

PARK & DRAKE MIXED-USE BUILDING
444 South Park Street (Retail) / 902 Drake Street
(Apartments)
Madison, Wisconsin 53715

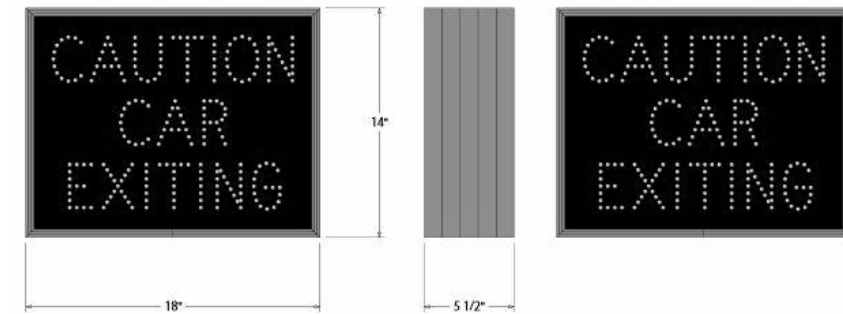


city of madison udc submittal

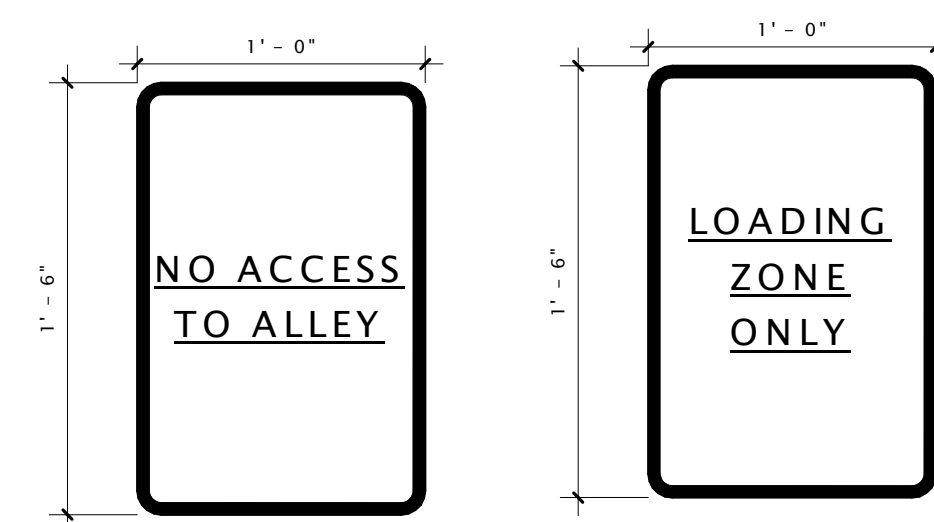
JLA
architects

JLA PROJECT NUMBER: 12-0718-01

May 14, 2014

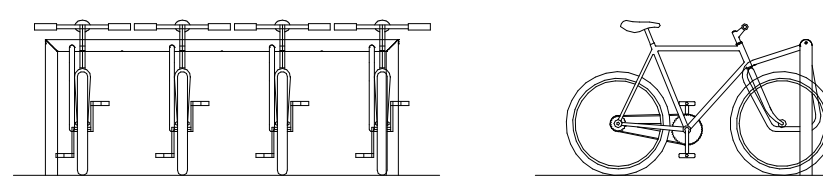
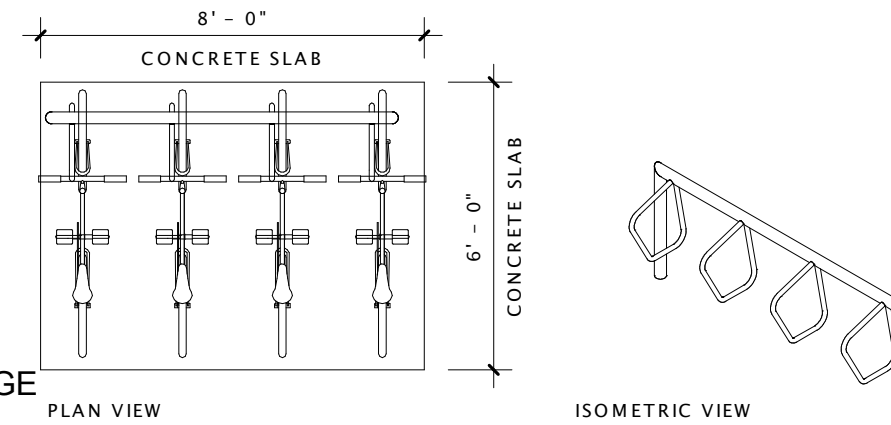


1 LED ELECTRIC SIGNAGE
1" = 1'-0"



2 NO ALLEY ACCESS SIGNAGE 1 1/2" = 1'-0"
3 LOADING ZONE ONLY SIGNAGE 1 1/2" = 1'-0"

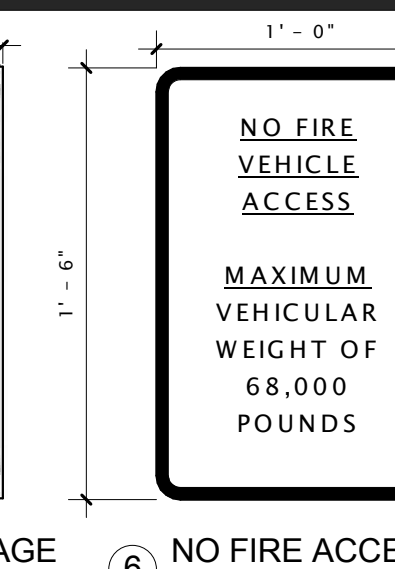
EXTERIOR BIKE RACKS
EXTERIOR BIKE RACKS SHALL BE 'DERO CAMPUS - 54' OR EQUAL WITH IN-GROUND MOUNT (SHOWN IN PHOTO) & STAINLESS STEEL FINISH. ONE '54' RACK SHALL BE LOCATED AT THE ENTRY OF EACH RESIDENTIAL BUILDING AS NOTED ON THE PLANS.



4 TYPICAL EXTERIOR BIKE RACK
1/4" = 1'-0"

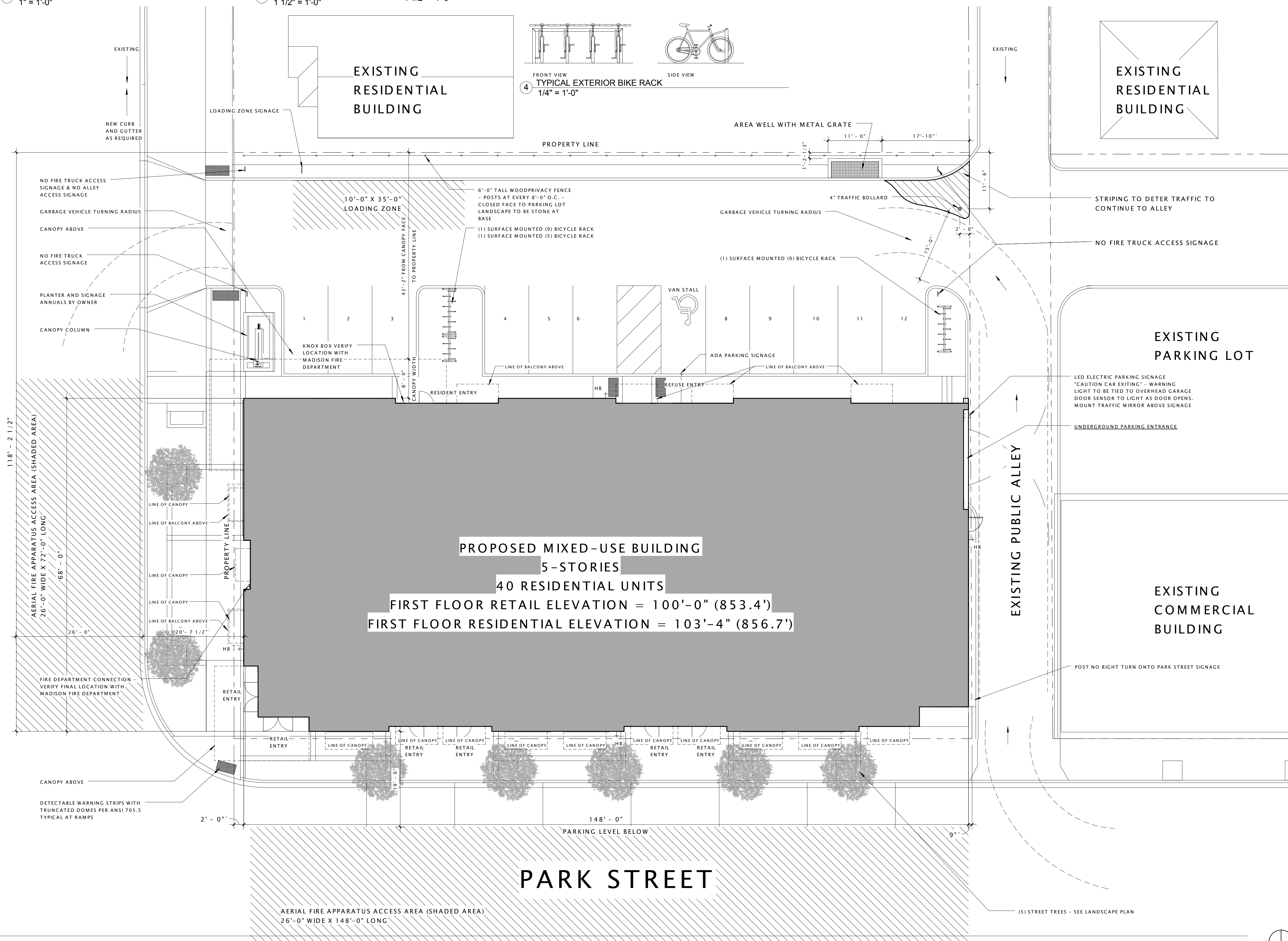


5 ADA PARKING SIGNAGE
1 1/2" = 1'-0"



6 NO FIRE ACCESS SIGNAGE
1 1/2" = 1'-0"

DRAKE STREET



PROPOSED MIXED-USE BUILDING
5-STORIES
40 RESIDENTIAL UNITS
FIRST FLOOR RETAIL ELEVATION = 100'-0" (853.4')
FIRST FLOOR RESIDENTIAL ELEVATION = 103'-4" (856.7')

JLA
architects + planners

JOSEPH LEE + ASSOCIATES
3325 WALL STREET - SUITE 2700
MADISON, WISCONSIN 53718
608.241.9500

JLA PROJECT NUMBER: 12-0718-01

JDMcCormick LLC
Development & Property Management

JD McCormick
Companies

PARK & DRAKE
MIXED-USE BUILDING

DATE OF ISSUANCE May 14, 2014

Revision Schedule		
Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE
PLAN

SHEET NUMBER

ASP-100

PROJECT DATA																					
BUILDING	UNIT A1 - STUDIO		UNIT B1 (TYPE 'A') - 1 BR		UNIT B1 - 1 BR		UNIT B2 - 1 BR		UNIT D1 - 2 BR		UNIT D2 - 2 BR		UNIT D3 - 2 BR		UNIT D4 - 2 BR		TOTAL UNITS		COMMON SPACE	BUILDING TOTALS	
	FLOOR	QTY	AREA	QTY	AREA	QTY	AREA	QTY	AREA	QTY	AREA	QTY	AREA	QTY	AREA	QTY	AREA	QTY		AREA	EFFICIENCY
2	1	515 SF	1	666 SF	1	665 SF	3	2,046 SF	1	936 SF	1	959 SF	1	1,198 SF	1	1,124 SF	10	8,109 SF	994 SF	9,103 SF	95.4%
3	1	515 SF			2	1,330 SF	3	2,046 SF	1	936 SF	1	959 SF	1	1,198 SF	1	1,124 SF	10	8,108 SF	996 SF	9,104 SF	95.5%
4	1	515 SF			2	1,330 SF	3	2,046 SF	1	936 SF	1	959 SF	1	1,198 SF	1	1,124 SF	10	8,108 SF	996 SF	9,104 SF	95.5%

PROJECT DATA																							
BUILDING	UNIT L1 - STUDIO		UNIT L2 - 1 BR		UNIT L3 - STUDIO		UNIT L4 - 1 BR		UNIT L5 - 1 BR		UNIT L6 - 1 BR		UNIT L7 - 2 BR		UNIT L8 - 2 BR		UNIT L9 - 2 BR		TOTAL UNITS		COMMON SPACE	BUILDING TOTALS	
	FLOOR	QTY	AREA	QTY	AREA	QTY	AREA	QTY	AREA	QTY	AREA	QTY	AREA	QTY	AREA	QTY	AREA	QTY	AREA	QTY		AREA	EFFICIENCY
5	1	509 SF	2	1,326 SF	1	397 SF	1	651 SF	1	765 SF	1	819 SF	1	1,132 SF	1	1,180 SF	1	948 SF	10	7,727 SF	946 SF	8,673 SF	95.2%
5 LOFT	1	199 SF	2	272 SF	1	252 SF	1	300 SF	1	191 SF	1	203 SF	1	233 SF	1	232 SF	1	299 SF	10	2,181 SF	342 SF	2,523 SF	68.5%
TOTALS	1	796 SF	3	2,379 SF	3	3,552 SF	1	910 SF	1	1,523 SF	3	4,386 SF	1	1,324 SF	1	1,649 SF			14	16,519 SF	4,828 SF	21,347 SF	
UNIT BREAKDOWN	2 BEDROOMS: 12%				3 BEDROOMS: 18%				4 BEDROOMS: 28%				5 BEDROOMS: 7%										

① PROJECT DATA
3/16" = 1'-0"

MASTERPLAN DATA		
ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
LOT SIZE	.41 ACRES	18,008.7 S.F. / 43,560 S.F. = .41 AC
SITE DENSITY	97.56 UNITS / ACRE	40 UNITS / .41 AC = 127.27
BUILDING COVERAGE	54% OF PARCEL	9,787.73 S.F. / 18,008.7 S.F. = .54%
FLOOR AREA RATIO	317% OF PARCEL	57,039 S.F. / 18,008.7 S.F. = 3.17

MASTERPLAN DATA								.41 ACRES - 97.56 U/A
BUILDING	NAME	UNITS	VEHICULAR PARKING*			BICYCLE PARKING*		
			COVERED	SURFACE	RATIO	COVERED	SURFACE	RATIO
COMM.		1	-	12	12 / U	-	23	27 / U
APTS		40	34	-	.85 / U	40	-	.975 / U
TOTALS		41	34	12	1.12 / U	40	23	1.51 / U

*PARKING NOTES:
1) VEHICULAR & BICYCLE COVERED PARKING COUNTS ARE MINIMUM. SURFACE PARKING COUNTS ARE MAXIMUM. COVERED BICYCLE PARKING SHALL BE PROVIDED IN THE LOWER LEVEL SPACES.

LANDSCAPING NOTE:
1) ALL LANDSCAPING ELEMENTS SHOWN ON THIS MASTERPLAN ARE CONCEPTUAL ONLY. SEE LANDSCAPE PLANS FOR INFORMATION AND DETAILS REGARDING THE ACTUAL LANDSCAPING FOR THIS PROJECT.

EXTERIOR SITE LIGHTING:
1) ALL EXTERIOR LIGHTING SHALL BE ESTABLISHED, DIRECTED, AND MAINTAINED SO AS NOT TO BE CAST DIRECTLY ON PUBLIC RIGHTS-OF-WAY OR NEIGHBORING PROPERTIES - OR BE LIGHTED IN INTENSITY OR COLORS SERIOUSLY DISTURBING TO NEIGHBORING PROPERTIES (PER CITY OF MADISON ZONING CODE).

BICYCLE NOTES:
1) (1) BICYCLE STALL PER BEDROOM SHALL BE PROVIDED PER THE PLAN COMMISSION CONDITIONAL APPROVAL LETTER

2) THERE ARE 40 APTMENT UNITS AND 63 BEDROOMS TOTAL FOR PROJECT.

3) THERE ARE 63 TOTAL BIKE STALLS PROVIDED (23 SURFACE STALLS IN APPROVED BIKE RACKS, 40 STRIPED STALLS WITH WALL MOUNTED SINGLE RACK PER STALL IN UNDERGROUND PARKING) FOR PROJECT, ALL ON PRIVATE PROPERTY.



JOSEPH LEE + ASSOCIATES
3325 wall street - suite 2700
madison, wisconsin 53718
608.241.9500

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PARK & DRAKE
MIXED-USE BUILDING

DATE OF ISSUANCE May 14, 2014

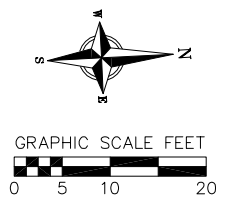
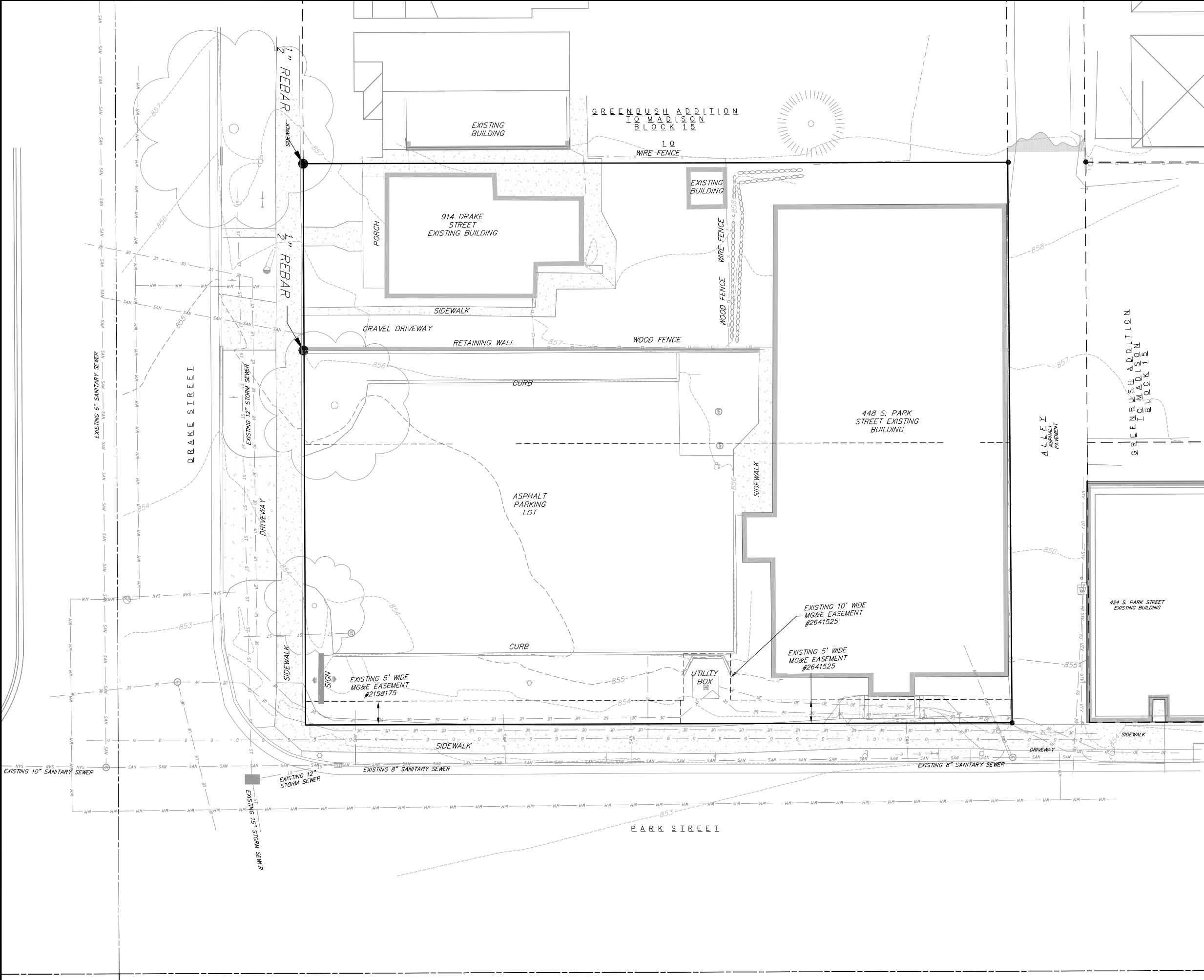
Revision Schedule		
Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE
PLAN

SHEET NUMBER

ASP-101



TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING FLAG POLE
- ☐ EXISTING MAILBOX
- EXISTING MONITORING WELL
- EXISTING POST
- EXISTING SIGN (TYPE NOTED)
- ☐ EXISTING CURB INLET
- ☐ EXISTING ENDWALL
- EXISTING FIELD INLET
- EXISTING ROOF DRAIN CLEANOUT
- EXISTING STORM MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY MANHOLE
- EXISTING SEPTIC VENT
- EXISTING FIRE HYDRANT
- EXISTING STANDPIPE
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING WELL
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- ☐ EXISTING AIR CONDITIONING PEDESTAL
- ↑ EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- ☐ EXISTING ELECTRIC PEDESTAL
- ☐ EXISTING TRANSFORMER
- EXISTING GUY POLE
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING UTILITY POLE
- ☐ EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- ☐ EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- UTV — EXISTING UNDERGROUND CABLE TV
- OHTV — EXISTING OVERHEAD CABLE TV
- FO — EXISTING FIBER OPTIC LINE
- OHT — EXISTING OVERHEAD TELEPHONE LINE
- UT — EXISTING UNDERGROUND TELEPHONE
- ○ ○ ○ ○ EXISTING RETAINING WALL
- ○ ○ ○ ○ EXISTING CHAIN LINK FENCE
- * * * * * EXISTING GENERAL FENCE
- x x x x x EXISTING WIRE FENCE
- □ □ □ □ EXISTING WOOD FENCE
- G — EXISTING GAS LINE
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- GUY — EXISTING GUY LINE
- OHE — EXISTING OVERHEAD ELECTRIC LINE
- OGU — EXISTING OVERHEAD GENERAL UTILITIES
- FM — EXISTING SANITARY FORCE MAIN
- SAN — EXISTING SANITARY SEWER LINE
- ST — EXISTING STORM SEWER LINE
- — — EXISTING EDGE OF TREES
- WM — EXISTING WATER MAIN
- — — — — PROPERTY LINE
- 820 — EXISTING MAJOR CONTOUR
- 818 — EXISTING MINOR CONTOUR

vierbicher
 planners | engineers | advisors
 REDSBURG - MADISON - PRAIRIE DU CHIEN
 999 Folsom Street, Suite 200
 Phone: (608) 824-0332 Fax: (608) 824-0330

EXISTING CONDITIONS
 PARK & DRAKE MIXED USE BUILDING
 914 DRAKE STREET & 448 S. PARK STREET
 LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	10-02-12	4	11-06-13
2	10-30-12	5	12-16-13
3	07-11-13	6	4-28-14

SCALE: AS SHOWN

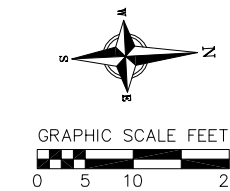
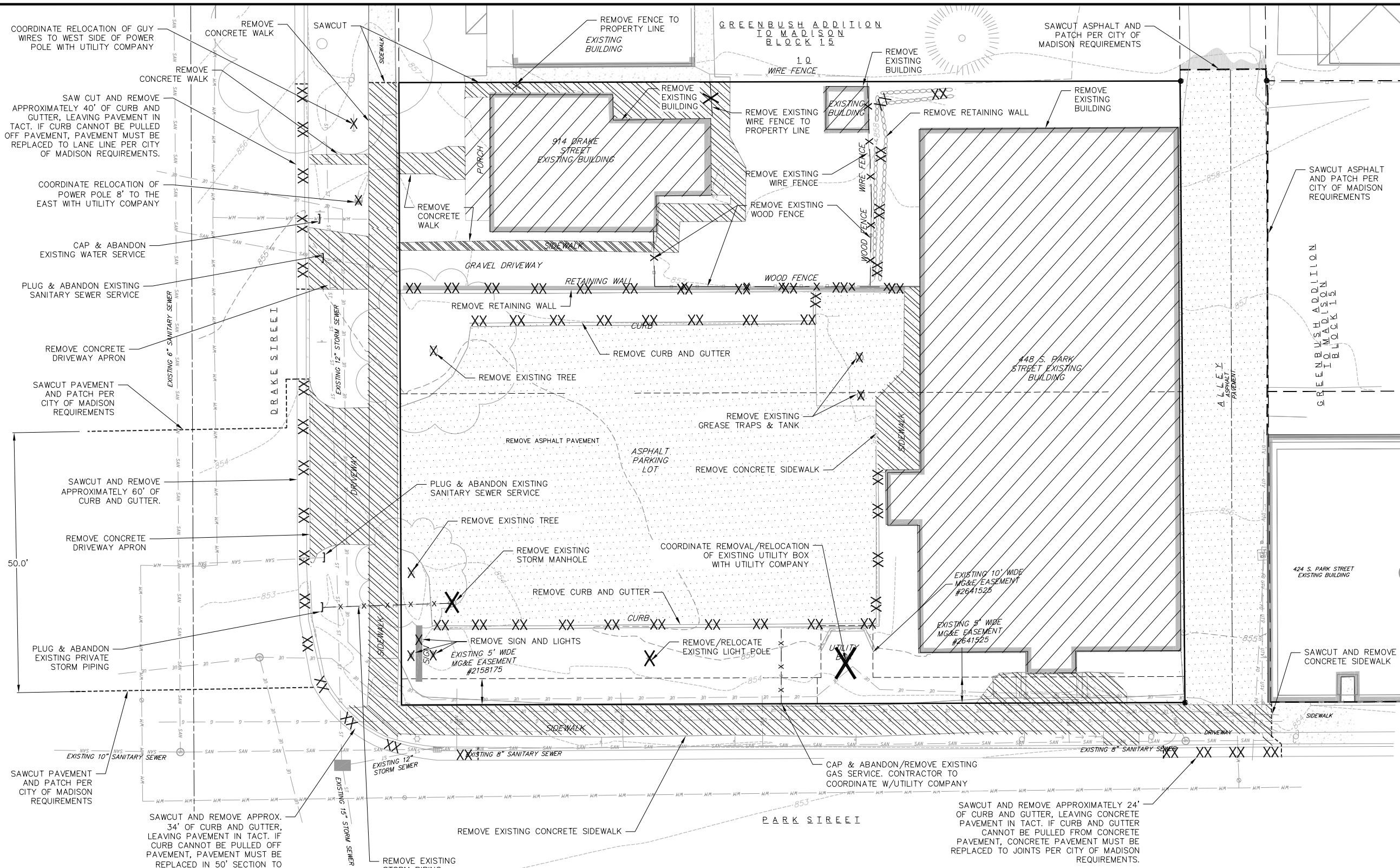
DATE: 09-24-12

DRAFTER: MMAR

CHECKED: TSCH

PROJECT NO.: 128054

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GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
3. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
4. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
5. THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
6. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
7. CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON AT (608) 266-4751 A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.
8. ALL WORK FOR PUBLIC IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY ARE TO BE PER CITY ISSUED PLANS AND PROJECT #53B2293.


DEMOLITION NOTES:

1. ALL SIGNS TO BE REMOVED SHALL BE SALVAGED AND STORED IN THE OWNER'S FACILITY FOR FUTURE USE AS APPLICABLE.
2. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. COORDINATE EXISTING UTILITY REMOVAL WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
4. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
5. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
6. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
7. PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
8. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
9. CONTRACTOR TO ABANDON ALL WELLS LOCATED ON THIS PROPERTY IF NO VALID WELL OPERATION PERMIT HAS BEEN OBTAINED FROM THE MADISON WATER UTILITY.

SITE DEMOLITION PLAN
PARK & DRAKE MIXED USE BUILDING
914 DRAKE STREET & 448 S. PARK STREET
LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS		NO.	DATE	REMARKS
1	10-02-12	1	11-06-13	REVISED SITE PLAN
2	10-30-12	2	12-16-13	OWNER REVIEW REV.
3	07-11-13	3	4-28-14	REVISED SITE PLAN COMMENTS

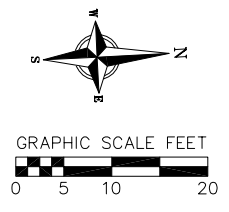
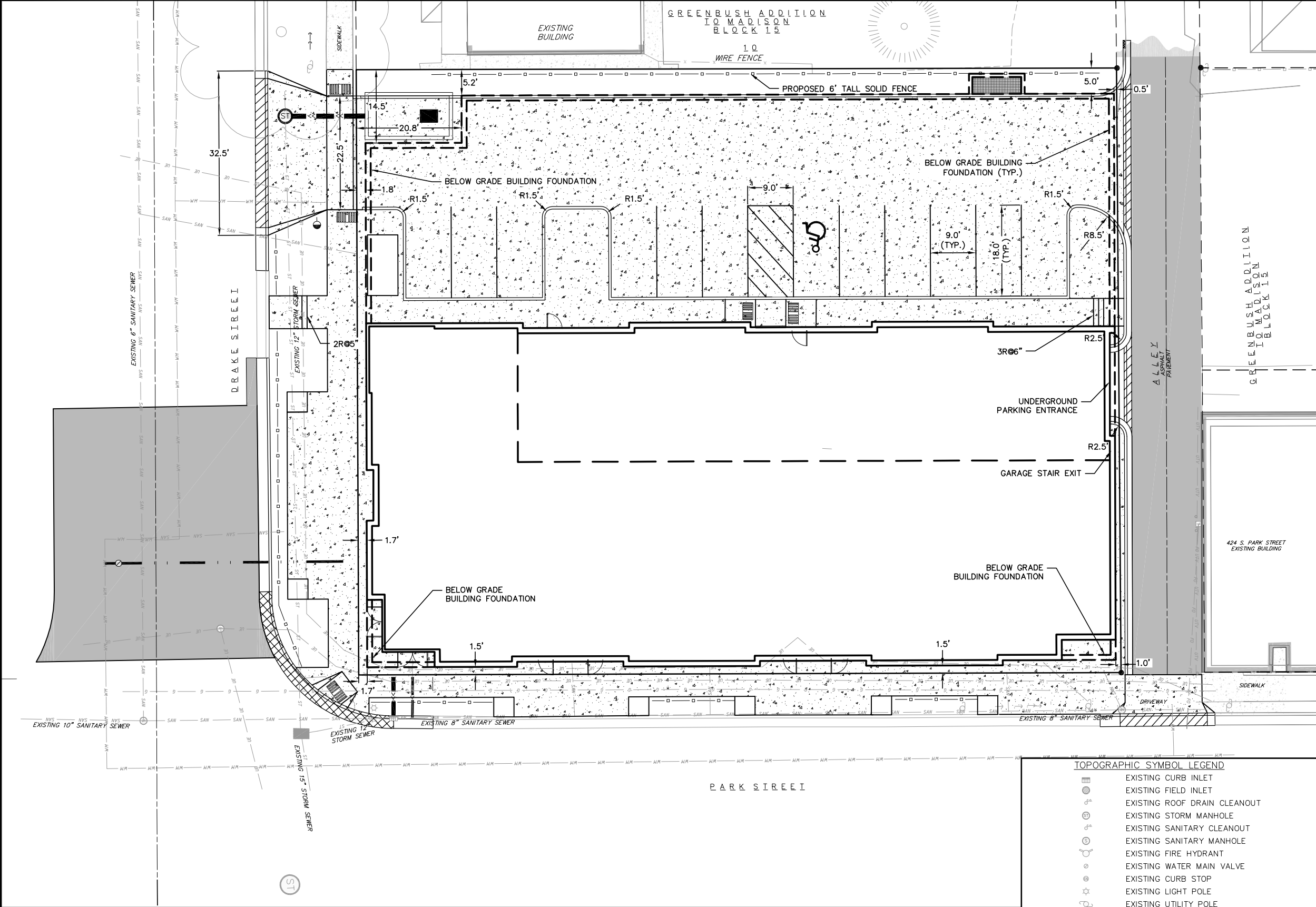
SCALE	AS SHOWN
DATE	09-24-12
DRAFTER	ACAR
CHECKED	TSCH
PROJECT NO.	128054
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CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE
TELEFAX 1-800-338-3860
TDC (FOR HEARING IMPAIRED):
1-800-542-2289
WIS. STATUTE 192.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

DEMOLITION LEGEND

	PROPERTY LINE		ASPHALT REMOVAL
	SAWCUT		BUILDING STRUCTURE REMOVAL
	CURB AND GUTTER REMOVAL		CONCRETE REMOVAL
	FENCE REMOVAL		GRAVEL REMOVAL
	RETAINING WALL REMOVAL		MANHOLE REMOVAL
	STORM PIPE REMOVAL		LIGHT POLE REMOVAL
	TREE REMOVAL		



TOPOGRAPHIC SYMBOL LEGEND

	EXISTING CURB INLET
	EXISTING FIELD INLET
	EXISTING ROOF DRAIN CLEANOUT
	EXISTING STORM MANHOLE
	EXISTING SANITARY CLEANOUT
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER MAIN VALVE
	EXISTING CURB STOP
	EXISTING LIGHT POLE
	EXISTING UTILITY POLE
	EXISTING SANITARY SEWER LINE (SIZE NOTED)
	EXISTING STORM SEWER LINE (SIZE NOTED)
	EXISTING WATER MAIN (SIZE NOTED)
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE

PROPOSED UTILITY LEGEND

	STORM SEWER PIPE
	STORM SEWER MANHOLE
	STORM SEWER CURB INLET
	STORM SEWER FIELD INLET
	ROOF DRAIN CLEANOUT
	SANITARY SEWER PIPE (GRAVITY)
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	WATER MAIN
	FIRE HYDRANT
	WATER VALVE
	CURB STOP
	GAS MAIN
	ELECTRIC SERVICE

SITE PLAN LEGEND

	PROPERTY BOUNDARY
	6' TALL SOLID FENCE
	CURB AND GUTTER (DRIVEWAY CURB HATCHED)
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT

vierbicher
 planners | engineers | advisors
 REDBURG - MADISON - WAUNAKEE - CHICAGO
 999 Foxglove Lane, Madison, WI 53717
 Phone: (608) 824-0332 Fax: (608) 824-0330

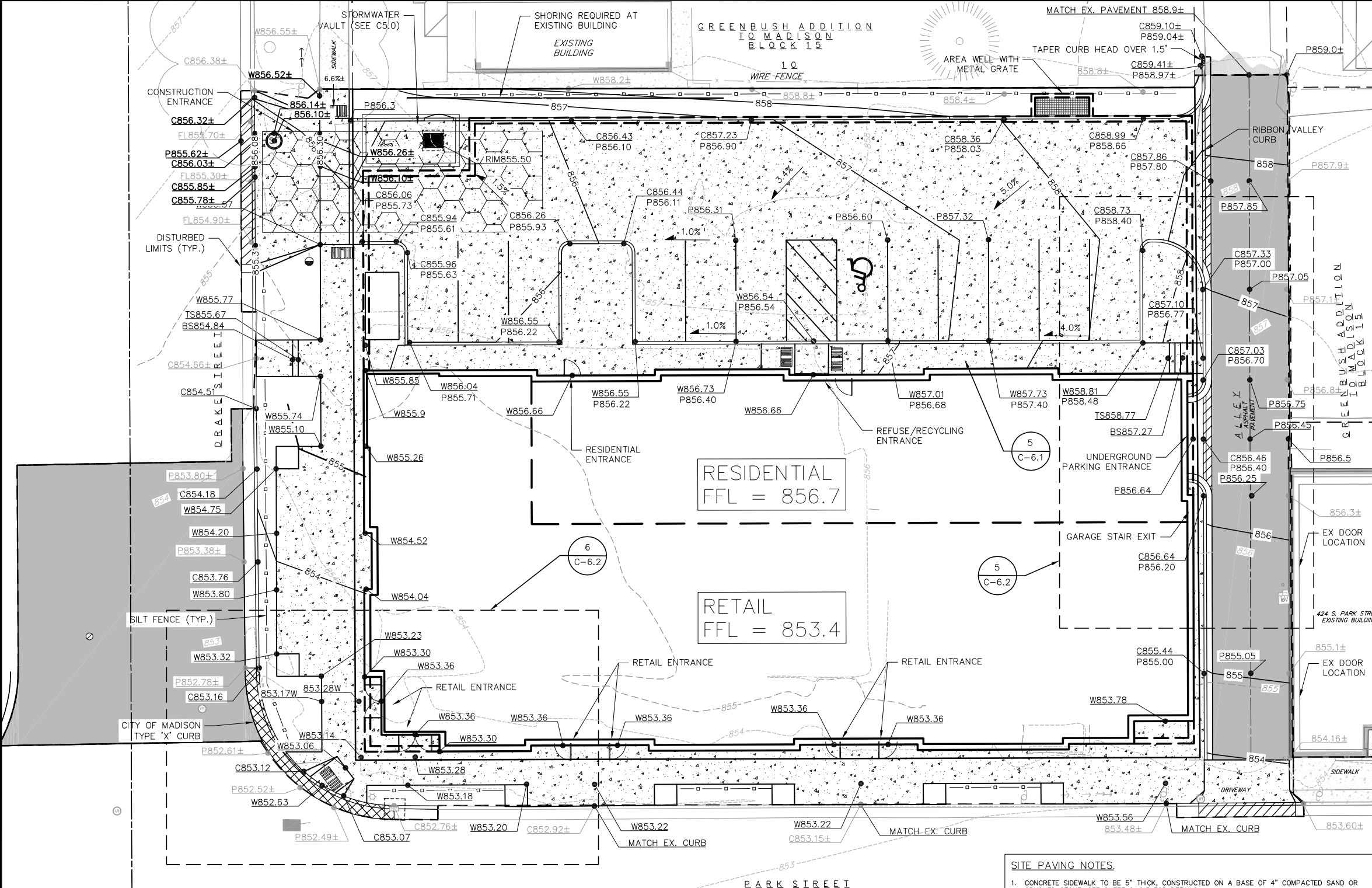
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REVISIONS

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5	12-16-13	OWNER REVIEW REV.
6	4-28-14	ADDRESS CITY COMMENTS

SCALE: AS SHOWN
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 PROJECT NO.: 128054
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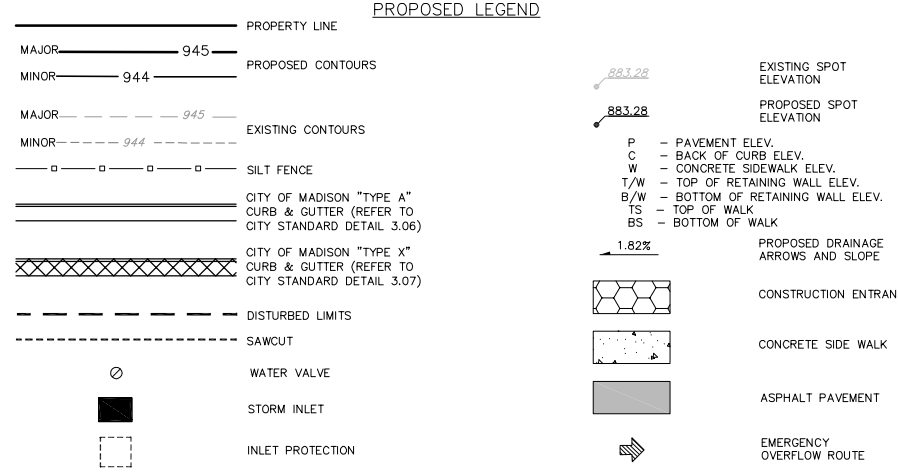


GRAPHIC SCALE FEET
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TDC (FOR HEARING IMPAIRED):
1-800-942-2289
WS STATUTE 182.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

- ### EROSION CONTROL MEASURES
- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
 - CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wisconsin.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
 - INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 - EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
 - A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
 - STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25'-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
 - SITE DE-WATERING:** SITE DE-WATERING SHALL BE IN ACCORDANCE WITH WISCONSIN TECHNICAL STANDARD 1061. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SLUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
 - WASHED STONE WEEDERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
 - INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
 - RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
 - ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
 - SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
 - FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDD AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
 - EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
 - SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
 - SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
 - SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
 - ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
 - ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
 - THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
 - CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 - ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
 - ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

- ### SITE PAVING NOTES
- CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE. SEE SHEET C-2.3 FOR DETAILS.
 - CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
 - CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
- ### CONSTRUCTION SEQUENCE:
- INSTALL SILT FENCE AND TRACKING PAD.
 - INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
 - PERFORM SITE DEMOLITION AND REMOVE PAVEMENT.
 - STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
 - ROUGH GRADE FOR BUILDING PADS AND WALKS.
 - CONSTRUCT UNDERGROUND UTILITIES.
 - INSTALL INLET PROTECTION ON NEW INLETS.
 - CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
 - FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
 - REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.
- ### SEEDING RATES:
- TEMPORARY:**
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.
- PERMANENT:**
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.
- ### FERTILIZING RATES:
- TEMPORARY AND PERMANENT:**
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.
- ### MULCHING RATES:
- TEMPORARY AND PERMANENT:**
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



- ### NOTES:
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 - ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX.

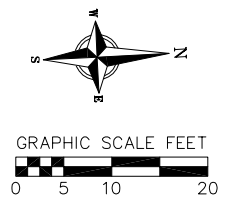
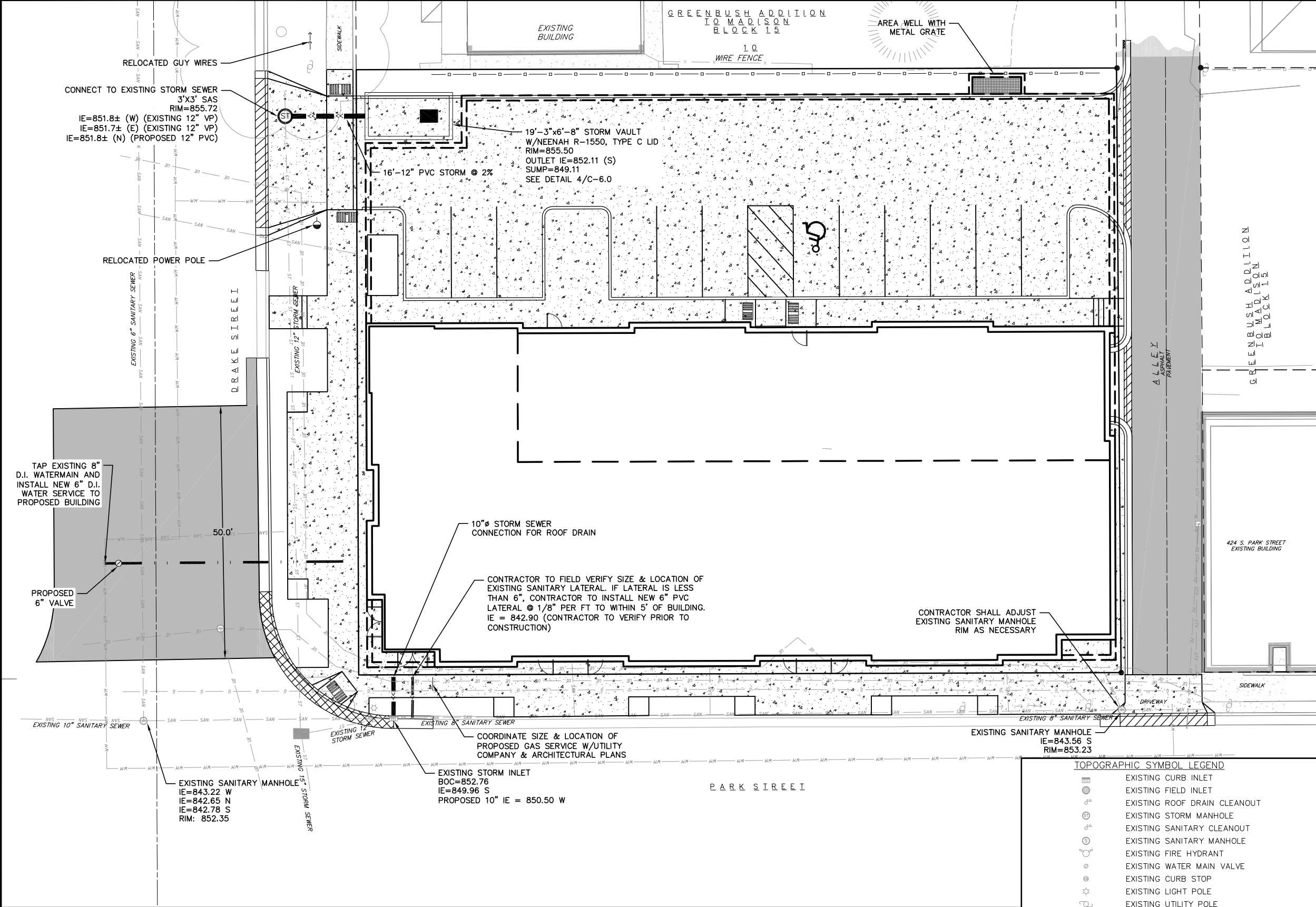
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REDBURG - MADISON - PRAIRIE DU CHIEN
997 Foxglove Lane, Madison, WI 53717
Phone: (608) 824-0332 Fax: (608) 824-0330

GRADING AND EROSION CONTROL PLAN

PARK & DRAKE MIXED USE BUILDING
914 DRAKE STREET & 448 S. PARK STREET
LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS
1	10-02-12	1	REVISED SITE PLAN
2	10-30-12	2	OWNER REVIEW REV.
3	07-11-13	3	REVISED SITE PLAN COMMENTS

SCALE: AS SHOWN
DATE: 09-24-12
DRAFTER: ACAR
CHECKED: TSCH
PROJECT NO.: 128054
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- UTILITY NOTES:**
- PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
 - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
 - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
 - NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
 - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
 - CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
 - PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
 - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
 - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
 - EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
 - THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5" BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.

- PROPOSED UTILITY LEGEND**
- <<---<<--- STORM SEWER PIPE
 - <<--- STORM SEWER MANHOLE
 - <<--- STORM SEWER CURB INLET
 - <<--- STORM SEWER FIELD INLET
 - <<--- ROOF DRAIN CLEANOUT
 - <<--- SANITARY SEWER PIPE (GRAVITY)
 - <<--- SANITARY SEWER MANHOLE
 - <<--- SANITARY SEWER CLEANOUT
 - <<--- WATER MAIN
 - <<--- FIRE HYDRANT
 - <<--- WATER VALVE
 - <<--- CURB STOP
 - <<--- GAS MAIN
 - <<--- ELECTRIC SERVICE

- TOPOGRAPHIC SYMBOL LEGEND**
- SAN --- SAN --- EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - ST --- ST --- EXISTING STORM SEWER LINE (SIZE NOTED)
 - WM --- WM --- EXISTING WATER MAIN (SIZE NOTED)
 - G --- G --- EXISTING GAS LINE
 - UE --- UE --- EXISTING UNDERGROUND ELECTRIC LINE
 - 820 --- EXISTING MAJOR CONTOUR
 - 818 --- EXISTING MINOR CONTOUR
 - EXISTING ASPHALT PAVEMENT
 - EXISTING CONCRETE

- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - CURB AND GUTTER (DRIVEWAY CURB HATCHED)
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT

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 REDBURG - MADISON - PRAIRIE DU CHIEN
 999 Foxglove Lane, Madison, WI 53717
 Phone: (608) 824-5332 Fax: (608) 824-5330

UTILITY PLAN
 PARK & DRAKE MIXED USE BUILDING
 914 DRAKE STREET & 448 S. PARK STREET
 LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS
1	10-02-12	SITE PLAN SUBMITAL	4
2	10-30-12	REVISED SITE PLAN	5
3	07-11-13	REVISED SITE PLAN	6

SCALE: AS SHOWN

DATE: 09-24-12

DRAFTER: ACAR

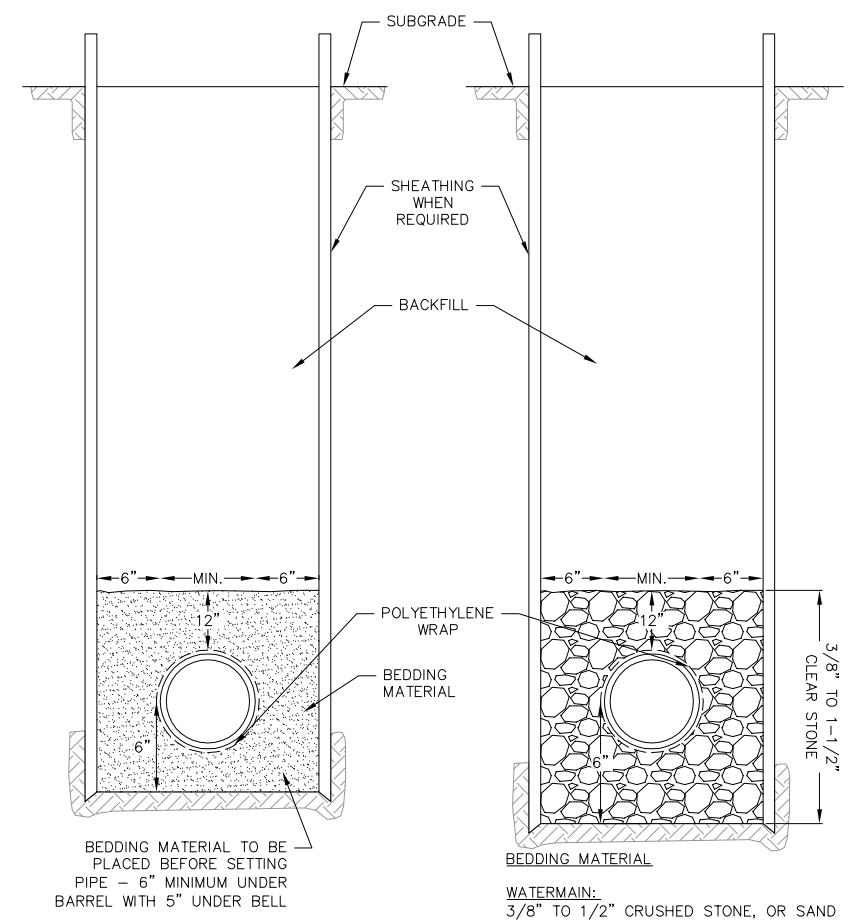
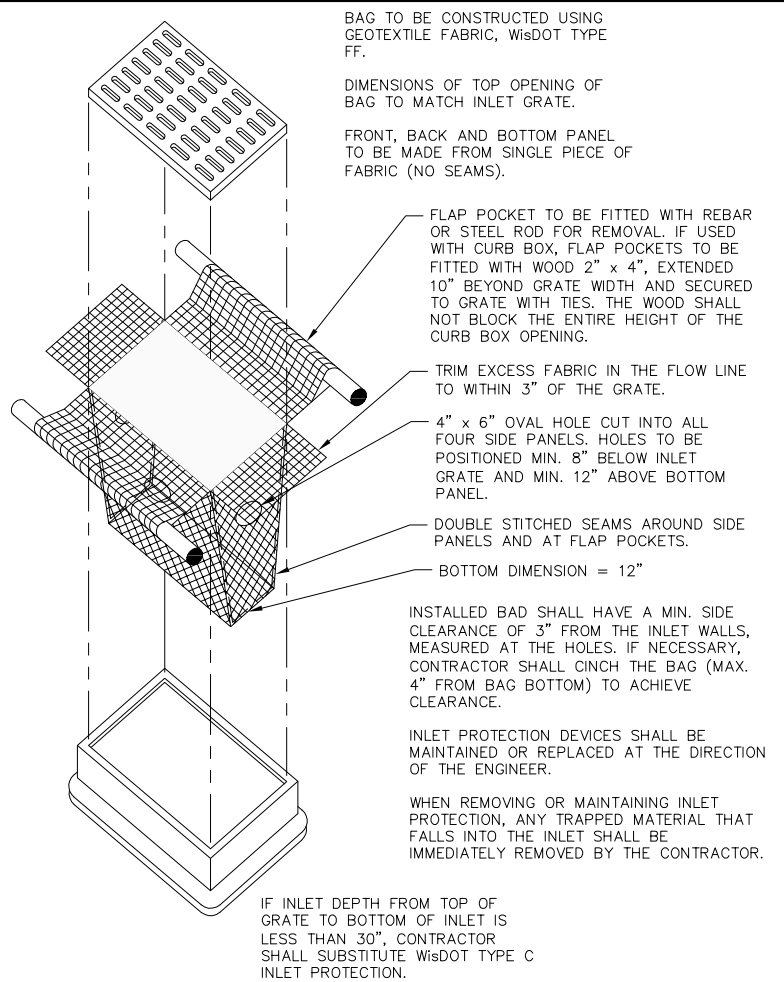
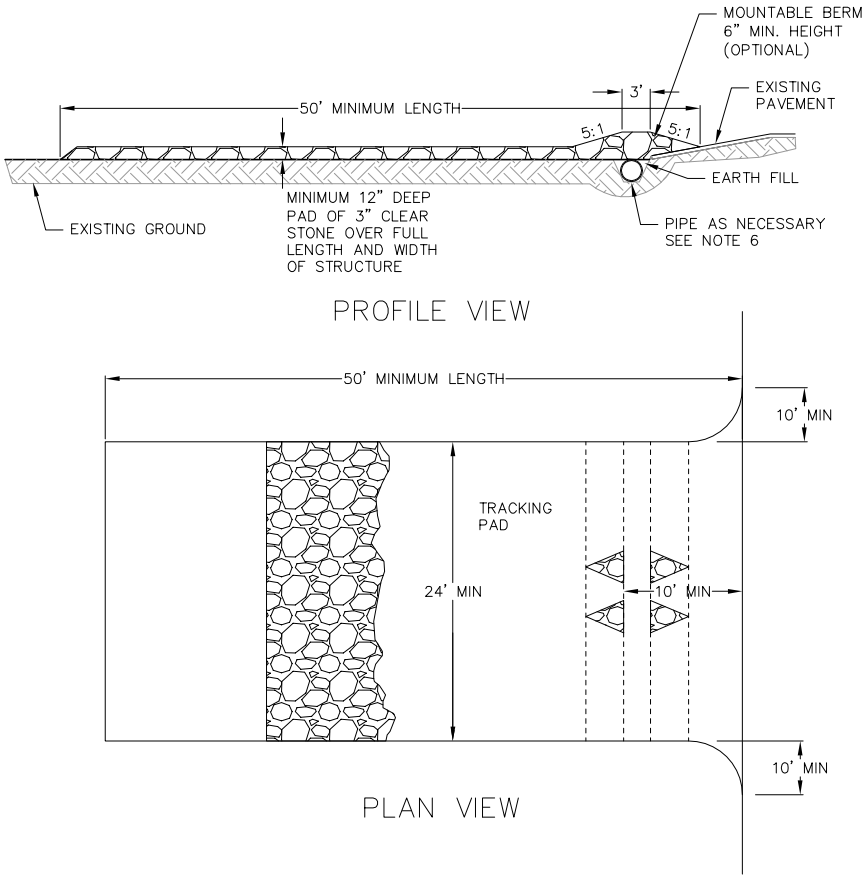
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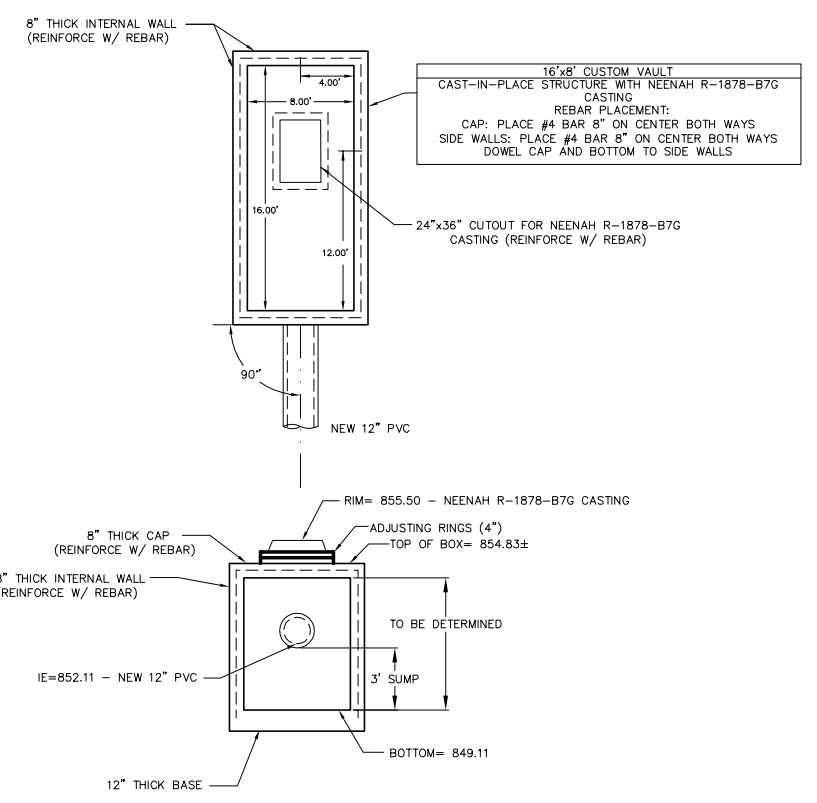
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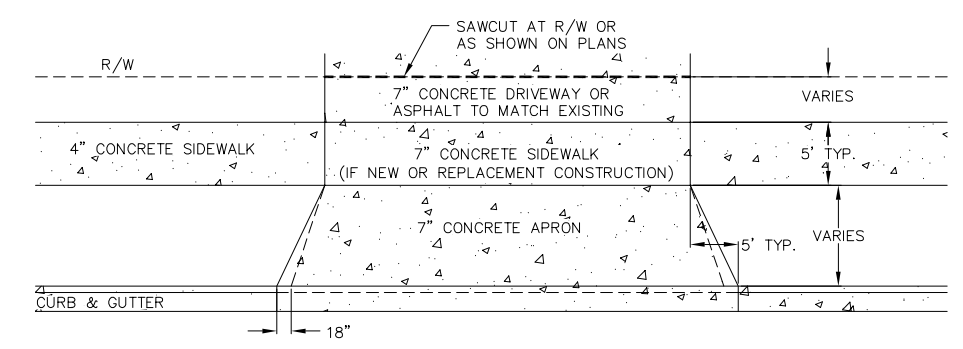


1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

3 INLET PROTECTION TYPE D
NOT TO SCALE

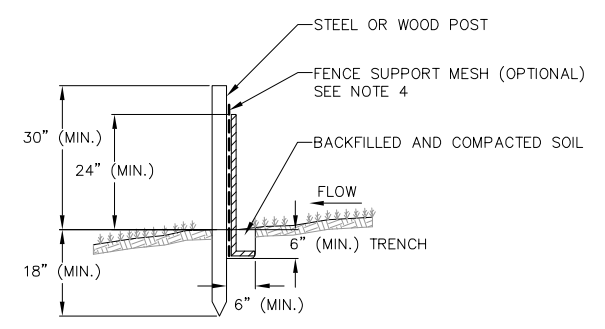


5 STANDARD TRENCH SECTION
NOT TO SCALE



- NOTES:
1. DRIVEWAY SHALL BE CONSTRUCTED PER CITY OF MADISON STANDARD DETAIL DRAWING 3.09. (PLEASE NOTE THAT ADDITIONAL INFORMATION IS PROVIDED ON THE CITY DETAIL.)

