



City of Madison

Proposed Demolition & Conditional Use

Location

114 North Bedford Street

Project Name

Bedford Street Apartments

Applicant

Bedford St. Properties, LLC/
Melissa Huggins – Urban Assets

Existing Use

Warehouse

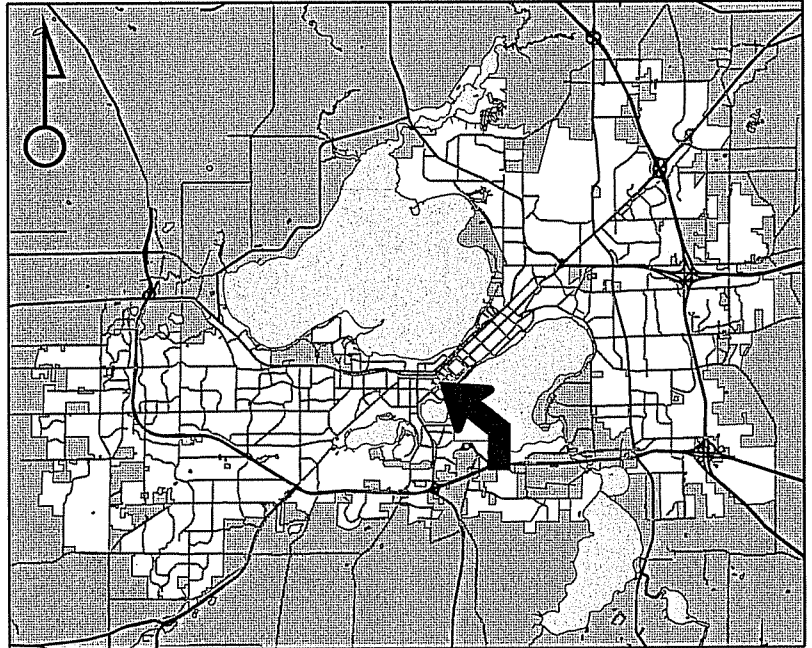
Proposed Use

Demolish warehouse to construct
192-unit apartment building

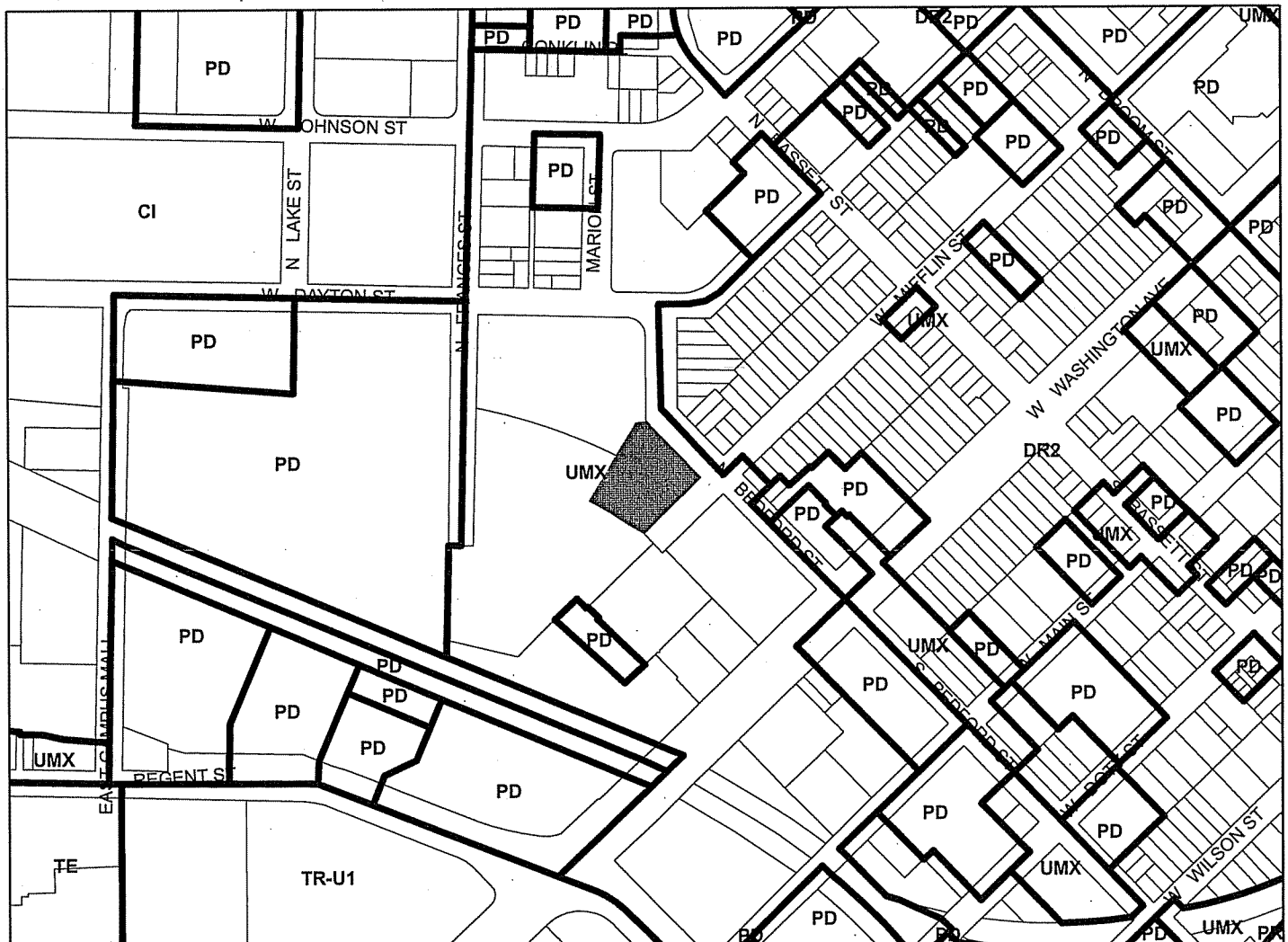
Public Hearing Date

Plan Commission

23 March 2015



For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



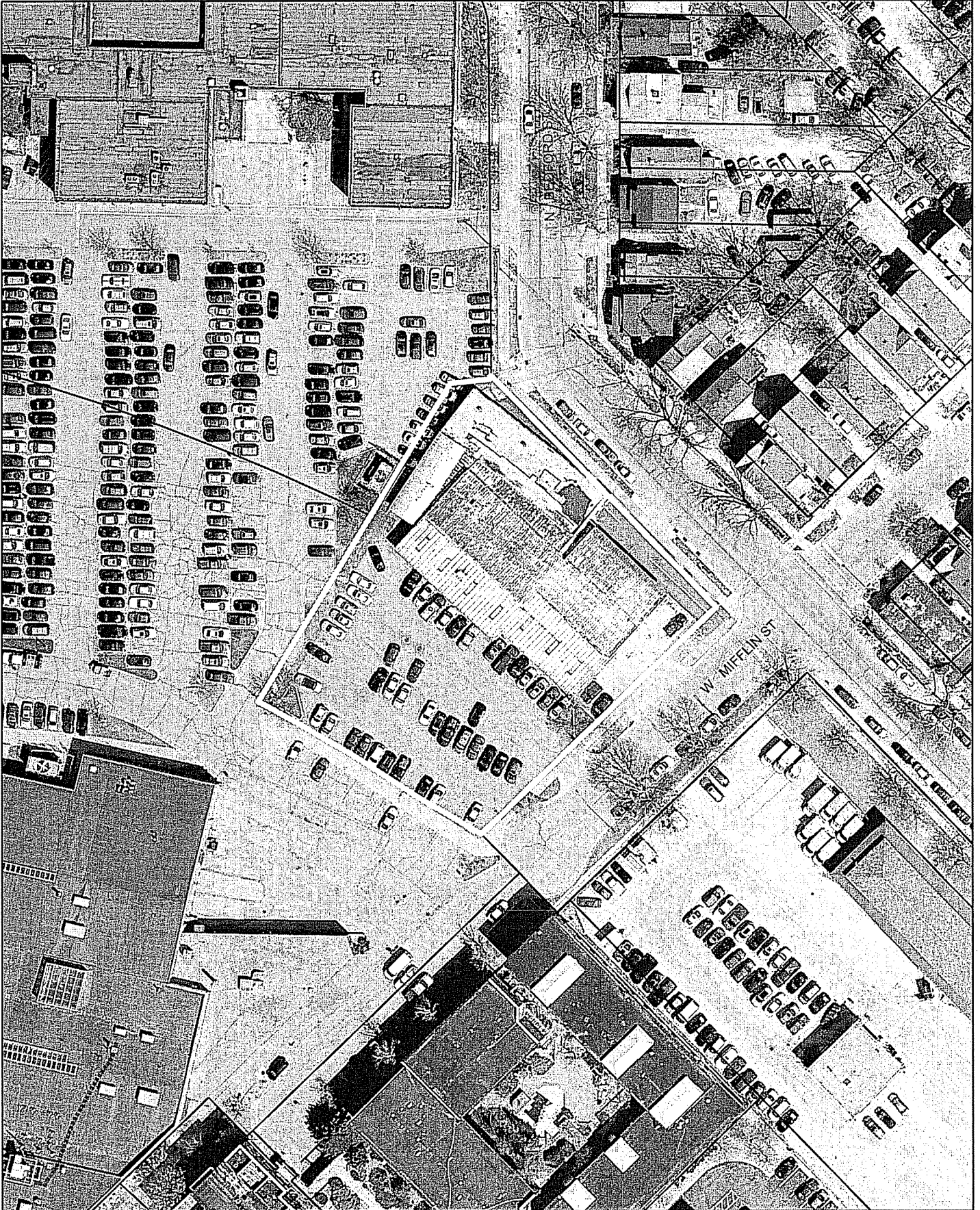
Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 16 March 2015



City of Madison

114 North Bedford Street



Date of Aerial Photography : Spring 2013



LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____
Date Received _____
Received By _____
Parcel No. _____
Aldermanic District _____
Zoning District _____
Special Requirements _____
Review Required By:
☐ Urban Design Commission ☐ Plan Commission
☐ Common Council ☐ Other: _____

Form Effective: February 21, 2013

1. Project Address: 114 North Bedford Street

Project Title (if any): Uncommon

2. This is an application for (Check all that apply to your Land Use Application):

- ☐ Zoning Map Amendment from _____ to _____
- ☐ Major Amendment to Approved PD-GDP Zoning ☐ Major Amendment to Approved PD-SIP Zoning
- ☐ Review of Alteration to Planned Development (By Plan Commission)
- ☒ Conditional Use, or Major Alteration to an Approved Conditional Use
- ☒ Demolition Permit
- ☐ Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Chris Johnson Company: CA Ventures

Street Address: 151 N. Clark Street #4900 City/State: Chicago, IL Zip: 60601

Telephone: (312) 952-4867 Fax: () Email: cjohnson@ca-studentliving.com

Project Contact Person: Melissa Huggins Company: Urban Assets

Street Address: 16 N. Carroll Street, Suite 530 City/State: Madison, WI Zip: 53703

Telephone: (608) 345-0996 Fax: () Email: melissa@urbanassetsconsulting.com

Property Owner (if not applicant): Bedford St. Properties, LLC

Street Address: 1110 N. Old World Third St., Suite 610 City/State: Milwaukee, WI Zip: 53203

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Student/young professional apartment complex: 257,000 SF, 192 units, 360 beds. Varying heights (four, eight, and ten stories). Includes coffee shop in lobby.

Development Schedule: Commencement April, 2015 Completion August, 2016

5. Required Submittal Information

All Land Use applications are required to include the following:

☒ **Project Plans Including:**

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings, demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- Seven (7) copies of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- Twenty Five (25) copies of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- One (1) copy of the plan set reduced to fit onto 8 1/2 X 11-inch paper
- For projects requiring review by the Urban Design Commission, provide *Fourteen (14) additional 11x17 copies* of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

☒ **Letter of Intent:** Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

☒ **Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

☒ **Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

☒ **Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

☒ **Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

☒ **Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Al Martin Date: 11/06/14 Zoning Staff: Matt Tucker Date: 11/19/14

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Bedlord St. Properties, LLC Relationship to Property: Owner

Authorizing Signature of Property Owner [Signature] Date 3-2-15

City of Madison Plan Commission and Urban Design Commission

3.04.2015

City of Madison, Planning Division
Department of Planning & Community & Economic Development
215 Martin Luther King Jr. Boulevard
Madison, WI 53703

Attn: Heather Stouder

Re: 114 North Bedford Street Demolition, Redevelopment and Conditional Use

Dear Members of the Plan Commission and Urban Design Commission:

Please accept this Letter of Intent, Application and attachments as our formal request for a Conditional Use review and approval by the City of Madison for the 114 North Bedford Street project detailed below.

Project Team:

Owner: CA Ventures
161 North Clark Street, Suite 4900
Chicago, IL 60601
Contact: Chris Johnson
Office: 312.994.0868
Cell: 312.952.4867
Email: cjohnson@ca-ventures.com

Architect: Shepley Bulfinch
3443 North Central Avenue
Phoenix, AZ 85012
Contact: Tom Chinnock
Phone: 602.507.4436
Cell: 602.714.0026
Email: tchinnock@shepleybulfinch.com

Civil Engineer: Kimley-Horn
200 South Executive Drive,
Suite 101, Brookfield, WI 53005
Contact: Scott Maier

Office: 262.789.6714
Cell: 262.765.0564
Email: JPorter@ksd-la.com

Project Team (cont'd):

Landscape Architect: Ken Saiki Design, Inc.
303 South Paterson
Madison, WI 53703
Contact: Joe Porter
Office: 608.251.3600
Email: JPorter@ksd-la.com

Project Overview:

114 North Bedford Street is a contextually cohesive student housing community located in Madison, Wisconsin on the busy neighborhood corner of Mifflin Street and Bedford Street. This 306,200 sf Construction Manager at Risk project plans a total of 179 units; the project is positioned to serve both the student body of the University of Wisconsin and the expanding percentage of young professionals looking for housing in this popular neighborhood. The project provides 372 beds with a planned mix of approximately 60% student / 40% young professional.

Existing Conditions:

The project site is currently occupied by a single story 14,277 sf metal commercial building and on grade surface parking. In addition, two 69,000 volt transmission lines, owned by American Transmission Company (ATC), runs under the site. Relocation of the line is cost prohibitive so the building design has been developed to accommodate ATC's access requirements.

The project zoning is Urban Mixed Use with eight stories allowable. It also falls within the Additional Height Area Map allowing two additional stories as approved by conditional use. Multi-Family Dwelling and Retail as well as the square footage requested are allowable within this zoning district.

The project is located in The Capitol Neighbors, Inc., Aldermanic District 4, Ward 40.

Lot Coverage and Open Space:

The proposed building will occupy 83% of the site – 90% coverage is allowable per zoning. The project also features a central 4,680 sf planted courtyard on the second floor and a 4,516 sf planted roof terrace on the fifth floor, both of which are available for use of project's residents.

Parking:

Two parking levels on site provide space for three types of parking: 85 typical parking spaces (exceeding the project's 71 young professional units), 17 moped or motorcycle spaces and 206 covered plus 20 exterior bike spaces for a total of 226 bike spaces.

Sustainability:

Implementing Madison's mission of environmental responsibility, 114 North Bedford Street promotes a healthy living environment for its residents and displays respect for its neighbors. The following are some of the sustainable features of the project:

- Central plant for heat and hot water.
- Use of materials with high recycled content including fiber cement board, metal panels and concrete structure.
- Preventing storm water run-off through planted rooftop terrace, planted courtyard, and street level planters including a street level bio-swale.
- Natural ventilation in the form of operable windows.
- Exceeding minimum transparency requirements to provide more natural daylighting and solar heat gain.
- Promoting public and alternative transportation with additional parking for moped/ motorcycle and limited on-site automobile spots. The project is directly adjacent to a Metro bus stop and around the corner from an inter-city bus pick up and drop off site (Kelly's Market on West Washington Avenue).
- The project is 1.5 blocks from a bike path and on a city designated bike route (Bedford Street).
- Well insulated exterior walls and roof.
- Use of durable building materials to ensure longevity without replacement and less lifetime maintenance.

Conditional Use Request:

The project is seeking two additional stories across the northwest wing of the building. The additional stories benefit the project and neighborhood in the following aspects:

- Respect existing and future development of Mifflin Street – Allows the project to respect the existing and future built environment along Mifflin Street by maintaining a four story elevation along Bedford Street. Specifically, the Bedford Street façade, which includes the townhomes and the building step-back at the fifth floor, create a four story elevation that speaks to the rooftops of the current buildings along Mifflin as well as the future redevelopment of the area east of the street (currently zoned up to four to six stories).
- Exceeding minimum transparency (glazing) requirements provides more daylight for occupants and creates a more dynamic building façade.

