



# City of Madison

## Proposed Demolition & Conditional Use

Location  
1200-1212 East Washington Avenue

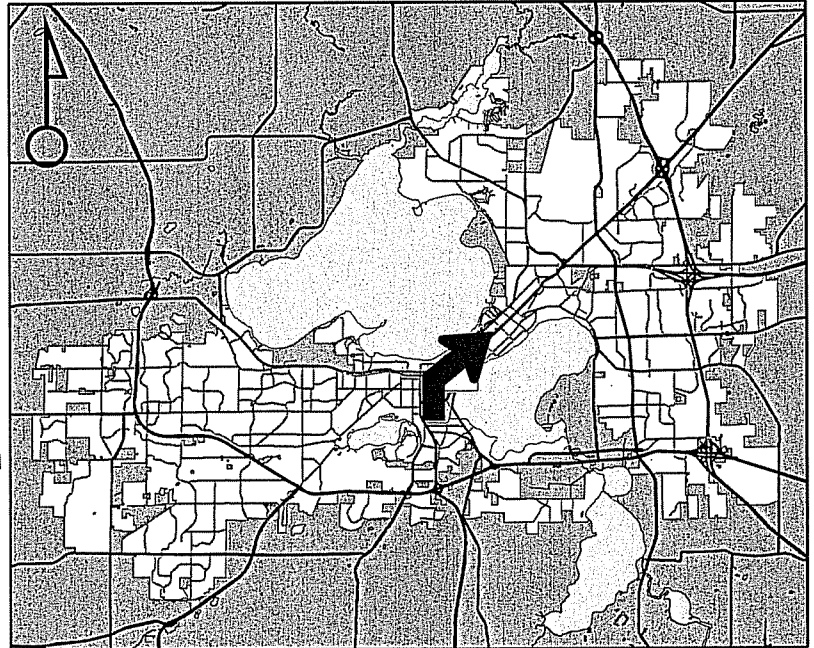
Project Name  
McGrath Mixed-Use

Applicant  
Lloyd Buchmeier & Ron Bambrough/  
Lance McGrath - McGrath Property Group

Existing Use  
3 commercial buildings

Proposed Use  
Demolish 3 commercial buildings to  
construct new mixed-use building with  
3,700 sq. ft. of commercial space and  
76 apartments

Public Hearing Date  
Plan Commission  
18 May 2015



For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 11 May 2015





## LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

### FOR OFFICE USE ONLY:

Amt. Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_  
Date Received \_\_\_\_\_  
Received By \_\_\_\_\_  
Parcel No. \_\_\_\_\_  
Aldermanic District \_\_\_\_\_  
Zoning District \_\_\_\_\_  
Special Requirements \_\_\_\_\_  
Review Required By:  
☐ Urban Design Commission ☐ Plan Commission  
☐ Common Council ☐ Other: \_\_\_\_\_

Form Effective: February 21, 2013

1. Project Address: 1200, 1208 & 1212 E. WASHINGTON AVE & 9-13 N. FEN ST.  
Project Title (if any): T.B.D.

2. This is an application for (Check all that apply to your Land Use Application):

- ☐ Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- ☐ Major Amendment to Approved PD-GDP Zoning ☐ Major Amendment to Approved PD-SIP Zoning
- ☐ Review of Alteration to Planned Development (By Plan Commission)
- ☒ Conditional Use, or Major Alteration to an Approved Conditional Use
- ☒ Demolition Permit
- ☐ Other Requests: \_\_\_\_\_

### 3. Applicant, Agent & Property Owner Information:

Applicant Name: LANCE McGRATH Company: McGRATH PROPERTY GROUP, LLC  
Street Address: 222 S. Bedford St. City/State: MADISON/WI Zip: 53703  
Telephone: (608) 345-3975 Fax: ( ) N/A Email: LANCE.mcgrath@mcgrathpropertygroup.com

Project Contact Person: SAME Company: \_\_\_\_\_  
Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: ( ) Fax: ( ) Email: \_\_\_\_\_

Property Owner (if not applicant): ① Lloyd Buchmeier Jr. & ② Ron Bambrough  
Street Address: ① W3830 MOORE RD City/State: ② 649 SPRUCE CIR. Zip: \_\_\_\_\_  
RIO, WI 53960 VERONA, WI 53593

### 4. Project Information:

Provide a brief description of the project and all proposed uses of the site: MIXED-USE REDEVELOPMENT  
WITH 76 RESIDENTIAL UNITS & APPROXIMATELY 3,700 SF OF COMMERCIAL  
Development Schedule: Commencement JUNE 2015 Completion MAY 2016

## 5. Required Submittal Information

All Land Use applications are required to include the following:

☒ **Project Plans including:**\*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

☒ **Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

☒ **Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

☒ **Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

☐ **Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

## 6. Applicant Declarations

☒ **Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

ALDER LEDELL ZELLERS & TLNA - PATTY PRIME & PATRICK HECK: 11/19/14

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

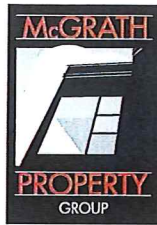
☒ **Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: TIM PARKS Date: 10/29/14 Zoning Staff: MATT TUCKER Date: 10/29/14

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant LANCE McGRATH Relationship to Property: CONTRACT OWNER  
Authorizing Signature of Property Owner (unclear) MGR Date 3/17/15





March 18, 2015

Katherine Cornwell  
City of Madison  
Department of Planning & Community & Economic Development  
115 Martin Luther King Jr. Blvd.  
Suite LL 100, Madison Municipal Building  
Madison, WI 53703

**RE: LETTER OF INTENT  
NEW MIXED USE DEVELOPMENT  
1200-1212 E. WASHINGTON AVE & 9-13 N. FEW ST  
MADISON, WI 53703**

Dear Ms. Cornwell,

The following is submitted together with the subdivision application, associated plans and documents for review by City Staff, the Urban Design Commission, and the Plan Commission for consideration of approval.

**PROJECT TEAM:**

Owner: McGrath Property Group, 222 S. Bedford St. Suite A, Madison, WI 53703  
Architect: JLA Architects & Planners, 2418 Crossroads Dr. Madison, WI 53718  
Civil Engineer/Landscape: Ayres Associates, 101 E. Badger Road, Madison, WI 53713  
Surveyor: Isthmus Surveying, 450 North Baldwin St, Madison, WI 53703

**PROJECT OVERVIEW:**

The proposed project consists of a 3-story wood frame building over one level of partially below grade parking. It will contain a total of 76 market rate apartments, providing a wide variety of living options with a diverse mix of residential units, ranging in size from a 440 SF studio up to a 1,445 SF 3-Bedroom. The parking level will include 76 parking stalls and several bike parking areas and a bike work room. The building will be approximately 73,065 SF on the three habitable levels.

The first floor frontage along E. Washington will include approximately 3,700 SF of commercial space broken up into a minimum of two distinct spaces, the residential entry lobby and a 600 SF professional quality fitness center for resident use. We hope to lease the commercial space to businesses that our residents and the neighborhood would consider an amenity.

Specific building areas and other pertinent information is provided in the attached plans. No public subsidy is being requested for this project.

## **SITE:**

The project is located on a 5-parcel assembly that totals 44,308 SF (1.02 Acres). The site has 207 FT of frontage along E. Washington Avenue and 224 FT of frontage along N. Few Street. All 5-parcels are currently zoned Commercial Corridor-Transitional (CC-T) and is in Urban Design District #8 (UDD #8). The site is located in the 2nd Aldermanic District and sits within the confines of the Tenney-Lapham Neighborhood Association.

There are currently three one-story buildings on site that will be demolished prior to construction. A former gas station sits on 1200 E. Washington, a small metal building at 1208 E. Washington and a metal quonset hut building at 1212 E. Washington. The remainder of the site is predominantly asphalt parking lot. There are also two billboards on the 1212 E. Washington parcel - both billboard leases terminate at the end of April 2015 and are not being renewed. Photographs of the existing buildings are attached (Exhibit A).

There is existing soil and groundwater contamination on the 1200 E. Washington Avenue parcel from it's original gas station use. The gas station ceased operation in 1966. We will be working with the WDNR to remediate the site as part of this project. We will likely request a demolition permit in advance of obtaining a construction permit for the proposed project in order to allow us to begin the remediation work.

## **NEIGHBORHOOD INPUT:**

The project is located in the Tenney-Lapham Neighborhood Association (TLNA). City staff, the Alder and the Neighborhood Association Chairperson were notified in writing of this project several months ago. A public notice meeting was held in December of 2014 and a steering committee was formed. The development team has met and shared information with this committee several times and will continue to meet on an as-needed basis as the final details of the project are worked thru. In March of 2015 the TLNA Council voted ***Unanimously to Support*** the proposed project (with some concerns).

## **ARCHITECTURE:**

The building is designed with a "Modern Warehouse" aesthetic - meant to relate to the manufacturing history of the area and the older industrial buildings on the other side of E. Washington Avenue. It will be built with a very high quality exterior, primarily consisting of masonry with some cement fiber siding and very large window openings. The building wraps around the perimeter of the parking structure creating a landscaped courtyard area in the middle - over the below grade parking level. The parking level is accessed from N. Few Street. The landscaping, building exterior and the set-backs of the building have been designed to comply with the vision and the requirements of UDD #8.

## **REFUSE & RECYCLING:**

Garbage and recycling containers serving the building will be located in an enclosed room in the lower parking level at the end of the access driveway. A private collection service will be used and their vehicles will pull into the driveway and temporarily park while the roll out containers are loaded for collection.

**GREEN FEATURES:**

We will be working with Focus on Energy to make the building as energy efficient as possible. We anticipate using energy efficient light fixtures, energy star appliances, high efficiency forced air furnaces and air conditioners, low flow plumbing fixtures, and Low-E glass on the windows. Common mechanicals will also be high efficiency.

We also intend to install photovoltaic solar panels on the roof - if our budget allows for it. We are working with a local installer who has applied for a Focus on Energy Grant to help subsidize the significant initial cost of the solar installation.

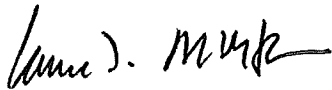
We will install a minimum of two electric car charging stations in the parking level and will have the ability to add more in the future if needed.

**PROJECT SCHEDULE:**

March 18, 2015:	Formal Application
May 6, 2015:	Urban Design Commission
May 18, 2015:	Plan Commission
June 1, 2015:	Start Demolition/Construction
May 1, 2016:	Certificate of Occupancy

Please feel free to contact me if additional information is needed.

Sincerely,



Lance T. McGrath, P.E.  
Owner - McGrath Property Group, LLC

**Exhibit A**  
**McGrath Property Group**  
**1200-1212 E. Washington Demolition**



1200 E. Wash (Front)



1200 E. Wash (Side from Few St.)



1208 E. Wash (Front)



1208 E. Wash (Rear)



1212 E. Wash (Front)



1212 E. Wash (Side from Few St.)



1212 E. Wash Interior

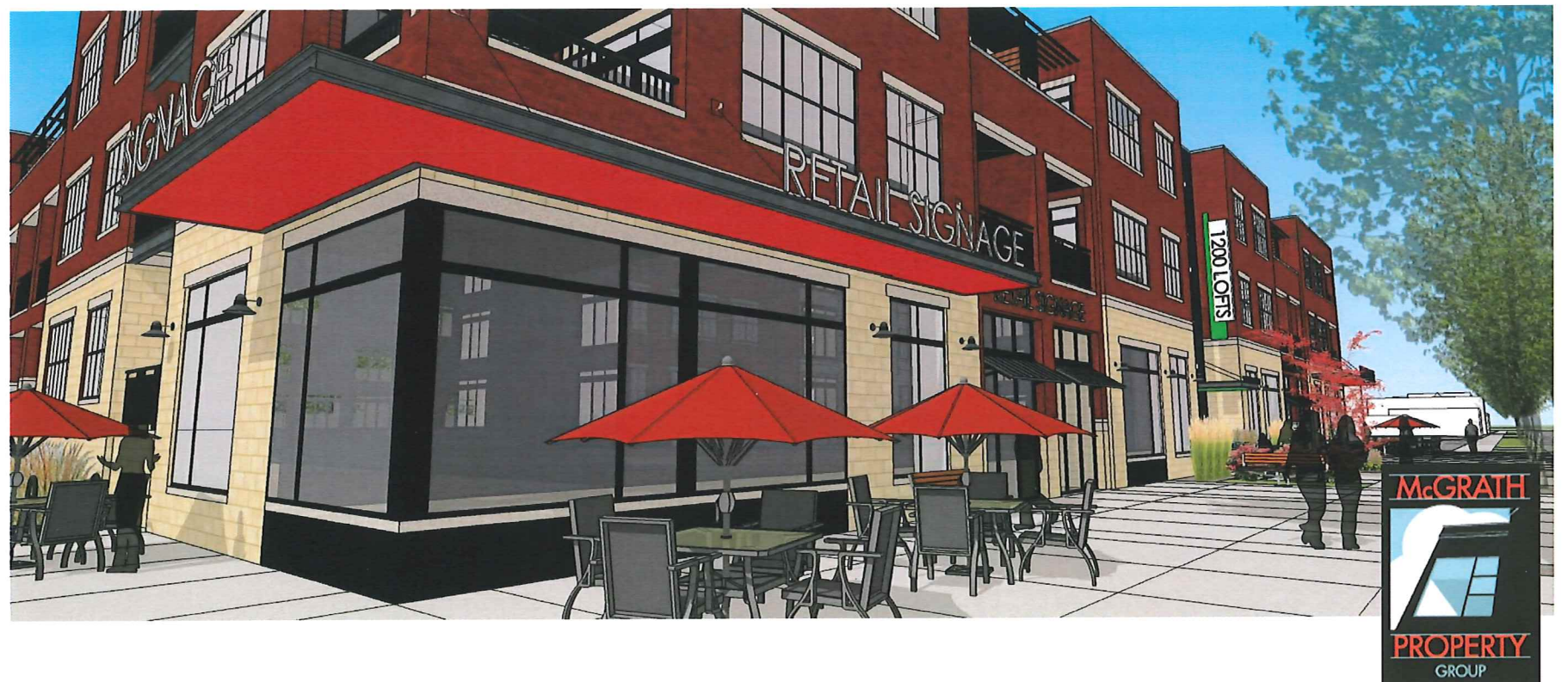


1212 E. Wash Interior



1200 LOFTS  
(WORKING NAME)

1200 EAST WASHINGTON AVENUE  
MADISON, WISCONSIN



CONDITIONAL USE & UDC SUBMITTAL

JLA PROJECT NUMBER: 14-1010-01

MARCH 18, 2015



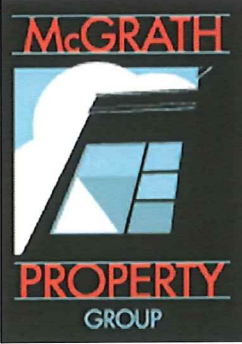


**JLA**  
ARCHITECTS & PLANNERS

JOSEPH LEE & ASSOCIATES  
2418 CROSSROADS DRIVE - SUITE 2100  
MADISON, WISCONSIN 53718  
608.241.9500

JLA PROJECT NUMBER: 14-1010-01

**McGRATH PROPERTY GROUP**



**AYRES ASSOCIATES**

101 East Bodger Road  
Madison, WI 53713  
Ph. 608.255.0800  
Fx. 608.255.7750  
www.aayres-madison.com  
AYRES # 27-0169.00