1 TRACKING PAD
NOT TO SCALE



- NOTES:
1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
 2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
 3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
 4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

2 SILT FENCE
NOT TO SCALE

4 CUSTOM STORM VAULT
NOT TO SCALE

6 DRIVEWAY DETAIL
NOT TO SCALE

REVISIONS		NO.	DATE	REMARKS
1	10-02-12	1	11-06-13	REVISED SITE PLAN
2	10-30-12	2	12-16-13	OWNER REVIEW REV.
3	07-11-13	3	4-28-14	ADDRESS CITY COMMENTS

SCALE: AS SHOWN

DATE: 09-24-12

DRAFTER: ACAR

CHECKED: TSCH

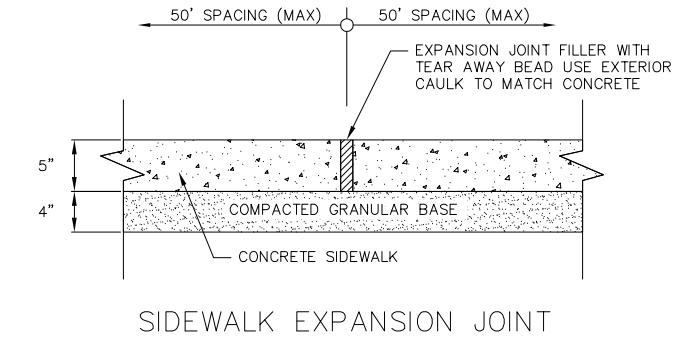
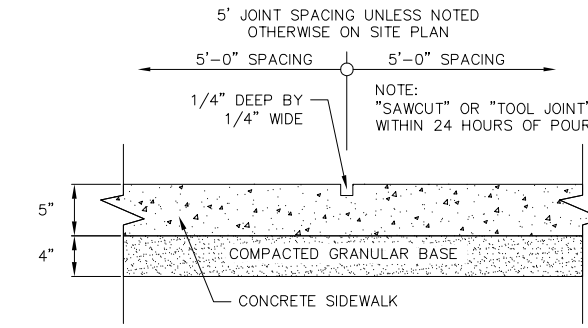
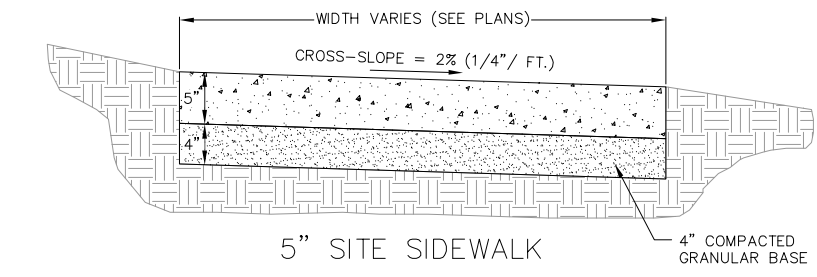
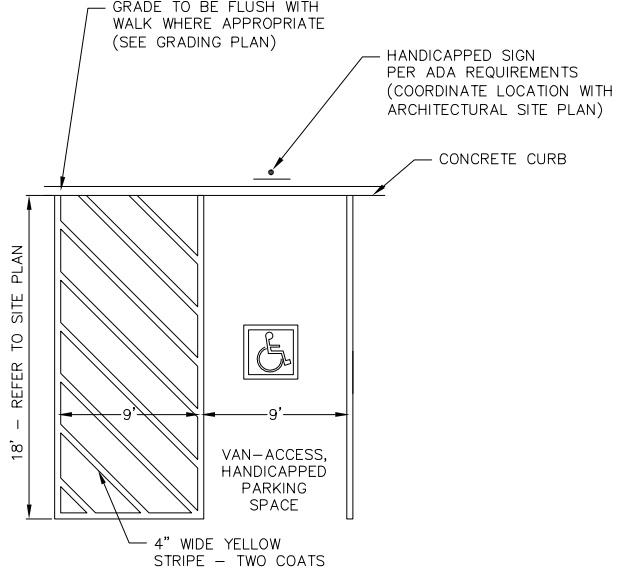
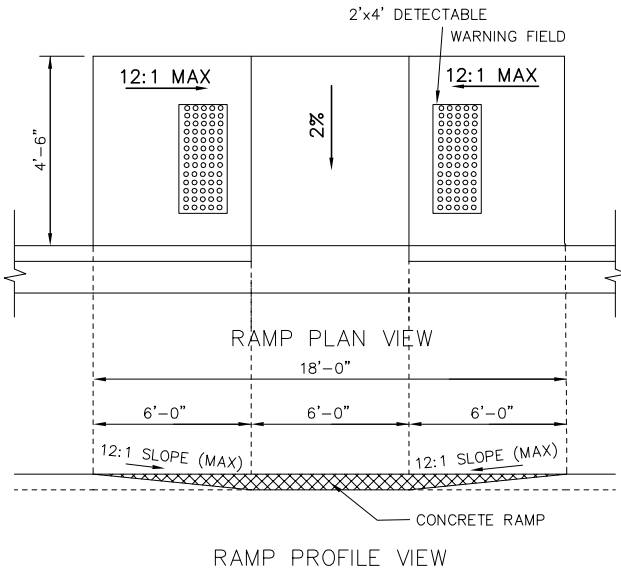
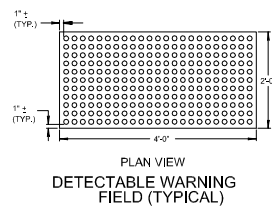
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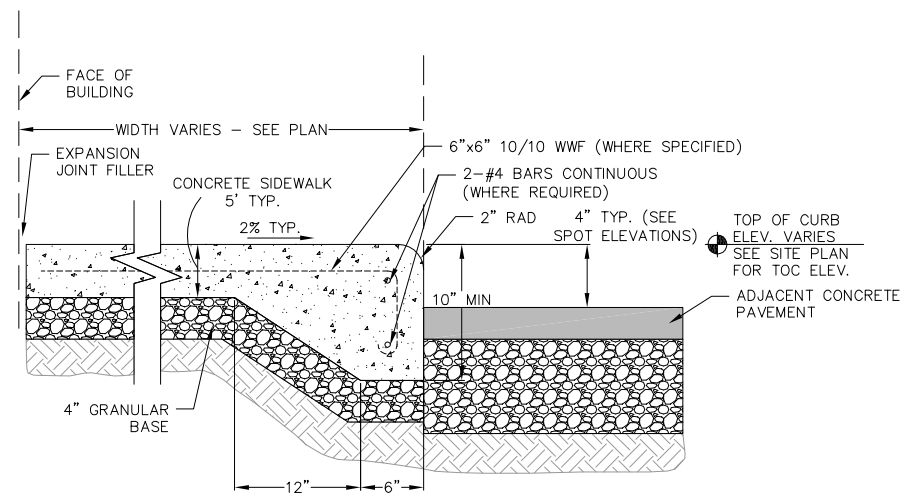
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GENERAL NOTES
 RAMP SHALL BE BUILT AT 12:1 OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.



3 5" SIDEWALK
 NOT TO SCALE

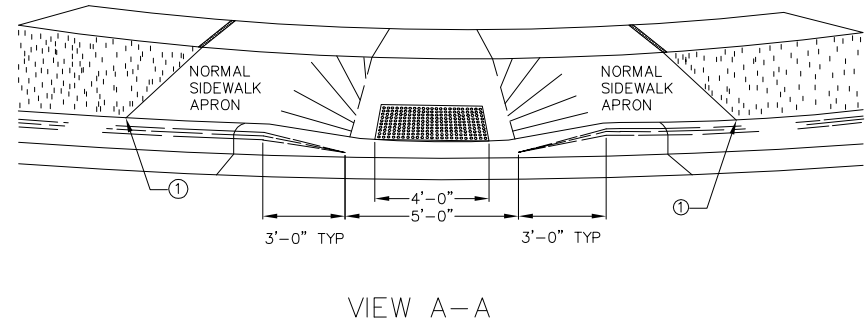
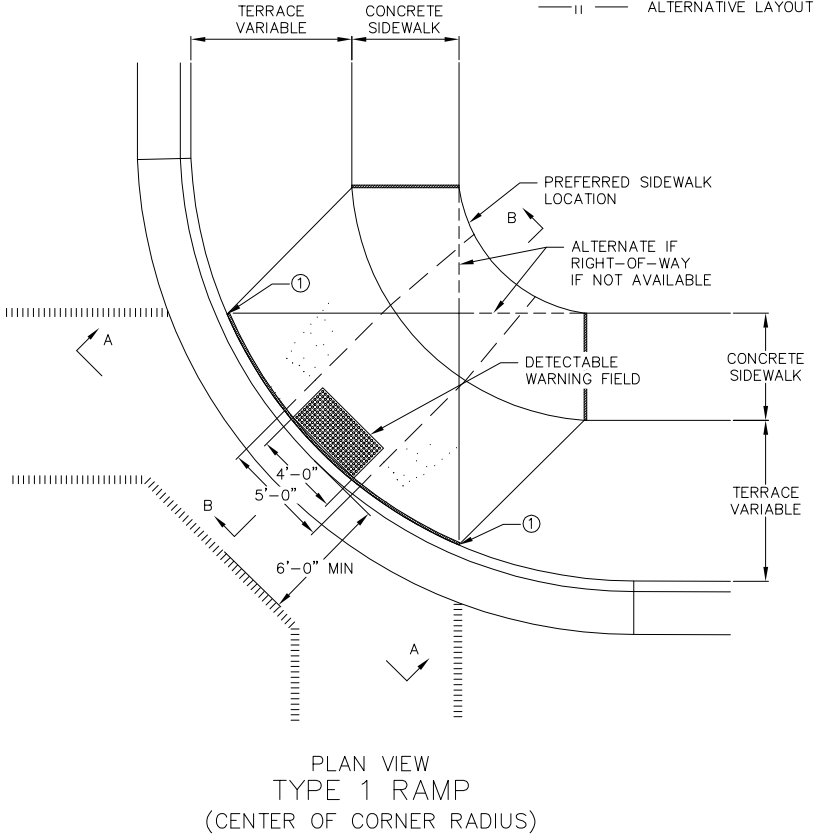


5 CURBED SIDEWALK DETAIL
 NOT TO SCALE

1 CURB RAMP DETAIL (WEST SIDE OF BLDG)
 NOT TO SCALE

2 HANDICAP STRIPING
 NOT TO SCALE

- LEGEND**
- 1/2" EXPANSION JOINT-SIDEWALK
 - CONTRACTION JOINT FIELD LOCATED
 - PAVEMENT MARKING CROSSWALK (WHITE)
 - ALTERNATIVE LAYOUT



GENERAL NOTES:

- TYPE 2-A RAMP SHALL BE USED IN NEW DEVELOPMENT UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- DETAILS OF CONSTRUCTION, MATERIALS, AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
- RAMP SHALL BE BUILT AT 12H:1V OR FLATTER, WHEN NECESSARY. THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.
- DETECTABLE WARNING FIELD SHALL BE MEASURED AND PAID BY THE SQUARE FOOT AS "CURB RAMP DETECTABLE WARNING FIELD."
- CURB RAMP DETECTABLE WARNING FIELD MATERIALS AND DEVICES SHALL BE APPROVED BY THE CITY ENGINEER. THE COLOR OF THE DETECTABLE WARNING FIELD SHALL BE SAFETY YELLOW, AND IS INCIDENTAL TO THE BID ITEM OF "CURB RAMP DETECTABLE WARNING FIELD."
- SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COURSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

- ① THIS POINT IS AN EXTENSION OF OUTSIDE EDGE OF APPROACHING SIDEWALK WHERE IT MEETS THE BACK OF CONCRETE CURB
- ② WHEN THIS DISTANCE IS LESS THAN 6'-0" IT MAY BE DIFFICULT TO ACHIEVE A 12H:1V SLOPE, OR FLATTER, ON THE RAMP. REDUCE CURB HEIGHT IN TRIANGLE AREA TO ACHIEVE 12H:1V SLOPE, OR FLATTER, ON RAMP. 2" MINIMUM CURB HEIGHT.

4 STANDARD CURB RAMP - TYPE 1
 NOT TO SCALE

NOTE: MATERIALS AND METHOD OF CONSTRUCTION FOR TRUNCATED DOMES SHALL BE SPECIFIED IN SPECIAL PROVISIONS OR AS REQUIRED BY THE CITY ENGINEER

REVISIONS		NO.	DATE	REMARKS
1	10-02-12	1	11-08-13	REVISED SITE PLAN
2	10-30-12	2	12-16-13	OWNER REVIEW REV.
3	07-11-13	3	4-28-14	ADDRESS CITY COMMENTS

SCALE: AS SHOWN

DATE: 09-24-12

DRAFTER: ACAR

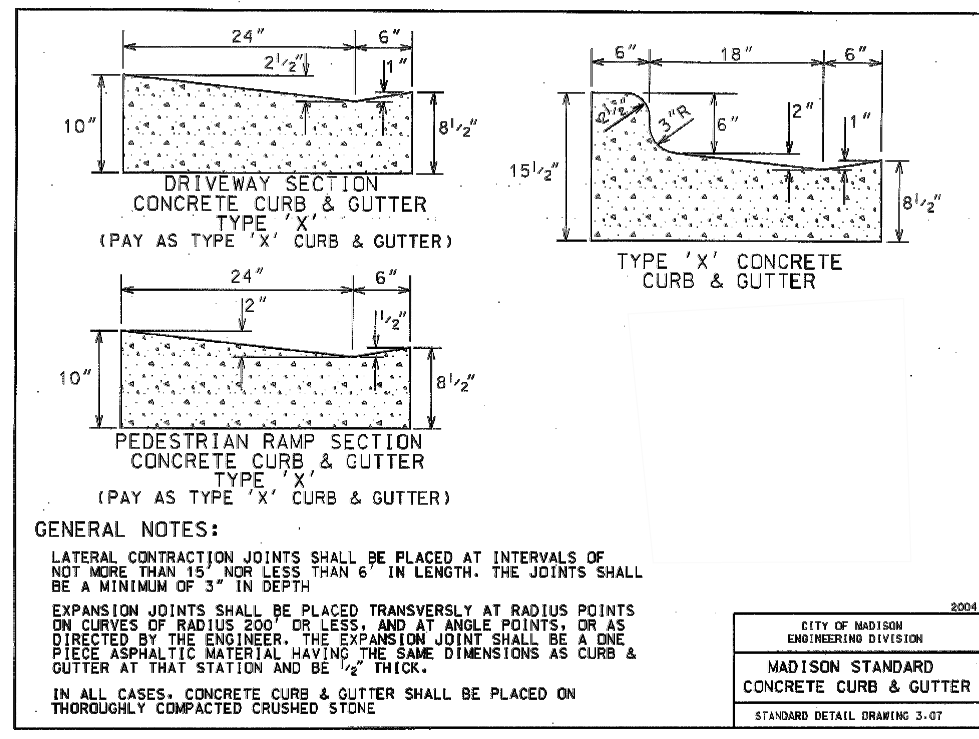
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PROJECT NO.: 128054

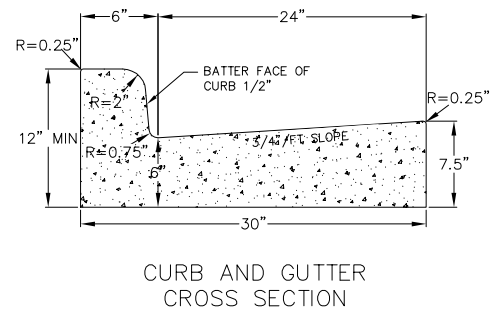
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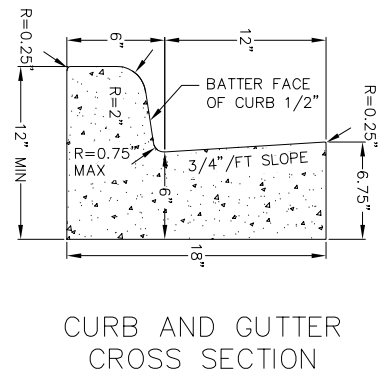
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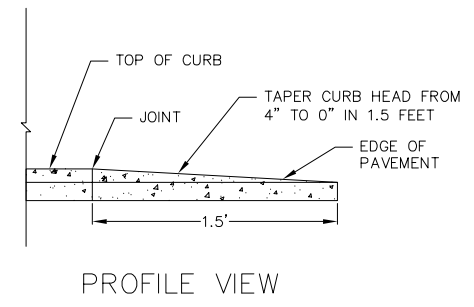
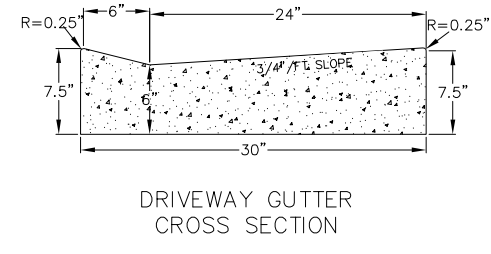
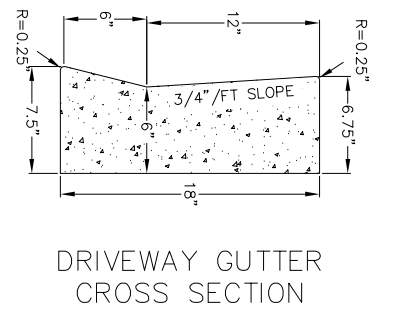
1 30" CONCRETE CURB AND GUTTER - TYPE 'X' NOT TO SCALE



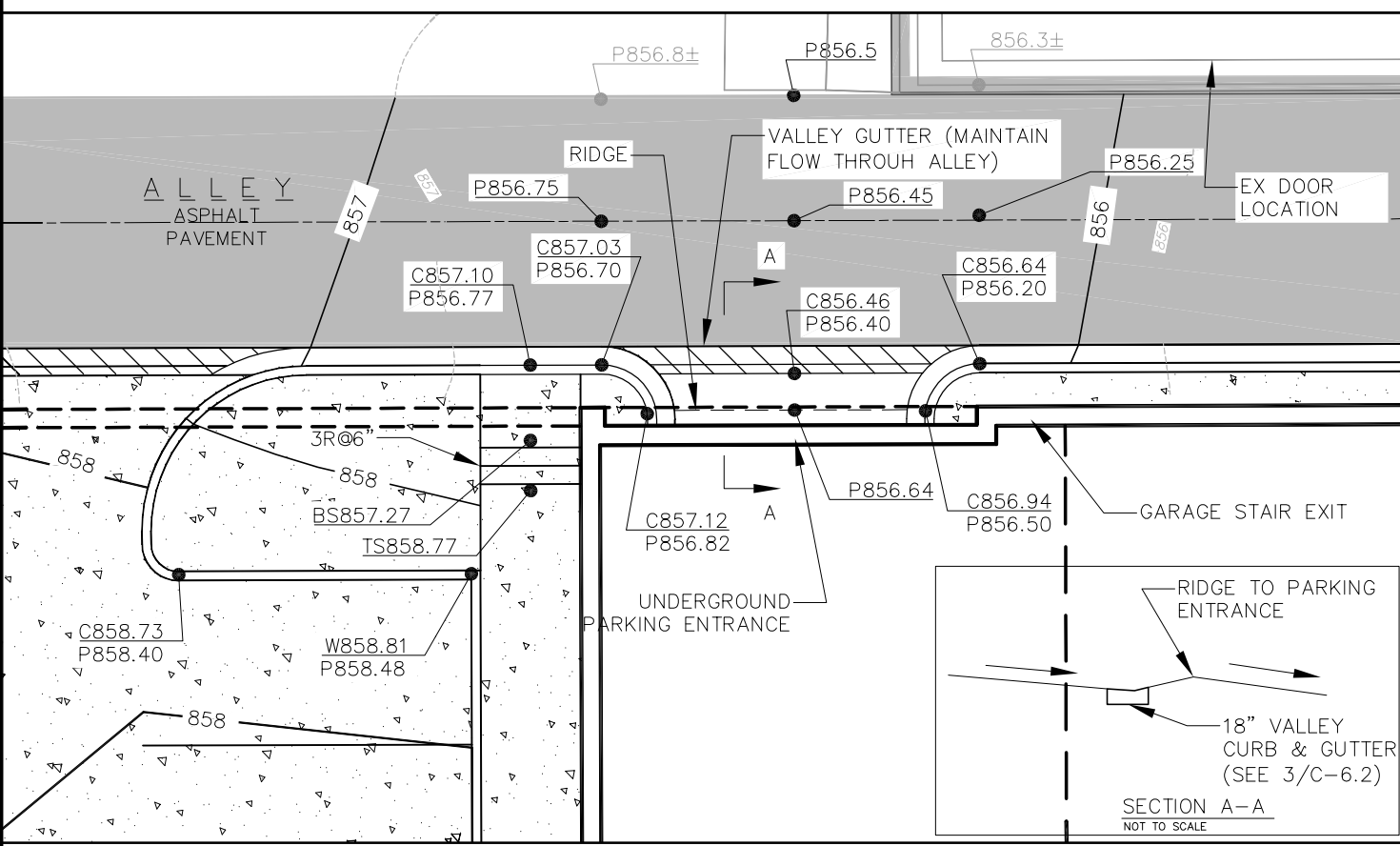
2 30" CONCRETE CURB AND GUTTER NOT TO SCALE



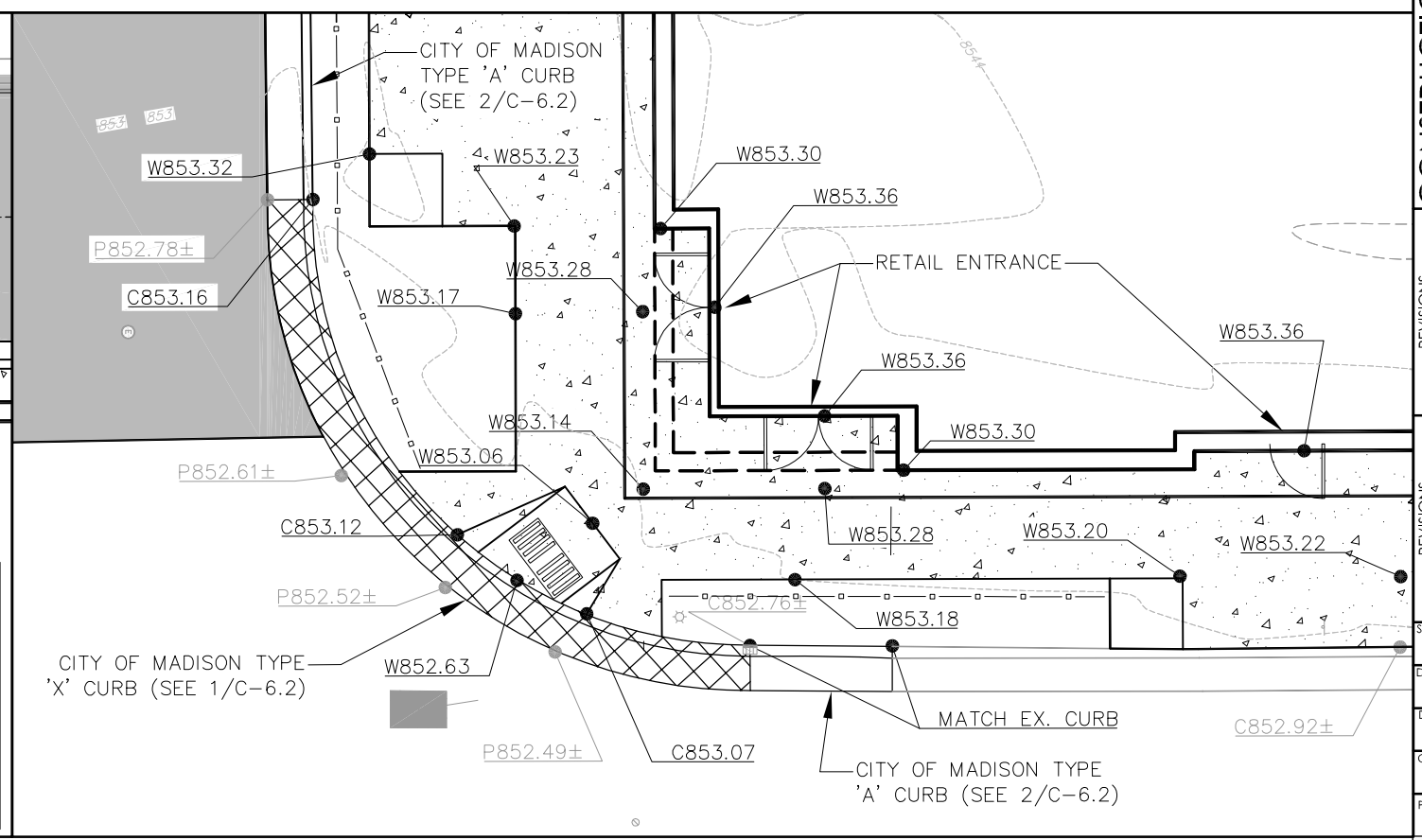
3 18" CONCRETE CURB AND GUTTER NOT TO SCALE



4 CURB & GUTTER TERMINATION NOT TO SCALE



5 GRADING DETAIL - GARAGE ENTRY NOT TO SCALE



6 GRADING DETAIL - ACCESS RAMP NOT TO SCALE

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NO.	DATE	REVISIONS	REMARKS
1	10-02-12	SITE PLAN SUBMITTAL	REVISED SITE PLAN
2	10-30-12	REVISED SITE PLAN	OWNER REVIEW REV.
3	07-11-13	REVISED SITE PLAN	ADDRESS CITY COMMENTS

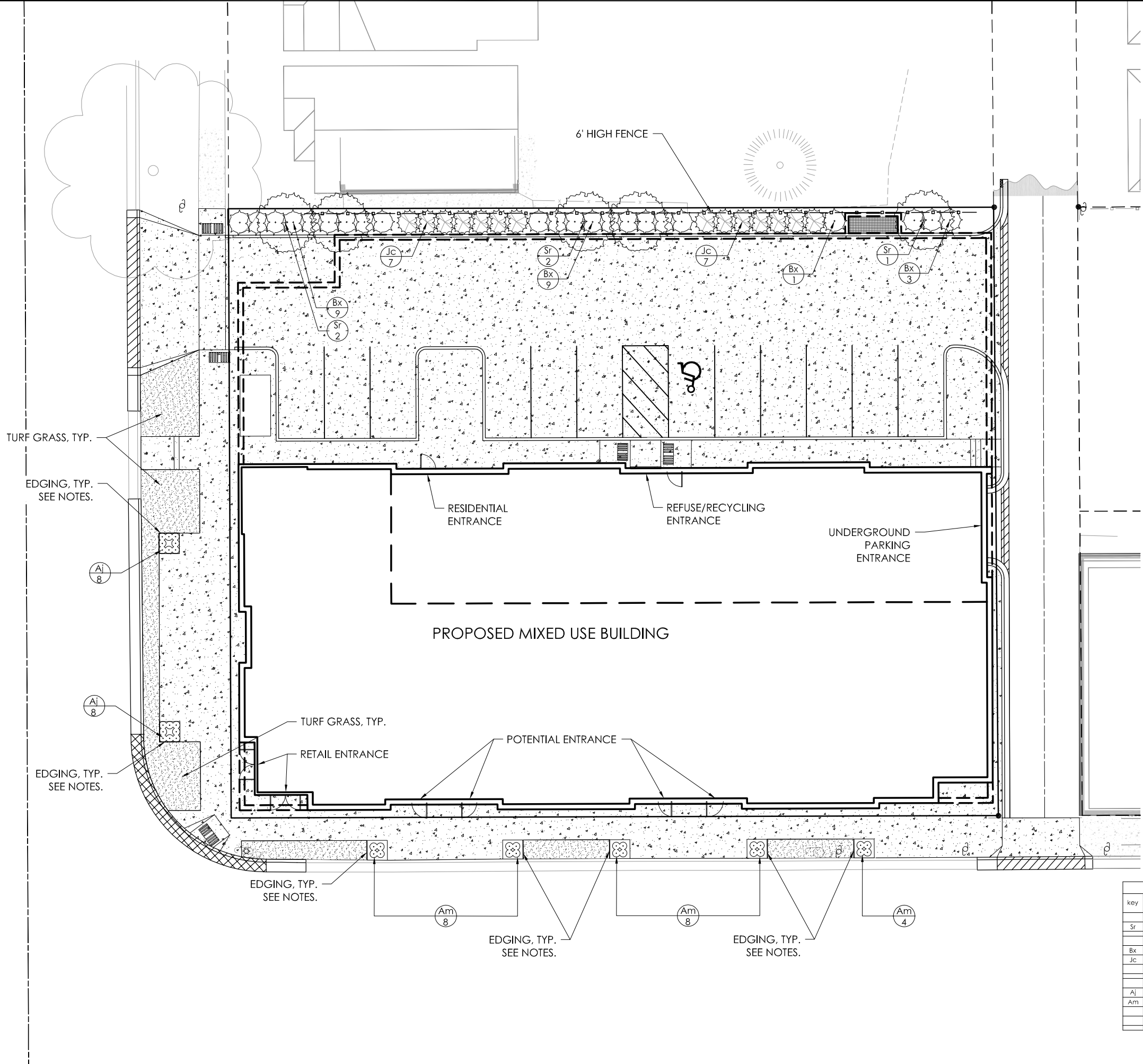
SCALE: AS SHOWN

DATE: 09-24-12

DRAFTER: ACAR

CHECKED: TSCH

PROJECT NO.: 128054



- GENERAL NOTES:**
- All plantings shall conform to quality requirements as per ANSI Z60.1.
 - All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
 - Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
 - All disturbed areas, unless otherwise noted, and areas labeled 'TURF GRASS' to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
 - All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
 - Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
 - Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. Do not mound mulch against base of plants. Perennial beds to be mulched to 1" depth.
 - EDGING to be commercial grade steel landscape edging, 12 ga. x 4" ht. Green powdercoat finish. Install as indicated on plan.

LANDSCAPING REQUIREMENTS: CITY OF MADISON

I. NUMBER OF TREES REQUIRED:
 NUMBER OF PARKING STALLS: 14
 TOTAL SQUARE FOOTAGE OF STORAGE AREA/300 SF: 0
 NUMBER OF CANOPY SHADE TREES REQUIRED: 1 TREE

II. NUMBER OF LANDSCAPE POINTS REQUIRED:
 POINTS REQUIRED FOR PARKING STALLS: 69
 POINTS REQUIRED FOR LOADING AREAS: 0
 NUMBER OF POINTS REQUIRED: 69

element	points			credits	
	point value	quantity	points achieved	quantity	points
Canopy Tree: 2"-2.5"	35	0	0	0	0
Deciduous Shrub	2	0	0	0	0
Evergreen Shrub	3	36	108	0	0
Decorative Wall or Fence (per 10 LF)	5	0	0	0	0
Earth Berm (per 10 LF)					
Avg. Height 30"	5	0	0	0	0
Avg. Height 15"	2	0	0	0	0
Evergreen Trees: 3' height minimum	15	0	0	0	0
Canopy Tree or Small Tree 1.5"-2" cat. (i.e. Crab, Hawthorn)	15	5	75	0	0
Total Points Provided:					183

key	qty	botanical name	common name	planting size	root cond.	mature size (h x w)
Low Canopy Trees						
Sr	5	<i>Syringa reticulata</i> 'Ivory Pillar'	Ivory Pillar Tree Lilac	6' ht.	B&B	20' x 12'
Shrubs						
Bx	22	<i>Buxus</i> x 'Glencoe'	Chicagoland Green Boxwood	18" ht.	cont.	3' x 5'
Jc	14	<i>Juniperus chinensis</i> 'Hook's'	Hook's Juniper	4' ht.	cont.	14' x 4'
Perennials						
Aj	16	<i>Ajuga</i> 'Bronze Beauty'	Bronze Beauty Ajuga	#1	cont.	6" x 18"
Am	20	<i>Amsonia</i> 'Blue Ice'	Blue Ice Amsonia	#1	cont.	18" x 20"

NO.	DATE	REVISIONS	REMARKS
1	10-09-12	SITE PLAN SUBMITTAL	REVISED SITE PLAN
2	10-30-12	REVISED SITE PLAN	OWNER REVIEW REV.
3	07-11-13	REVISED SITE PLAN	ADDRESS CITY COMMENTS

SCALE: AS SHOWN

DATE: 10/03/12

DRAFTER: SVIN/ACAR

CHECKED: TSCH

PROJECT NO. 128054

L
1.0

Park & Drake Mixed-Use Building

Exterior Lighting Photometric Report

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Exterior Lighting Calculation Zone	+	0.9 fc	23.5 fc	0.0 fc	N/A	N/A	0.0:1

A

e-conolight PREMIUM LED WALL PACK - SMALL 36-WATT LED (E-WP6L SERIES)

Applications: Security, pathway and perimeter lighting; ideal for entryways and other applications where control of spill light is important. Typical Mounting Height: 8 to 15 feet Typical Spacing: 1 to 2 times the mounting height

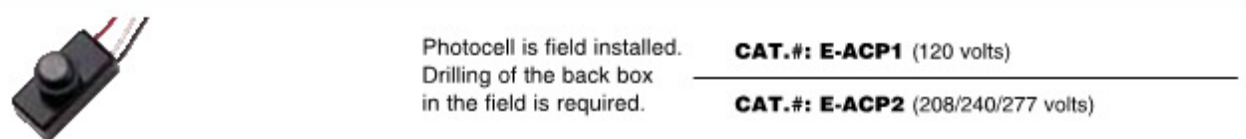


Table with columns: Catalog #, Description, Input Voltage, Delivered Lumen Output, CCT, CRI, Lifetime (L70 at 25°C), Weight, Comparable To.

Features

- 50,000 hours of maintenance-free operation to L70 at 25°C
Non-dimmable
Low copper, die-cast aluminum housing and lens frame
Dark bronze polyester powder-coat finish
Fixed cutoff glare shield to reduce light pollution
Tempered glass lens, thermal shock and impact resistant
Patented lens design delivers true IES Type III distribution
Mounts over recessed Junction box or with conduit
Die-cast detachable back box for easy mounting
75°C minimum supply wire required

Accessories



Photocell is field installed. Drilling of the back box in the field is required. CAT.#: E-ACP1 (120 volts) CAT.#: E-ACP2 (208/240/277 volts)

1501 96th Street Sturtevant, Wisconsin 53177 | (888)243-9445 | Fax (262)504-5409 | www.e-conolight.com

B

lumière

Table with columns: Catalog #, Project, Comments, Prepared by, Type, Date.

DESCRIPTION Eon 303-W1 and 303-W2 are compact, low profile, dimmable, ADA compliant LED luminaires. Model 303-W1 provides either uplight or downlight depending upon how it is mounted. Model 303-W2 provides both uplight and downlight simultaneously. Dimming is achieved with a standard ELV reverse phase dimming driver or, for the 303-W1 model only, an optional 0-10V dimming driver. Both models mount directly to any wall surface over a standard 4" J-box and come standard with a universal input LED driver (120-277V, 50/60 Hz). Both fixtures may be used indoors or outdoors and carry an IP66 rating.

SPECIFICATION FEATURES

- A... Material Head and backplate are precision-machined from corrosion-resistant 6061-T6 aluminum, C360 brass, C302 bronze, C719 copper or 303/304 stainless steel.
B... Finish Fixtures constructed from aluminum are double protected by a RoHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available. Aluminum fixtures can also be brushed and clear coat painted.
C... Gasket The backplate is sealed with a high temperature silicone gasket to prevent water intrusion into the J-box.
D... Lens Diffused, tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock. EDGE LIT option: when specified with the EDGE option, the glass will be slightly thicker, diffused, tempered and sealed in the same manner referenced above. The added glass thickness will offer a brighter line of light around the edge of the glass that will accentuate the fixture's aesthetics and styling.
E... Mounting Both models mount directly to a standard 4" J-box. Model 303-W1 provides downlight or uplight. Model 303-W2 provides non-adjustable uplight and downlight.
F... Hardware Stainless steel hardware is standard to provide maximum corrosion-resistance.
G... Electrical Both models come standard with a universal input LED driver (120-277, 50/60Hz). The standard driver is ELV reverse phase dimmable. For the single head model only, 303-W1, an optional 0-10V dimming driver is also available.
H... LED LEDs are included and available in three color temperatures (2700K, 3000K & 4000K) and a variety of optics. Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic. For the up and down model, 303-W2, the uplight is always a T5X, type V extra wide flood. The specified distribution (T2, T4 or T5) is associated with the downlight.
I... Labels & Approvals UL and cUL listed, standard wet label, IP66 rated.
J... Warranty Lumiere warrants it's fixtures against defects in materials & workmanship for five (5) years. Auxiliary equipment such as transformers, ballasts and LED drivers carry the original manufacturer's warranty.

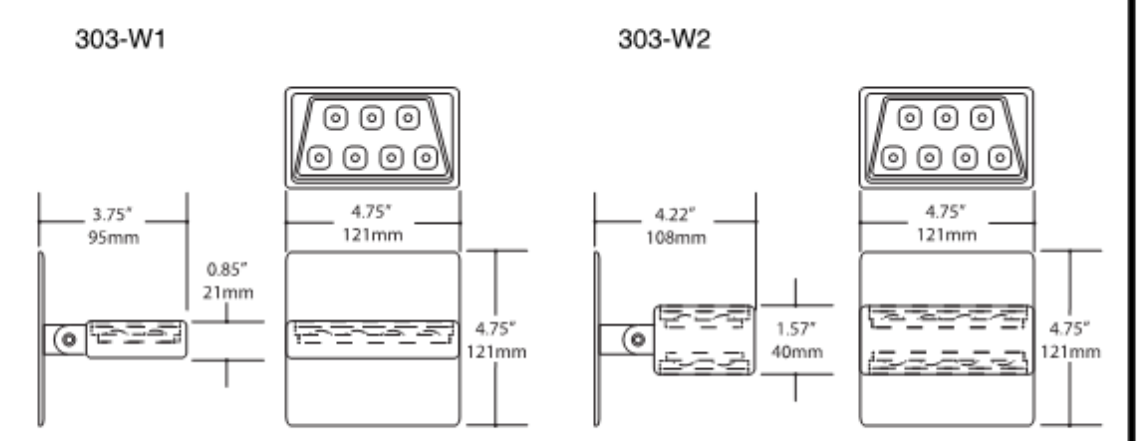


303-W1/303-W2

8.8W LED 12W LED

LED WALL

IP66



Specification and Dimensions subject to change without notice. Consult your representative for additional options and finishes.



Luminaire Schedule table with columns: Symbol, Label, Quantity, Manufacturer, Catalog Number, Description, Lamp, Number Lamps, Filename, Lumens Per Lamp, Light Loss Factor, Wattage.

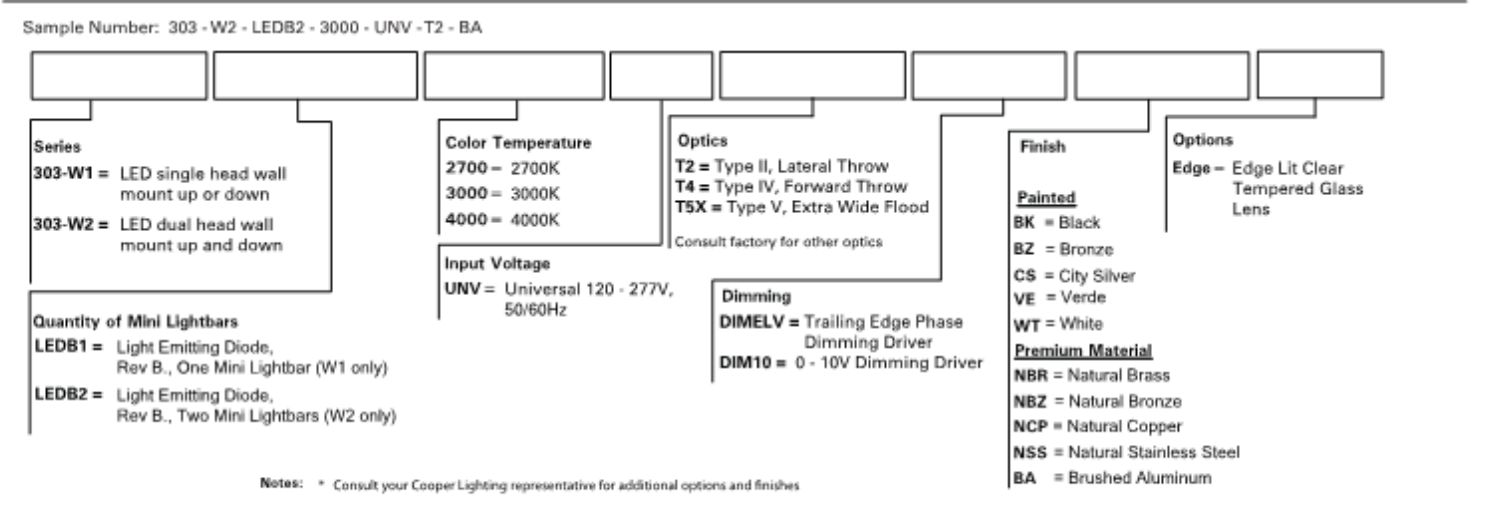
LED INFORMATION

Table with columns: LED, Watts, Distribution, Total Lumens, CR, °K, Life (hrs), Volts.

NOTES AND FORMULAS

- Apply appropriate light loss factors where necessary.
Photometry is LM-79 compliant.

ORDERING INFORMATION



Specification and Dimensions subject to change without notice. Consult your representative for additional options and finishes.



C

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTENDED USE - Our recessed LED module is the most economical means to create a well lit environment with exceptional energy efficiency and near zero maintenance. Great for retrofit into existing downlight cans or new construction and remodel applications. Unique torsion spring and friction clip retention allow removal into nearly 100% of installed cans. The LED module maintains at least 70% light output for 50,000 hours.

CONSTRUCTION - Aluminum die cast reflector with deep baffle configuration for reduced glare. Combined LED and driver printed circuit board attached. Inner reflector cone focuses light through the precision diffused lens.

OPTICS - Diffused lens at end of mixing chamber to provide even light distribution for general illumination, equivalent to 65W BR30 or 100W BR30 lamp.

Wide flood beam angle at >45° - Utilizes 3000 K color temperature LEDs, CR - 83.

ELECTRICAL - Center 2-stage (patent pending) technology created for a single point source. Primary power disconnect provided for simple connection to a dedicated LED connector in the housing. Dimming down to 10%. For compatible dimmers, refer to Compatible Dimmers Chart.

620-lumen P series has an input wattage of 8.9 watts, 70 lumens per watt, equivalent to 65-watt incandescent.

P Series' patent pending driver has zero inrush, which allows power loads to be calculated with actual rated wattages.

Example: 620 lumens of 68PMW LED fixtures can be installed in line with a 600-watt dimmer. 600W/9.9W = 61.4 wattages.

950-lumen P series has an input wattage of 15.2 watts, 63 lumens per watt, equivalent to 100-watt incandescent.

*Actual wattage may differ by +/-5% when operating at 120V +/-10%.

INSTALLATION - Suitable for installation in standard and shallow-height rough-in sections. E26 socket adapter and splice kit ships standard. This enables easy installation or permanent conversion to an LED source for Table 24 compliance.

Two torsion springs ensure easy installation. Friction clips included to allow Element into cans without torsion brackets from an inside diameter of 6.0" to 7.0".

LISTINGS - cUL certified to US and Canadian safety standards. ENERGY STAR® qualified. California E26 compliant. Wet locations listed for indoor use only. WISE ASTM E283 for Air-Tight (with IC housing).

WARRANTY - 5-year limited warranty. Complete warranty terms located at www.lithonia.com/customer-service/terms_and_conditions.aspx

Note: Specifications subject to change without notice. Patents pending.

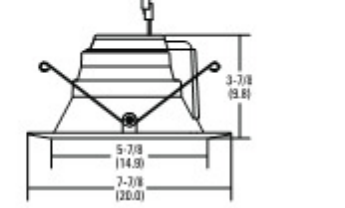
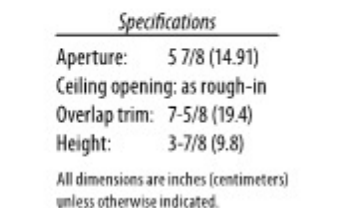


Table with columns: Catalog Number, Name, Type.

LED Recessed Downlighting

6BP 6" LED Module



ORDERING INFORMATION For shortest lead times, configure products using bolded options. Example: 68PMW LED L7XLED T24

Table with columns: Series/Finish, Lamps/Lumens, Color temperature, Voltage, Options.

Accessories: Order as separate catalog number. T546 Makes non-bracket housing compatible with the LED module, ships as units, 16 or 25. FL2LED Makes L7XF housings compatible with the LED module.

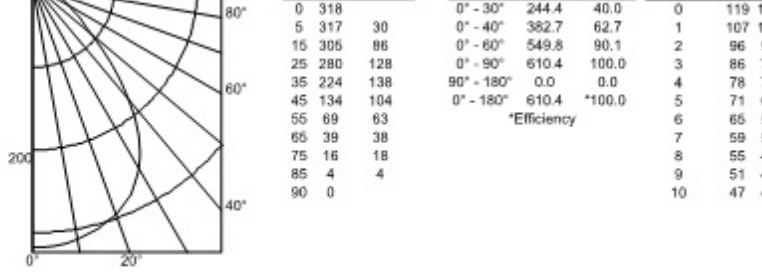
Notes: 1. Total system delivered lumens. 2. LED module ships less E26 adapter and hardware. 3. Must be ordered as separate line.

6" LED Module - ENERGY STAR®

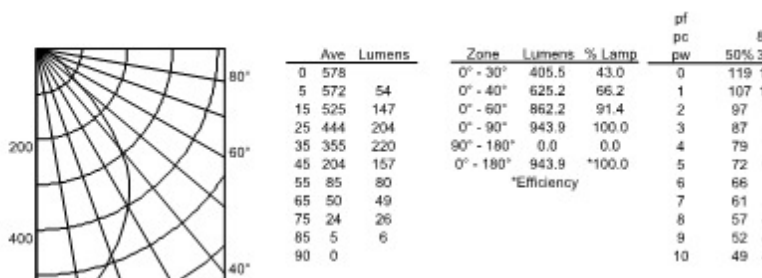
PHOTOMETRICS

Table with columns: Distribution Curve, Distribution Data, Output Data, Coefficient of Utilization, Illuminance Data at 30° Above Fixture for a Single Luminaire.