- Higher quality architecture – Creates the opportunity for a sculptural architectural aesthetic with a building of varying heights (four, eight, and ten stories) that are further articulated by the rhythm of the cutouts, windows, and materials. Also, a larger building allows the economy of scale to use high quality building materials and since there are more residents, more amenities will be provided.
- Complements Historic Doyle Building – Allows the ten story tower to step back significantly (25 feet from the Bedford Street façade) from the Doyle Building and to use the corner glass element to further soften the relationship to the Doyle Building. Stacked brick on the northwest side as well as the organization of the windows provide a gentle nod to the architecture of the Doyle Building.
- Greater density and height provides the opportunity for a centralized HVAC system which is more energy efficient and avoids unsightly openings to the architectural skin.

Staff and Neighborhood Input

Our team has met with Planning Staff, Alder Michael Verveer and the Neighborhood Steering Committee on numerous occasions (minutes from the meetings are available on request) and has presented twice at an informational level before the Urban Design Commission as well as met with the Landmarks Commission on an informational level. We have also met with Capitol Neighborhoods Inc. for one neighborhood meeting (minutes from the meeting are available on request); an additional neighborhood meeting is scheduled for mid-February. We will work to address the concerns of the design approach including thoughtful representation of context in reference to the West Mifflin district neighborhood and the Doyle Administration building.

The Landmark committee offered suggestions and the project team is working to follow the intent accordingly. The design identified three approaches. First, break down the overall height of the North face by using material and building projection to reflect a composition of elements similar in size to the existing Doyle building. Second, use the material selection of brick with complimentary locations and color. This project also seeks to provide continuity to the pedestrian experience along Bedford. Third, the acknowledgement of form by the architectural gestures of emulating the Doyle building curved brick wall elements seen in the rounded lobby glass corners and referencing the inset vertical window slots within brick field.

Downtown Urban Design Guidelines:

The project has addressed many of the Downtown Urban Design Guidelines and has used the guidelines as a roadmap for its inspiration.

The site is favorable to promote density on a currently underutilized site. The two main street facades, Bedford and Mifflin Streets, activate the street with townhomes, storefront lobbies, architectural canopies, planters, canopy trees, full cut-off lighting fixtures to promote a safe environment, seat walls,

benches and bike racks for guests. The active streetscape culminates at the street corner with the main lobby set off by a large canopy which includes a retail component, offices and local art displays. The parking garage entrance is located as far from the corner as possible and set back into the façade.

Along with the active streetscape features, residents will enjoy the open planted 2nd floor courtyard with active functions of table tennis, grilling areas, a fire pit and seating areas with private contemplative space. The 5th floor terrace will offer similar amenities as well as great views of the neighborhood and lakes.

Much focus was placed on the massing of the building to create a human scaled environment along the street, as well as scaling down the architectural components of the building to be in scale with other buildings in the vicinity. The building mass is reduced even further with careful articulation of the profile using step-backs and planar shifts in building materials. A sculptural skyline has been created with angled parapet profiles and varying massing heights of four, eight and ten stories. Walls are extended up to become parapets, which also conceals the mechanical equipment.

Special emphasis was given to the lower four stories with richer materials such as the storefront lobbies featuring curved glass corners, use of wood slat siding on the townhomes and brick detailed with inlaid window slots in reference to the historic Doyle building.

High quality materials with a simple palette are used for durability, texture and richness of color. The strong overall massing is complemented by a secondary composition of planar shifts, recessed slots and eroded corners and even further with a tertiary composition of window groupings and interesting articulation of panelized materials.

Although the project is not identified as a flatiron corner, the project has a similar condition where Bedford Street approaches from Dayton Street. The corner is set back to allow the four story volume and streetscape to read through at a pedestrian scale, and the corner above has been eroded away with corner glass captured within a large framed profile to empathize depth and shadow.

Project Schedule:

The project is currently scheduled to begin construction in April 2015 with completion in August 2016.

Hours of Operation:

Residential Occupancy: 24 hours per day, 7 days per week all year long.

Commercial Occupancy: 7:00am- 6:00pm

Value of Land:

\$ 3,900,000

Estimated Project Cost:

\$31,500,000

Number of Construction and Full Time Equivalent Jobs Created:

- Construction jobs: 180-200 temporary construction jobs.
- FTE jobs: 6 Full time jobs leasing, maintenance, etc.; 10 part time jobs for students.

Public Subsidy Requested:

None requested.

We appreciate your time and assistance in our efforts to provide an exceptional and integral design for the West Mifflin district neighborhood.

Sincerely,



Christopher Johnson, Sr. Project Manager
CA-Student Living
161 N. Clark St. Suite 4900
Chicago, IL 60601



Bicycle Parking Count		
	provided	required
Uncovered		
Ground Level	20	18
Covered		
Ground Level	206	199
<i>Total</i>	<i>226 (206 covered)</i>	

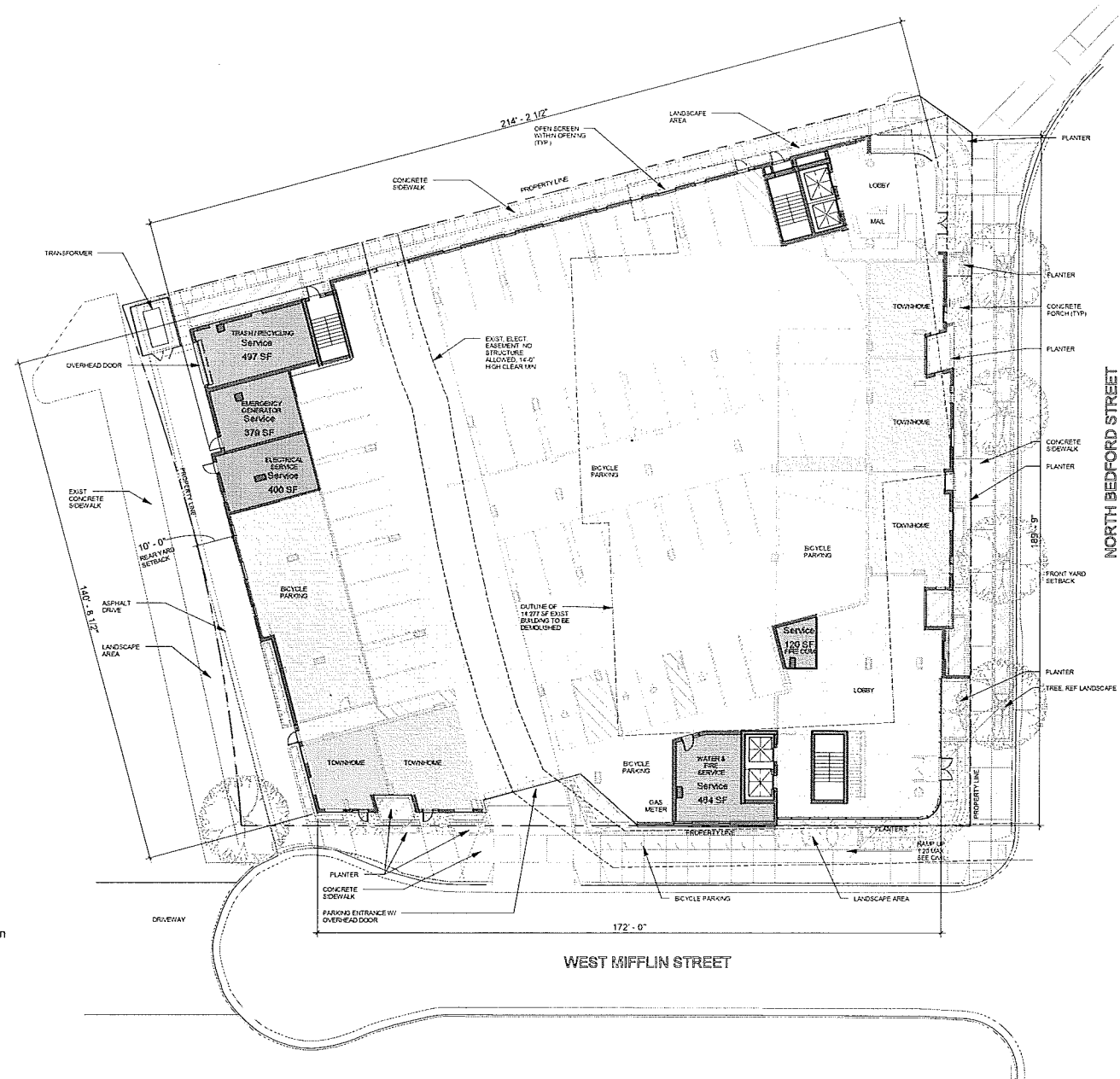
Lot Coverage (does not include courtyard or terrace)	actual	allowable
	83%	90% max

Opening Percentage:	provided	required
Ground Level		
East Residential	28%	15% Min
South Residential	28%	15% Min
E Non-Residential	50%	50% Min
S Non-Residential	50%	50% Min
Upper Levels	23%	15% Min

Building Height:	provided	allowable
Ground Level	18'-0"	18'-0" Max, 12'-0" min
Upper Levels	10'-0"	14'-0" Max
1st Floor to Roof:	98'-0"	130'-0"

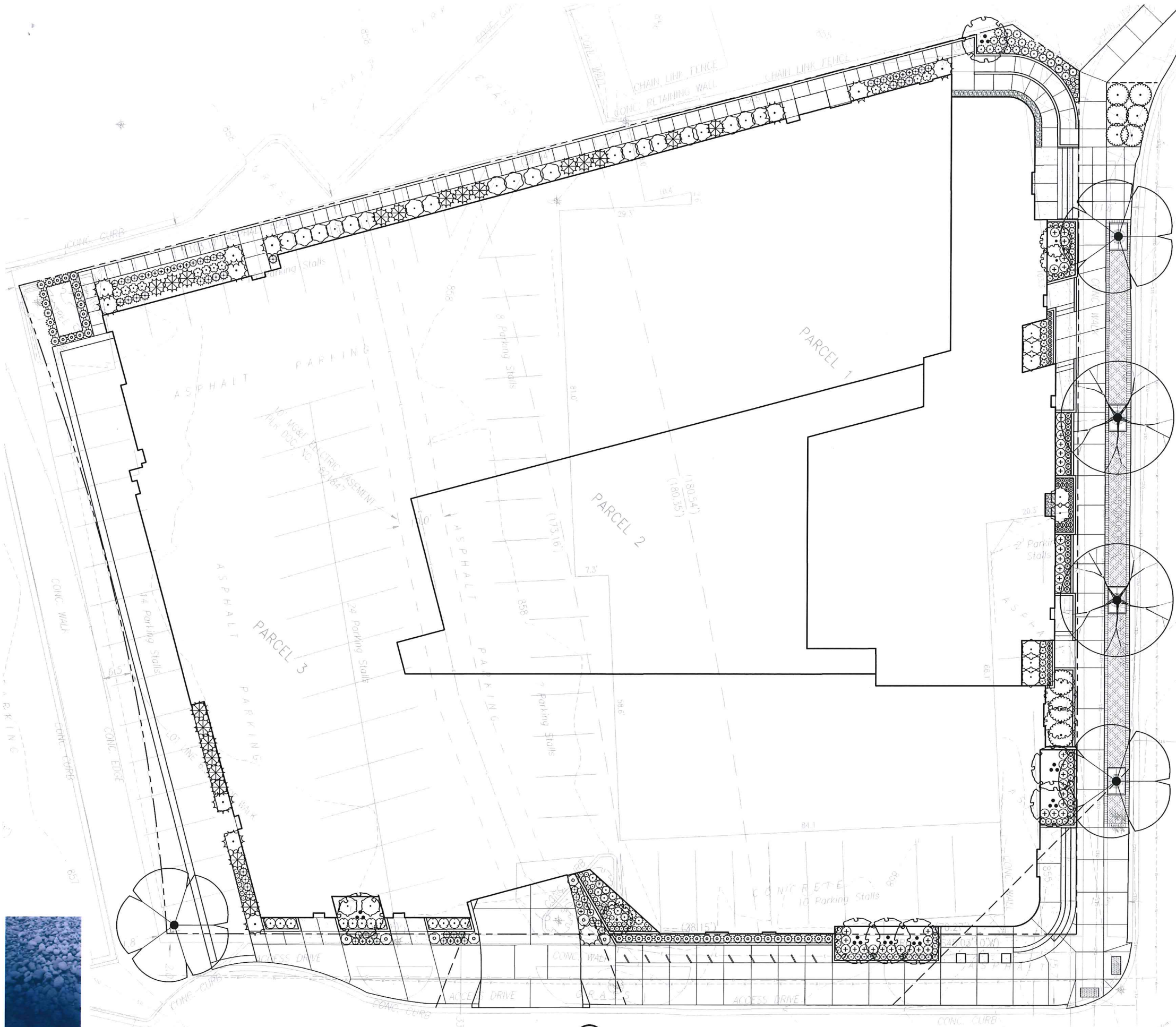
Unit Mix:		
Student:	Units	107
	Beds	267
Young Prof:	Units	72
	Beds	106

Area	
Floor Area	259,821 sf
Parking Area	36,880 sf
Outdoor Spaces	9,480 sf
Total	306,181 sf

























$$1'' = 20'-0''$$

Shepley Bulfinch

Shepley Bulfinch Richardson & Abbott | 3443 North Central Avenue, Phoenix, AZ 85012 | T:602.430.3223 | www.ShepleyBulfinch.com



PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL NAME / COMMON NAME	QTY
	ARH	Amelanchier x grandiflora 'Robin Hill' / Apple Serviceberry	7
	GAG	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	3
	GDE	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	2
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	QTY
	Aib	Aronia melanocarpa 'Iroquois Beauty' TM / Black Chokeberry	21
	Haa	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	10
	Rgl	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	9
	Rtb	Rhus typhina 'Baltiger' TM / Tiger Eyes Sumac	5
	Sbt	Spiraea betulifolia 'Tor' / Birchleaf Spirea	12
EVERGREEN SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	QTY
	Bgg	Buxus x 'Green Gem' / Green Gem Boxwood	43
	Jcs	Juniperus chinensis 'Spartan' / Spartan Juniper	21
	Jcc	Juniperus sabina 'Calgary Carpet' TM / Calgary Carpet Juniper	12
HERBACEOUS PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	QTY
	asb	Allium tanguticum 'Summer Beauty' / Summer Beauty Globe Lily	50
	asp	Astilbe chinensis 'Pumila' / Dwarf Pink Astilbe	21
	acv	Astilbe chinensis 'Visions in Red' / Chinese Astilbe	14
	cnn	Calamintha nepeta ssp. nepeta / Lesser Calamint	22
	cid	Carex x 'Ice Dance' / Ice Dance Sedge	48
	gbv	Geranium macrorrhizum 'Beven's Variety' / Beven's Variety Geranium	60
	nwl	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	7
	pls	Perovskia atriplicifolia 'Little Spire' TM / Little Spire Russian Sage	12
	saj	Sedum x 'Autumn Joy' / Autumn Joy Sedum	30
ORNAMENTAL GRASSES	CODE	BOTANICAL NAME / COMMON NAME	QTY
	ckf	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	38
	pnw	Panicum virgatum 'North Wind' / Northwind Switch Grass	16
	pvs	Panicum virgatum 'Shenendoah' / Burgundy Switch Grass	42

- NOTES:
- ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.
 - SEE CIVIL DRAWINGS FOR SITE DEMOLITION, LAYOUT AND GRADING.
 - SEE CIVIL DRAWINGS FOR INFORMATION PERTAINING TO STORMWATER MANAGEMENT.
 - CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4891) AT LEAST ONE WEEK PRIOR TO FORMING CONCRETE AND CONSTRUCTING TREE GRATES TO DETERMINE TREE LOCATIONS.
 - CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4891) AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

MADISON STUDENT HOUSING

PRELIMINARY ENGINEERING PLANS

114 NORTH BEDFORD STREET MADISON, WI 53709

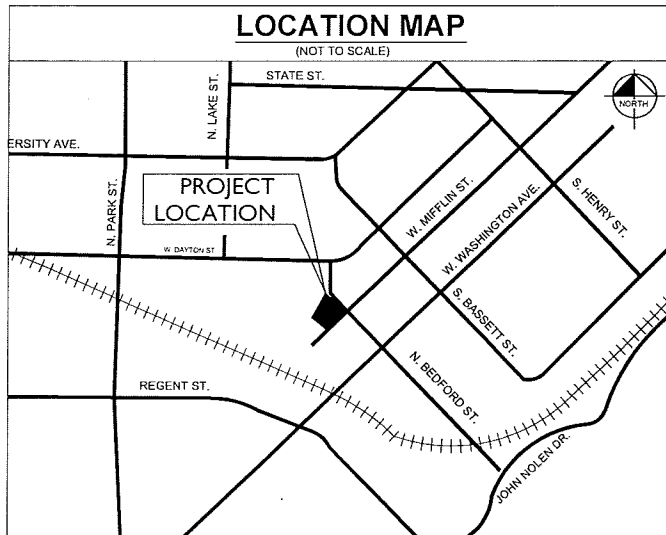
PROJECT TEAM

OWNER
CA STUDENT LIVING HOLDINGS, LLC
161 NORTH CLARK, SUITE 4900
CHICAGO, IL 60601
TEL: (312) 994-0868
CONTACT: CHRISTOPHER JOHNSON