PLAN COMMISSION SUBMITTAL

1200 LOFTS

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 17, 2015

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

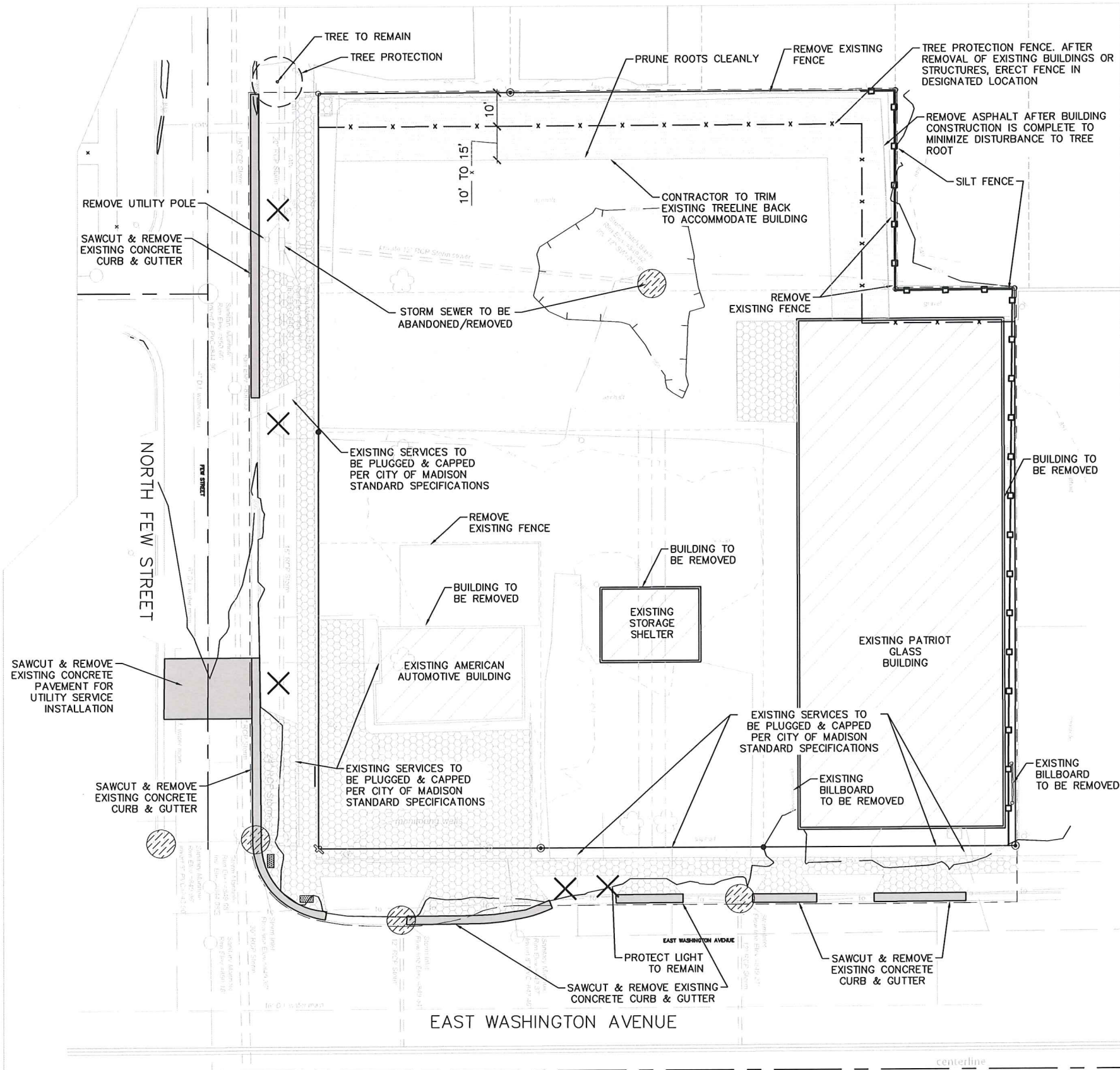
Existing Conditions Plan

SHEET NUMBER

C100

PREPARED FOR:  
McGRATH PROPERTY GROUP LLC  
222 S. BEDFORD, SUITE A  
MADISON, WI 53703  
PREPARED BY:  
ISTHMUS SURVEYING, LLC  
450 NORTH BALDWIN STREET  
MADISON, WI 53703  
(608) 244.1090  
www.isthmussurveying.com





EROSION NOTES:

- A. THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBED AREA AND UTILIZE EXISTING ASPHALT PAVEMENT TO PREVENT TRACKING ONTO FEW STREET.
- B. DOWNSTREAM INLETS IN AND ADJACENT TO THE SITE SHALL HAVE TYPE D INLET PROTECTION ON EXISTING AND PROPOSED INLETS ONCE THEY ARE CONSTRUCTED.
- C. SUGGESTED LOCATIONS FOR INSTALLATION OF EROSION CONTROL ITEMS ARE SHOWN IN THE PLANS. FINAL LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. EROSION CONTROL ITEMS SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL ITEMS SHALL BE MAINTAINED UNTIL SUCH TIME THAT THE ENGINEER DEEMS THE DEVICES NO LONGER NECESSARY.
- D. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS OF LAWN SHALL BE PATCHED WITH SEED FERTILIZER AND MULCH/MAT.
- E. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SOIL STABILIZER TYPE B IF THERE IS A DELAY OF MORE THAN 7 CALENDAR DAYS BETWEEN INITIAL GRADING AND FINAL TOPSOIL AND SEEDING. SOIL STABILIZER APPLICATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- F. ALL DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE, OR RE-DISTURBANCE. THE CONTRACTOR SHALL USE EROSION MATTING ON ALL SLOPES STEEPER THAN 5:1 (20%).
- G. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- H. A TRACKING MAT WILL NOT BE REQUIRED DUE TO THE LIMITED NATURE OF DISTURBANCE FOR THIS BUILDING. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.
- I. CONSTRUCTION ACCESS TO THE SITE WILL ONLY BE FROM THE WESTERNMOST ENTRY. CONTRACTOR SHALL ENSURE THAT ACCESS TO THE SITE AND FEW STREET ARE CLEANED UP FROM DIRT AND TRACKED MUD AT THE END OF EACH DAY.
- J. BORROW MATERIAL FOR SLOPE CONSTRUCTION NEED NOT BE STRUCTURAL FILL, BUT MUST BE REASONABLY FREE OF BOULDERS OR DEBRIS TO ALLOW EASE OF PLACEMENT.
- K. BECAUSE OF THE SIGNIFICANT EXCAVATION BELOW THE SURFACE FOR UNDERGROUND PARKING, THE CONTRACTOR WILL NEED TO PUMP STORM WATER FROM THE EXCAVATION. THE CONTRACTOR WILL USE APPROPRIATELY SIZED SEDIMENT BAGS FOR ANY TRENCH WATER DISCHARGE.

ANTICIPATED CONSTRUCTION SCHEDULE:

- 1. INSTALL INLET PROTECTION AS DETAILED ON THE PLAN.
  - 2. REMOVE EXISTING ITEMS AS DETAILED IN THE DEMOLITION PLAN.
  - 3. CONSTRUCT BUILDING AND UTILITIES AS PRESCRIBED IN THE PLAN. CONTRACTOR SHALL INSTALL PHASE 1 STORM SEWER AS SOON AS POSSIBLE TO PROVIDE DRAINAGE FOR LOW SPOT ON THE NORTH PROPERTY LINE ONCE THE EXISTING 24" STORM SEWER HAS BEEN CUT OFF DUE TO FOUNDATION CONSTRUCTION.
  - 4. GRADE AREA IMMEDIATELY ADJACENT TO THE NEW BUILDING FOR PAVEMENT AND CURB CONSTRUCTION.
  - 5. CONSTRUCT PAVEMENT, CURB & SIDEWALK.
  - 6. RESTORE DISTURBED AREAS WITH TEMPORARY SEEDING IN CENTER OF PARCEL. FINAL RESTORATION MAY BE COMPLETED ALONG WEST AND NORTHWEST PROPERTY LINES.
  - 7. TOPSOIL, SEED AND MULCH/EROSION MAT ALL DISTURBED AREAS.
  - 8. INSTALL LANDSCAPING PLANTS.
  - 9. REMOVE EROSION CONTROL ITEMS.
- AFTER SEPTEMBER 15TH, A COOL WEATHER SEEDING COVER CROP MUST BE APPLIED (I.E. OATS)
- AFTER OCTOBER 15TH, A DORMANT SEEDING COVER CROP MUST BE APPLIED (I.E. WINTER WHEAT)
- AFTER NOVEMBER 15TH, A DORMANT SEEDING MUST BE APPLIED WITH AN ACCEPTABLE SOIL STABILIZER. (POLYACRYLAMIDE)

LEGEND

PROPERTY LINE	---
PROJECT LIMITS	---
REMOVE ASPHALT - PHASE 1	---
REMOVE ASPHALT - PHASE 2	---
REMOVE CONCRETE	---
REMOVE EXISTING BUILDING	---
REMOVE TREE	X
ELECTRICAL SERVICE	-E-
SANITARY SEWER	-SAN-
TELEPHONE	-T-
WATER MAIN	-W-
CONTOUR - MINOR (1')	929
CONTOUR - MAJOR (5')	925
SILT FENCE	---
TYPE D INLET PROTECTION	---

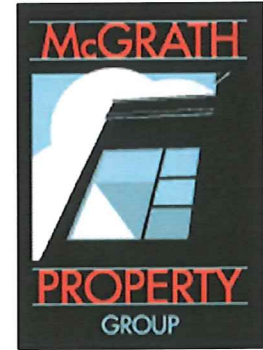
**DIGGERS HOTLINE**  
Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com



JOSEPH LEE & ASSOCIATES  
2415 CROSSROADS DRIVE - SUITE 2100  
MADISON, WISCONSIN 53718  
608.241.9500

JLA PROJECT NUMBER: 14-1010-01

McGRATH PROPERTY GROUP



AYRES ASSOCIATES

101 East Badger Road  
Madison, WI 53713  
Ph. 608.255.0800  
Fx. 608.255.7750  
www.aa-madison.com  
AYRES # 27-0169.00

PLAN COMMISSION SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 17, 2015

REVISION SCHEDULE		
Mark	Description	Date

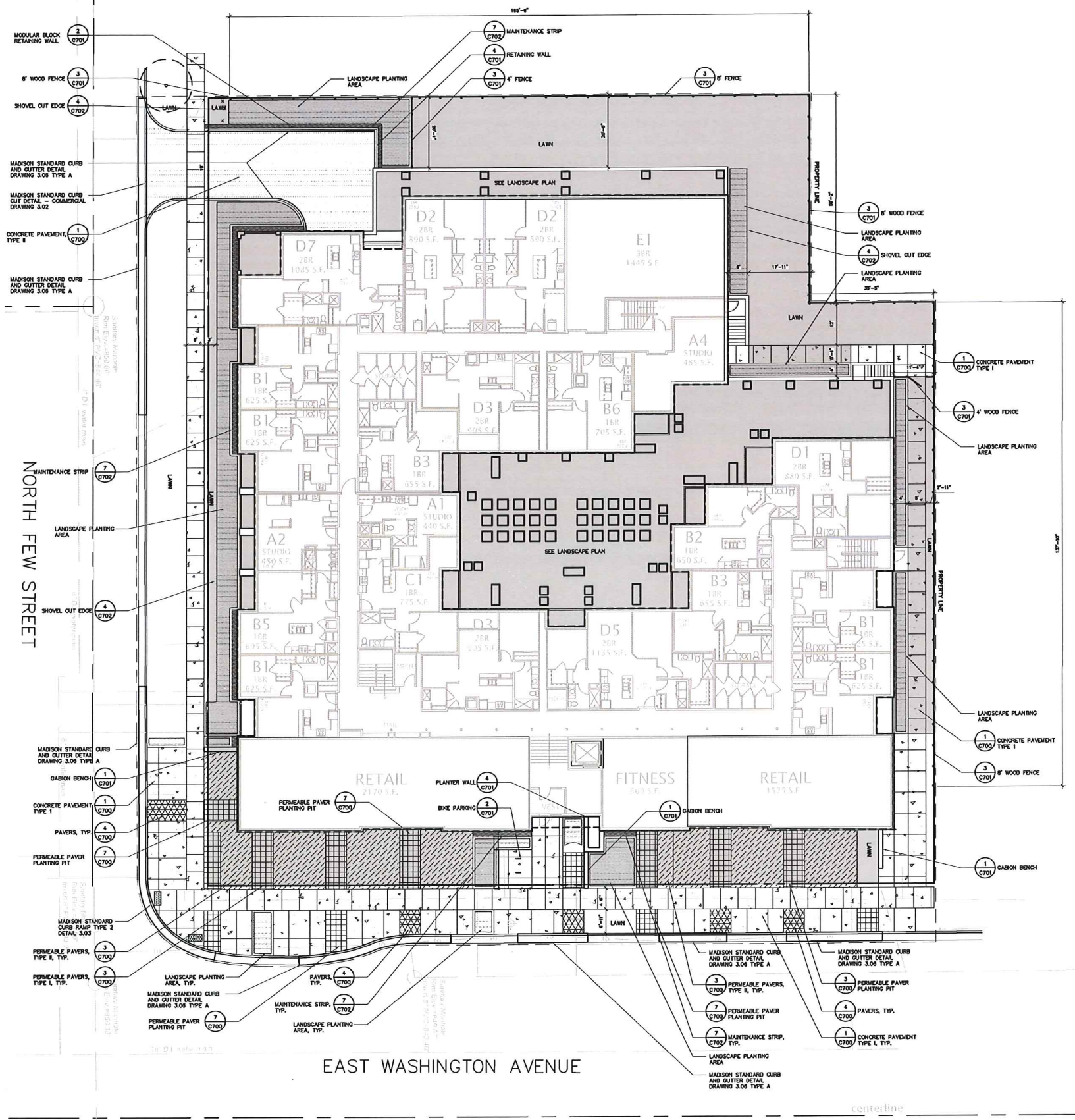
SHEET TITLE

Demolition & Erosion Control Plan

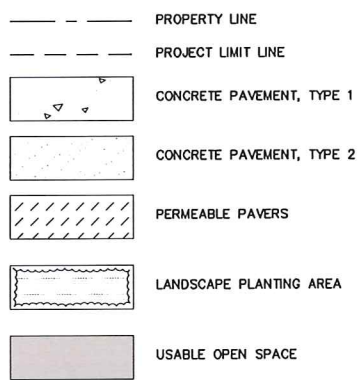
SHEET NUMBER

C200





- NOTES:
1. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
  2. CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES.
  3. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.
  4. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN EPOXY.
  5. MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS SHALL BE 1:20; CROSS SLOPES SHALL BE 2% OR LESS.
  6. ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
  7. BIKE STALLS SHALL BE IN ACCORDANCE WITH CITY OF MADISON GENERAL ORDINANCE 28.11.
  8. ARCHITECTURAL DETAIL PROVIDED FOR INFORMATION PURPOSES ONLY.

