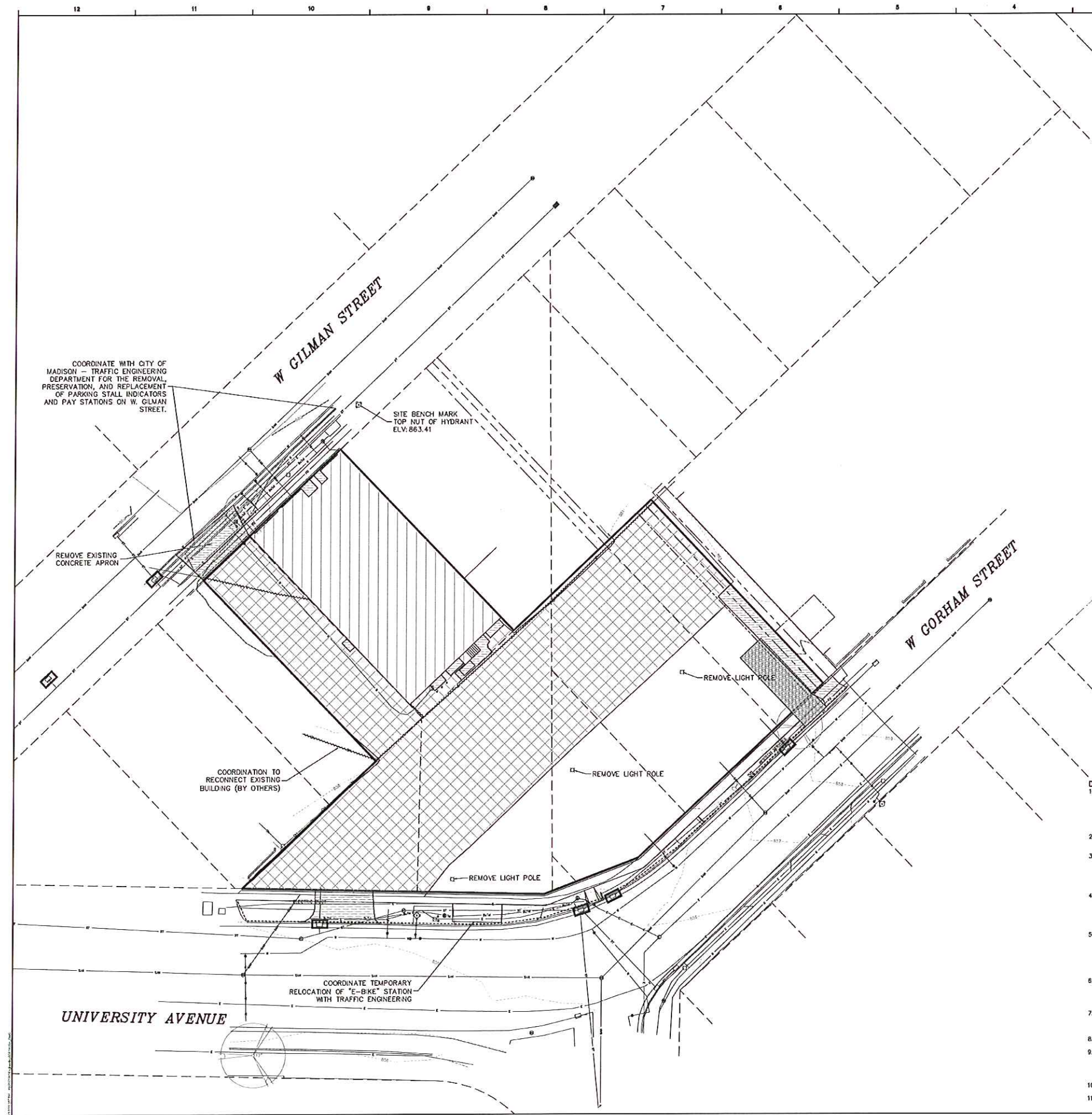
The upper floors have been converted to eight apartment units that have undergone several renovations leaving them in an unadorned "white box" state. These units use electric baseboard heating and through wall air conditioners in the bedrooms.

The main building cannot be integrated into the project based upon the construction type, existing inefficiencies and project economics. The Gilman Street facade is being incorporated into the design of the building to preserve the character of the streetscape, with the balance of the building proposed for demolition.









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LEGEND

REMOVE BITUMINOUS PAVEMENT

REMOVE CONCRETE

RAZE BUILDING

REMOVE UTILITY LINE



OVERHEAD UTILITY

BURIED GAS MAIN

WATER MAIN

SANITARY SEWER

STORM SEWER

BURIED TELEPHONE

BURIED ELECTRIC

BURIED CABLE TV

BURIED FIBER OPTIC

WATER VALVE

GAS VALVE

CABLE TV PEDESTAL

ELECTRIC PEDESTAL

TELEPHONE PEDESTAL

UTILITY POLE

LIGHT POLE

QUIP WIRE

WALDOX

SPK

PAVING METER

PIPE HYDRANT

IRON PIPE OR STAKE FOUND

STORM SEWER STRUCTURE

CATCH BASIN

STORM SEWER INLET

ELECTRIC MANHOLE

TELECOMM. MANHOLE

STORM SEWER MANHOLE

SANITARY SEWER MANHOLE

WATER UTILITY MANHOLE

DECIDUOUS TREE

CONIFEROUS TREE

LAND CONTROL POINT

BENCHMARK

BITUMINOUS PAVEMENT

CONCRETE PAVEMENT

TRAFFIC ENGINEERING

BOLLARD

- DEMOLITION NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGROUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
7. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
8. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS. BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
10. DAMAGE TO ALL EXISTING CONDITION TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

General Notes:

Submissions & Revisions

CORE

CAMPUS

General Contractor

Architect

ANTUNOVICH ASSOCIATES

Structural Engineer

Mechanical and Plumbing Engineers

Electrical Engineer

Civil Engineer

Surveyor

Landscaper/Architect

Schaefer Land Design

Project Location

HUB AT MADISON II

510 University Avenue

Madison, WI 53703

Demolition Plan

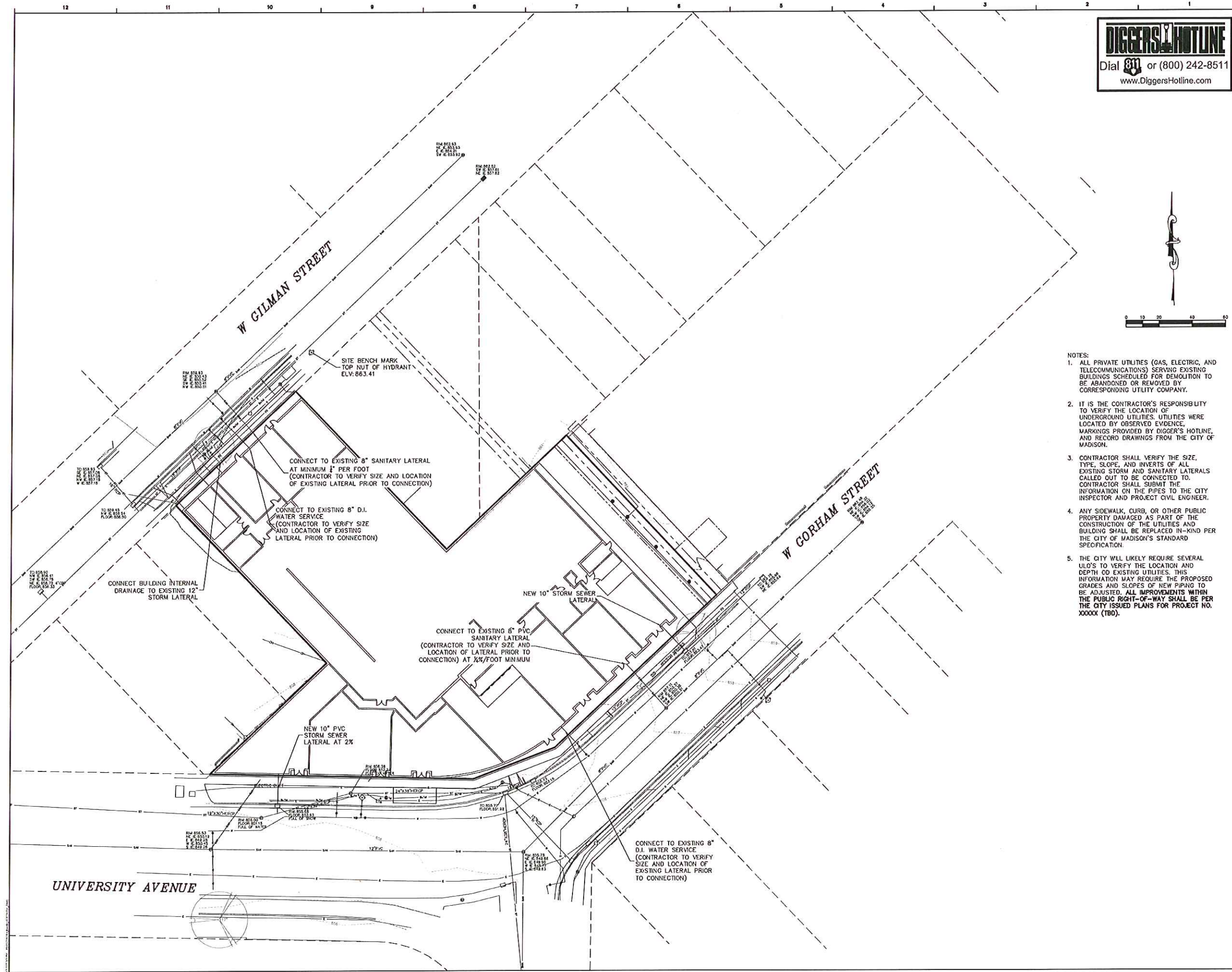
Scale

Date

03.03.2015

Project No.