CIVIL ENGINEER
KIMLEY-HORN
200 SOUTH EXECUTIVE DRIVE, SUITE 101
BROOKFIELD, WI 53005
TEL: (262) 789-6714
CONTACT: SCOTT MAIER

LANDSCAPE ARCHITECT
KEN SAIKI DESIGN
303 S. PATERSON STREET, SUITE 1
MADISON, WI 53703
TEL: (608) 251-3600
CONTACT: JOE PORTER

ARCHITECT
SHELPLEY BULFINCH
3443 NORTH CENTRAL AVENUE
PHOENIX, AZ 85012
TEL: (602) 507-4436
CONTACT: TOM CHINNOCK



INDEX OF SHEETS

Sheet Number	Sheet Title
C1.0	COVER SHEET
C2.0	EXISTING CONDITIONS PLAN
C3.0	DEMOLITION PLAN
C4.0	SITE PLAN
C5.0	EROSION CONTROL PLAN
C6.0	GRADING PLAN
C7.0	DRAINAGE PLAN
C8.0	UTILITY PLAN
C9.0	GENERAL NOTES
C10.0	CONSTRUCTION DETAILS
C10.1	CONSTRUCTION DETAILS
C11.0	PHOTOMETRIC PLAN

LEGAL DESCRIPTION

LEGAL DESCRIPTION

Parcel 1:

A parcel of land, being part of Outlot 6 in University Addition to City of Madison, described as follows: Commencing at the point of intersection of the South line of West Dayton Street and the West line of North Bedford Street; thence southerly along the aforementioned West line of North Bedford Street 253.6 feet to the point of beginning and the corner of the property conveyed by the Illinois Central Railroad Company to the City of Madison under Document No. 622355, recorded in Vol. 397, Page 257, of Warranty Deeds on July 24, 1939; thence South 45 degrees 00'00" East, an assumed bearing along the southwesterly line of Bedford Street, 66 feet in width, 190.57 feet to the intersection of the northwesterly line of West Mifflin Street, 66 feet in width; thence South 45 degrees 03'10" West along the aforementioned northwesterly line of West Mifflin Street 70.27 feet to a point on curve and 9.00 feet from the centerline of the most northerly track of the Illinois Central Gulf Railroad and measured at right angles thereto; thence continuing by the arc of a circle to the left on a line parallel to and 9.00 feet from the centerline of said track, having a radius of 1123.79 feet, a chord bearing North 56 degrees 57'21" West, a distance of 180.54 feet to a point on curve; thence North 30 degrees 18'20" East along the line of property described in aforementioned Document No. 622355 a distance of 96.02 feet to another point described in said Document No. 622355; thence North 79 degrees 56'20" East along same aforementioned property 18.00 feet to the point of beginning.

Parcel 2:

Part of the SW 1/4 of the NE 1/4 and the SE 1/4 of the NW 1/4 of Section 23 T7N, R9E, in the City of Madison, described as follows: Commencing at the point of intersection of the South line of West Dayton Street and the West line of North Bedford Street; thence South 1 degree 06'40" East, 253.60 feet; thence South, 79 degrees 56'20" West, 18.00 feet; thence South 30 degrees 18'20" West, 96.02 feet to the point of beginning, said point being the Southwest corner of property previously conveyed to grantee by deed dated August 1, 1969; thence southeasterly on a curve to the right having a radius of 1123.79 feet and a chord which bears South 56 degrees 57'21" East, 180.35 feet; thence South 45 degrees 03'10" West, 28.15 feet to a point on a curve; thence northwesterly on a curve to the left having a radius of 1100.88 feet and a chord which bears North 57 degrees 04'26" West, 173.16 feet; thence North 30 degrees 18'20" East, 27.93 feet to the point of beginning.

Parcel 3:

A part of Outlot 6, University Addition to the City of Madison, described as follows: Commencing at the intersection of the southerly line of Bedford Street and the westerly line of West Mifflin Street; thence South 45 degrees 03'10" West, 98.42 feet to the point of beginning; thence continuing South 45 degrees 03'10" West, 102.74 feet to a chiseled hole in concrete and a point of curve; thence Northwesterly on a curve to the left which has a radius of 468.79 feet and a chord which bears North 56 degrees 27'47" West, 115.79 feet to a point of compound curve; thence Northwesterly on a curve to the left which has a radius of 1,795.35 feet and a chord which bears North 64 degrees 05'16" West, 31.50 feet; thence North 30 degrees 18'20" East, 103.17 feet to a point of curve; thence southeasterly on a curve to the right which has a radius of 1,100.88 feet and a chord which bears South 57 degrees 04'26" East, 173.16 feet to the point of beginning.

Kimley»Horn
© 2014 KIMLEY-HORN AND ASSOCIATES, INC.
200 SOUTH EXECUTIVE DRIVE, SUITE 101
BROOKFIELD, WI 53005
PHONE: 262-789-6714
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: SEM
DRAWN BY: LS
CHECKED BY: SEM

NOT FOR
CONSTRUCTION



COVER SHEET

MADISON STUDENT
HOUSING

ORIGINAL ISSUE:
11/18/2014
KHA PROJECT NO.
168299000
SHEET NUMBER

C1.0

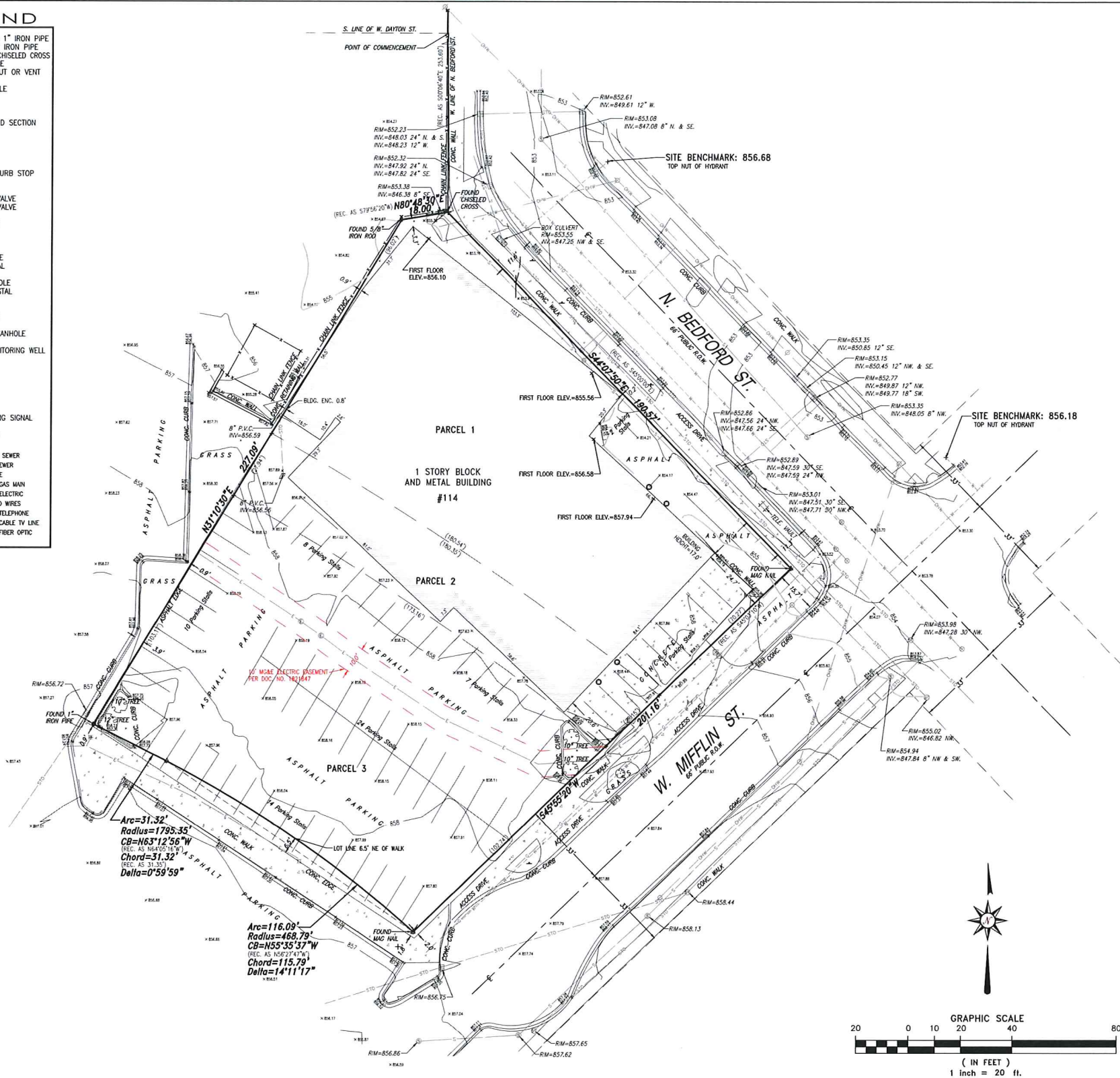
2nd UDC SUBMITTAL
REVISIONS
No. DATE BY

03/04/15
SEM

Drawing name: K:\GIS\GIS\16299000_Madison_Student_Housing_W12 Design CAD\PlanSheets\C2.0 - EXISTING CONDITIONS PLAN.dwg C2.0 Mar 03, 2015 9:03am by: Scott Moler
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

LEGEND

- INDICATES FOUND 1" IRON PIPE
 - INDICATES SET 1" IRON PIPE
 - + INDICATES FOUND CHISELED CROSS
 - SANITARY MANHOLE
 - SANITARY CLEANOUT OR VENT
 - M.I.S. MANHOLE
 - UNKNOWN MANHOLE
 - STORM MANHOLE
 - INLET (ROUND)
 - INLET (SQUARE)
 - STORM SEWER END SECTION
 - GAS VALVE
 - GAS METER
 - WATER VALVE
 - HYDRANT
 - WATER MANHOLE
 - WATER SERVICE CURB STOP
 - WELL HEAD
 - STAND PIPE
 - WALL INDICATOR VALVE
 - POST INDICATOR VALVE
 - LIGHT POLE
 - SPOT/YARD LIGHT
 - UTILITY POLE
 - GUY POLE
 - GUY WIRE
 - ELECTRIC MANHOLE
 - ELECTRIC PEDESTAL
 - ELECTRIC METER
 - TELEPHONE MANHOLE
 - TELEPHONE PEDESTAL
 - CABLE PEDESTAL
 - CONTROL BOX
 - FIBER OPTIC SIGN
 - TRAFFIC LIGHT
 - COMMUNICATION MANHOLE
 - BOLLARD
 - SOIL BORING/MONITORING WELL
 - WATER SURFACE
 - WETLANDS FLAG
 - MARSH
 - FLAGPOLE
 - PARKING METER
 - SIGN
 - MAILBOX
 - RAILROAD CROSSING SIGNAL
 - HANDICAP SPACE
 - CONIFEROUS TREE
 - DECIDUOUS TREE
- SANITARY SEWER
 - STORM SEWER
 - WATERLINE
 - MARKED GAS MAIN
 - MARKED ELECTRIC
 - OVERHEAD WIRES
 - MARKED TELEPHONE
 - MARKED CABLE TV LINE
 - MARKED FIBER OPTIC
 - FENCE



PLAT OF SURVEY WITH TOPOGRAPHIC DATA

CLIENT

Phoenix Too, LLC

SITE ADDRESS

114 North Bedford Street, City of Madison, Dane County, Wisconsin.

LEGAL DESCRIPTION

Parcel 1:

A parcel of land, being part of Outlot 6 in University Addition to City of Madison, described as follows: Commencing at the point of intersection of the South line of West Dayton Street and the West line of North Bedford Street; thence southerly along the aforementioned West line of North Bedford Street 253.6 feet to the point of beginning and the corner of the property conveyed by the Illinois Central Railroad Company to the City of Madison under Document No. 622355, recorded in Vol. 397, Page 257, of Warranty Deeds on July 24, 1939; thence South 45 degrees 00'00" East, an assumed bearing along the southwesterly line of Bedford Street, 66 feet in width, 190.57 feet to the intersection of the northwesterly line of West Mifflin Street, 66 feet in width; thence South 45 degrees 03'10" West along the aforementioned northwesterly line of West Mifflin Street 70.27 feet to a point on curve and 9.00 feet from the centerline of the most northerly track of the Illinois Central Gulf Railroad and measured at right angles thereto; thence continuing by the arc of a circle to the left on a line parallel to and 9.00 feet from the centerline of said track, having a radius of 1123.79 feet, a chord bearing North 56 degrees 57'21" West, a distance of 180.54 feet to a point on curve; thence North 30 degrees 18'20" East along the line of property described in aforementioned Document No. 622355 a distance of 96.02 feet to another point described in said Document No. 622355; thence North 79 degrees 56'20" East along same aforementioned property 18.00 feet to the point of beginning.

Parcel 2:

Part of the SW 1/4 of the NE 1/4 and the SE 1/4 of the NW 1/4 of Section 23 T7N, R9E, in the City of Madison, described as follows: Commencing at the point of intersection of the South line of West Dayton Street and the West line of North Bedford Street; thence South 1 degree 06'40" East, 253.60 feet; thence South, 79 degrees 56'20" West, 18.00 feet; thence South 30 degrees 18'20" West, 96.02 feet to the point of beginning, said point being the Southwest corner of property previously conveyed to grantee by deed dated August 1, 1969; thence southeasterly on a curve to the right having a radius of 1123.79 feet and a chord which bears South 56 degrees 57'21" East, 180.35 feet; thence South 45 degrees 03'10" West, 28.15 feet to a point on a curve; thence northwesterly on a curve to the left having a radius of 1100.88 feet and a chord which bears North 57 degrees 04'26" West, 173.16 feet; thence North 30 degrees 18'20" East, 27.93 feet to the point of beginning.

Parcel 3:

A part of Outlot 6, University Addition to the City of Madison, described as follows: Commencing at the intersection of the southerly line of Bedford Street and the westerly line of West Mifflin Street; thence South 45 degrees 03'10" West, 98.42 feet to the point of beginning; thence continuing South 45 degrees 03'10" West, 102.74 feet to a chiseled hole in concrete and a point of curve; thence Northwesterly on a curve to the left which has a radius of 458.79 feet and a chord which bears North 56 degrees 27'47" West, 115.79 feet to a point of compound curve; thence Northwesterly on a curve to the left which has a radius of 1,795.35 feet and a chord which bears North 64 degrees 05'16" West, 31.50 feet; thence North 30 degrees 18'20" East, 103.17 feet to a point of curve; thence southeasterly on a curve to the right which has a radius of 1,100.88 feet and a chord which bears South 57 degrees 04'26" East, 173.16 feet to the point of beginning.

LAND AREA

The Land Area of the subject property is 37,761 square feet or 0.8669 acres.

BASIS OF BEARINGS

Bearings are referenced to the Wisconsin County Coordinate System, in which the East line of the NW 1/4 bears N00°00'50"E.

