



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>November 24, 2014</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>December 3, 2014</u>	<input checked="" type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input checked="" type="checkbox"/> Final Approval

1. **Project Address:** 330 E. Wilson Street
Project Title (if any): _____

2. **This is an application for** (Check all that apply to this UDC application):

New Development **Alteration to an Existing or Previously-Approved Development**

A. Project Type:

- Project in an Urban Design District*** (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX)** (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)**
- Planned Development (PD)**
 - General Development Plan (GDP)**
 - Specific Implementation Plan (SIP)**
- Planned Multi-Use Site or Planned Residential Complex**

B. Signage:

- Comprehensive Design Review*** (public hearing-\$300 fee) **Street Graphics Variance*** (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District** (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Palladia, LLC
Street Address: 115 E. Main Street, Suite 210
Telephone: (608-469-0059) **Fax:** (_____) _____

Company: Kothe Real Estate Partners
City/State: Madison/WI **Zip:** 53703
Email: kevin@kotherep.com

Project Contact Person: Josh Wilcox
Street Address: 7780 Elmwood Avenue, Suite 204
Telephone: (608-829-1750) **Fax:** (608-829-3056)

Company: Gary Brink & Associates, Inc.
City/State: Middleton/WI **Zip:** 53562
Email: josh.wilcox@garybrink.com

Project Owner (if not applicant) : _____
Street Address: _____
Telephone: (_____) _____ **Fax:** (_____) _____

City/State: _____ **Zip:** _____
Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on 1/23/14.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Josh Wilcox
Authorized Signature _____

Relationship to Property Architect
Date 11/24/14



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
(608)251-3700
(608)251-3036 (FAX)

330 E. WILSON MIXED USE

330 E. WILSON STREET MADISON, WI 53703

UDC SUBMITTAL
NOVEMBER 24, 2014



ZONING CODE:

- URBAN MIXED USE (UMU) DISTRICT
- MINIMUM FRONT YARD SETBACK = 0'-0"; MAXIMUM FRONT YARD SETBACK = 10'-0"
PROPOSED = 7'-0"
- SIDE YARD SETBACK = 0'-0"
PROPOSED = 0'-0"
- REAR YARD SETBACK = 10'-0"
PROPOSED = 10'-0"
- MAXIMUM LOT COVERAGE = 50%
PROPOSED 1ST FLOOR BUILDING FOOTPRINT = 45%
PROPOSED 2ND FLOOR BUILDING FOOTPRINT = 15%
LOT SIZE: 6,711 SF
1ST FLOOR BUILDING FOOTPRINT: 2,736 SF
2683 ± 43%
2ND FLOOR BUILDING FOOTPRINT: 484 SF
7.2% OF 10%
671 SF
- MINIMUM HEIGHT = 2 STORES; MAXIMUM HEIGHT = 4 STORES (PER DOWNTOWN HEIGHT MAP); & STORES PER CONDITIONAL USE
- USABLE OPEN SPACE = 10 SF PER BEDROOM + 450 SF REQUIRED
TOTAL BELOW G.F. + 100 SF
TOTAL GROUND FLOOR SF = 210 SF
TOTAL ROOF DECK SF = 100 SF
PROPOSED USABLE OPEN SPACE = 510 SF
- BIKE PARKING REQUIREMENTS:
1 STALL PER UNIT UP TO 2 BEDROOMS; 1 STALL PER ADDITIONAL BEDROOM; (2) STALLS PER 1000 SF OF COMMERCIAL SPACE; 2 STALLS REQUIRED AT MINIMUM; (2) STALLS REQUIRED PER 2000 SF OF COMMERCIAL SPACE; 2 STALLS REQUIRED AT MINIMUM; (2)
- DESIGN OPTION REQUIRED 33 BIKE STALLS
PROPOSED STALLS = 33 BIKE STALLS
- AREA OF THE SITE = 671 50 SF.
PERVIOUS AREAS = 5,306 90 SF. (77%)

330 E. WILSON MIXED USE									
Floor Level	UNIT TYPE								
	EFFICIENCY / STUDIO	1 1/2 BEDROOM	ACCESSIBLE (1) BEDROOM	2 1/2 BEDROOM	(3) BEDROOM	JANIS PER FLOOR	BEDROOMS PER FLOOR	SQUARE FOOTAGE PER FLOOR	
Basement	0	0	0	0	0	0	0	0	2501
1st	2	1	1	1	1	1	1	1	2863
2nd	2	1	1	1	1	1	1	1	4833
3rd	2	2	0	1	1	1	1	1	4833
4th	2	2	0	1	1	1	1	1	4833
5th	2	2	0	1	1	1	1	1	4833
6th	2	2	0	1	1	1	1	1	4833
Total	10	5	2	3	5	3	3	3	29529

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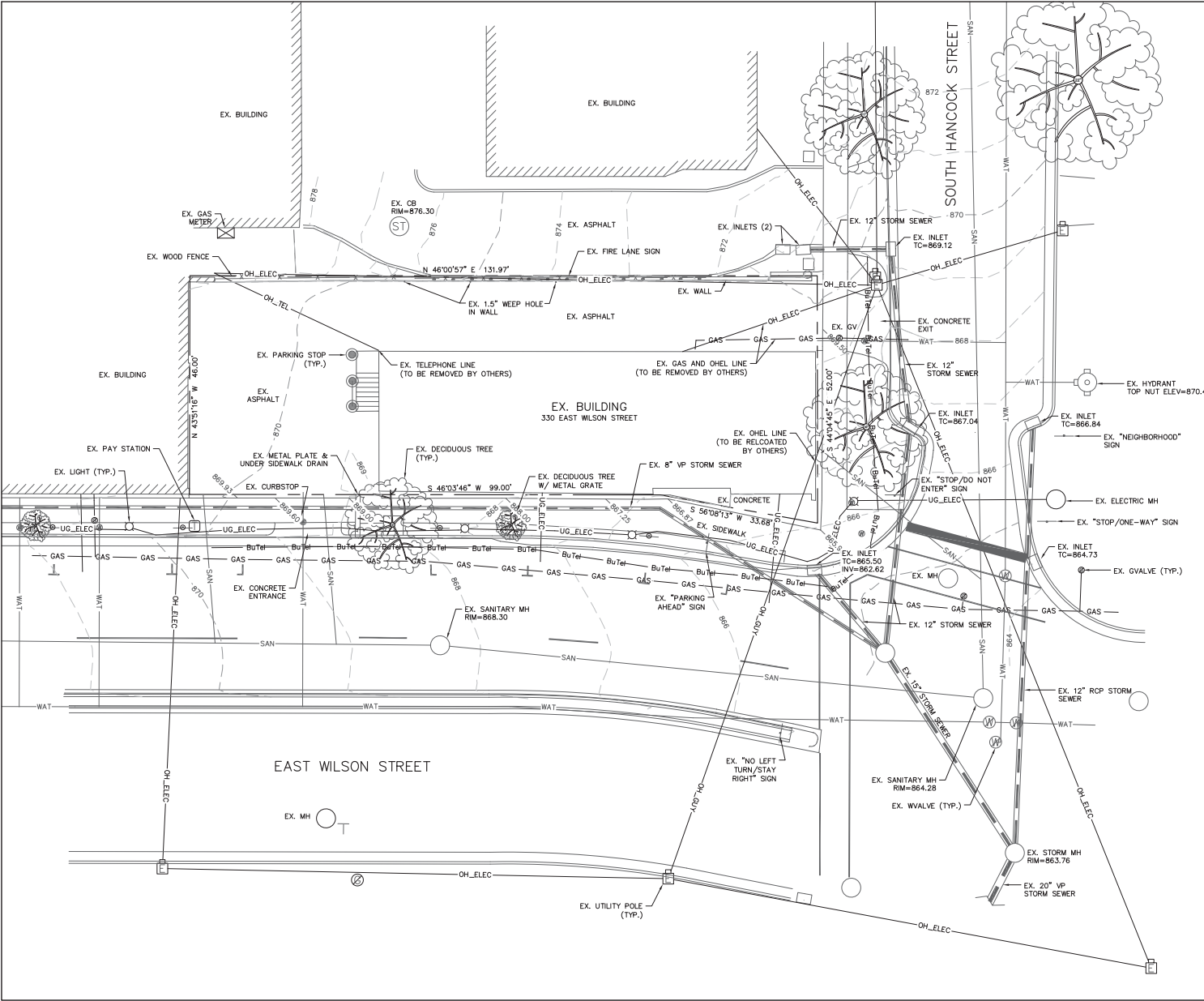
PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET, SUITE 210
MADISON, WI 53703

OWNER/DEVELOPER:
PALLADIA, LLC
c/o KOTHE REAL ESTATE PARTNERS
115 E. MAIN ST., SUITE 210
MADISON, WISCONSIN 53703
PHONE: (608) 499-0059
EMAIL: kevin@kotheREF.com
PRINCIPAL CONTACT: KEVIN PAGE

ARCHITECT:
GARY BRINK & ASSOCIATES, INC.
7780 ELMWOOD AVENUE, SUITE 204
MIDDLETON, WISCONSIN 53562
PHONE: (608) 829-1750
EMAIL: josh.wilcox@garybrink.com
PRINCIPAL CONTACT: JOSH WILCOX