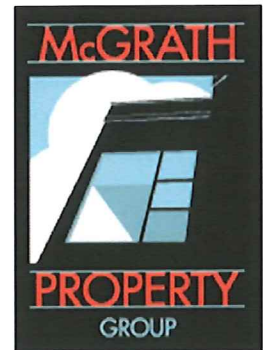


<b>SITE STATISTICS</b>	
SITE AREA	44,380sf
<b>USABLE OPEN SPACE REQUIREMENTS</b>	
SITE DWELLINGS	
1-BEDROOM	50 (160sf per unit)
>1-BEDROOM	26 (320sf per unit)
REQUIRED USABLE OPENS SPACE	16,320 SF
<b>PROPOSED USABLE OPEN SPACE</b>	
LANDSCAPE AREAS	8,176SF
PERVIOUS PAVEMENT	2,394SF
GREENROOF/BALCONY(INCLUDING ALL LEVELS)	5,979SF
TOTAL	16,549 SF

**JLA**  
ARCHITECTS & PLANNERS

JOSEPH LEE & ASSOCIATES  
2425 CROSSROADS DRIVE SUITE 200  
MADISON, WISCONSIN 53718  
608.241.9500  
JLA PROJECT NUMBER: 14-1010-01

**McGRATH PROPERTY GROUP**



**AYRES ASSOCIATES**

101 East Badger Road  
Madison, WI 53713  
Ph. 608.255.0800  
Fx. 608.255.7750  
www.saa-madison.com  
AYRES # 27-0169.00

PLAN COMMISSION SUBMITTAL

**1200 LOFTS**

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 17, 2015

REVISION SCHEDULE		
Mark	Description	Date

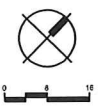
SHEET TITLE

Site Plan

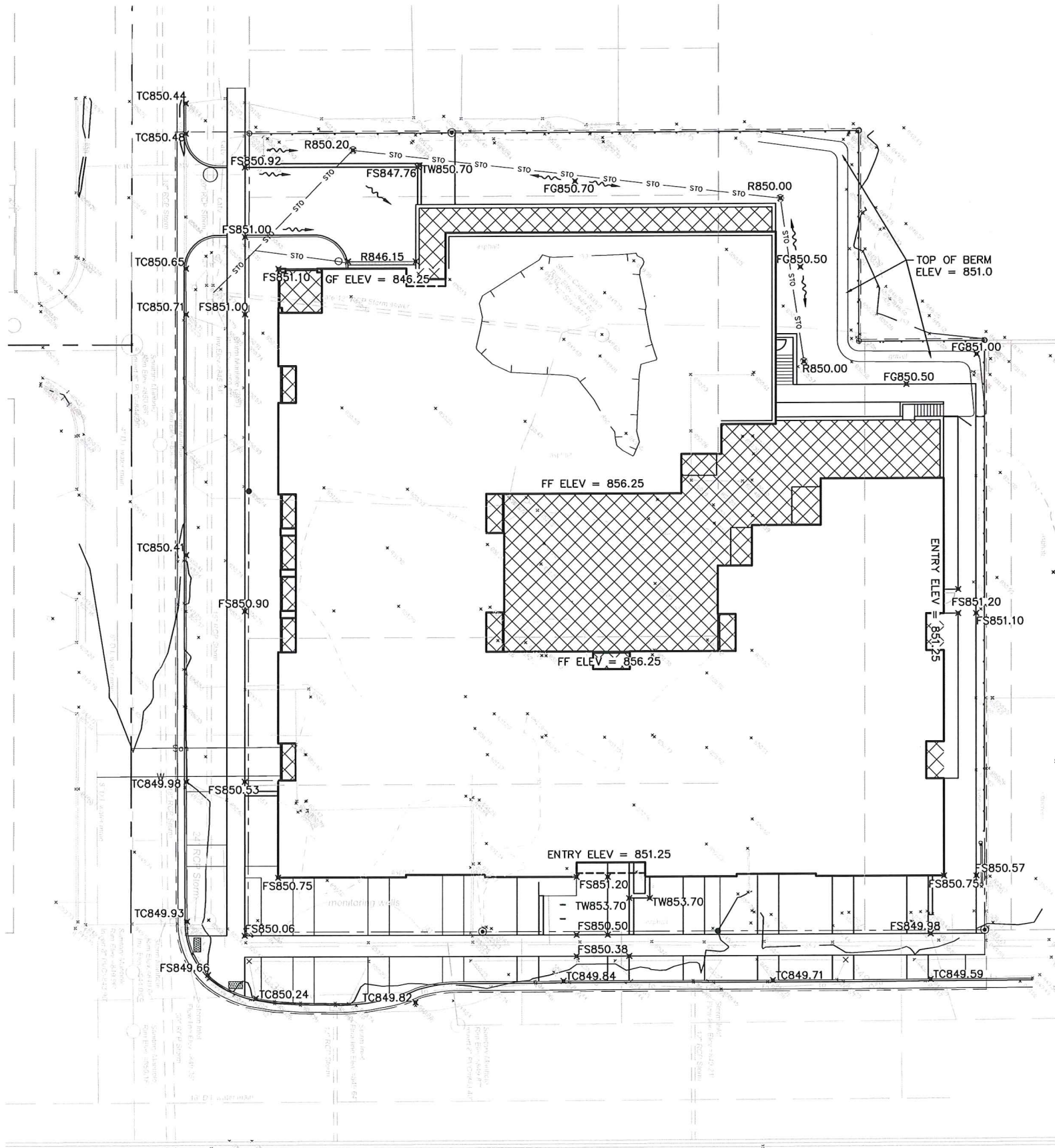
SHEET NUMBER

**C300**

**DIGGERS HOTLINE**  
Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com







GRADING & EROSION CONTROL GENERAL NOTES:

1. CONTRACTOR SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE TECHNICAL STANDARDS AND THE WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LISTS (PAL).
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE BUT NOT LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY. WRITTEN REPORTS WILL BE KEPT OF ALL EROSION AND SEDIMENT CONTROL INSPECTIONS AS REQUIRED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR).
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SILT FENCE SHALL BE INSTALLED PER DETAILS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL THE SITE IS PERMANENTLY STABILIZED. SITE STABILIZATION INVOLVING SEEDING WHICH IS NOT COMPLETED PRIOR TO SEPTEMBER 15 SHALL BE COMPLETED WITH DORMANT SEEDING BY NOVEMBER 1.
6. EROSION CONTROL MEASURES MUST BE IN PLACE AT THE END OF EACH WORK DAY.
7. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
8. WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE BEEN TEMPORARILY SUSPENDED FOR MORE THAN FOURTEEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION SHALL BE IMPLEMENTED WITHIN SEVEN DAYS. TEMPORARY STABILIZATION PRACTICES SUCH AS MULCH/TACKIFIER, EROSION MAT, OR WISDOT TYPE B SOIL STABILIZER SHALL BE APPLIED TO THE SOIL SURFACE WHEN THE SITE IS NOT READY FOR PERMANENT RESTORATION. WHEN STABILIZATION IS NOT POSSIBLE DUE TO SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE.
9. ALL EXCESS MATERIAL SHALL BE STOCKPILED AT LOCATIONS APPROVED BY THE CITY/DEVELOPER PRIOR TO PLACEMENT OF ANY MATERIAL. STOCKPILES SHALL BE ENCLOSED WITH SILT FENCE UNTIL TEMPORARY OR PERMANENT VEGETATIVE COVER IS ESTABLISHED.
10. DUST CONTROL SHALL BE IMPLEMENTED THROUGHOUT CONSTRUCTION AND SHALL UTILIZE THE METHODS OUTLINED IN WDNR TECH STD. 106B.
11. THE REMOVAL OF VEGETATIVE COVER AND EXPOSURE OF THE BARE GROUND MUST BE RESTRICTED TO THE MINIMUM AMOUNT NECESSARY FOR CONSTRUCTION. AREAS WHERE SOIL IS EXPOSED MUST BE PROTECTED FROM EROSION BY SEEDING AND MULCHING, SODDING, DIVERSION OF SURFACE RUNOFF, INSTALLATION OF STRAW BALES OR SILT SCREENS, CONSTRUCTION OF SETTLING BASINS, OR SIMILAR METHODS AS SOON AS POSSIBLE AFTER REMOVAL OF THE ORIGINAL GROUND COVER AS DESCRIBED IN THE WISCONSIN DNR TECHNICAL STANDARDS. ANY STOCKPILE THAT REMAINS OVER 7 DAYS MUST BE STABILIZED WITH MIXTURE NO. 20 FROM THE WISDOT SECTION 630.
12. STORM WATER AND GROUND WATER PUMPED FROM EXCAVATIONS AND/OR DEWATERING WELLS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE WISCONSIN STATUTES. SEDIMENT BASINS, SEDIMENT TRAPS AND/OR THE USE OF POLYMERS TO CONTROL SEDIMENT SHALL BE UTILIZED AND MEET THE REQUIREMENTS OF THE WISCONSIN WDNR TECHNICAL STANDARDS.
13. EROSION MAT SHALL CONSIST ENTIRELY OF BIODEGRADABLE COMPONENTS.
14. AFTER THE SITE IS UNIFORMLY STABILIZED ACROSS 80% OF THE SITE AREA, OR PRIOR TO, AT THE DIRECTION OF THE DEVELOPER'S REPRESENTATIVE, ALL TEMPORARY EROSION CONTROL MEASURES MUST BE REMOVED AND DISPOSED OF PROPERLY. THE CONTRACTOR SHALL MAKE ALL REPAIRS OF LAWNS AND LANDSCAPED AREAS FOLLOWING THE REMOVAL OF SILT FENCES AND STAKES.
15. THIS PLAN SHOWS NEW CONTOURS AND FINISHED GRADES. FOR ROUGH GRADES OF ALL PAVEMENT AREAS, SUBTRACT THICKNESS OF PAVEMENT AND BASE COURSE SPECIFIED.
16. EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON SURVEY INFORMATION FROM THE WDNR. ALL UNDERGROUND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND DEPTH.
17. ALL DIMENSIONS SHOWN ARE TO DECIMAL FEET AND MEASURED TO EDGE OF PAVEMENT, UNLESS SPECIFIED OTHERWISE. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE.
18. REFER TO THE CONSTRUCTION DETAILS FOR MORE INFORMATION.

NOTES:

1. CLASS I TYPE A EROSION MAT REQUIRED ON ALL 4:1 OR STEEPER SLOPES, TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
2. ALL IMPORTED GRANULAR FILL FOR USE UNDER ROADWAYS, SIDEWALKS OR STRUCTURES SHALL BE FREE OF ANY ORGANIC MATERIAL OR LARGE STONES. OTHER FILL IMPORTED FOR AREAS NOT UNDER PAVED OR GRAVELED AREAS SHALL BE REASONABLY FREE OF DEBRIS, ROOTS AND STONES LARGER THAN 6".
3. GRADING TOLERANCES:  
FINISH GROUND =  $\pm 0.10'$   
SUBGRADE =  $\pm 0.10'$   
GRAVEL GRADE =  $\pm 0.05'$   
CONCRETE/ASPHALT =  $\pm 0.03'$   
BERMS =  $+0.00' - 0.25'$

LEGEND

PROPERTY LINE

PROJECT LIMITS

EXISTING BUILDING

ELECTRICAL SERVICE

SANITARY SEWER

TELEPHONE

WATER MAIN

CONTOUR - MINOR (1')

CONTOUR - MAJOR (5')

FIELD INLET

SPOT ELEVATION ABBREVIATIONS:

- P = PROPOSED ASPHALT  
EW = EXISTING WALK  
EG = EXISTING GRADE  
EC = EXISTING CONCRETE  
FS = FINISHED SURFACE  
FG = FINISHED GRADE  
TW = TOP OF WALL  
BW = BOTTOM OF WALL  
TC = TOP OF CURB  
TR = TOP OF ROCK  
TS = TOP OF SLOPE  
BS = BOTTOM OF SLOPE  
IE = INVERT ELEVATION  
R = RIM  
FLG = FLANGE OF CURB



Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

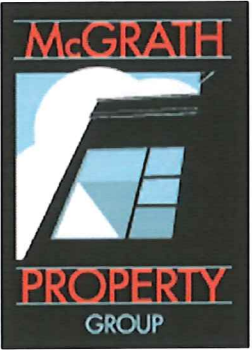


JLA  
ARCHITECTS PLANNERS

JOSEPH LEE & ASSOCIATES  
2418 CROSSROADS DRIVE-SUITE 2400  
MADISON, WISCONSIN 53718  
608.241.9500

JLA PROJECT NUMBER: 14-1010-01

McGRATH PROPERTY GROUP



AYRES ASSOCIATES

101 East Badger Road  
Madison, WI 53713  
Ph. 608.255.0800  
Fx. 608.255.7750  
www.saa-madison.com  
AYRES # 27-0169.00

PLAN COMMISSION SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 17, 2015

REVISION SCHEDULE

Mark Description Date

SHEET TITLE

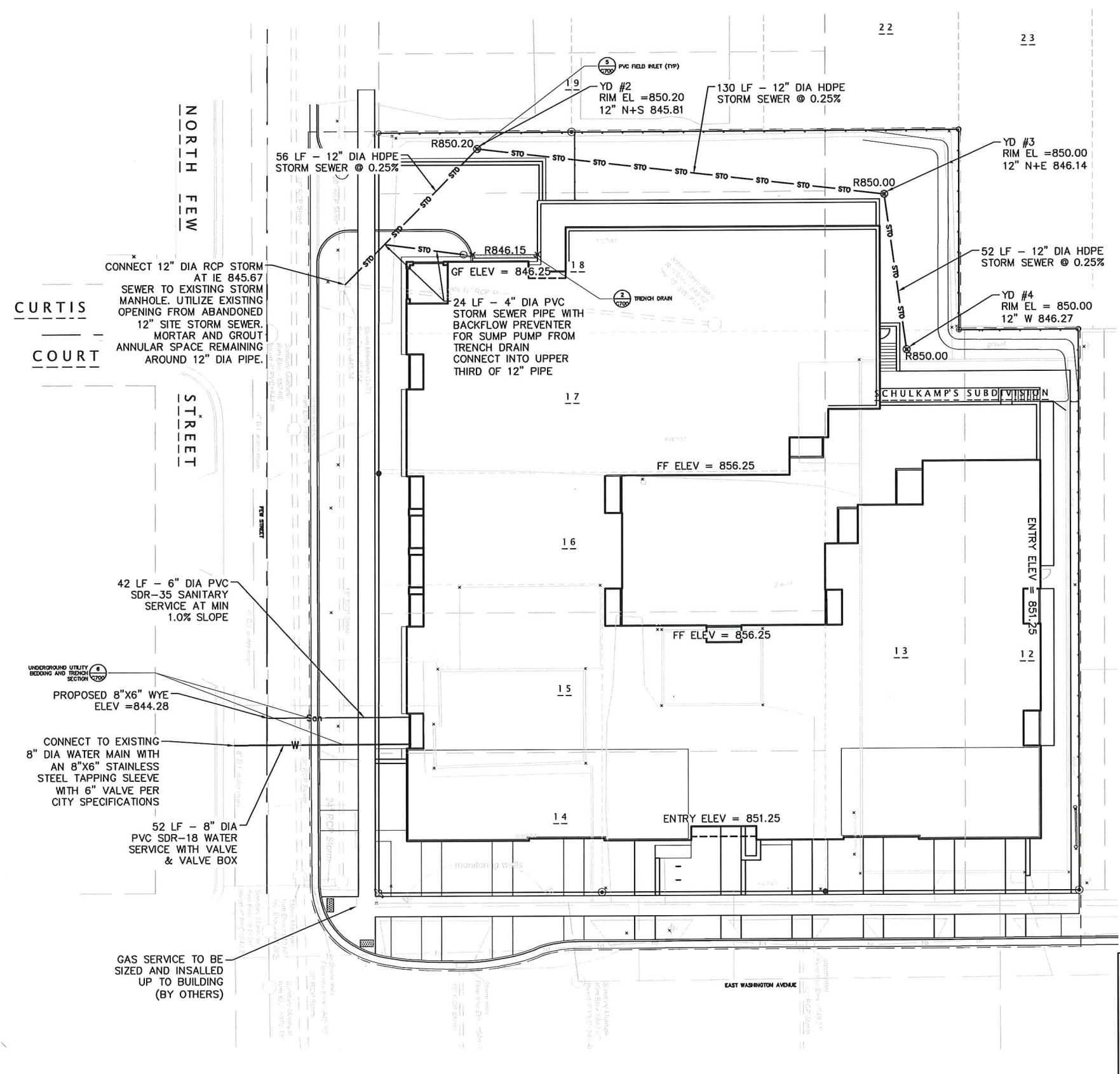
Grading & Drainage Plan

SHEET NUMBER

C400



NORTH  
FEW  
CURTIS  
COURT  
STREET



UTILITY NOTES:

THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

THE CONTRACTOR IS TO FIELD VERIFY EXISTING TREE ROOT PRESENCE PRIOR TO TRENCHING AND INSTALLATION OF PROPOSED STORM SEWER LINES; FIELD ADJUST LINE LOCATIONS TO MINIMIZE ROOT DAMAGE.