68PMW LED, 3000 K LEDs, input watts: 8.9, delivered lumens: 620, LM/W=70, test no. LTL21369, tested in accordance with IESNA LM 79-08



68PMW HL LED, 3000 K LEDs, input watts: 15.2, delivered lumens: 950, LM/W=63, test no. LTL23864, tested in accordance with IESNA LM 79-08



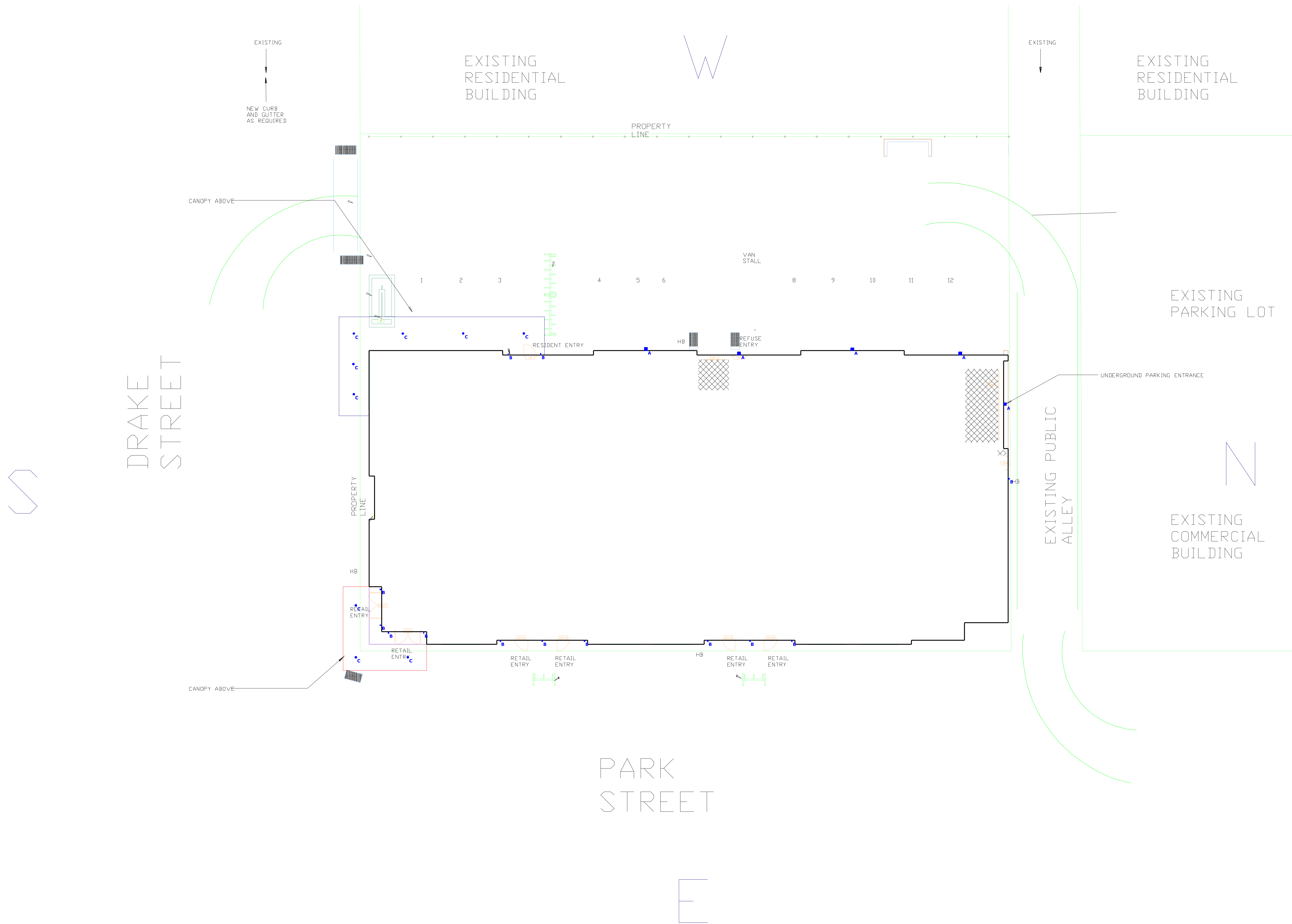
ADDITIONAL DATA

Table with columns: ENERGY DATA - 600 LUMENS, ENERGY DATA - 950 LUMENS.



DOMESTIC LIGHTING: One Lithonia Way, Conyers, GA 30012 Phone: 800-315-4935 Fax: 770-860-3129 www.lithonia.com

68P LED

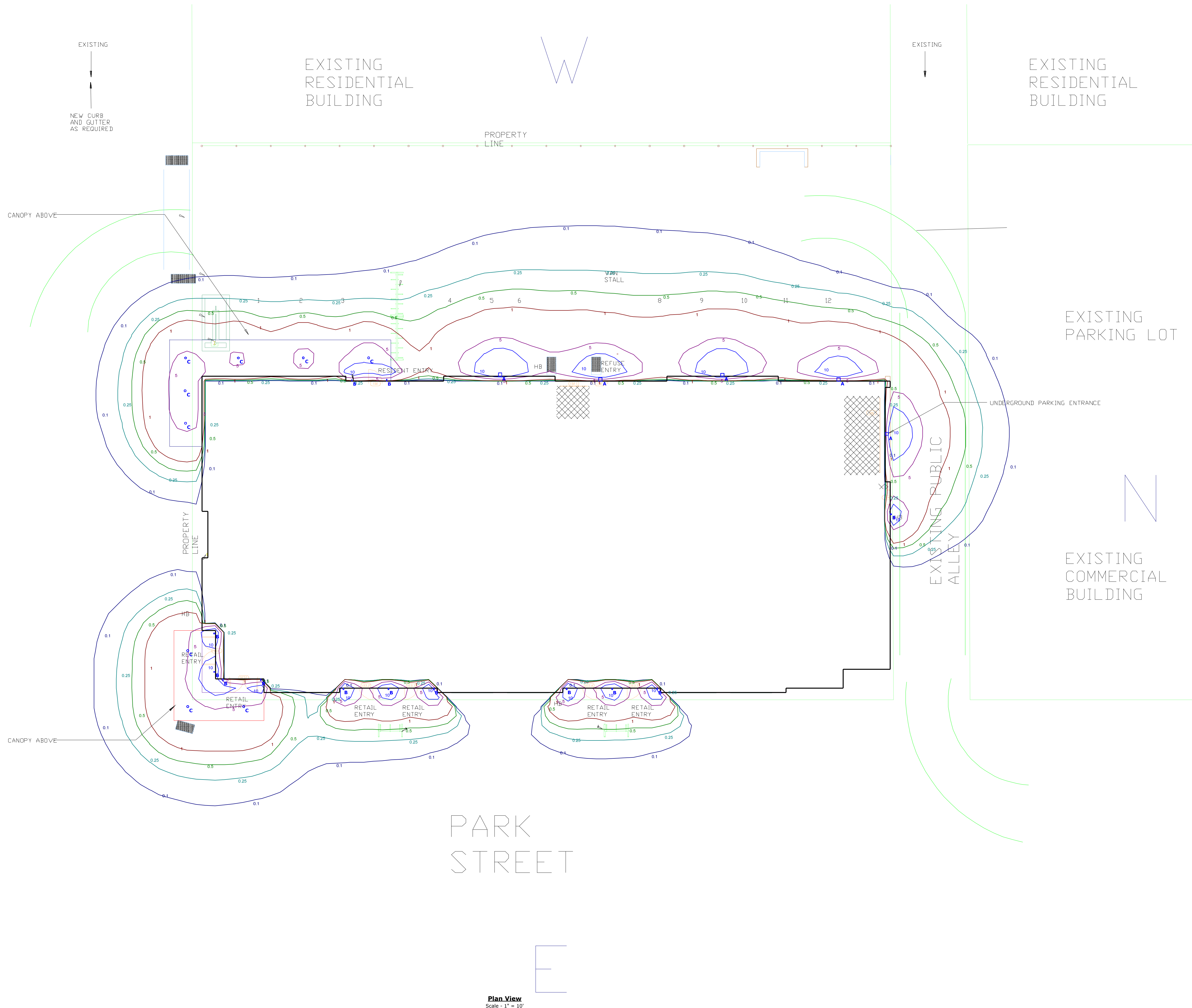


**Park & Drake Mixed-Use Building
Exterior Lighting Photometrics**

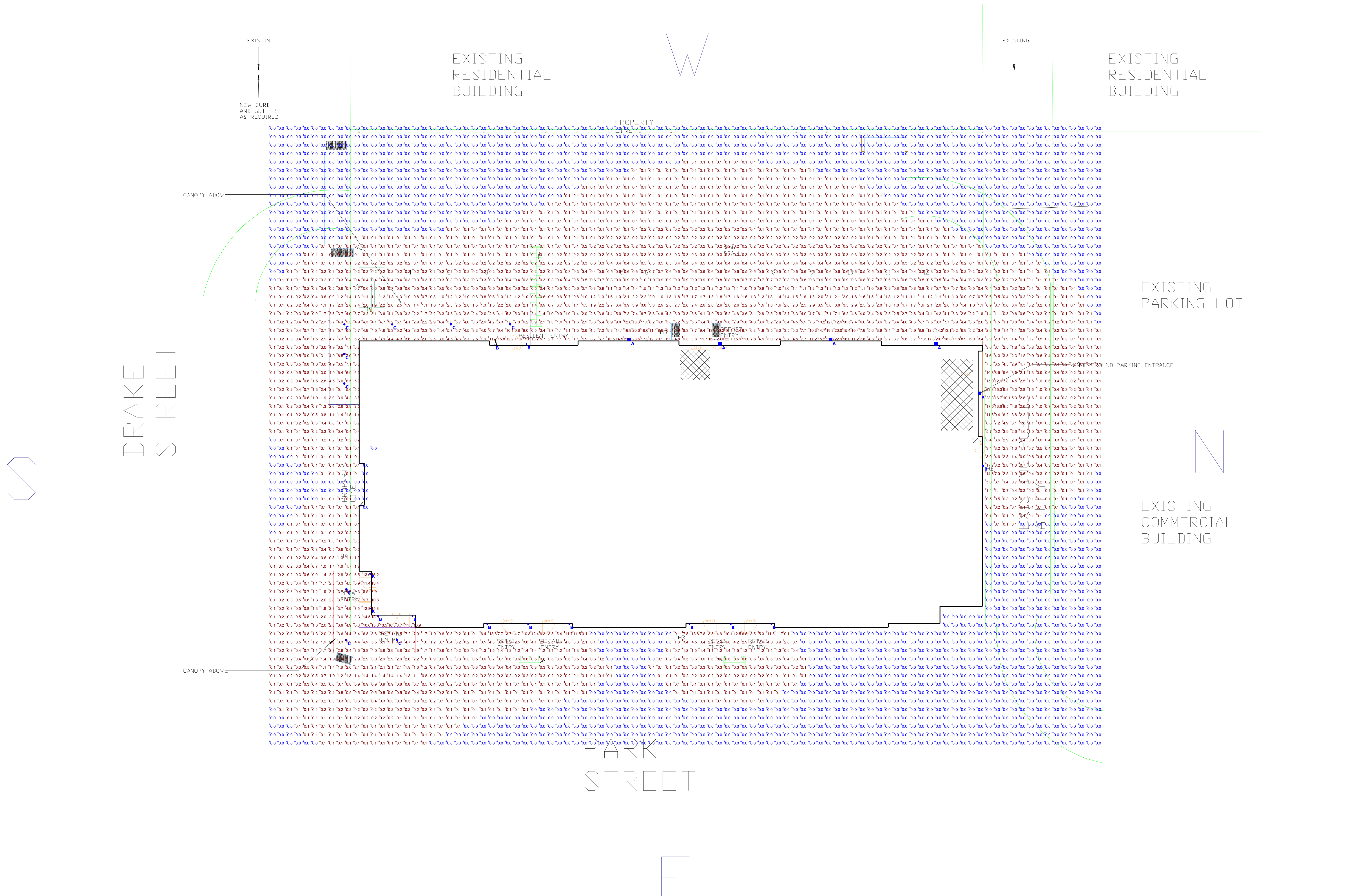
Designer
Brandon Roskom
Date
4/27/2014
Scale
1" = 10'-0"
Drawing No.
Summary

DRAKE STREET

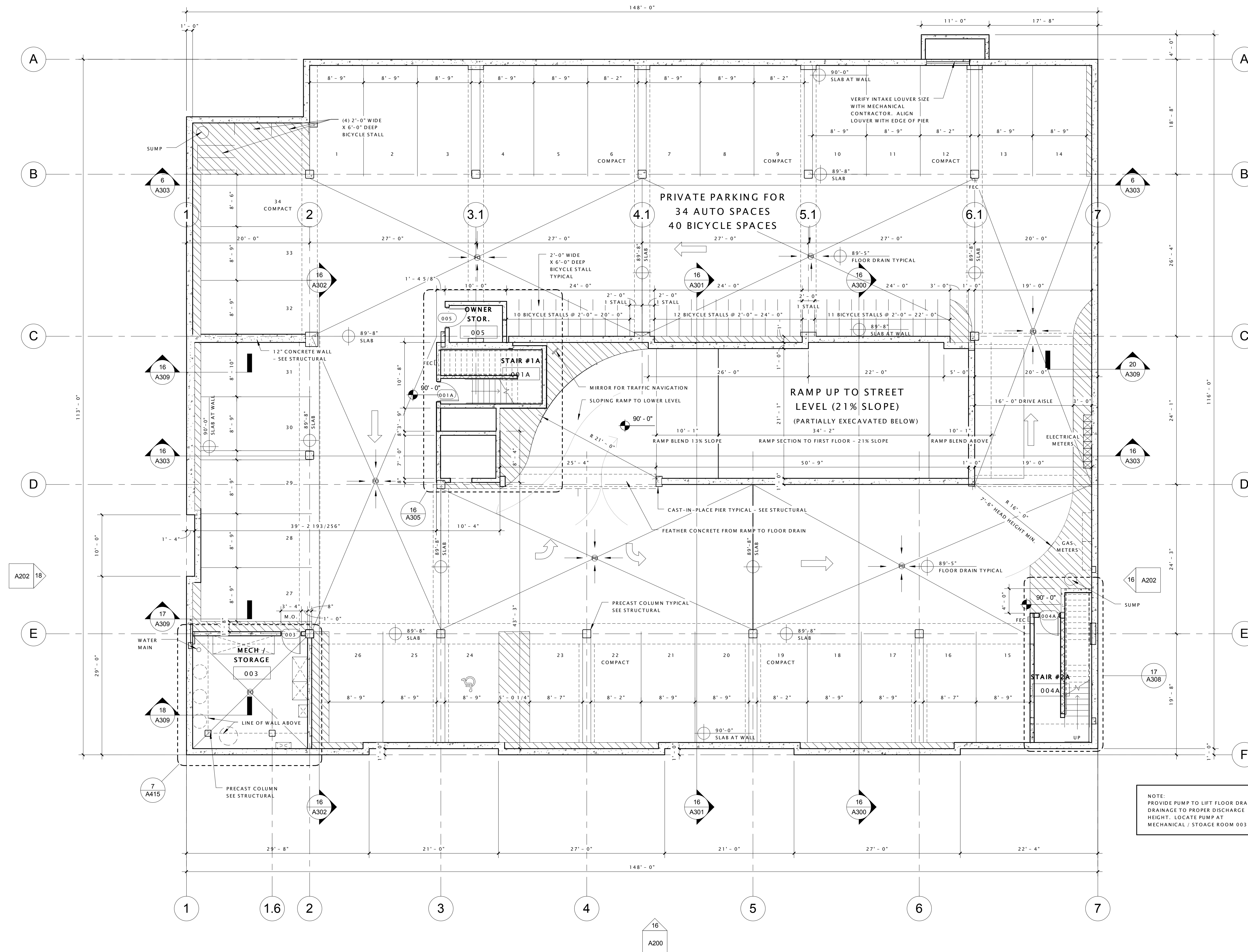
PARK STREET



Plan View
Scale - 1" = 10'



Park & Drake Mixed-Use Building
Exterior Lighting Photometrics



NOTE:
PROVIDE PUMP TO LIFT FLOOR DRAIN
DRAINAGE TO PROPER DISCHARGE
HEIGHT. LOCATE PUMP AT
MECHANICAL / STORAGE ROOM 003

16 LOWER LEVEL PLAN
1/8" = 1'-0"

DATE OF ISSUANCE May 14, 2014

Revision Schedule		
Mark	Description	Date

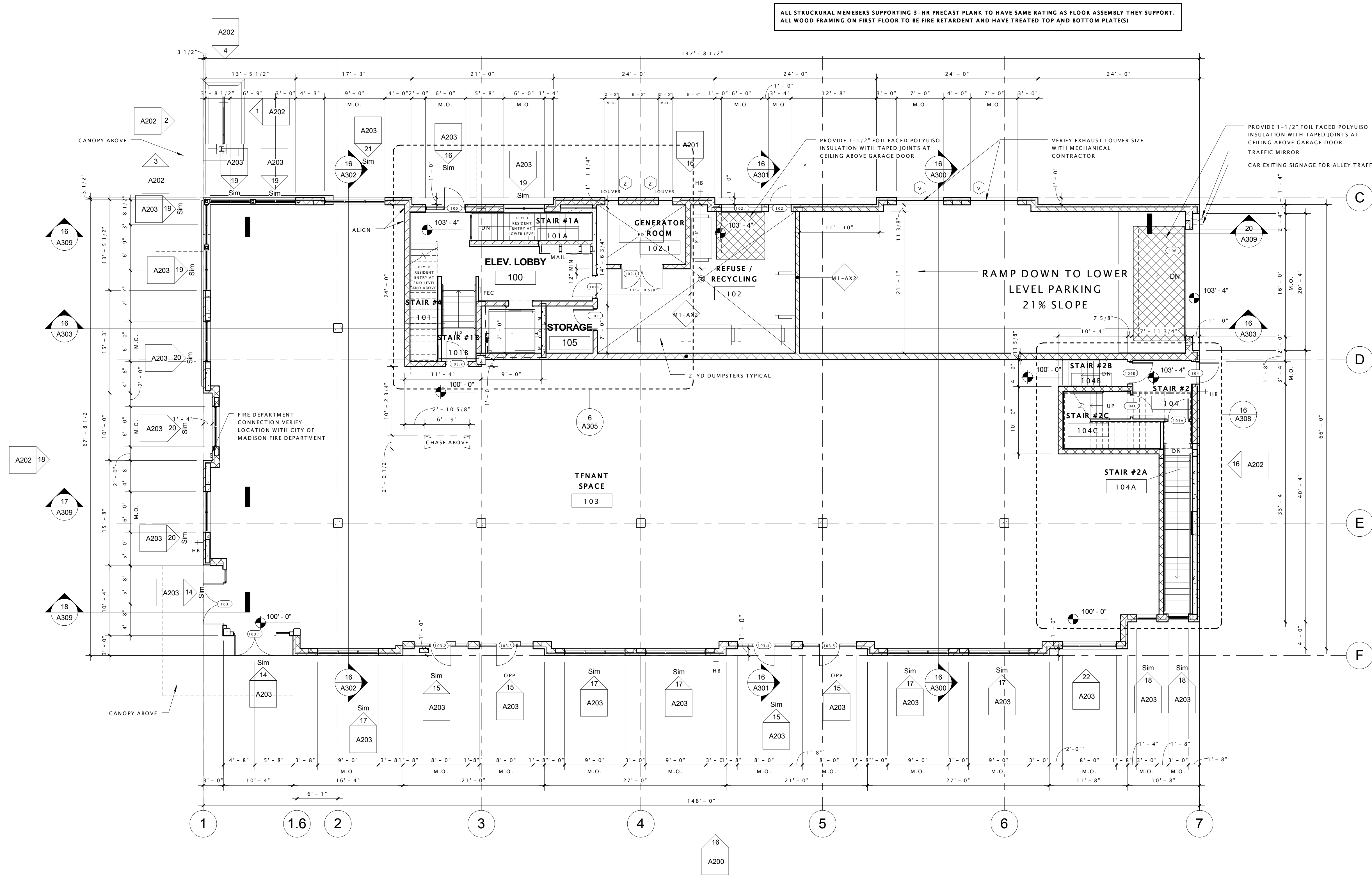
SHEET TITLE

LOWER LEVEL PLAN

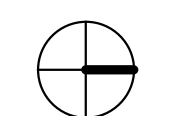
SHEET NUMBER

A100

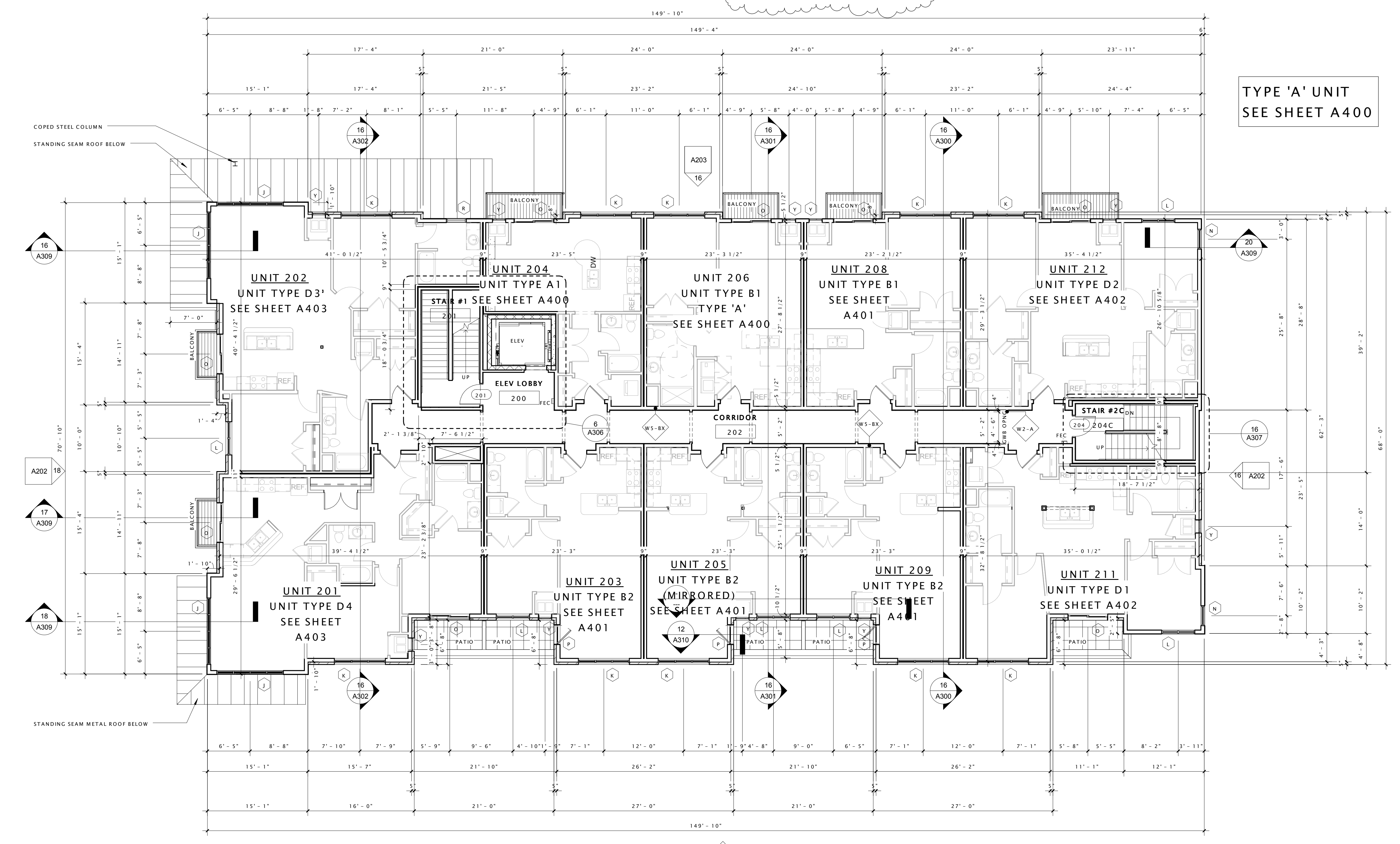
Revision Schedule		
Mark	Description	Date



16 FIRST FLOOR PLAN
1/8" = 1'-0"



Type Mark	Description	Width	Height	Manufacturer	Model	Window Frame Color	Type Comments
A	FIBERGLASS TRANSOM WINDOW	9'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
B	FIBERGLASS TRANSOM WINDOW	7'-8"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
C	FIBERGLASS TRANSOM WINDOW	5'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
D	FIBERGLASS TRANSOM WINDOW	6'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
E	FIBERGLASS TRANSOM WINDOW	3'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
F	FIBERGLASS TRANSOM WINDOW	6'-0"	3'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
G	FIBERGLASS AWNING WINDOW	10'-0"	8'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
J	FIBERGLASS AWNING WINDOW	10'-0"	6'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
K	FIBERGLASS AWNING WINDOW	7'-8"	6'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
L	FIBERGLASS AWNING WINDOW	5'-0"	6'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
N	FIBERGLASS AWNING WINDOW	5'-0"	6'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
O	2-Panel Sliding Patio Door	6'-0"	8'-0"	WEATHERSHIELD WINDOWS AND DOORS	2-6080	BRONZE	No Grids
R	1-Panel Swing Patio Door	5'-0"	8'-0"	WEATHERSHIELD WINDOWS AND DOORS	1-3080	BRONZE	No Grids
S	FIBERGLASS SINGLE HUNG WINDOW	3'-0"	5'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
T	FIBERGLASS SINGLE HUNG WINDOW	4'-0"	4'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	STAIR WINDOWS NORTH ELEVATION
V	ALUMINUM MECHANICAL LOUVER	2'-0"	4'-0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
W	HVAC Louver	2'-0"	4'-0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Z	ALUMINUM MECHANICAL LOUVER	2'-0"	2'-0"	TBD			



TYPE 'A' UNIT
SEE SHEET A400

16 SECOND FLOOR PLAN
1/8" = 1'-0"



JOSEPH LEE + ASSOCIATES
3325 wall street - suite 2700
madison, wisconsin 53718
608.241.9500

JLA PROJECT NUMBER: 12-0718-01



JD McCormick
Companies

PARK & DRAKE
MIXED-USE BUILDING

DATE OF ISSUANCE May 14, 2014

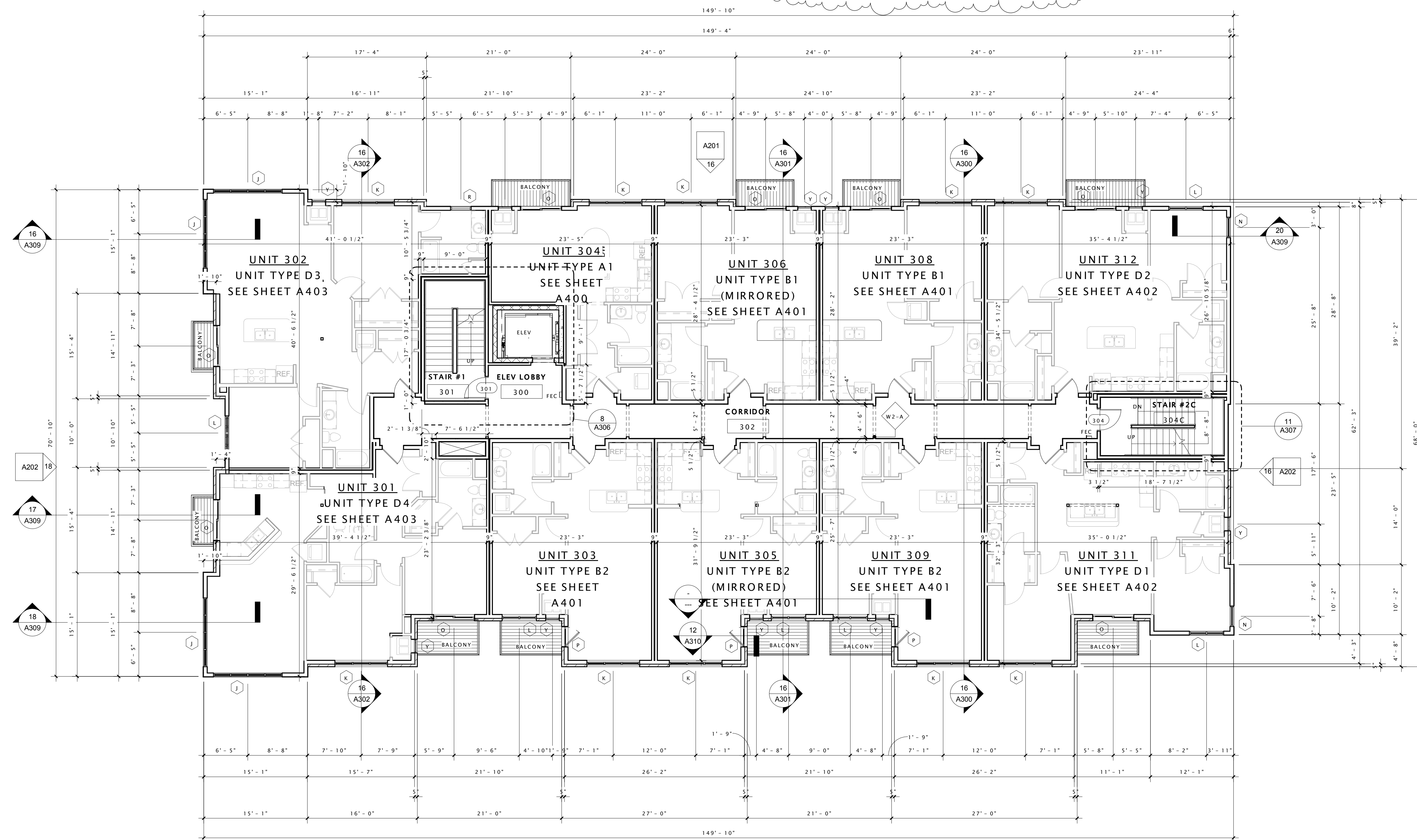
Revision Schedule		
Mark	Description	Date
1	AD1	140430

SHEET TITLE
SECOND FLOOR PLAN

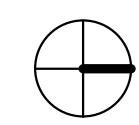
SHEET NUMBER
A102

Revision Schedule		
Mark	Description	Date
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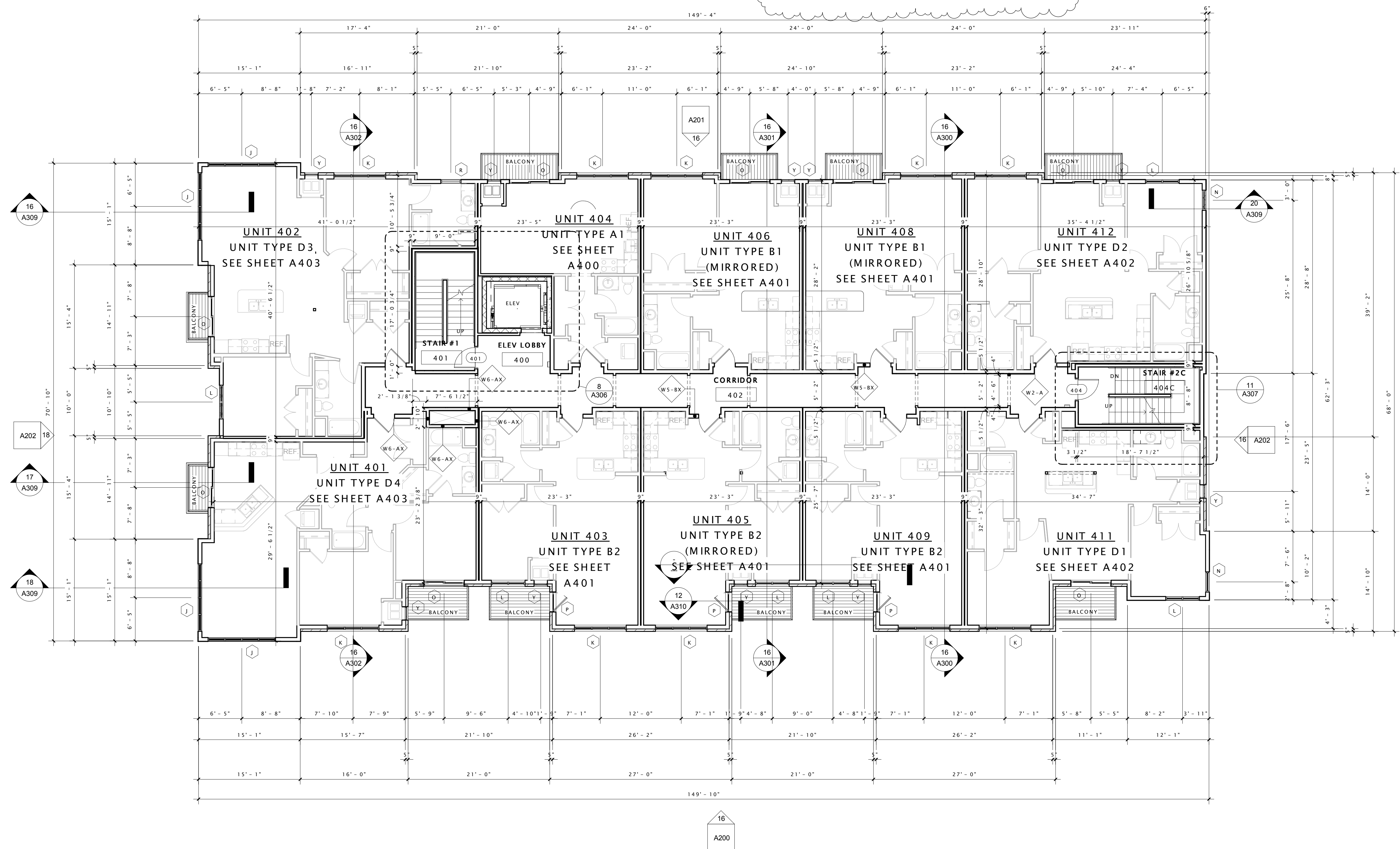
Type Mark	Description	Width	Height	Manufacturer	Model	Window Frame Color	Type Comments
A	FIBERGLASS TRANSOM WINDOW	9' - 0"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
B	FIBERGLASS TRANSOM WINDOW	7' - 8"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
C	FIBERGLASS TRANSOM WINDOW	5' - 0"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
D	FIBERGLASS TRANSOM WINDOW	6' - 0"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
E	FIBERGLASS TRANSOM WINDOW	3' - 0"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
F	FIBERGLASS TRANSOM WINDOW	6' - 0"	3' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
G	FIBERGLASS AWNING WINDOW	10' - 0"	8' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
H	FIBERGLASS AWNING WINDOW	10' - 0"	6' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
K	FIBERGLASS AWNING WINDOW	7' - 8"	6' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
L	FIBERGLASS AWNING WINDOW	5' - 0"	6' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
N	FIBERGLASS AWNING WINDOW	3' - 0"	6' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
O	2-Panel Sliding Patio Door	6' - 0"	8' - 0"	WEATHERSHIELD WINDOWS AND DOORS	2-6080	BRONZE	No Grids
P	1-Panel Swing Patio Door	3' - 0"	8' - 0"	WEATHERSHIELD WINDOWS AND DOORS	1-3080	BRONZE	No Grids
R	FIBERGLASS SINGLE HUNG WINDOW	3' - 0"	5' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
S	FIBERGLASS SINGLE HUNG WINDOW	4' - 0"	4' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	STAIR WINDOWS NORTH ELEVATION
V	ALUMINUM MECHANICAL LOUVER	7' - 0"	4' - 0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Y	HVAC Louver	2' - 0"	4' - 0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Z	ALUMINUM MECHANICAL LOUVER	2' - 0"	2' - 0"	TBD	TBD	TBD	



16 THIRD FLOOR PLAN
1/8" = 1'-0"



Type Mark	Description	Width	Height	Manufacturer	Model	Window Frame Color	Type Comments
A	FIBERGLASS TRANSOM WINDOW	9'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
B	FIBERGLASS TRANSOM WINDOW	7'-8"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
C	FIBERGLASS TRANSOM WINDOW	5'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
D	FIBERGLASS TRANSOM WINDOW	6'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
E	FIBERGLASS TRANSOM WINDOW	3'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
F	FIBERGLASS TRANSOM WINDOW	6'-0"	3'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
G	FIBERGLASS AWNING WINDOW	10'-0"	8'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
J	FIBERGLASS AWNING WINDOW	10'-0"	6'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
K	FIBERGLASS AWNING WINDOW	7'-8"	6'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
L	FIBERGLASS AWNING WINDOW	5'-0"	6'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
N	FIBERGLASS AWNING WINDOW	3'-0"	6'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
O	2-Panel Sliding Patio Door	6'-0"	8'-0"	WEATHERSHIELD WINDOWS AND DOORS	2-6080	BRONZE	No Grids
P	1-Panel Swing Patio Door	3'-0"	8'-0"	WEATHERSHIELD WINDOWS AND DOORS	1-3080	BRONZE	No Grids
R	FIBERGLASS SINGLE HUNG WINDOW	3'-0"	5'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
S	FIBERGLASS SINGLE HUNG WINDOW	4'-0"	4'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	STAIR WINDOWS NORTH ELEVATION
V	ALUMINUM MECHANICAL LOUVER	7'-0"	4'-0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Y	HVAC Louver	2'-0"	4'-0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Z	ALUMINUM MECHANICAL LOUVER	2'-0"	2'-0"	TBD	TBD	TBD	



16 FOURTH FLOOR PLAN
1/8" = 1'-0"



JOSEPH LEE + ASSOCIATES
3325 wall street - suite 2700
madison, wisconsin 53718
608.241.9500

JLA PROJECT NUMBER: 12-0718-01



JD McCormick
Companies

PARK & DRAKE
MIXED-USE BUILDING

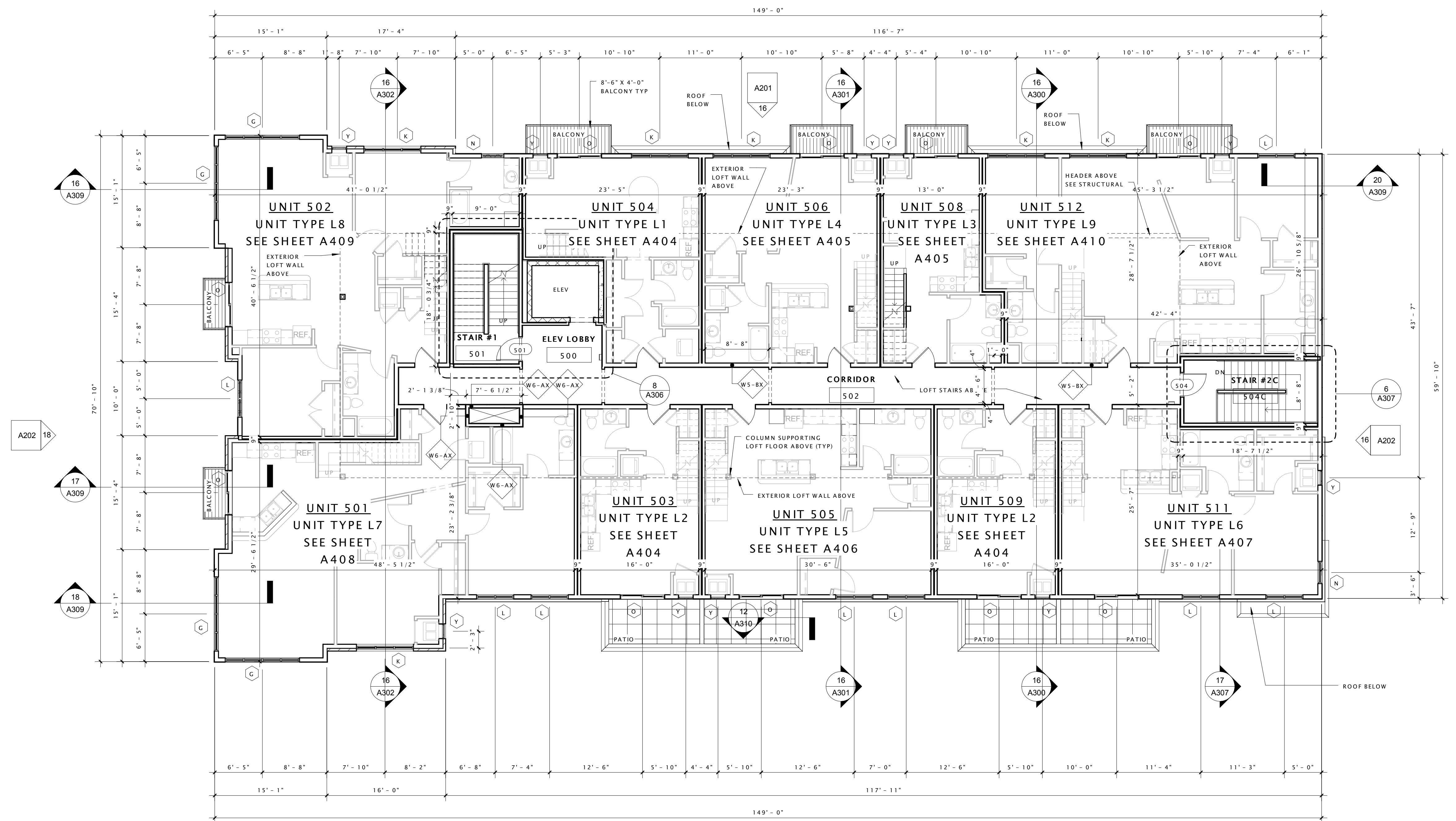
DATE OF ISSUANCE May 14, 2014

Revision Schedule		
Mark	Description	Date
1	AD1	140430

SHEET TITLE
FOURTH FLOOR PLAN

SHEET NUMBER
A104

Type Mark	Description	Width	Height	Manufacturer	Model	Window Frame Color	Type Comments
A	FIBERGLASS TRANSOM WINDOW	9' - 0"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
B	FIBERGLASS TRANSOM WINDOW	7' - 8"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
C	FIBERGLASS TRANSOM WINDOW	5' - 0"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
D	FIBERGLASS TRANSOM WINDOW	6' - 0"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
E	FIBERGLASS TRANSOM WINDOW	3' - 0"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
F	FIBERGLASS TRANSOM WINDOW	6' - 0"	3' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
G	FIBERGLASS AWNING WINDOW	10' - 0"	8' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
J	FIBERGLASS AWNING WINDOW	10' - 0"	6' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
K	FIBERGLASS AWNING WINDOW	7' - 8"	6' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
L	FIBERGLASS AWNING WINDOW	5' - 0"	6' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
N	FIBERGLASS AWNING WINDOW	3' - 0"	6' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
O	2-Panel Sliding Patio Door	6' - 0"	8' - 0"	WEATHERSHIELD WINDOWS AND DOORS	2-6080	BRONZE	No Grids
P	1-Panel Swing Patio Door	3' - 0"	8' - 0"	WEATHERSHIELD WINDOWS AND DOORS	1-3080	BRONZE	No Grids
R	FIBERGLASS SINGLE HUNG WINDOW	3' - 0"	5' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
S	FIBERGLASS SINGLE HUNG WINDOW	4' - 0"	4' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	STAIR WINDOWS NORTH ELEVATION
V	ALUMINUM MECHANICAL LOUVER	7' - 0"	4' - 0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Y	HVAC Louver	2' - 0"	4' - 0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Z	ALUMINUM MECHANICAL LOUVER	2' - 0"	2' - 0"	TBD		TBD	



16 FIFTH FLOOR PLAN
1/8" = 1'-0"



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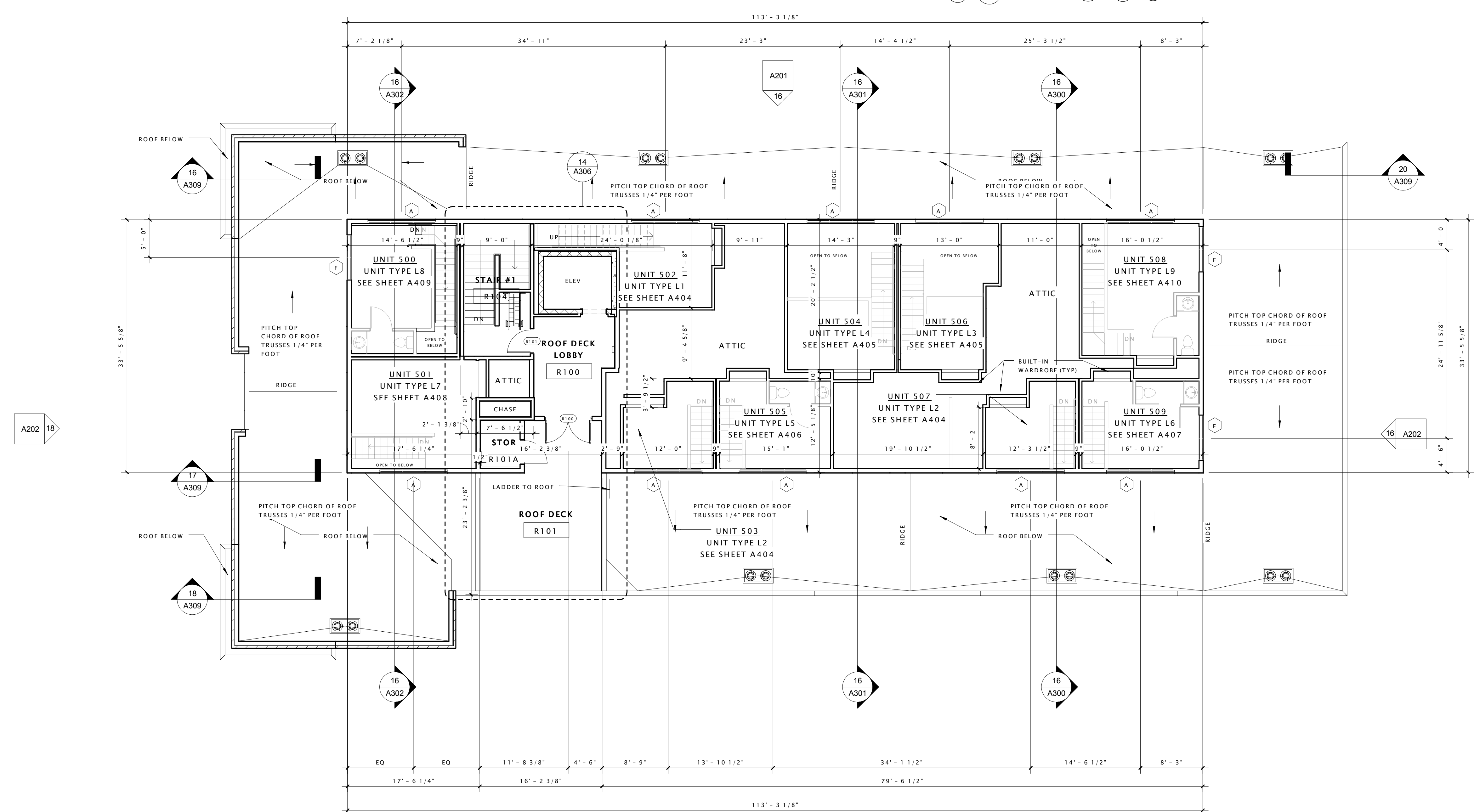
DATE OF ISSUANCE May 14, 2014

Revision Schedule		
Mark	Description	Date
1	AD1	140430

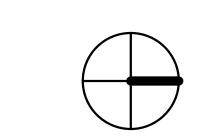
SHEET TITLE
FIFTH FLOOR PLAN

SHEET NUMBER
A105

Type Mark	Description	Width	Height	Manufacturer	Model	Window Frame Color	Type Comments
A	FIBERGLASS TRANSOM WINDOW	9'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
B	FIBERGLASS TRANSOM WINDOW	7'-8"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
C	FIBERGLASS TRANSOM WINDOW	5'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
D	FIBERGLASS TRANSOM WINDOW	6'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
E	FIBERGLASS TRANSOM WINDOW	3'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
F	FIBERGLASS TRANSOM WINDOW	6'-0"	3'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
G	FIBERGLASS AWNING WINDOW	10'-0"	8'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
J	FIBERGLASS AWNING WINDOW	10'-0"	6'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
K	FIBERGLASS AWNING WINDOW	7'-8"	8'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
L	FIBERGLASS AWNING WINDOW	5'-0"	6'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
N	FIBERGLASS AWNING WINDOW	3'-0"	6'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
O	2-Panel Sliding Patio Door	6'-0"	8'-0"	WEATHERSHIELD WINDOWS AND DOORS	2-6080	BRONZE	No Grids
P	1-Panel Swing Patio Door	3'-0"	8'-0"	WEATHERSHIELD WINDOWS AND DOORS	1-3080	BRONZE	No Grids
R	FIBERGLASS SINGLE HUNG WINDOW	3'-0"	5'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
S	FIBERGLASS SINGLE HUNG WINDOW	4'-0"	4'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	STAIR WINDOWS NORTH ELEVATION
V	ALUMINUM MECHANICAL LOUVER	7'-0"	4'-0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Y	HVAC Louver	2'-0"	4'-0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Z	ALUMINUM MECHANICAL LOUVER	2'-0"	2'-0"	TBD			



16 LOFT FLOOR PLAN
1/8" = 1'-0"



DATE OF ISSUANCE	May 14, 2014
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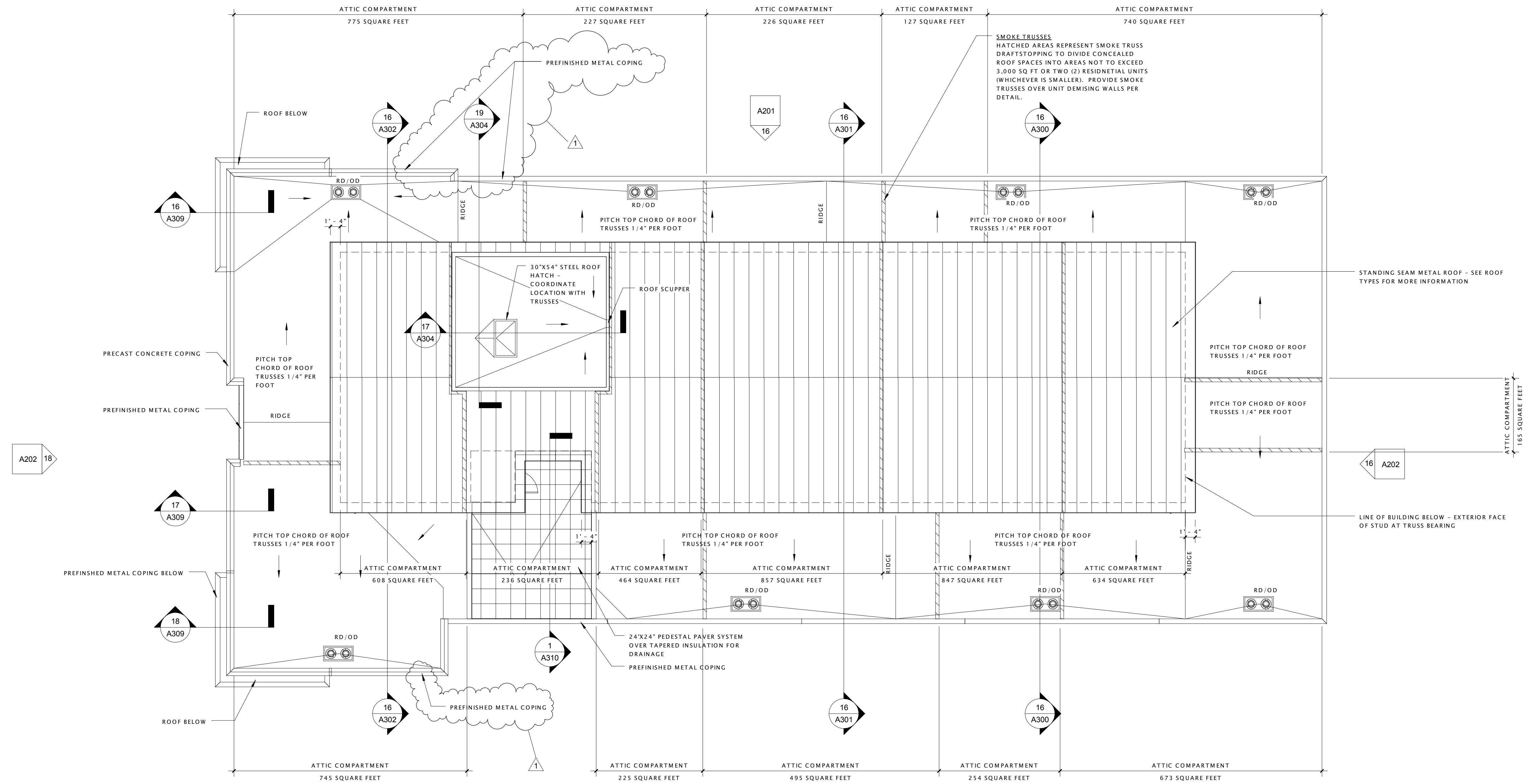
Revision Schedule		
Mark	Description	Date
1	AD1	140430

SHEET TITLE
LOFT FLOOR PLAN

SHEET NUMBER
A106

ROOF NOTES

- 1) ROOF SHALL BE ROOF ASSEMBLY-W6 UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE PITCHED AT 1/4" PER FOOT (MINIMUM) TO PROVIDE ROOF DRAINAGE. SEE SHEET 501 FOR ROOF ASSEMBLY DESCRIPTION.
- 2) PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF TRUSSES & ROOF SHEATHING TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS.
- 3) ROOF DRAINS ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGN/BUILD CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE (1/4" PER FOOT) AND WITH UNIT PLANS TO DETERMINE THE VERTICAL DRAIN PATH.
- 4) CONTRACTOR SHALL PROVIDE INTAKE & EXHAUST ROOF VENTS TO PROVIDE 1 S.F. OF VENT AREA PER 300 S.F. OF ATTIC AREA (PER ATTIC COMPARTMENT). OWNERS DESIGN/BUILD MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
- 5) OVERHANGS SHALL BE AS SHOWN ON ROOF PLAN.
- 6) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADED AREAS ON ROOF PLAN):
ALL EAVES:
 RUN FROM EDGE OF EAVE TO 3'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.
ALL VALLEYS:
 RUN FROM VALLEY TO 3'-0" (MIN.) EACH SIDE OF VALLEY. INSTALL UNDER METAL FLASHINGS AT VALLEYS.
ALL ROOF/WALL INTERSECTIONS:
 RUN 3'-0" (MIN.) HORIZONTALLY FROM FACE OF WALL RUN 1'-6" (MIN.) VERTICALLY UP FACE OF WALL.
ALL ROOF PENETRATIONS:
 RUN 3'-0" (MIN.) FROM PENETRATIONS
- 7) PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFTSTOP SHALL EXTEND FULLY INTO SOFFITS AND ALL PENETRATIONS SHALL BE CAULKED. SEE 5/A104 FOR ADDITIONAL INFORMATION.
- 8) PROVIDE METAL FLASHING AT ALL VALLEYS AND ALL ROOF/WALL INTERSECTIONS.
- 9) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS. DESIGN/BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
- 10) VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/BUILD MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- 11) ALL DRYERS SHALL BE VENTED WITH U.L. CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN/VENT IF VENT RUN EXCEEDS 25'-0".
- 12) CARE MUST BE TAKEN TO ENSURE THAT ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.