CIVIL/SITE ENGINEER:
QUAM ENGINEERING, LLC
4604 SIGGELKOW ROAD, SUITE A
MCFARLAND, WISCONSIN 53558
PHONE: (608) 833-7750
EMAIL: rquam@quamengineering.com
PRINCIPAL CONTACT: RYAN QUAM

LANDSCAPE DESIGNER:
KEN SAIKI DESIGN, INC.
303 S. PATERSON, SUITE ONE
MADISON, WISCONSIN 53703
PHONE: (608) 251-3600
EMAIL: amollen@ksd-l.com
PRINCIPAL CONTACT: ABBIE MOLLEN



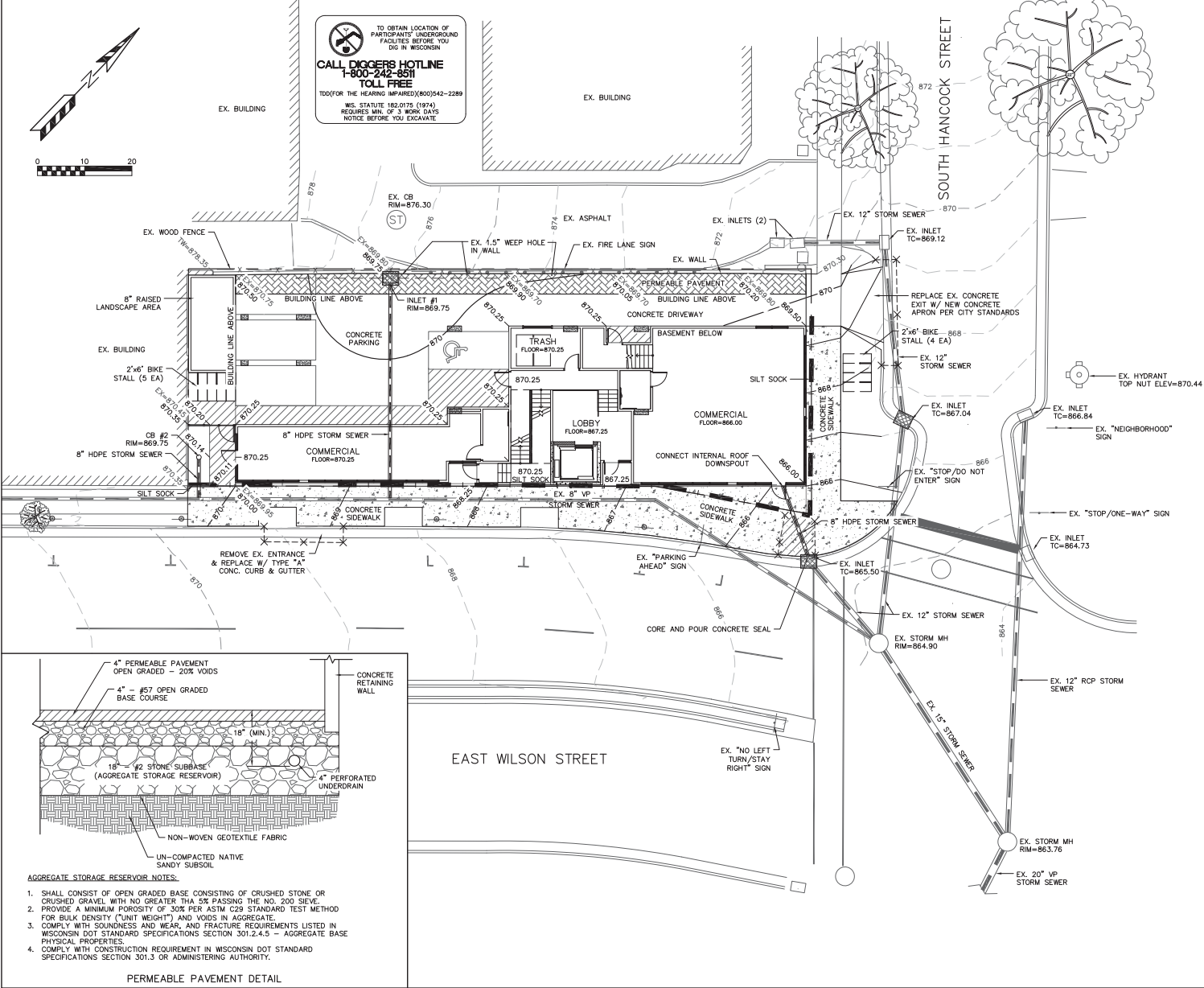
330 E. WILSON STREET - CITY OF MADISON
 EXISTING SITE PLAN

SHEET: C1.00
 DATED: SEPTEMBER 24, 2014

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

www.quamengineering.com

4604 Siggekkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

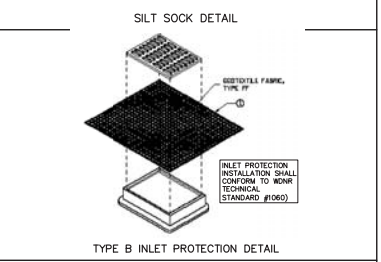
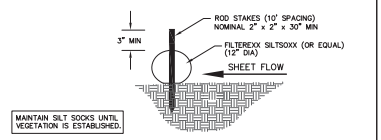


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE
 TDD/OF THE HEARING IMPAIRED/800542-2289
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

EROSION NOTES:
 THE EXISTING ASPHALT PAVEMENT SHALL ACT AS THE TRACKING PAD DURING CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACK OF MUD OR DIRT FROM ONTO THE ADJACENT PUBLIC STREETS. SEEDING REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
 INLET PROTECTION SHALL BE INSTALLED IN ALL STORM INLETS AS SOON AS THE INLET IS SET. INLET PROTECTION SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL PLACEMENT OF THE SURFACE COURSE OF ASPHALT. THE FILTER SHALL BE REMOVED AFTER THE FINAL LAYER OF ASPHALT IS PLACED.
 ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED.

TIME SCHEDULE:
 NOVEMBER 1, 2014 - INSTALL INITIAL EROSION CONTROL DEVICES.
 NOVEMBER 1, 2014 - SEPT 15, 2015 - RECONSTRUCT BUILDING, PARKING, UTILITIES AND RESTORE PORVIOUS DISTURBED AREAS.

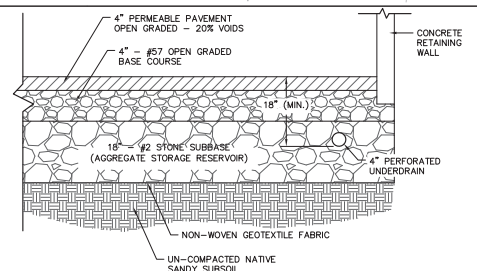
RESTORATION NOTES:
 ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 400 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 16%; POTASH, NOT LESS THAN 16%.
OWNER: ROBERT J. RUBIN, 311 E WILSON STREET, MADISON, WI 53703
ENGINEER: QUAM ENGINEERING, LLC, ATTN: RYAN QUAM, 4604 SIGGEKOW ROAD, SUITE A, MCFARLAND, WI 53558