THE CONTRACTOR SHALL VERIFY THE INVERTS OF EXISTING STRUCTURES PRIOR TO EXCAVATION AND SHALL NOTIFY THE ENGINEER IF ELEVATIONS ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN ON THE PLAN.

STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:

—"STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" (WSWS) LATEST EDITION

—CONTRACTOR SHALL OBTAIN A CURRENT COPY OF THE CITY OF MADISON'S STANDARD SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS..

WITHIN THE RIGHT-OF-WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS, GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SPOIL FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6" IN DIAMETER.

A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED PER CITY OF MADISON STANDARDS

WATER DISTRIBUTION SYSTEM:

MAIN:

—DUCTILE IRON (D.I.) AWWA C-151 CLASS 52 WITH CABLE BOND CONDUCTORS, FURNISHED AND INSTALLED PER CHAPTER 8.180 (WSWS) OR

—POLYVINYL CHLORIDE (PVC) AWWA C-900, FURNISHED AND INSTALLED PER CHAPTER 8.20.0 (WSWS)

—ALL WATER MAIN JOINTS SHALL BE RESTRAINED.

LATERALS:

—6" - PVC AWWA, C-900, CL150, SDR 18 OR DUCTILE IRON AWWA C-151, CLASS-52

—2" & SMALLER - HIGH DENSITY POLYETHYLENE (HDPE) AWWA C-901, SDR 11

—WATER LATERAL AND HYDRANT TEES SHALL BE ANCHORED.

—VALVES & VALVE BOXES SHALL BE PER CITY OF MADISON STANDARD SPECIFICATIONS

SANITARY SEWER

MAIN:

—8" & 12"- POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR-35 (BURY DEPTH 16" OR LESS)

—8" & 12"- POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR-26 (BURY DEPTH 22" TO 16")

—WHERE LARGER 10" SANITARY SEWER IS REPLACING EXISTING 6" SEWER, CONTRACTOR SHALL REMOVE THE BENCH OF THE EXISTING MANHOLE AND OBTAIN THE LOWEST INVERT ELEVATIONS POSSIBLE FOR THE ENTIRE RUN.

STORM SEWER:

—STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS:

12" DIA - CLASS V RCP  
15" DIA - CLASS IV RCP  
18+" DIA - CLASS III RCP

—STORM SEWER SPECIFIED AS HDPE SHALL BE CORRUGATED HDPE, SMOOTH INTERIOR.

—STORM SEWER PIPE: REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C-76. POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350. AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION. JOINTS FOR RCP SHALL CONFORM TO ASTM D-471. JOINTS FOR HDPE SHALL CONFORM TO ASTM F-477.

—ALL PERFORATED DRAIN TILE SHALL BE PLASTIC WITHOUT A FILTER SOCK.

—AT EACH POINT WHERE A STORM SEWER "DAYLIGHTS", A MARKER POST EQUIVALENT TO THOSE SPECIFIED BY WISDOT, SHALL BE INSTALLED AT THE END TO MARK THE LOCATION.

LEGEND	
PROPERTY LINE	---
PROJECT LIMITS	---
EXISTING BUILDING	▨
ELECTRICAL SERVICE	—E—
SANITARY SEWER	—SAN—
TELEPHONE	—T—
WATER MAIN	—W—
CONTOUR - MINOR (1')	—929—
CONTOUR - MAJOR (5')	—925—
FIELD INLET	⊗

**DIGGERS HOTLINE**  
Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

**JLA**  
ARCHITECTS + PLANNERS  
JOSEPH LEE & ASSOCIATES  
2418 CROSSROADS DRIVE - SUITE 2500  
MADISON, WISCONSIN 53718  
608.241.9560  
JLA PROJECT NUMBER: 14-1010-01

**McGRATH PROPERTY GROUP**  
  
**AYRES ASSOCIATES**  
101 East Bodger Road  
Madison, WI 53713  
Ph. 608.255.0800  
Fx. 608.255.7750  
www.saa-madison.com  
AYRES # 27-0169.00

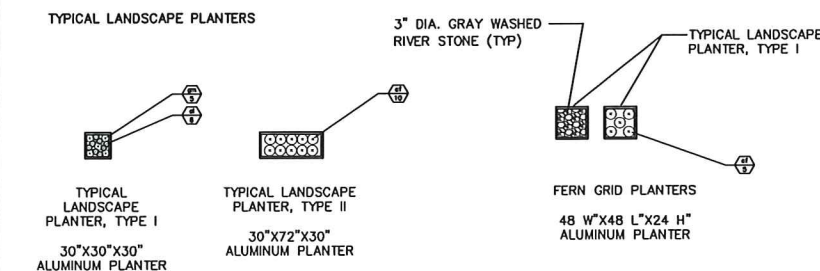
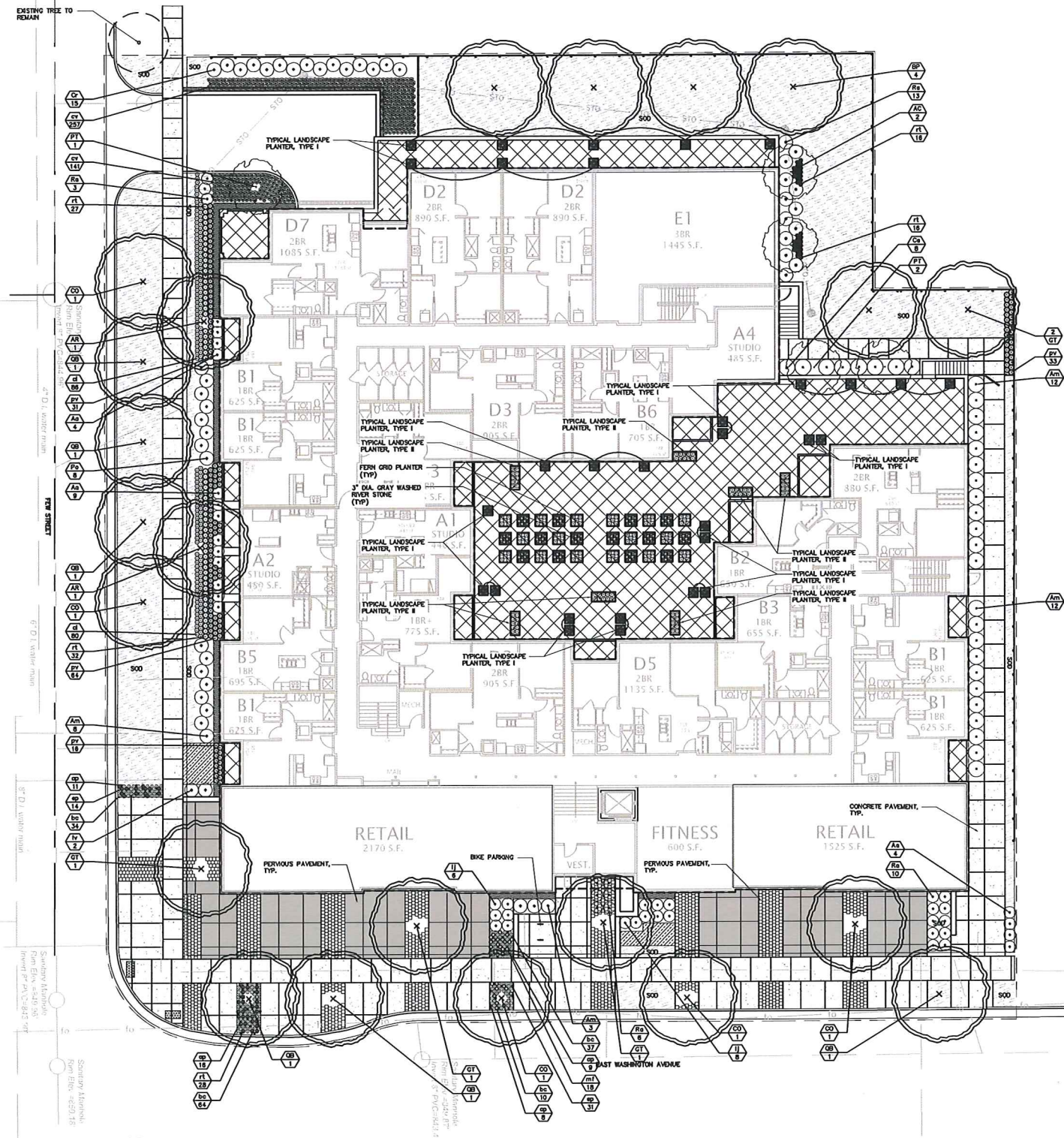
PLAN COMMISSION SUBMITTAL

1200 LOFTS

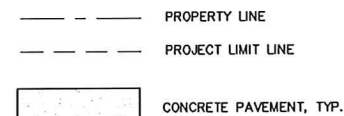
**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE		MARCH 17, 2015
REVISION SCHEDULE		
Mark	Description	Date
SHEET TITLE		
Utility Plan		
SHEET NUMBER		
C500		





Symbol	Botanical name	Common Name	Size	Root	Quantity	Spacing
TREES						
AC	Amelanchier canadensis	Shadblow Serviceberry	#10	Cont.	2	na
AR	Acer rubrum	Red Maple	2-1/2"	B&B	2	na
BP	Betula papyrifera	Paper Birch	1-1/2"	B&B	4	na
CO	Celtis occidentalis	Common Hackberry	2-1/2"	B&B	5	na
GT	Gleditsia tricanthos	Skyline Honeylocust "Skycote"	2-1/2"	B&B	5	na
PT	Populus tremuloides	Quaking Aspen	2-1/2"	B&B	3	na
QB	Quercus bicolor	Swamp White Oak	2-1/2"	B&B	6	na
SHRUB						
Am	Aronia melanocarpa	Black Chokeberry	#3	Cont.	34	3'-6"
Aa	Aronia arbutifolia	Upright Red Chokeberry	#3	Cont.	17	3'
Ca	Ceanothus americanus	New Jersey Tea	#3	Cont.	8	3'
Cr	Cornus racemosa	Gray Dogwood	#3	Cont.	15	3'
IJ	Ilex verticillata 'Jim Dandy'	Winterberry 'Jim Dandy'	#3	Cont.	14	4'
Iv	Ilex verticillata	Winterberry	#3	Cont.	2	4'
Po	Physocarpus opulifolius	Ninebark "Little Devil"	#3	Cont.	8	4'
Ra	Rhus aromatica	Gro-Low Sumac	#3	Cont.	32	4'
Vi	Viburnum lentago	Nannyberry Viburnum	#5	Cont.	1	4'
PERENNIAL						
af	Athyrium filixfemina	Lady Fern	1 Gal	Cont.	160	As Shown
al	Allium cernuum	Nodding Onion	Quart	Cont.	280	As Shown
ap	Anemone patens	Pasque Flower	2"	Plug	44	As Shown
bc	Bouteloua curtipendula	Side Oats Grama	2"	Plug	145	As Shown
cl	Coreopsis lanceolata	Lance-leaf Coreopsis	Quart	Cont.	166	As Shown
cv	Carex vulpinoidea	Fox Sedge	2"	Plug	398	As Shown
ep	Echinacea purpurea	Purple Coneflower	2"	Plug	45	As Shown
gm	Geranium maculatum	Wild Geranium	Quart	Cont.	175	As Shown
mf	Monarda fistulosa	Wild Bergamot	2"	Plug	18	As Shown
pv	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	1 Gal.	Cont.	141	As Shown
rt	Rudbeckia triloba	Brown-eyed Susan	Quart	Cont.	119	As Shown
MEADOW PLANTING						
bc	Bouteloua curtipendula	Side Oats Grama	2"	Plug	84	12"
ls	Liatris spicata	Gayfeather	2"	Plug	12	12"
mf	Monarda fistulosa	Wild Bergamot	2"	Plug	12	12"
rt	Rudbeckia triloba	Brown-eyed Susan	2"	Plug	12	12"
TURF						
SOD	Mix		n/a	Roll	6253 sf	na



#### NOTES:

- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
- CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES, IN ADDITION TO AREAS SPECIFIED ON PLANS
- THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS. CAD FILE TO BE PROVIDED UPON REQUEST.
- ALL CONCRETE DOOR STOOPS TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS. SEE ARCHITECTURAL DRAWINGS.
- ALL LANDSCAPE PAVEMENT AREAS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS FOR CONSTRUCTION.
- ALL LANDSCAPE PLANTING BEDS SHALL RECEIVE 3" OF NATURAL COLORED, DOUBLE SHREDDED HARDWOOD MULCH.
- ALL LANDSCAPE PLANTING BEDS SHALL RECEIVE 20" OF PLANTING SOIL.
- ALL LANDSCAPE PLANTING BEDS SHALL HAVE SHOVEL CUT EDGES UNLESS OTHERWISE NOTED.
- ALL STONE MAINTENANCE STRIP AREAS SHALL BE EDGED WITH A METAL EDGING.
- RESTORE ALL EXISTING TURF ON ADJACENT PROPERTIES DAMAGED DURING CONSTRUCTION.

#### LANDSCAPE POINTS

DEVELOPED AREA REQUIREMENTS:	
DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT)	20,043 SF
DEVELOPED AREA POINTS REQUIRED (20,043/300)x5	335 POINTS
DEVELOPMENT FRONTAGE LANDSCAPING:	
PROPOSED FRONTAGE	453 LF
PROPOSED LANDSCAPING	16 CANOPY TREES, 71 SHRUBS
INTERIOR PARKING LOT LANDSCAPING:	
NOT REQUIRED: ALL PARKING IS COVERED	
FOUNDATION PLANTING LANDSCAPING:	
PROPOSED LANDSCAPE	5 ORNAMENTAL TREES, 44 SHRUBS, 173 PERENNIALS
TOTAL LANDSCAPE POINTS REQUIRED	335 POINTS
TOTAL LANDSCAPE POINTS PROVIDED	1,676 POINTS

**DIGGERS HOTLINE**  
Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

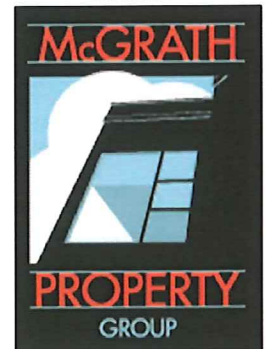


# JLA

JOSEPH LEE + ASSOCIATES  
2418 CROSSROADS DRIVE, SUITE 2100  
MADISON, WISCONSIN 53718  
608.241.9500

JLA PROJECT NUMBER: 14-1010-01

**McGRATH PROPERTY GROUP**



**AYRES ASSOCIATES**

101 East Badger Road  
Madison, WI 53713  
Ph. 608.255.0800  
Fx. 608.255.7750  
www.aa-madison.com  
AYRES # 27-0169.00

PLAN COMMISSION SUBMITTAL

1200 LOFTS

#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 17, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