C-200



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- NOTES:
1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
 3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
 4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
 5. THE CITY WILL LIKELY REQUIRE SEVERAL ULO'S TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES. THIS INFORMATION MAY REQUIRE THE PROPOSED GRADES AND SLOPES OF NEW PIPING TO BE ADJUSTED. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY ISSUED PLANS FOR PROJECT NO. XXXXX (TBD).

General Notes

Submissions & Revisions

CORE
Campus
Core Campus Developers
1000 University Avenue
Madison, WI 53703
Phone: (608) 261-1000
Fax: (608) 261-1001

General Contractor

Architect

ANTUNOVICH ASSOCIATES
ARCHITECTS & PLANNERS
224 West Monroe Street
Suite 200
Madison, WI 53703
Phone: (608) 261-1000
Fax: (608) 261-1001
Associate Architect

Structural Engineer

Mechanical and Plumbing Engineers

Electrical Engineer

Engineer

Burns
Engineering and Design
200 West Washington Avenue
Suite 200
Madison, WI 53703
Phone: (608) 261-1000
Fax: (608) 261-1001
Professional Engineer

Landscaper/Architect

Schaefer
Land Design
414 Park Street
Madison, WI 53703
Phone: (608) 261-1000
Fax: (608) 261-1001

Project Location

HUB AT MADISON II
510 University Avenue
Madison, WI 53703

Working Title

UTILITY PLAN

Scale

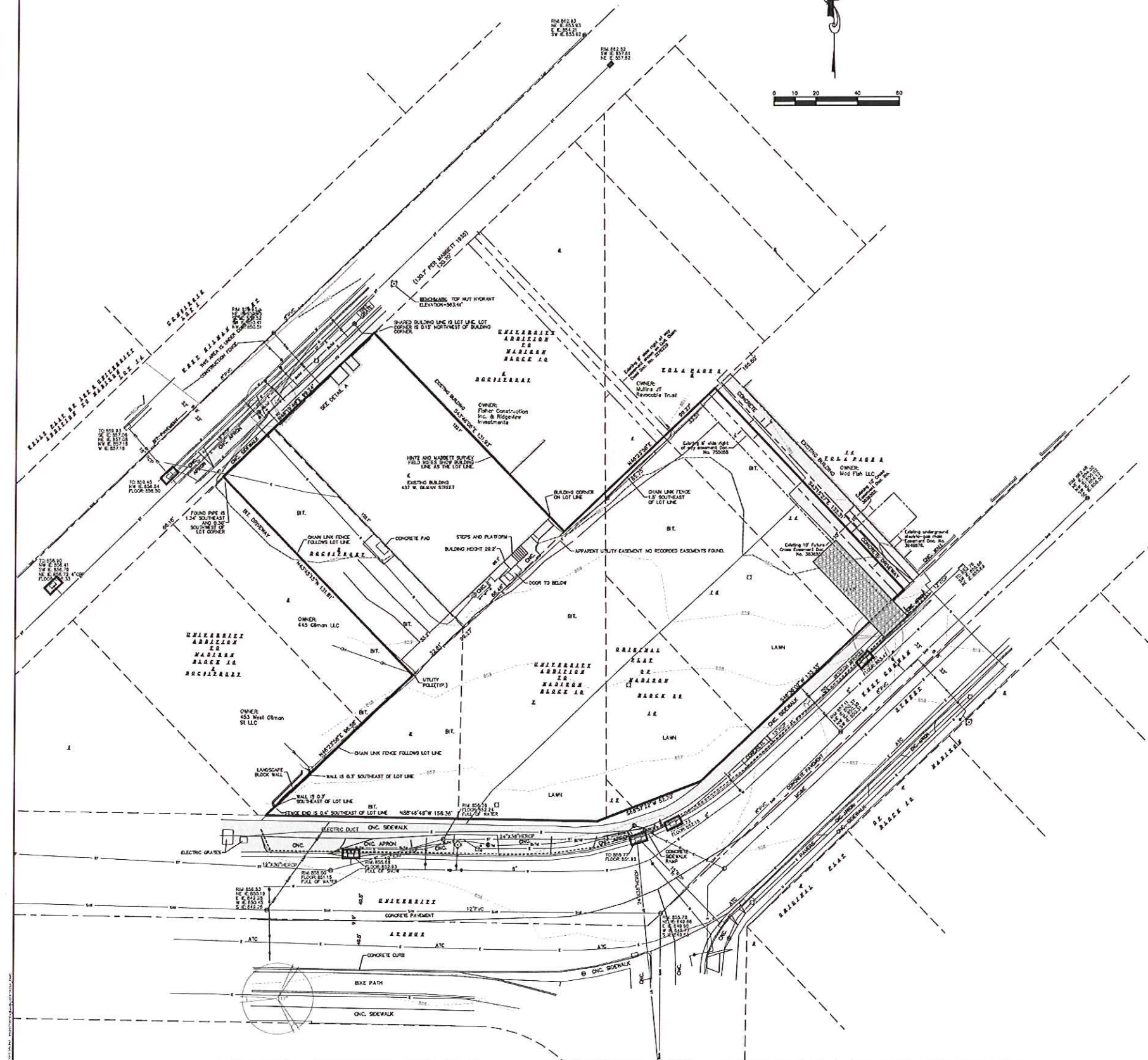
DATE: 03.03.2015

Project No.