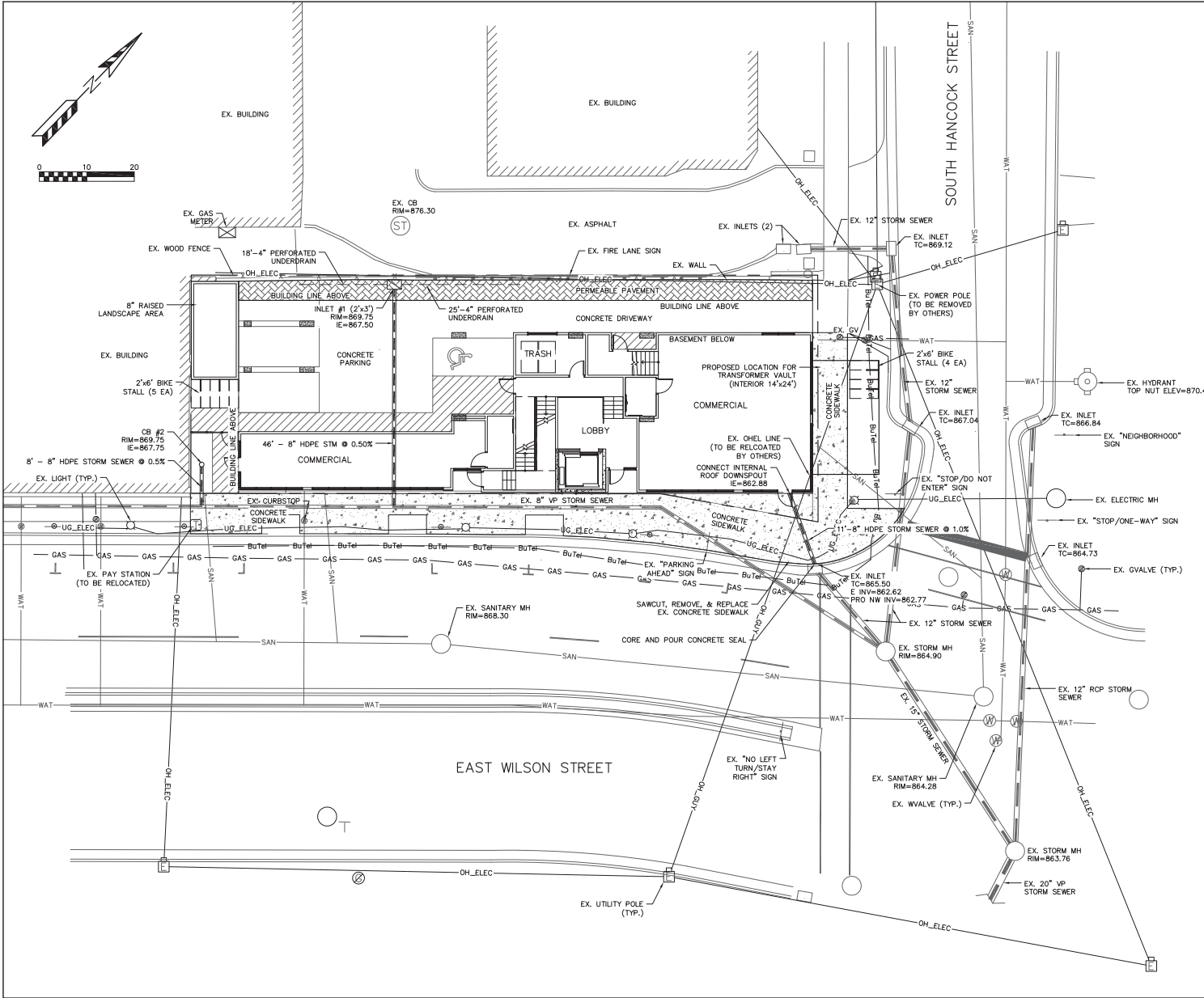
LEGEND:

--- 869 ---	EXISTING MINOR CONTOUR.
--- 870 ---	EXISTING MAJOR CONTOUR.
--- 869 ---	PROPOSED MINOR CONTOUR.
--- 870 ---	PROPOSED MAJOR CONTOUR.
- 870.00 -	PROPOSED SPOT ELEVATION
[Pattern]	INSTALL WDOT TYPE B INLET PROTECTION.

330 E. WILSON STREET - CITY OF MADISON
 GRADING AND EROSION CONTROL PLAN
 SHEET: C1.01
 DATED: OCTOBER 3, 2014
QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggekow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



AGGREGATE STORAGE RESERVOIR NOTES:
 1. SHALL CONSIST OF OPEN GRADED BASE CONSISTING OF CRUSHED STONE OR CRUSHED GRAVEL WITH NO GREATER THAN 5% PASSING THE NO. 200 SIEVE.
 2. PROVIDE A MINIMUM POROSITY OF 30% PER ASTM C29 STANDARD TEST METHOD FOR BULK DENSITY (UNIT WEIGHT) AND VOIDS IN AGGREGATE.
 3. COMPLY WITH SOUNDNESS AND WEAR, AND FRACTURE REQUIREMENTS LISTED IN WISCONSIN DOT STANDARD SPECIFICATIONS SECTION 301.2.4.5 - AGGREGATE BASE PHYSICAL PROPERTIES.
 4. COMPLY WITH CONSTRUCTION REQUIREMENT IN WISCONSIN DOT STANDARD SPECIFICATIONS SECTION 301.3 OR ADMINISTERING AUTHORITY.



GENERAL NOTES:

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. FOR EACH LATERAL TO BE PLUGGED THE CONTRACTOR SHALL DEPOSIT \$1,000 WITH THE CITY ENGINEER IN TWO SEPARATE CHECKS IN THE FOLLOWING AMOUNTS: (1). \$100 NON REFUNDABLE DEPOSIT FOR THE COST OF INSPECTION OF THE PLUGGING BY CITY STAFF; AND (2). \$900 FOR THE COST OF CITY CREWS TO PERFORM THE PLUGGING. IF THE CONTRACTOR ELECTS TO COMPLETE THE PLUGGING OF A LATERAL AND THE PLUGGING IS INSPECTED AND APPROVED BY THE CITY ENGINEER, THE \$900 FEE SHALL BE RETURNED TO THE CONTRACTOR. THIS PERMIT APPLICATION IS AVAILABLE ONLINE AT HTTP://WWW.CITYOFMADISON.COM/ENGINEERING/PERMITS.CFM

UTILITY NOTES:

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 4" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

ANY DAMAGE TO EAST WILSON STREET OR SOUTH HANCOCK STREET PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY OF MADISON PATCHING CRITERIA.

THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE

1-800-242-8011

TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0715 (1974)

REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

330 E. WILSON STREET - CITY OF MADISON
 UTILITY PLAN
 SHEET: C1.02
 DATED: OCTOBER 3, 2014
QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



GARY BRINK & ASSOCIATES
ARCHITECTS
1780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608.274.1769
608.526.3055 (FAX)



KEN AIKI DESIGN
LANDSCAPE
ARCHITECTS

PROJECT: 330 E. WILSON STREET
330 E. WILSON STREET
MADISON, WI 53703
DRAWN BY: KEN AIKI
DATE: 10/03/2014
SCALE: AS NOTED

PROJECT: 201249
DRAWN BY: ARM
DATE: 10/03/2014
SCALE: AS NOTED

PLANTING
PLAN

L1.00

- NOTES:
- All plant beds shall have shredded hardwood bark mulch unless otherwise noted.
 - Plantings under building overhangs shall be permanently irrigated.
 - Contractor shall contact City Forestry at least 48 hours prior to any work on street trees. Contact Dean Kahl, 608-266-4816, DKahl@cityofmadison.com.
 - Indicated street trees shall be removed & replaced w/ 3" caliper trees, species to be determined by City Forestry. These trees shall be planted in Neenah 4'x8" (R-8815-A) tree grates to be determined by City Engineering.
 - Approval and permitting of street tree removals and street tree planting shall be obtained from the City Forester and/or the Board of Public Works prior to the approval of the site plan.
 - Trees shall be planted per planting specifications found in section 209 of City of Madison Standard Specifications for Public Works Construction.

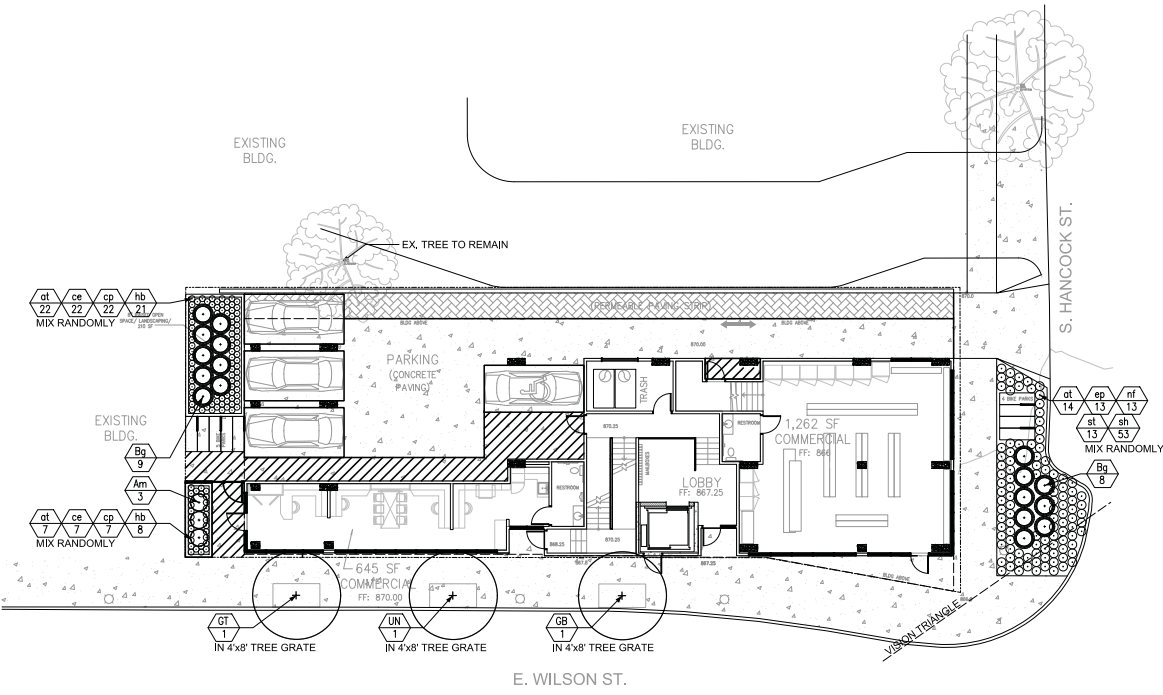
City of Madison, WI Landscape Worksheet

3-Oct-14
Urban Mixed Use

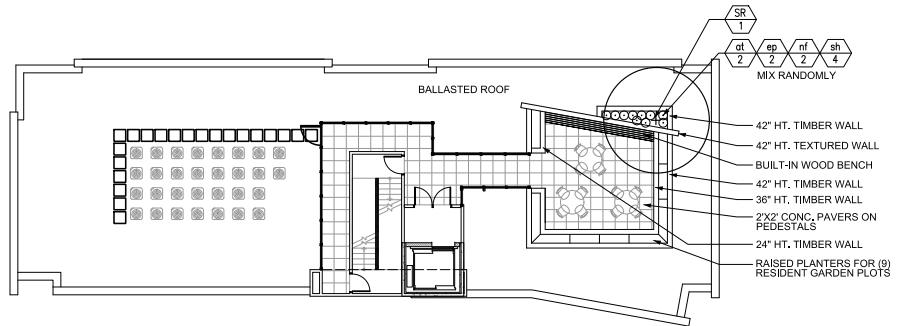
Developed Lots	SF	Landscape Units Required
Total Developed Area	6,180	21
		Landscape Points Required
		103