VICINITY MAP



I certify that I have surveyed the above described property (Property), and the above map is correct to the best of my professional knowledge and belief and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements and roadways and visible encroachments, if any. This survey is made for the exclusive use of the present owners of the Property, and also those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

Date: January 29, 2015

CHAPUT LAND SURVEYS, LLC
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com



Drawing No. 1915-grb

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200 SOUTH EXECUTIVE DRIVE, SUITE 101
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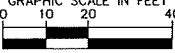
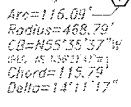
EXISTING
CONDITIONS
PLAN

MADISON STUDENT
HOUSING

ORIGINAL ISSUE:
11/18/2014
KHA PROJECT NO.
168299000
SHEET NUMBER

C2.0

SURVEY BY: CHAPUT LAND SURVEYORS, LLC.
DATED: 01/29/2015



DEMOLITION NOTES

GENERAL DEMOLITION NOT

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
5. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER TO MINIMIZE ANY IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING WSDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
6. QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
7. PRIOR TO BIDDING AND CONSTRUCTION, CONTRACTOR TO REFER TO OWNER PROVIDED PHASE I ENVIRONMENTAL SITE ASSESSMENT AND ASBESTOS REPORT FOR SITE SPECIFIC CONDITIONS AND CONSIDERATIONS.
8. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL MAINTAIN MINIMUM INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
9. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION. REFER TO SHEET C5.0.
10. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
11. PRESERVE EXISTING GAS, STORM SEWER, SANITARY SEWER, TELEPHONE, AND WATERMAIN LINES WITHIN THE ADJACENT STREET RIGHT AWAY. USE EXTREME CAUTION WHEN EXCAVATING NEAR THESE UTILITIES SO THERE IS NO DISRUPTION IN SERVICE.
12. CONTRACTOR TO NOTIFY ADJACENT PROPERTY OWNERS AT LEAST 48 HOURS PRIOR TO STARTING DEMOLITION OR GRADING ACTIVITIES.
13. ALL EXISTING BEDFORD AND MIFLIN STREET SIGNAGE SHALL REMAIN.

DEMOLITION NOTES:

THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN. FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICE NECESSARY TO COMPLETE THE WORK. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:

- SIDEWALK AND ON-SITE PAVEMENT
- DEBRIS AND FOUNDATIONS FROM ALL DEMOLISHED STRUCTURES
- ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.

CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.

DISPOSAL OF DEMOLISHED MATERIALS

REMOVE FROM SITE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE. TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND DISPOSE OF OFF SITE IN A LEGAL MANNER.

LANDSCAPE PROTECTION AND REMOVAL

SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION,
PRESERVATION AND REMOVAL.

UTILITY SERVICES

EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE EXPOSED IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF UTILITIES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH PA-1 OR EQUIVALENT. CONTRACTOR SHALL REMOVE UTILITIES TO BE REMOVED AND BACKFILL WITH COMPACTED MATERIAL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITH PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY WITH UNPAVED AREAS. CONTRACTOR SHALL MEET THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.










UTILITY PROTECTION

UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASSES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL "DIGGERS TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING ANY CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL UTILITIES COMPANIES IMMEDIATELY. CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGE TO EXISTING STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR. ANY DAMAGE NOT CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.

POLLUTION CONTROLS

USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.


DEMOLITION LEGEND

- | | | |
|---|---|--|
| A |  | ITEM TO REMAIN, PROTECT DURING CONSTRUCTION |
| B |  | CURB REMOVAL |
| C |  | WALL/FENCE/UTILITY REMOVAL |
| D |  | PAYEMENT REMOVAL |
| E |  | ITEM/STRUCTURE TO BE REMOVED |
| F |  | ITEM TO BE RELOCATED |
| G |  | SAWCUT LINE, PROVIDE SMOOTH CONSTRUCTION JOINT |
| H |  | BUILDING DEMOLITION |
| I |  | TEMPORARY CONSTRUCTION SAFETY FENCE |

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SCALE:	AS NOTED
DESIGNED BY:	SEM
DRAWN BY:	LS
CHECKED BY:	SEM

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3A VENTURES
 SeedStart Capital | PreSeedCapital | Office
 Hospitality | Senior Living

DEMOLITION
PLANMADISON STUDENT
HOUSING

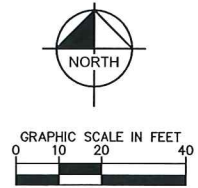
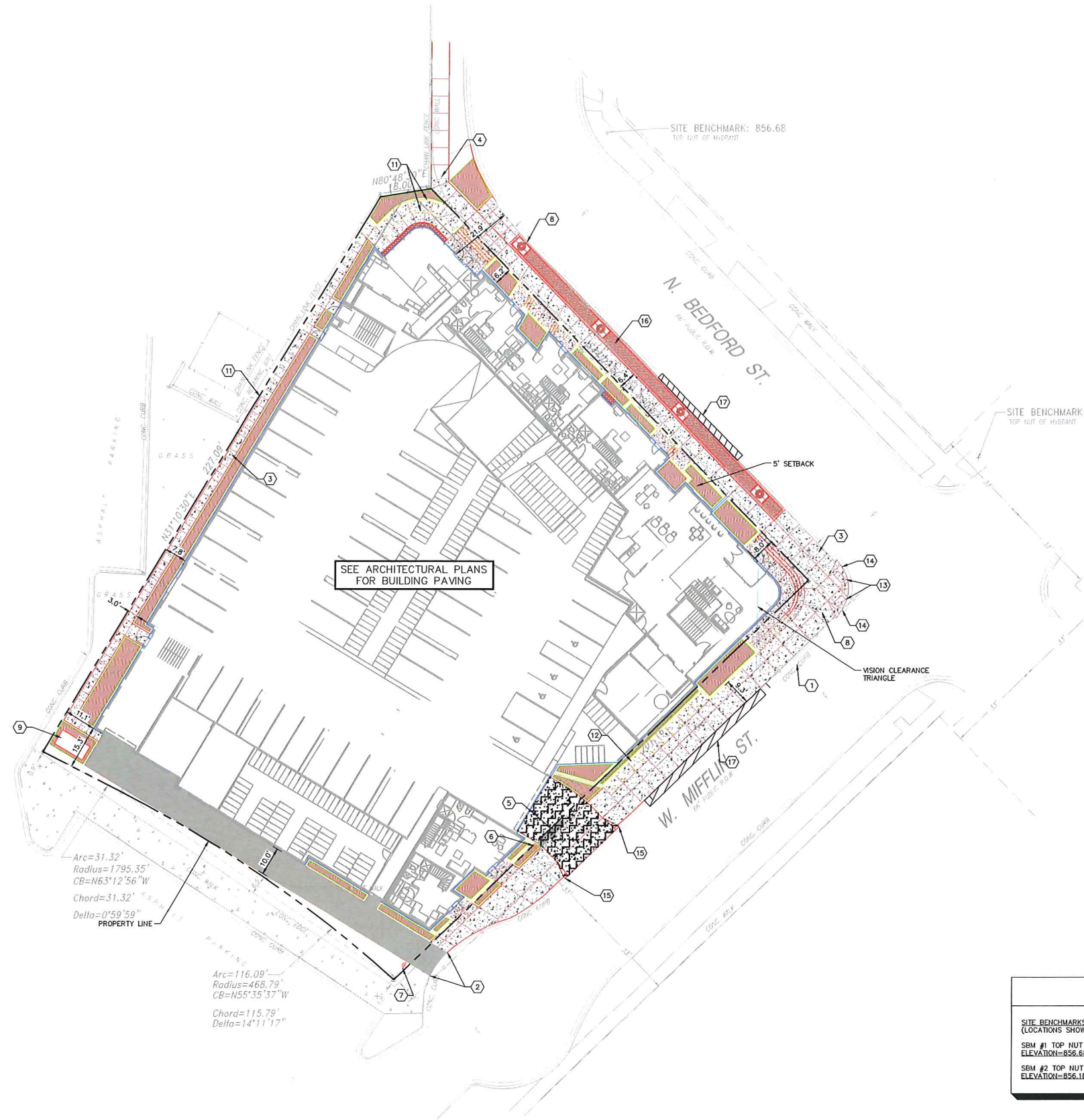
ORIGINAL ISSUE:
11/18/2014

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168299000

SHEET NUMBER

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Drawing name: K:\CHS_LIVE\168299000_Madison_Student_Housing_W3_Design\CAUD\Site\Sheet\CA4.0 - SITE PLAN.dwg C4.0 Mar 03, 2015 9:04am By: Scott Miller
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GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.

KEY NOTES

- 1 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- 2 MOUNTABLE CURB AND GUTTER (SEE MADISON DETAIL)
- 3 CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- 4 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 5 24" WIDE STOP BAR, TYP. (SEE DETAILS)
- 6 STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
- 7 "SERVICE VEHICLES ONLY" SIGN
- 8 EXISTING SIGN TO BE RELOCATED
- 9 TRANSFORMER PAD (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 10 LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLANS)
- 11 CONCRETE SIDEWALK RAMP
- 12 BIKE RACK (SEE LANDSCAPE PLAN FOR DETAILS) (TYP.)
- 13 2' WIDE TACTILE WARNING STRIP
- 14 PEDESTRIAN CURB RAMP (SEE DETAILS)
- 15 TRANSITION CURB FROM 0"-6" CURB
- 16 EXISTING STREET LIGHT TO BE RELOCATED
- 17 SAWCUT EXISTING DRIVEWAY, CONSTRUCT NEW CURB AND GUTTER

PAVING AND CURB LEGEND

- | | |
|--|--|
| | LANDSCAPE PAVERS
SEE LANDSCAPE PLANS FOR DETAILS |
| | HEAVY DUTY ASPHALT PAVEMENT
PER GEOTECHNICAL SPECIFICATIONS |
| | CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
*SEE LANDSCAPE PLANS FOR SCOURING PATTERN |
| | HEAVY DUTY CONCRETE PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
*SEE ARCHITECTURAL PLANS FOR SCOURING PATTERN |
| | LANDSCAPE AREA
SEE LANDSCAPE PLANS |

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)
SBM #1 TOP NUT OF FIRE HYDRANT NORTH OF SITE ACROSS NORTH BEDFORD ST.
ELEVATION=856.68
SBM #2 TOP NUT OF FIRE HYDRANT EAST OF SITE ACROSS NORTH BEDFORD ST.
ELEVATION=856.18

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SCALE: AS NOTED
DESIGNED BY: SEM
DRAWN BY: LS
CHECKED BY: SEM

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CA VENTURES
Suzanne Luning, Principal / Officer
Mobility / Street Lining

SITE PLAN

MADISON STUDENT
HOUSING

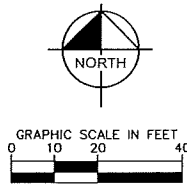
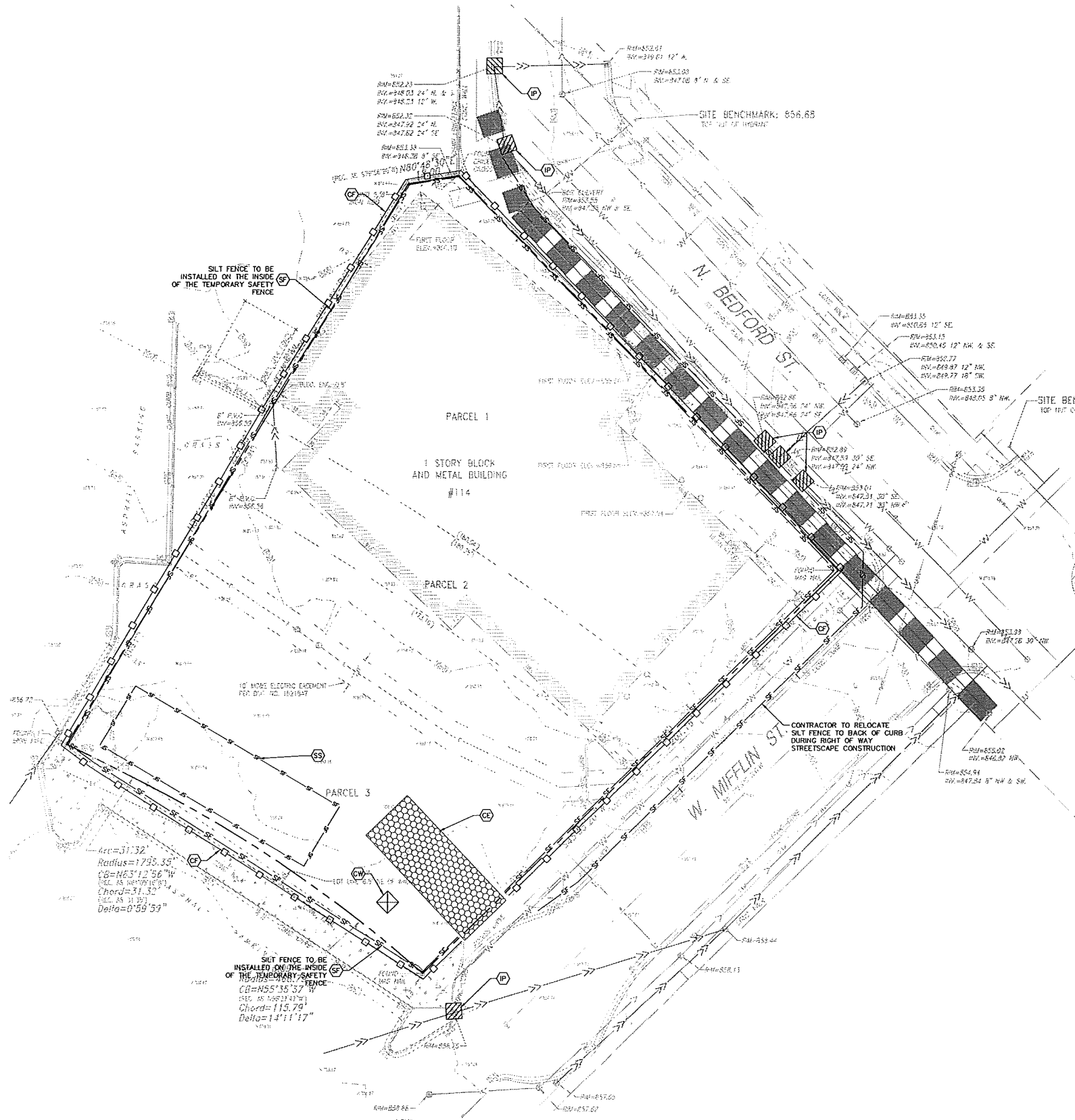
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NO.	REVISIONS	DATE	BY
1	2nd JDC SUBMITTAL	03/04/15	SEM

Drawn by: KAC/DE/DA/20200202/Student_Housing_MH3 Design (CADD) Project/Sheet C5.0 - EROSION CONTROL PLAN.dwg C5.0 Mar 03, 2015 3:04pm by: Scott/ader
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EROSION CONTROL LEGEND

	CE CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
	SF SILT FENCE (SEE EROSION CONTROL DETAILS)
	IP PAVED AREA INLET PROTECTION (SEE EROSION CONTROL DETAILS)
	CW CONCRETE WASHOUT (TO BE DETERMINED BY CONTRACTOR)
	SS TEMPORARY SOIL STOCKPILE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	DB DEWATERING BAG (IF NEEDED) (SEE EROSION CONTROL DETAILS)
	CF CONSTRUCTION FENCE

EROSION CONTROL NOTES

- SITE GENERAL NOTES**
- CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO CONFORM WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
 - POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
 - TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
 - BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE, SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
- TEMPORARY EROSION CONTROL NOTES**
- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
 - ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE DRAINAGE UTILITY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
 - PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED. ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
 - PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
 - ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
 - ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGEWAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
 - ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE, LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
 - SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY, AS REQUIRED BY THE WOPES PERMIT NO. W-5067831-4 PROGRAM REQUIREMENTS.
 - PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
 - SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLAN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR ADMINISTRATOR.
 - STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES. MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.
 - ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
 - WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.