C-400

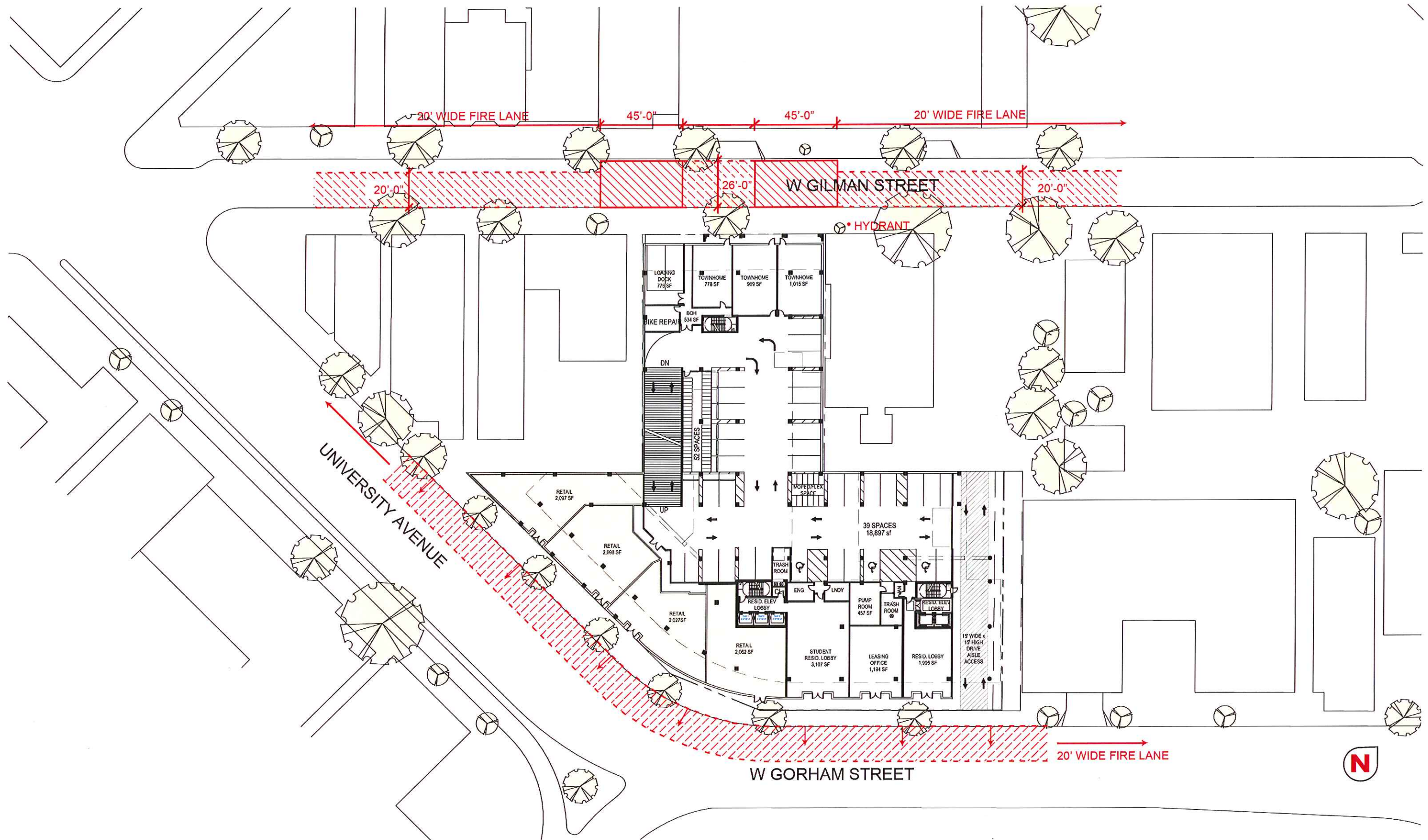
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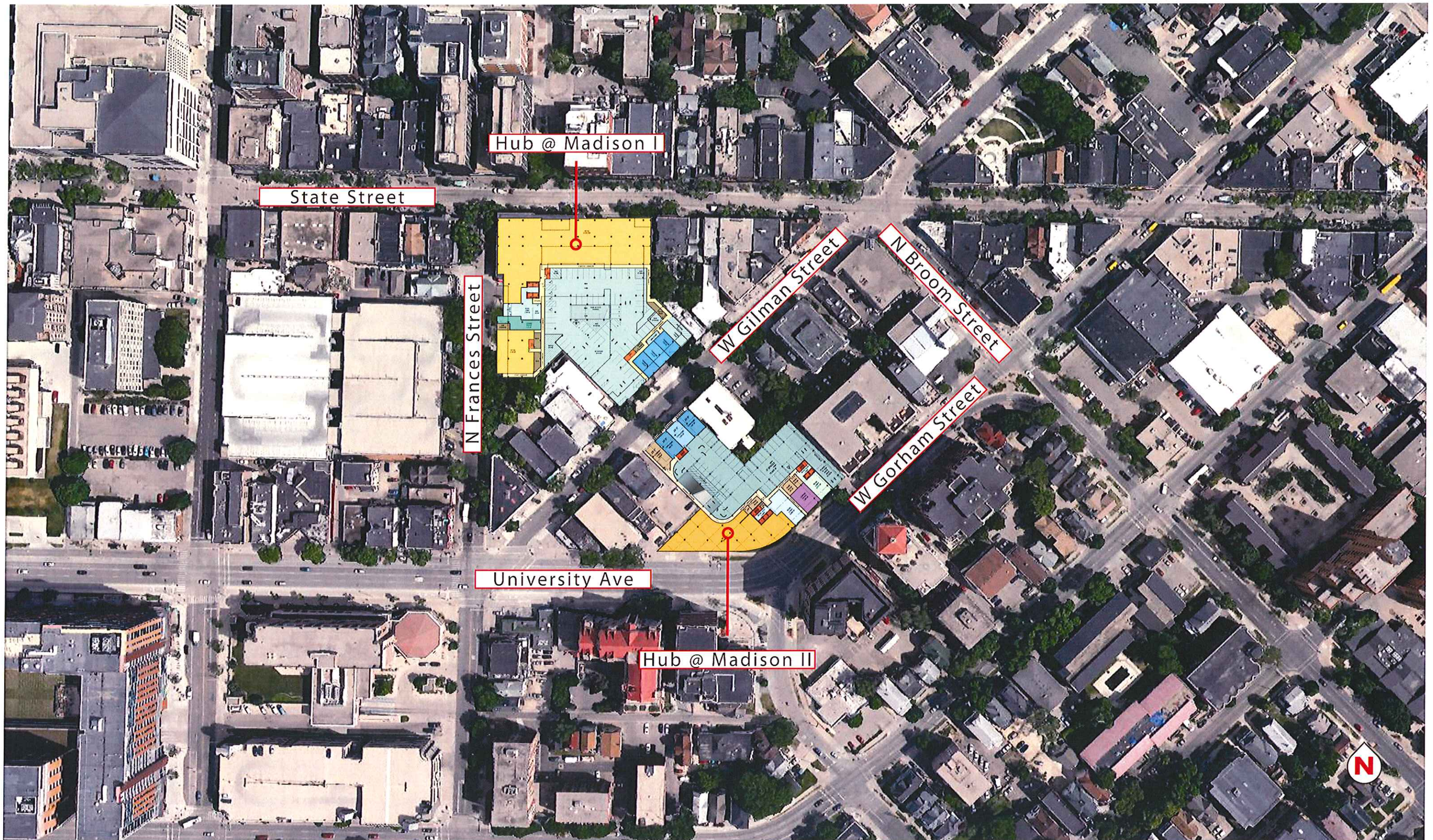
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1. **Date of field work:** January 26 and 27, 2015.
2. **Total Parcel Area:** 42,846 square feet or 0.9553 acres.
3. **Location:** are located upon NAVD83 datum. The City of Madison monument at the South Corner corner of Section 14--27--09 lies on a section of 87332' based upon a traverse by Gregory Jones dated 12-15-2006.
4. **Rating of the underground utilities is based upon readings provided by Digger's Hotline.** Total Numbers 20150402543, 20150402556, 20150402557, 20150402558, 20150402559, 20150402560, 20150402561, 20150402562, 20150402563, 20150402564, 20150402565, 20150402566, 20150402567, 20150402568, 20150402569, 20150402570, 20150402571, 20150402572, 20150402573, 20150402574, 20150402575, 20150402576, 20150402577, 20150402578, 20150402579, 20150402580, 20150402581, 20150402582, 20150402583, 20150402584, 20150402585, 20150402586, 20150402587, 20150402588, 20150402589, 20150402590, 20150402591, 20150402592, 20150402593, 20150402594, 20150402595, 20150402596, 20150402597, 20150402598, 20150402599, 20150402600, 20150402601, 20150402602, 20150402603, 20150402604, 20150402605, 20150402606, 20150402607, 20150402608, 20150402609, 20150402610, 20150402611, 20150402612, 20150402613, 20150402614, 20150402615, 20150402616, 20150402617, 20150402618, 20150402619, 20150402620, 20150402621, 20150402622, 20150402623, 20150402624, 20150402625, 20150402626, 20150402627, 20150402628, 20150402629, 20150402630, 20150402631, 20150402632, 20150402633, 20150402634, 20150402635, 20150402636, 20150402637, 20150402638, 20150402639, 20150402640, 20150402641, 20150402642, 20150402643, 20150402644, 20150402645, 20150402646, 20150402647, 20150402648, 20150402649, 20150402650, 20150402651, 20150402652, 20150402653, 20150402654, 20150402655, 20150402656, 20150402657, 20150402658, 20150402659, 20150402660, 20150402661, 20150402662, 20150402663, 20150402664, 20150402665, 20150402666, 20150402667, 20150402668, 20150402669, 20150402670, 20150402671, 20150402672, 20150402673, 20150402674, 20150402675, 20150402676, 20150402677, 20150402678, 20150402679, 20150402680, 20150402681, 20150402682, 20150402683, 20150402684, 20150402685, 20150402686, 20150402687, 20150402688, 20150402689, 20150402690, 20150402691, 20150402692, 20150402693, 20150402694, 20150402695, 20150402696, 20150402697, 20150402698, 20150402699, 20150402700, 20150402701, 20150402702, 20150402703, 20150402704, 20150402705, 20150402706, 20150402707, 20150402708, 20150402709, 20150402710, 20150402711, 20150402712, 20150402713, 20150402714, 20150402715, 20150402716, 20150402717, 20150402718, 20150402719, 20150402720, 20150402721, 20150402722, 20150402723, 20150402724, 20150402725, 20150402726, 20150402727, 20150402728, 20150402729, 20150402730, 20150402731, 20150402732, 20150402733, 20150402734, 20150402735, 20150402736, 20150402737, 20150402738, 20150402739, 20150402740, 20150402741, 20150402742, 20150402743, 20150402744, 20150402745, 20150402746, 20150402747, 20150402748, 20150402749, 20150402750, 20150402751, 20150402752, 20150402753, 20150402754, 20150402755, 20150402756, 20150402757, 20150402758, 20150402759, 20150402760, 20150402761, 20150402762, 20150402763, 20150402764, 20150402765, 20150402766, 20150402767, 20150402768, 20150402769, 20150402770, 20150402771, 20150402772, 20150402773, 20150402774, 20150402775, 20150402776, 20150402777, 20150402778, 20150402779, 20150402780, 20150402781, 20150402782, 20150402783, 20150402784, 20150402785, 20150402786, 20150402787, 20150402788, 20150402789, 20150402790, 20150402791, 20150402792, 20150402793, 20150402794, 20150402795, 20150402796, 20150402797, 20150402798, 20150402799, 20150402800, 20150402801, 20150402802, 20150402803, 20150402804, 20150402805, 20150402806, 20150402807, 20150402808, 20150402809, 20150402810, 20150402811, 20150402812, 20150402813, 20150402814, 20150402815, 20150402816, 20150402817, 20150402818, 20150402819, 20150402820, 20150402821, 20150402822, 20150402823, 20150402824, 20150402825, 20150402826, 20150402827, 20150402828, 20150402829, 20150402830, 20150402831, 20150402832, 20150402833, 20150402834, 20150402835, 20150402836, 20150402837, 20150402838, 20150402839, 20150402840, 20150402841, 20150402842, 20150402843, 20150402844, 20150402845, 20150402846, 20150402847, 20150402848, 20150402849, 20150402850, 20150402851, 20150402852, 20150402853, 20150402854, 20150402855, 20150402856, 2015