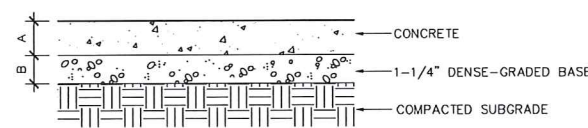
Landscape Plan

SHEET NUMBER

C600

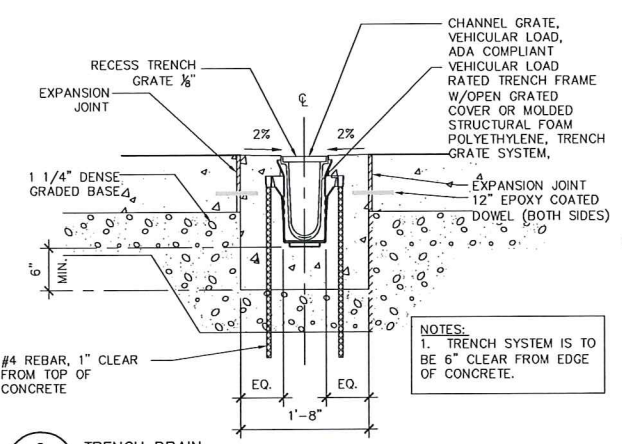


PAVEMENT TYPE:	CONCRETE THICKNESS (A)	BASE THICKNESS (B)
TYPE 1 - CONCR. PAVEMENT-PEDESTRIAN LOAD	5"	3"
TYPE 2 - CONCR. PAVEMENT-VEHICULAR LOAD	7"	6"

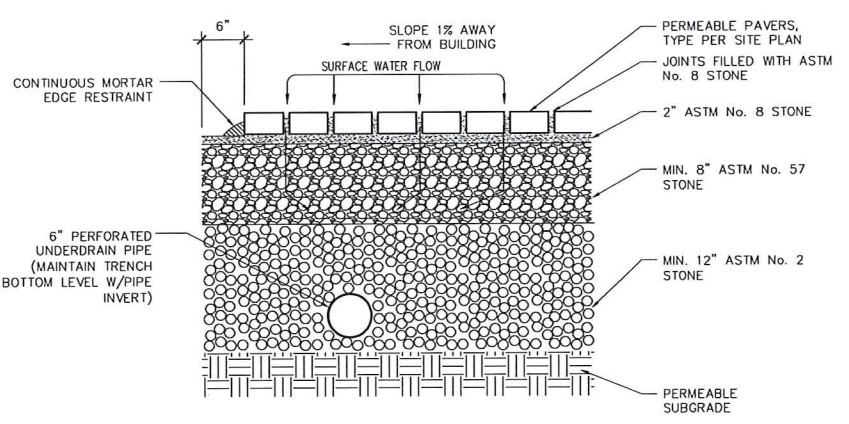


1 CONCRETE PAVEMENT  
C700  
SCALE 1"=1'-0"

- NOTES:
1. MEDIUM BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL, UNLESS OTHERWISE STATED
  2. PROVIDE EXPANSION JOINTS 30' ALL WAYS, MINIMUM OR AS NOTED ON PLANS
  3. STANDARD COLOR CONCRETE.
  4. VEHICULAR LOAD CONCRETE: LONGITUDINAL (EXPANSION) JOINTS SHALL HAVE 24" LONG #4 EPOXY COATED REBAR AT 39" O.C. AT A DEPTH OF 3 3/4" ± 1"
  5. VEHICULAR LOAD CONCRETE: TRANSVERSE JOINTS SHALL HAVE 18" LONG, 1 1/2" DIA. EPOXY COATED, SMOOTH DOWEL BARS AT 72" O.C. AT 4" DEPTH.

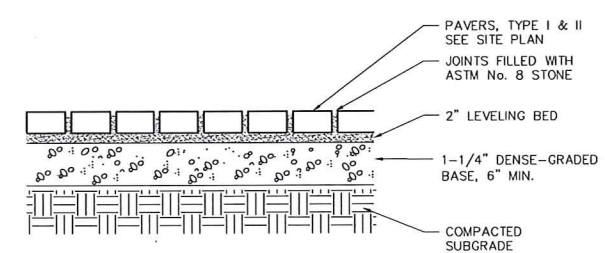


2 TRENCH DRAIN  
C700  
SCALE 1" = 1'-0"

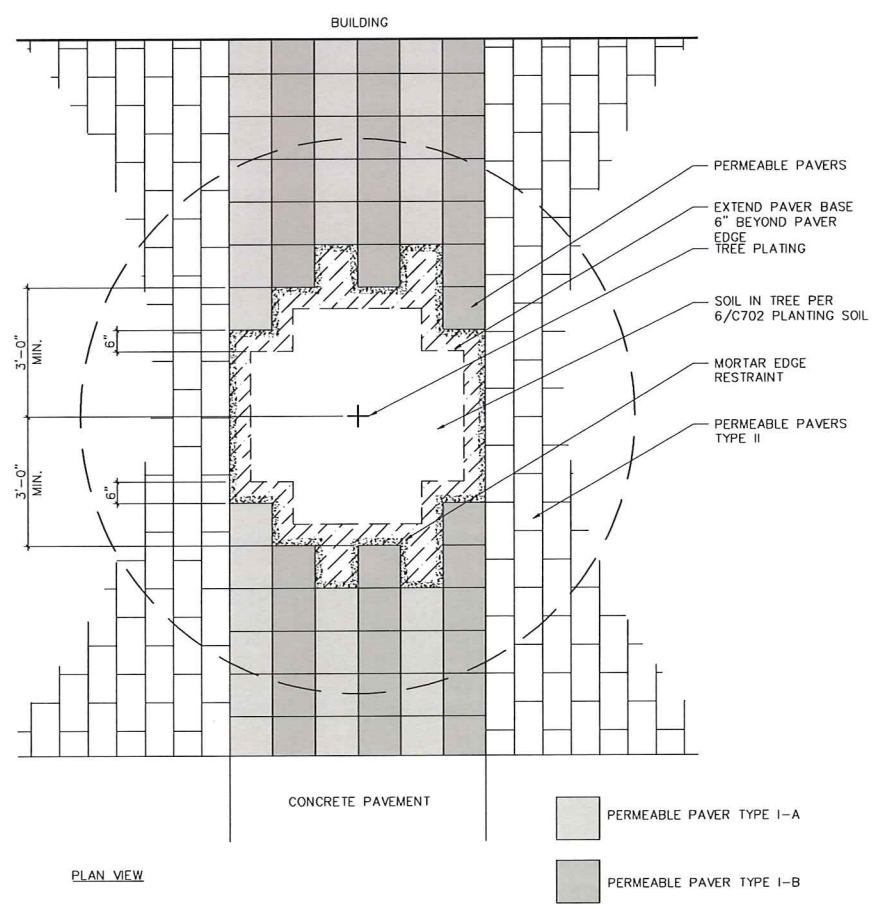


3 PERMEABLE PAVERS TYPE I & II  
C700  
SCALE 1"=1'-0"

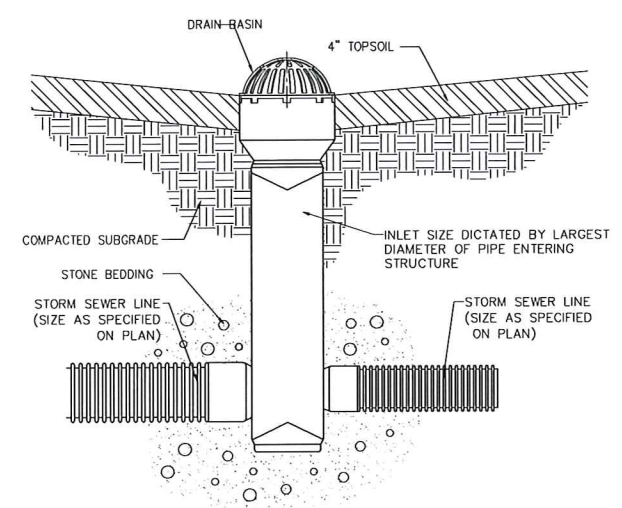
- NOTE:
1. SURFACE RESTORATION REQUIREMENTS PER SPECIFICATIONS.
  2. WATER & SANITARY SEWER WILL NEED A 6" MINIMUM COVER DEPTH AT ANY PAVEMENT CROSSINGS, INSULATION AND SPECIAL APPROVAL BY THE ENGINEER WILL BE REQUIRED.
  3. APPLICABLE TO STORM SEWER, INLETS AND MANHOLES.



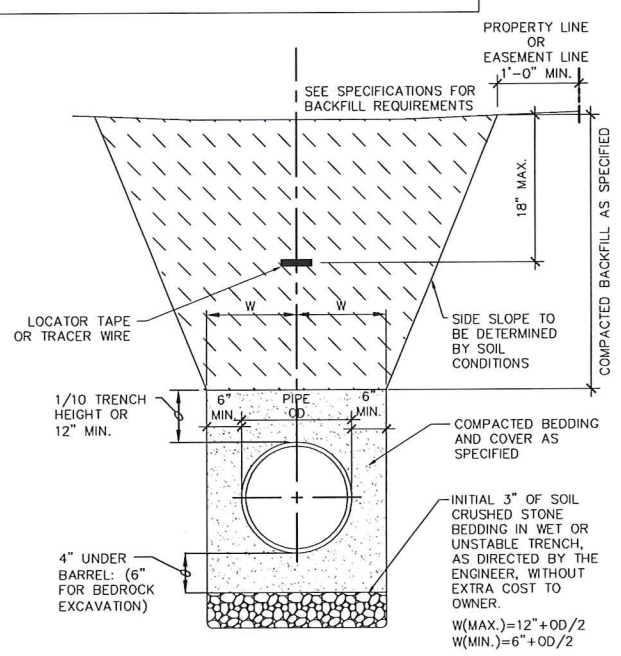
4 PAVERS TYPE I & II  
C700  
SCALE 1"=1'-0"



7 PERMEABLE PAVER PLANTING PIT  
C700  
NTS



5 PVC FIELD INLET  
C700  
SCALE NTS



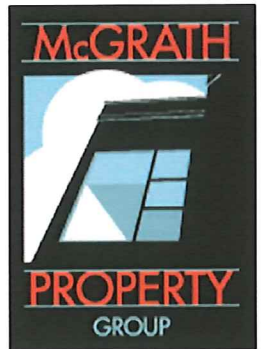
6 UNDERGROUND UTILITY BEDDING & TRENCH SECTION  
C700  
NTS

# JLA

JOSEPH LEE + ASSOCIATES  
2418 CROSSROADS DRIVE, SUITE 200  
MADISON, WISCONSIN 53713  
608.241.9500

JLA PROJECT NUMBER: 14-1010-01

McGRATH PROPERTY GROUP



**AYRES ASSOCIATES**

101 East Badger Road  
Madison, WI 53713  
Ph. 608.255.0800  
Fx. 608.255.7750  
www.saa-madison.com  
AYRES # 27-0169.00

PLAN COMMISSION SUBMITTAL

1200 LOFTS

**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: MARCH 17, 2015

REVISION SCHEDULE		
Mark	Description	Date

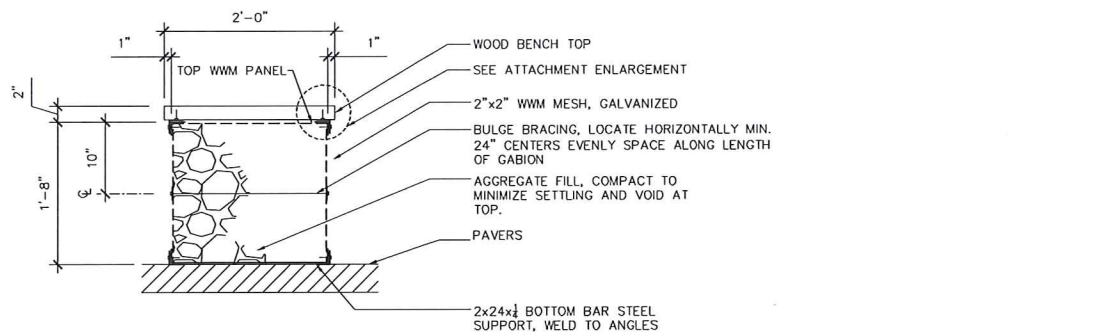
SHEET TITLE

Details

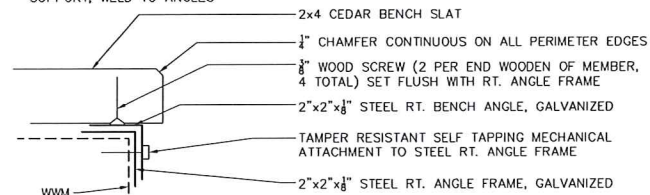
SHEET NUMBER

C700

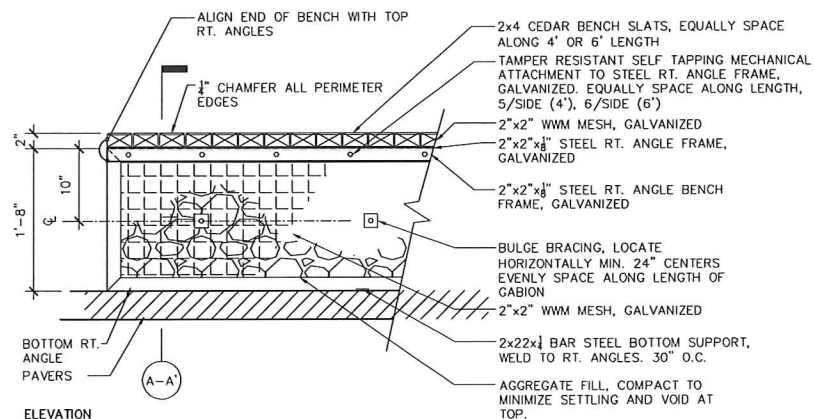




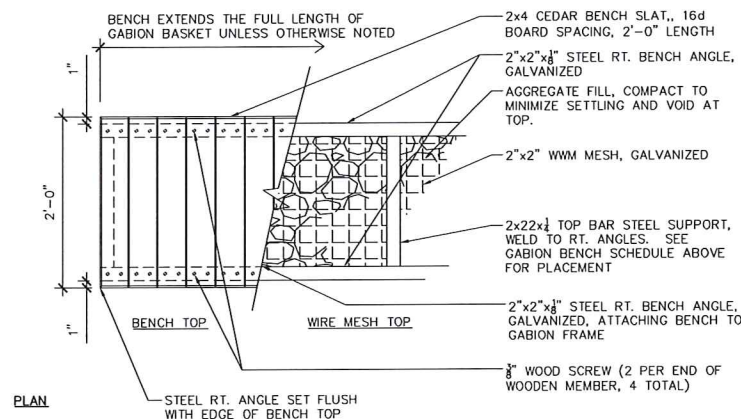
SECTION A-A'



ATTACHMENT ENLARGEMENT  
SCALE: 1/4" = 1'-0"

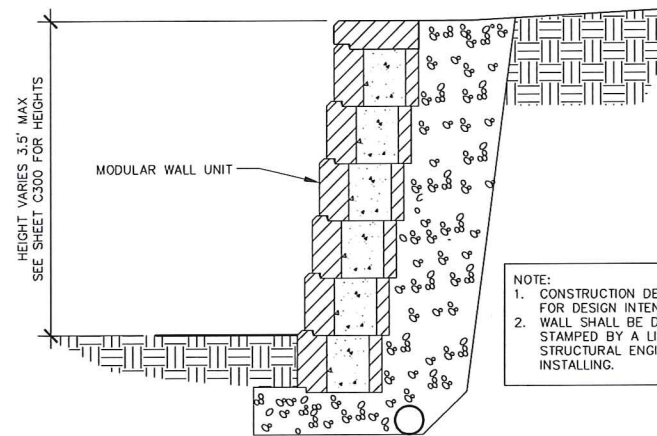


ELEVATION



PLAN

- NOTES:
1. 1/2" CONTINUOUS CHAMFER ON ALL PERIMETER EDGES OF WOODEN BENCH TOP
  2. ALL WELDS TO BE GRIND SMOOTH AND FREE OF BURS AND SHARP EDGE.
  3. COMPLETELY FILL GABION BASKET WITH AGGREGATE MATERIAL ONE LEVEL AT A TIME. AT NO TIME SHALL THE STONE FILL VARY MORE THAN 6" FROM ONE TO THE OTHER. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.