EROSION CONTROL SCHEDULE AND SEQUENCING:

- | | |
|--|--|
| I. ROUGH GRADING | CONSTRUCTION ENTRANCE/EXIT, SILT FENCE PROTECTION, CONCRETE WASHOUT AREA AND TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING. AS NEEDED, TEMPORARY EROSION CONTROL MEASURES TO BE INSTALLED UPON COMPLETION OF ROUGH GRADING AND AS NECESSARY THROUGHOUT CONSTRUCTION. |
| II. UTILITY INSTALLATION | ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION. STORM STRUCTURE INLET PROTECTION SHALL BE INSTALLED AS STORM DRAINAGE SYSTEM IS CONSTRUCTED. |
| III. PAVING | ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT. |
| IV. FINAL GRADING/SOIL STABILIZATION/LANDSCAPING | ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE LOCAL MUNICIPALITY. |

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VENTURES
Sustainable Living, Professional Office
Hospitality Director Living

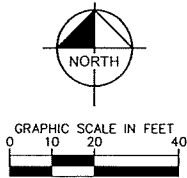
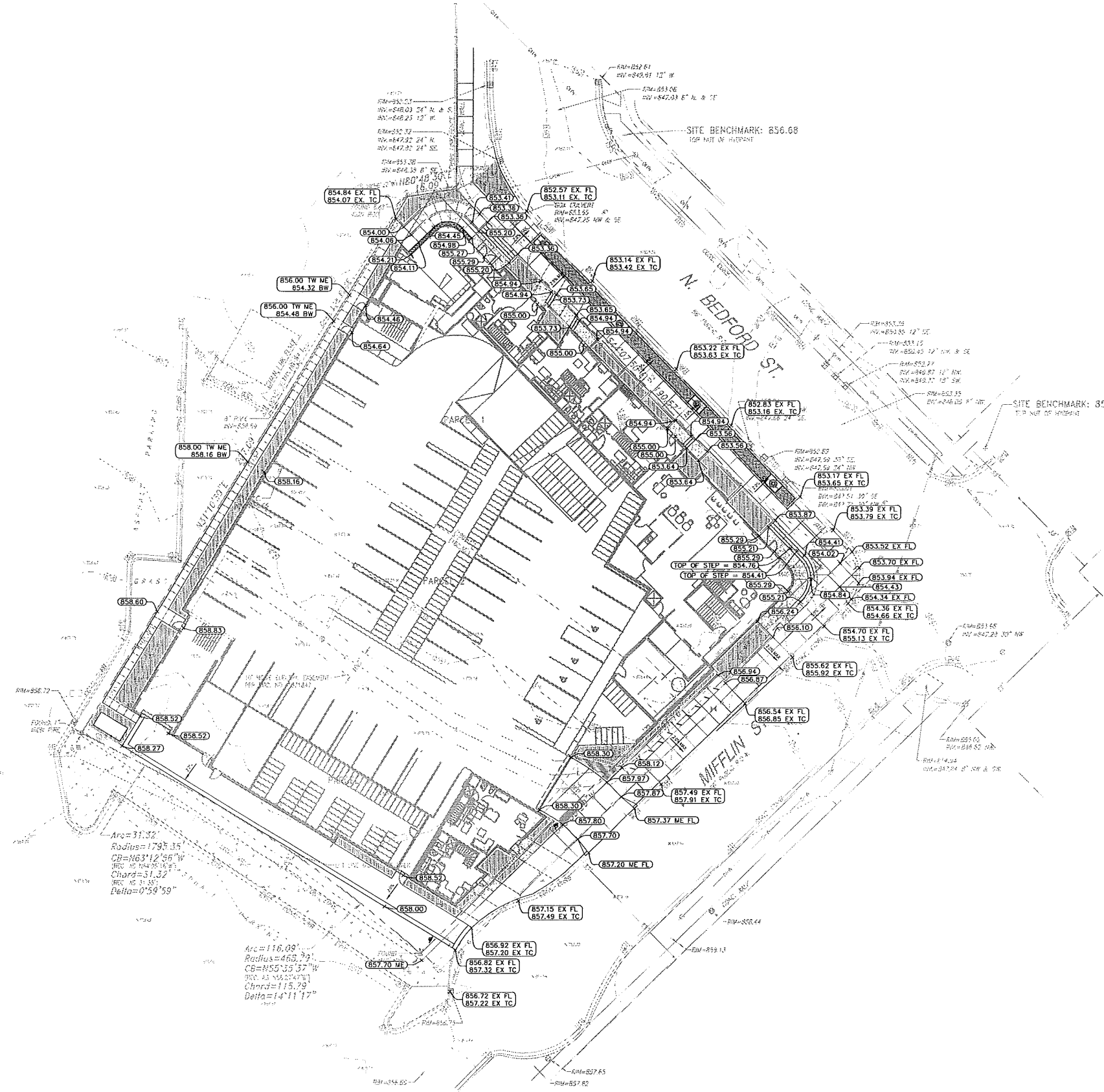
EROSION
CONTROL PLAN

MADISON STUDENT
HOUSING

ORIGINAL ISSUE:
11/18/2014
KHA PROJECT NO.
168299000
SHEET NUMBER

C5.0

Drawn by: K:\045\045\168299000_Madison_Student_Housing_M33_Design\045\168299000_PlanSheet\060 - GRADING PLAN.dwg Date: 03/04/15 09:44am by: Scott Miller
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GRADING NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
4. NO EARTHEN SLOPE SHALL BE GREATER THAN 4:1, UNLESS OTHERWISE NOTED.
5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.
9. PROPOSED CONTOURS ARE NOT SHOWN ON THIS FOR CLARITY PURPOSES.

UTILITY LEGEND

- | | |
|--|-----------------------------|
| | EX. HYDRANT |
| | EX. WATER VALVE |
| | EX. SANITARY SEWER MANHOLE |
| | EX. SANITARY SEWER CLEANOUT |
| | EX. STORM MANHOLE |
| | EX. STORM CATCH BASIN/INLET |
| | EX. GAS METER |
| | EX. LIGHT POLE |
| | PROPOSED STORM STRUCTURE |
| | PROPOSED SANITARY MANHOLE |
| | PROPOSED SANITARY CLEANOUT |
| | PROPOSED WATER STRUCTURE |
| | PROPOSED LIGHT POLE |

GRADING LEGEND

- | | |
|--|--------------------------|
| | EP = EDGE OF PAVEMENT |
| | TC = TOP OF CURB |
| | ME = MATCH ELEVATION |
| | TF = TOP OF FOUNDATION |
| | R = RIM ELEVATION |
| | TW = TOP OF WALL |
| | BW = BOTTOM OF WALL |
| | FL = FLOW LINE |
| | PROPOSED CONTOUR |
| | RI = RIDGE LINE |
| | SLOPE AND FLOW DIRECTION |

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VENTURES
Housing & Student Living

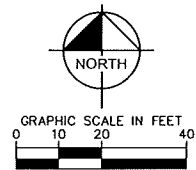
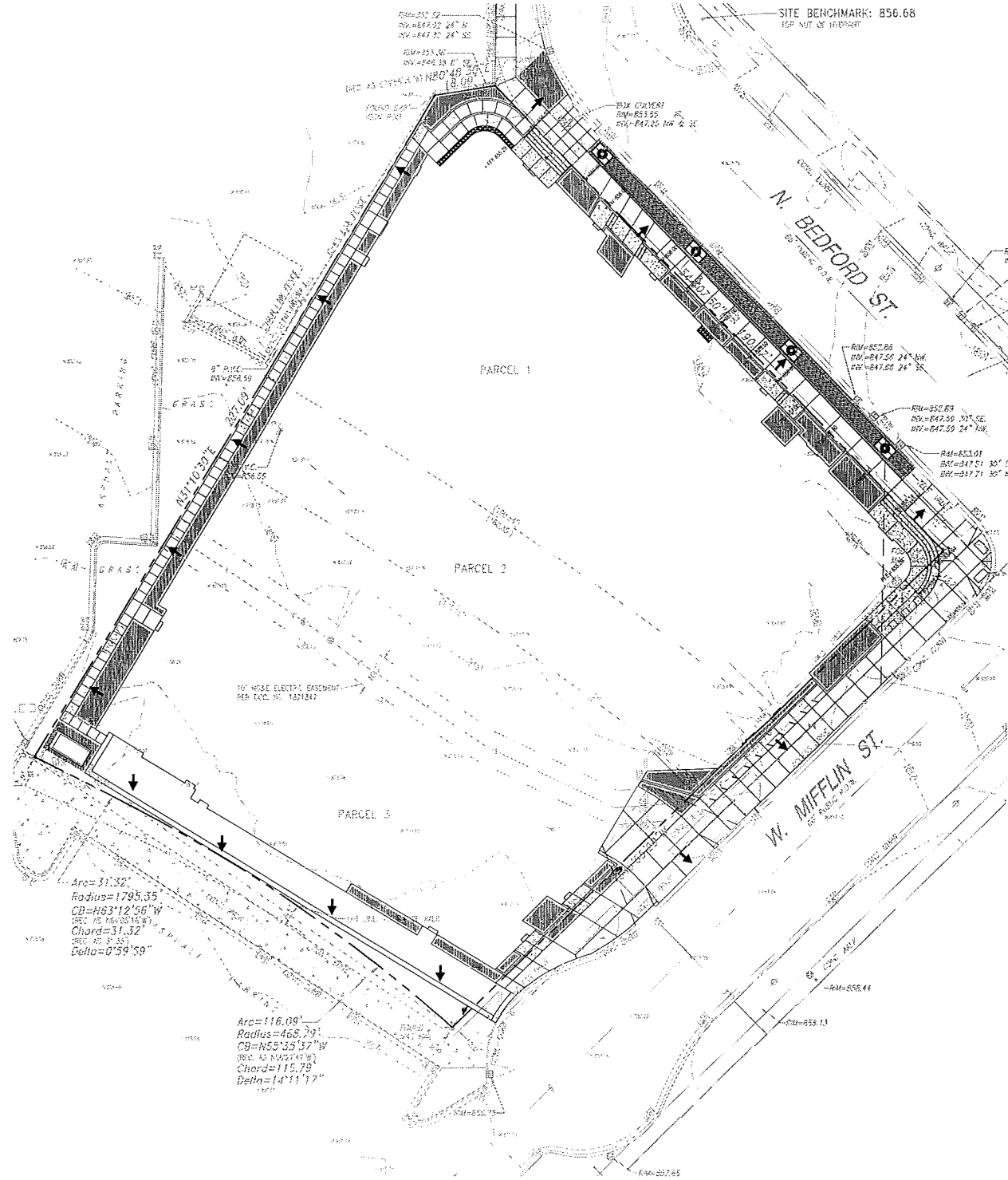
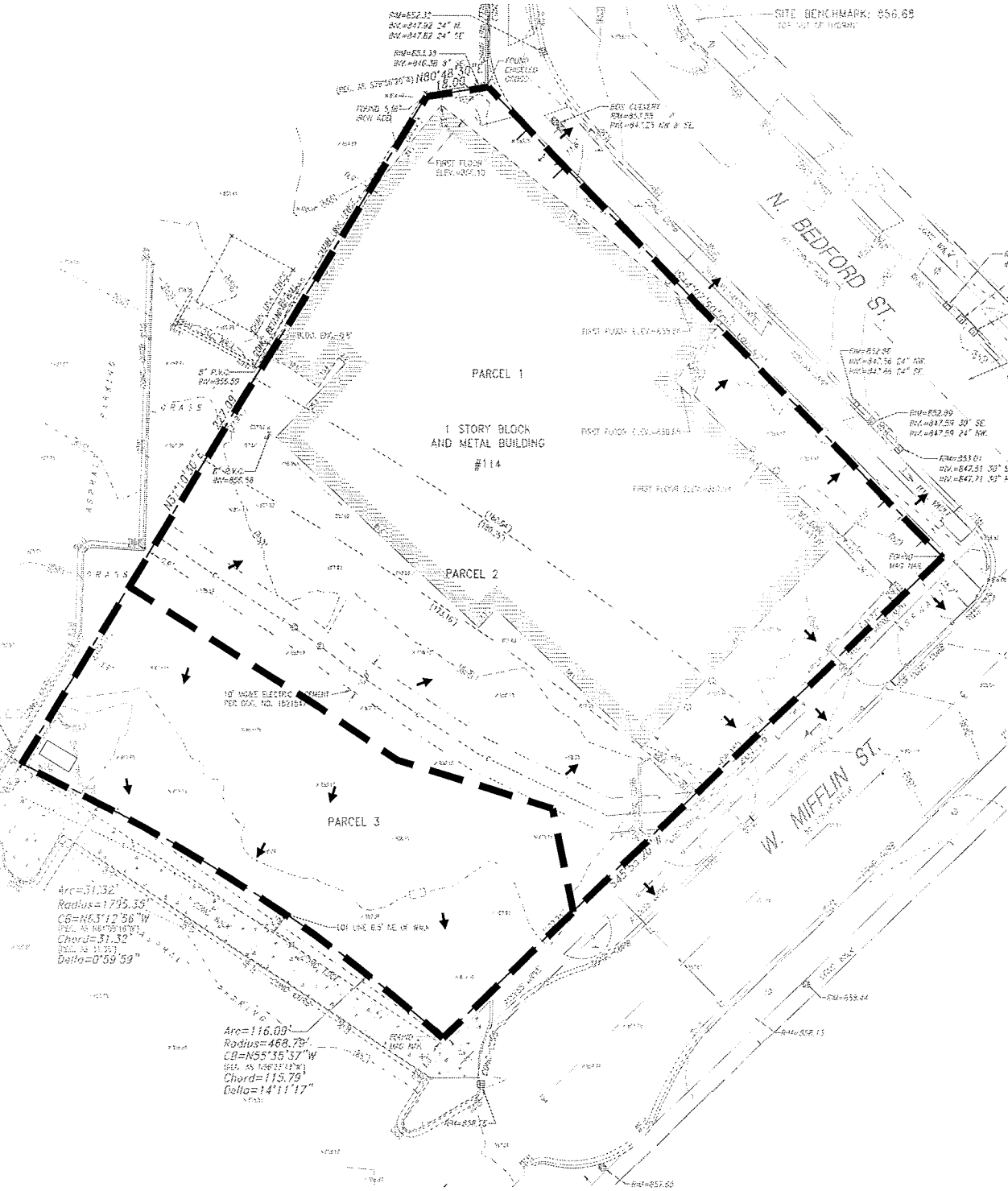
GRADING PLAN

MADISON STUDENT HOUSING

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168299000
SHEET NUMBER

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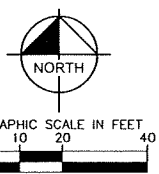
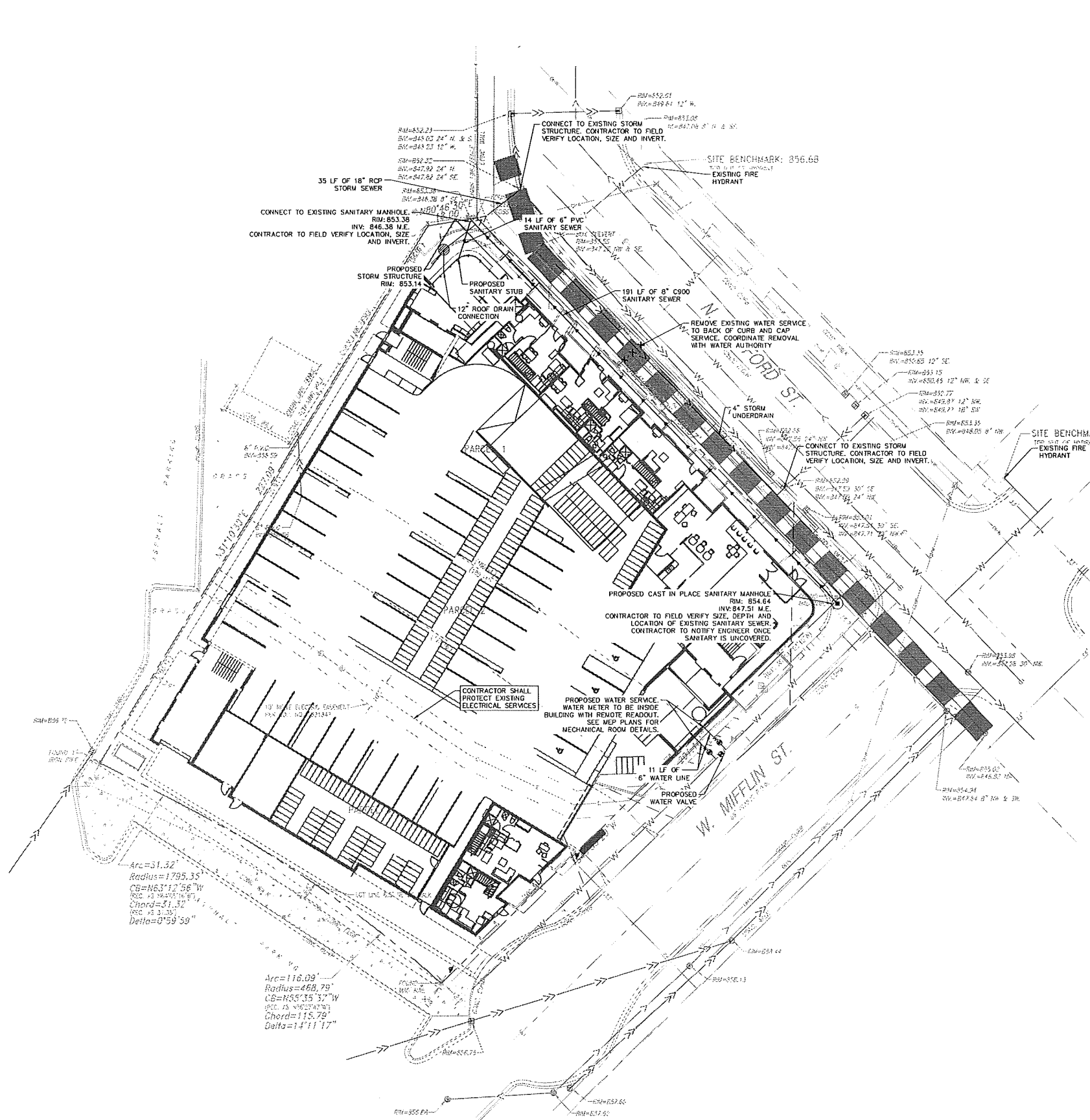
DRAINAGE PLAN

MADISON STUDENT
HOUSING

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168299000
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Drawing name: K:\CHS_LIVE\168299000_Madison_Student_Housing_MAD3_Design\CAD\DWG\PlotSheet\C8.0 - UTILITY PLANNING.dwg C8.0 - Nov 03, 2015 9:08am by: Southside
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UTILITY LEGEND

	EX. WATER LINE
	EX. HYDRANT
	EX. WATER VALVE
	EX. SANITARY SEWER LINE
	EX. SANITARY SEWER MANHOLE
	EX. SANITARY SEWER CLEANOUT
	EX. STORM DRAIN LINE
	EX. STORM MANHOLE
	EX. STORM STRUCTURE/INLET
	EX. GAS LINE
	EX. GAS METER
	EX. UNDERGROUND ELECTRIC LINE
	EX. UNDERGROUND TELEPHONE LINE
	EX. LIGHT POLE
	PROPOSED UNDERGROUND ELECTRIC LINE
	GAS LINE (BY GAS COMPANY)
	PROPOSED PHONE LINE
	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEE NAH R-2540) (GRASS USE NEE NAH R-4340-B BEEHIVE)
	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEE NAH R-1772) (GRASS USE NEE NAH R-1786)
	PROPOSED OPEN LID CURB STRUCTURE (B6.12 C&G USE NEE NAH R-3281-A)
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED VALVE VAULT
	PROPOSED VALVE BOX
	PROPOSED FIRE HYDRANT
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMER PAD (BY OTHERS)

UTILITY NOTES

GENERAL UTILITY NOTES

- ALL WATER LINES SHALL BE DUCTILE IRON PIPE, CLASS 52 WITH 72" MINIMUM COVER PER STATE AND LOCAL SPECS.
- ALL SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 60" MINIMUM COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- CONTRACTOR TO CALL "DIGGERS HOTLINE" (1-800-242-8511) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE CITY OF MADISON SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
- ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
- LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
- SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.
- STORMWATER FACILITIES MUST BE FUNCTIONAL BEFORE BUILDING CONSTRUCTION BEGINS.