General Notes:		
No.	Date	Description
1	08.25.16	Conditional Use Permit
Submissions & Revisions		
 CORE CAMPUS		
General Contractor		
Architect		
ANTUNOVICH ASSOCIATES ARCHITECTS PLANNERS 724 WEST BAKER STREET SUITE #1 MILWAUKEE, WISCONSIN 53226 P 414.224.1574 F 414.224.1573		
Associate Architect		
Structural Engineer		
Mechanical and Plumbing Engineers		
Electrical Engineer		
Civil Engineer		
 Bursae Engineering and Engineering Inc. 2507 S. KENOSHA AVE., STE. 100 MILWAUKEE, WI 53227-3143 TEL: 414-224-7443 FAX: 414-224-7443 www.bursaeengineering.com		
Landscape Architect		
 Schaefer <i>Land Design</i>		
Project Location		
HUB AT MADISON II 510 University Avenue Madison, WI 53703		
Drawing Title		
EXISTING CONDITIONS PLAN		
Scale	Date	
	03.03.2017	
Drawing No.	C-100	



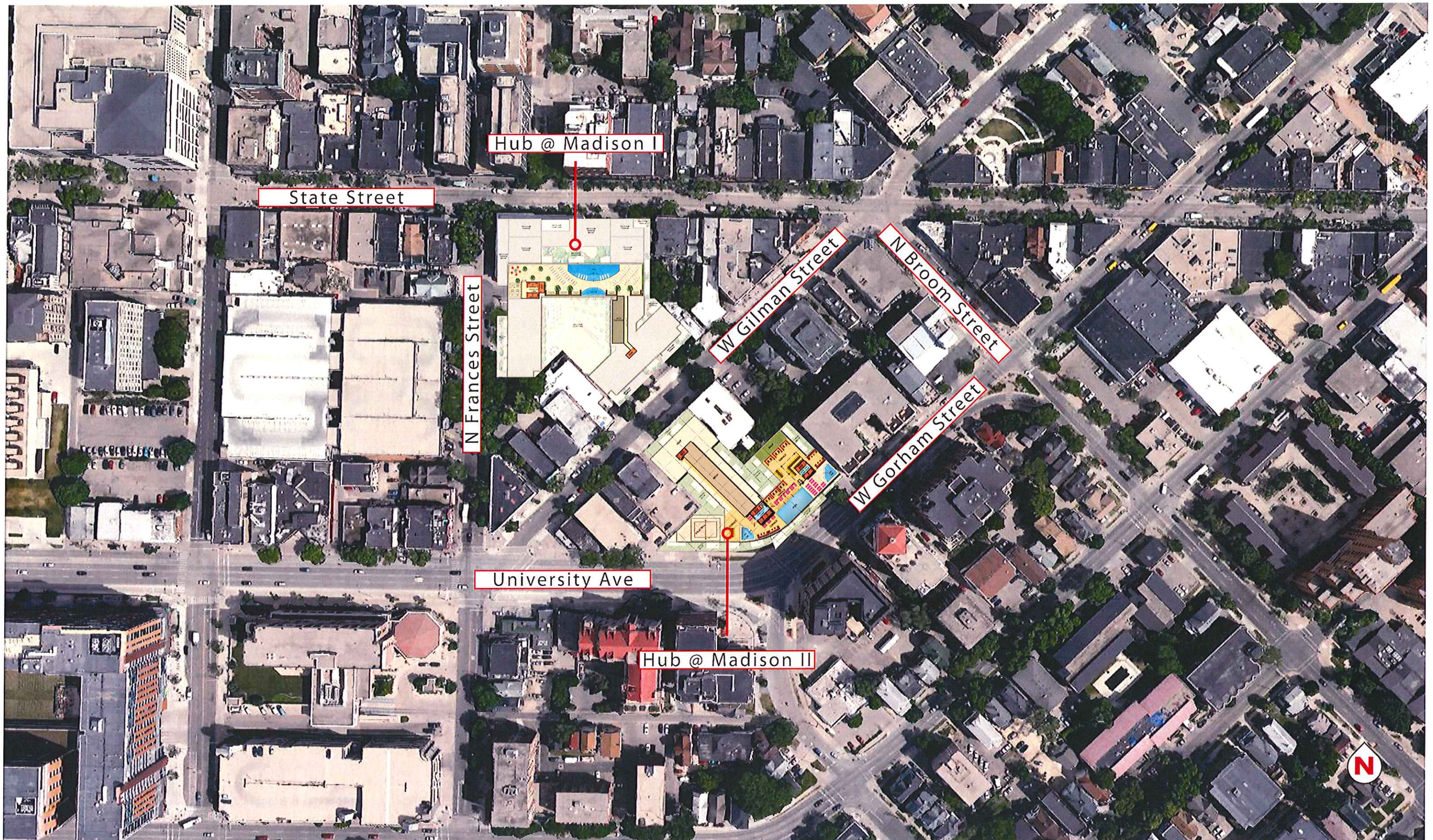


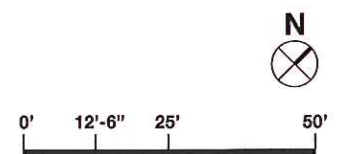
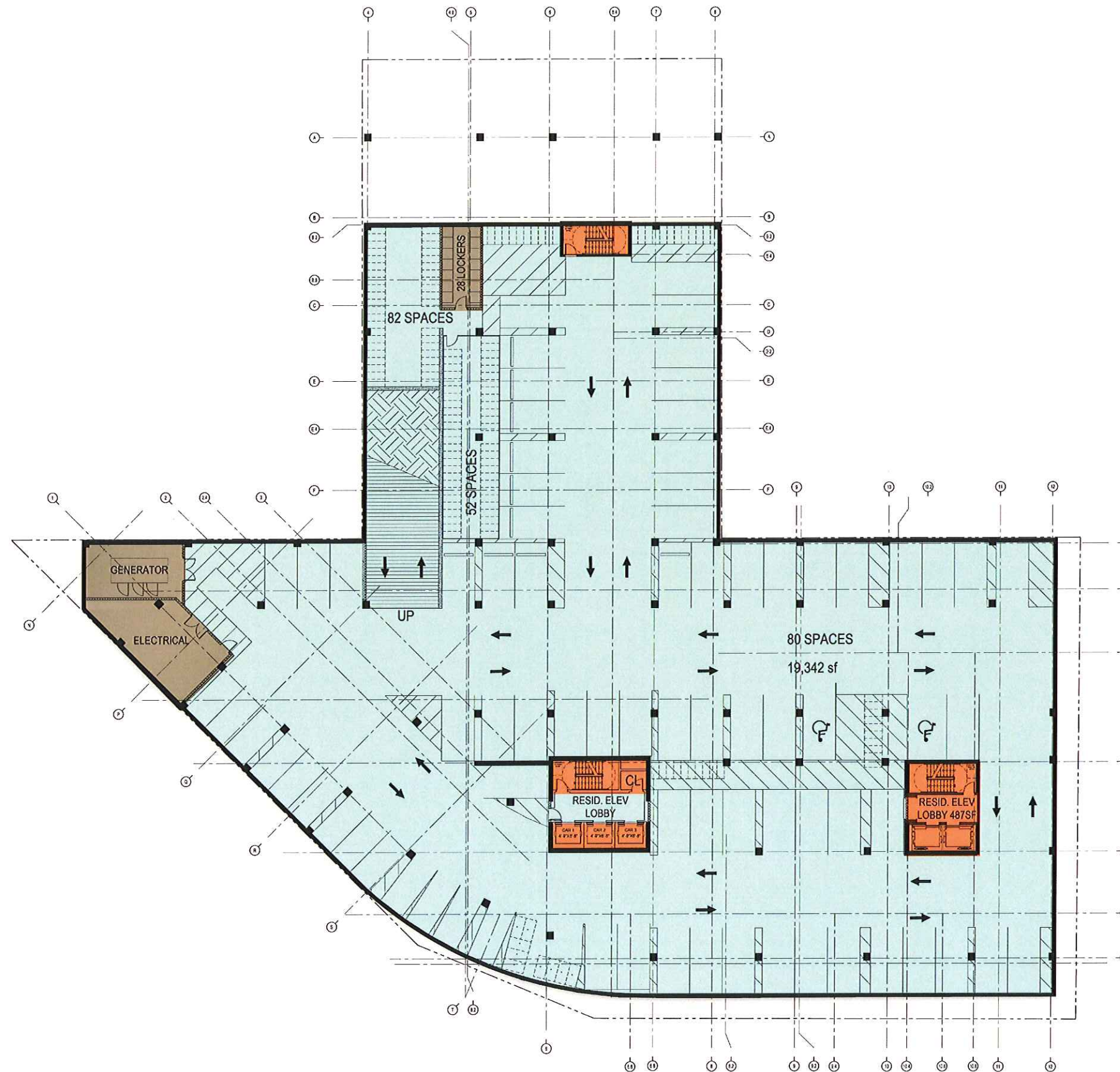
The Hub at Madison II - Revised UDC Submittal

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Context Plan

Madison, Wisconsin | May 14, 2015





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Proposed Basement Parking Plan