16 ROOF PLAN
1/8" = 1'-0"

DATE OF ISSUANCE May 14, 2014

Revision Schedule		
Mark	Description	Date
1	AD1	140430

SHEET TITLE
ROOF PLAN

SHEET NUMBER
A107

Revision Schedule		
Mark	Description	Date

EXTERIOR MATERIAL LEGEND						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTE
1	STANDING SEAM METAL ROOF	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	TBD TO MATCH WINDOW FINISH	
2	PREFINISHED METAL FASCIA	TBD	PREFINISHED ALUMINUM	SEE PLANS	TBD - TO MATCH STANDING SEAM ROOF FINISH	
4	PREFINISHED METAL COPING	TBD	PREFINISHED ALUMINUM	SEE PLANS	TBD - TO MATCH ADJACENT FIBER CEMENT SIDING	
5	FIBER CEMENT PANELS	JAMES HARDIE	FIBER CEMENT	10'x4' MAXIMUM	IRON GREY	
6	HORIZONTAL FIBER CEMENT SIDING	JAMES HARDIE	FIBER CEMENT - CEDARMILL	5" EXPOSURE	TBD - TO MATCH MASONRY - 2	
7	MASONRY - 1	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	RED IRONSPOT VELOUR	
8	INSET MASONRY - 1	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	RED IRONSPOT VELOUR	
9	SOLDIER COURSE MASONRY - 1	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	RED IRONSPOT VELOUR	
10	MASONRY - 2	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	DESERT IRONSPOT DARK VELOUR	
11	SOLDIER COURSE MASONRY - 2	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	DESERT IRONSPOT DARK VELOUR	
12	INSET MASONRY - 2	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	DESERT IRONSPOT DARK VELOUR	
14	PRECAST CONCRETE BANDING	ROCKCAST - OR EQUAL	PRECAST CONCRETE - SMOOTH FACE - SEE MASONRY PROFILES	SEE PLANS	TBD	
15	PRECAST CONCRETE SILL	ROCKCAST - OR EQUAL	PRECAST CONCRETE - SMOOTH FACE - SEE MASONRY PROFILES	SEE PLANS	TBD	
16	RESIDENTIAL HVAC LOUVER / GRILLE	TBD	EXTRUDED ALUMINUM	TBD	PAINT TO MATCH ADJACENT MATERIALS	
17	BALCONY RAILING	KANE STERLING - OR EQUAL	ALUMINUM	SEE PLANS	BRONZE	
18	BALCONY / DECK	TREX - OR EQUAL	"TRASCEND" COMPOSITE	SEE PLANS	TBD	
19	STANDARD ALUMINUM CHANNEL - DECK	TBD	ALUMINUM	12" HIGH - 3" FLANGE	POWDER COAT TO MATCH WINDOW FINISH	
20	STANDING SEAM CANOPY	TBD	TBD	SEE PLANS	TBD - TO MATCH WINDOW FINISH	
21	PREFINISHED AWNING	TBD	TBD	SEE PLANS	TBD - TO MATCH WINDOW FINISH	
22	PREFINISHED OVERHEAD DOOR	MID-AMERICA - OR EQUAL	VANTAGE SERIES - INSULATED STEEL	SEE DOOR SCHEDULE	BROWN - TO MATCH MASONRY - 2	
23	FIBERGLASS WINDOWS	WEATHERSHIELD WINDOWS & DOORS	SEE SCHEDULE	SEE WINDOW SCHEDULE	CRAFTSMAN BRONZE	
24	ALUMINUM TERRACE DOORS	TBD	SEE SCHEDULE	SEE WINDOW SCHEDULE	TBD - TO MATCH WINDOW FINISH	
25	PREFINISHED METAL STOREFRONT ENTRY SYSTEM	KAWNEER	EXTRUDED ALUMINUM	SEE PLANS & DOOR SCHEDULE	TBD - TO MATCH WINDOW FINISH	
26	PREFINISHED METAL STOREFRONT WINDOW SYSTEM	KAWNEER	EXTRUDED ALUMINUM	SEE PLANS	TBD - TO MATCH WINDOW FINISH	
27	SLIDING PATIO DOOR	WEATHERSHIELD WINDOWS & DOORS	SEE SCHEDULE	SEE WINDOW SCHEDULE	CRAFTSMAN BRONZE	
28	DECORATIVE LIGHT FIXTURE	COOPER LIGHTING	EON LUMIERE	TBD	ALUMINUM OR STAINLESS STEEL	
29	DECORATIVE LIGHT FIXTURE	TBD	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIAL



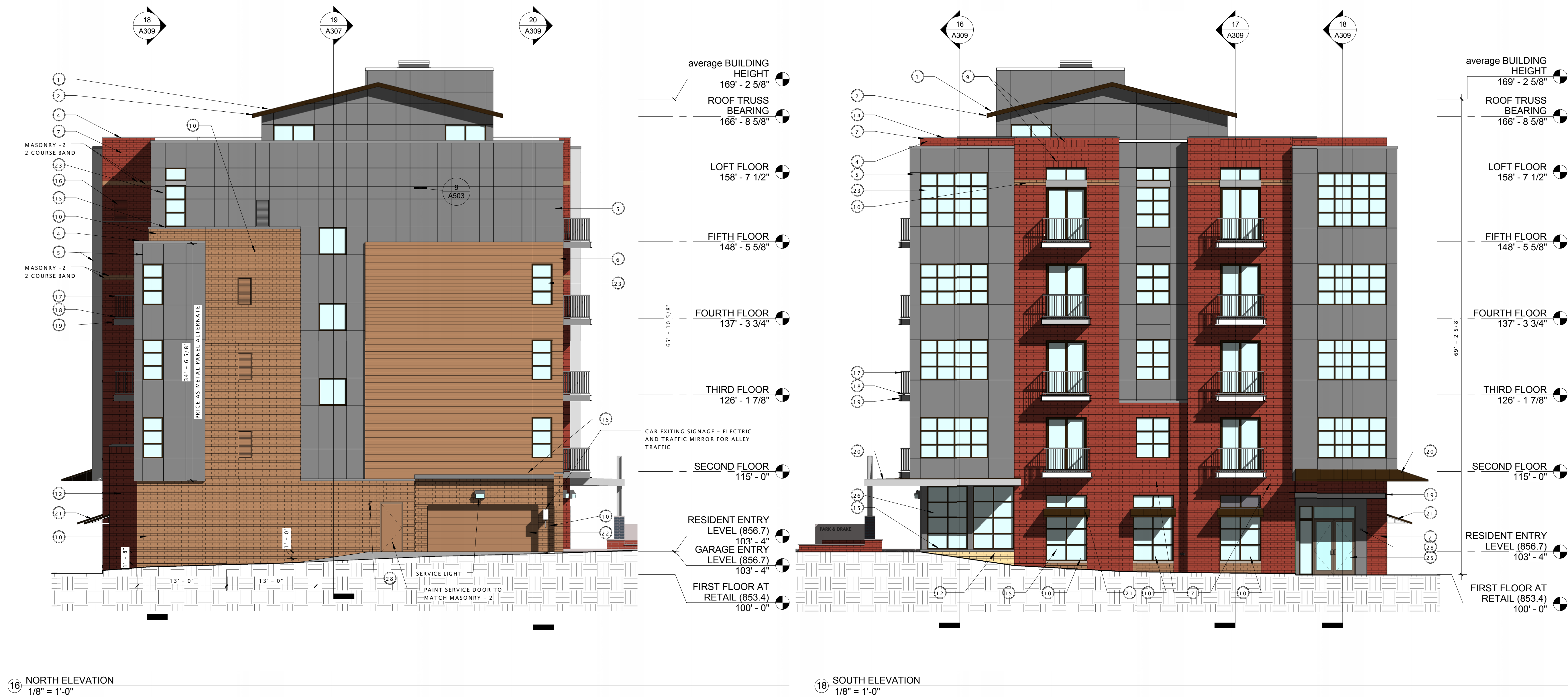
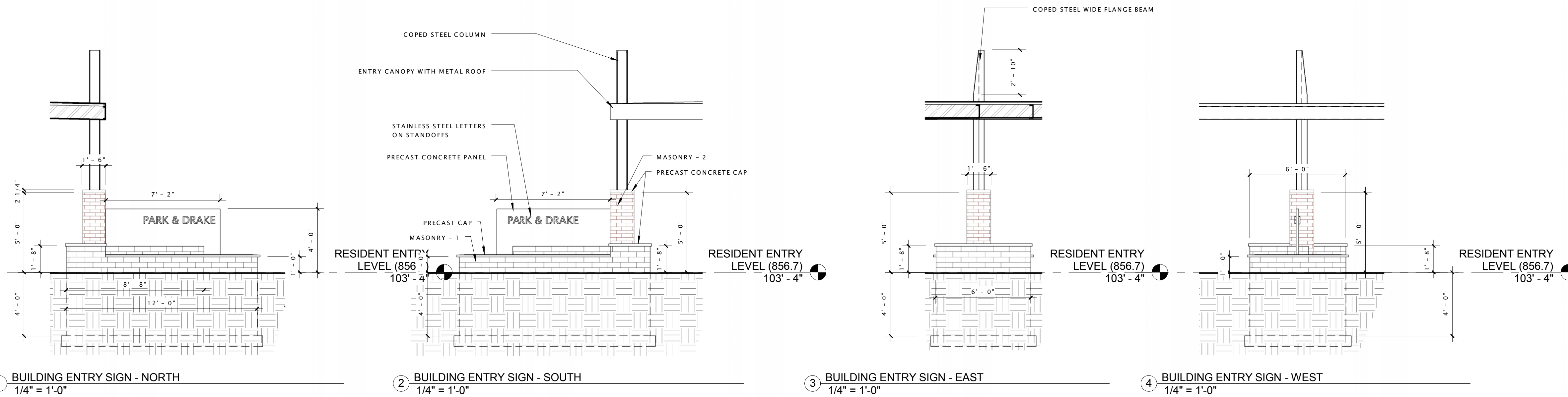
16 EAST ELEVATION
 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTE
1	STANDING SEAM METAL ROOF	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	TBD TO MATCH WINDOW FINISH	
2	PREFINISHED METAL FASCIA	TBD	PREFINISHED ALUMINUM	SEE PLANS	TBD - TO MATCH STANDING SEAM ROOF FINISH	
4	PREFINISHED METAL COPING	TBD	PREFINISHED ALUMINUM	SEE PLANS	TBD - TO MATCH ADJACENT FIBER CEMENT SIDING	
5	FIBER CEMENT PANELS	JAMES HARDIE	FIBER CEMENT	10'x4' MAXIMUM	IRON GREY	
6	HORIZONTAL FIBER CEMENT SIDING	JAMES HARDIE	FIBER CEMENT - CEDARMILL	5" EXPOSURE	TBD - TO MATCH MASONRY - 2	
7	MASONRY - 1	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	RED IRONSPOT VELOUR	
8	INSET MASONRY - 1	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	RED IRONSPOT VELOUR	
9	SOLDIER COURSE MASONRY - 1	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	RED IRONSPOT VELOUR	
10	MASONRY - 2	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	DESERT IRONSPOT DARK VELOUR	
11	SOLDIER COURSE MASONRY - 2	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	DESERT IRONSPOT DARK VELOUR	
12	INSET MASONRY - 2	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	DESERT IRONSPOT DARK VELOUR	
14	PRECAST CONCRETE BANDING	ROCKCAST - OR EQUAL	PRECAST CONCRETE - SMOOTH FACE - SEE MASONRY PROFILES	SEE PLANS	TBD	
15	PRECAST CONCRETE SILL	ROCKCAST - OR EQUAL	PRECAST CONCRETE - SMOOTH FACE - SEE MASONRY PROFILES	SEE PLANS	TBD	
16	RESIDENTIAL HVAC LOUVER / GRILLE	TBD	EXTRUDED ALUMINUM	TBD	PAINT TO MATCH ADJACENT MATERIALS	
17	BALCONY RAILING	KANE STERLING - OR EQUAL	ALUMINUM	SEE PLANS	BRONZE	
18	BALCONY / DECK	TREX - OR EQUAL	'TRASCEND' COMPOSITE	SEE PLANS	TBD	
19	STANDARD ALUMINUM CHANNEL - DECK	TBD	ALUMINUM	12" HIGH - 3" FLANGE	POWDER COAT TO MATCH WINDOW FINISH	
20	STANDING SEAM CANOPY	TBD	TBD	SEE PLANS	TBD - TO MATCH WINDOW FINISH	
21	PREFINISHED AWNING	TBD	TBD		TBD - TO MATCH WINDOW FINISH	
22	PREFINISHED OVERHEAD DOOR	MID-AMERICA - OR EQUAL	VANTAGE SERIES - INSULATED STEEL	SEE DOOR SCHEDULE	BROWN - TO MATCH MASONRY - 2	
23	FIBERGLASS WINDOWS	WEATHERSHIELD WINDOWS & DOORS	SEE SCHEDULE	SEE WINDOW SCHEDULE	CRAFTSMAN BRONZE	
24	ALUMINUM TERRACE DOORS	TBD	SEE SCHEDULE	SEE WINDOW SCHEDULE	TBD - TO MATCH WINDOW FINISH	
25	PREFINISHED METAL STOREFRONT ENTRY SYSTEM	KAWNEER	EXTRUDED ALUMINUM	SEE PLANS & DOOR SCHEDULE	TBD - TO MATCH WINDOW FINISH	
26	PREFINISHED METAL STOREFRONT WINDOW SYSTEM	KAWNEER	EXTRUDED ALUMINUM	SEE PLANS	TBD - TO MATCH WINDOW FINISH	
27	SLIDING PATIO DOOR	WEATHERSHIELD WINDOWS & DOORS	SEE SCHEDULE	SEE WINDOW SCHEDULE	CRAFTSMAN BRONZE	
28	DECORATIVE LIGHT FIXTURE	COOPER LIGHTING	EON LUMIERE	TBD	ALUMINUM OR STAINLESS STEEL	
29	DECORATIVE LIGHT FIXTURE	TBD	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIAL



16 WEST ELEVATION
1/8" = 1'-0"

Revision Schedule		
Mark	Description	Date



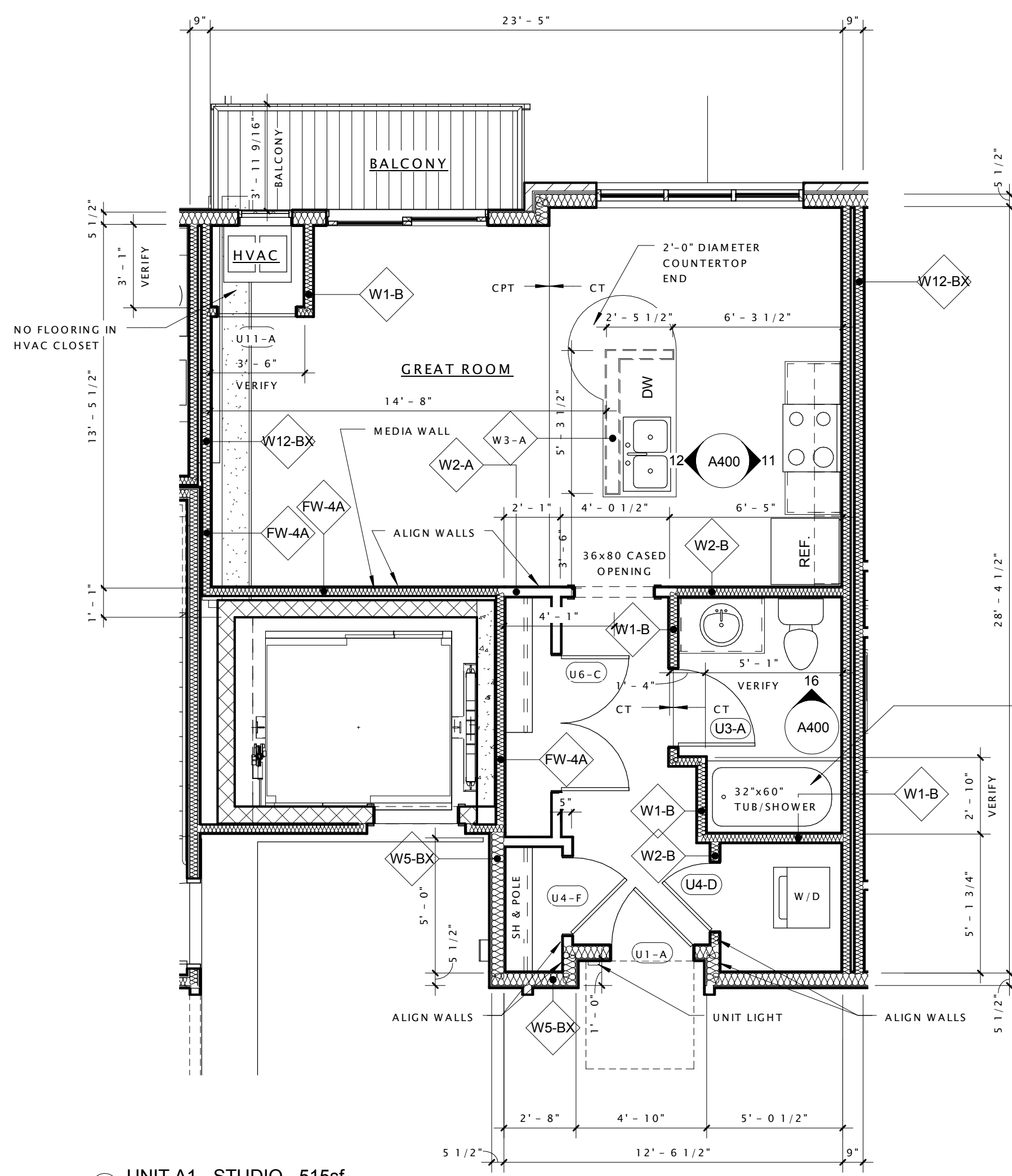
PARK & DRAKE
MIXED-USE BUILDING

DATE OF ISSUANCE May 14, 2014

Revision Schedule		
Mark	Description	Date

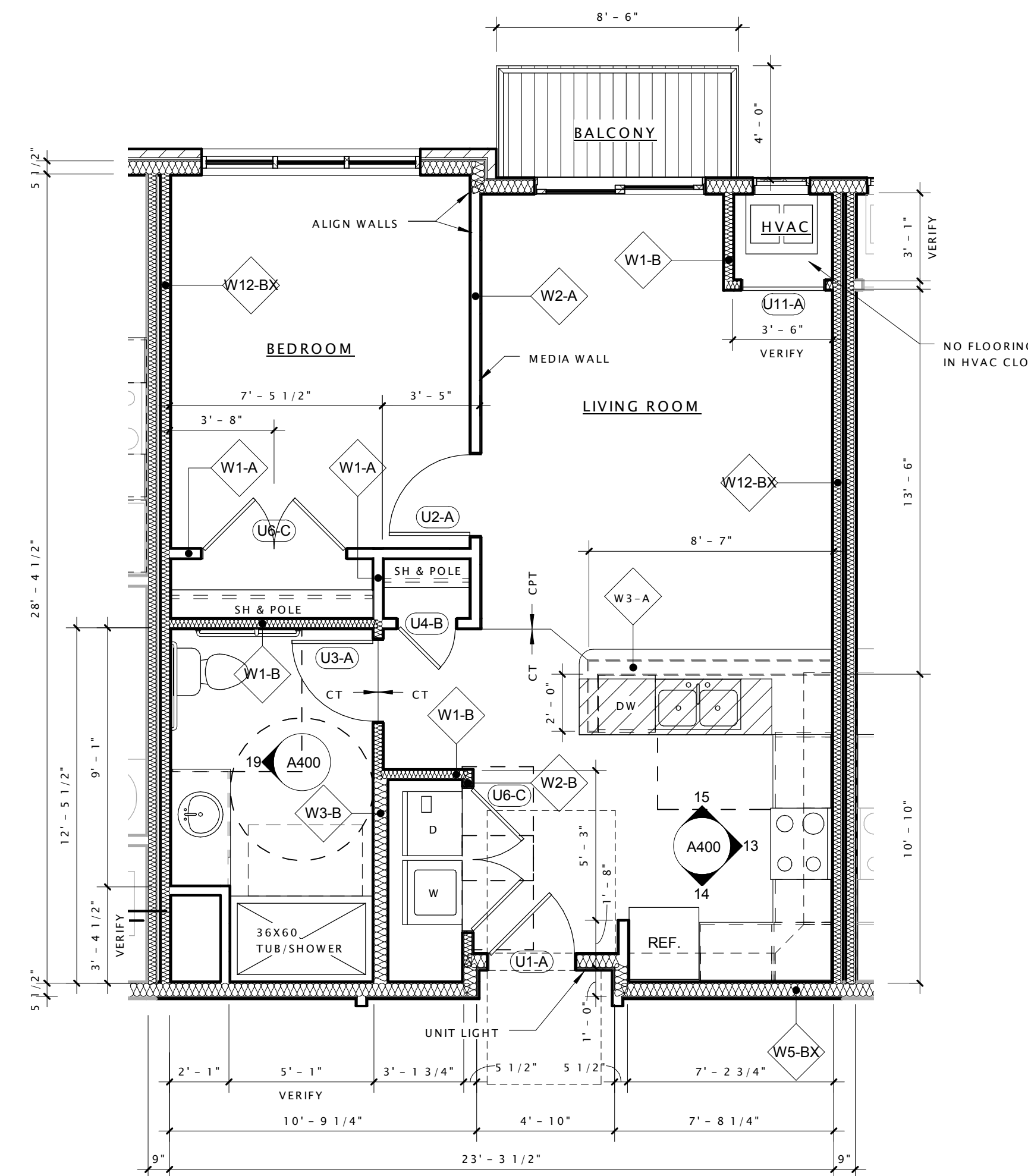
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A202

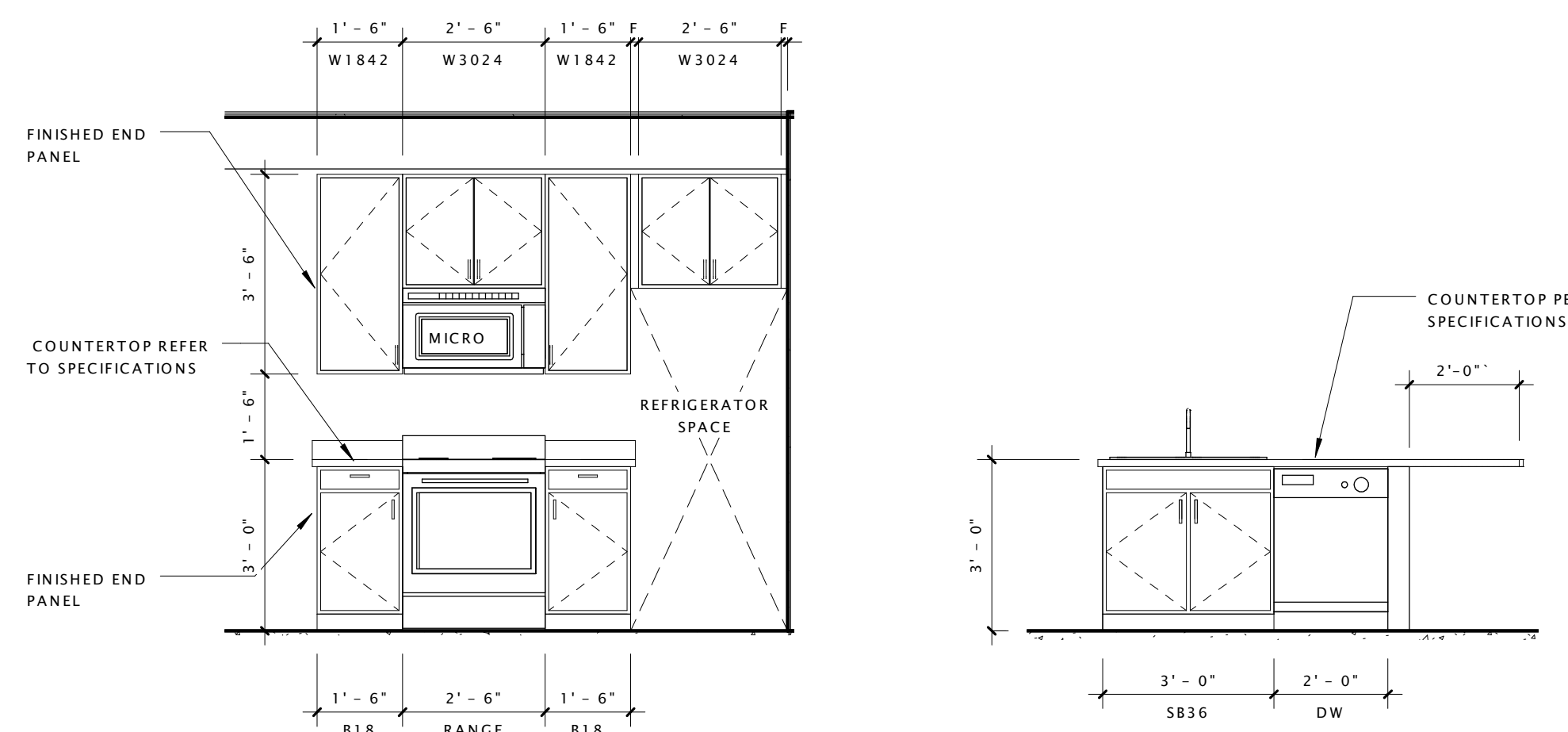


6 UNIT A1 - STUDIO - 515sf
1/4" = 1'-0"

TUB/SHOWER UNIT
PROVIDE BLOCKING AS
REQUIRED PER CODE.
PROVIDE CONTROLS
OFFSET TOWARD
SHOWER OPENING

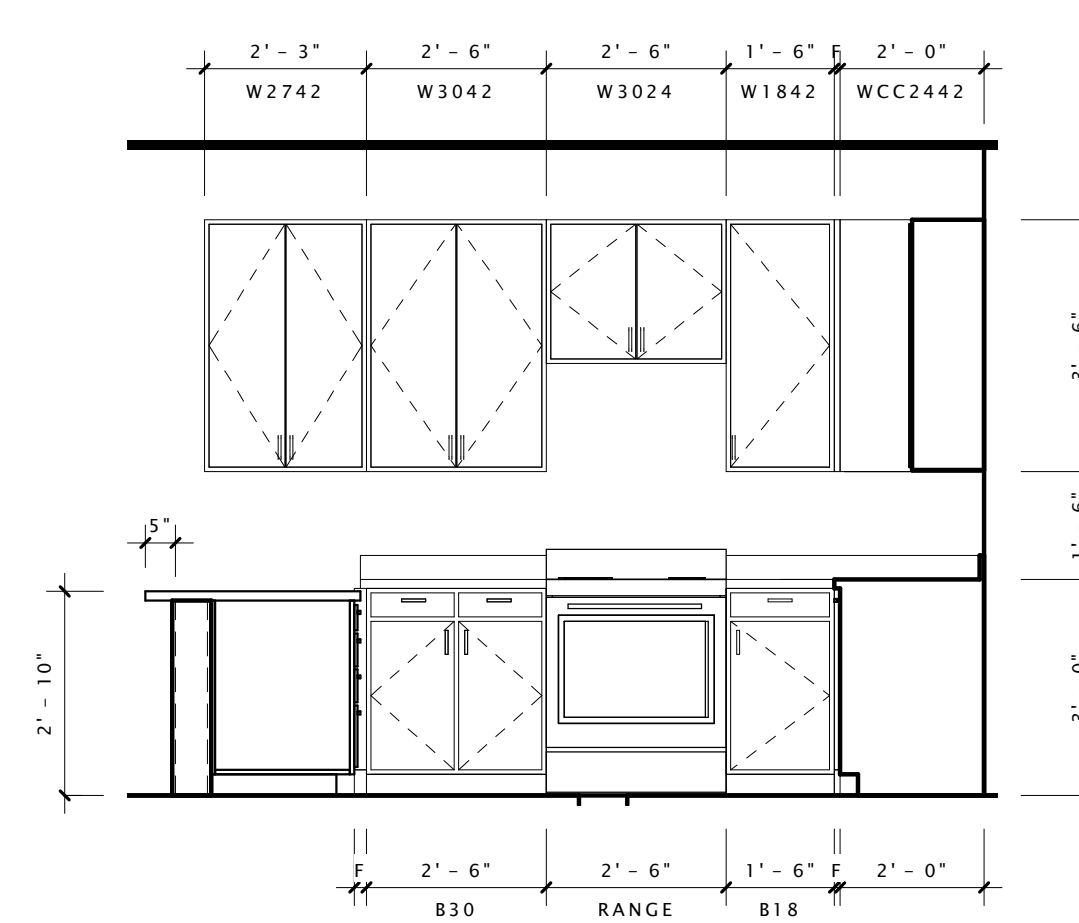


99 UNIT B1 - TYPE 'A' - 1 BED - 666sf
1/4" = 1'-0"

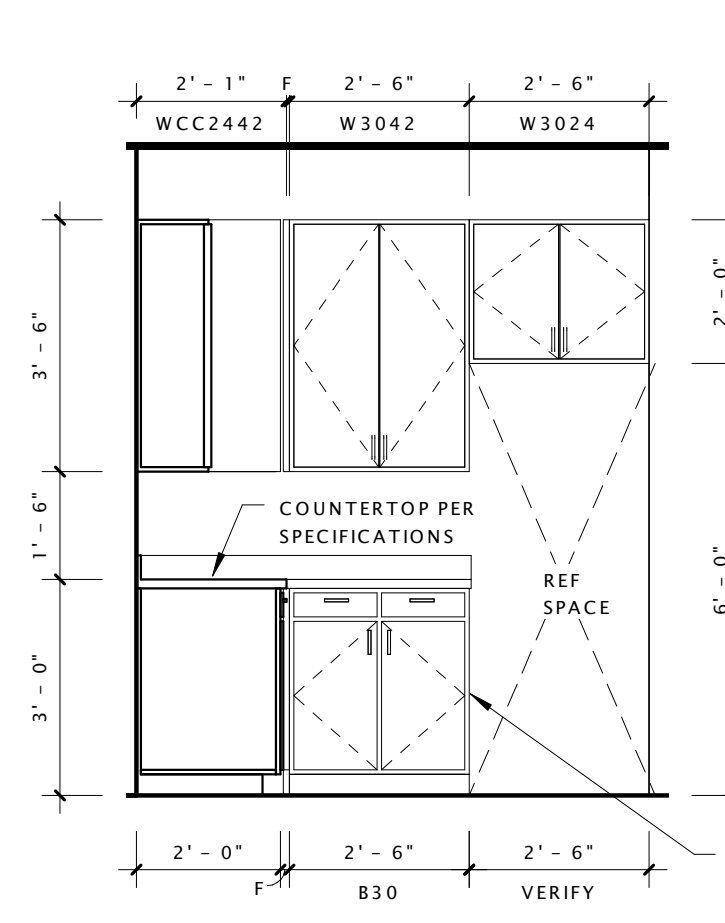


11 UNIT 'A1' - KITCHEN 1
3/8" = 1'-0"

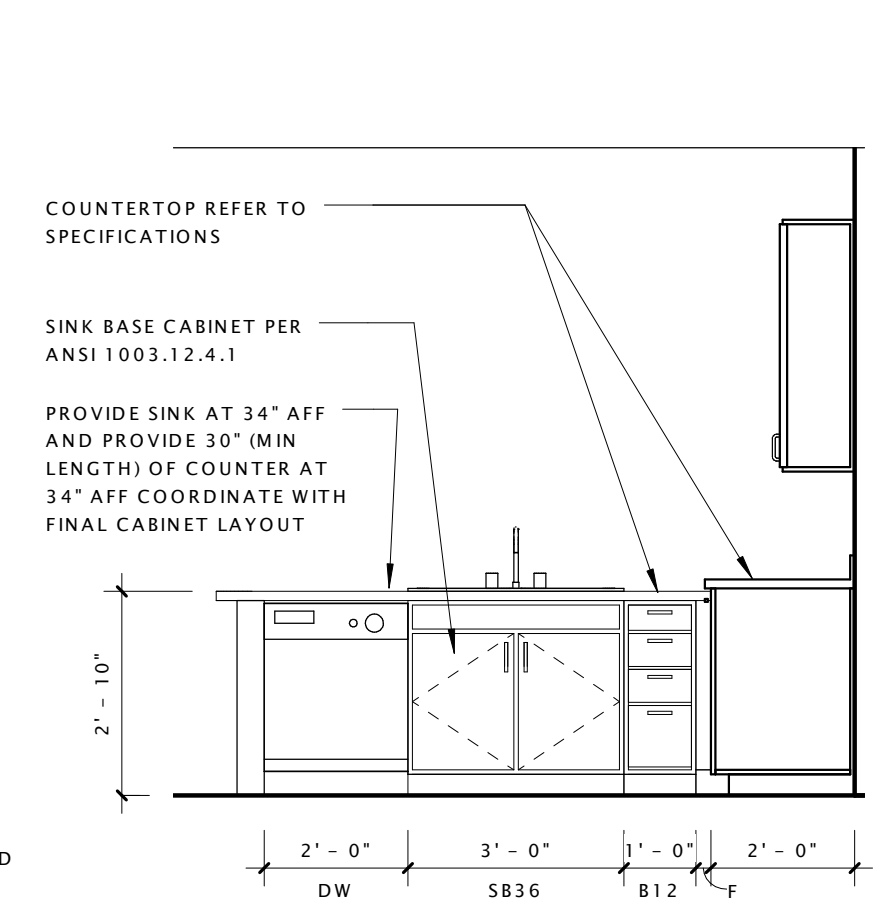
12 UNIT 'A1' - KITCHEN 2
3/8" = 1'-0"



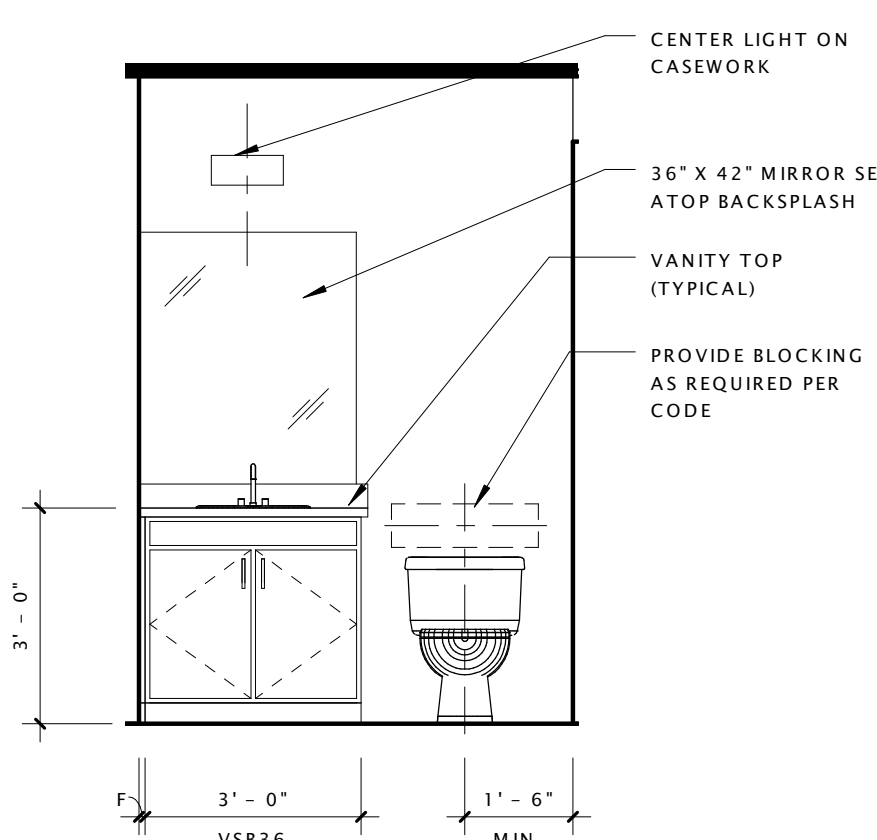
13 UNIT 'B1' - TYPE 'A' - KITCHEN 1
3/8" = 1'-0"



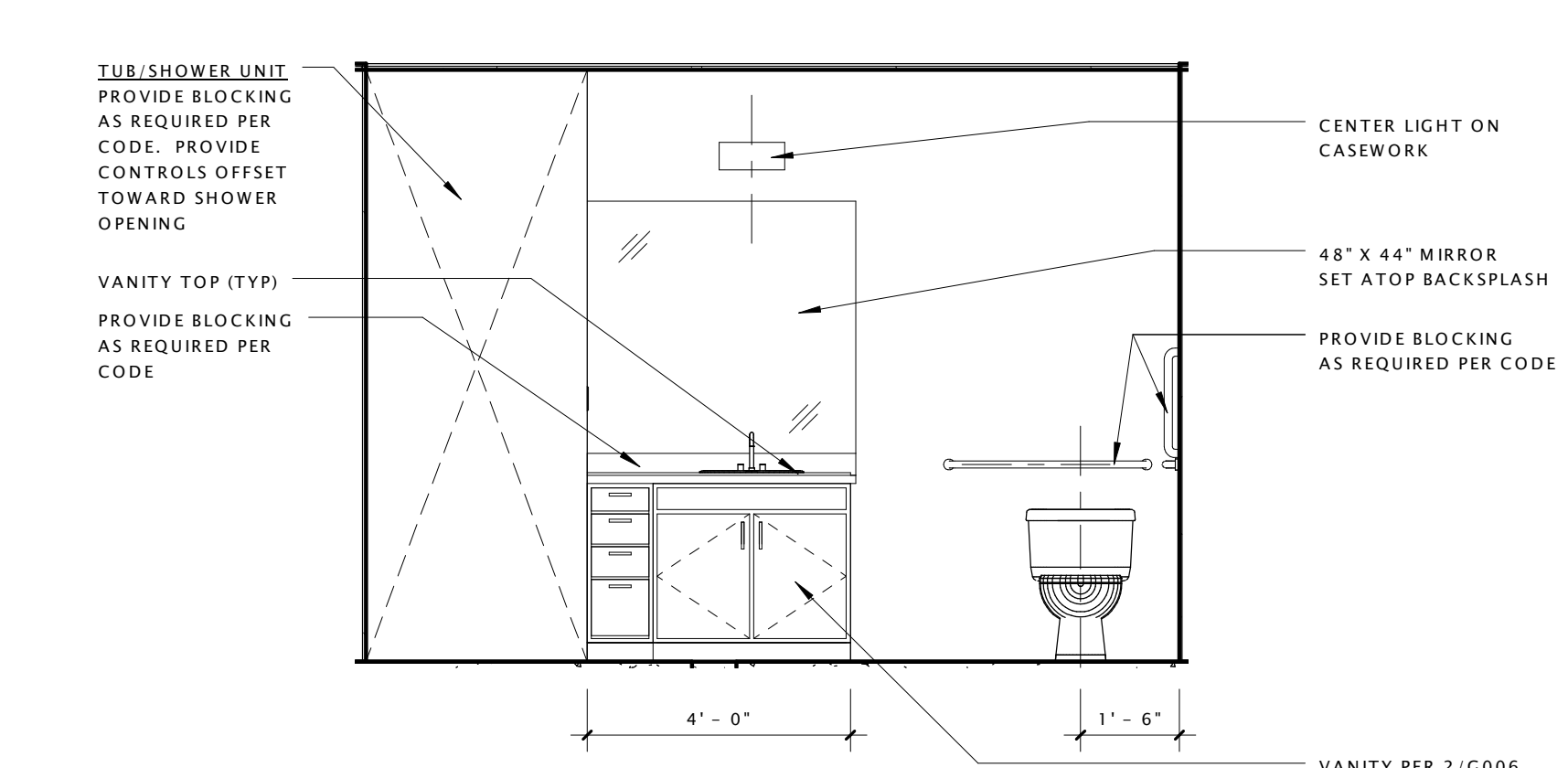
14 UNIT 'B1' - TYPE 'A' - KITCHEN 2
3/8" = 1'-0"



15 UNIT 'B1' - TYPE 'A' - KITCHEN 3
3/8" = 1'-0"



16 UNIT 'A1' - BATHROOM 1
3/8" = 1'-0"



19 UNIT 'B1' - TYPE 'A' - BATHROOM 1
3/8" = 1'-0"

DATE OF ISSUANCE May 14, 2014

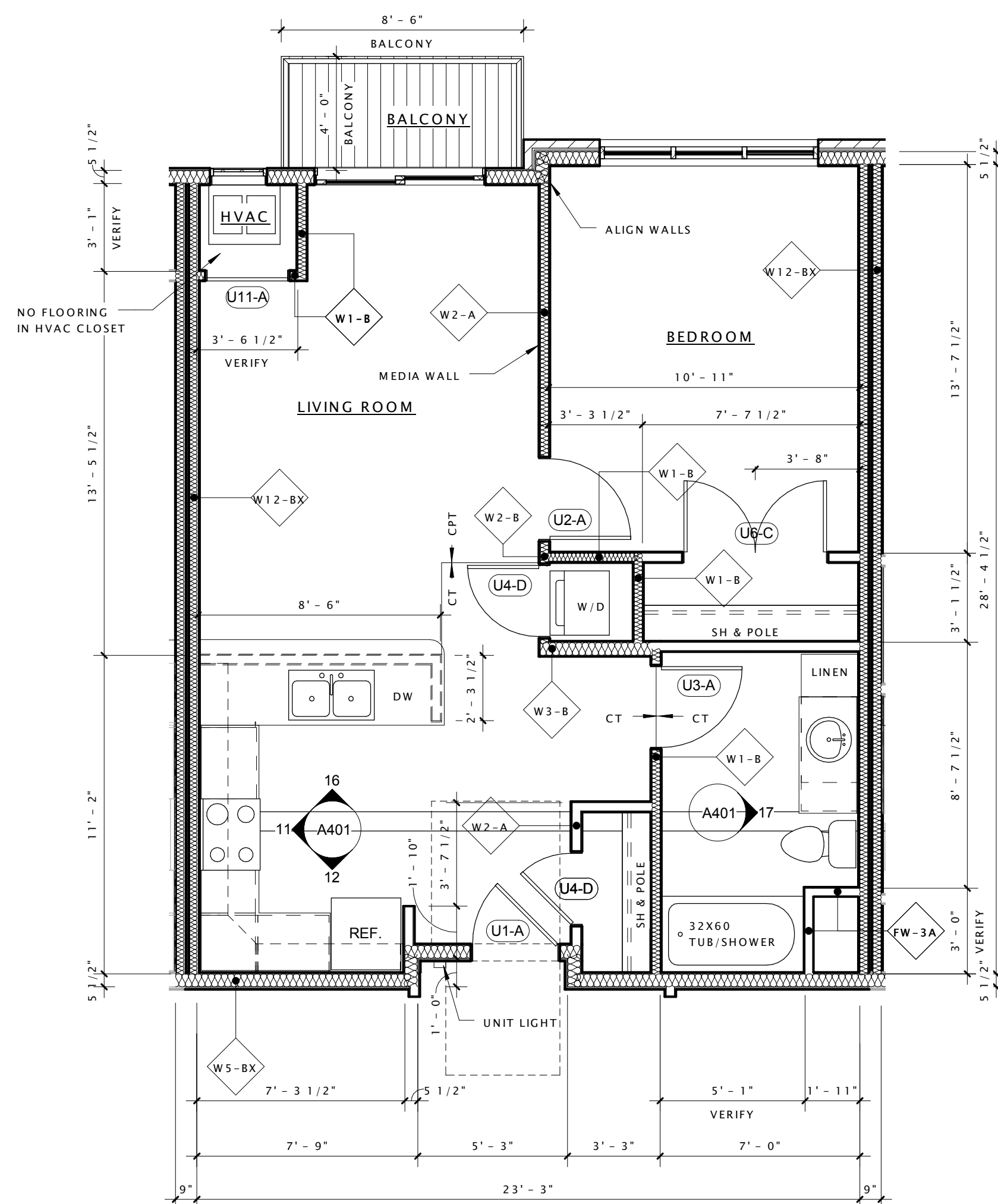
Revision Schedule		
Mark	Description	Date

SHEET TITLE

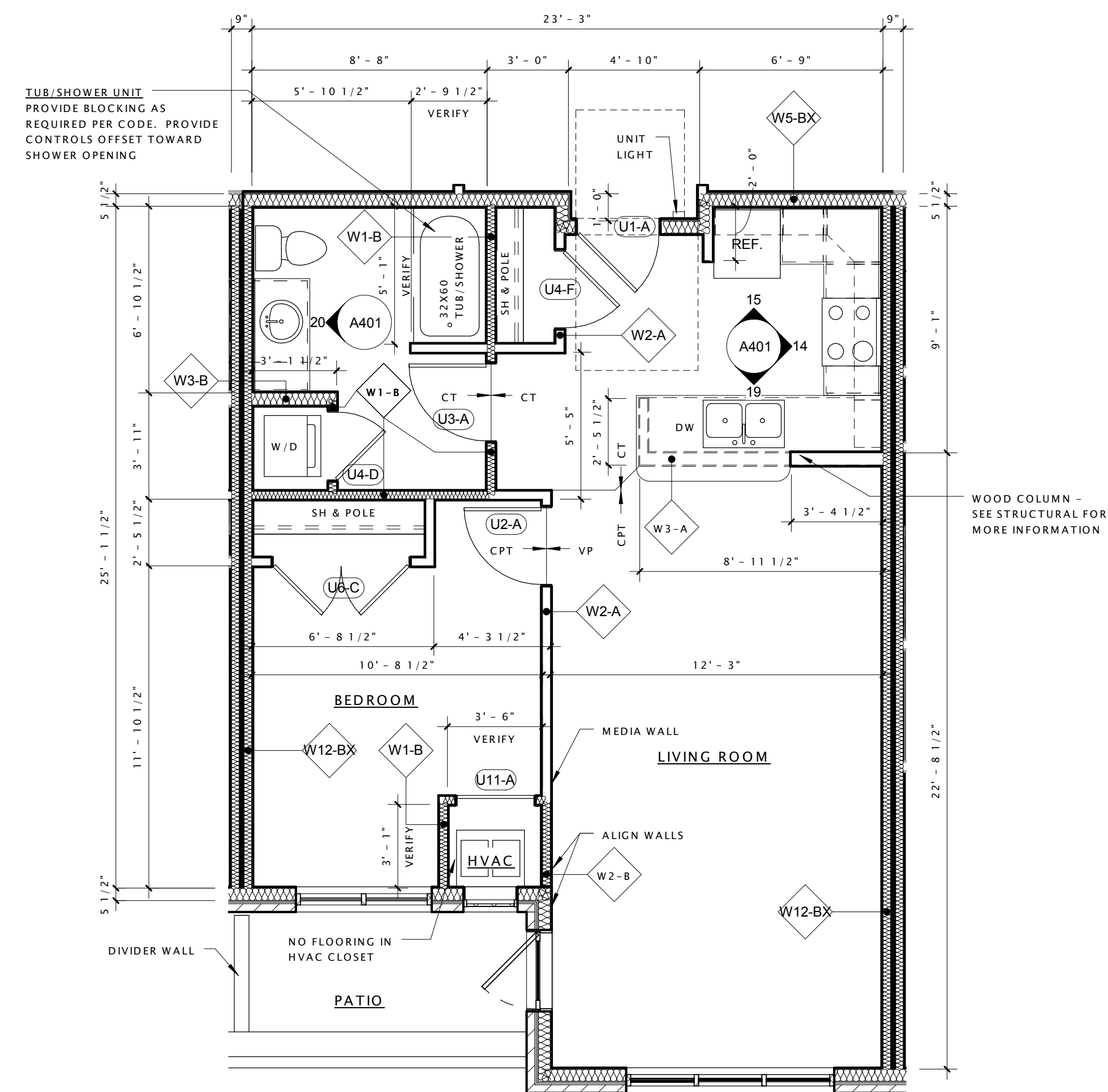
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PLANS