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UTILITY PLAN

MADISON STUDENT HOUSING

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Drawing name: K:\CHS_DE\W\69299000_Medison_Student_Housing_WA2_Design\CAD\PlanSheets\C9.0 - GENERAL NOTES.dwg C9.0 Mar 03, 2015 9:05am by Scott.Haller
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- ALL EXISTING PAVEMENT ON CONCRETE TO BE REMOVED SHALL BE SAWED ALONG LIMITS OF PROPOSED PAVEMENT BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
17. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS SHALL BE PROTECTED AND PROPERLY COVERED AND PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.
18. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURE AND CURE QUALITY, AND CURB APPROVAL, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS REQUIRED FOR SUCH REMOVAL.
19. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, AND EXCESS REUSE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT AN ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL SUCH DEBRIS AND MATERIALS. THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER, BURNING ON THE SITE IS NOT PERMITTED.
20. NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE CITY OF MADISON. NO PROCEED TO BE OBTAINED FROM THE CITY OF MADISON PRIOR TO INSTALLING PAVEMENT BASE, BINDER, AND SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET, AS NECESSARY.
21. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND UTILITIES, INCLUDING EXISTING DEBRIS, SHALL BE PROTECTED AND REMOVED NECESSARY TO MAINTAIN THE STRUCTURE. THE CONTRACTOR'S WORK SHALL NOT BE PAID FOR DEBRIS AND CURE, BUT SHALL BE WAGERED INTO THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND SEPARATELY UNIT PRICE PER LINEAL FOOT FOR UTILITIES. DEBRIS SHALL BE PAYMENT IN FULL FOR CLEANING, PATTERING, REMOVAL, AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND STORM SEWERS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE CONSIDERED AS NEW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXPENSE, NO EXTRA PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES AND UTILITIES PRIOR TO THE COMMENCEMENT OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES OR FACILITIES. THE CONTRACTOR SHALL LOCATE AND DIGGERS HOLE LOCATION SERVICES (1-800-242-8111) AND THE CITY OF MADISON FOR UTILITY LOCATIONS.
23. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES. THE CONTRACTOR SHALL COORDINATE AND PROVIDE CONCRETE CROSSINGS AS REQUIRED. THIS CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THE GENERAL CONTRACTOR AGREEMENT WITH THE OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE.
24. THE CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL, AND STARTING WORK.
25. ANY FIELD TILES CONSTRUCTION SHALL BE INSPECTED BY THE ENGINEER. THE GRAIN THE SHALL BE COMPLETED TO THE STORM WATER DISTRIBUTION SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATIONS AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL PAYMENT WILL BE REQUIRED.
26. ALL FRAMES AND LOS FOR STORM AND SANITARY SEWERS, VALVE VALVE COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THE CONTRACTOR'S ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NECESSARY ADJUSTMENTS AS REQUIRED BY THE CITY OF MADISON UPON FINAL INSPECTION OF THE PROJECT.
27. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY INTO THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OF THE STORM SEWER SYSTEM, IF AVAILABLE. IF THE WATER IS NOT USED TO FLUSH THE SEWER SYSTEM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM. WILL BE RESPONSIBLE FOR THE PROTECTION OF THE WATER DISTRIBUTION SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXPENSE. LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE WATER DISTRIBUTION SYSTEM.

PRIOR TO COMMENCEMENT OF GRADUATION

1. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL PLOTT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED. SA FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE. THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DIRT ZONE (EIGHT FEET FURTHEST EXTENDING BRANCHES) WILL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
2. TOPSOIL EXCAVATION INCLUDES:
 - a. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRUCTURAL FILL OR FILLING AREAS.
 - b. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOOPPILE.
 - c. TOPSOIL STOCKPILED FOR RESPIRED SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.
 - d. TOPSOIL, RESPIRED SHALL INCLUDE HAULING AND SPREADING SIX (6) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.
3. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.
4. EARTH EXCAVATION INCLUDES:
 - a. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT EXISTING MATERIALS SHALL REMAIN DURING THE FINE GRADING OPERATION.
 - b. PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLANNED SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED FIFTY (50) BODIES IN THREE LIFTS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.
 - c. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL. MATERIAL SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS WHERE EXISTING MATERIALS ARE NOT SUITABLE, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE COMPETENCE TO BE THE DESIGNER.
 - d. COMPACTION OF SUBGRADE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED LANDSCAPED PAD AREAS.
5. UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE CONSTRUCTION OF PAVEMENT OR FOR THE CONSTRUCTION OF LANDSCAPED AREAS AT NORMAL TOPSOIL DEPTHS. AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE OWNER.
6. MISCELLANEOUS: THE CONTRACTOR SHALL:
 - a. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENNEL SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
 - b. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE TRENCH TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
 - c. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
 - d. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.

TESTING AND FINAL ACCEPTANCE

4. SEAMS IN BAY, BRIDGE, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES.
 5. TOTAL THICKNESS AND FINAL ACCEPTANCE.
 6. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE ENGINEER.
 7. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE CITY OF MADISON, SHALL OBTAIN SPECIMENS OF THE SANDER COURSE WITH A CORE DRILL, WHEN DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION.
 8. WHEN REQUIRED BY THE CITY OF MADISON, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL, WHEN DIRECTED IN ORDER TO DETERMINE THE PLANT THICKNESS DEFICIENCIES IF THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD REQUIRED BY MSOT STANDARDS.
 9. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.
 10. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF MADISON CODE. WHEN CONFLICT ARISES BETWEEN VILLAGE CODE, GENERAL NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL TAKE PRECEDENCE.
- ## SIGNAGE AND PAVEMENT MARKING NOTES
1. ALL SPRING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARDS.
 2. SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080-INCH THICK PLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE. LEGEND SHALL BE IN ACCORDANCE WITH THE MUTCD.
 3. POSTS: SIGNS POSTS SHALL BE A HEAVY-DUTY STEEL, "U" SHAPED CHANNEL, 2-INCH, 30 POUNDS/FOOT STEEL, AS TYPE B METAL POST, AS PER THE WISDOT STANDARDS (OR 2-INCH PERFORATED STEEL TUBE).
 4. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH MSOT STANDARDS.
 5. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC HOT ROLLED INTO PAVEMENT.
 6. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW-WEAR" APPLICATIONS, SHALL BE PAINT IN ACCORDANCE WITH MSOT STANDARDS.
 7. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND LOCAL CODE. STANDARD PARKING SPACES SHALL BE PAINTED WHITE.
 8. THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES FAHRENHEIT AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT AND RISING.
- ## SANITARY SEWER NOTES
1. SANITARY SEWER PIPE: ALL SANITARY SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS SPECIFIED IN THE UTILITY PLAN, UNLESS OTHERWISE NOTED ON THE PLANS. ALL SANITARY SEWER PIPE SHALL BE POLYETHYLENE GLYCOL PLASTIC PIPE (PVC SDR-35), CONFORMING TO ASTM D3034 AND D2241 WITH A MINIMUM OF 10% STRENGTH REDUCTION AFTER 50 YEARS OF SERVICE. ALL CITY OF MADISON PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND CITY OF MADISON PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL SANITARY SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

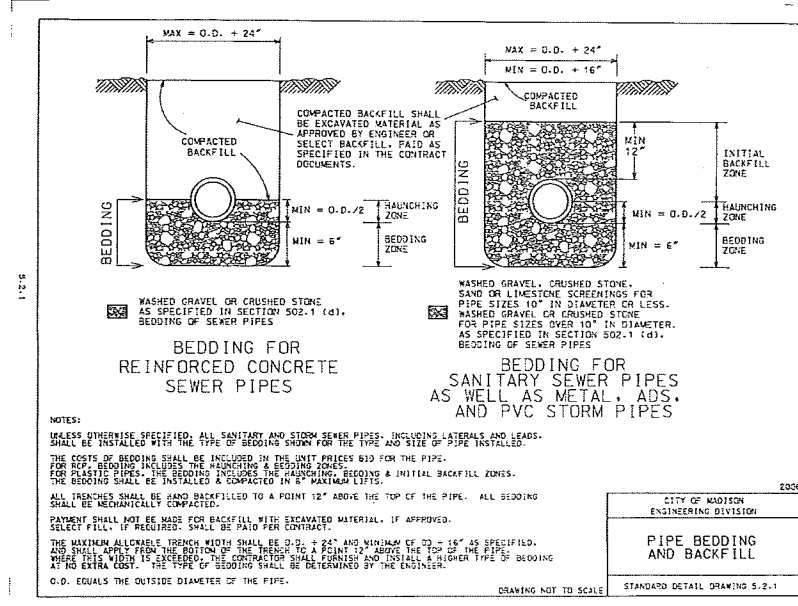
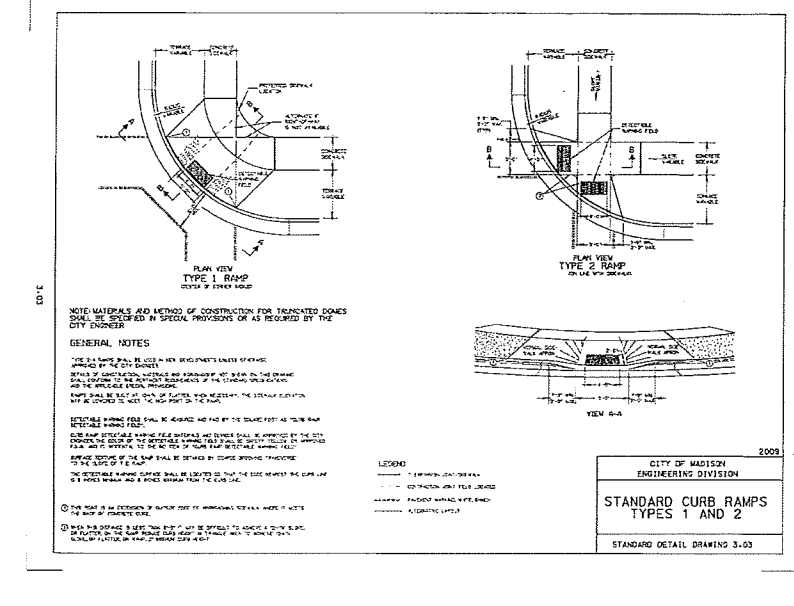
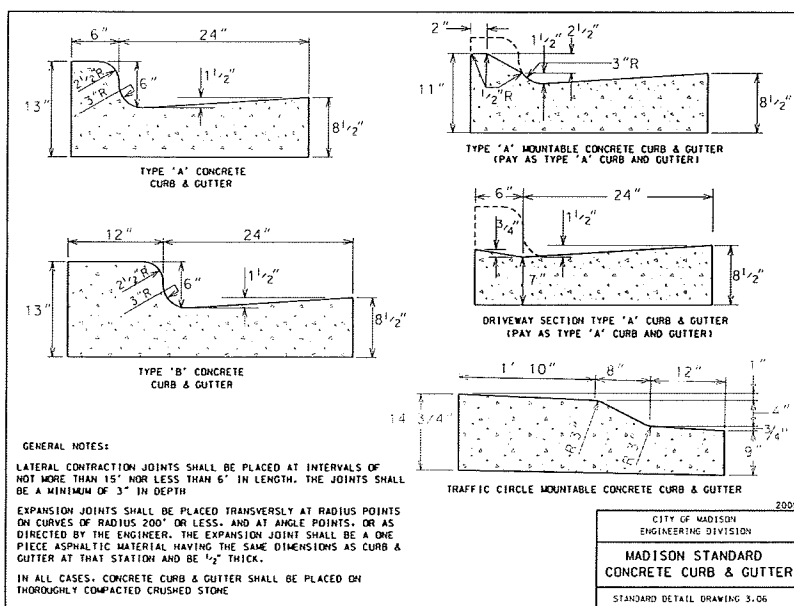
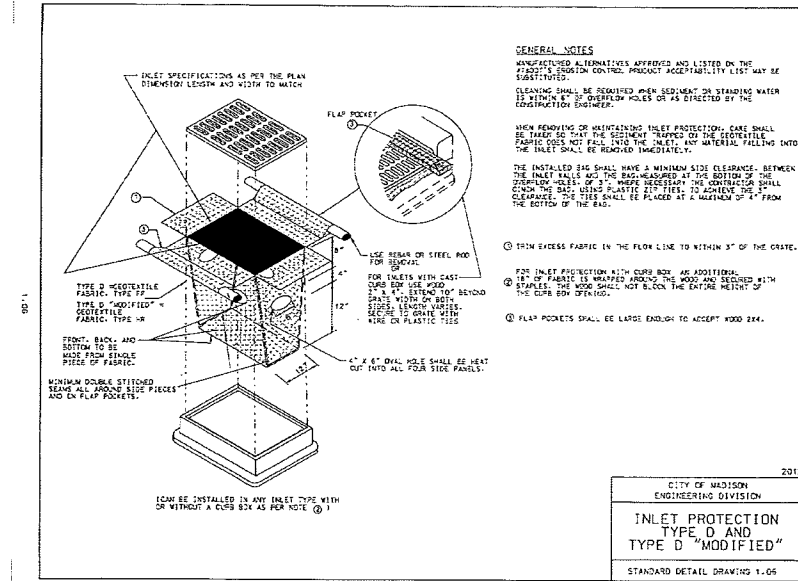
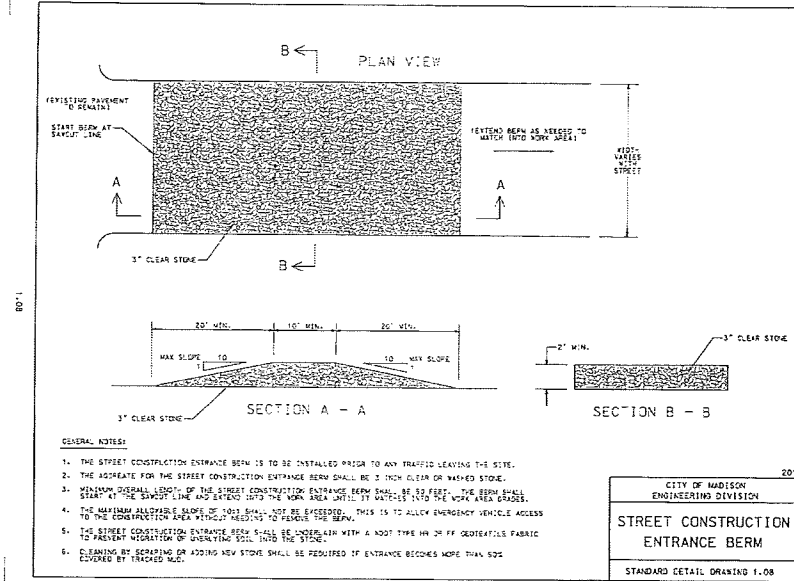
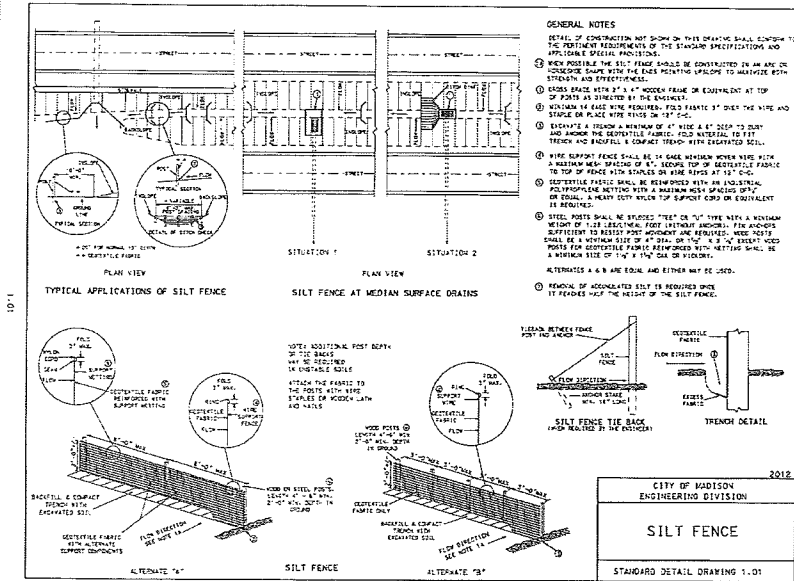
PIPE SIZE	CODE	PIPE MATERIAL
4" - 12"	PVC	POLYETHYLENE GLYCOL PLASTIC PIPE (ASTM D3034 AND D2241)
14" - 48"	DIP	DUCTILE IRON PIPE, CLASS 55 (ANSI 21.51 AND AWWA C131)
 2. BAND-SAW, OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OR DUCTILES TO EXISTING MATERIALS. ALL COUPLINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE COINTEGRATED SEWER ALLEYS, REQUIREMENTS BEDDING WITH STONE "X" 10" TO 1" IN SIZE WITH MINIMUM