Madison, Wisconsin | May 14th, 2015

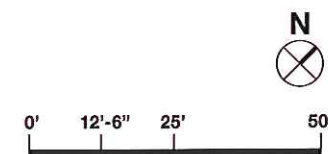
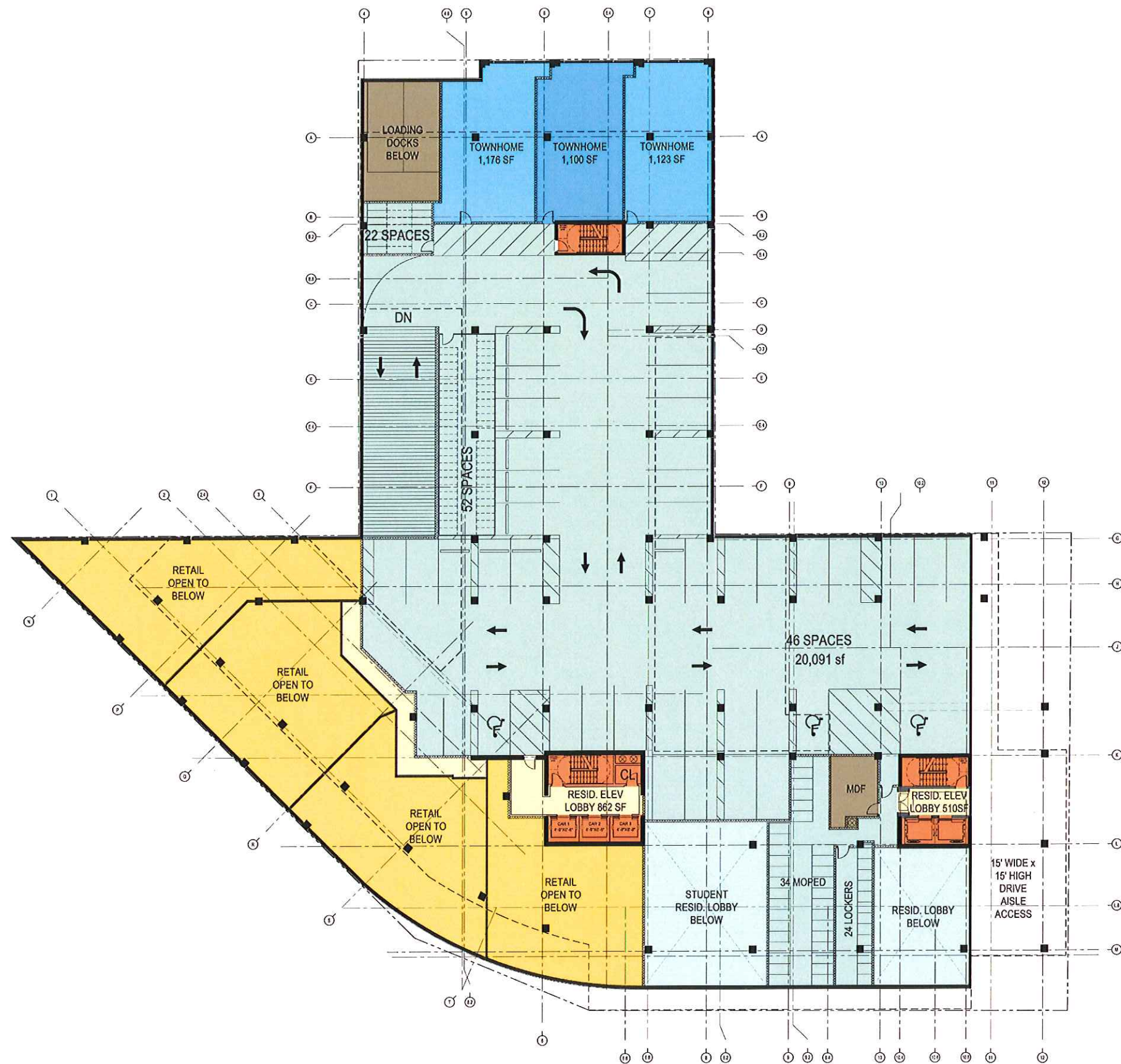


The Hub at Madison II - Revised UDC Submittal

Core Campus Developers | Antunovich Associates Architecture + Planning

First Floor Plan

Madison, Wisconsin | May 14th, 2015



The Hub at Madison II - Revised UDC Submittal

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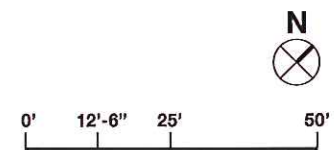
Proposed Mezzanine Level Parking Plan

Madison, Wisconsin | May 14th, 2015



TOTAL GROSS	33,798 SF
LESS ATRIUMS	0 SF
TOTAL GROSS	33,798 SF
LESS M/R GROSS	8,997 SF
TOTAL STU GROSS	24,801 SF
LESS COMMON	8,036 SF
RENTABLE	16,765 SF

MARKET RATE	
TOTAL GROSS	8,997 SF
COMMON	1,503 SF
RENTABLE	7,494 SF



The Hub at Madison II - Revised UDC Submittal

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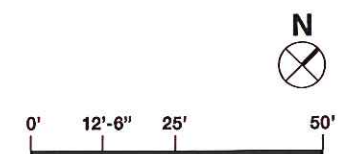
Second Floor Plan

Madison, Wisconsin | May 14th, 2015



TOTAL GROSS	32,001 SF
LESS ATRIUMS	0 SF
TOTAL GROSS	32,001 SF
LESS M/R GROSS	8,703 SF
TOTAL STU GROSS	23,298 SF
LESS COMMON	3,075 SF
RENTABLE	20,223 SF

MARKET RATE	
TOTAL GROSS	8,703 SF
COMMON	1,503 SF
RENTABLE	7,200 SF

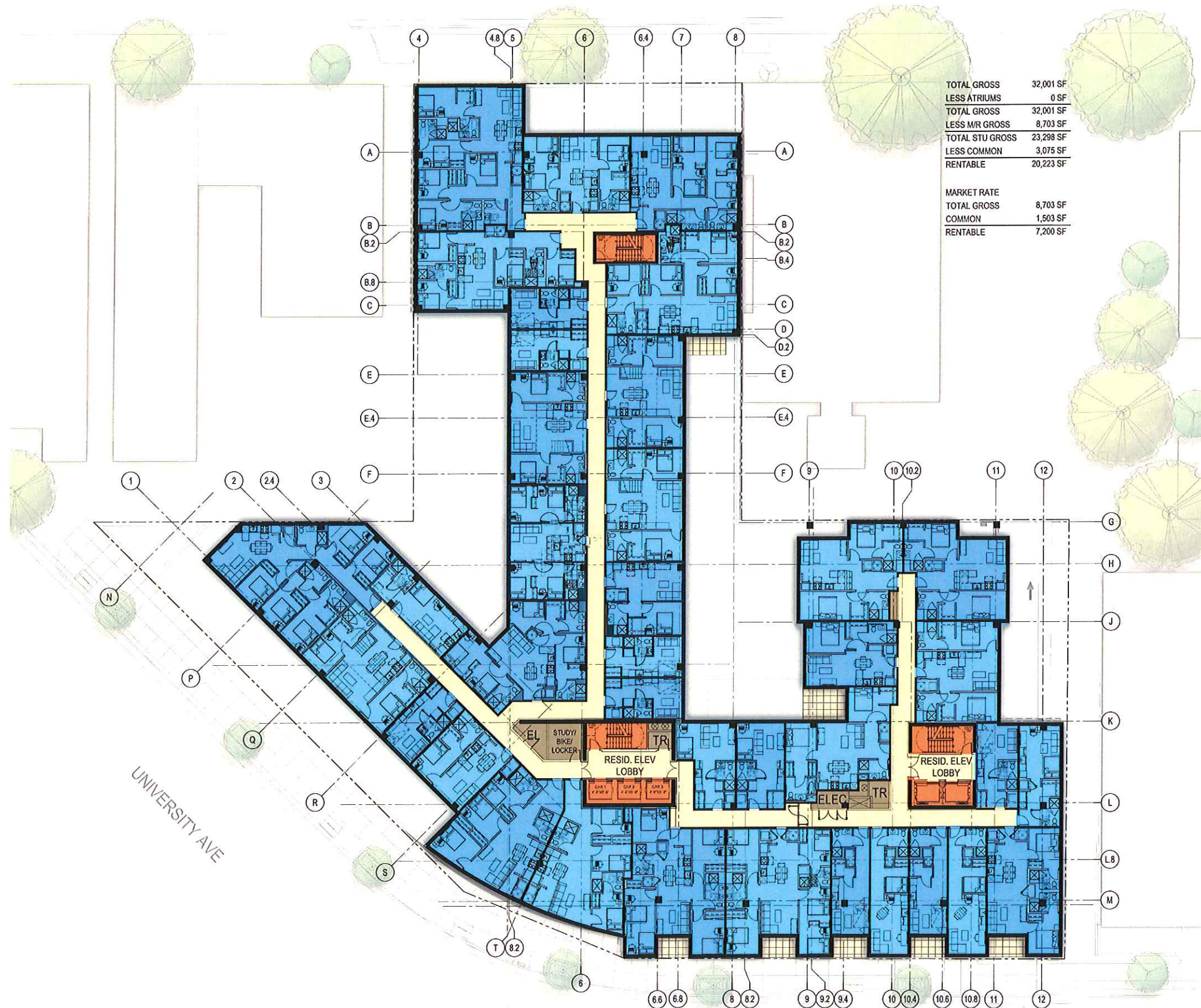


The Hub at Madison II - Revised UDC Submittal

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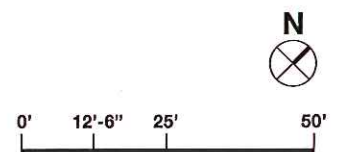
Third Floor Plan