\*CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE CITY FOR APPROVAL PRIOR TO CONSTRUCTING THE WALL.

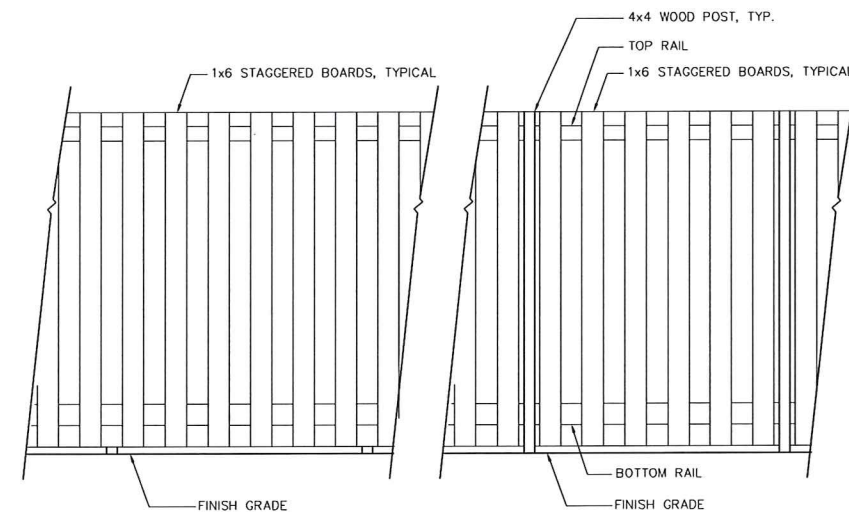
- NOTE:
1. CONSTRUCTION DETAILS SHOWN FOR DESIGN INTENT ONLY.
  2. WALL SHALL BE DESIGNED & STAMPED BY A LICENSED STRUCTURAL ENGINEER BEFORE INSTALLING.

1 GABION BENCH  
C701

SCALE: 1" = 1'-0"

2 MODULAR BLOCK RETAINING WALL  
C701

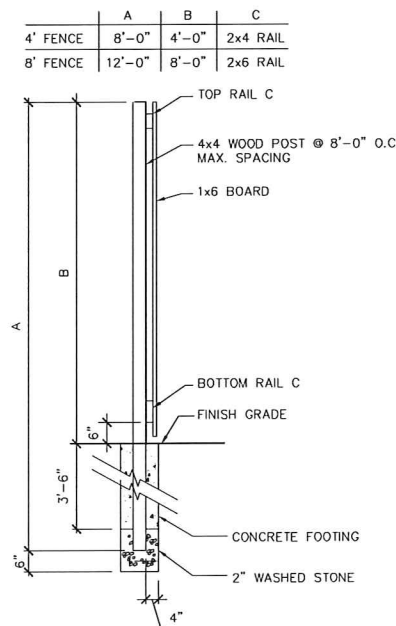
SCALE NTS



NEIGHBOR ELEVATION

PROPERTY ELEVATION

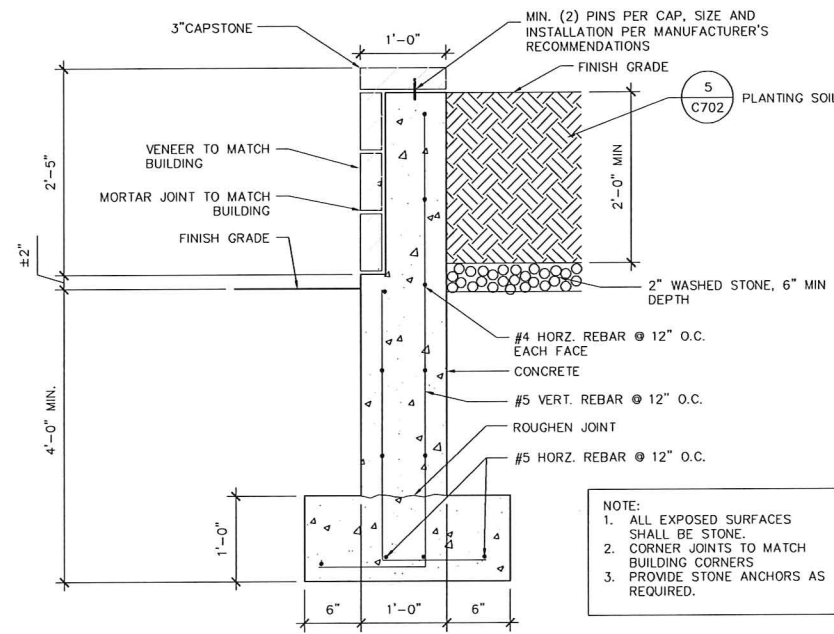
- NOTES:
1. ALL WOOD TO BE STAINED
  2. ALL FASTENERS TO BE NON-CORROSIVE, CONCEALED AND SHALL BE INCLUDED WITH FENCE
  3. STEP FENCE TO FOLLOW GRADE



SECTION

SCALE 1/2"=1'-0"

3 4' and 8' FENCE  
C701



- NOTE:
1. ALL EXPOSED SURFACES SHALL BE STONE.
  2. CORNER JOINTS TO MATCH BUILDING CORNERS
  3. PROVIDE STONE ANCHORS AS REQUIRED.

4 PLANTER WALL  
C701

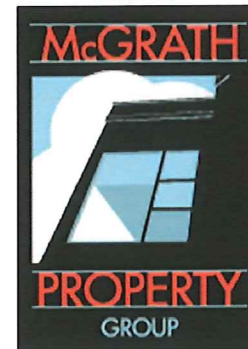
SCALE 1" = 1'-0"

JLA

JOSEPH LEE + ASSOCIATES  
2418 CROSSROADS DRIVE, SUITE 2100  
MADISON, WISCONSIN 53718  
608.241.9500

JLA PROJECT NUMBER: 14-1010-01

McGRATH PROPERTY GROUP



AYRES ASSOCIATES

101 East Badger Road  
Madison, WI 53713  
Ph. 608.255.0800  
Fx. 608.255.7750  
www.aay-madison.com  
AYRES # 27-0169.00

PLAN COMMISSION SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: MARCH 17, 2015

REVISION SCHEDULE

Mark	Description	Date

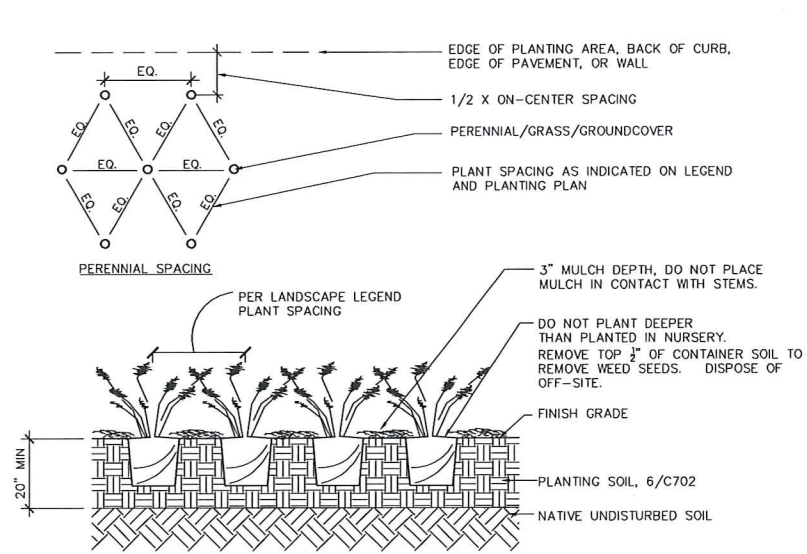
SHEET TITLE

Details

SHEET NUMBER

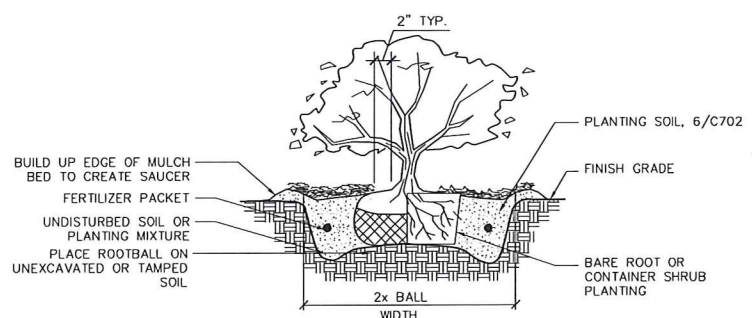
C701





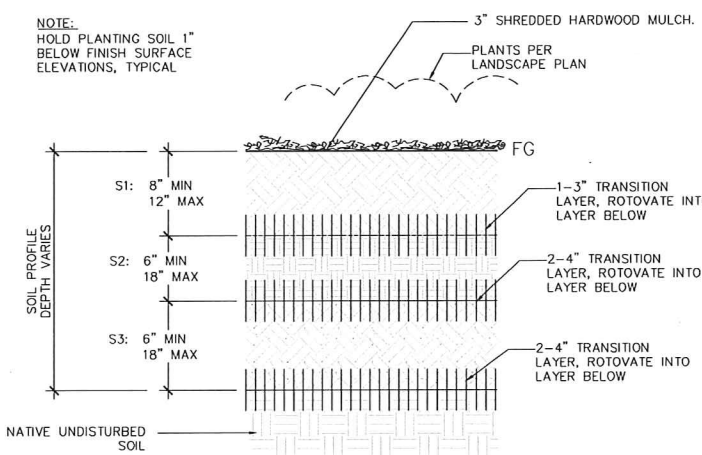
1 GROUND COVER/PERENNIAL PLANTING  
C702 SCALE NTS

- NOTES:
1. PLANT EACH SHRUB SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
  2. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOTBALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN HALF THE ROOTBALL DISTANCE. REMOVE TWINE, ROPE, AND REMOVE TOP 1/3 OF BURLAP FROM ROOTBALL.
  3. DO NOT PLACE MULCH IN CONTACT WITH STEMS.



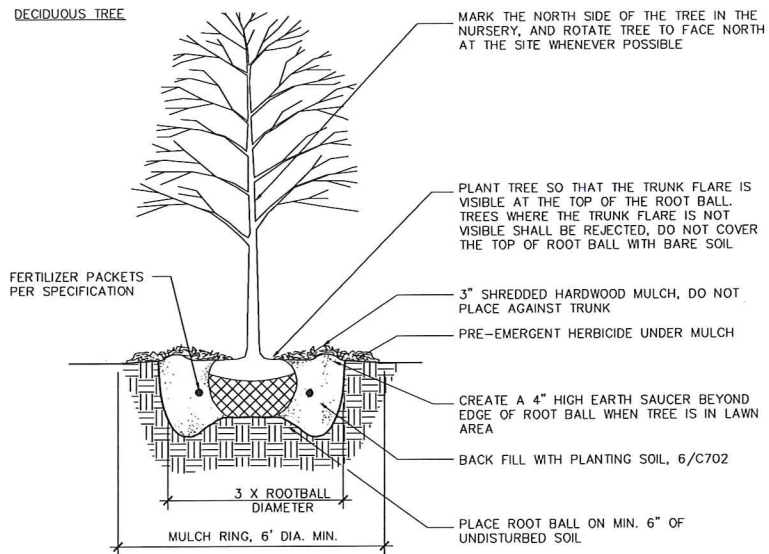
3 SHRUB PLANTING DETAIL  
C702 SCALE 1"=1'-0"

NOTE: HOLD PLANTING SOIL 1" BELOW FINISH SURFACE ELEVATIONS, TYPICAL.

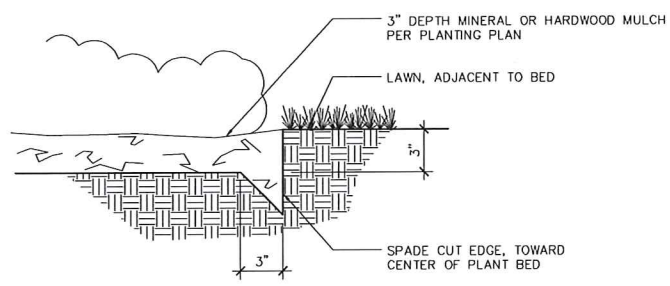


6 PLANTING SOIL  
C702 SCALE NTS

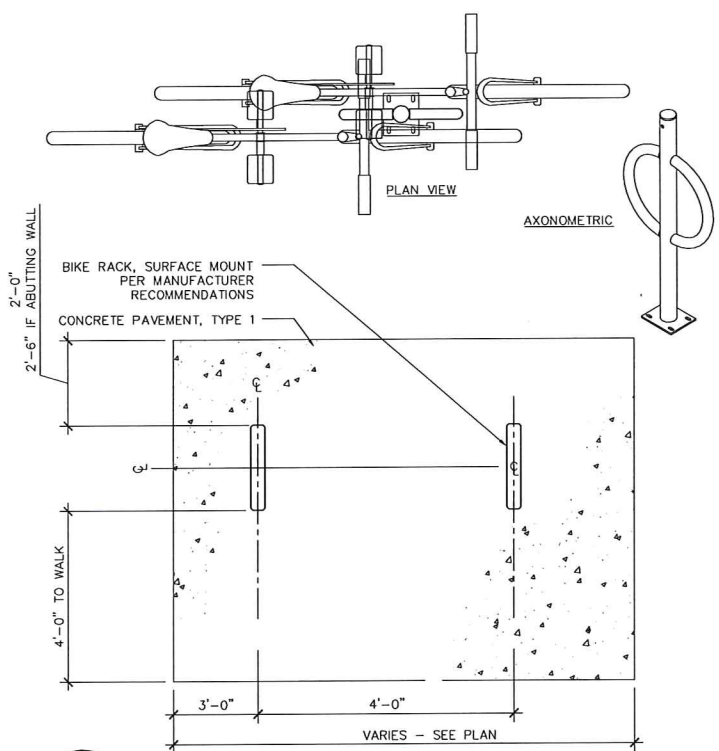
- S1 LAYER:
1. 40-70% SAND, BY DRY WEIGHT
  2. 20-40% SILTY, BY DRY WEIGHT
  3. 10-30% CLAY, BY DRY WEIGHT
  4. 8-10% ORGANIC MATTER BY DRY WEIGHT\*
  5. TOTAL POROSITY: 55% MIN. AT MAX COMPACTION RATE OF 70-80% PROCTOR DENSITY
  6. BULK DENSITY: 1.0-1.3 g/cu cm AT MAX COMPACTION RATE OF 70% PROCTOR DENSITY
  7. C:N RATION OF 11-12:1
  8. pH OF 6-8
- S2 LAYER:
1. 50-75% SAND, BY DRY WEIGHT
  2. 10-20% VERY COARSE SAND - USDA PARTICLE SIZE
  3. 10-20% COARSE SAND - USDA PARTICLE SIZE
  4. 10-20% SILTY, BY DRY WEIGHT
  5. 20-30% CLAY, BY DRY WEIGHT
  6. 3-5% ORGANIC MATTER BY DRY WEIGHT
  7. TOTAL POROSITY: 45% MIN. AT MAX COMPACTION RATE OF 80-85% PROCTOR DENSITY
  8. BULK DENSITY: 1.0-1.5 g/cu cm AT MAX COMPACTION RATE OF 80% PROCTOR DENSITY
  9. pH OF 6-8
- S3 LAYER:
1. 60-85% SAND, BY DRY WEIGHT
  2. 10-20% VERY COARSE SAND - USDA PARTICLE SIZE
  3. 10-20% COARSE SAND - USDA PARTICLE SIZE
  4. 5-10% SILTY, BY DRY WEIGHT
  5. 10-20% CLAY, BY DRY WEIGHT
  6. 1-3% ORGANIC MATTER BY DRY WEIGHT
  7. TOTAL POROSITY: 45% MIN. AT MAX COMPACTION RATE OF 80-85% PROCTOR DENSITY
  8. BULK DENSITY: 1.3-1.6 g/cu cm AT MAX COMPACTION RATE OF 80% PROCTOR DENSITY
  9. pH OF 6-8
- \* ORGANIC MATTER SHALL BE COMPOSED OF CLASS A COMPOST AS DEFINED BY THE WISCONSIN DNR: PUB. WA1589