SHEET NUMBER

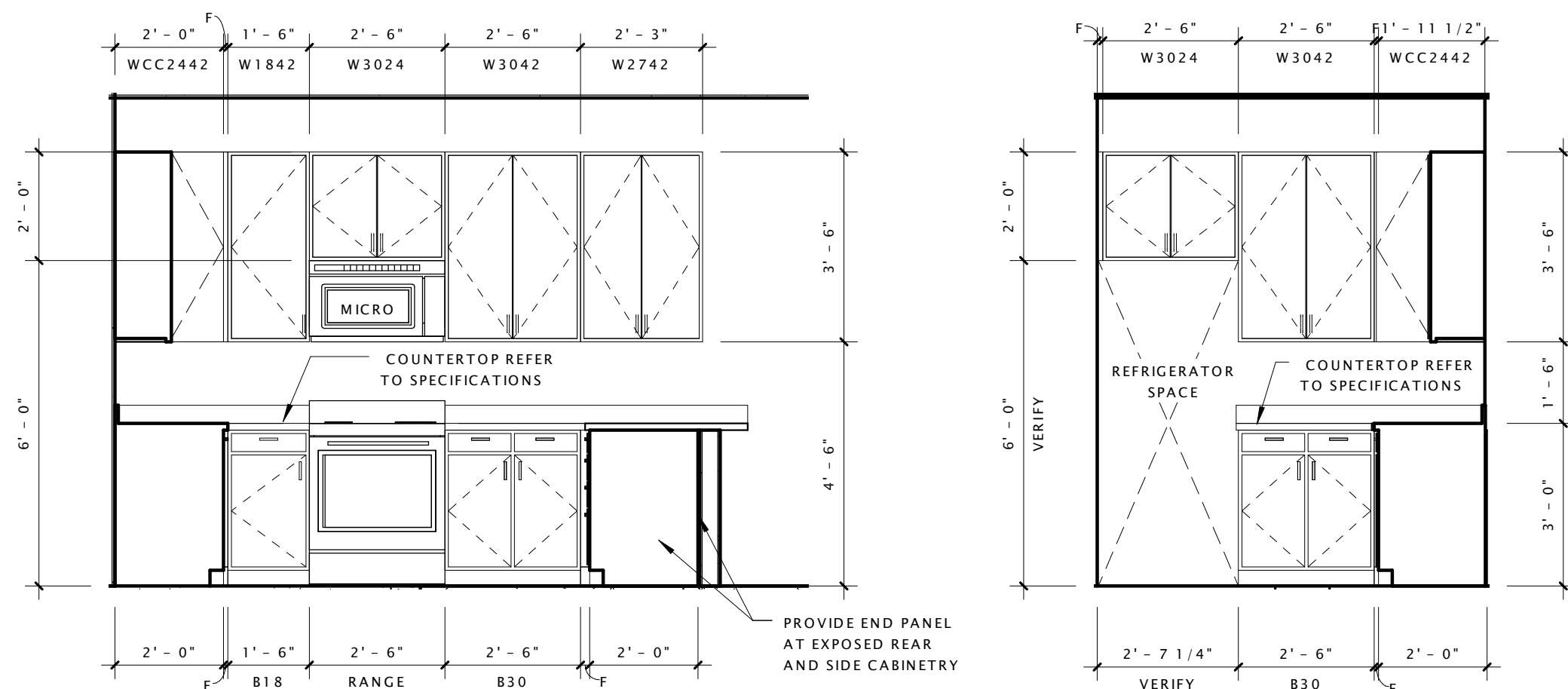
A400



6 UNIT B1 - 1 BED - 665sf
1/4" = 1'-0"

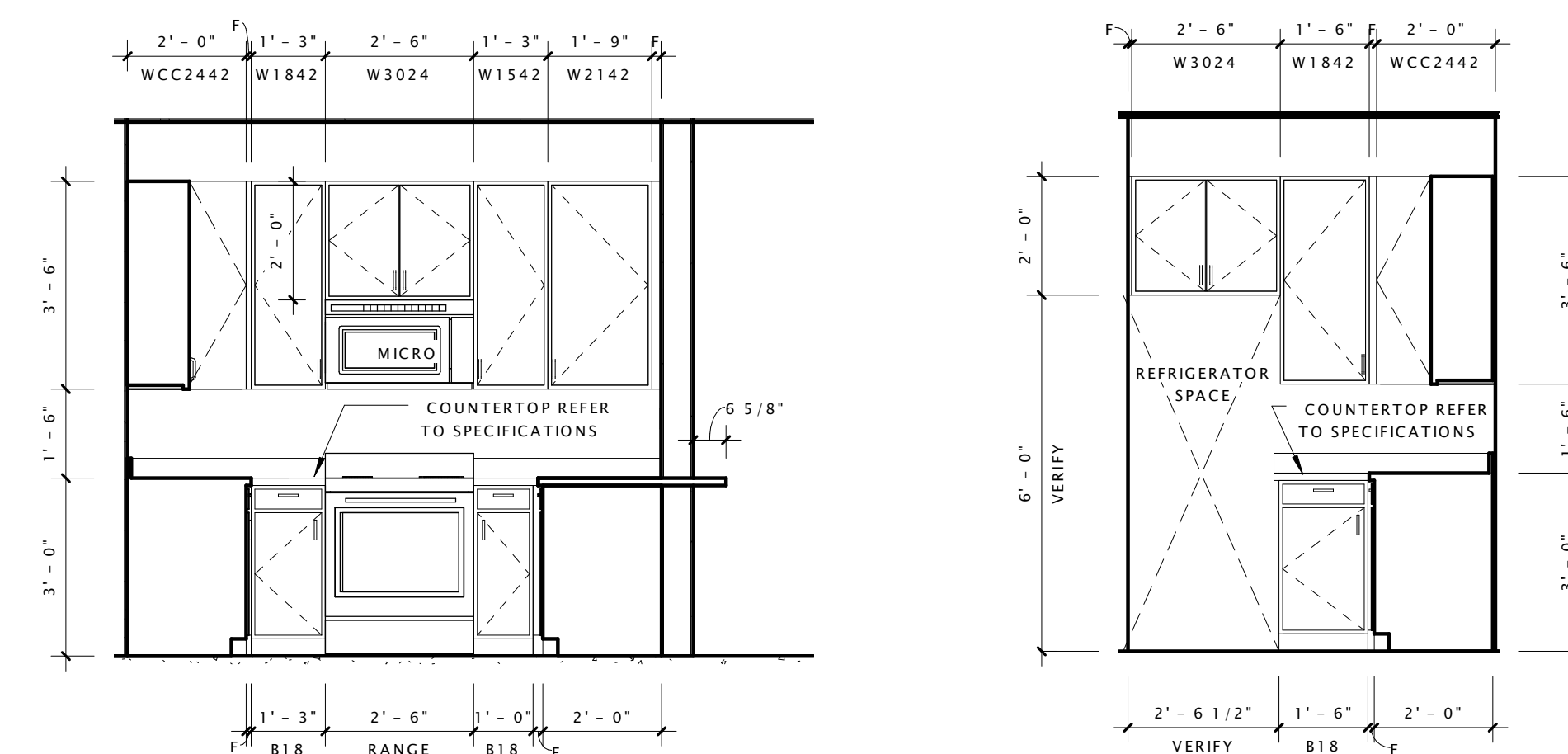


9 UNIT B2 - 1 BED - 682sf
1/4" = 1'-0"



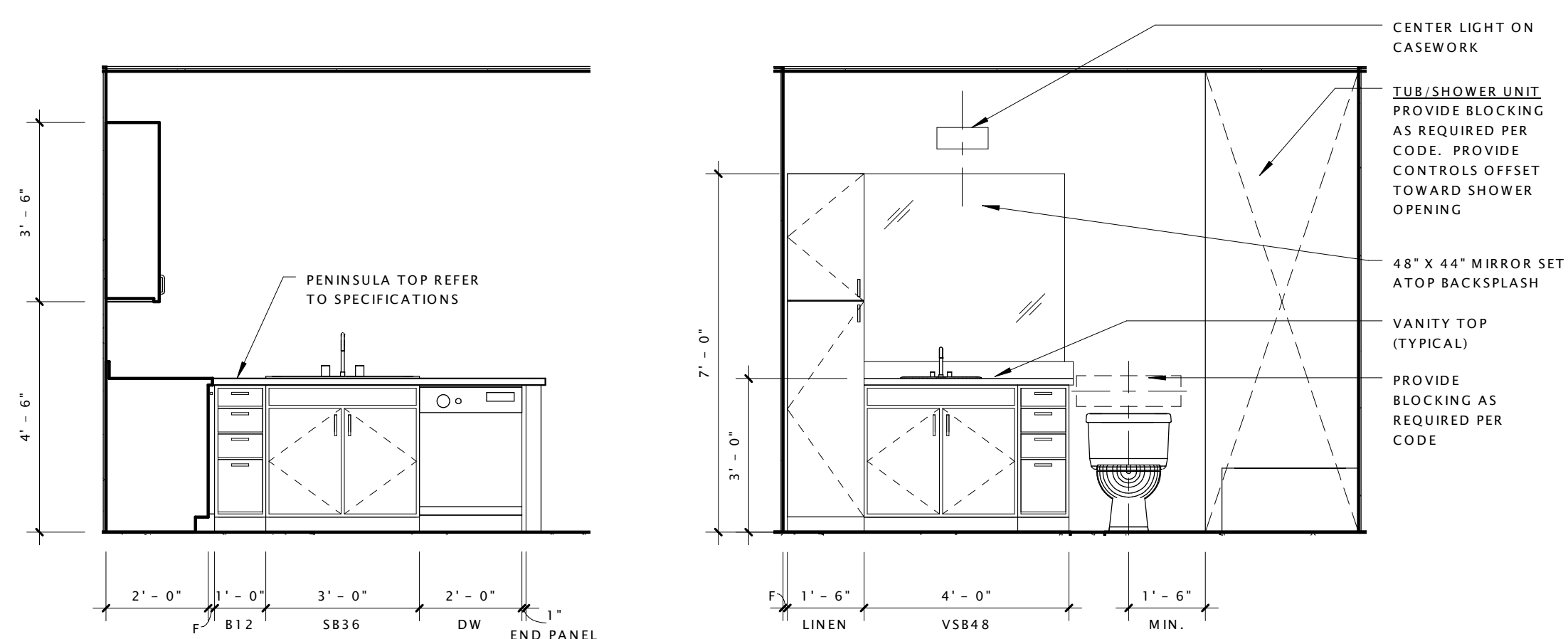
11 UNIT 'B1' - KITCHEN 1
3/8" = 1'-0"

12 UNIT 'B1' - KITCHEN 2
3/8" = 1'-0"



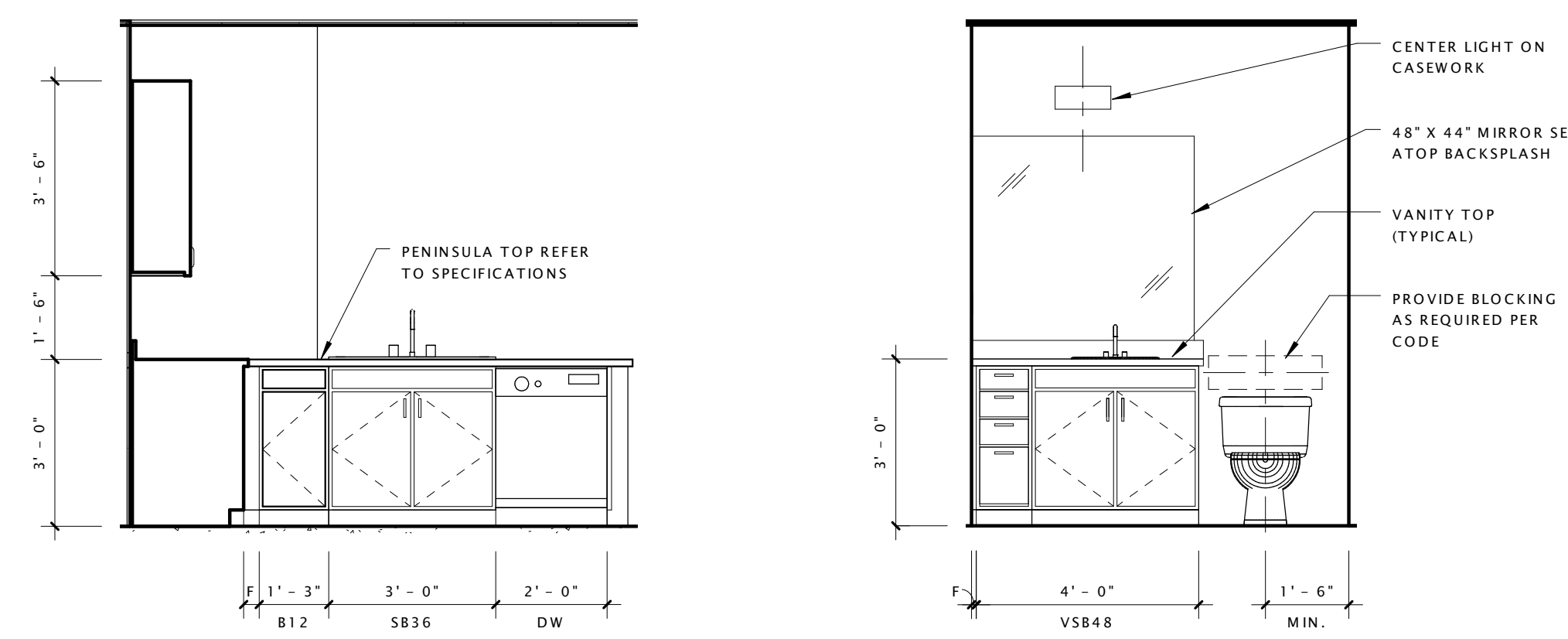
14 UNIT 'B2' - KITCHEN 1
3/8" = 1'-0"

15 UNIT 'B2' - KITCHEN 2
3/8" = 1'-0"



16 UNIT 'B1' - KITCHEN 3
3/8" = 1'-0"

17 UNIT 'B1' - BATHROOM 1
3/8" = 1'-0"



19 UNIT 'B2' - KITCHEN 3
3/8" = 1'-0"

20 UNIT 'B2' - BATHROOM 1
3/8" = 1'-0"

DATE OF ISSUANCE May 14, 2014

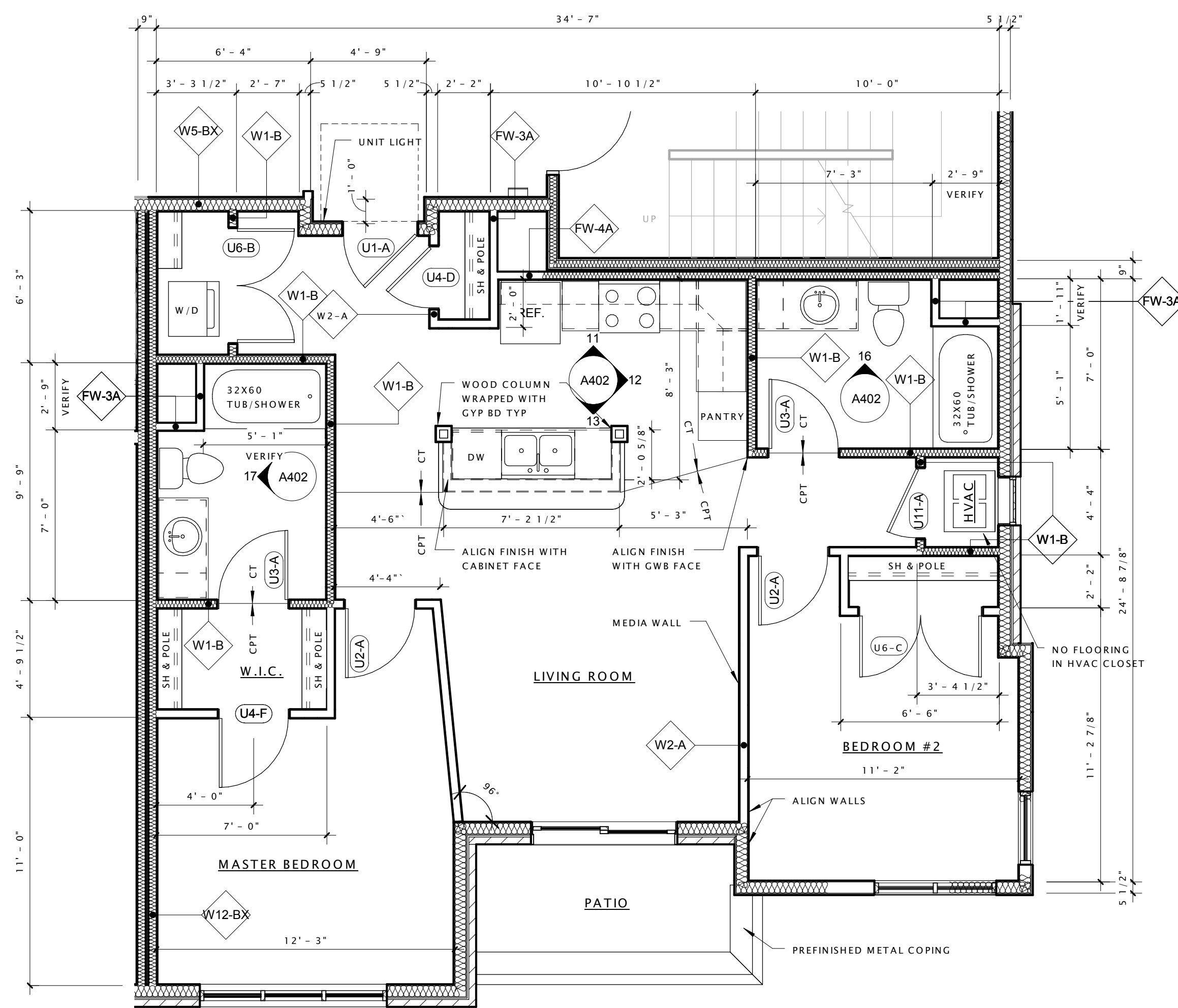
Revision Schedule		
Mark	Description	Date

SHEET TITLE

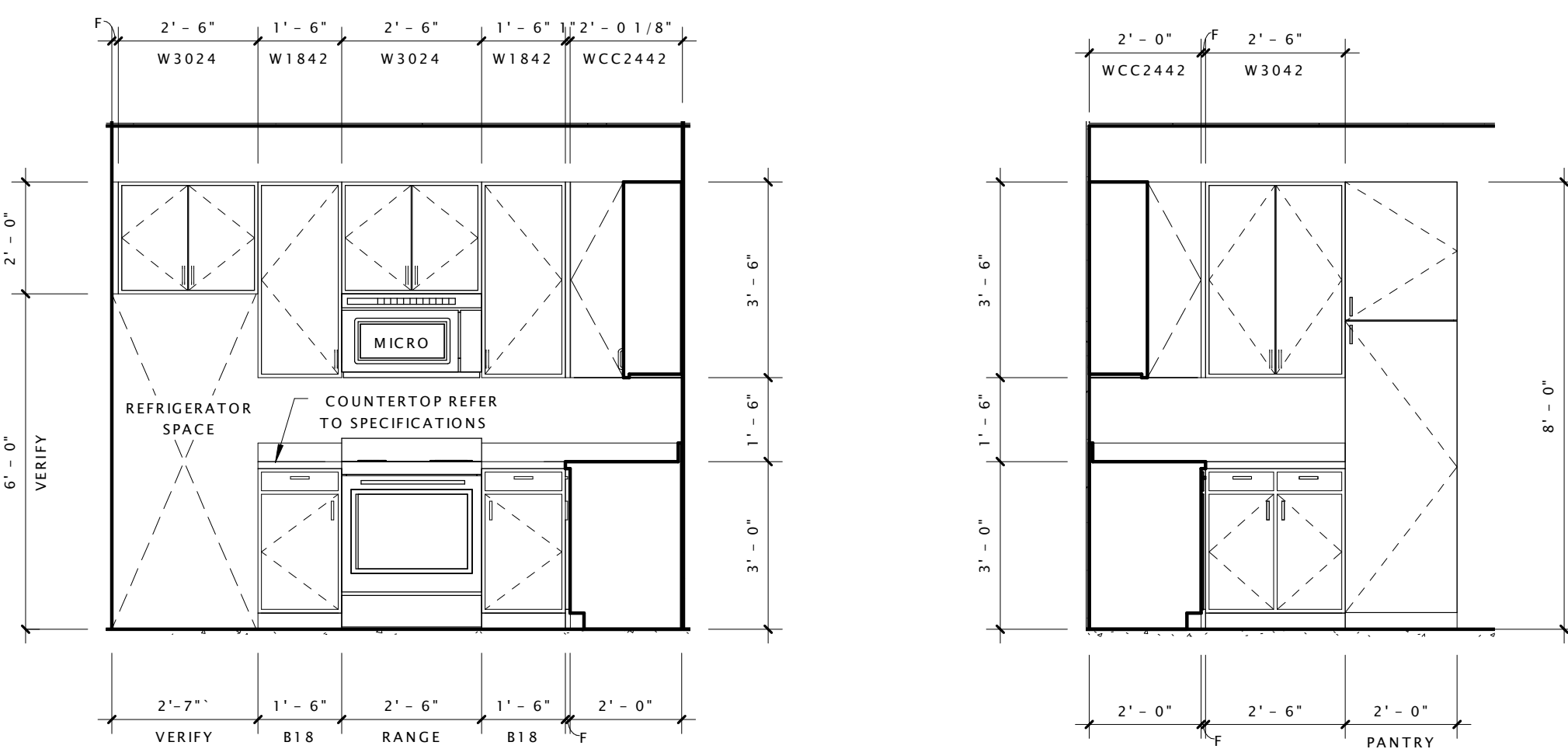
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A401

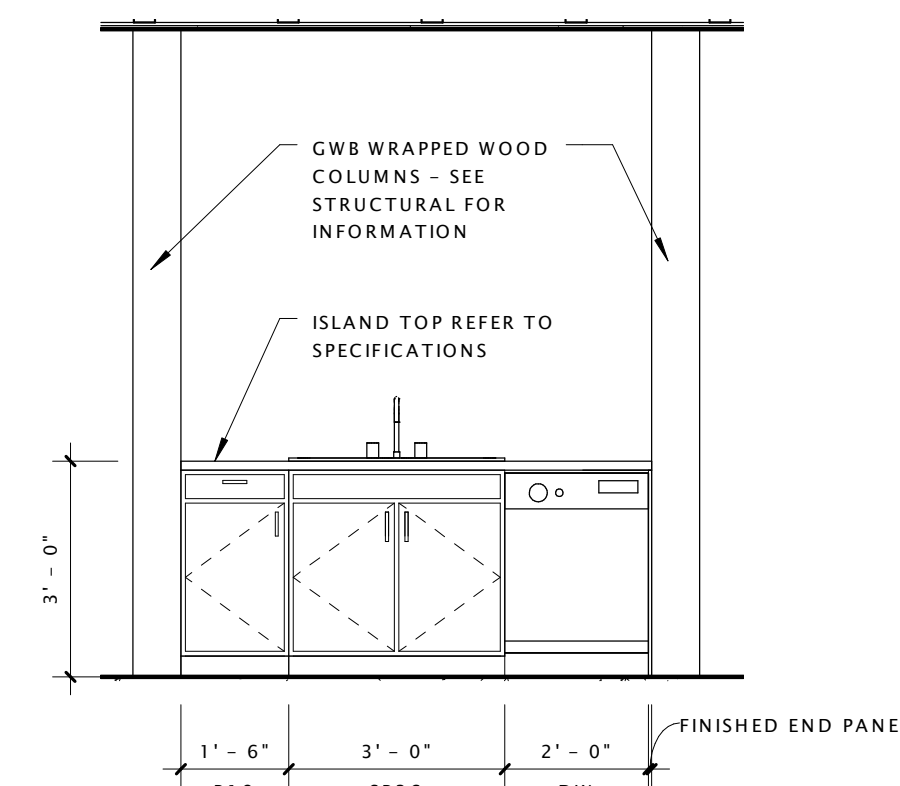


6 UNIT D1 - 2 BED - 936sf
1/4" = 1'-0"

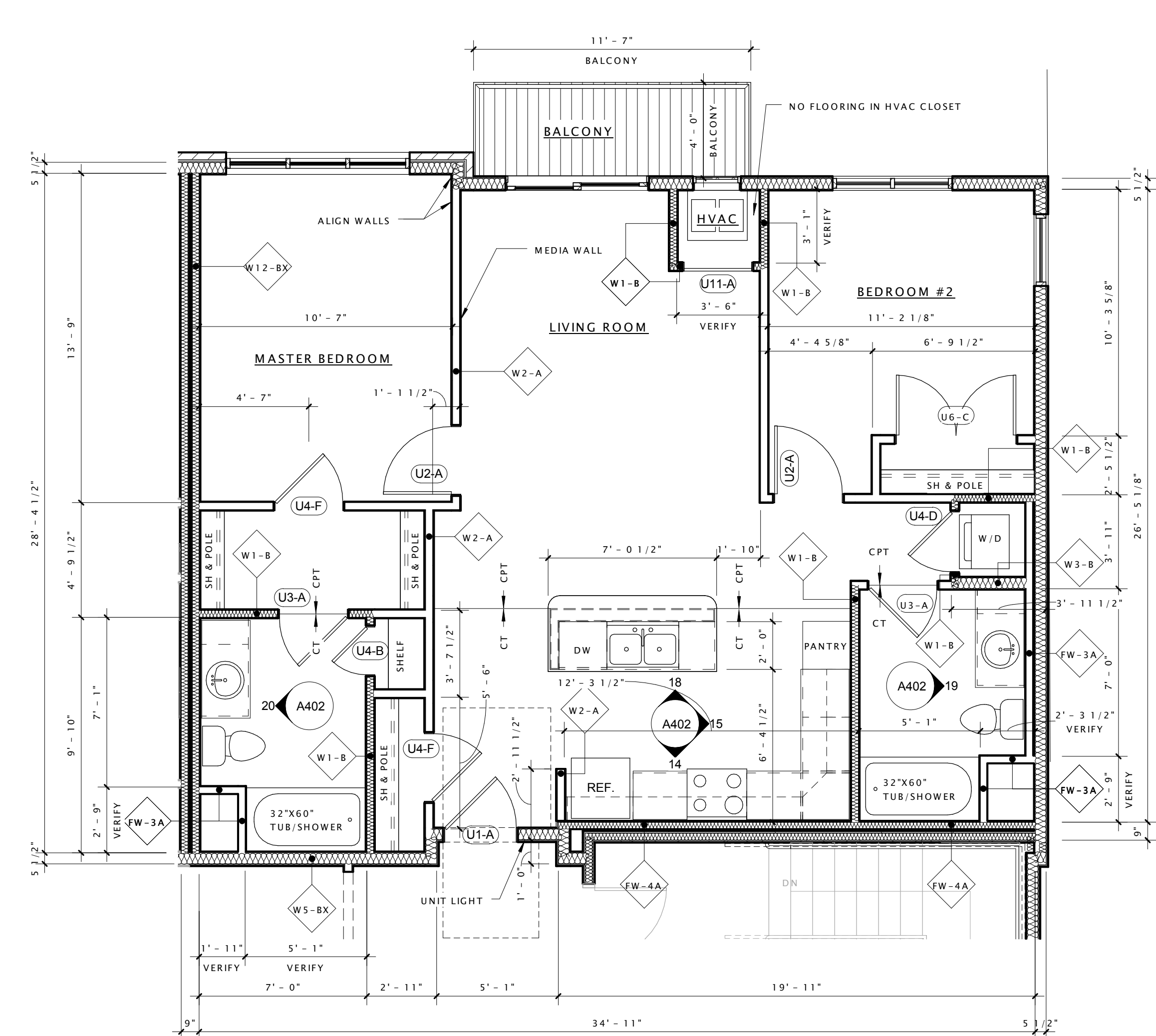


11 UNIT 'D1' - KITCHEN 1
3/8" = 1'-0"

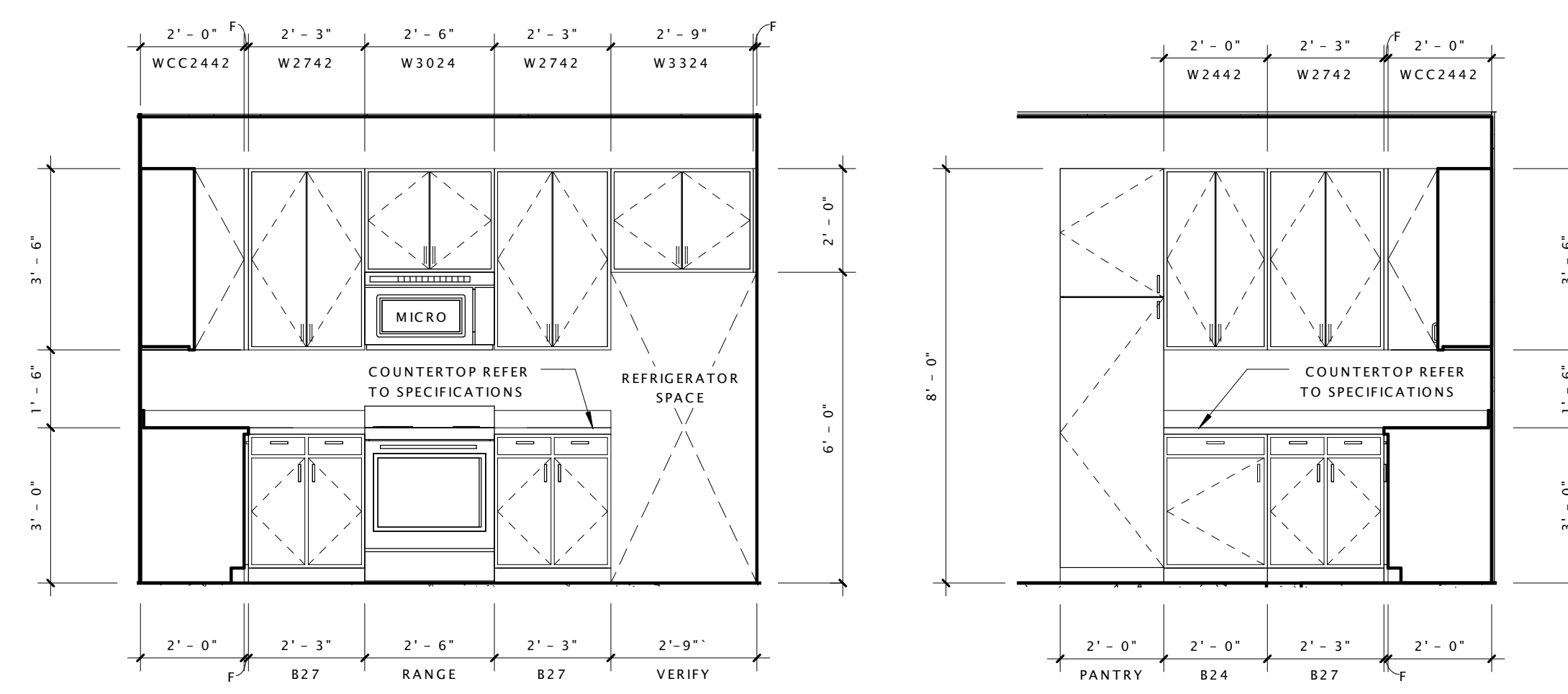
12 UNIT 'D1' - KITCHEN 2
3/8" = 1'-0"



13 UNIT 'D1' - KITCHEN 3
3/8" = 1'-0"

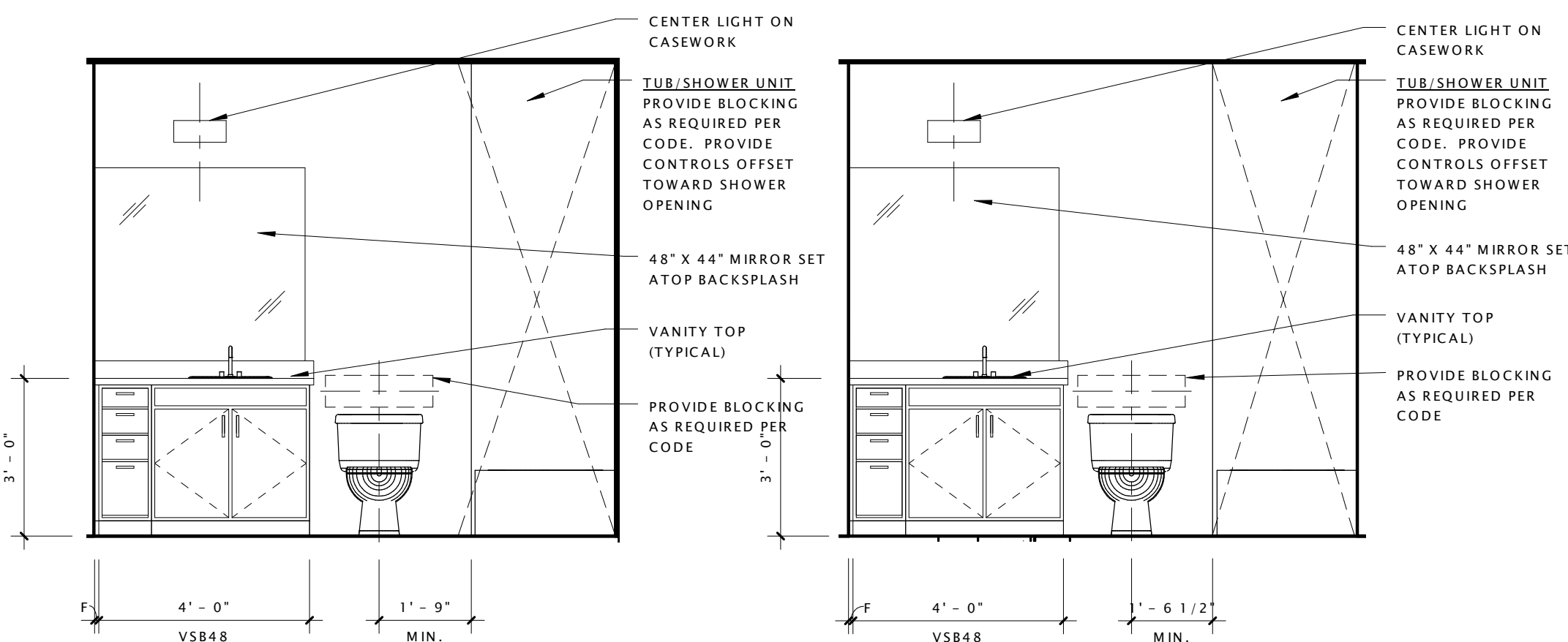


9 UNIT D2 - 2 BED - 959sf
1/4" = 1'-0"



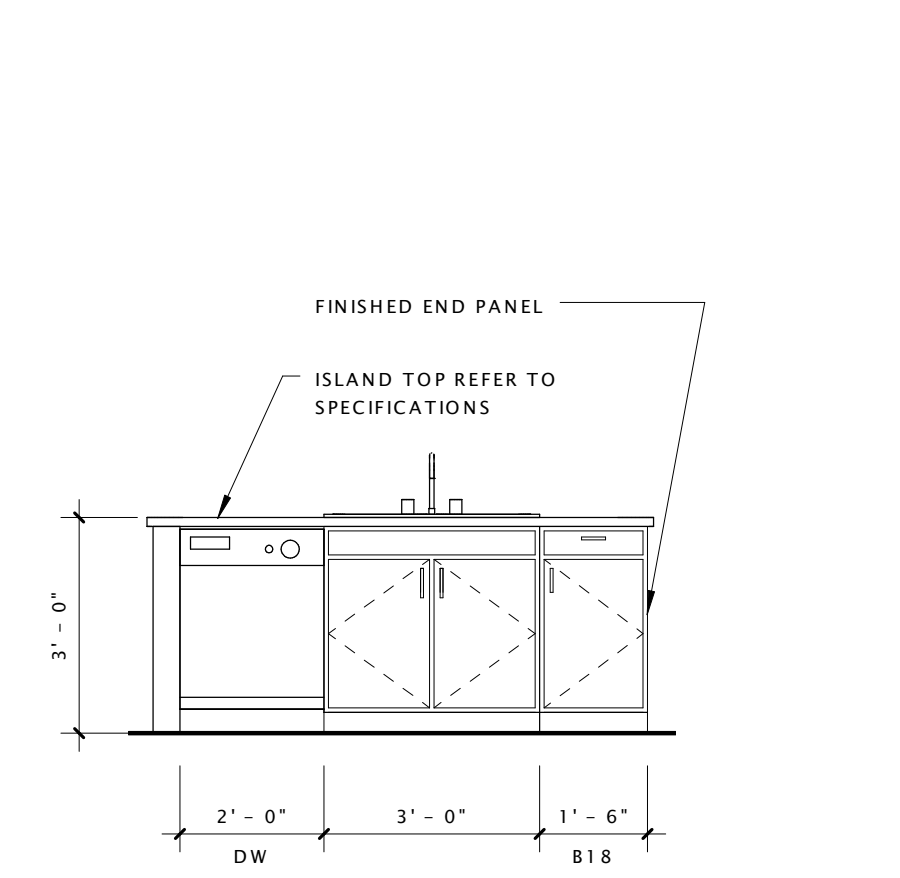
14 UNIT 'D2' - KITCHEN 1
3/8" = 1'-0"

15 UNIT 'D2' - KITCHEN 2
3/8" = 1'-0"

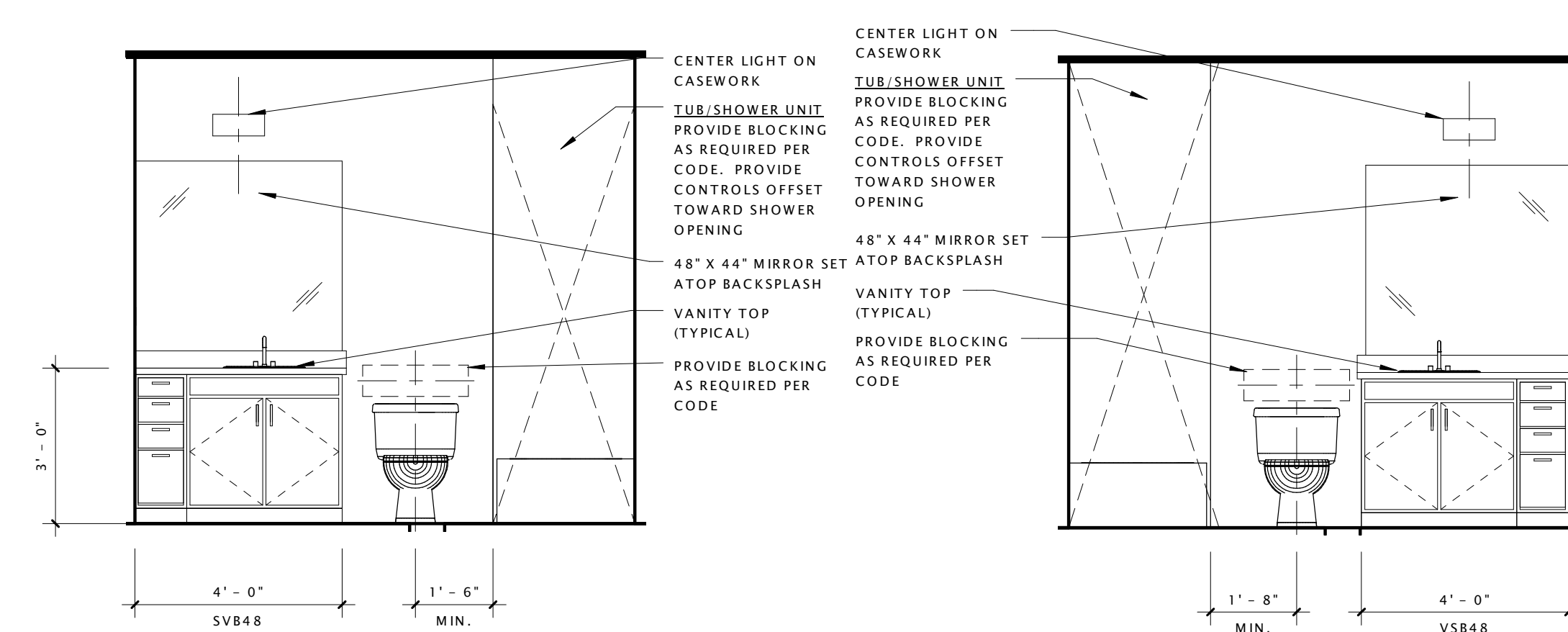


16 UNIT 'D1' - BATHROOM 1
3/8" = 1'-0"

17 UNIT 'D1' - BATHROOM 2
3/8" = 1'-0"



18 UNIT 'D2' - KITCHEN 3
3/8" = 1'-0"



19 UNIT 'D2' - BATHROOM 1
3/8" = 1'-0"

20 UNIT 'D2' - BATHROOM 2
3/8" = 1'-0"

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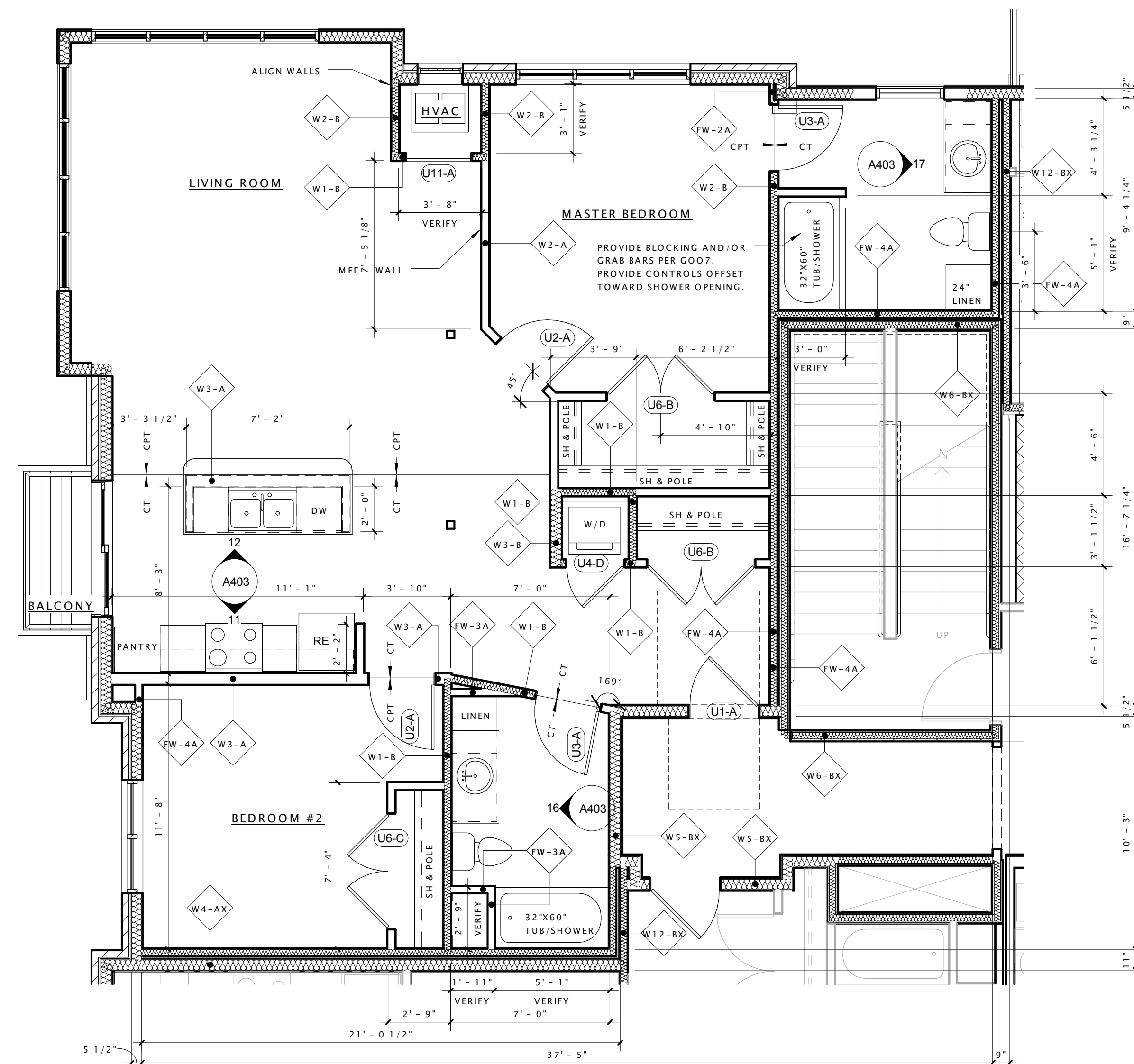
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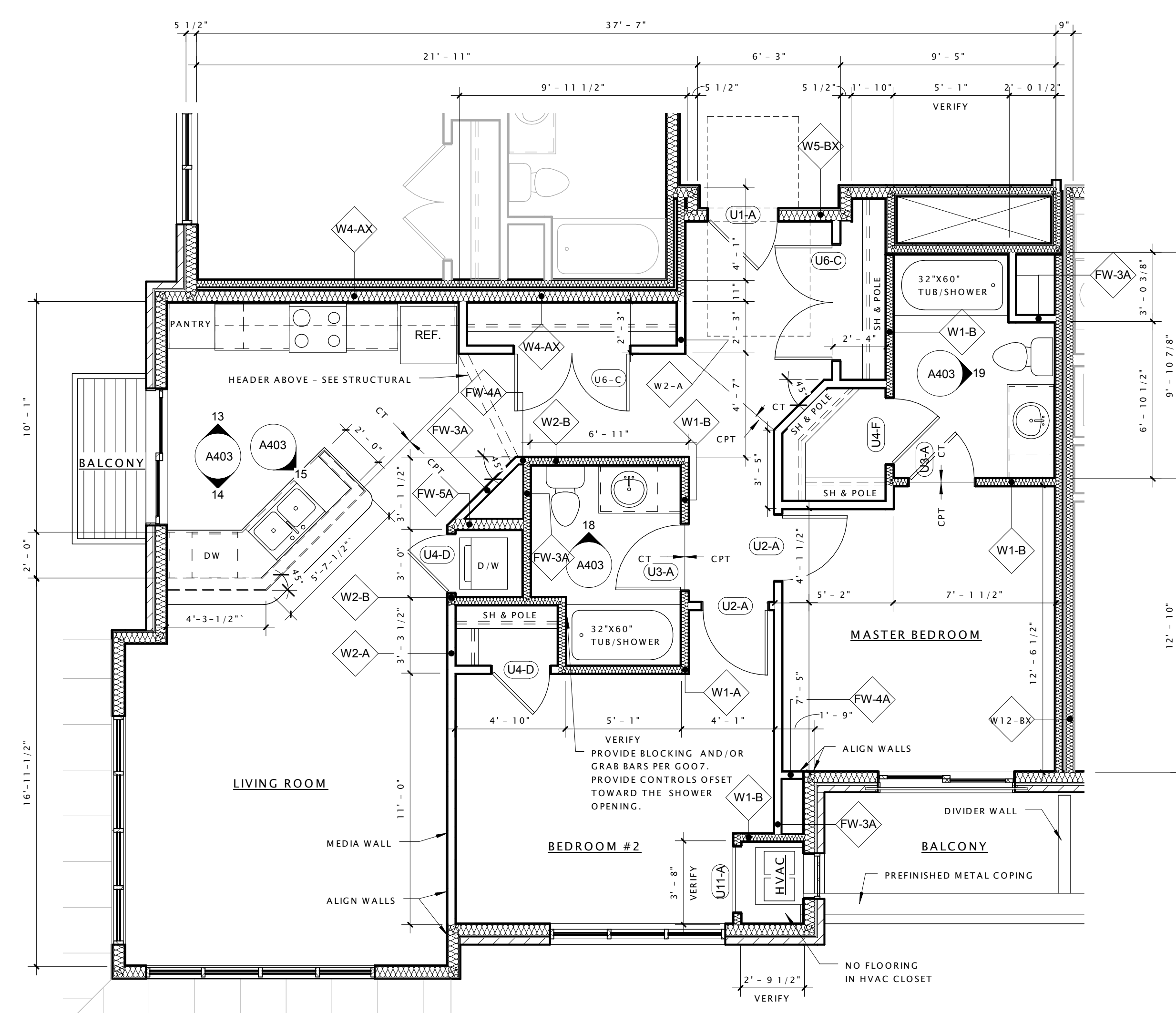
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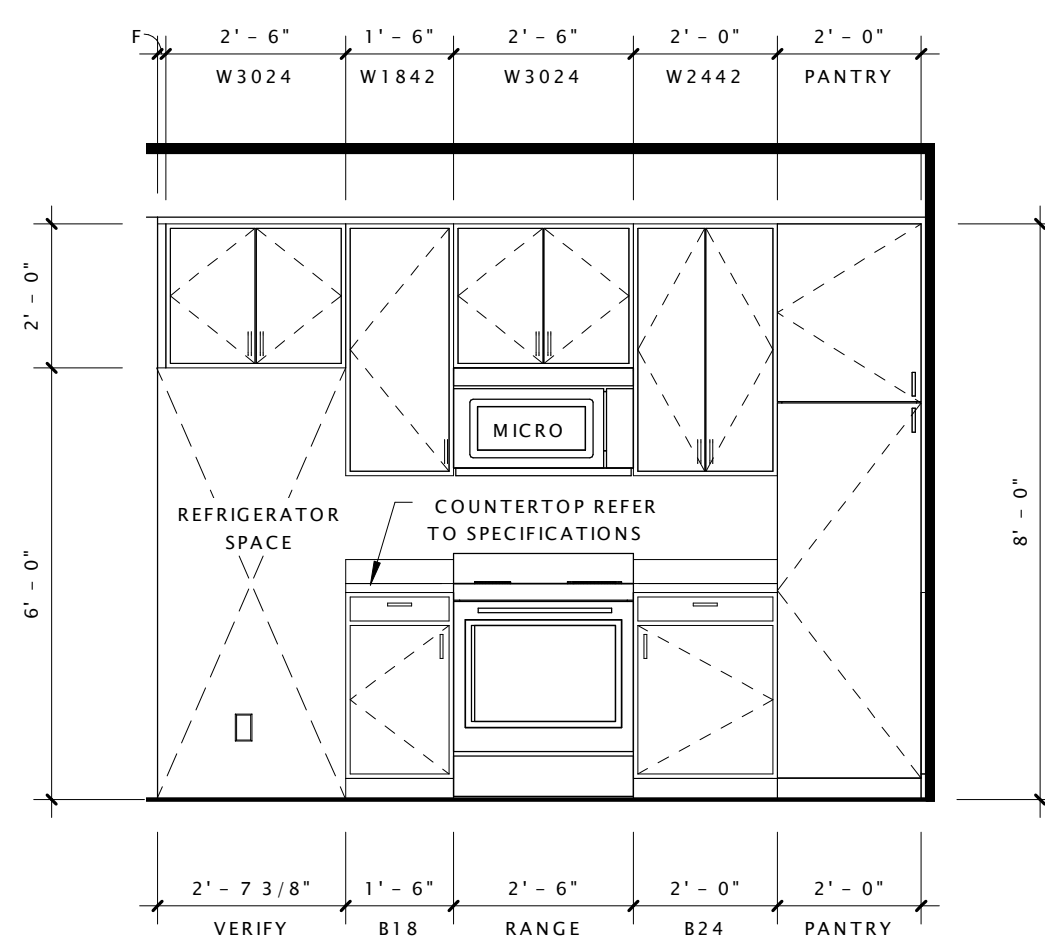
A402



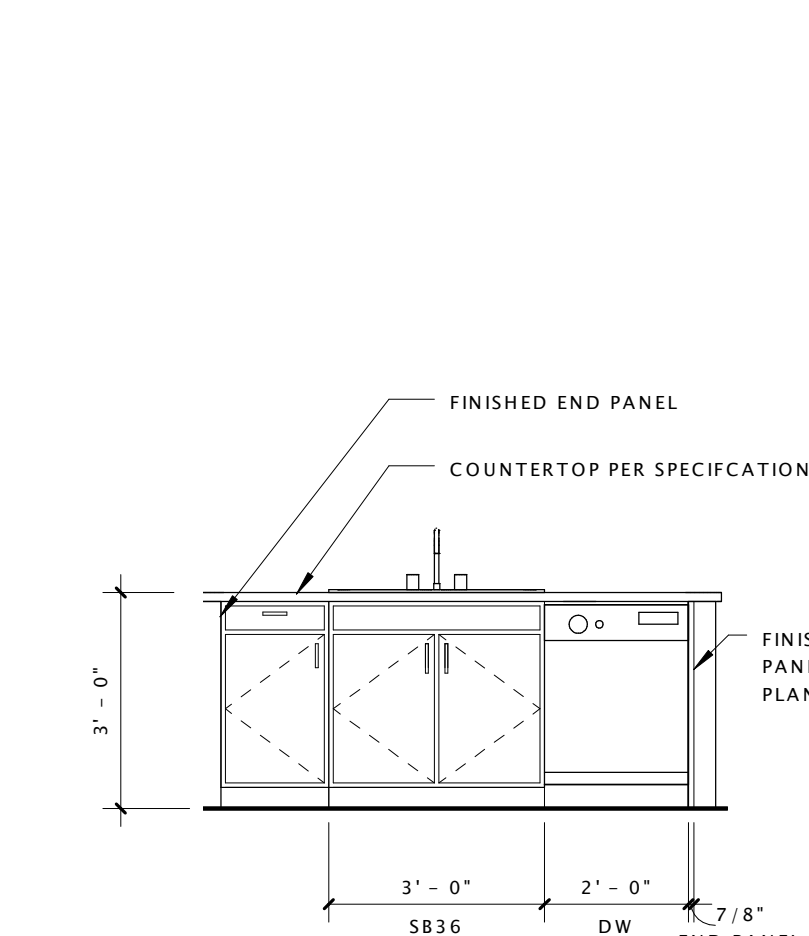
6 UNIT D3 - 2 BED - 1,198sf
 1/4" = 1'-0"



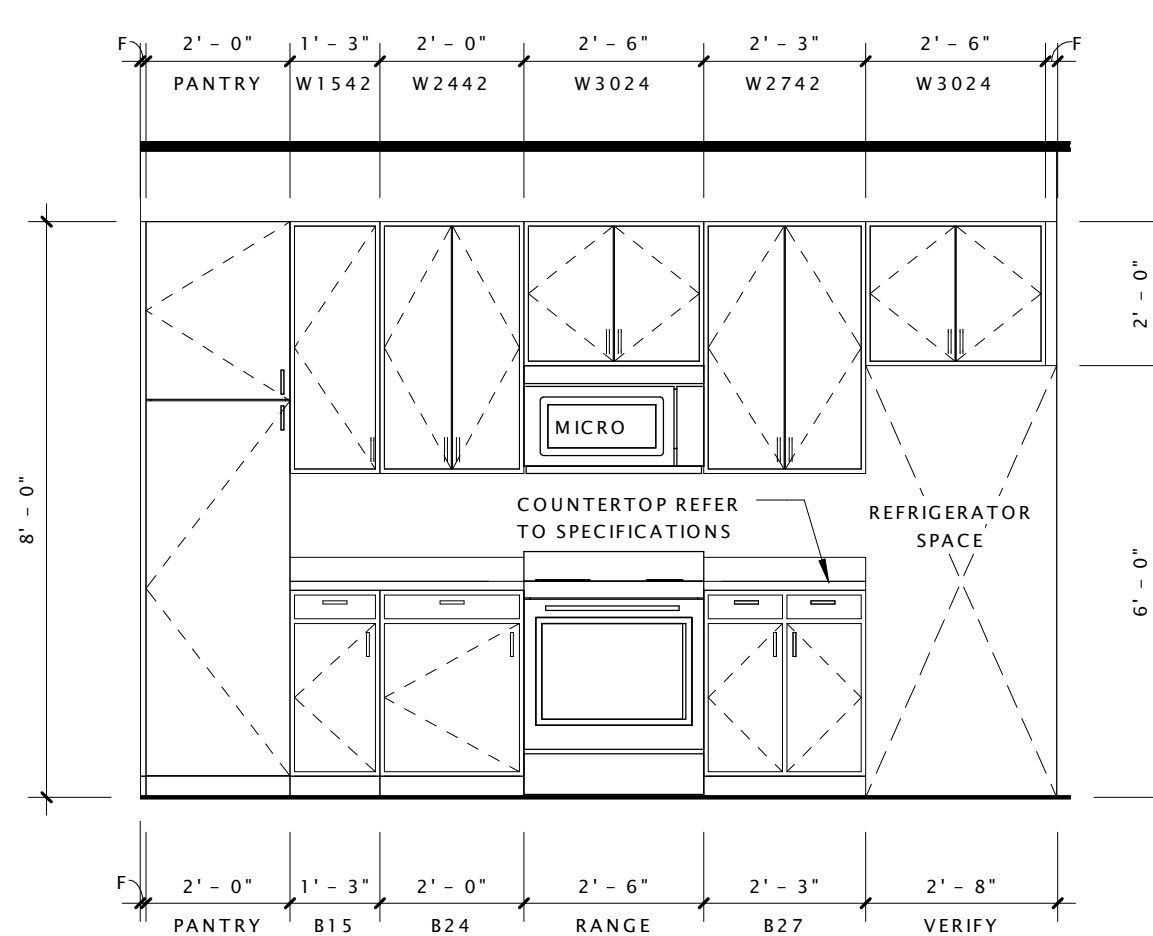
9 UNIT D4 - 2 BED - 1,124sf
 1/4" = 1'-0"