Madison, Wisconsin | May 14th, 2015



TOTAL GROSS	32,001 SF
LESS ATRIUMS	0 SF
TOTAL GROSS	32,001 SF
LESS M/R GROSS	8,703 SF
TOTAL STU GROSS	23,298 SF
LESS COMMON	3,075 SF
RENTABLE	20,223 SF

MARKET RATE	
TOTAL GROSS	8,703 SF
COMMON	1,503 SF
RENTABLE	7,200 SF



The Hub at Madison II - Revised UDC Submittal

Core Campus Developers | Antunovich Associates Architecture · Planning

4th Floor Plan

Madison, Wisconsin | May 14th, 2015



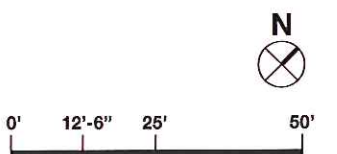
TOTAL GROSS	28,663 SF
LESS ATRIUMS	0 SF
TOTAL GROSS	28,663 SF
LESS M/R GROSS	7,950 SF
TOTAL STU GROSS	20,713 SF
LESS COMMON	3,026 SF
RENTABLE	17,687 SF

MARKET RATE	
TOTAL GROSS	7,950 SF
COMMON	1,503 SF
RENTABLE	6,447 SF



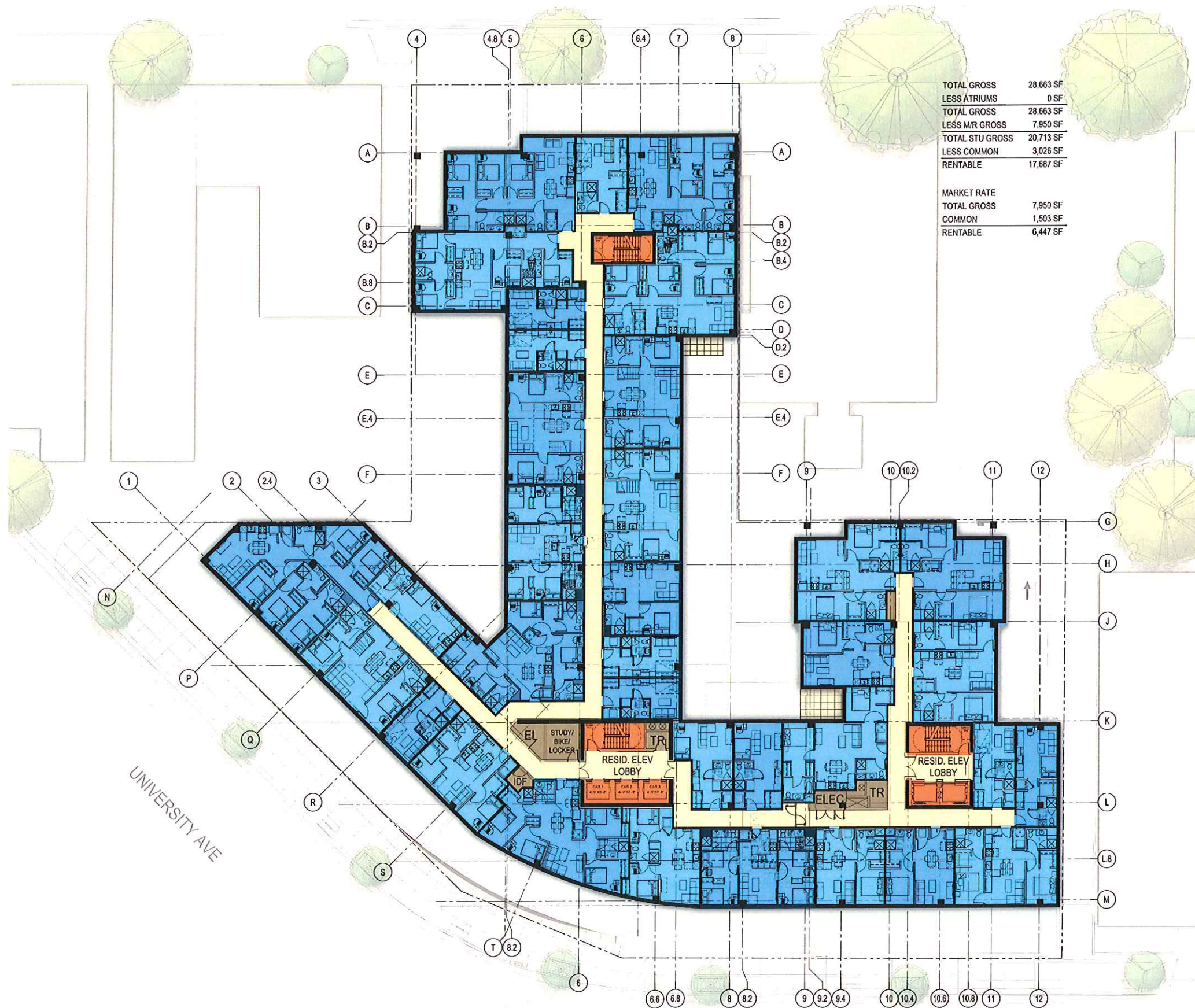
The Hub at Madison II - Revised UDC Submittal

Core Campus Developers | Antunovich Associates Architecture · Planning



5th Floor Plan

Madison, Wisconsin | May 14th, 2015



TOTAL GROSS	28,663 SF
LESS ATRIUMS	0 SF
TOTAL GROSS	28,663 SF
LESS M/R GROSS	7,950 SF
TOTAL STU GROSS	20,713 SF
LESS COMMON	3,026 SF
RENTABLE	17,687 SF

MARKET RATE	
TOTAL GROSS	7,950 SF
COMMON	1,503 SF
RENTABLE	6,447 SF

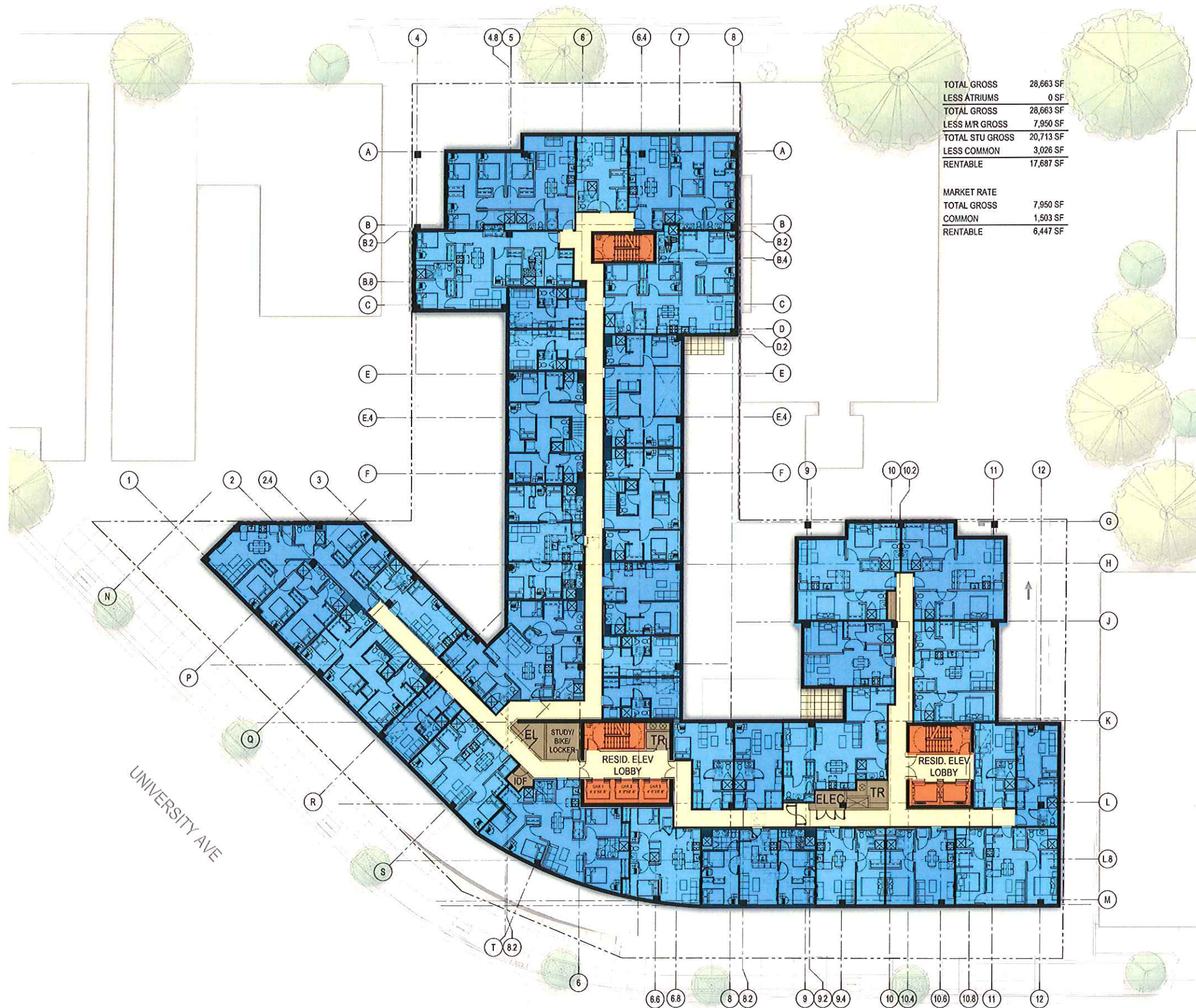


The Hub at Madison II - Revised UDC Submittal

Core Campus Developers | Antunovich Associates Architecture • Planning

6th Floor Plan

Madison, Wisconsin | May 14th, 2015



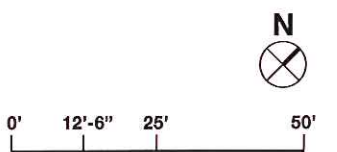
TOTAL GROSS	28,663 SF
LESS ATRIUMS	0 SF
TOTAL GROSS	28,663 SF
LESS M/R GROSS	7,950 SF
TOTAL STU GROSS	20,713 SF
LESS COMMON	3,026 SF
RENTABLE	17,687 SF