General Site, Foundation, Screening

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35			0
Ornamental Tree	15	1		15
Evergreen Tree	15	13	53	0
Shrub, deciduous	3	3		9
Shrub, evergreen	4	17		68
Ornamental Grass/Perennial	2	232		464
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
General Site Plantings Total				556
TOTAL LANDSCAPE POINTS ACHIEVED				556



1 PLANTING PLAN
1" = 10'-0"



2 ROOF PLANTING PLAN
1" = 10'-0"

Plant List

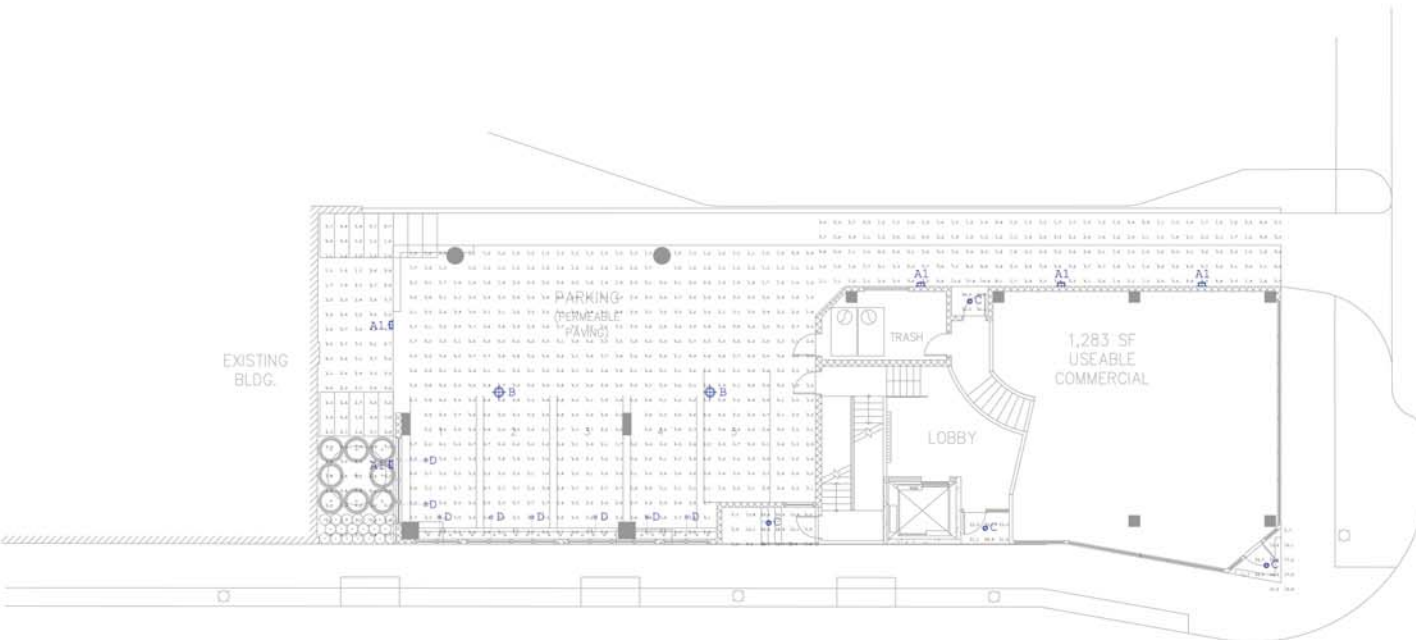
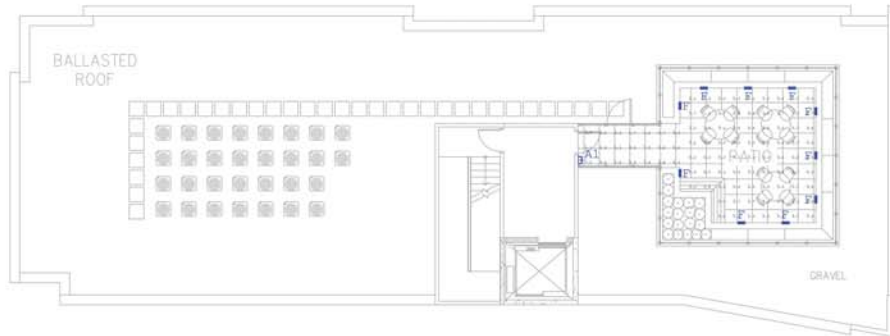
Key	Botanical Name	Common Name	Quantity	Size	Spec.	Comments	Minimum Size
Deciduous Trees							
GB	<i>Gingko biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo	1	2.5" Cal	B&B	Single, straight leader, match specimen, branching shall start at 9'-0" min	40 ft x 15-30 sp
GT	<i>Gleditsia inaequalis</i> var. <i>inermis</i> 'Skycoke'	Skyline Honeylocust	1	2.5" Cal	B&B	Single, straight leader, match specimen, branching shall start at 9'-0" min	50-60 ft x 35-45 sp
LI	<i>Linum</i> 'NewHorizon'	NewHorizon Elm	1	2.5" Cal	B&B	Single, straight leader, match specimen, branching shall start at 9'-0" min	50-60 ft x 40-50 sp
Ornamental Trees							
AA	<i>Amelanchier alnifolia</i>	Dovey Serviceberry	1	6" Ht.	B&B	Multistem min. 3 leaders, well-developed crown, no overlapping leaders	15-20 ft x 10-12" sp
SR	<i>Syringa reticulata</i> 'Summer Snow'	Summer Snow Tree Lilac	1	2" Cal	B&B	Single, straight leader, match specimen, branching shall start at 9'-0" min	30 ft x 25 sp
Deciduous Shrubs							
Am	<i>Alopecurus melanocarpus</i> 'Lilford'	Inquis Beauty Cockscomb	3	5 gal.	Cort.	Space 3'-0" c	3-4 ft x 3-4 sp
Evergreen Shrubs							
Bq	<i>Buxus</i> 'Green Velvet'	Green Velvet Boxwood	14	5 gal.	Cort.	Space 3'-6" >c pruned into matching spheres	3-4 ft x 4-6 sp
Perennial/Ornamental Grasses/Groundcovers							
at	<i>Allium triquetrum</i> 'Norelup'	Balloon Bouquet Ornamental Onion	48	1 gal.	Cort.	Space 18" oc	1.9 ft x 1.9 sp
ap	<i>Carex edulis</i>	Bristleleaf Sedge	28	1 gal.	Cort.	Space 12" oc	6-10" Ht x 6-12" sp
cp	<i>Carex pennsylvanica</i>	Pennsylvania Sedge	29	1 gal.	Cort.	Space 12" oc	6-10" Ht x 12-18" sp
ep	<i>Echinacea</i> 'Piper Meadowlark'	Pink Meadowlark Purple Coneflower	15	1 gal.	Cort.	Space 18" oc	1.5-2 ft x 1.1-1.5 sp
hb	<i>Helleborus</i> 'Blue Mouse Ears'	Blue Mouse Ears Helleborus	29	1 gal.	Cort.	Space 12" oc	6-8" Ht x 1.1-1.5 sp
nf	<i>Nepeta</i> 'Spacemaster Blue Wicket'	Blue Wicket Nepeta	15	1 gal.	Cort.	Space 18" oc	1.1-1.2 ft x 1.5-2 sp
st	<i>Sedum</i> 'Thundercloud'	Thundercloud Sedum	13	1 gal.	Cort.	Space 18" oc	6-12" Ht x 1.1-1.5 sp
sh	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	57	1 gal.	Cort.	Space 18" oc	1.5-2 ft x 1.9 sp



GARY BRINK & ASSOCIATES
ARCHITECTS
7700 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53002
608.829.1700
608.829.3066 (FAX)

Luminaire Schedule					
Qty	Label	Arrangement	Lum. Lumens	LLF	Description
5	A	SINGLE	735	0.800	LUMARK • XTOR11A
2	B	SINGLE	5170	0.800	MACGRAH EDISON • TT-A3-LED-E1-WQ
4	C	SINGLE	1477	0.800	PORTFOLIO • LDM130010TE-ERMA13835-4LM1U
8	D	SINGLE	405	0.800	LUMENPLUSE • LBS-120-27K-WFL-BI
10	F	SINGLE	25	0.800	COLE • L158W-N-2