FEET IN DIAMETER UNLESS OTHERWISE SPECIFIED.
WITH "O" RING OR BUTYL ROPE. A

- FEET IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH "N" RING OR BUTYL ROPE. A MAXIMUM OF TWELVE (12) INCHES OF ADJUSTING RINGS SHALL BE ALLOWED.
7. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.
8. THE FRAME, GATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.
9. CLEANING: THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING
10. THE STORM SEWER SHALL BE TELEVIEWED IF REQUIRED BY THE CITY OF MADISON.
11. MANHOLES, CATCH BASINS, INLETS, FRAMES, GRATES, AND OTHER STRUCTURES SHALL BE CONSTRUCTED OF THE TYPE, STYLE, AND SIZE AS SET FORTH WITH THE ORDINANCES AND STANDARDS OF THE CITY OF MADISON.
12. ALL FWP PIPES CONNECTED TO REINFORCED CONCRETE PIPE SHALL BE CORED AND BOOTED PER THE CITY OF MADISON REQUIREMENTS.
- WATERMAIN NOTES**
1. WATERMAIN PIPE: ALL WATERMAIN PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATERMAIN PIPE SHALL BE CONSTRUCTED OF BRUNNEN-ON-TOY-UNION-COATED CEMENT-LEAD CONCRETE RING PIPE, CLASS 52, CONFORMING TO ANSI AWWA C151. CEMENT RING PIPE LINED SHALL CONFORM TO ANSI A21.4 (AWWA C104). THE JOINTS SHALL BE PUSH-ON COMPRESSION GASKET JOINTS CONFORMING TO ANSI A21.11 (AWWA C111). ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER, CITY OF MADISON PRIOR TO MODIFYING MATERIAL. ON INSTALLING THE PIPE, ALL WATERMAIN PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
- | PIPE SIZE | CODE | PIPE MATERIAL |
|--|--|---|
| 3" - 48" <td>DWC<td>DUCTILE IRON RING PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)</td></td> | DWC <td>DUCTILE IRON RING PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151)</td> | DUCTILE IRON RING PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151) |
| 48" - 60" <td>PVC<td>POLYETHYLENE GLYCOLIDE PLASTIC PIPE SDR-35 (AWWA C900 AND ASTM D3799)</td></td> | PVC <td>POLYETHYLENE GLYCOLIDE PLASTIC PIPE SDR-35 (AWWA C900 AND ASTM D3799)</td> | POLYETHYLENE GLYCOLIDE PLASTIC PIPE SDR-35 (AWWA C900 AND ASTM D3799) |
| 6" - 36" <td>CP<td>TYPE "X" COPPER PIPE</td></td> | CP <td>TYPE "X" COPPER PIPE</td> | TYPE "X" COPPER PIPE |
2. FITTINGS: ALL FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO ANSI A21.10 (AWWA C110).
3. VALVES: GATE VALVES SHALL BE USED ON ALL WATERMAINS. ALL VALVES SHALL HAVE CAST IRON BODIES. COMPROMISE TO OPEN VALVES SHALL BE RING BODY RESILIENT WEDGE GATE VALVES WITH BRONZE-MOUNTED SEATS AND NON-RISING STEMS CONFORMING TO AWWA C-309. THE STEELS SHALL HAVE MECHANICAL JOINTS.
4. THE MECHANICAL JOINTS AND ALL FASTENERS ON THE VALVE BODY SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.
5. FIRE HYDRANTS: SEE PLANS FOR APPROVED FIRE HYDRANT DETAIL. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE AND CAST IRON VALVE BOX. FIRE HYDRANTS SHALL HAVE AUXILIARY VALVES WITH REMOVABLE BARREL TO VALVE BOX RESTRAINING DEVICE. THE PUMPER CONNECTION SHALL FACE THE ROADWAY.
6. PROVIDE AND INSTALL FOUR MEAGALC JOINT RESTRAINTS AT EACH JOINT FROM THE MAINLINE TEE TO THE AUXILIARY VALVE AND BETWEEN THE AUXILIARY VALVE AND THE HYDRANT BARREL.
7. THE BREAKE LANE AND ALL BELOW-GRADE FITTING SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.
8. CORROSION STOPS: CORROSION STOPS SHALL BE BRONZE BODY KEY STOPS CONFORMING TO AWWA C-300 AND SHALL INCLUDE "U" BEND, TAILPIPE, AND COMPRESSION FITTINGS, SIZE AND LOCATION AS SHOWN ON THE PLANS.
9. SERVICE BOX: PROVIDE CURB VALVE AND CURB BOX, AS INDICATED ON THE PLANS. BOX SHALL BE EXTENSION TYPE WITH FOOT PACE AND STATIONARY RODS FOR SIX (6) FEET OF BURY.
10. MAXIMUM DEFLECTION AT JOINT: JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURER'S CURRENT RECOMMENDATIONS AND AWWA SPECIFICATIONS.
11. BEDDING: ALL WATERMAIN SHALL BE BEDDED ON FIRM GROUND, WITH BELLHOLES EXCAVATED SO THAT

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11/18/2014
KHA PROJECT NO
168299000
SHEET NUMBER



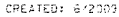
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VENTURES
Student Housing
168299000
11/18/2014

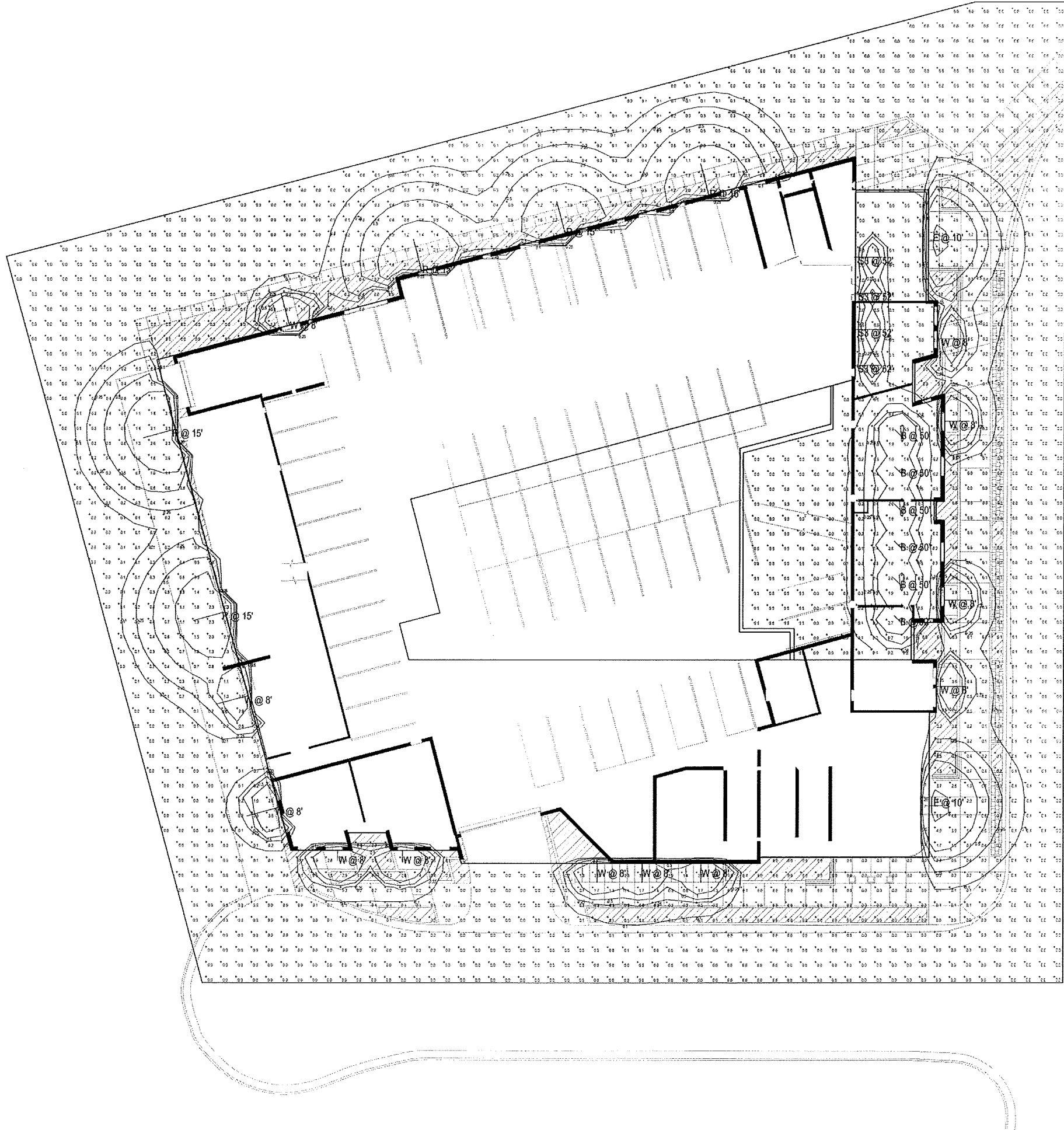
**MADISON STUDENT
HOUSING
CONSTRUCTION
DETAILS**

ORIGINAL ISSUE:
11/18/2014
KHA PROJECT NO.
168299000
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8 VENTURES
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MADISON STUDENT
HOUSING

PHOTOMETRIC
PLAN



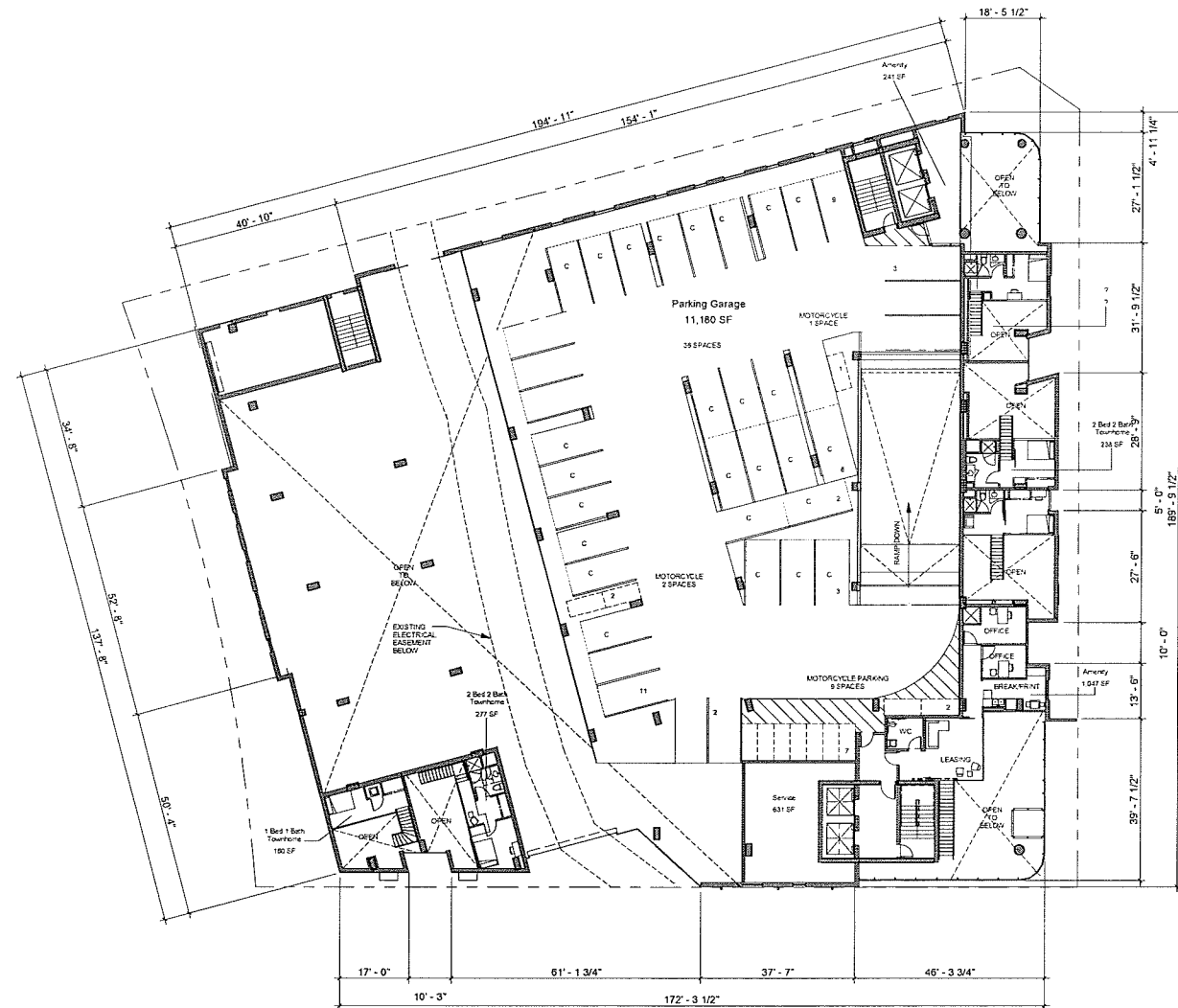
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SCALE: AS NOTED
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DRAWN BY: LS
CHECKED BY: SEM