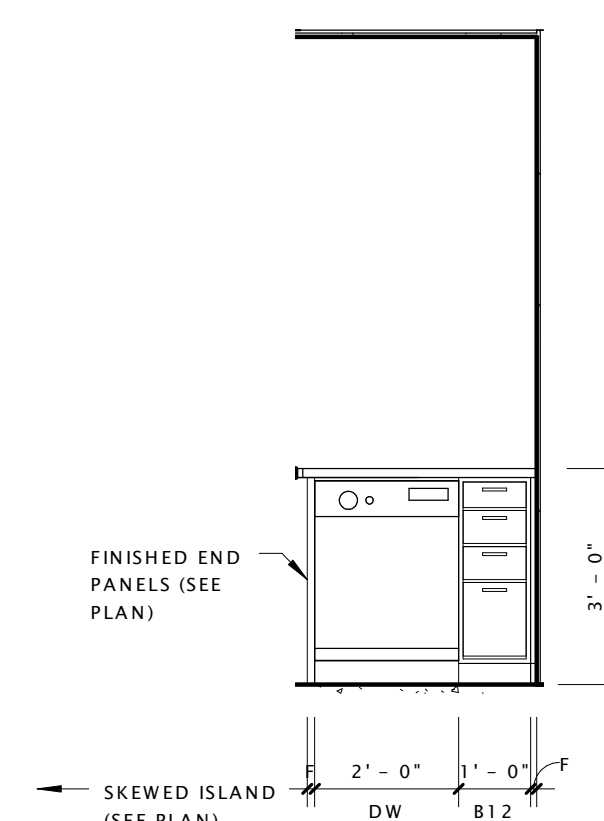
11 UNIT 'D3' - KITCHEN 1
 3/8" = 1'-0"



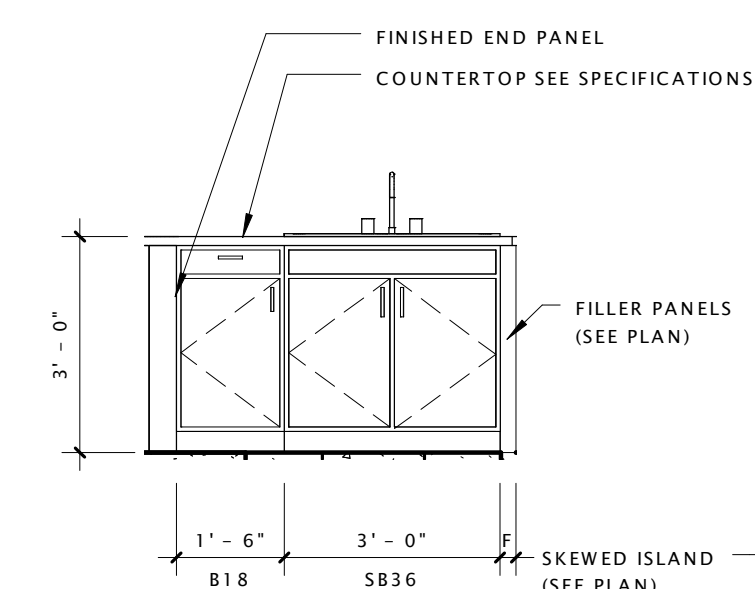
12 UNIT 'D3' - KITCHEN 2
 3/8" = 1'-0"



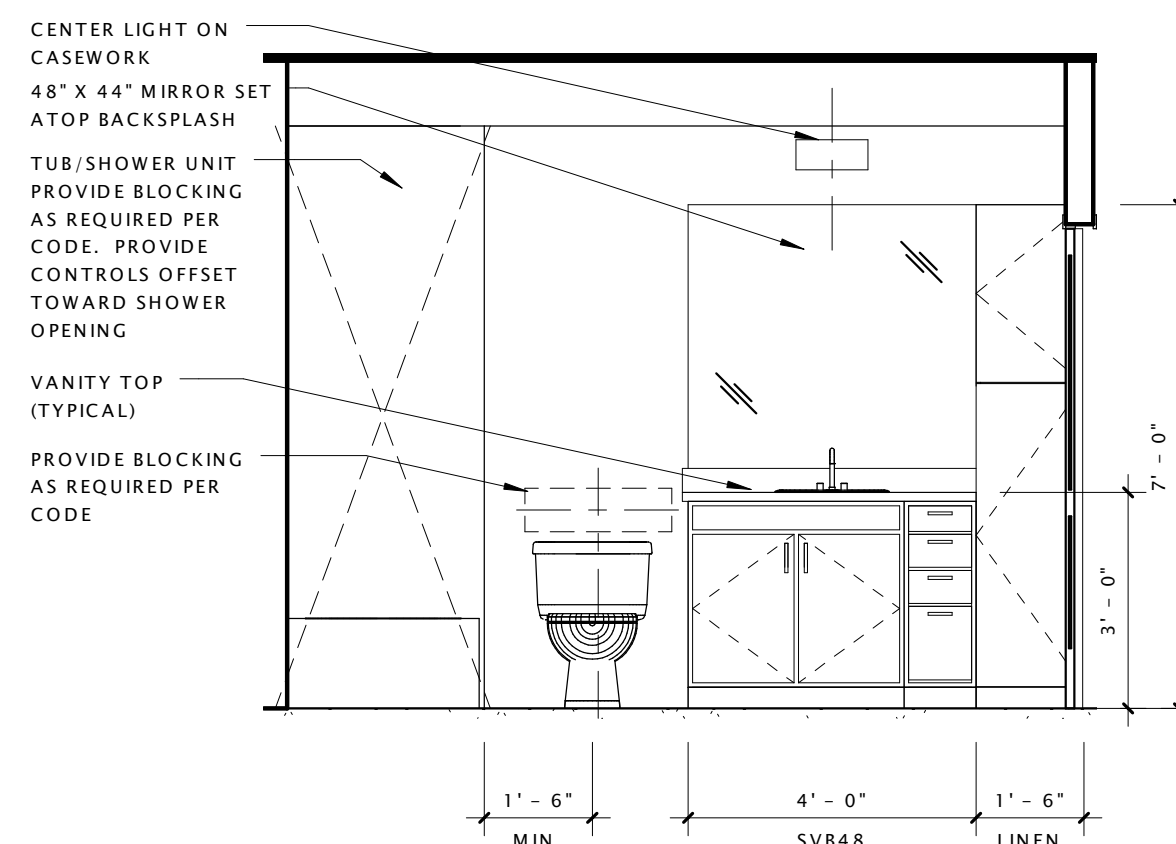
13 UNIT 'D4' - KITCHEN 1
 3/8" = 1'-0"



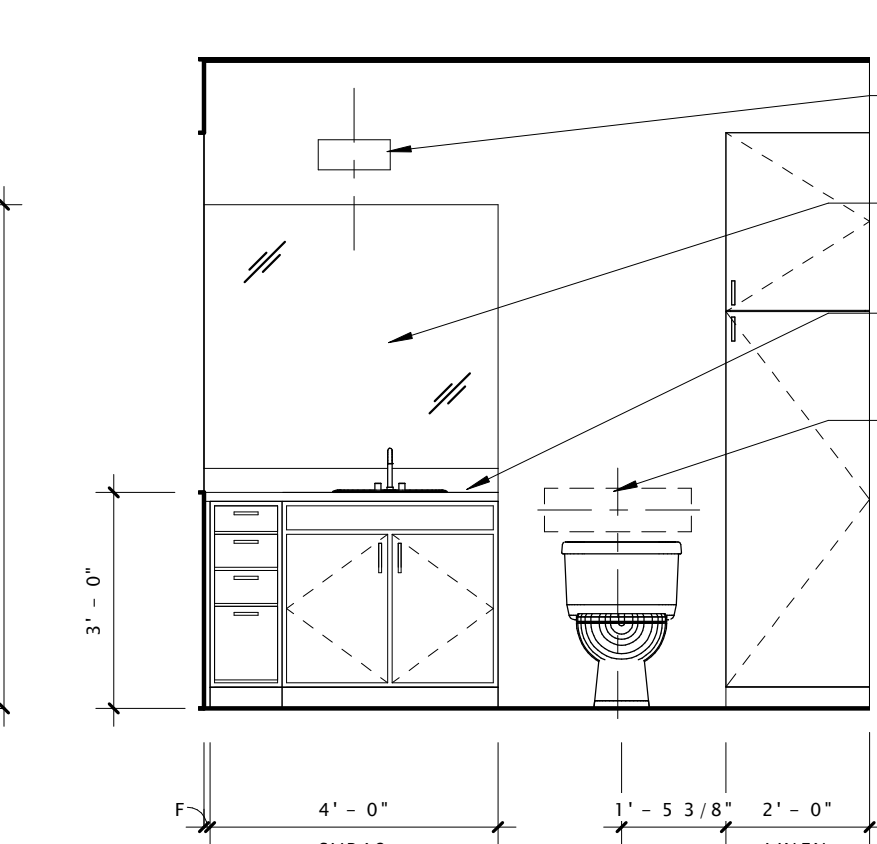
14 UNIT 'D4' - KITCHEN 2
 3/8" = 1'-0"



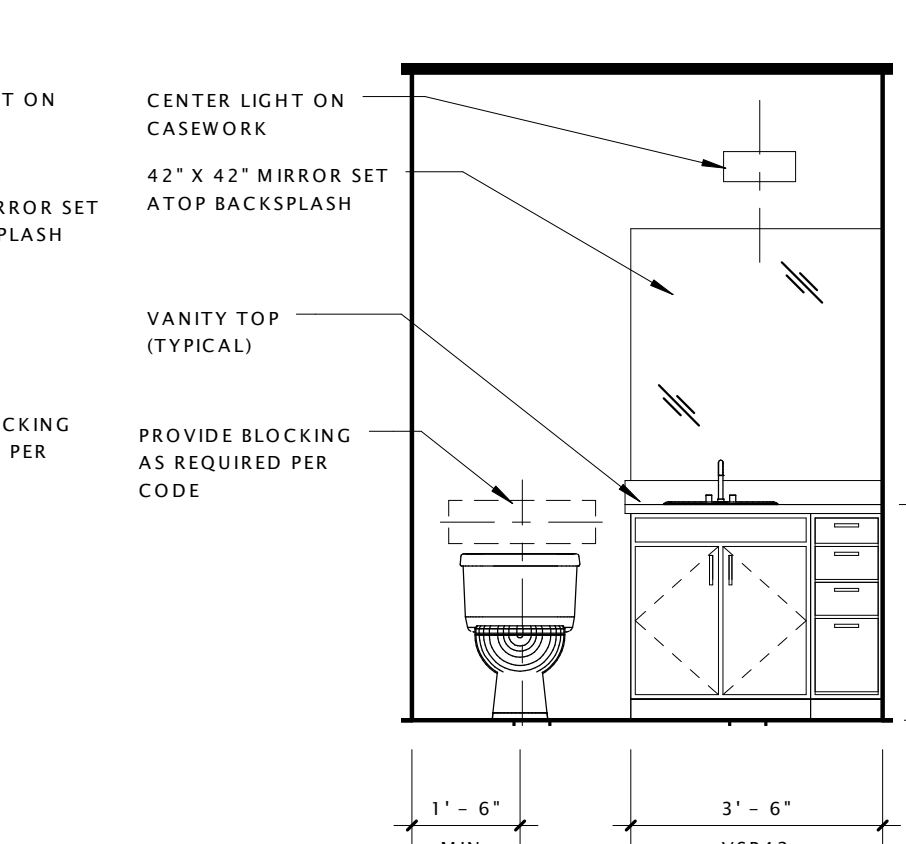
15 UNIT 'D4' - KITCHEN 3
 3/8" = 1'-0"



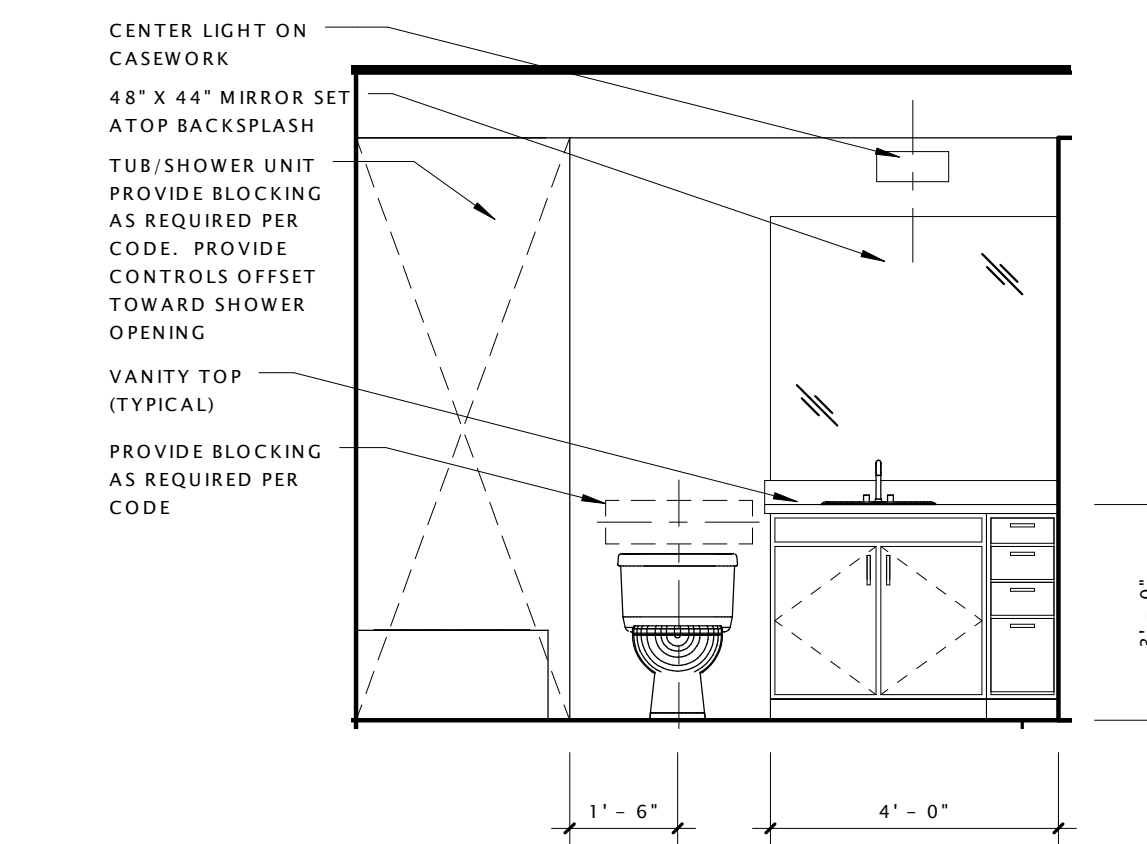
16 UNIT 'D3' - BATHROOM 1
 3/8" = 1'-0"



17 UNIT 'D3' - BATHROOM 2
 3/8" = 1'-0"



18 UNIT 'D4' - BATHROOM 1
 3/8" = 1'-0"



19 UNIT 'D4' - BATHROOM 2
 3/8" = 1'-0"

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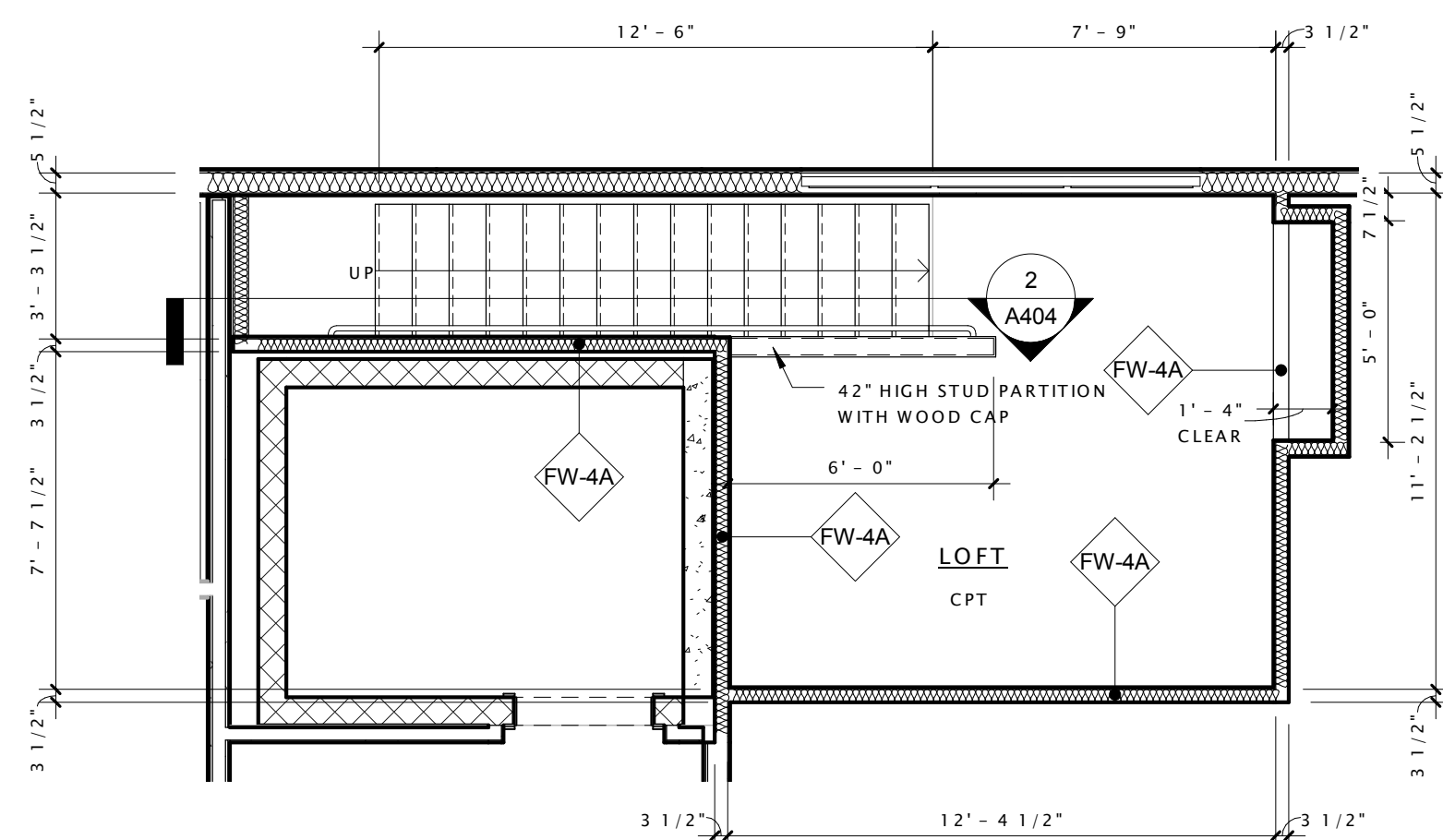
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SHEET TITLE

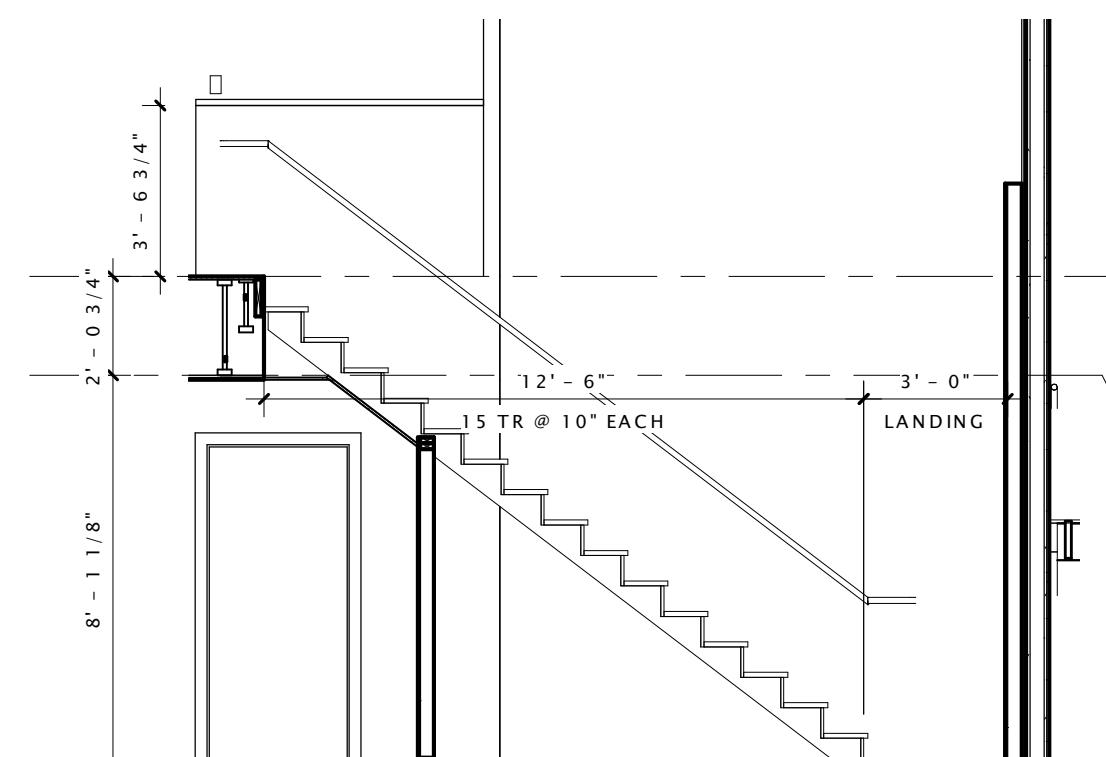
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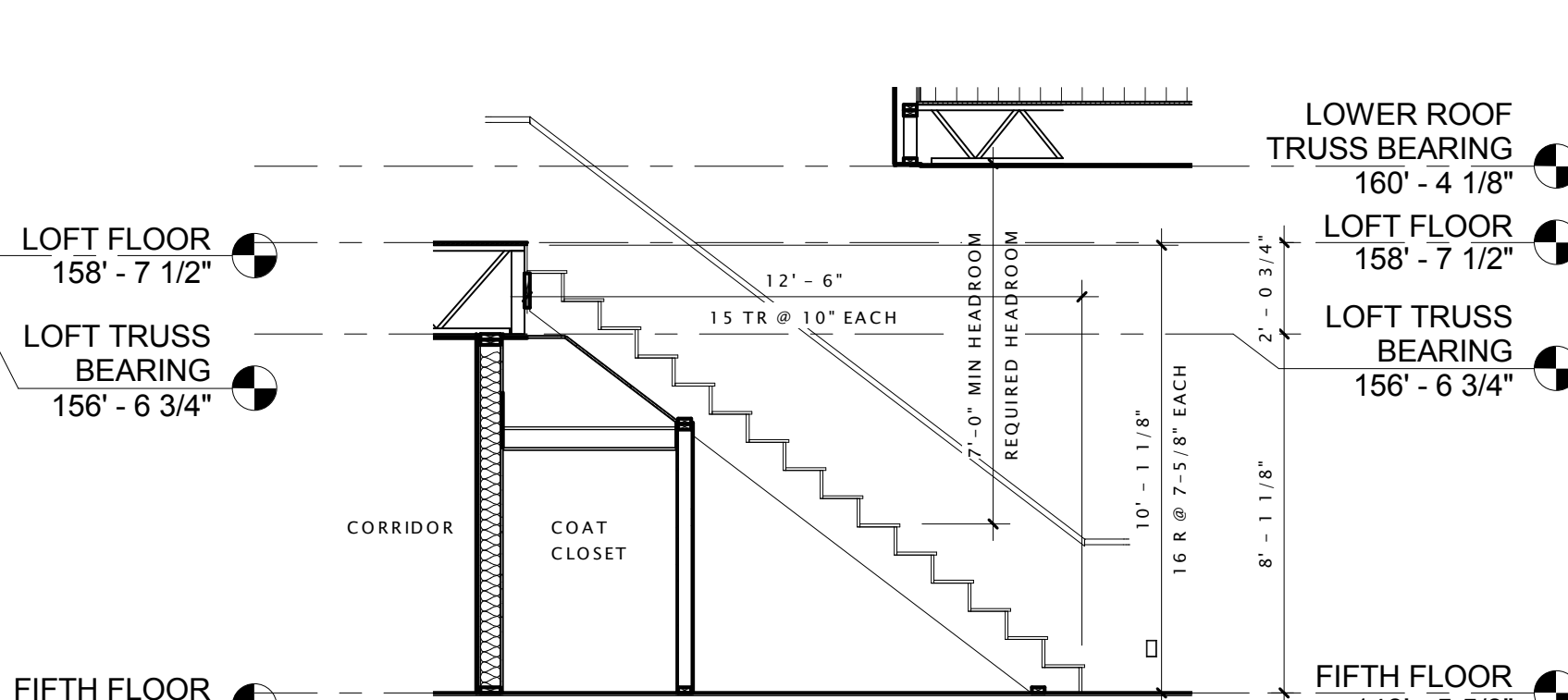
A403



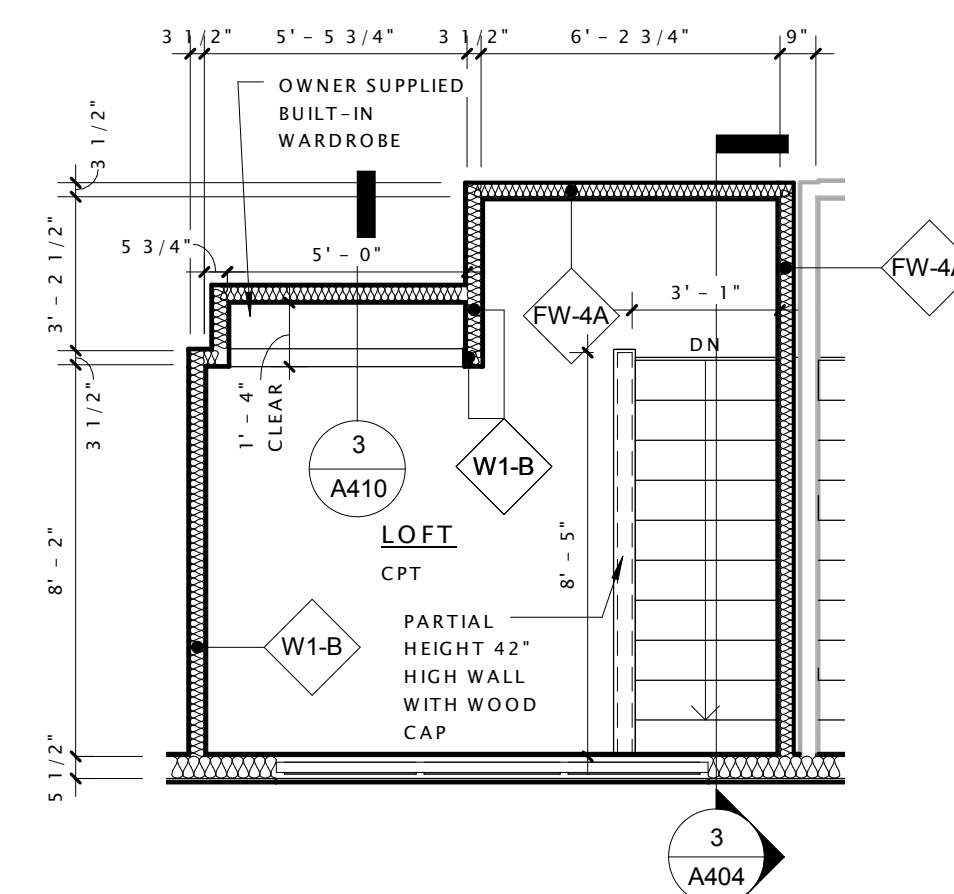
1 UNIT L1 - LOFT - 119sf
1/4" = 1'-0"



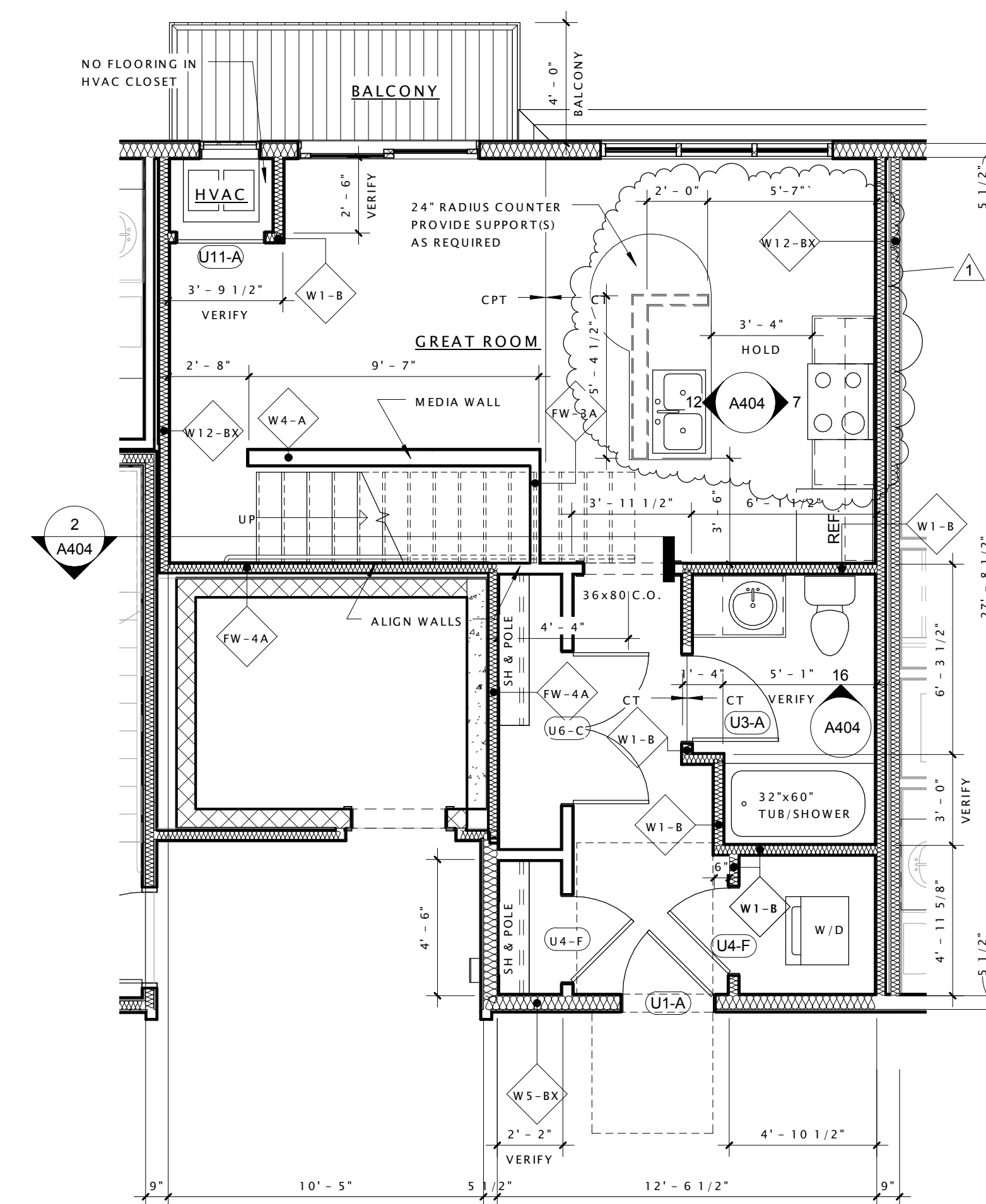
2 UNIT L1 - LOFT STAIR
1/4" = 1'-0"



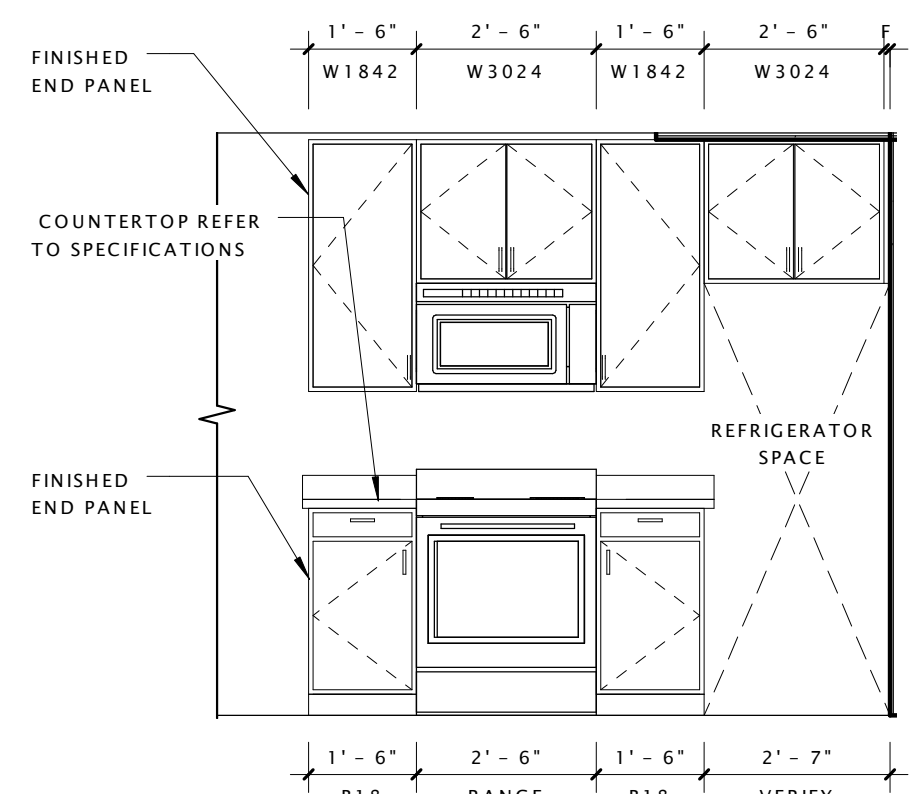
3 UNIT L2 - LOFT STAIR
1/4" = 1'-0"



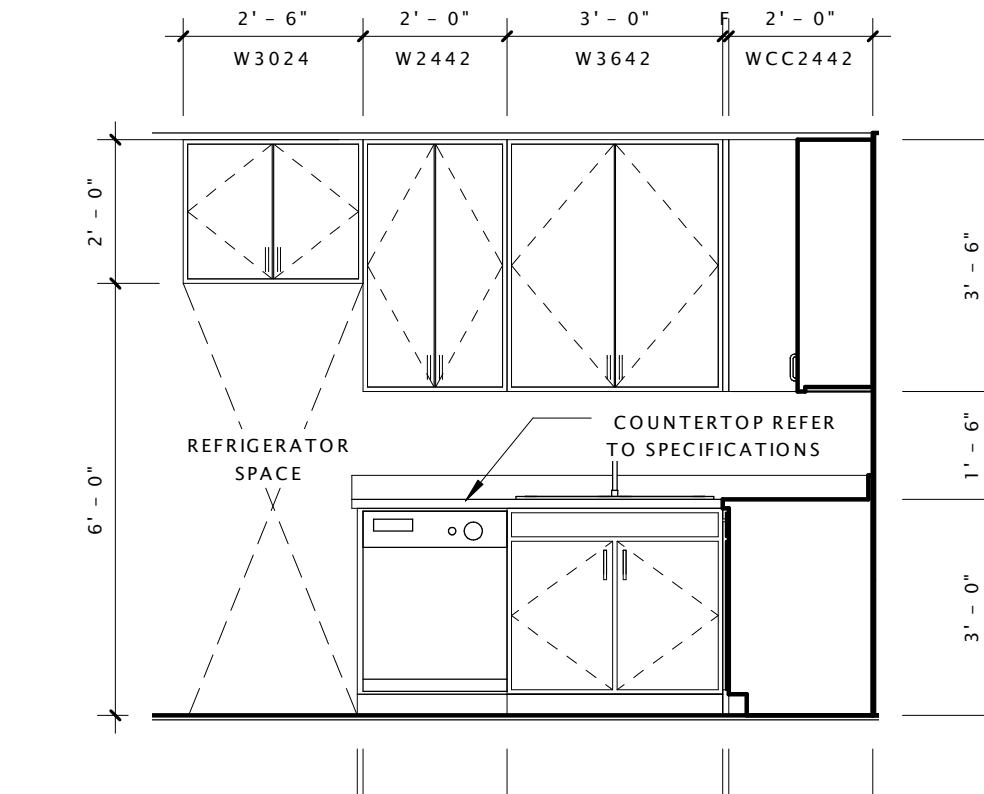
5 UNIT L2 - LOFT - 90sf
1/4" = 1'-0"



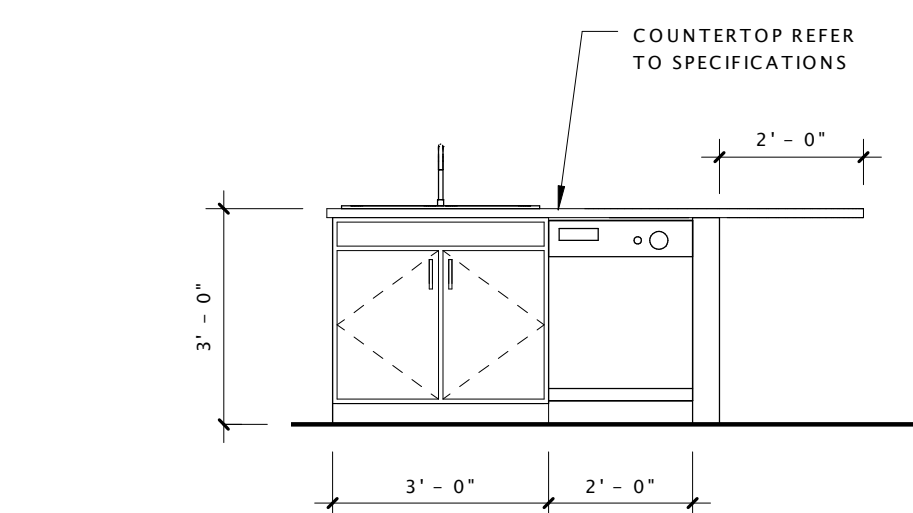
11 UNIT L1 - STUDIO - 509sf + LOFT
1/4" = 1'-0"



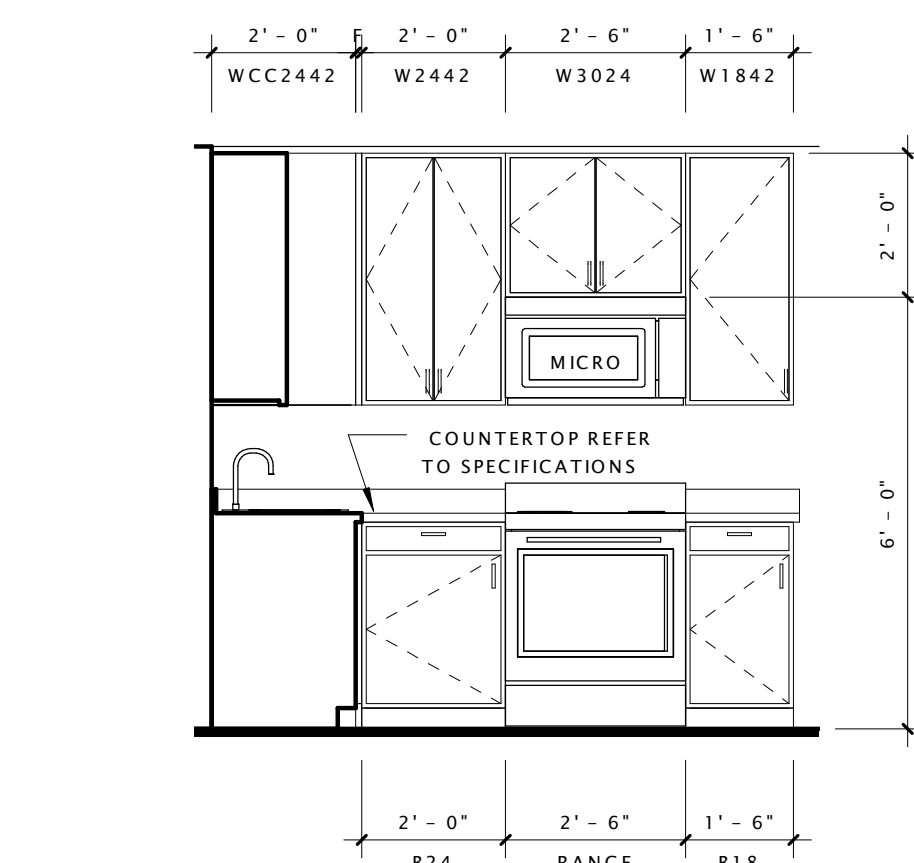
7 UNIT L1 - KITCHEN 1
3/8" = 1'-0"



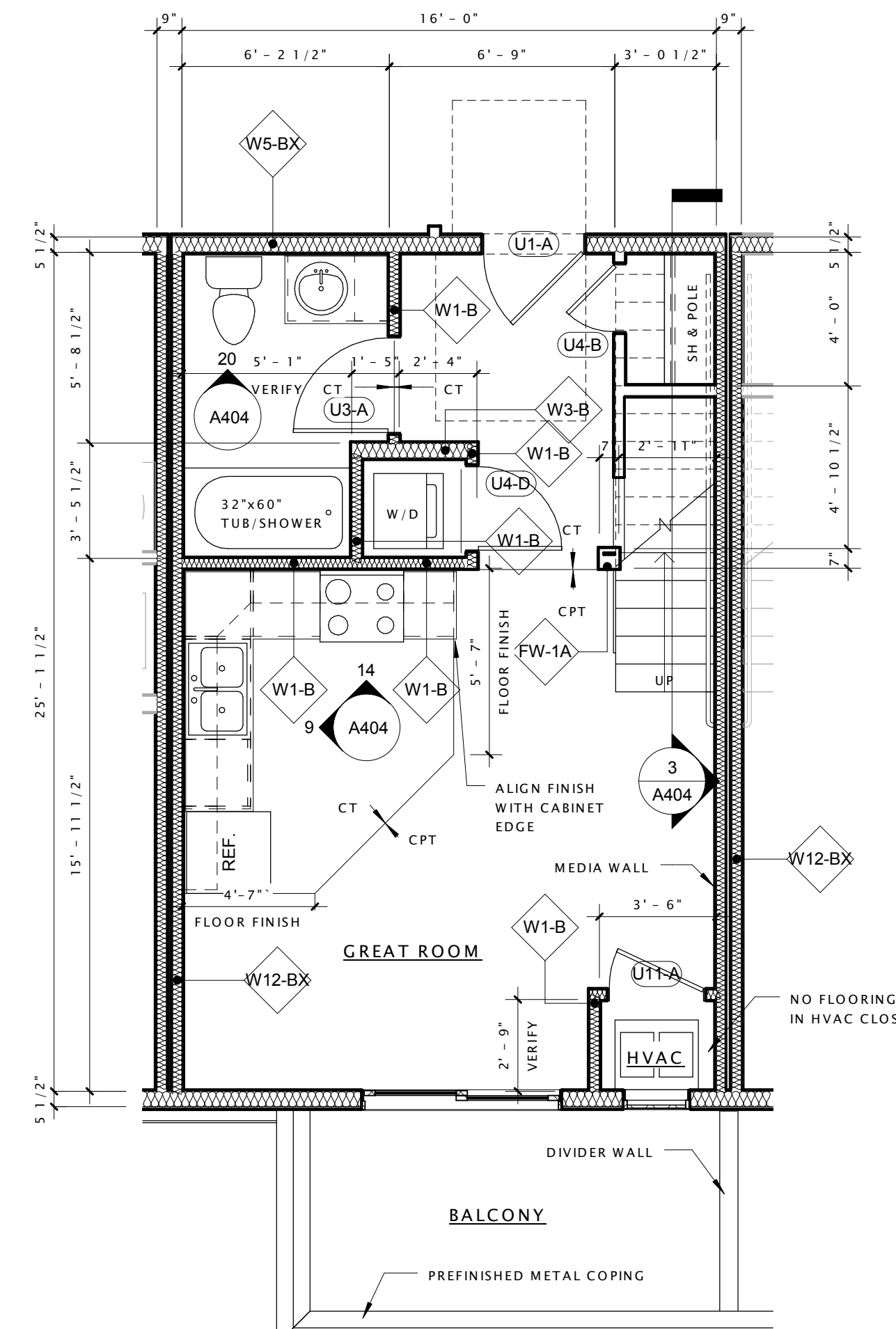
9 UNIT L2 - KITCHEN 1
3/8" = 1'-0"



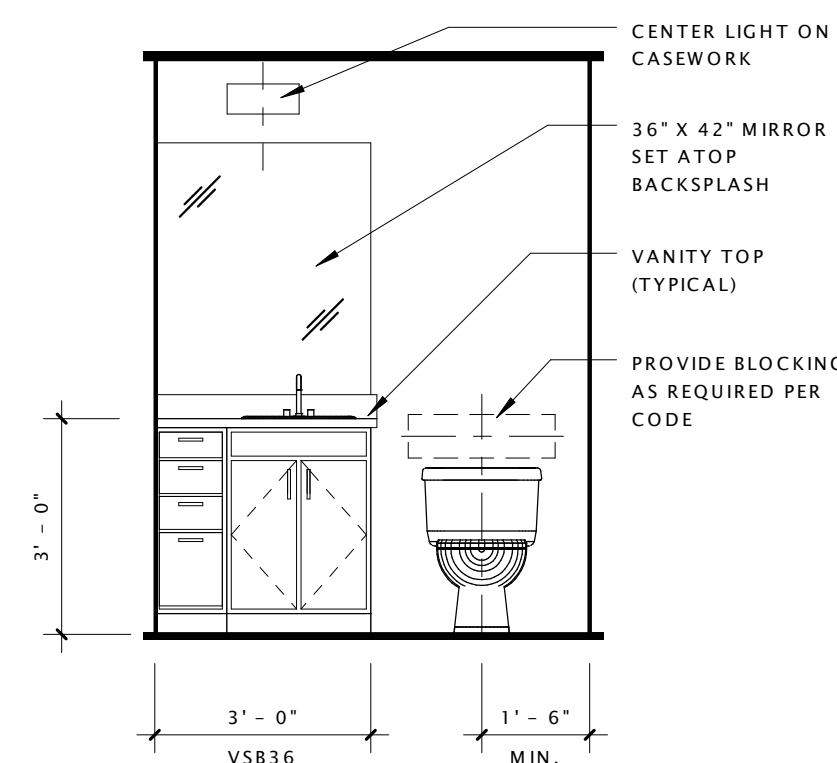
12 UNIT L1 - KITCHEN 2
3/8" = 1'-0"



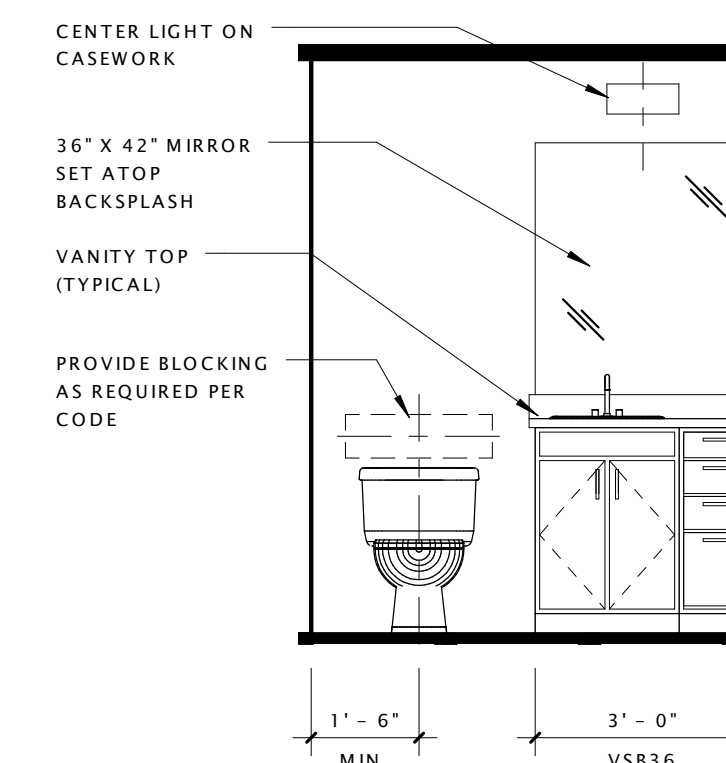
14 UNIT L2 - KITCHEN 2
3/8" = 1'-0"