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Ang/Min
BIKE RACKS & PLANTING AREA	Illuminance	Fc	2.96	6.6	0.7	4.23
COMMERCIAL ENTRY	Illuminance	Fc	17.25	28.8	3.7	4.88
DRIVE ACCESS	Illuminance	Fc	2.51	17.8	0.4	6.28
EXIT TO DRIVE	Illuminance	Fc	29.15	30.3	26.0	1.04
LOBBY ENTRY	Illuminance	Fc	24.95	32.1	21.0	1.19
PARKING	Illuminance	Fc	3.47	6.5	0.9	3.88
ROOF PATIO	Illuminance	Fc	0.48	1.3	0.2	2.40
ROOF PATIO_1	Illuminance	Fc	2.59	7.2	0.4	6.48
STAIR EXIT	Illuminance	Fc	13.87	28.8	3.8	3.65



E. WILSON ST.

PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
115 E MAIN STREET SUITE 210
MADISON, WI 53703

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DRAWN BY:
DATE:
SCALE: AS NOTED

SITE
LIGHTING
CALCULATIONS
A1.00

SPECIFICATION SHEET

lumenbeam™
333 E. Wilson
Type D
158 & 159-4PI-4-X

Client: _____
Project name: _____
Order #: _____
Type: _____ Qty: _____

FEATURES AND BENEFITS

- Low voltage compact high pressure sodium housing
- Heavy aluminum frame style
- Stainless steel hardware
- Stainless steel trim
- Clear aluminum glass
- Quick disconnect design for fast maintenance and ease of maintenance
- Electrochemically sprayed polymer powder coat finish
- 3.43 kg / 7.55 lbs
- 30V, 100V, 277V, 480V, 600V, 1000V
- Compact-recessed option for narrow environments

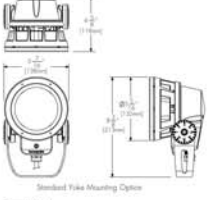
- Performance :**
- 6", 10", 20", 40", 60", (Equal distribution on 10" and 40" optics)
 - CR index: 78+
 - Rated maintenance: 120,000 hrs (10 @ 25°C)
 - Operating temperature: 25°C to 50°C (1.12 to 120°F)

- Electrical :**
- Line voltage limitation for 120 to 277V
 - Power and 800 mA 1.68A, 3W 1m cord (1F1A-5)
 - 1.4 mW
 - 0-10V and DMX or DALI dimming options



Wiring detail

WIRE COLOR / USE	GROUND
GREEN	GROUND
WHITE	NEUTRAL
BLACK	LINE 120/277V
RED	LINE 100V / 208V
ORANGE	0-10V / DALI



5 year warranty

lumenpulse
Sustainable architectural LED lighting systems

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SPECIFICATION SHEET

lumenbeam™
333 E. Wilson
Type D
158 & 159-4PI-4-X

HOW TO ORDER

LBS	Select	Select	Select	Select	Select	Select	Select	Select	Select
Housing	Voltage	Colors and finish	Optic	Optical Option	Finish	Mounting	Mounting Option	Option	Option
1	2	3	4	5	6	7	8	9	

Housing:
158 - Lumenbeam™ Small

Voltage:
120 - 120 volts
208 - 208 volts
220/240 - 220 to 240 volts
277 - 277 volts

Colors and Color temperatures:
27K - 2700K
35K - 3500K
40K - 4000K
50K - 5000K
80 - Cool
90 - Warm
BL - Blue

Optic:
WN - Warm Flood 0°
NS - Narrow Spot 10°
NF - Narrow Flood 20°
FL - Flood 40°
WFL - Wide Flood 60°

Optical Option:
LSM - Linear Spread Lens Horizontal distribution
LSV - Linear Spread Lens Vertical distribution
*Factory installed, available for 0° to 40° optics. See Optical Accessories for full adjustable optical lens.

Finish:
SL - Silver Smooth
BK - Black Smooth
WN - White
CC - Custom (please specify RAL code)

Dimming:
DM - 0-10V Dimming option (1% maximum dimming output)
DMX - DMX Dimming option (1% maximum dimming output)
DALI - DALI Dimming option (1% maximum dimming output)
NO - No Dimming

Mounting Option:
SK - Saddle Mounting
KN - Knuckle Mounting
CN - Canopy Mounting

Option:
CIC - Commissioning Coating

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Sustainable architectural LED lighting systems

COLE LIGHTING

333 E. Wilson
Type D
158 & 159-4PI-4-X

HOW TO ORDER

Series	LED	Finish	Mounting	Exterior	Interior	Deep	Other Options
158							Fluorescent color LED color (also add lower junction box)

158 SERIES
Description
The 158 Series of Steplites is a low profile, "thin" wall style fixture with LED, fluorescent, and incandescent lamp options. It is suitable for a variety of interior or exterior applications. The rugged construction, engineering excellence, and quality make these fixtures ideal for specification in most public areas.

Features
Lenses in the 158 Series are more widely spaced than most fixtures of this size, allowing for significantly greater forward projected illumination. Exceptional durability is provided by the thick cast aluminum housing and the tempered glass diffuser. Low-voltage models offer even greater protection to the enclosure while maintaining the distribution of light. Cole Steplites feature an optional cast aluminum junction box which may be easily field-mounted to either the back or bottom of the housing to best suit installation conditions.

Applications
The 158 Series Steplites are suitable for concrete pour-back wall and steel wall mounting in indoor or outdoor installations. They are ideal in low walls and side mounting at stairs, LED and incandescent fixtures will work well in emergency code situations. The LED and incandescent lamp options may be specified for interior code-compliance conditions. They are ideal in low walls and shop fronts.

Custom
If your project demands a special feature we would be pleased to discuss the production of modified standard fixtures or custom fixtures to suit your specific conditions. For more information on our custom capabilities, please contact your local Cole representative.

Options
Junction box (bottom or back-mounted junction box to best fit). Add suffix **J**
Fluorescent fixture. Add suffix **F**
Shiny satin finish. Requires illumination system. Add suffix **GL**
Brush hardware. Select finish color coat. Add suffix **H**
Voltage: Fluorescent 277V (select). Add suffix **277**. LED (universal voltage standard).
Dimming: Universal voltage 0-10V (select). Add suffix **DM**
Fluorescent color: Black or white. Add suffix **BLK** or **WHT**

COLE LIGHTING
C. W. Cole & Company, Inc.
2560 N. Rosemead Boulevard
South El Monte, CA 91733-1933
Tel: (925) 443-2473
Fax: (925) 443-9253
info@colelighting.com
www.colelighting.com



COLE LIGHTING

HOW TO ORDER

Series	LED	Finish	Mounting	Exterior	Interior	Deep	Other Options
158							Fluorescent color LED color (also add lower junction box)

158 SERIES
Description
The 158 Series of Steplites is a low profile, "thin" wall style fixture with LED, fluorescent, and incandescent lamp options. It is suitable for a variety of interior or exterior applications. The rugged construction, engineering excellence, and quality make these fixtures ideal for specification in most public areas.

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MIDDLETON, WI 53402
608-829-1700
608-829-3056 (FAX)

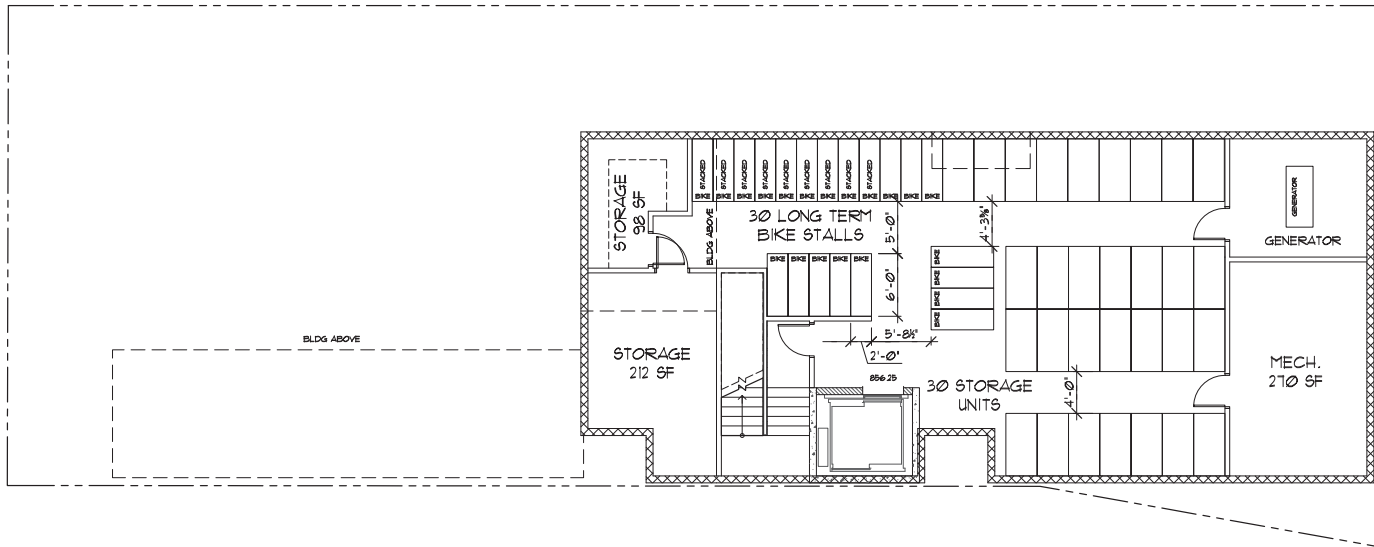
PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET, SUITE 210
MADISON, WI 53703