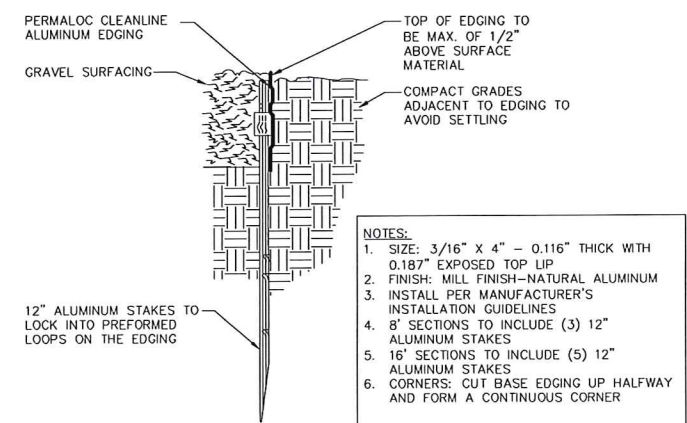
2 B&B TREE PLANTING DETAIL  
C702 NTS



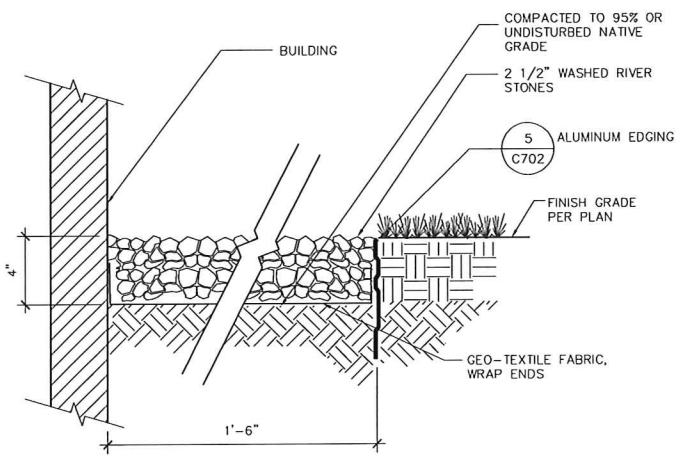
4 SHOVEL CUT EDGE  
C702 SCALE 1"=1'-0"



8 BIKE PARKING  
C702 SCALE 1"=1'-0"



5 ALUMINUM EDGING  
C702



7 MAINTENANCE STRIP  
C702 NTS

# JLA

JOSEPH LEE + ASSOCIATES  
2418 CROSSROADS DRIVE - SUITE 2309  
MADISON, WISCONSIN 53713  
608.255.5000  
508.241.9509

JLA PROJECT NUMBER: 14-1010-01

## McGRATH PROPERTY GROUP

## AYRES ASSOCIATES

101 East Badger Road  
Madison, WI 53713  
Ph. 608.255.5000  
Fax. 608.255.7750  
www.saa-madison.com  
AYRES # 27-0169.00

PLAN COMMISSION SUBMITTAL

# 1200 LOFTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: MARCH 17, 2015

REVISION SCHEDULE		
Mark	Description	Date

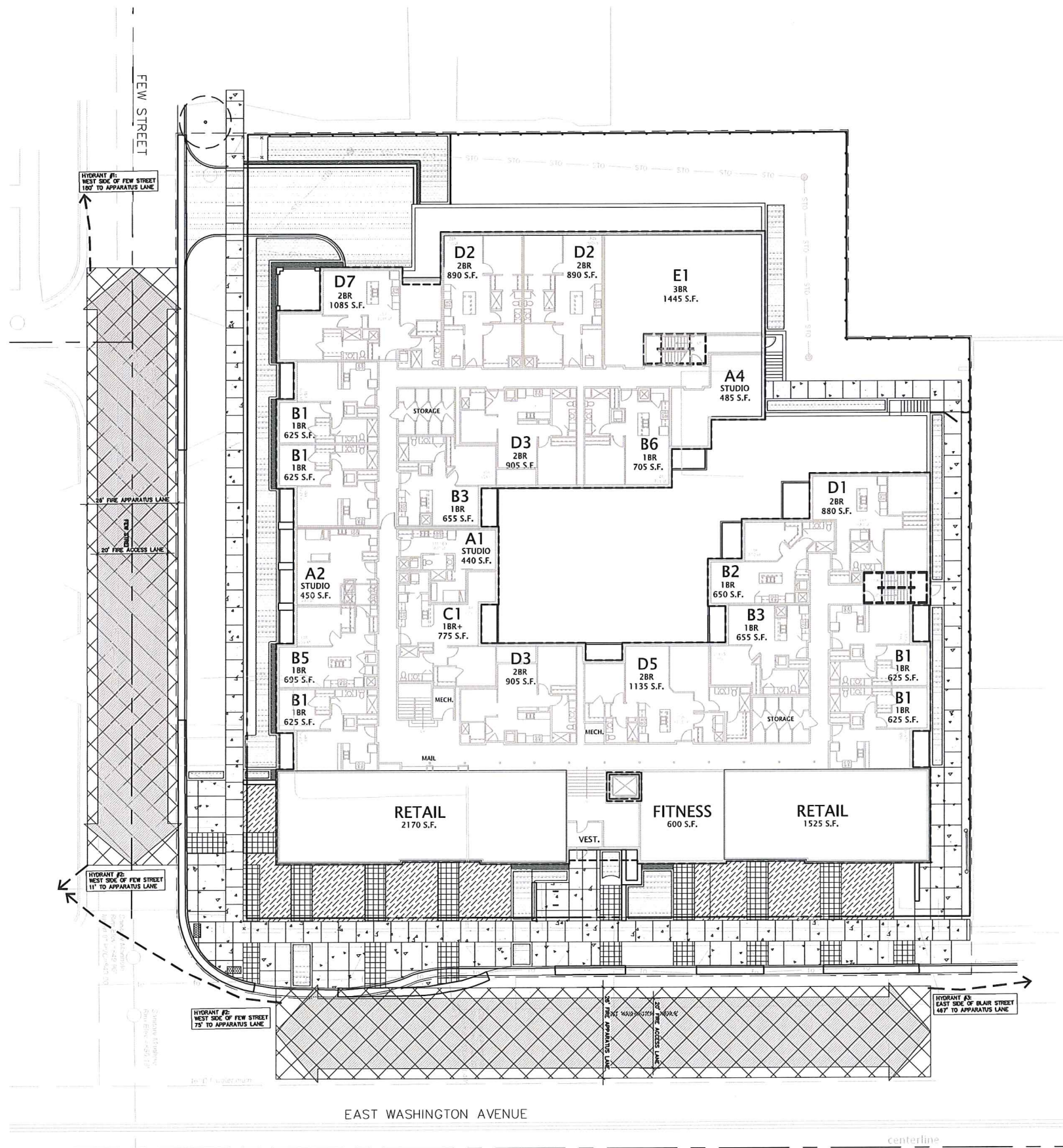
SHEET TITLE

## Details

SHEET NUMBER

# C702





- NOTES:
1. NO OVERHEAD POWERLINES ARE EXPECTED WITHIN THE FOOTPRINT OF THE NEW BUILDING.
  2. REQUIRED STREET TREES ARE SHOWN IN THE TERRACE BETWEEN THE PROPOSED STRUCTURE AND EAST WASHINGTON AVENUE; AND BETWEEN THE PROPOSED STRUCTURE AND FAWCETT STREET.
  3. REFER TO SUBMITTED FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET FOR ADDITIONAL INFORMATION.
  4. MAX SLOPE ON THE PROPOSED FIRE LANE IS <8%.

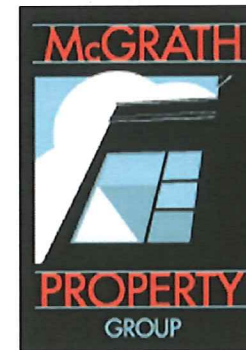
- PROPERTY LINE
- PROJECT LIMITS
- CONCRETE PAVEMENT, TYPE 1
- CONCRETE PAVEMENT, TYPE 2
- PERMEABLE PAVERS
- LANDSCAPE PLANTING AREA
- FIRE APPARATUS LANE (26' WIDE)
- FIRE ACCESS LANE (20' WIDE)

**JLA**  
ARCHITECTS + PLANNERS

JOSEPH LEE & ASSOCIATES  
2514 CROSSROADS DRIVE SUITE 2100  
MADISON, WISCONSIN 53718  
608.241.9500

JLA PROJECT NUMBER: 14-1010-01

McGRATH PROPERTY GROUP



**AYRES**  
ASSOCIATES

101 East Badger Road  
Madison, WI 53713  
Ph. 608.255.0800  
Fx. 608.255.7750  
www.ayres-madison.com  
AYRES # 27-0169.00

PLAN COMMISSION SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 17, 2015

REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

SHEET TITLE

Fire Access Plan

SHEET NUMBER

C800

**DIGGERS HOTLINE**

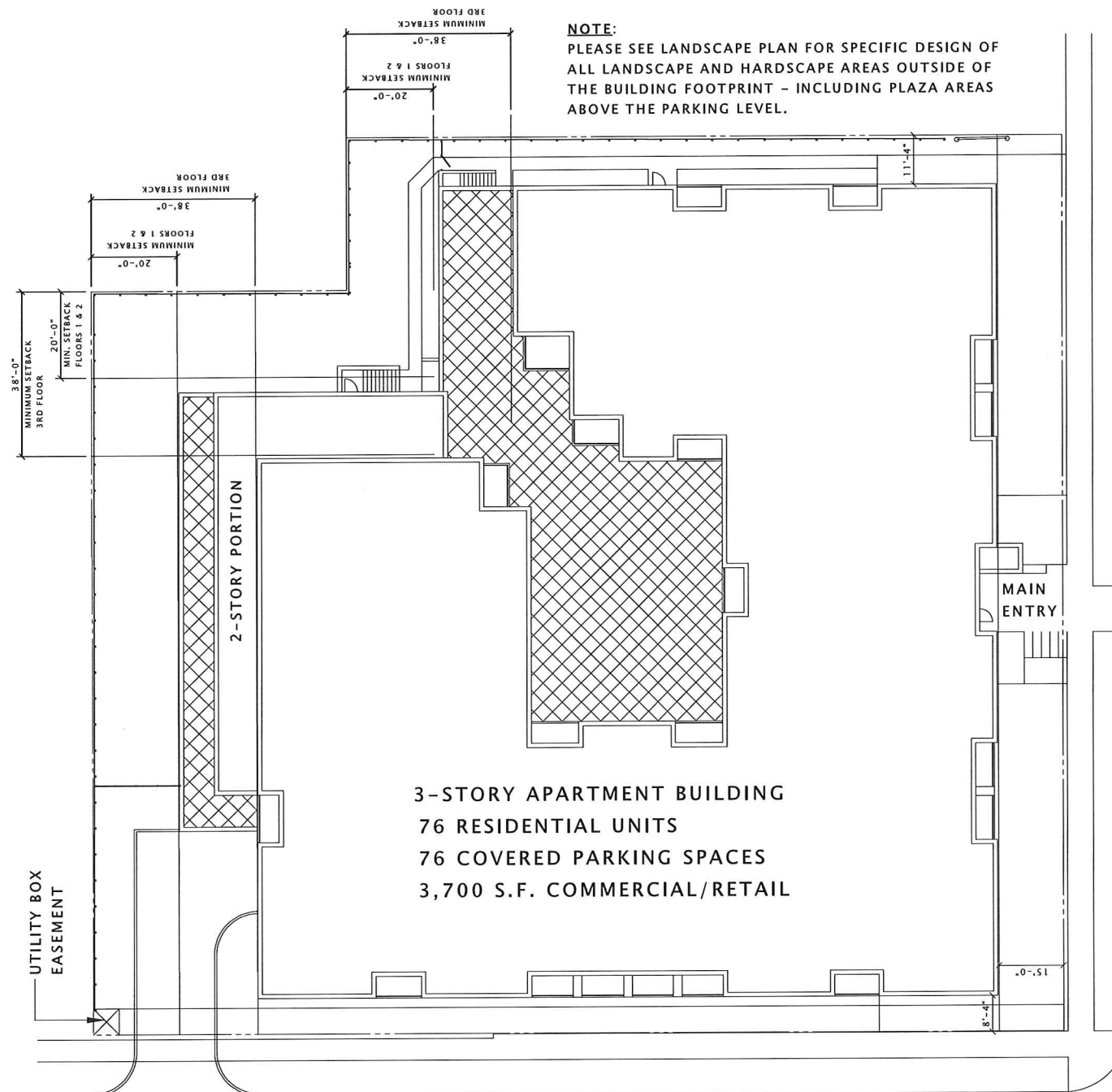
Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com





NOTE: Final Unit Counts, Types, Mix, and Sizes are subject to change. The Total Unit Count & Density for Entire Development shall be regulated by the Approved PUD/GDP Package and subsequently Approved PUD/SIP Packages.

An aerial photograph of a residential and commercial area. A yellow rectangular parcel is highlighted with a red border. The parcel is located between E Washington Ave and E 151st St. To the left of the parcel are several streets: E 151st St, E 152nd St, E 153rd St, E 154th St, E 155th St, E 156th St, E 157th St, E 158th St, E 159th St, E 160th St, E 161st St, E 162nd St, E 163rd St, E 164th St, E 165th St, E 166th St, E 167th St, E 168th St, E 169th St, E 170th St, E 171st St, E 172nd St, E 173rd St, E 174th St, E 175th St, E 176th St, E 177th St, E 178th St, E 179th St, E 180th St, E 181st St, E 182nd St, E 183rd St, E 184th St, E 185th St, E 186th St, E 187th St, E 188th St, E 189th St, E 190th St, E 191st St, E 192nd St, E 193rd St, E 194th St, E 195th St, E 196th St, E 197th St, E 198th St, E 199th St, E 200th St. To the right of the parcel is E Washington Ave. The area includes residential houses, trees, and commercial buildings. A yellow highlighted parcel is located between E Washington Ave and E 151st St. The parcel is outlined in red. The surrounding area includes residential streets, commercial buildings, and parking lots. The map shows a mix of urban development and green space. The highlighted parcel appears to be a commercial or industrial site, possibly a parking lot or a small business. The surrounding area is densely populated with houses and trees. The map is oriented with North at the top. The streets are labeled with their names. The highlighted parcel is a key feature of the map. The map provides a detailed view of the area, showing the layout of the streets and the location of the highlighted parcel. The map is a useful tool for understanding the local geography and the location of the highlighted parcel. The map is a clear and concise representation of the area, providing a wealth of information in a single image. The map is a valuable resource for anyone interested in the area, providing a detailed and accurate view of the local environment. The map is a great way to explore the area and discover new places to visit. The map is a useful tool for understanding the local geography and the location of the highlighted parcel. The map is a clear and concise representation of the area, providing a wealth of information in a single image. The map is a valuable resource for anyone interested in the area, providing a detailed and accurate view of the local environment. The map is a great way to explore the area and discover new places to visit.