15 UNIT L2 - 1 BED - 663sf + LOFT
1/4" = 1'-0"



16 UNIT L1 - BATHROOM 1
3/8" = 1'-0"



20 UNIT L2 - BATHROOM 1
3/8" = 1'-0"

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1	AD1	140430

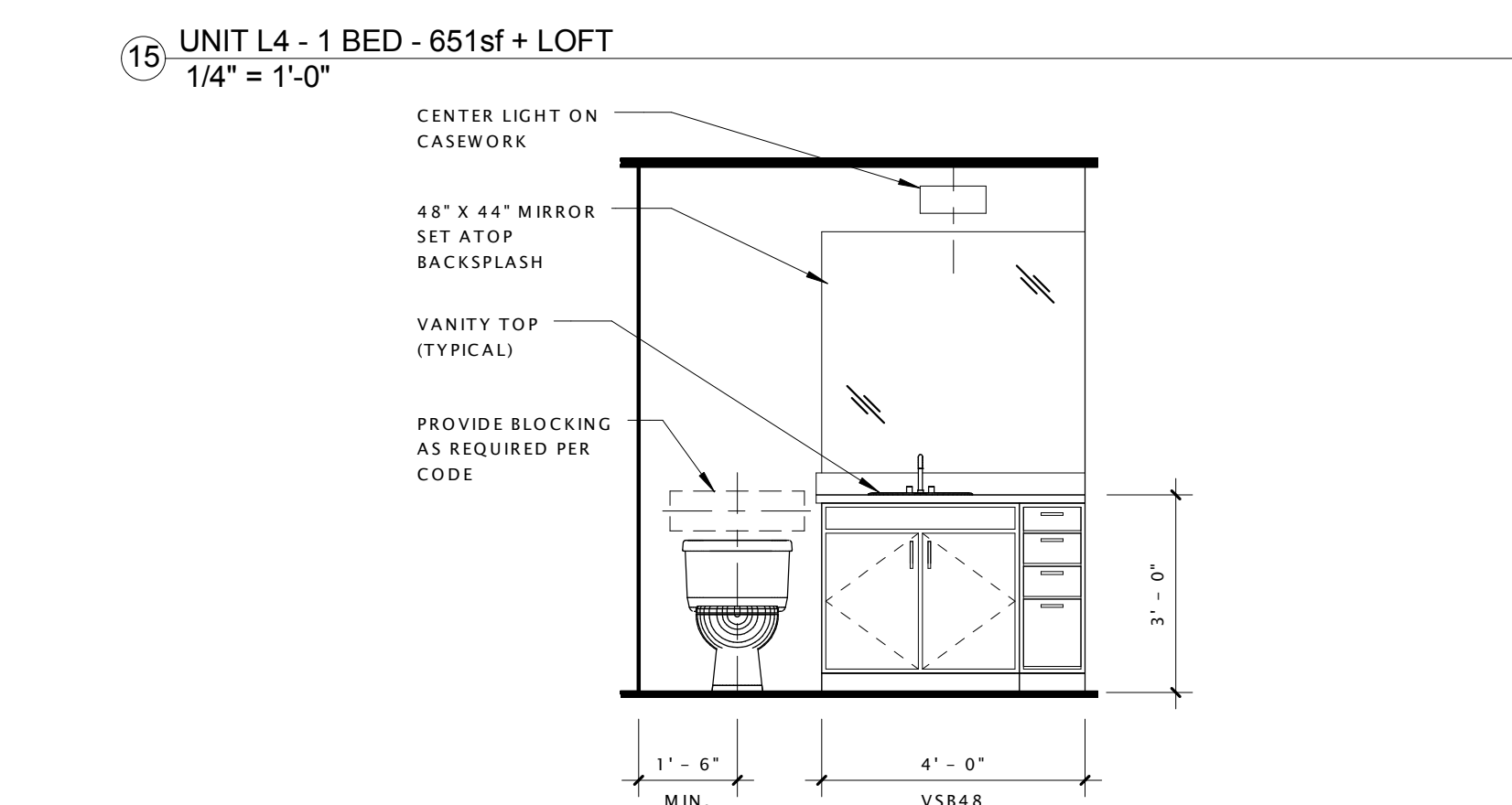
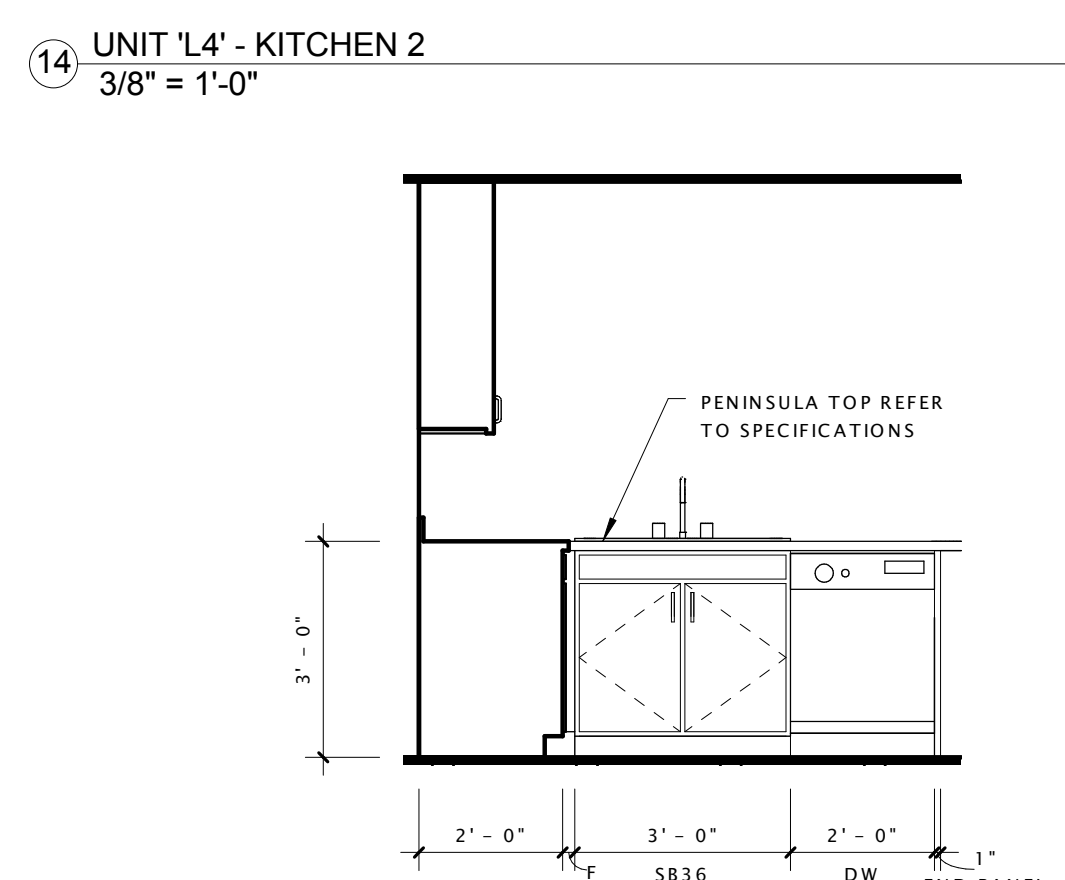
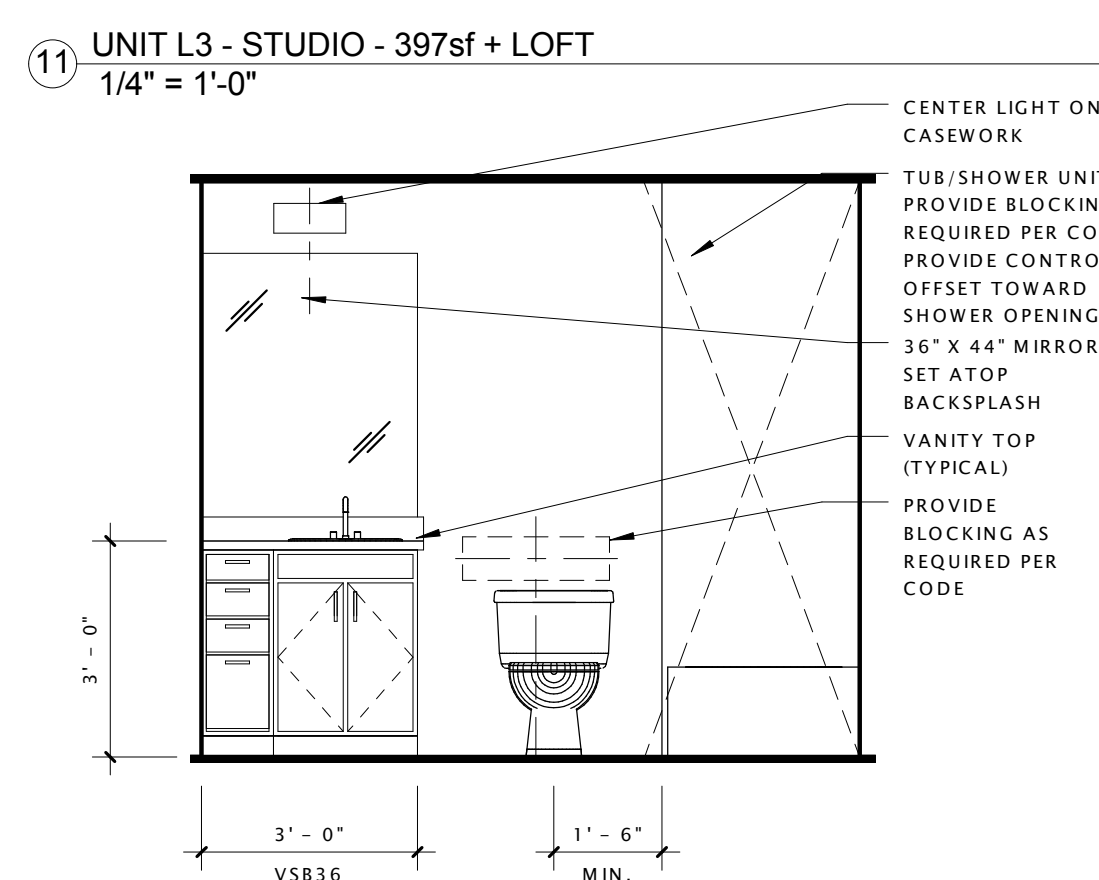
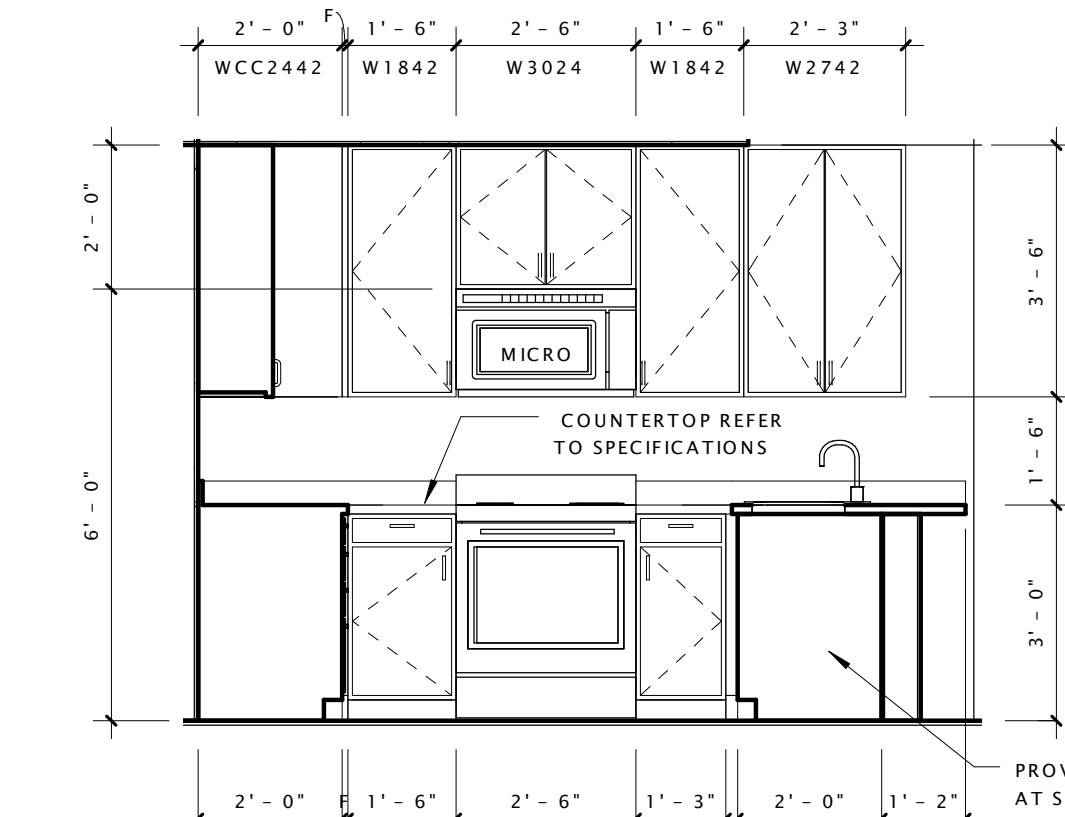
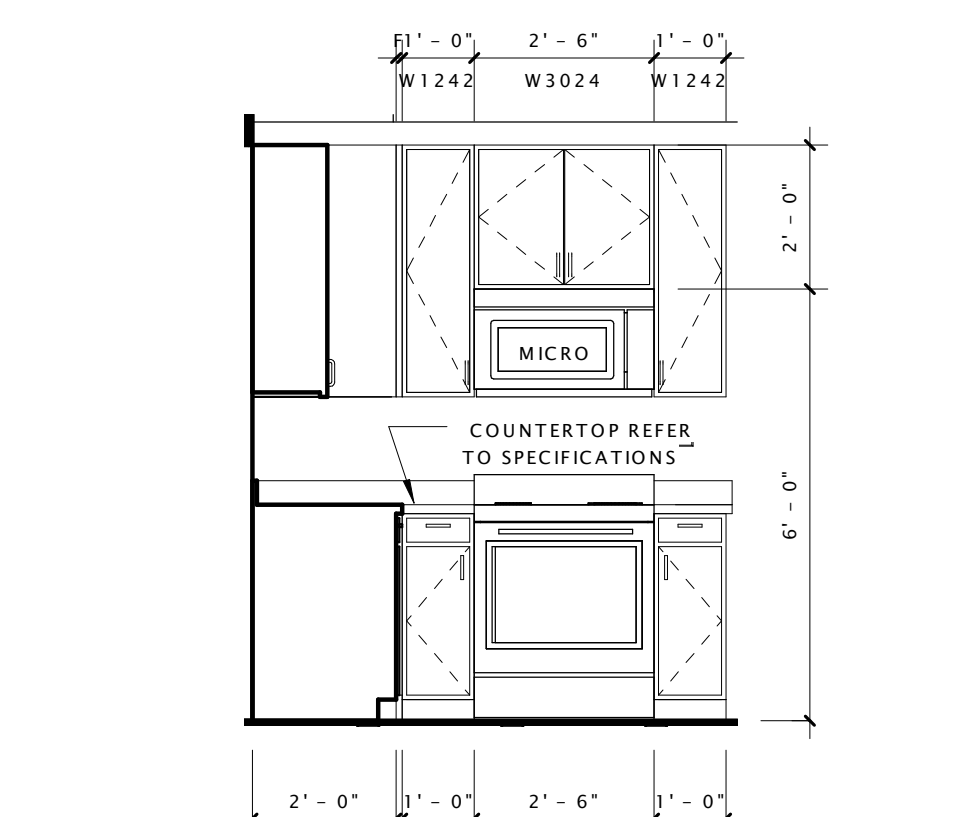
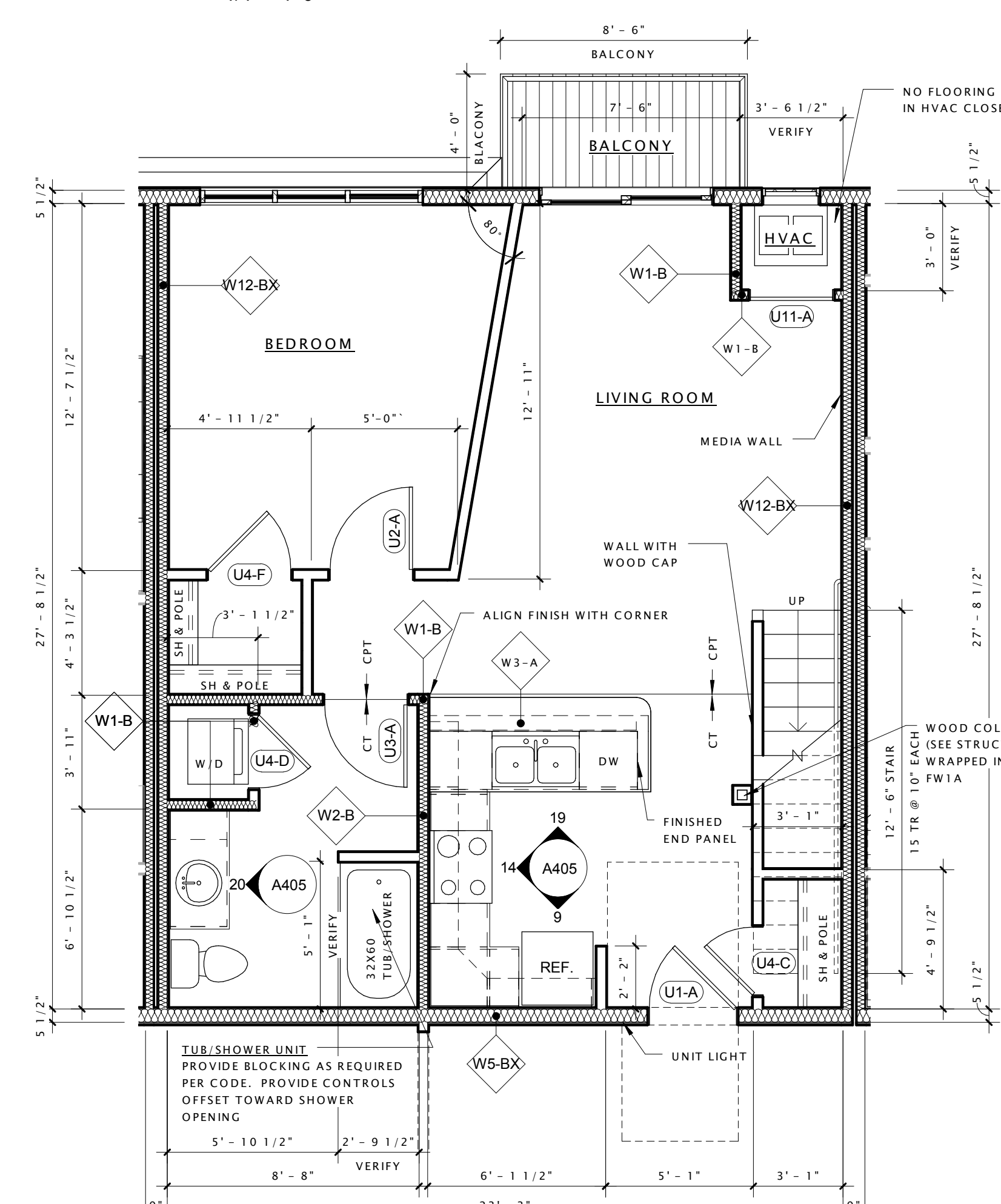
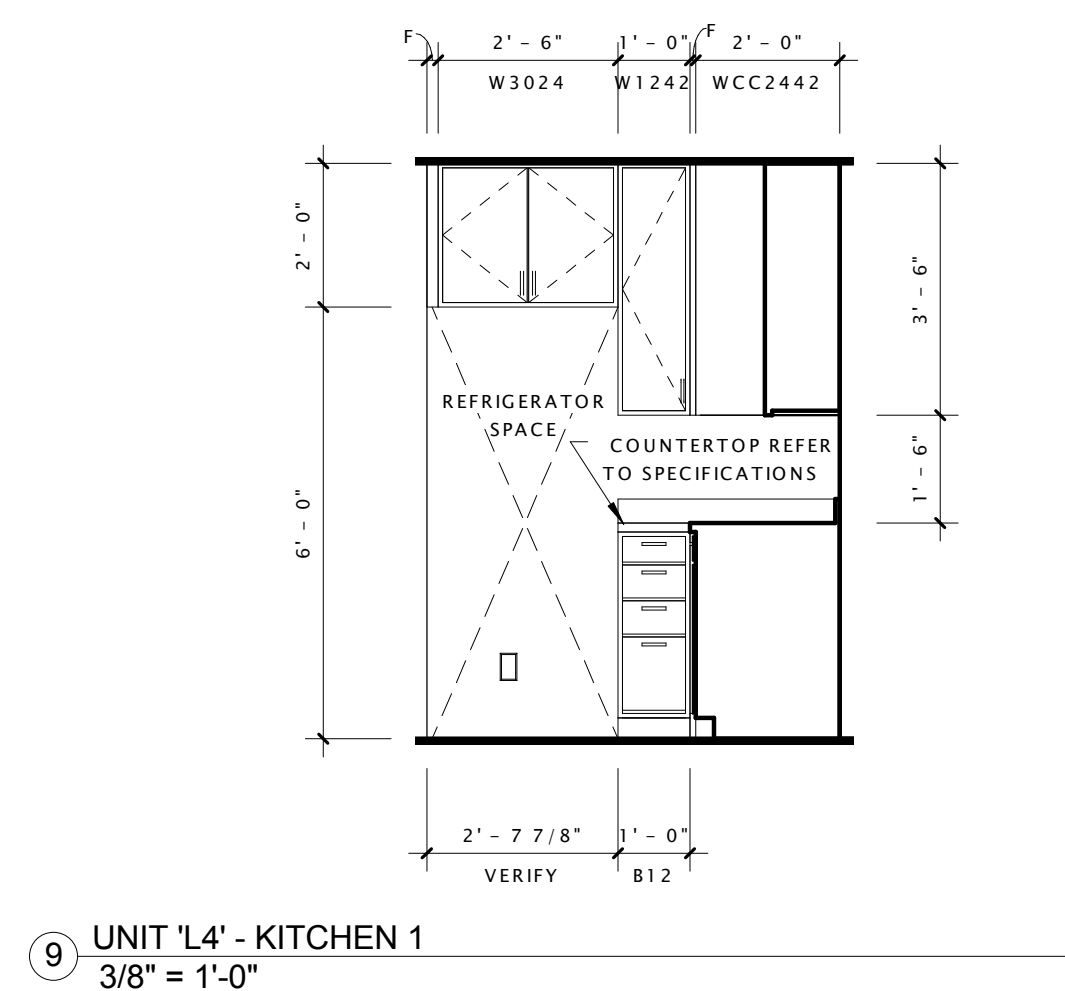
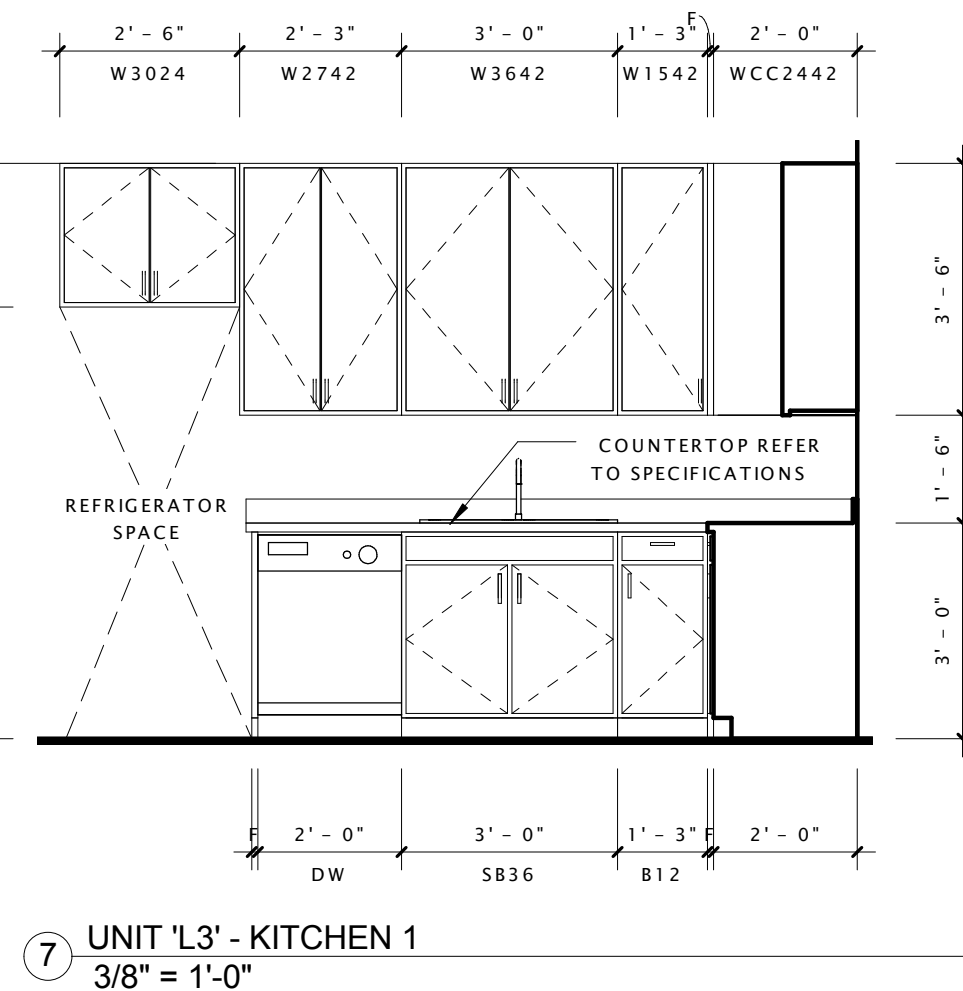
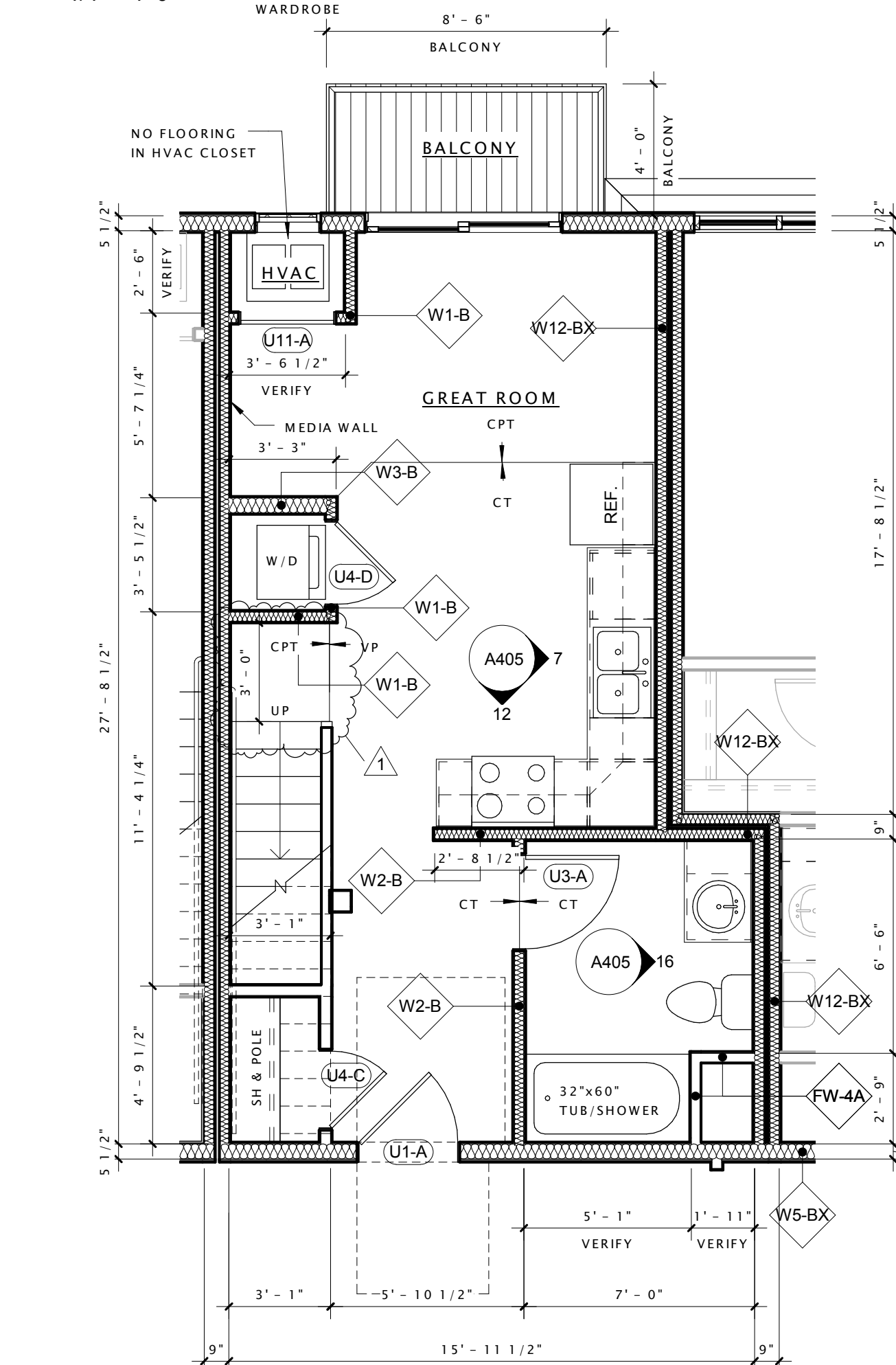
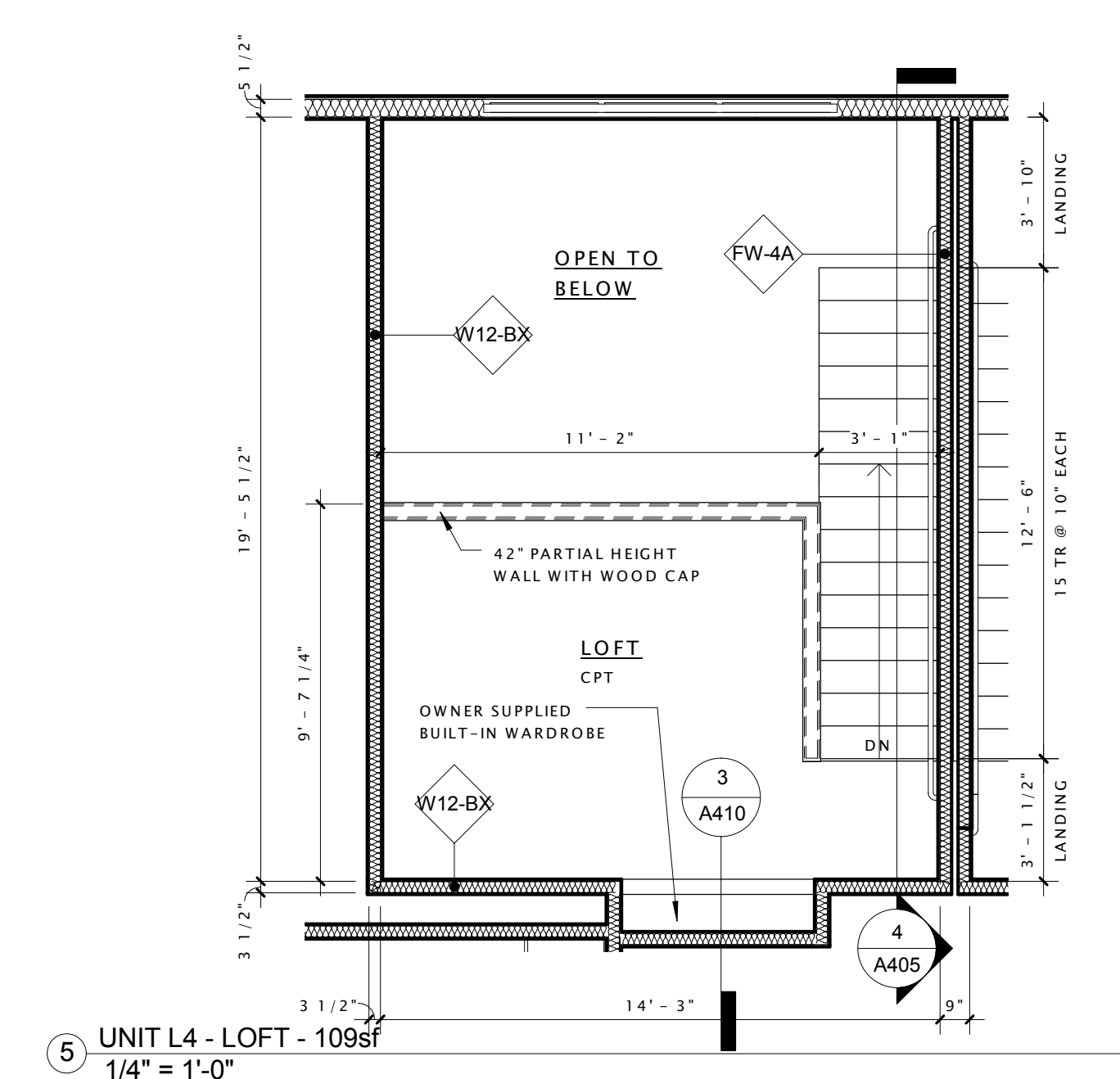
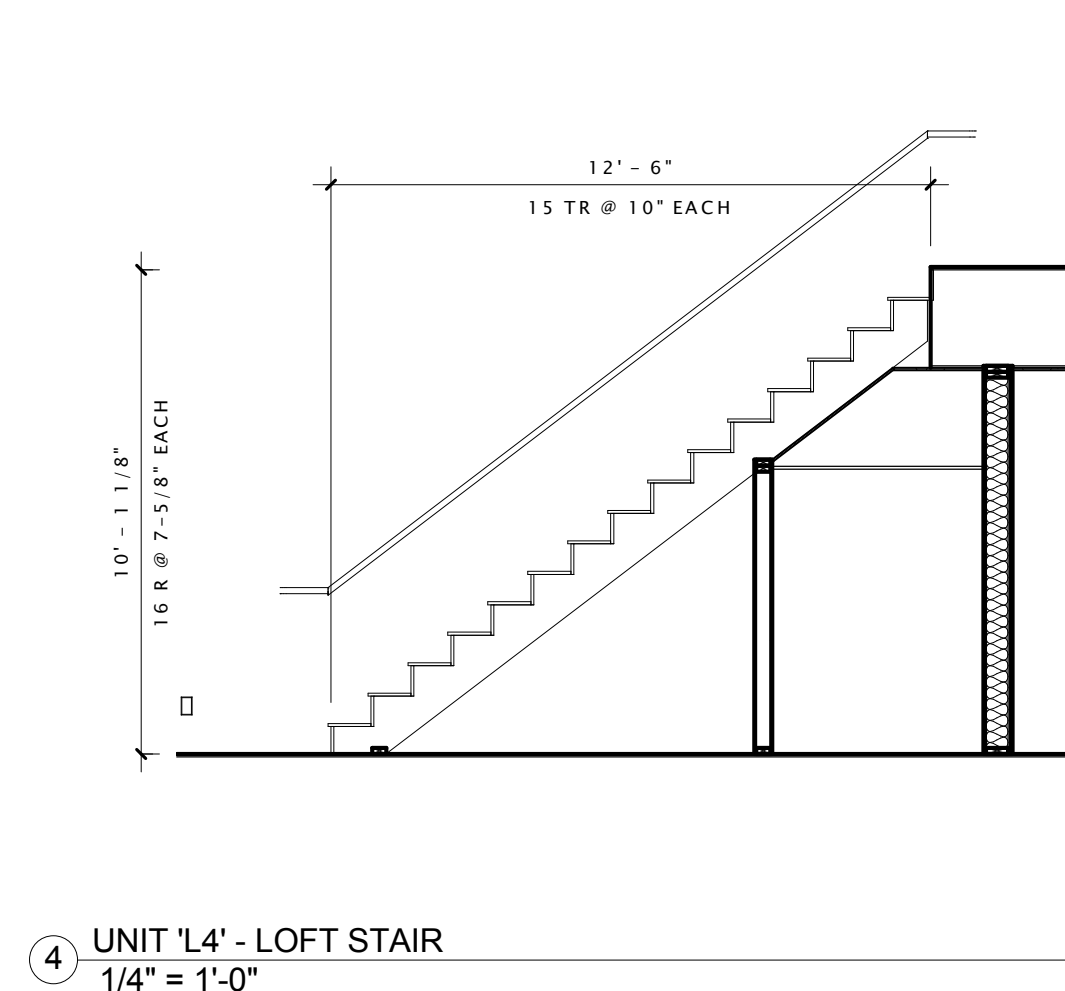
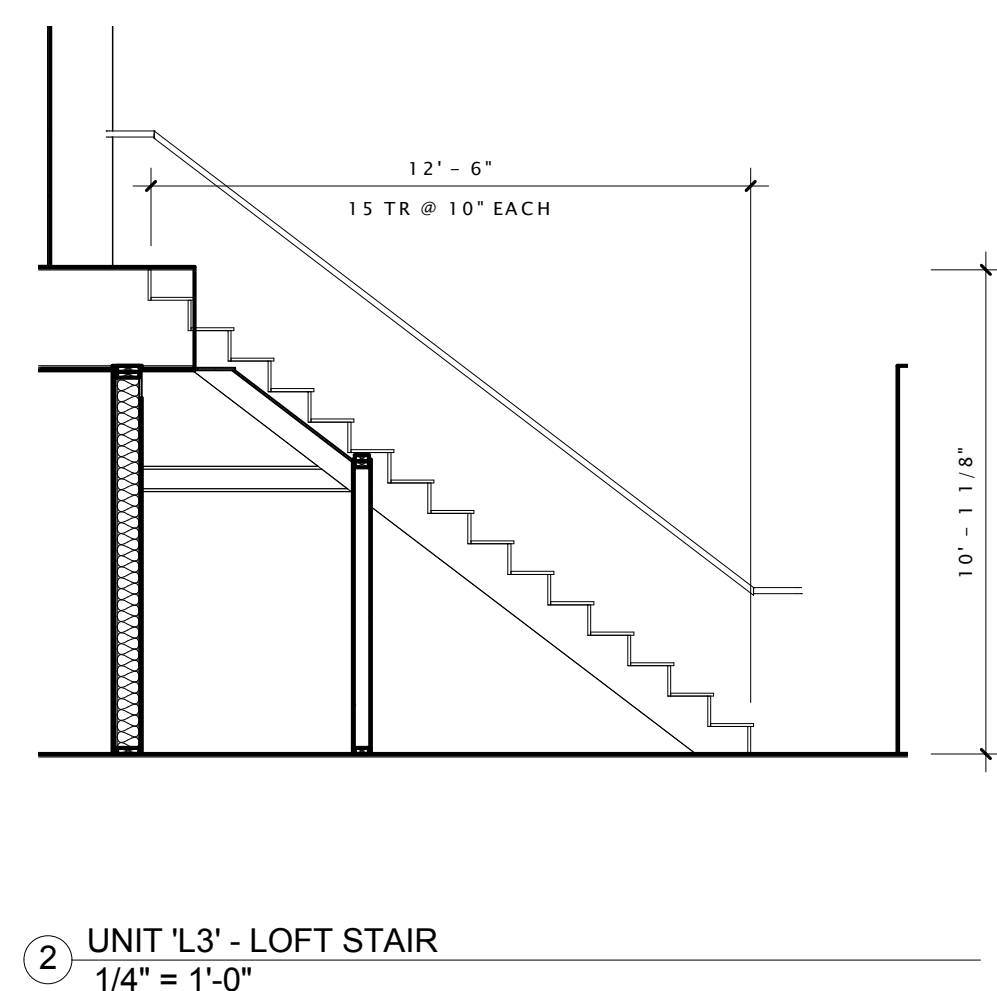
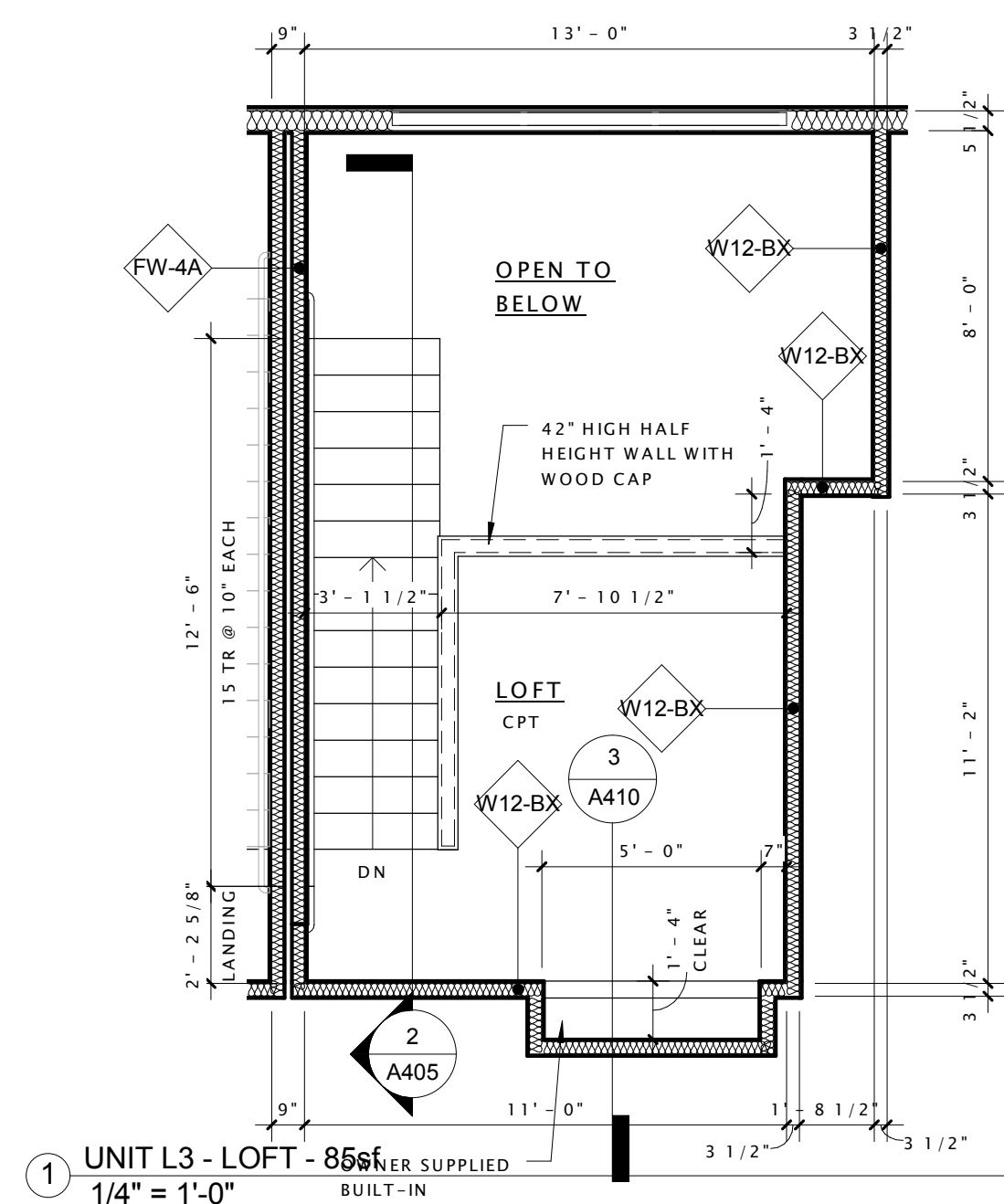
SHEET TITLE

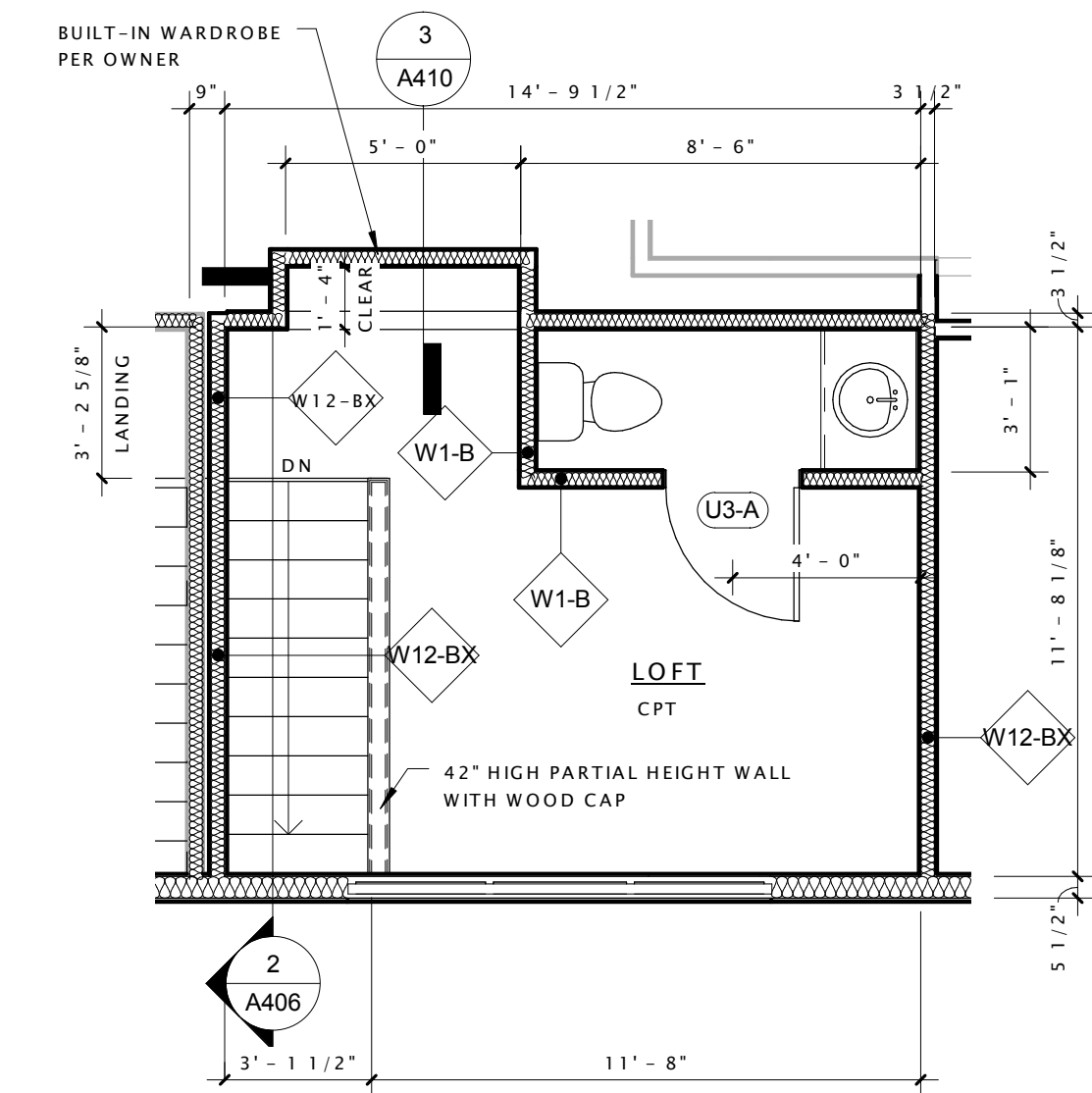
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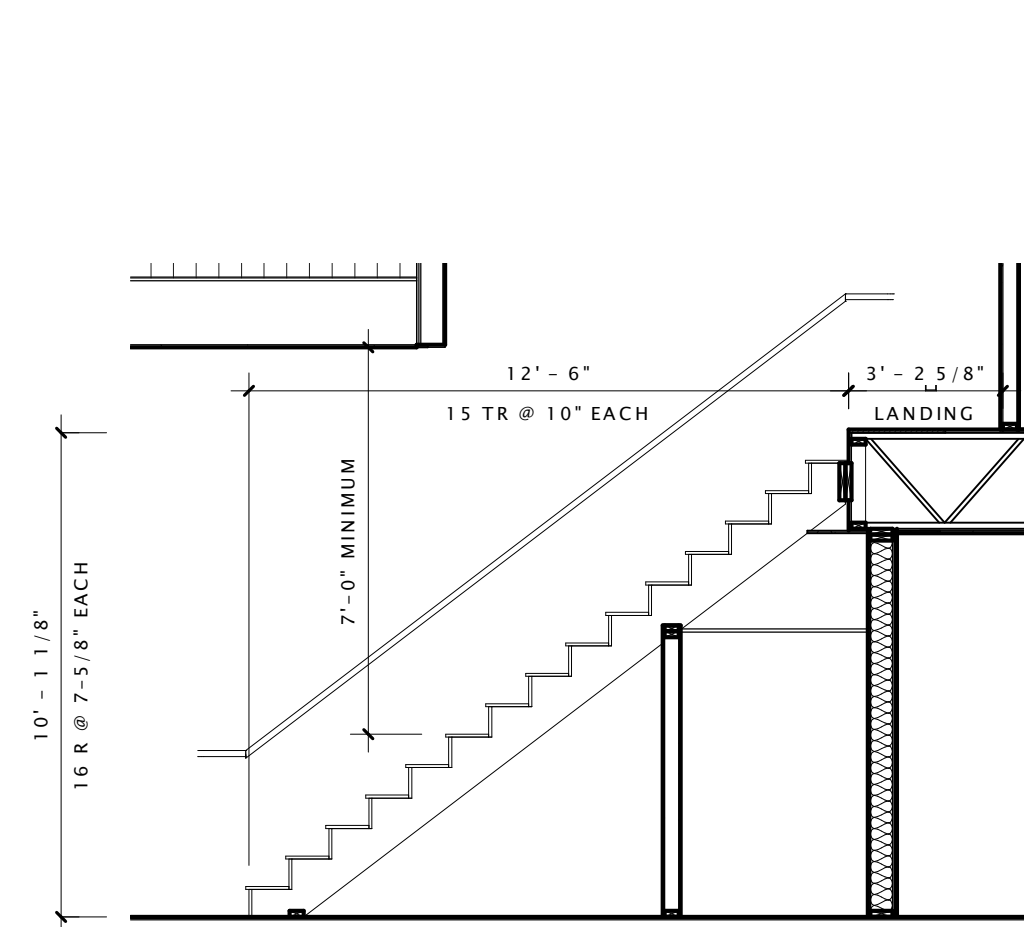
A404

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1	AD1	140430

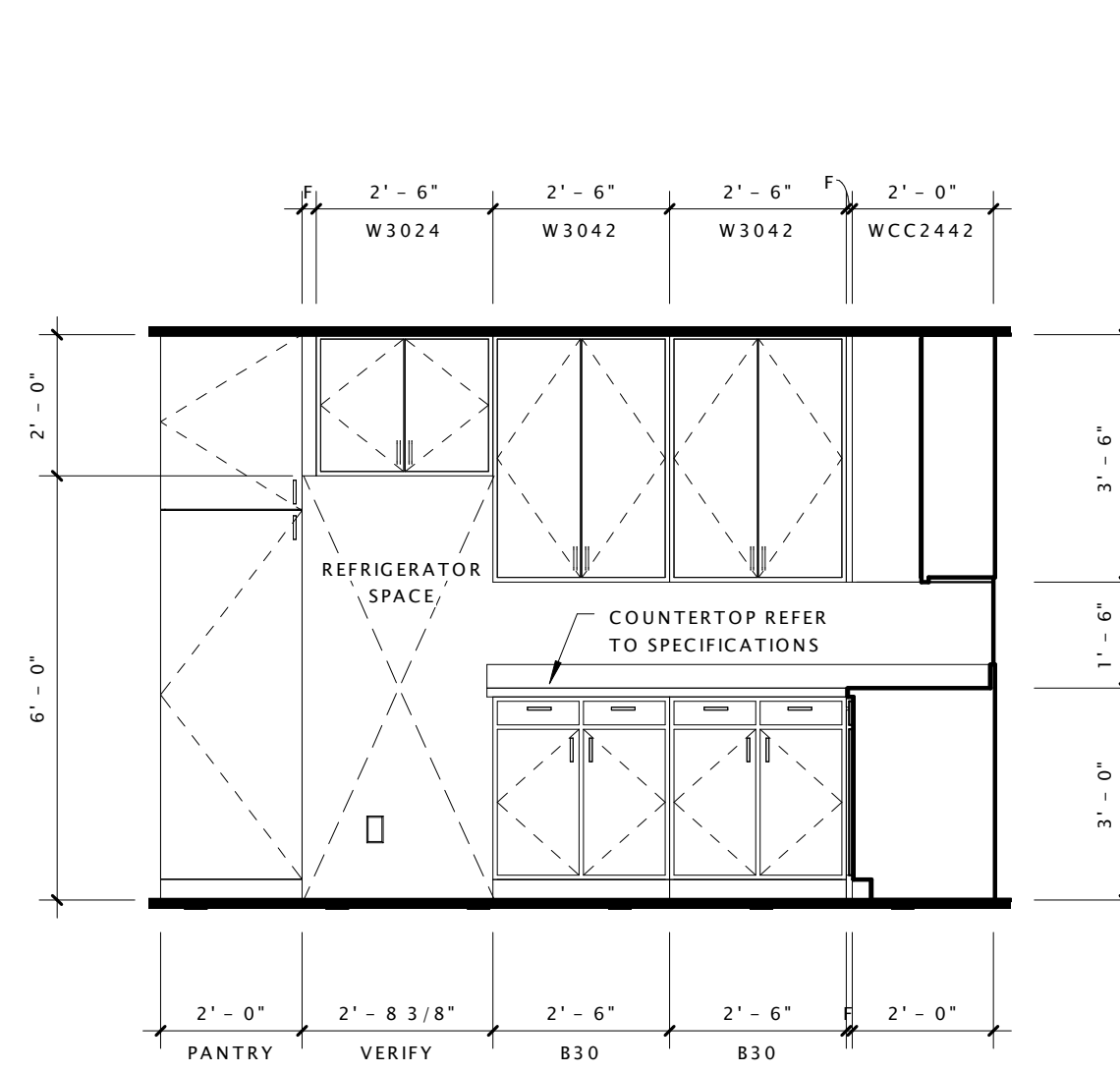




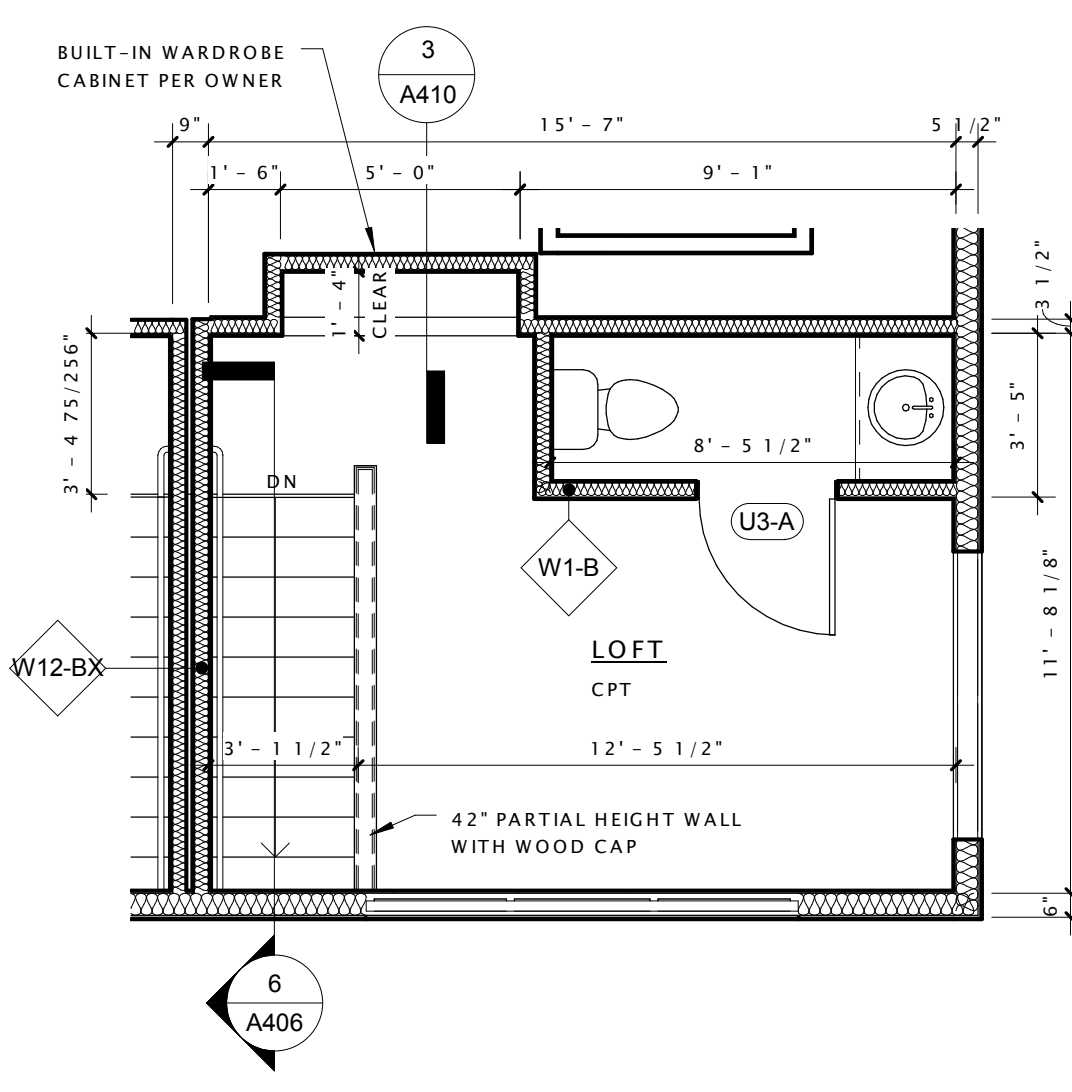
1 UNIT L5 - LOFT - 145sf
1/4" = 1'-0"