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**SITE LIGHTING
FIXTURE
CUT SHEETS
A1.02**



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608-251-1730
608-251-3036 (FAX)



1 BASEMENT FLOOR PLAN
SCALE: 3/8" = 1'-0"



PROJECT: 201249.1
DRAWN BY:
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SCALE: AS NOTED

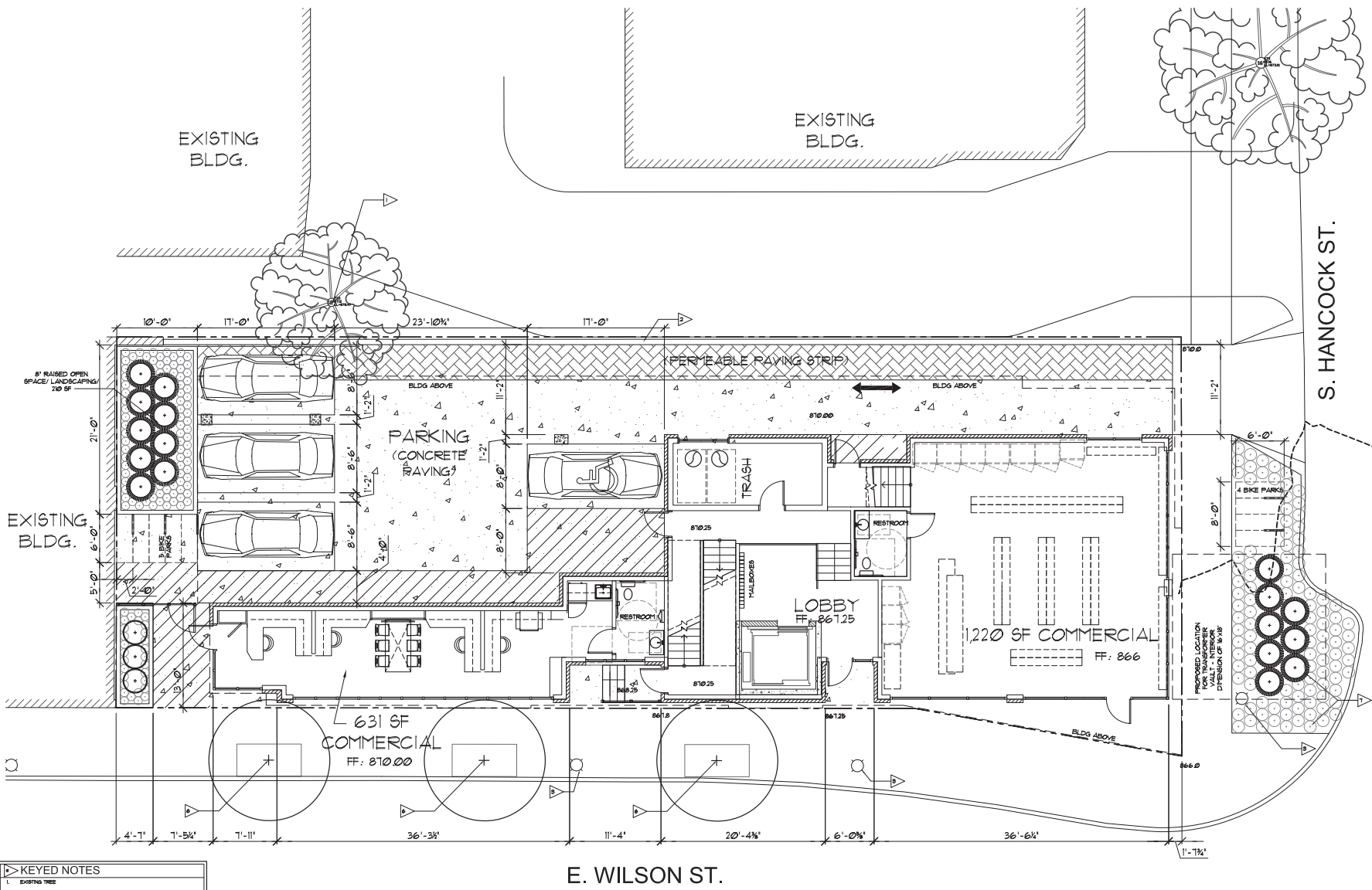
PROJECT:
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330 E. WILSON STREET
MADISON, WI 53703
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BASEMENT
FLOOR
PLAN
A2.00



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MIDDLETON, WI 53562
608.224.1700
608.429.1036 (FAX)



- KEYED NOTES**
- EXISTING TREE
 - EXISTING RETAINING WALL PROVIDE ALLOWANCE TO MATCH AND REPAIR
 - EXISTING STREET LAPP
 - NOT USED
 - NOT USED
 - NEW TREE - REFERENCE L100 FOR DETAILS
 - NEW PLANTINGS - REFERENCE L100 FOR DETAILS

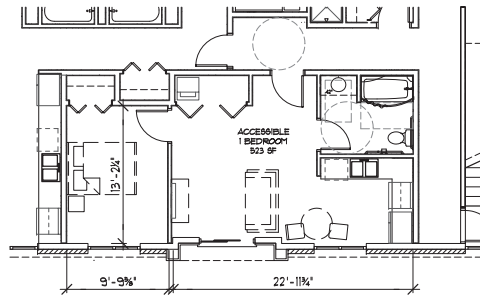
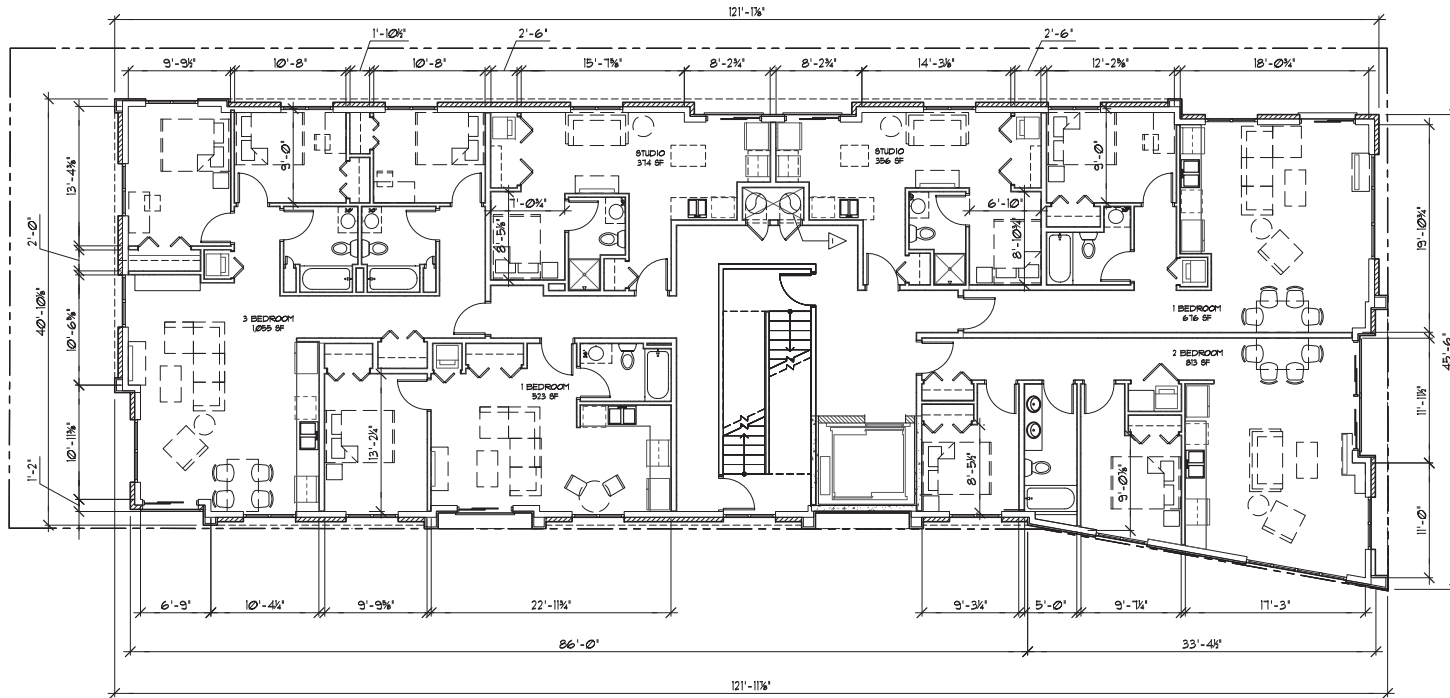
1 FIRST FLOOR PLAN / SITE PLAN
SCALE: 3/16" = 1'-0"