MARKET RATE	
TOTAL GROSS	7,950 SF
COMMON	1,503 SF
RENTABLE	6,447 SF



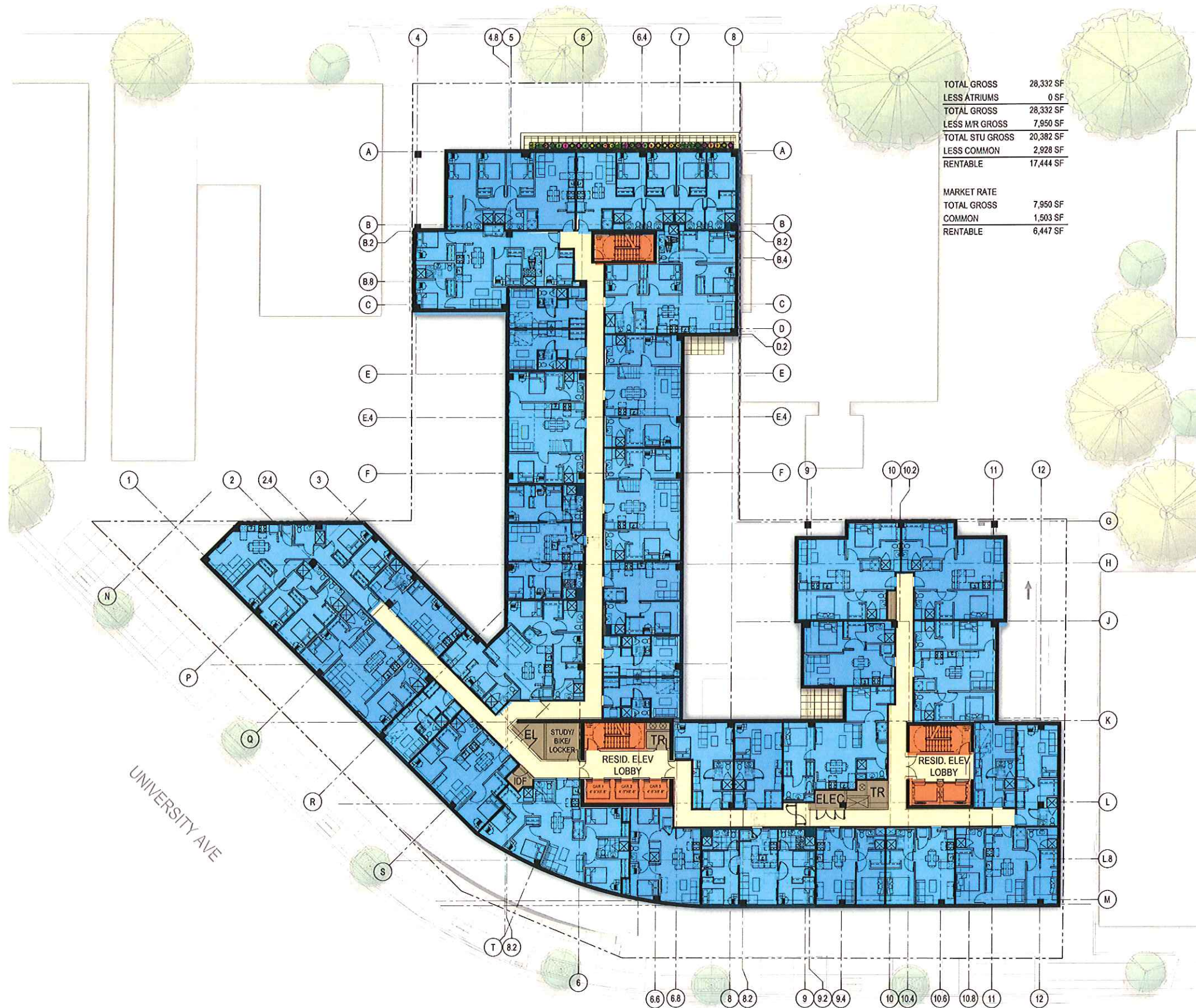
The Hub at Madison II - Revised UDC Submittal

Core Campus Developers | Antunovich Associates Architecture + Planning



7th Floor Plan

Madison, Wisconsin | May 14th, 2015



TOTAL GROSS	28,332 SF
LESS ATRIUMS	0 SF
TOTAL GROSS	28,332 SF
LESS M/R GROSS	7,950 SF
TOTAL STU GROSS	20,382 SF
LESS COMMON	2,928 SF
RENTABLE	17,444 SF

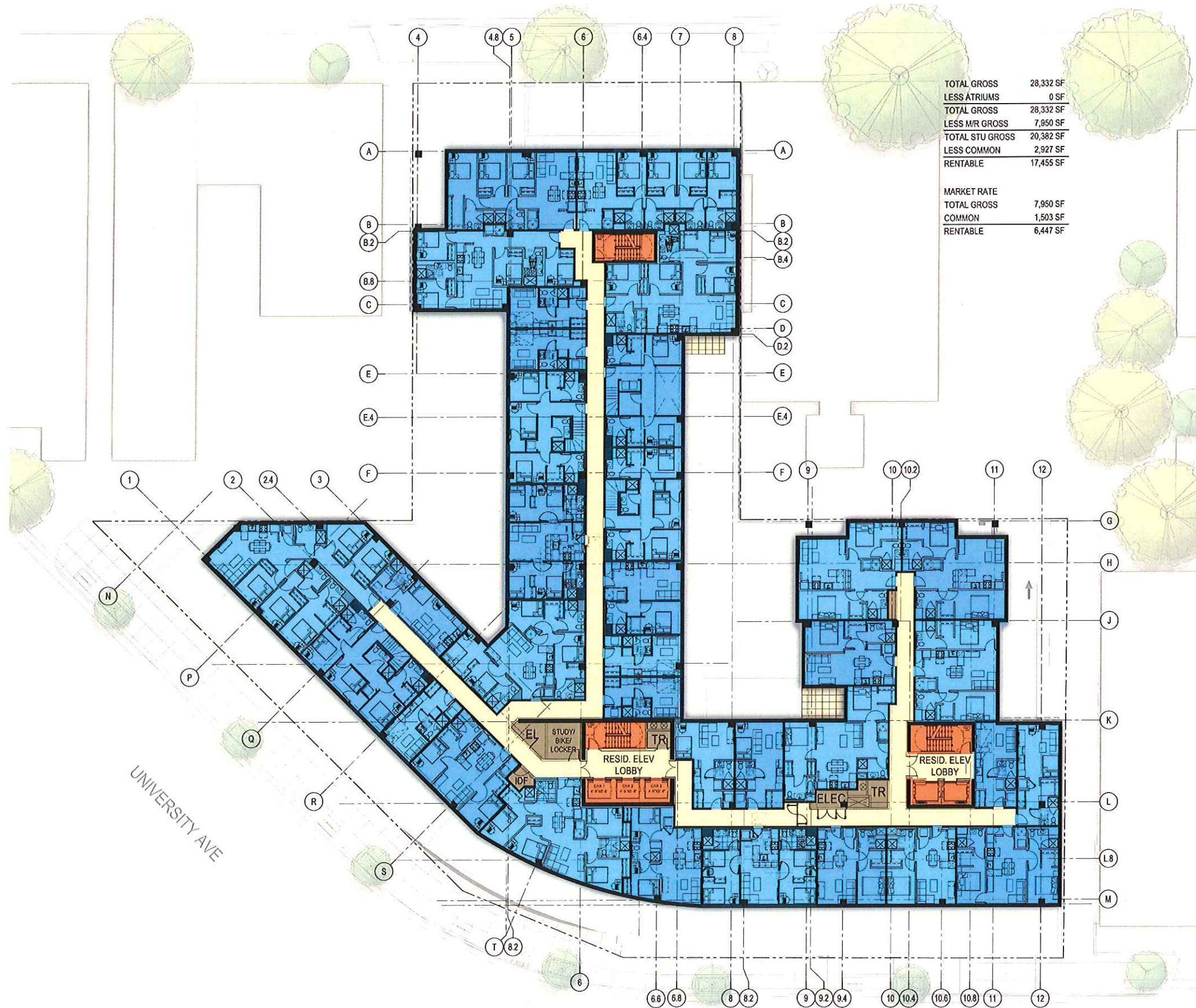
MARKET RATE	
TOTAL GROSS	7,950 SF
COMMON	1,503 SF
RENTABLE	6,447 SF



The Hub at Madison II - Revised UDC Submittal

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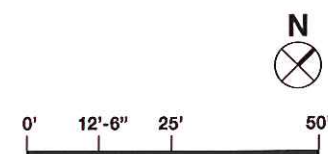
8th Floor Plan
Madison, Wisconsin | May 14th, 2015