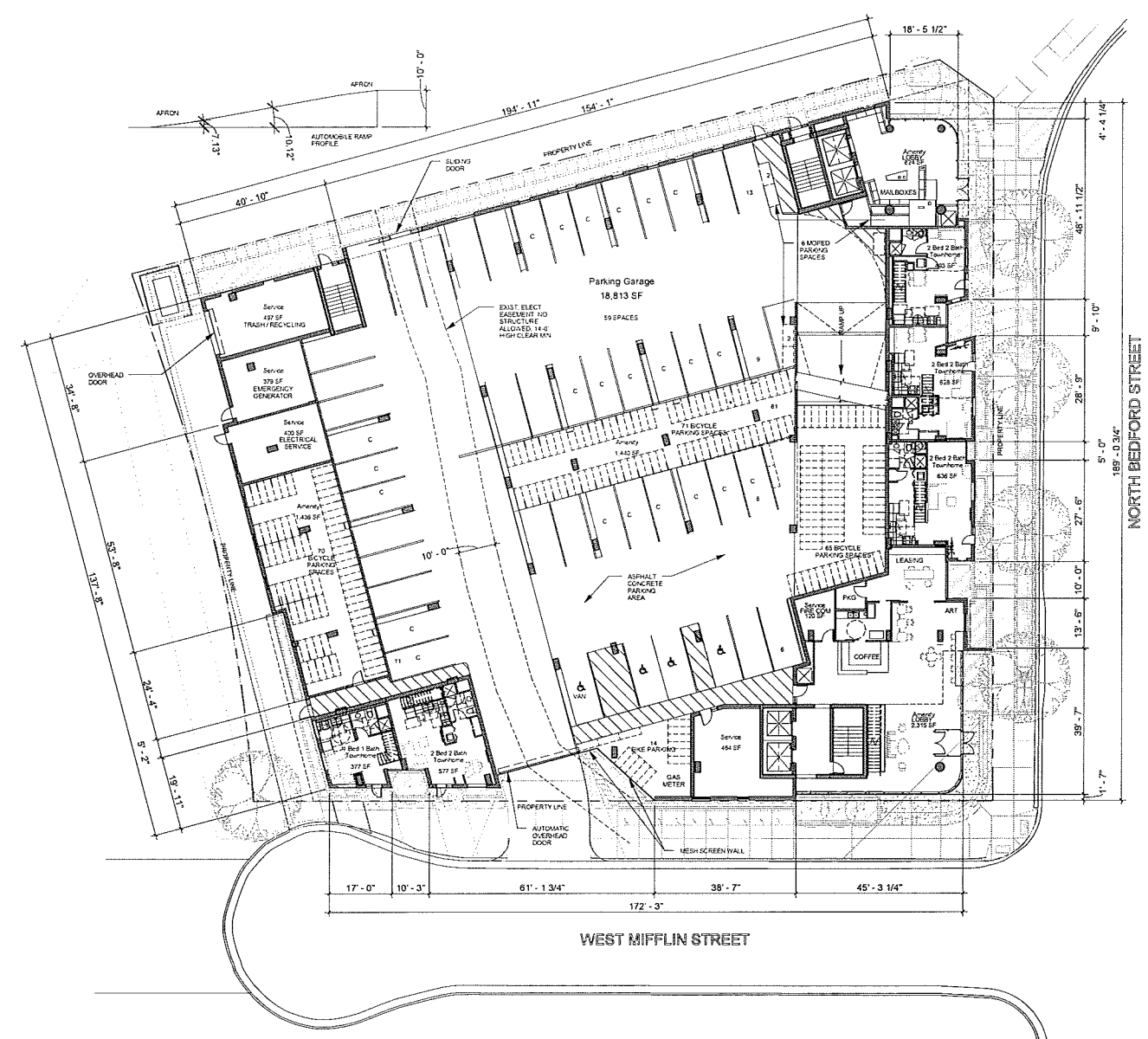
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No.	REVISIONS	DATE	BY
1	2nd UDC SUBMITTAL	03/04/15	SEM





2 LUA MEZZANINE
SCALE 1" = 20'-0"



1 LUA 1ST FLOOR PLAN
SCALE 1" = 20'-0"



1" = 20'-0"

Floor Plans 1st Floor and Mezzanine

CA Residential
Madison Student Housing

114 North Bedford Street
Madison, WI 53703

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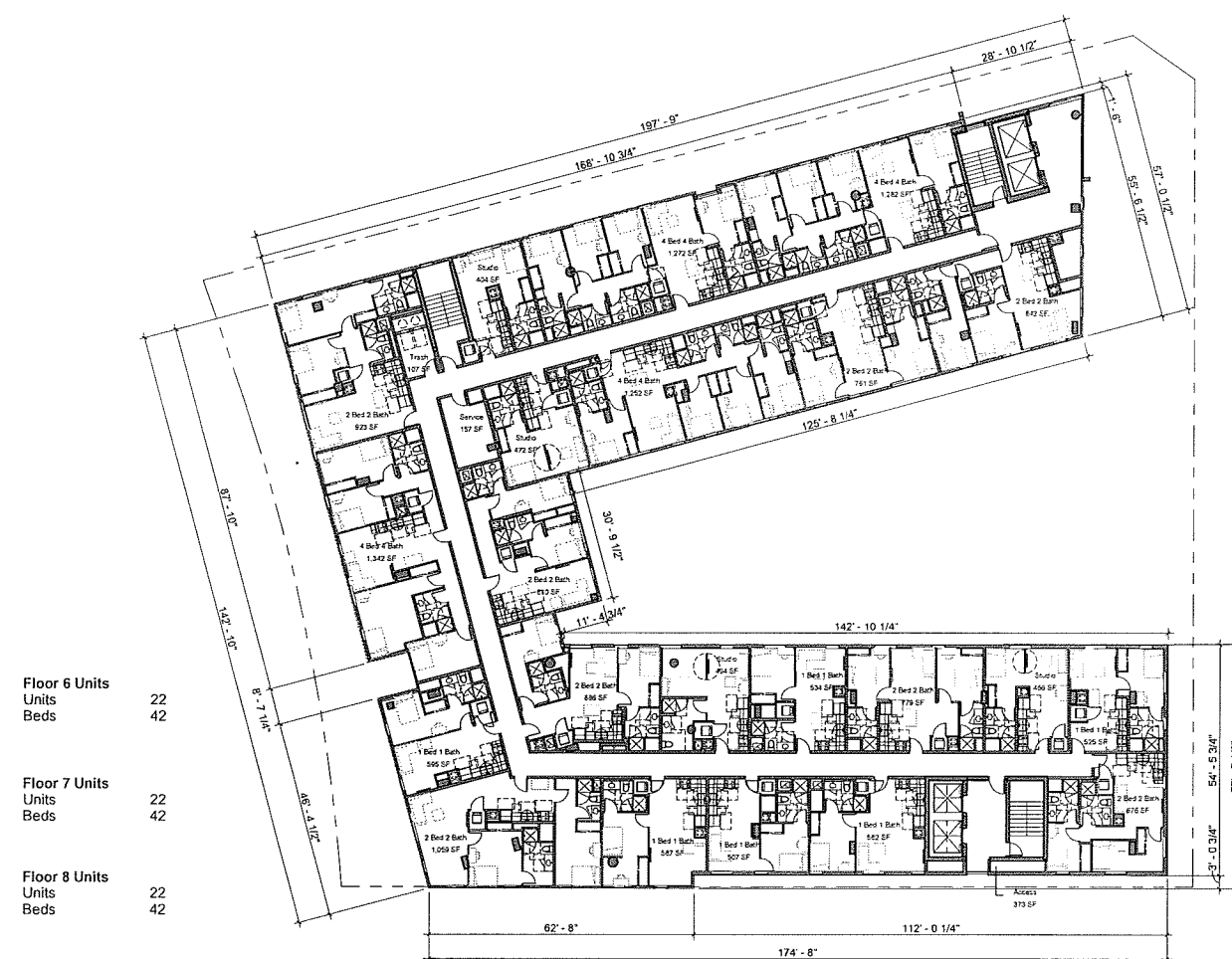
Floor Plans 2nd and 4th (3 Sim)

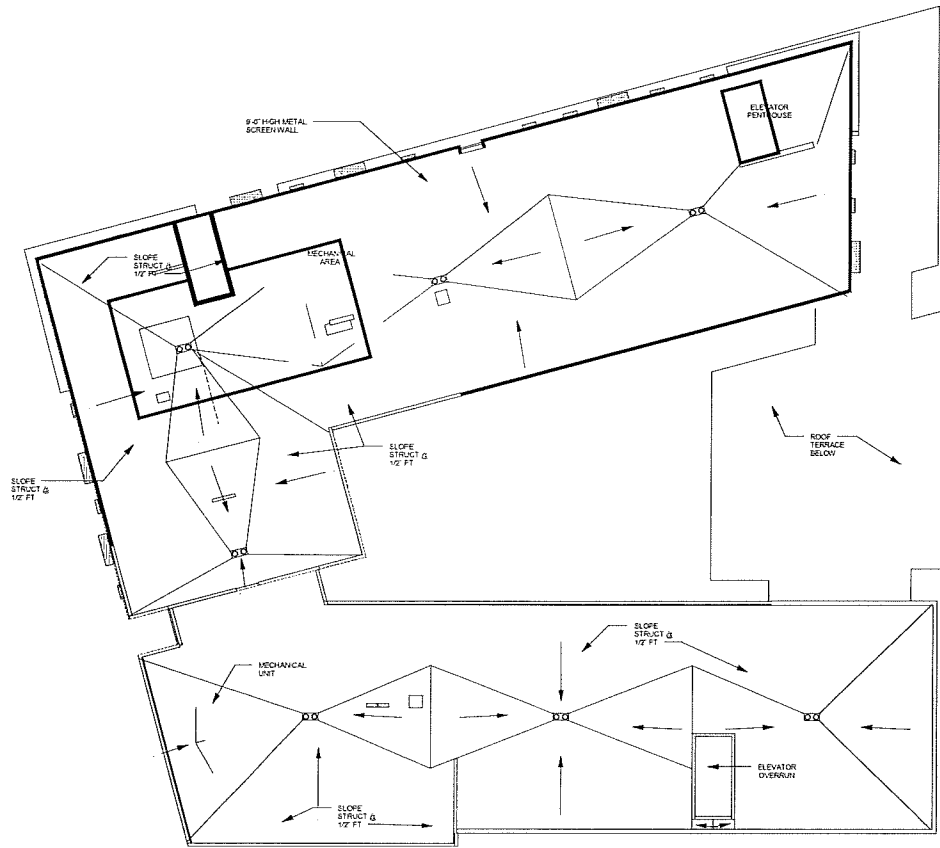
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Madison, WI 53703

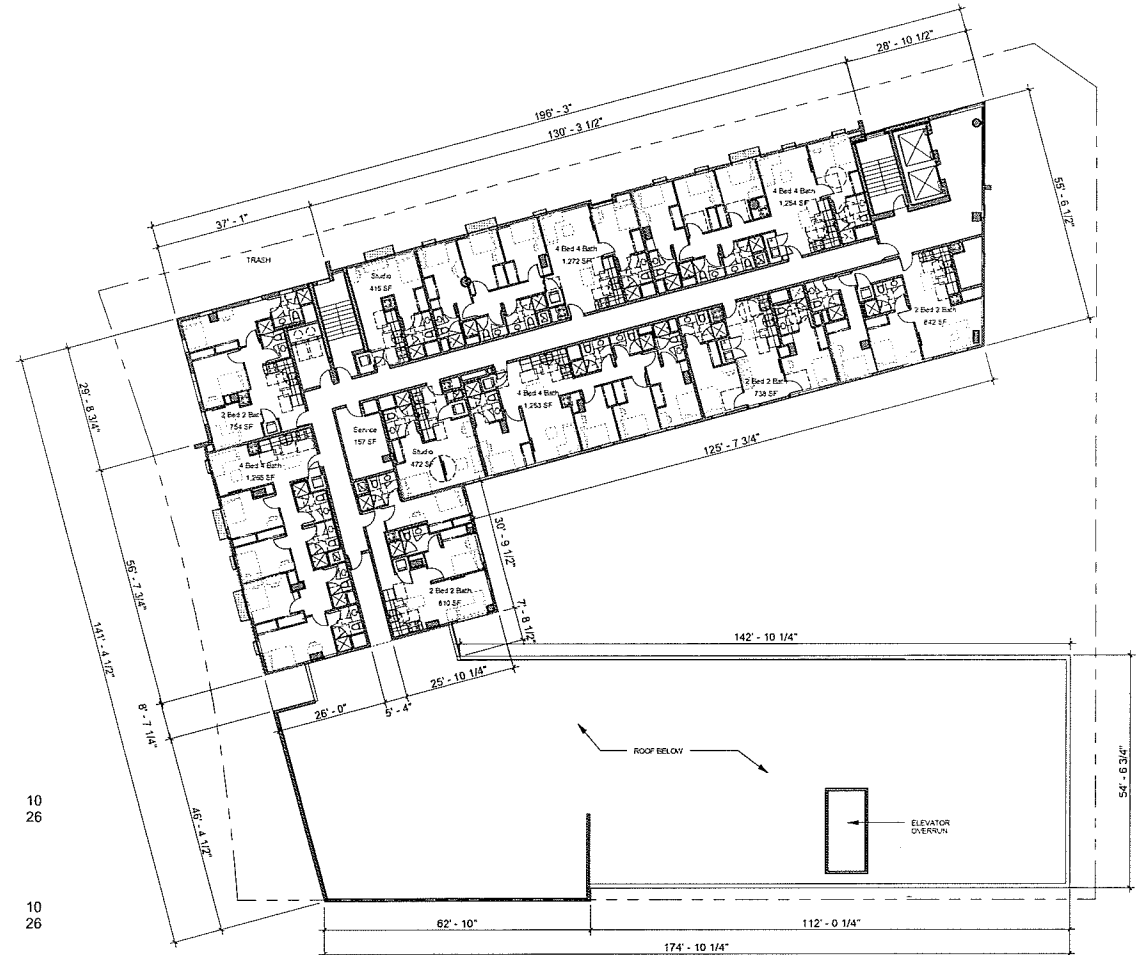
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2 LUA ROOF PLAN
SCALE 1" = 20'-0"



1 LUA FLOOR 9 (10 SIM)
SCALE 1" = 20'-0"



1" = 20'-0"

Floor Plans 9th (8 sim.) and Roof

CA Residential
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- NO. DESCRIPTION
- 1 METAL PANEL - COLOR 1
 - 2 MASONRY VENEER
 - 3 CEMENT BOARD PANEL PATTERN TBD
 - 4 PNEUMATIC PANEL OR COMPLEMENTARY MASONRY MATERIAL
 - 5 ALUMINUM STOREFRONT W/ CLEAR GLASS
 - 6 ALUMINUM WINDOW W/ VISION GLASS OR CITY APPROVED EQUAL
 - 7 METAL PANEL - COLOR 2
 - 8 METAL MESH SCREEN
 - 9 OVERHEAD DOOR (RECESSED)
 - 10 SLIDING GATE
 - 11 CONCRETE LANDSCAPE WALLS
 - 12 TOWNHOME CANOPY
 - 13 MAIN LOBBY ENTRANCE CANOPY
 - 14 BLADE PROJECTION
 - 15 EXTERIOR DOOR
 - 16 TOWNHOME EXTERIOR DOOR
 - 17 LOBBY ENTRANCE DOOR
 - 18 GARAGE & PARKING SIGNAGE ZONE
 - 19 SIGNAGE ZONE
 - 20 SCREENED MECHANICAL AREA BEYOND
 - 21 SECURITY LIGHT
 - 22 METAL PANEL - COLOR 3

North Elevation Opening Percentages:

	prov.	req'd.
Upper Levels	15%	15% Min
Floor 2	15%	15% Min
Floor 3	15%	15% Min
Floor 4	15%	15% Min
Floor 5	25%	15% Min
Floor 6	21%	15% Min
Floor 7	21%	15% Min
Floor 8	22%	15% Min
Floor 9	22%	15% Min
Floor 10	21%	15% Min



NORTH_ELEVATION 4
SCALE 1" = 20'-0"

West Elevation Opening Percentages:

	provided	required
Upper Levels	24%	15% Min
Floor 2	24%	15% Min
Floor 3	24%	15% Min
Floor 4	24%	15% Min
Floor 5	15%	15% Min
Floor 6	24%	15% Min
Floor 7	24%	15% Min
Floor 8	26%	15% Min
Floor 9	24%	15% Min
Floor 10	21%	15% Min



WEST_ELEVATION 3
SCALE 1" = 20'-0"

South Elevation Opening Percentages:

	provided	required
Ground Level	25%	15% Min
Residential	25%	15% Min
Non-Residential	50%	50% Min
Upper Levels	25%	15% Min
Floor 2	25%	15% Min
Floor 3	25%	15% Min
Floor 4	35%	15% Min
Floor 5	19%	15% Min
Floor 6	19%	15% Min
Floor 7	19%	15% Min
Floor 8	19%	15% Min



SOUTH_ELEVATION 2
SCALE 1" = 20'-0"

East Elevation Opening Percentages:

	prov.	req.
Ground Level	25%	15% Min
Residential	50%	50% Min
Non-Residential	50%	50% Min
Upper Levels	25%	15% Min
Floor 2	27%	15% Min
Floor 3	25%	15% Min
Floor 4	25%	15% Min
Floor 5	50%	15% Min
Floor 6	25%	15% Min
Floor 7	25%	15% Min
Floor 8	25%	15% Min
Floor 9	25%	15% Min
Floor 10	30%	15% Min



EAST_ELEVATION 1
SCALE 1" = 20'-0"

Exterior Building Elevations

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Madison Student Housing

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1" = 20'-0"