PROJECT: 330 E. WILSON
330 E. WILSON STREET
MIDDLETON, WI 53520
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SCALE: AS NOTED



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608-224-1700
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① 2nd FLOOR ACCESSIBLE PLAN
SCALE: 3/16" = 1'-0"

① 2nd THROUGH 6th FLOOR PLAN
SCALE: 3/16" = 1'-0"

KEYED NOTES
1. TRASH CHUTE FROM 2ND TO 1ST FLOOR ONLY

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330 E. WILSON STREET
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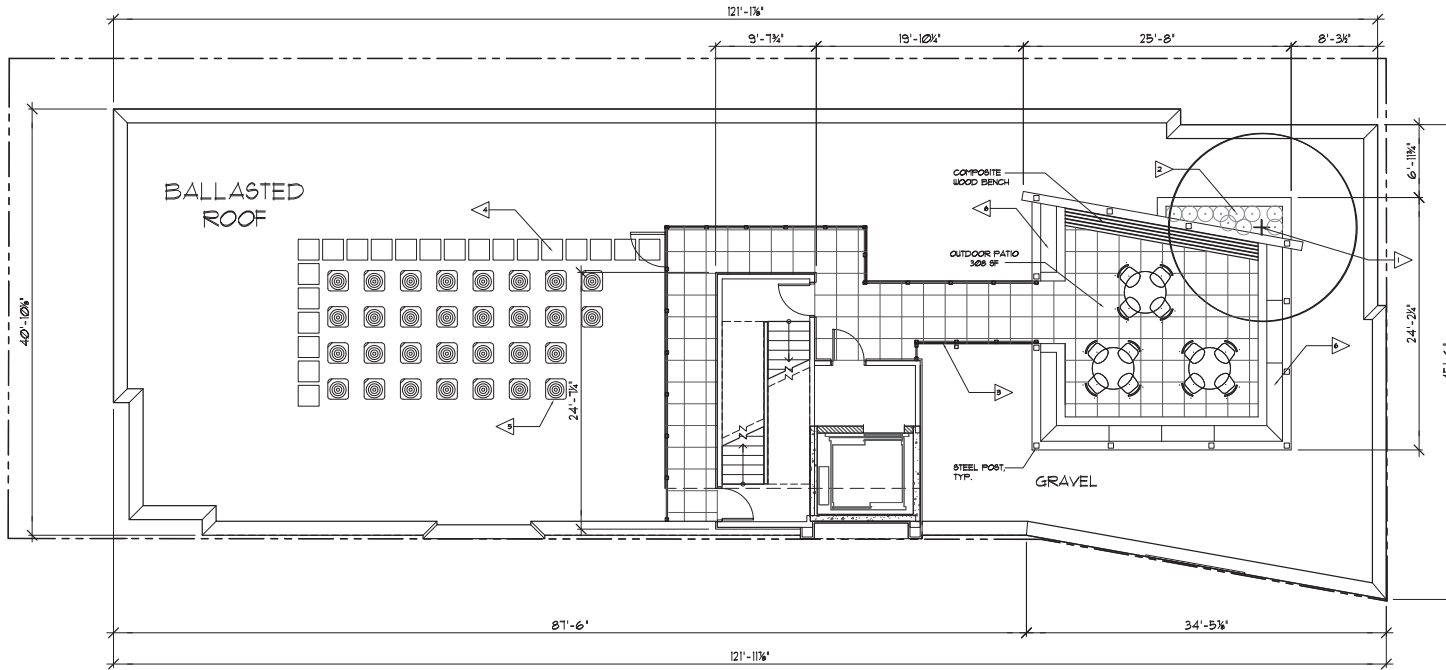
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2ND THRU 6TH
FLOOR
PLAN

A2.02



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608-251-3036 (FAX)



- KEYED NOTES**
1. TREE - REFERENCE LEG FOR DETAILS
 2. PLANTING - REFERENCE LEG FOR DETAILS
 3. GUARDRAIL / FENCING - TOP # 47, #8
 4. WALKWAY PAV.
 5. CONDENSER UNITS
 6. RAISED PLANTER / GARDEN

1 ROOF PLAN
SCALE: 3/8" = 1'-0"

PROJECT: 201249.1
DRAWN BY:
DATE:
SCALE: **AS NOTED**

PROJECT: **330 E. WILSON**
330 E. WILSON STREET
MADISON, WI 53703
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ROOF
PLAN

A2.03



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12'-0" (3.05 m)
 10'-0" (3.05 m)
 10'-0" (3.05 m)
 10'-0" (3.05 m)
 10'-0" (3.05 m)
 10'-0" (3.05 m)
 10'-0" (3.05 m)
 10'-0" (3.05 m)
 10'-0" (3.05 m)
 10'-0" (3.05 m)
 10'-0" (3.05 m)
 10'-0" (3.05 m)

GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION
	12-1	MASONRY FIELD MFR: INTERSTATE BRICK SIZE: 4"x6" COLOR: GOLDEN BLUFF
	12-2	MASONRY FIELD MFR: INTERSTATE BRICK SIZE: 4"x4" COLOR: NIGHTLADOW
	12-3	ALUMINUM PANEL MFR: DRE DESIGN SIZE: 6"x6" COLOR: DARK BRONZE
	12-4	GLASS FIELD MFR: VIBACOR SIZE: REFER TO SPECIFICATIONS TYPE: CLEAR VISION GLASS
	12-5	GLASS FIELD MFR: VIBACOR SIZE: REFER TO SPECIFICATIONS TYPE: SPANDREL

PLAN SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PROJECT: 330 E. WILSON
 330 E. WILSON STREET
 MADISON, WI 53703
 CLIENT: KOTHE REAL ESTATE PARTNERS
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PLAN SOUTH
 ELEVATION
A6.01



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PLAN WEST ELEVATION

SCALE: 1/8" = 1'-0"



PLAN EAST ELEVATION

SCALE: 1/8" = 1'-0"



GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION
	(1)17	MASONRY FIELD MFR: INTERSTATE BRICK SIZE: 4"x6" COLOR: GOLDEN BLUFF
	(1)18	MASONRY FIELD MFR: INTERSTATE BRICK SIZE: 4"x6" COLOR: TRISTLEDOWN
	(1)19	ALUMINUM PANEL MFR: DRE DESIGN SIZE: N.A. COLOR: DARK BRONZE
	(1)20	GLASS FIELD MFR: WIRACON SIZE: REFER TO SPECIFICATIONS TYPE: CLEAR VISION GLASS
	(1)21	GLASS FIELD MFR: WIRACON SIZE: REFER TO SPECIFICATIONS TYPE: SPANDREL

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PLAN
EAST/WEST
ELEVATION
A6.02



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608-429-1700
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GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION
	①	MASONRY FIELD MFR: INTERSTATE BRICK SIZE: 4"x6" COLOR: GOLDEN BLUFF
	②	MASONRY FIELD MFR: INTERSTATE BRICK SIZE: 4"x4" COLOR: TRISTLEDOWN
	③	ALUMINUM PANEL MFR: DRE DESIGN SIZE: 8'x8' COLOR: DARK BRONZE
	④	GLASS FIELD MFR: VIBACOR SIZE: REFER TO SPECIFICATIONS TYPE: CLEAR VISION GLASS
	⑤	GLASS FIELD MFR: VIBACOR SIZE: REFER TO SPECIFICATIONS TYPE: SPANDREL

PLAN NORTH ELEVATION

SCALE: 1/8" = 1'-0"



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MADISON, WI 53703
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DATE:
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MASSING
MODEL
RENDERINGS
R1.01



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608-429-3058 (FAX)



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330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
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MADISON, WI 53703

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MASSING
MODEL
RENDERINGS
R1.02

PEAK EAVE HEIGHTS



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608-429-3056 (FAX)



PROJECT: 330 E. WILSON
330 E. WILSON STREET
MILWAUKEE, WI 53203
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EXISTING EXTERIOR PHOTOGRAPHS



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 MADISON, WI 53747
 608.426.1770
 608.426.3566 (FAX)

PROJECT:
330 E. WILSON
 330 E. WILSON STREET
 CLINTON, WI 53020
KOTHE REAL ESTATE PARTNERS
 110 E. MAIN STREET SUITE 202
 MADISON, WI 53702

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SUPPLEMENTARY
 CONTEXT
 EXHIBITS
EX.02

EXISTING INTERIOR PHOTOGRAPHS



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408.429.1700
408.429.5516 (FAX)

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330 E. WILSON
330 E. WILSON STREET
MILWAUKEE, WI 53210
CLIENT
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SUPPLEMENTARY
CONTEXT
EXHIBITS
EX.03



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608-429-3056 (FAX)



STAIR/ELEVATOR CORE

EDGE OF BUILDING

PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 200
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S. HANCOCK
VIEW SHED
STUDY

EX.04



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STAIR/ELEVATOR CORE

EDGE OF BUILDING

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S. HANCOCK
VIEW SHED
STUDY
EX.05



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608-429-3656 (FAX)