TOTAL GROSS	28,332 SF
LESS ATRIUMS	0 SF
TOTAL GROSS	28,332 SF
LESS M/R GROSS	7,950 SF
TOTAL STU GROSS	20,382 SF
LESS COMMON	2,927 SF
RENTABLE	17,455 SF

MARKET RATE	
TOTAL GROSS	7,950 SF
COMMON	1,503 SF
RENTABLE	6,447 SF

UNIVERSITY AVE



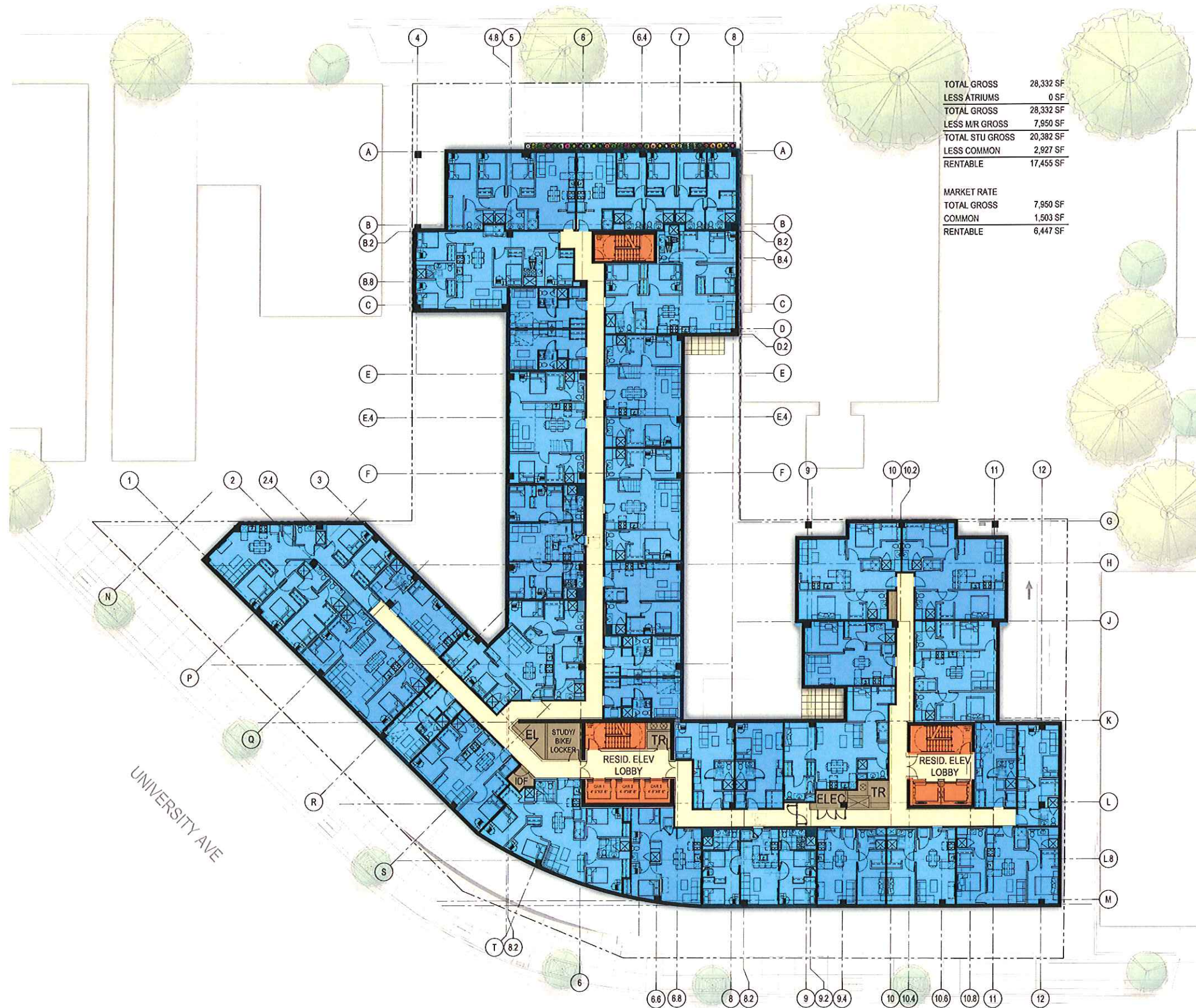
The Hub at Madison II - Revised UDC Submittal

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9th Floor Plan

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TOTAL GROSS	28,332 SF
LESS ATRIUMS	0 SF
TOTAL GROSS	28,332 SF
LESS MR GROSS	7,950 SF
TOTAL STU GROSS	20,382 SF
LESS COMMON	2,927 SF
RENTABLE	17,455 SF

MARKET RATE	
TOTAL GROSS	7,950 SF
COMMON	1,503 SF
RENTABLE	6,447 SF

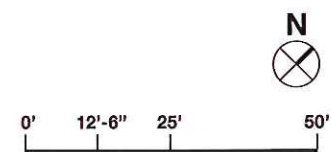
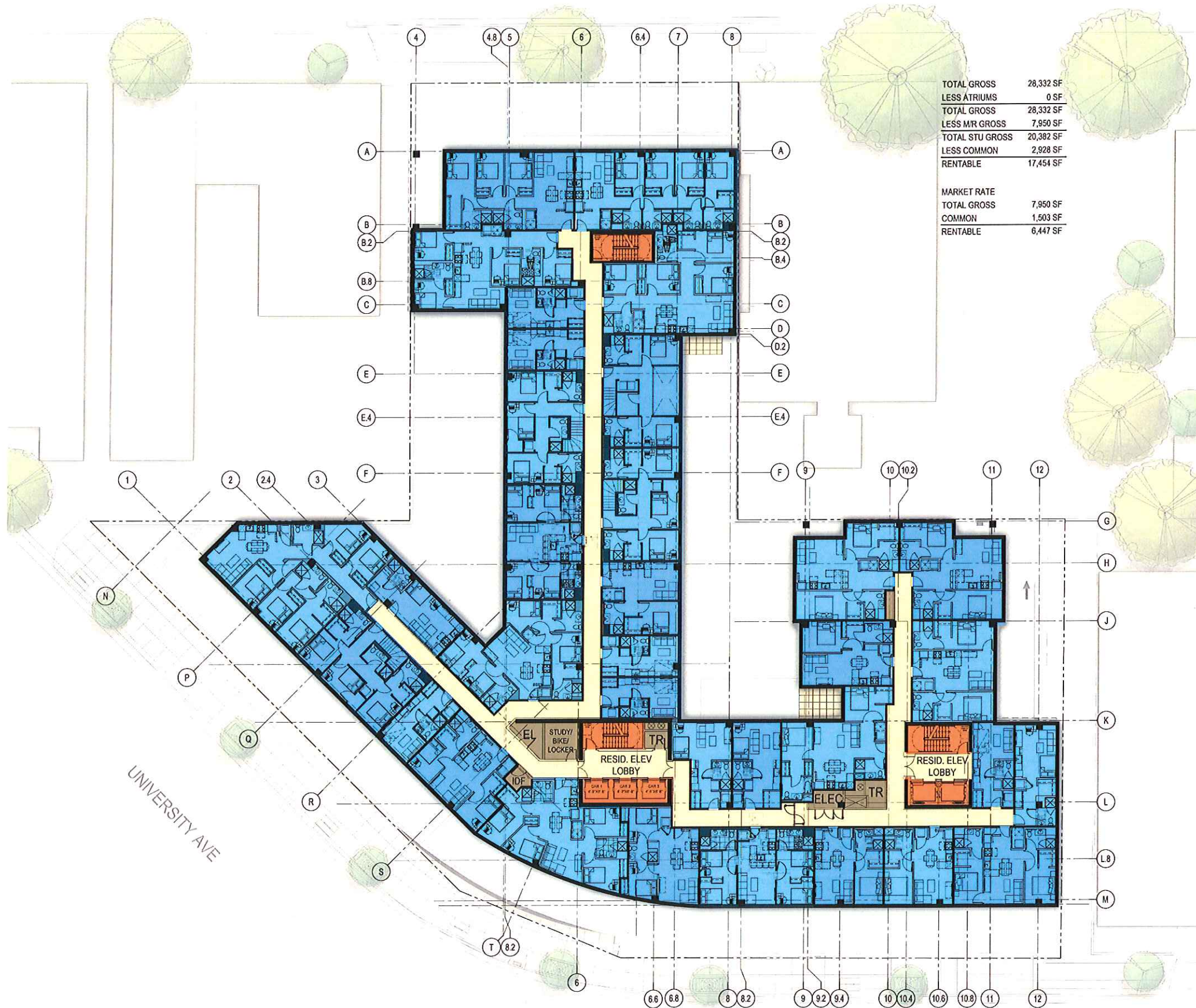


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10th Floor Plan

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11th Floor Plan

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