*NORTH FEW STREET*

**JOSEPH LEE + ASSOCIATE**  
2418 CROSSROADS DRIVE - SUITE 23  
Madison, Wisconsin 537  
608.241.95

ILA PROJECT NUMBER: 14-1010-

McGRATH PROPERTY  
GROUP

CONDITIONAL USE SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. They are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE	MARCH 18, 2015
------------------	----------------

REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

SHEET TITLE

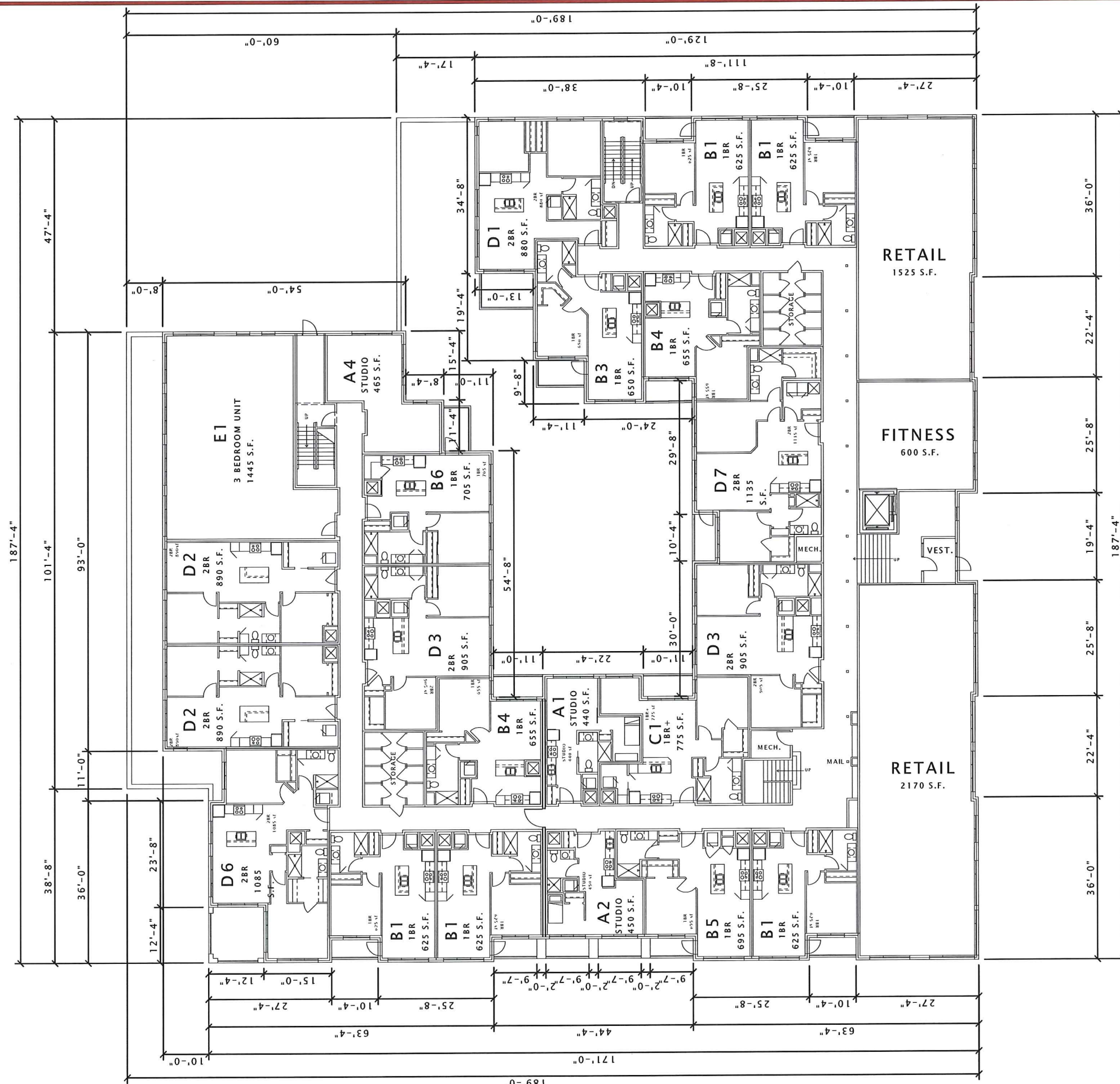
ARCHITECTURAL SITE  
PLAN

SHEET NUMBER

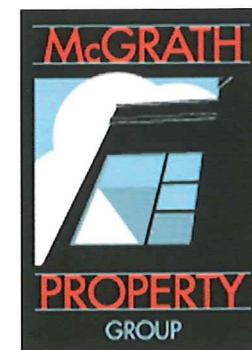
ASP-100







McGRATH PROPERTY GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 18, 2015

REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

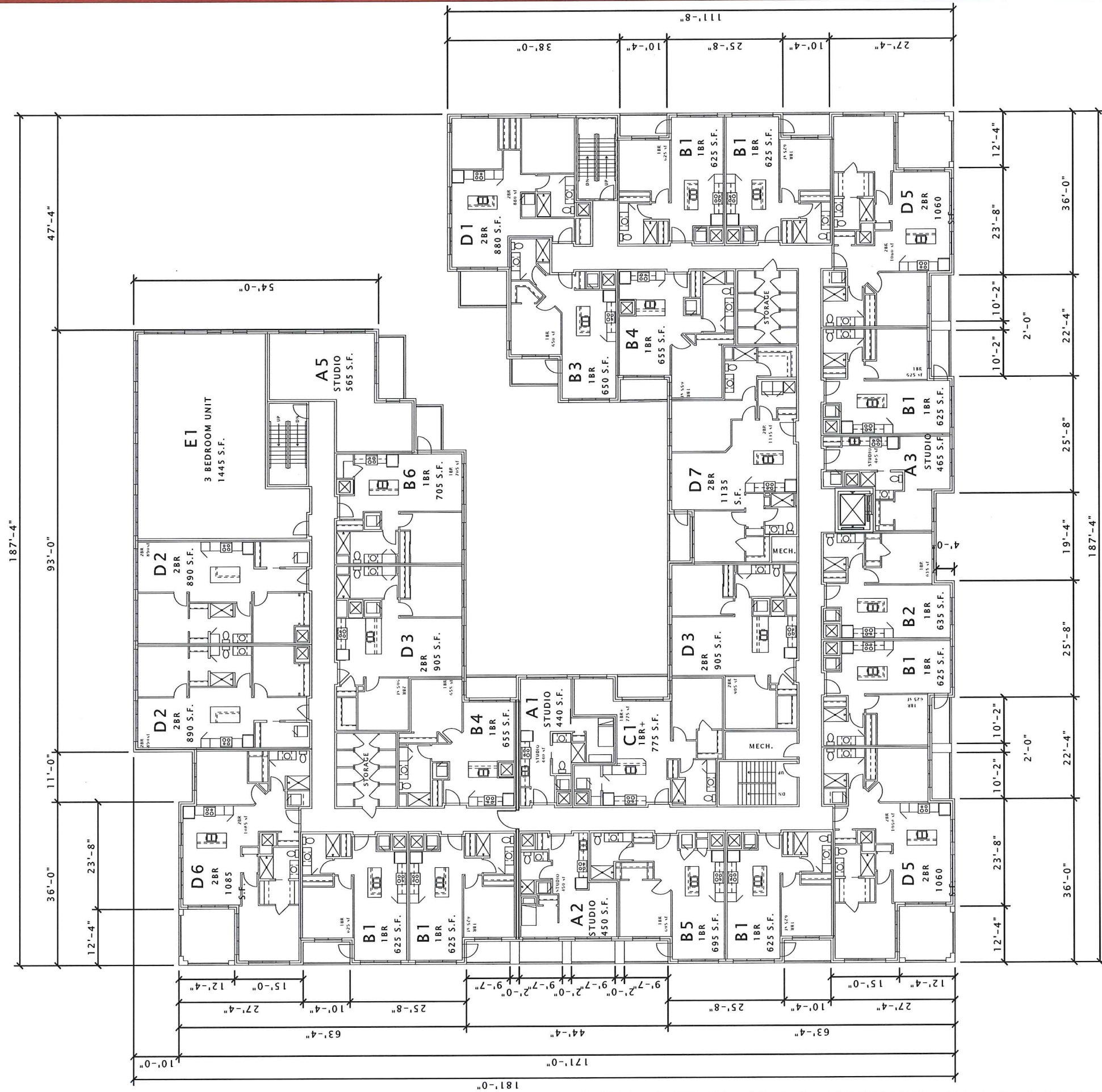
SHEET TITLE

FIRST FLOOR PLAN

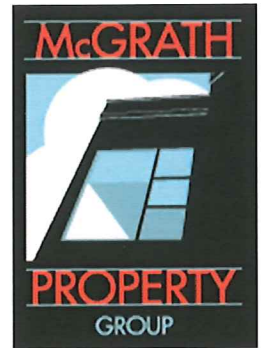
SHEET NUMBER

A111





McGRATH PROPERTY  
GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. There are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 18, 2015

REVISION SCHEDULE		
Mark	Description	Date

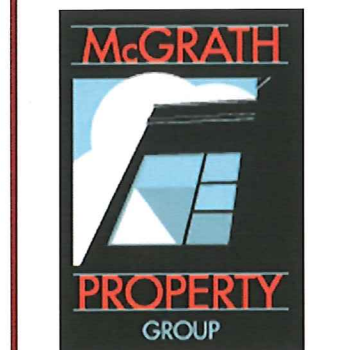
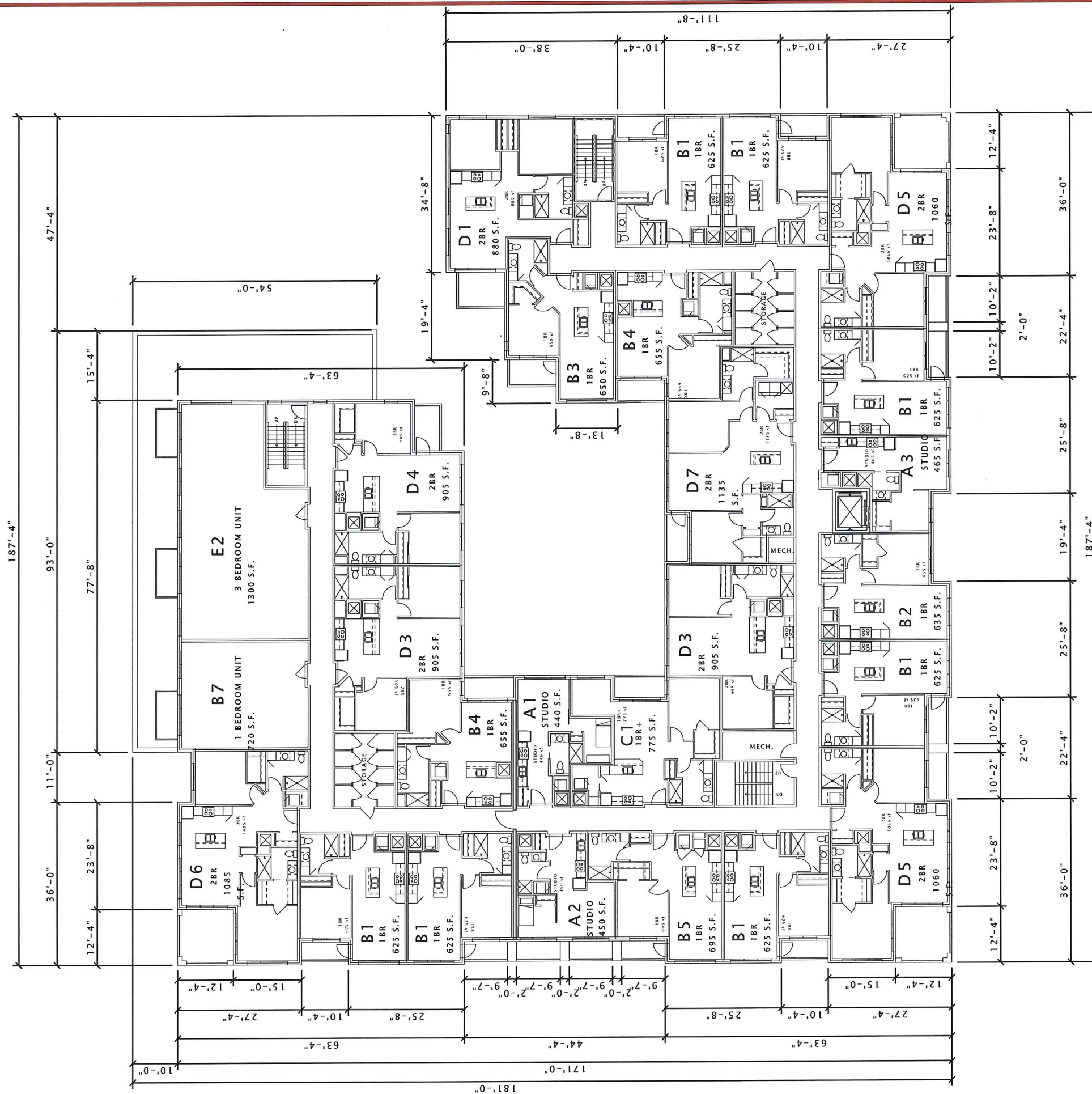
SHEET TITLE

SECOND FLOOR PLAN

SHEET NUMBER

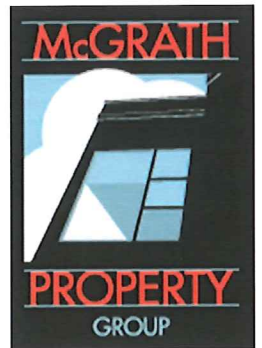
A112







## McGRATH PROPERTY GROUP



### CONDITIONAL USE SUBMITTAL

1200 LOFTS

#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 18, 2015

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A210



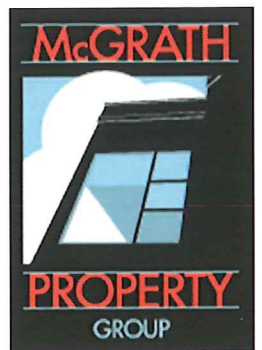
⑥ 'EAST' ELEVATION (EAST WASHINGTON AVENUE)  
1/8" = 1'-0"



⑩ 'SOUTH' ELEVATION (FEW STREET)  
1/8" = 1'-0"



## McGRATH PROPERTY GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 18, 2015

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A211



⑥ WEST ELEVATION  
1/8" = 1'-0"



⑩ NORTH ELEVATION  
1/8" = 1'-0"





⑥ COURTYARD ELEVATION (WEST)  
1/8" = 1'-0"



⑦ COURTYARD ELEVATION (EAST)  
1/8" = 1'-0"



⑩ COURTYARD ELEVATION (NORTH)  
1/8" = 1'-0"



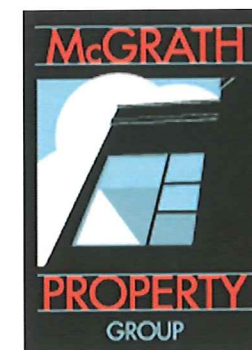
⑭ COURTYARD ELEVATION (SOUTH)  
1/8" = 1'-0"

**JLA**  
architects + planners

JOSEPH LEE + ASSOCIATES  
2418 CROSSROADS DRIVE, SUITE 200  
MADISON, WISCONSIN 53718  
608.241.9500

JLA PROJECT NUMBER: 14-1010-01

McGRATH PROPERTY GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 18, 2015

#### REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

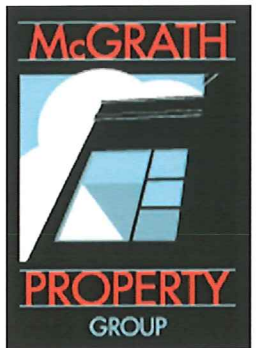
EXTERIOR ELEVATIONS

SHEET NUMBER

A212



McGRATH PROPERTY  
GROUP



CONDITIONAL USE SUBMITTAL

1200 LOFTS

#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MARCH 18, 2015

#### REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

SCHEMATIC SECTION

SHEET NUMBER

A310