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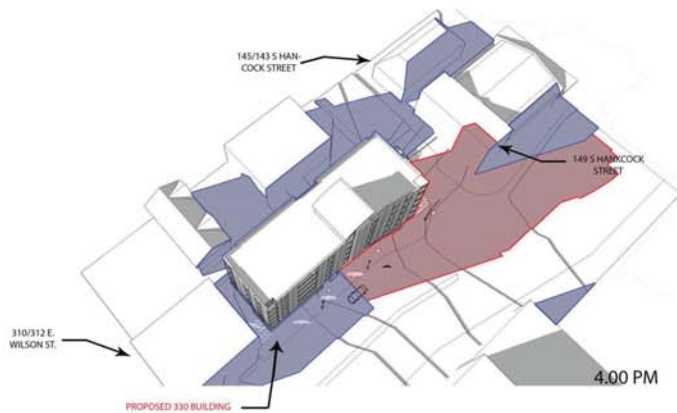
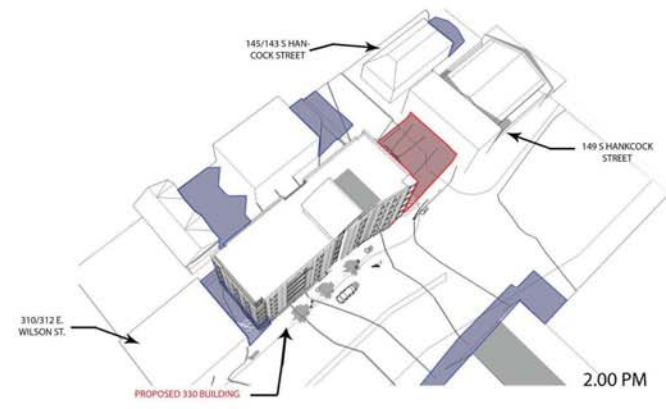
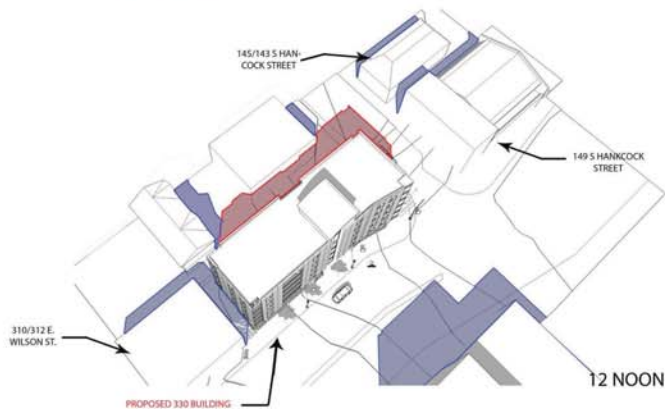
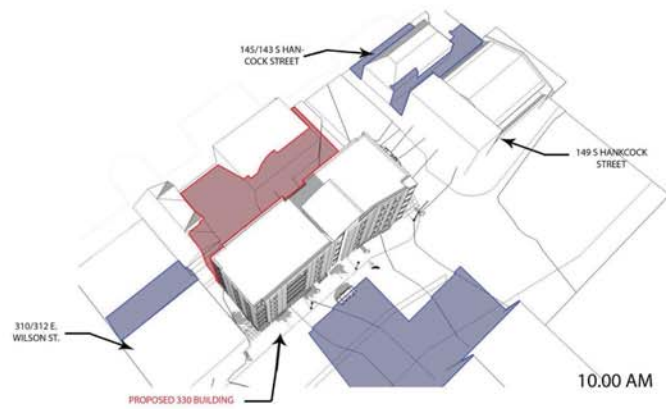
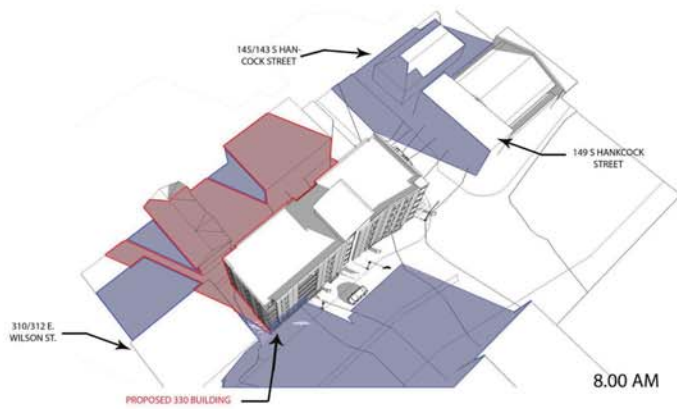
PROJECT: 201249
DRAWN BY: MB
DATE:
SCALE: AS NOTED

S. HANCOCK
VIEW SHED
STUDY

EX.06



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1700
608-829-3656 (FAX)



SHADOWS FROM PROPOSED BUILDING

SHADOWS FROM EXISTING BUILDINGS

SHADOWS TAKEN AT DESIGNATED TIMES ON THE EQUINOX (MARCH 20, SPET. 23)

PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

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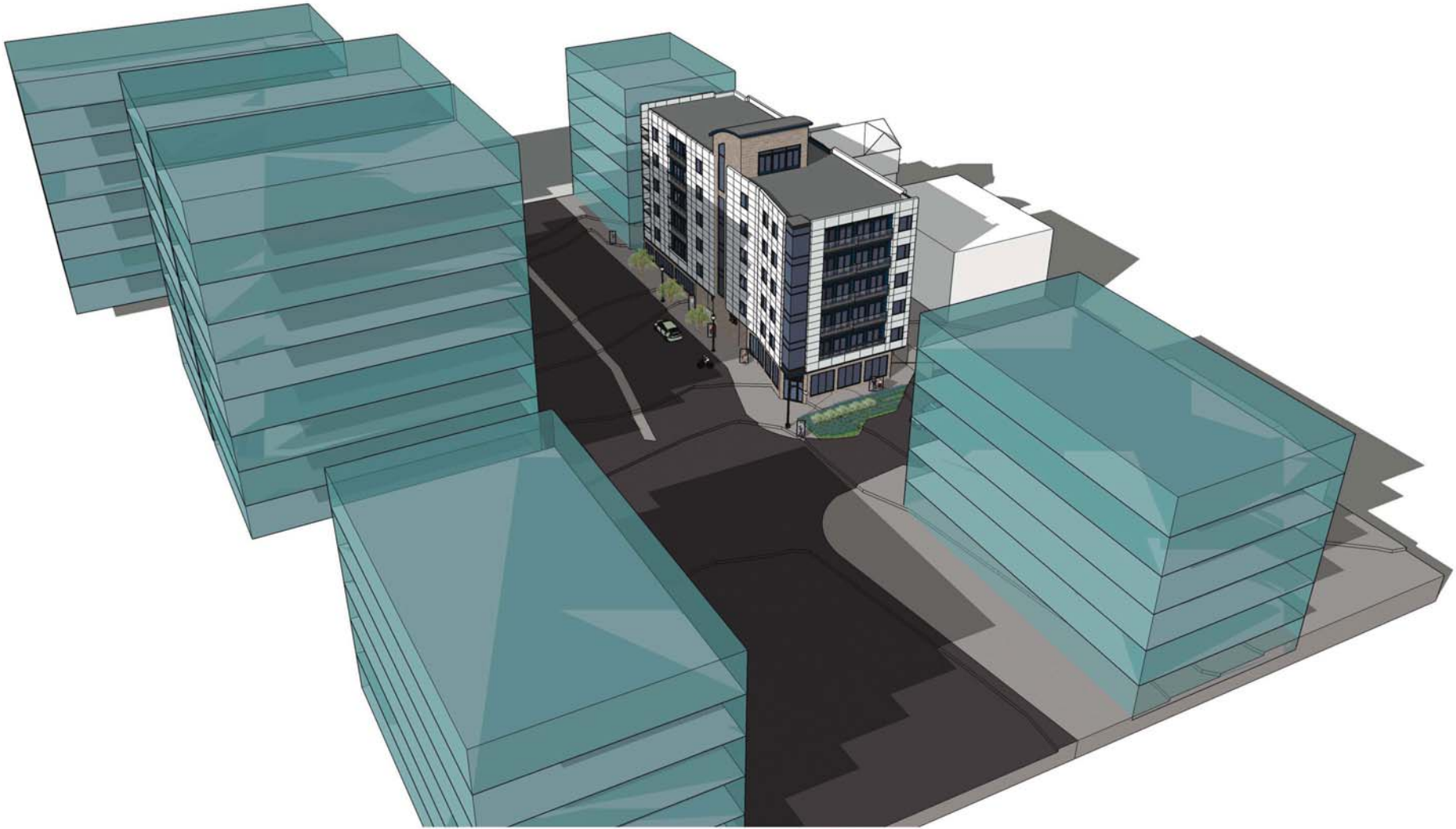
PROJECT: 201249
DRAWN BY: MB
DATE:
SCALE: AS NOTED

SITE MODEL
SHADOW
STUDY

EX.07



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DRAWN BY: MB
DATE:
SCALE: AS NOTED

FULLY
DEVELOPED
SITE CONTEXT
EX.08