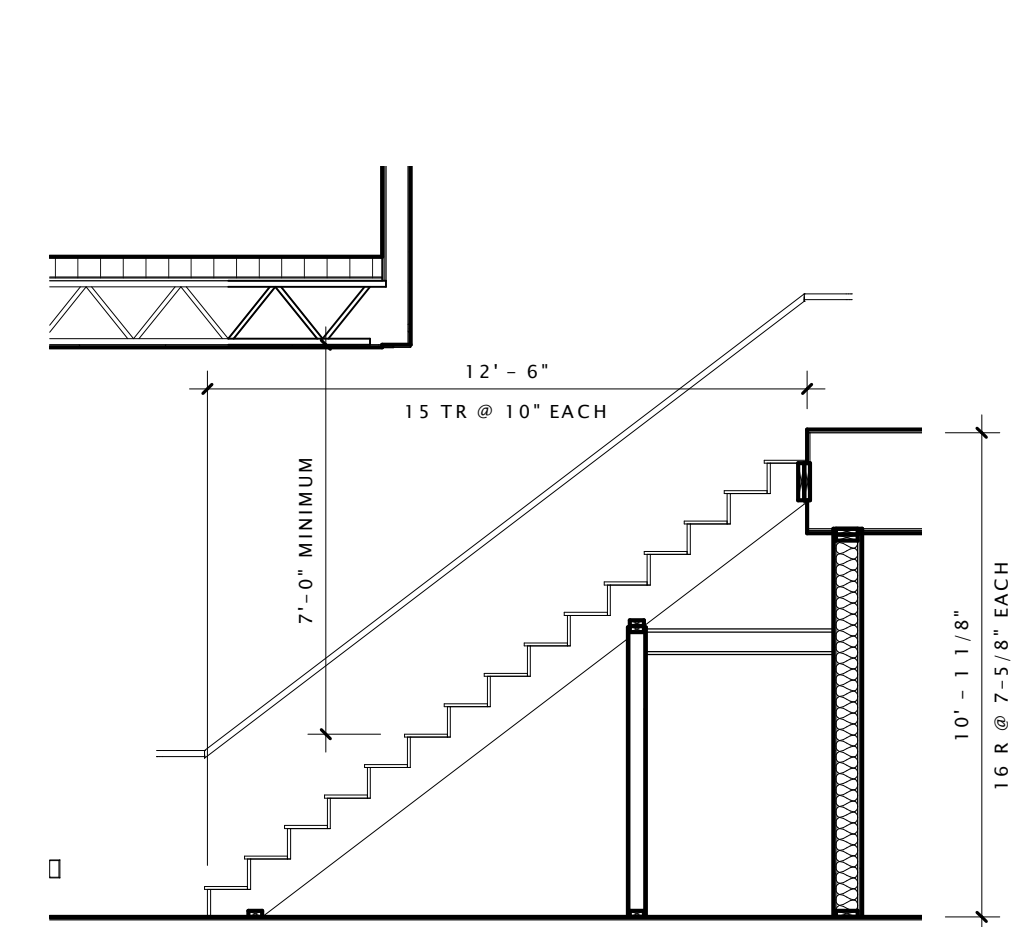
2 UNIT L5 - LOFT STAIR
1/4" = 1'-0"



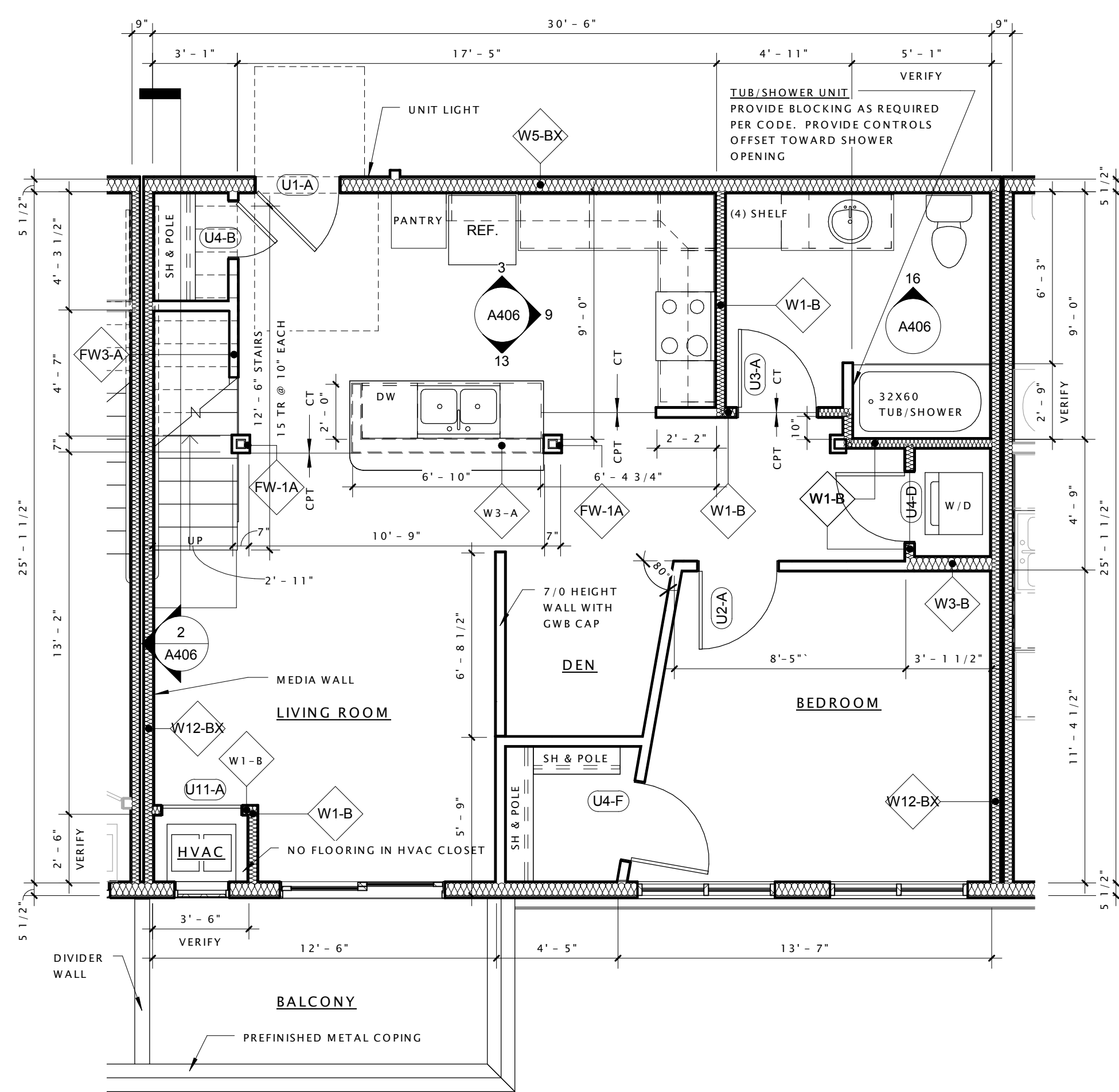
3 UNIT L5 - KITCHEN 1
3/8" = 1'-0"



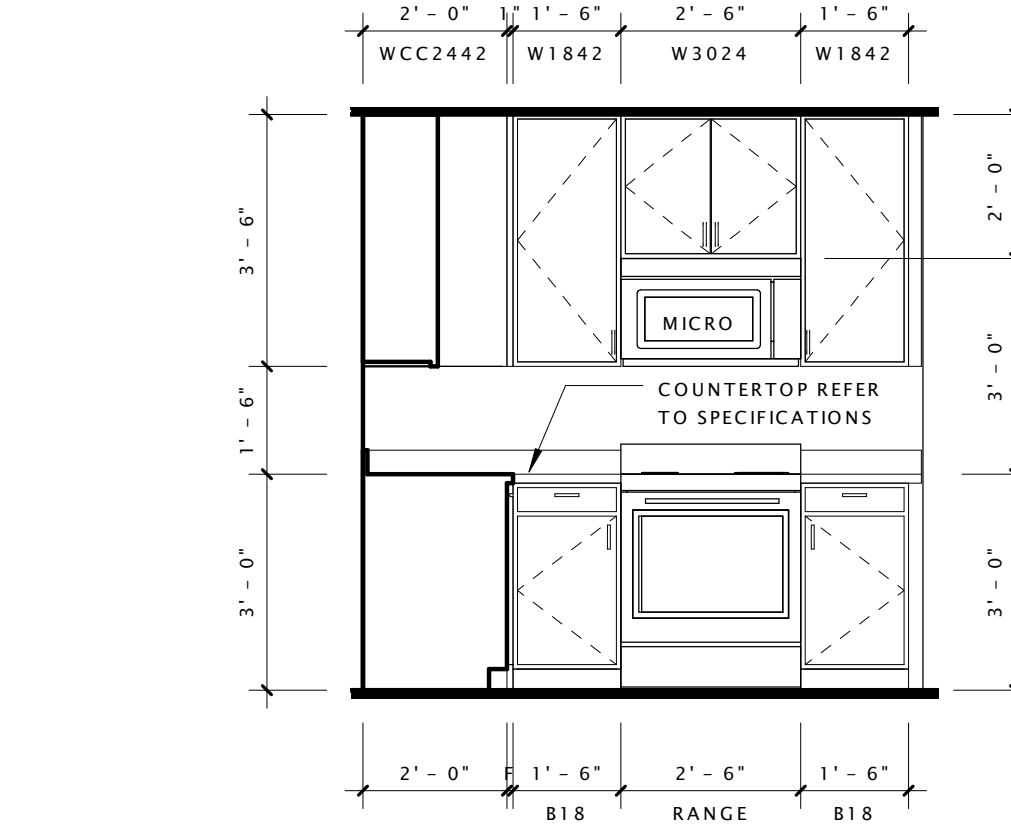
4 UNIT L6 - LOFT - 154sf
1/4" = 1'-0"



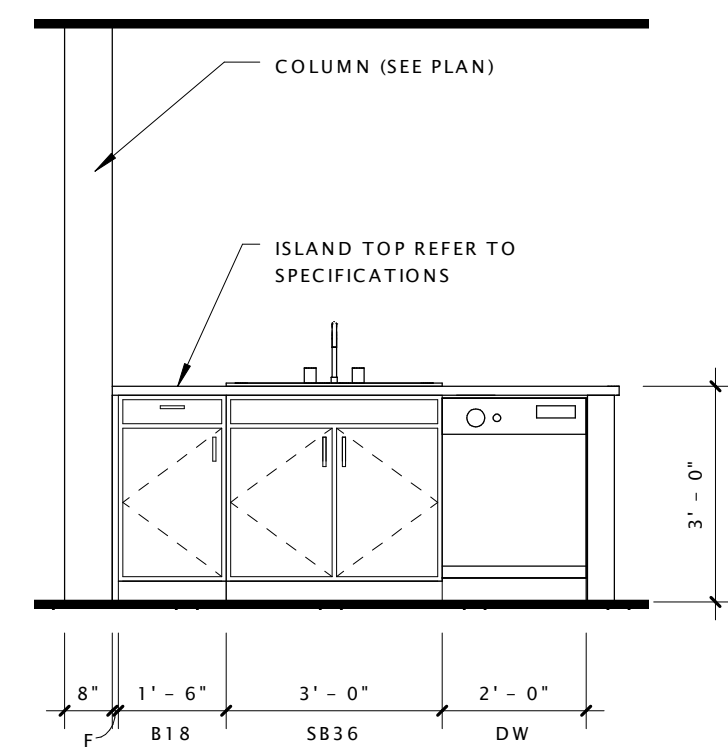
6 UNIT L6 - LOFT STAIR
1/4" = 1'-0"



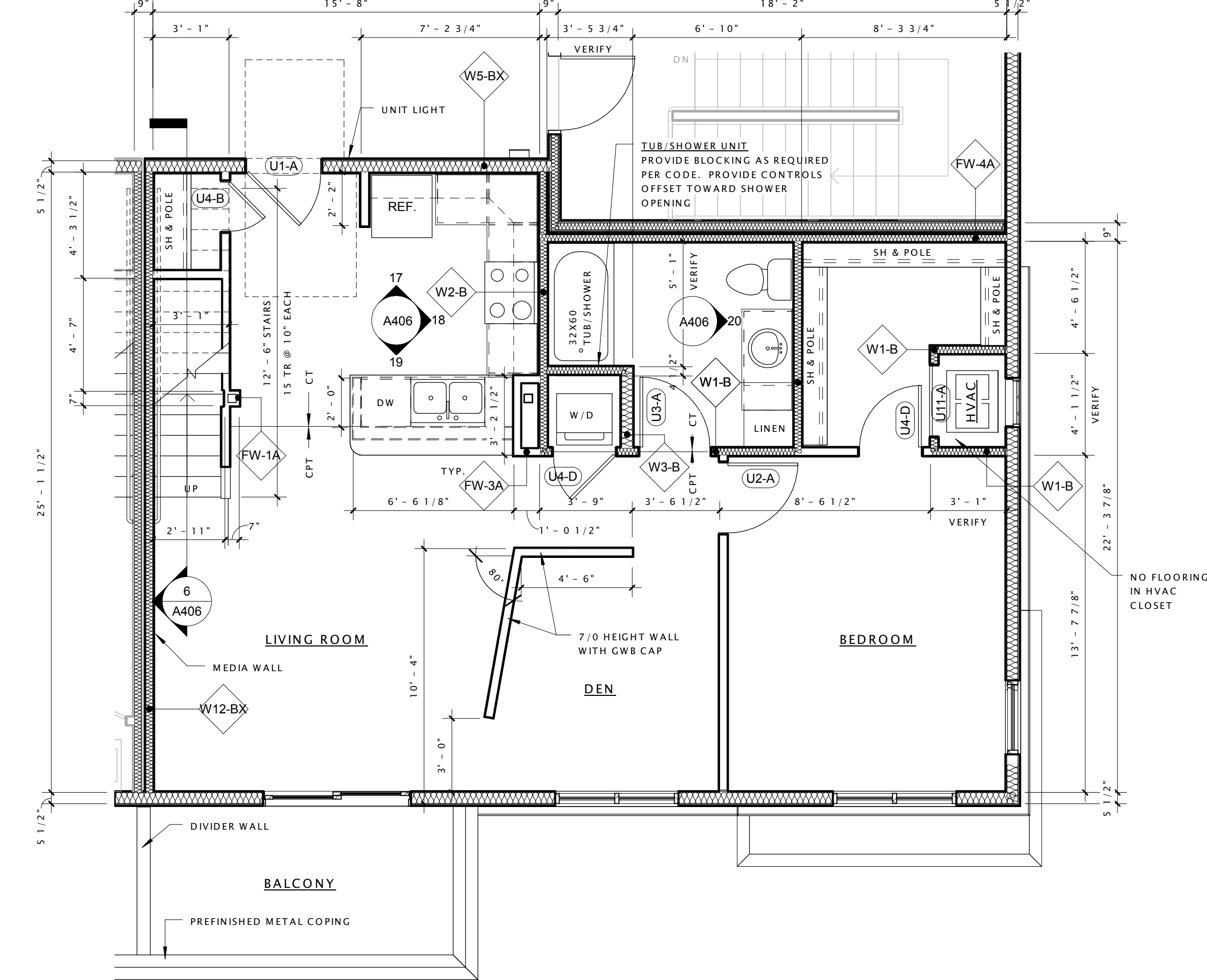
11 UNIT L5 - 1 BED W/ DEN - 765sf + LOFT
1/4" = 1'-0"



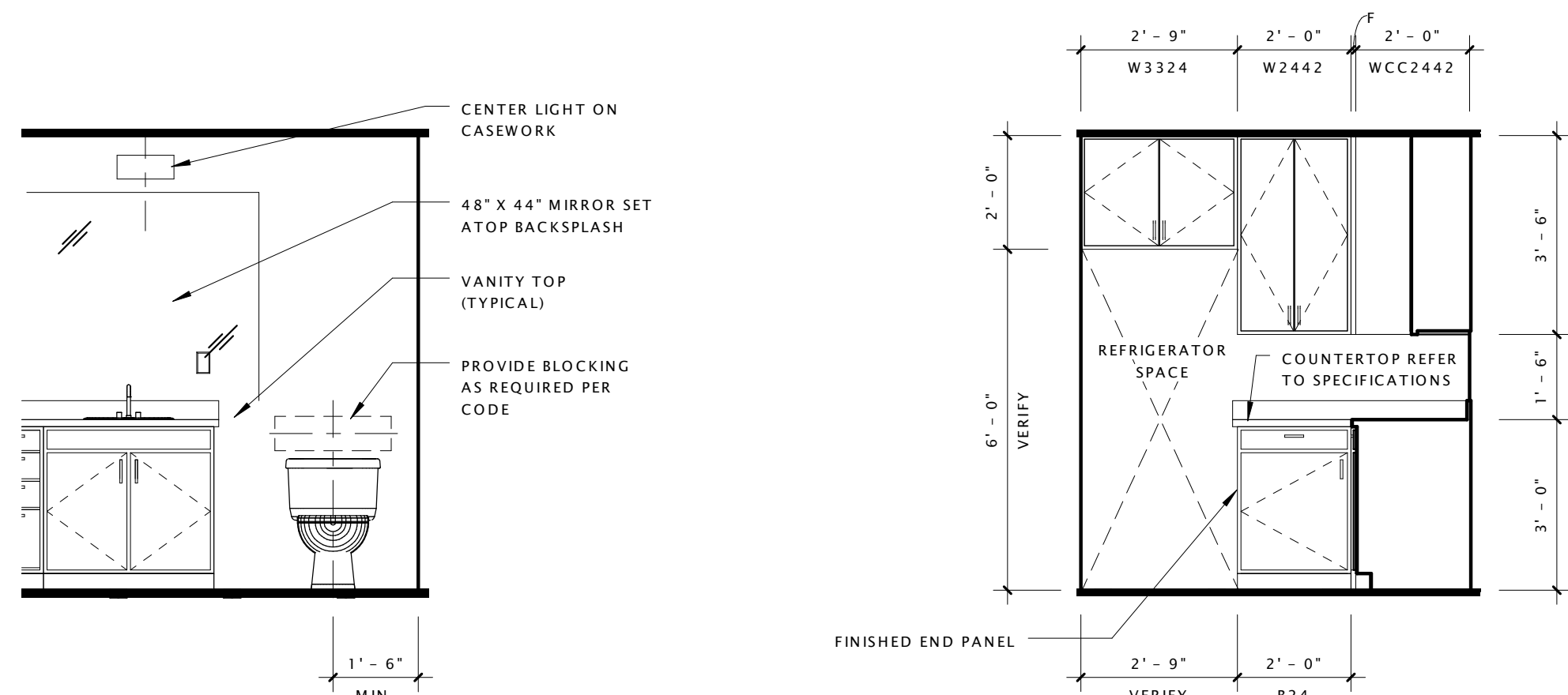
9 UNIT L5 - KITCHEN 2
3/8" = 1'-0"



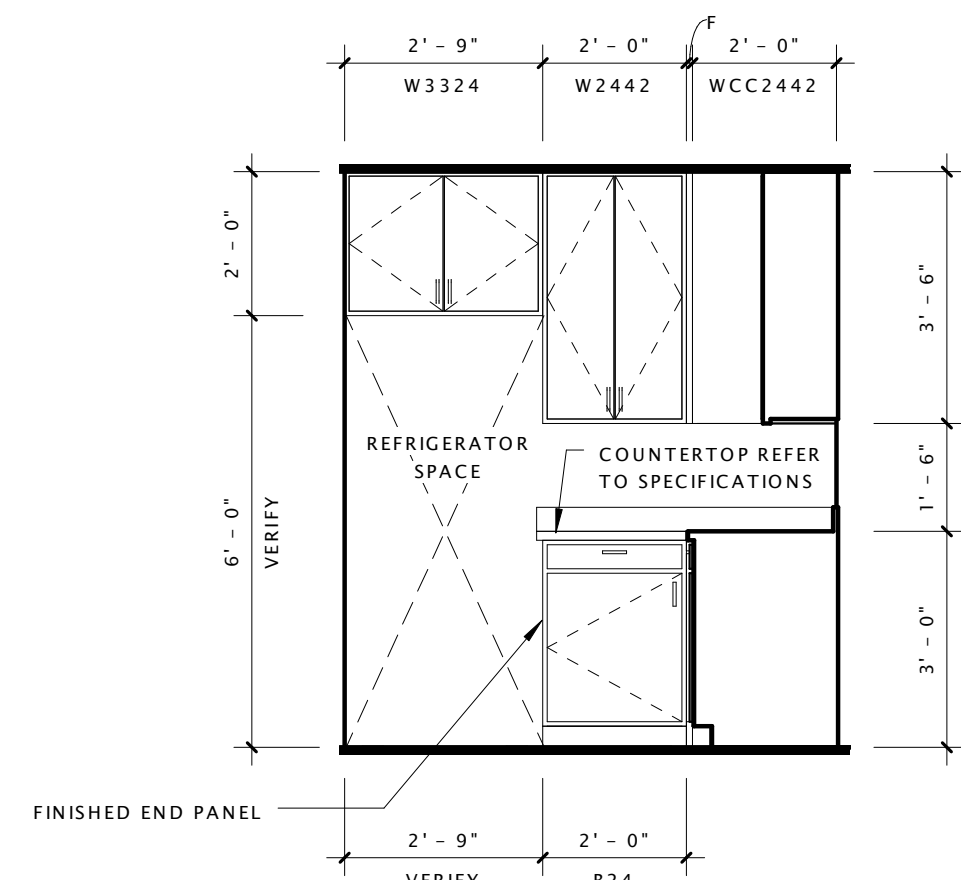
13 UNIT L5 - KITCHEN 3
3/8" = 1'-0"



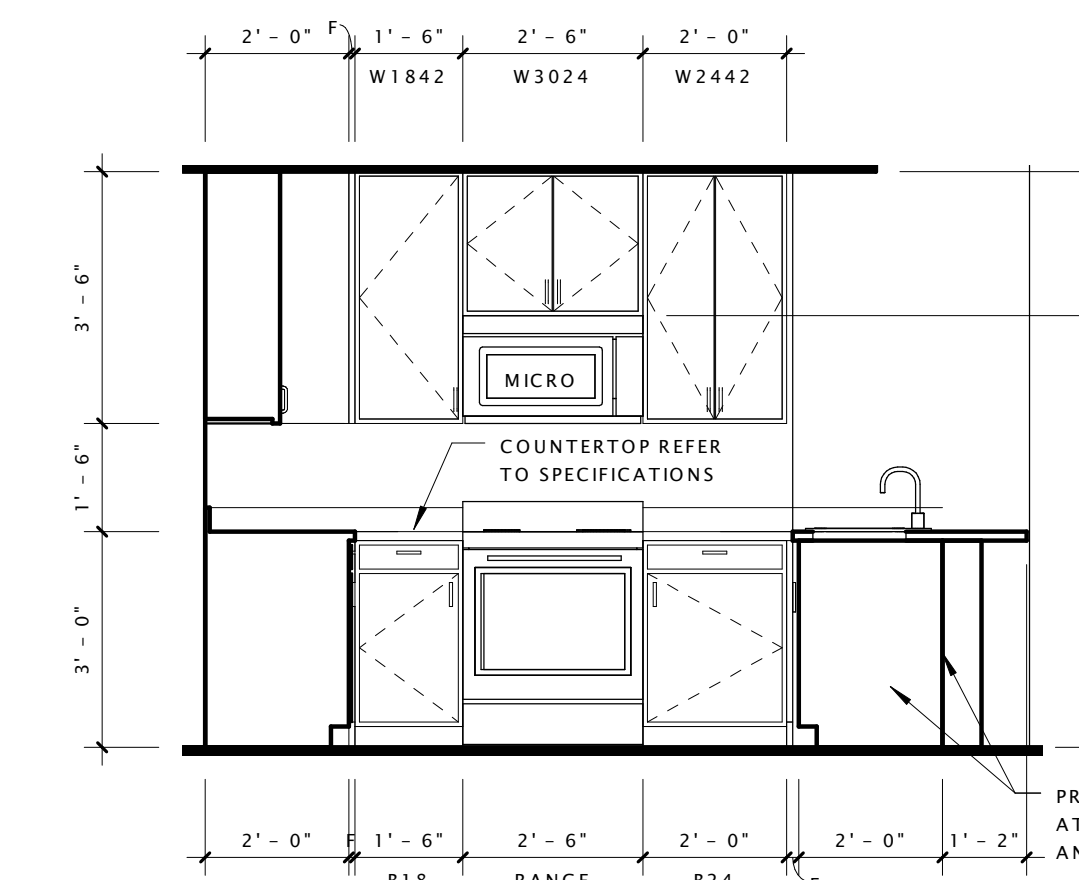
14 UNIT L6 - 1 BED W/ DEN - 819sf + LOFT
1/4" = 1'-0"



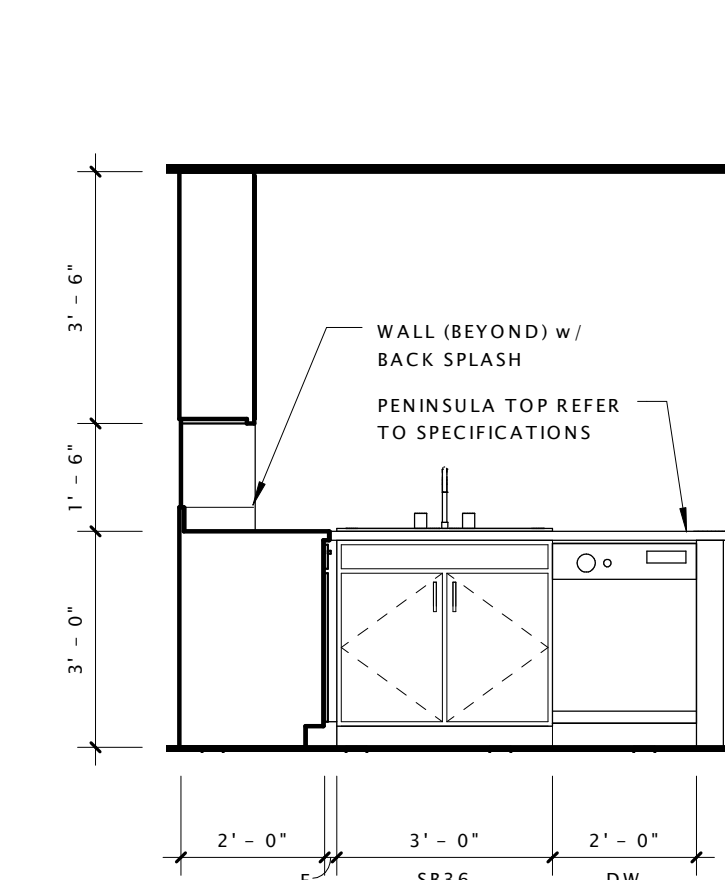
16 UNIT L5 - BATHROOM 1
3/8" = 1'-0"



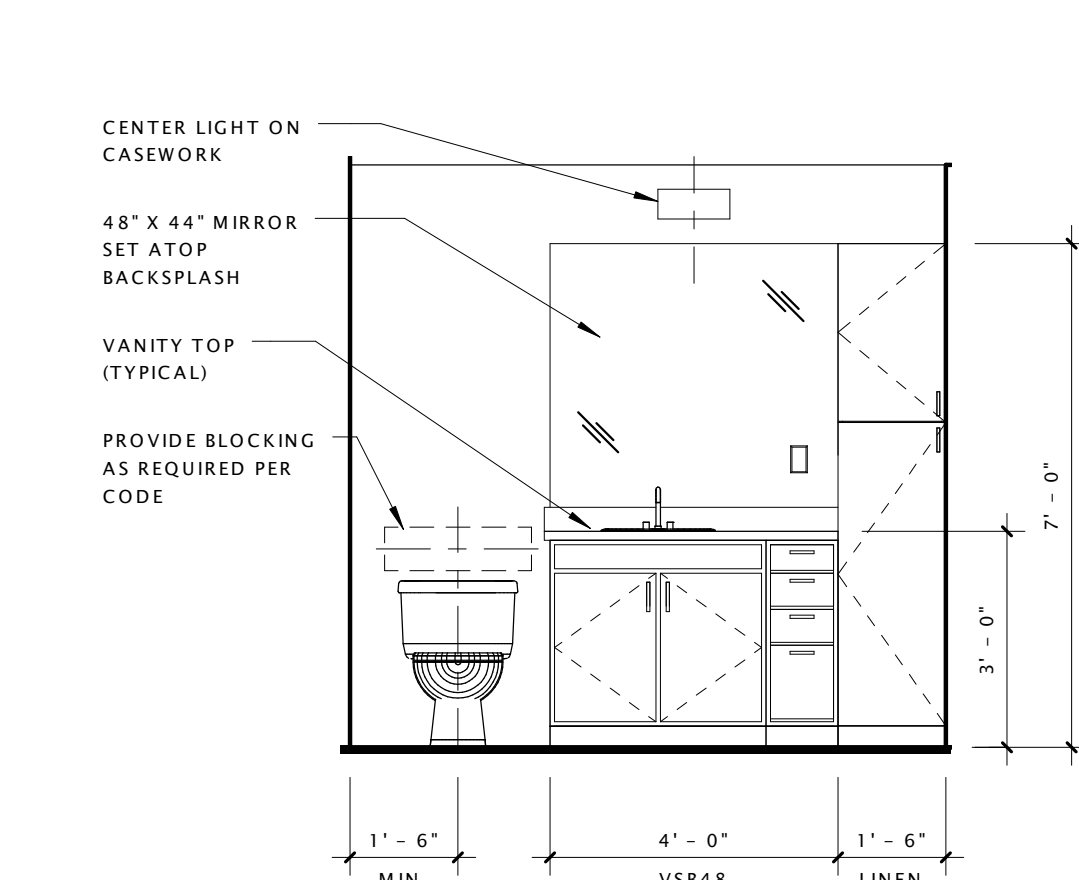
17 UNIT L6 - KITCHEN 1
3/8" = 1'-0"



18 UNIT L6 - KITCHEN 2
3/8" = 1'-0"



19 UNIT L6 - KITCHEN 3
3/8" = 1'-0"



20 UNIT L6 - BATHROOM 1
3/8" = 1'-0"

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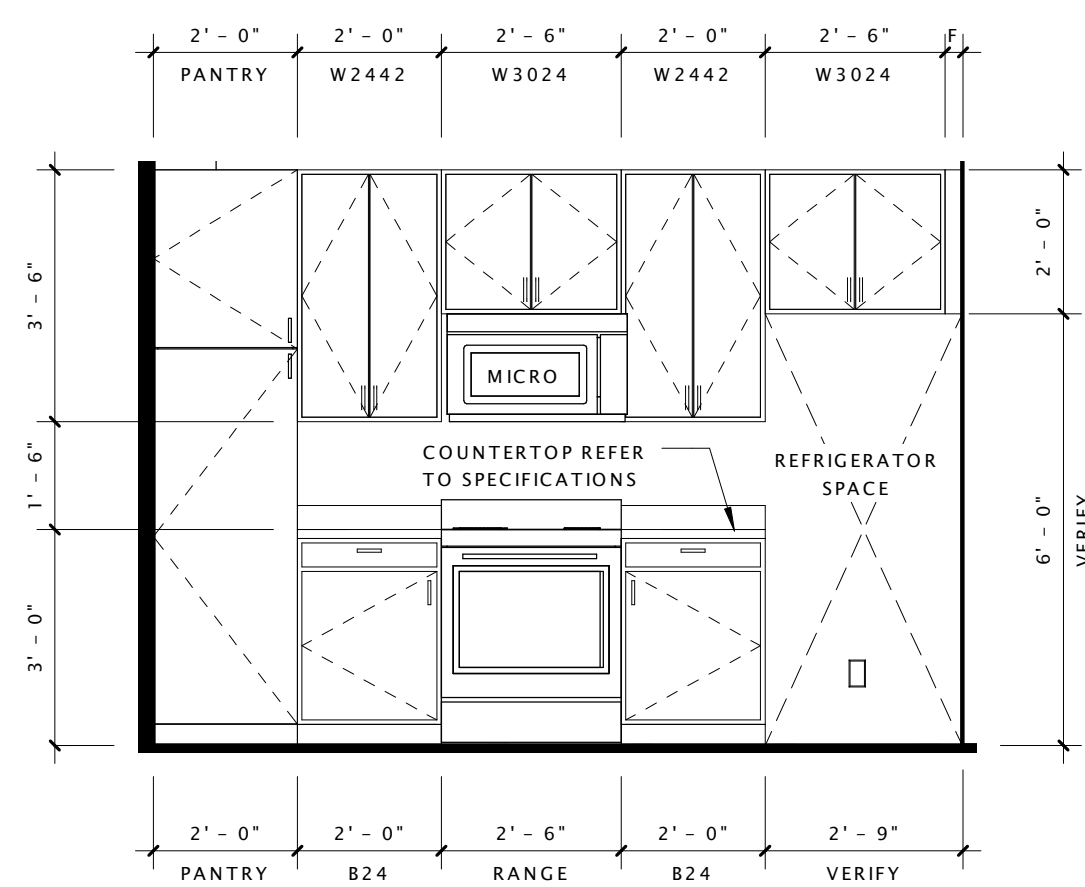
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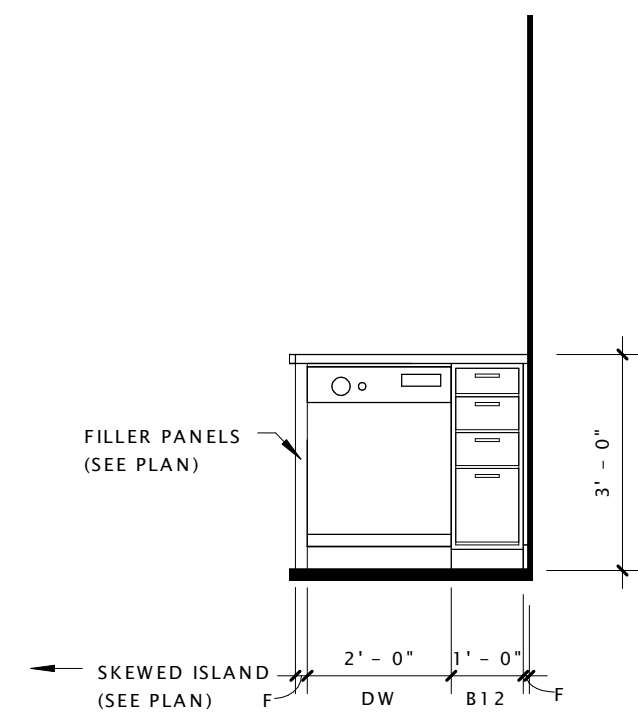
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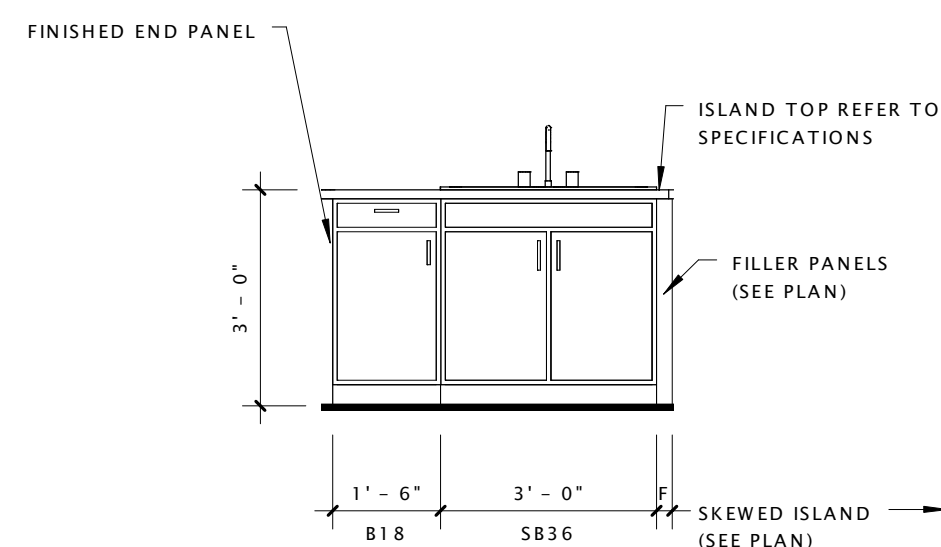
A406



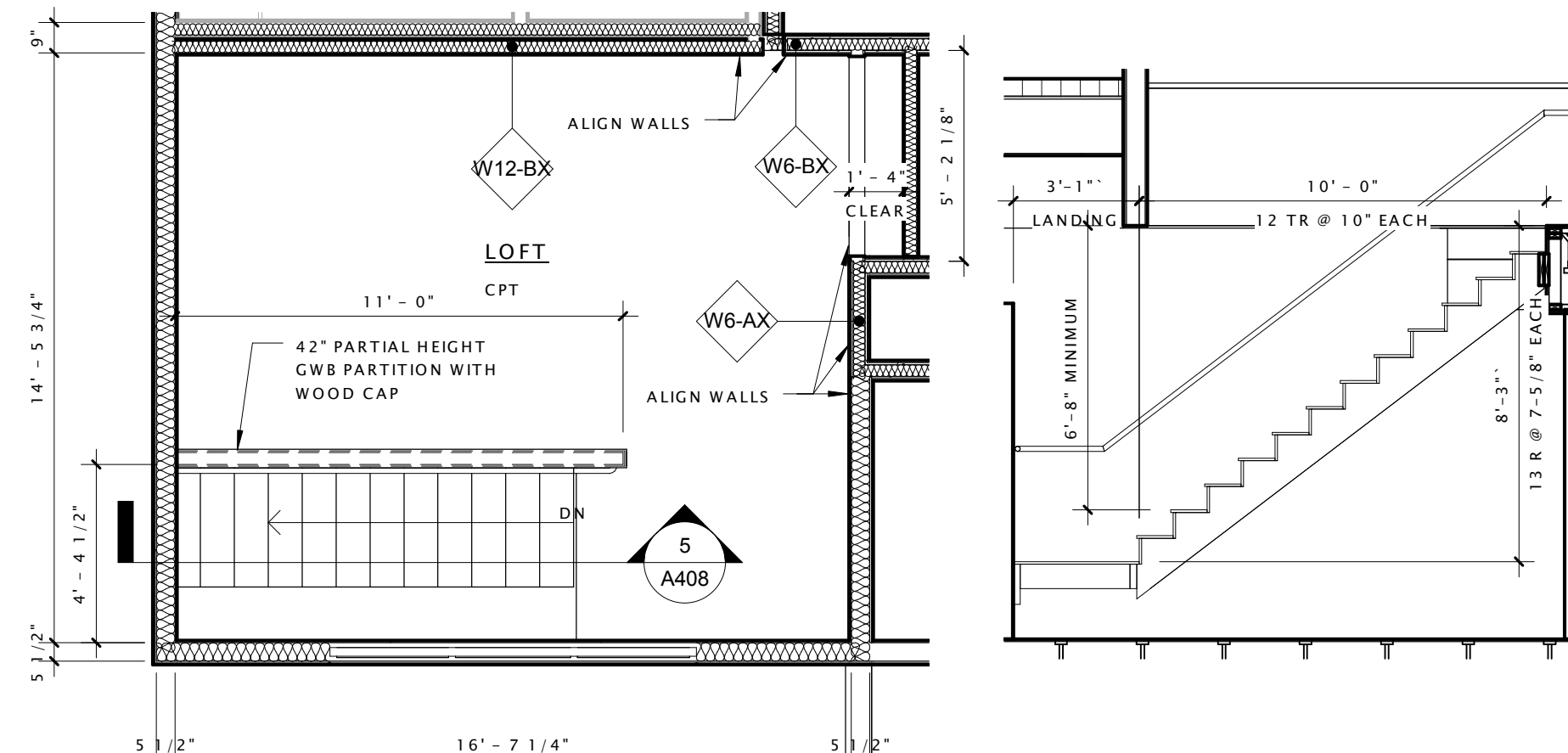
1 UNIT 'L7' - KITCHEN 1
3/8" = 1'-0"



2 UNIT 'L7' - KITCHEN 2
3/8" = 1'-0"

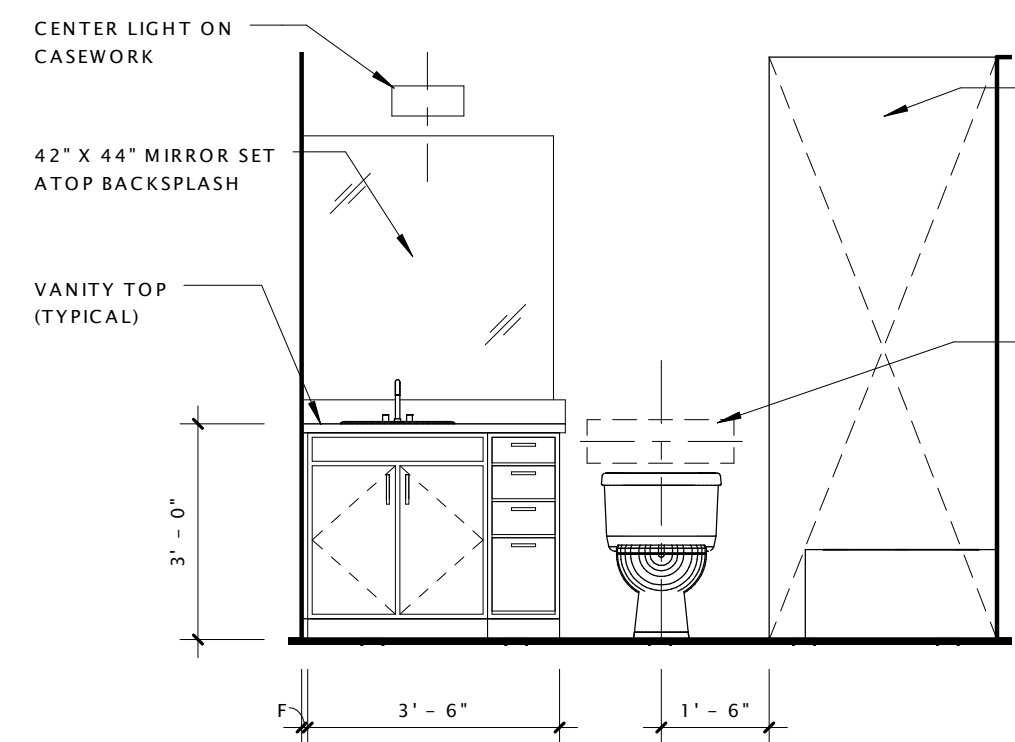


3 UNIT 'L7' - KITCHEN 3
3/8" = 1'-0"

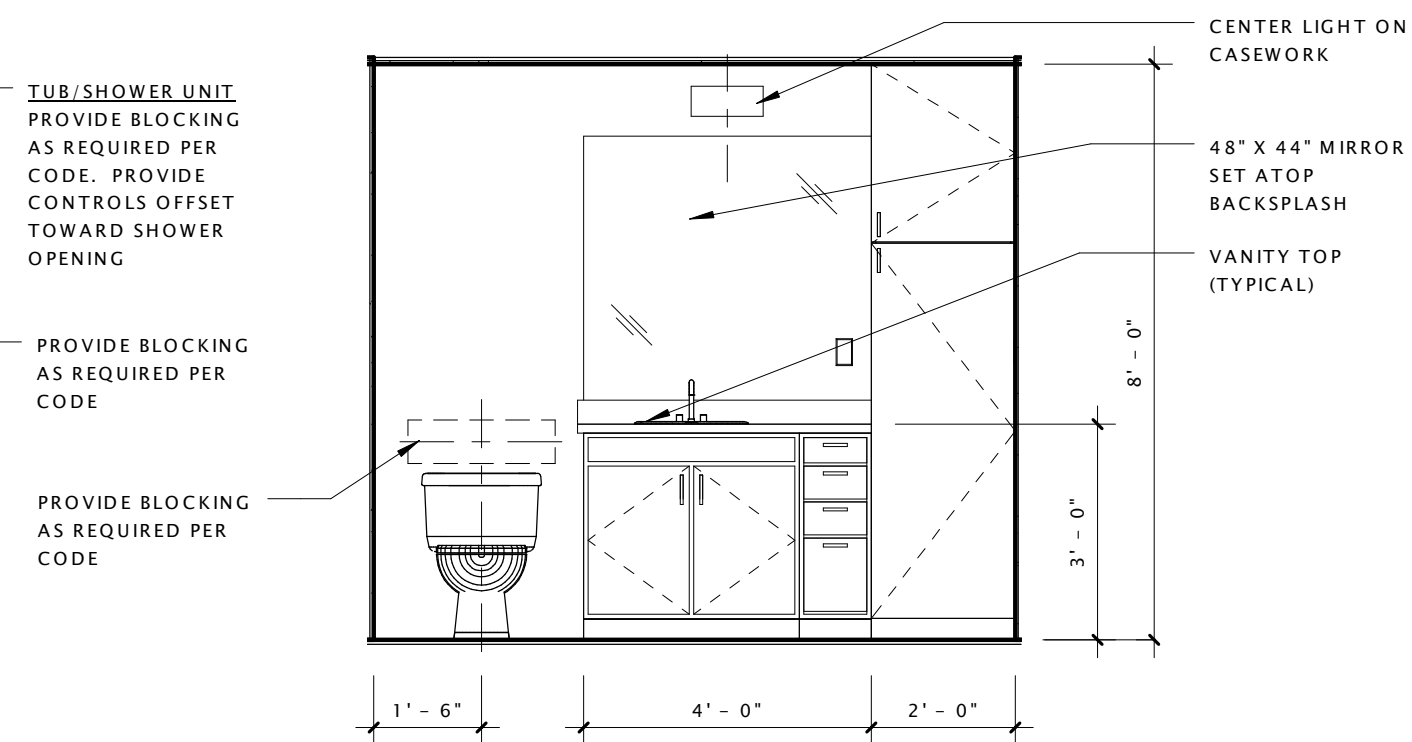


4 UNIT L7 - LOFT - 196sf
1/4" = 1'-0"

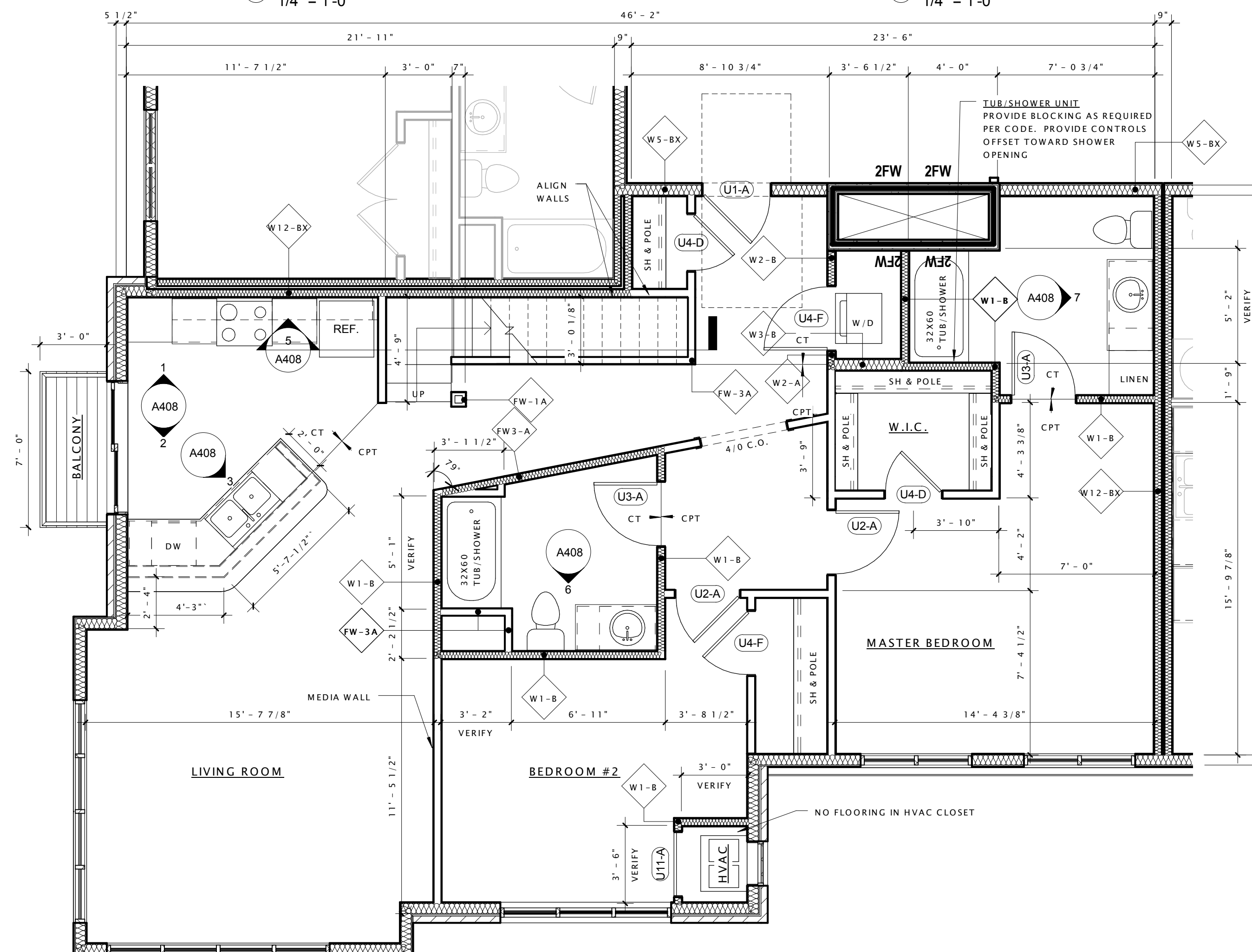
5 UNIT 'L7' - LOFT STAIR
1/4" = 1'-0"



6 UNIT 'L7' - BATHROOM 1
3/8" = 1'-0"

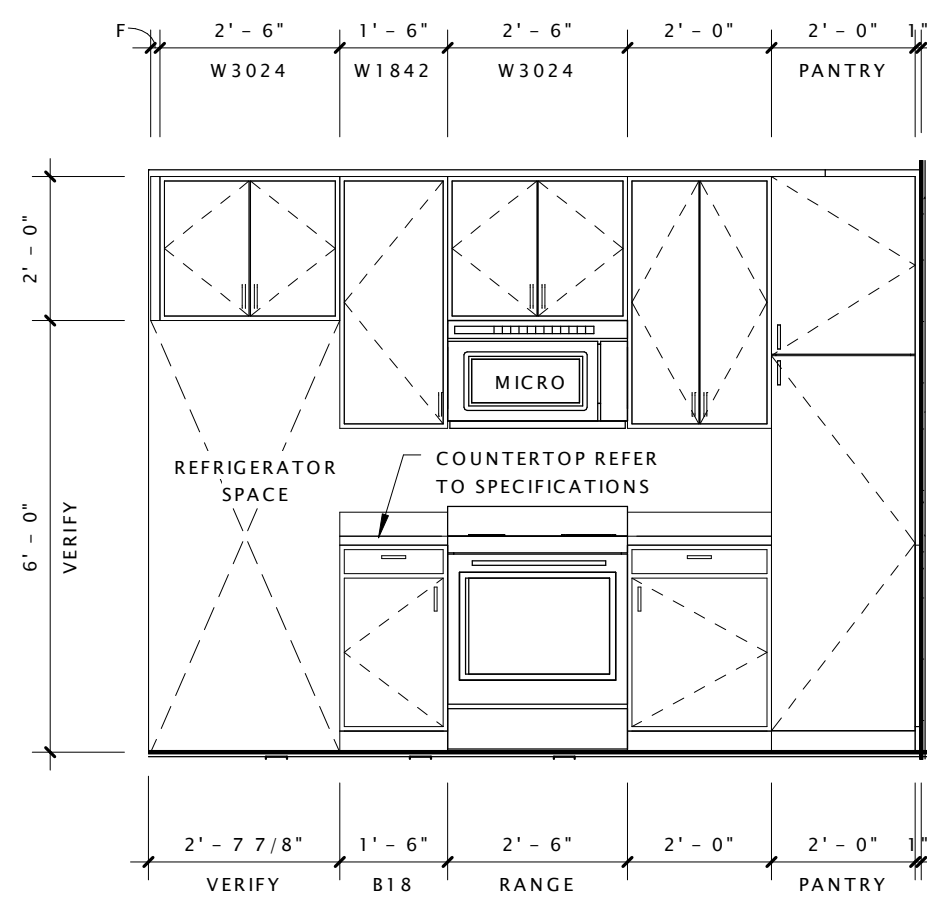


7 UNIT 'L7' - BATHROOM 2
3/8" = 1'-0"

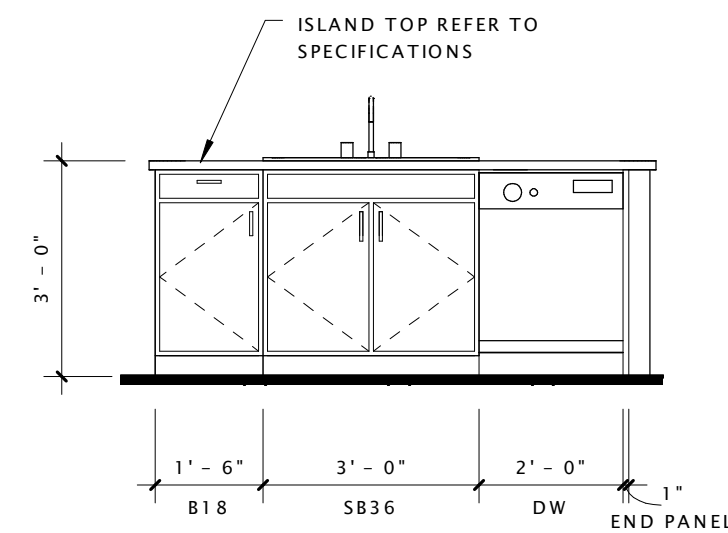


14 UNIT L7 - 2 BED - 1,132sf + LOFT
1/4" = 1'-0"

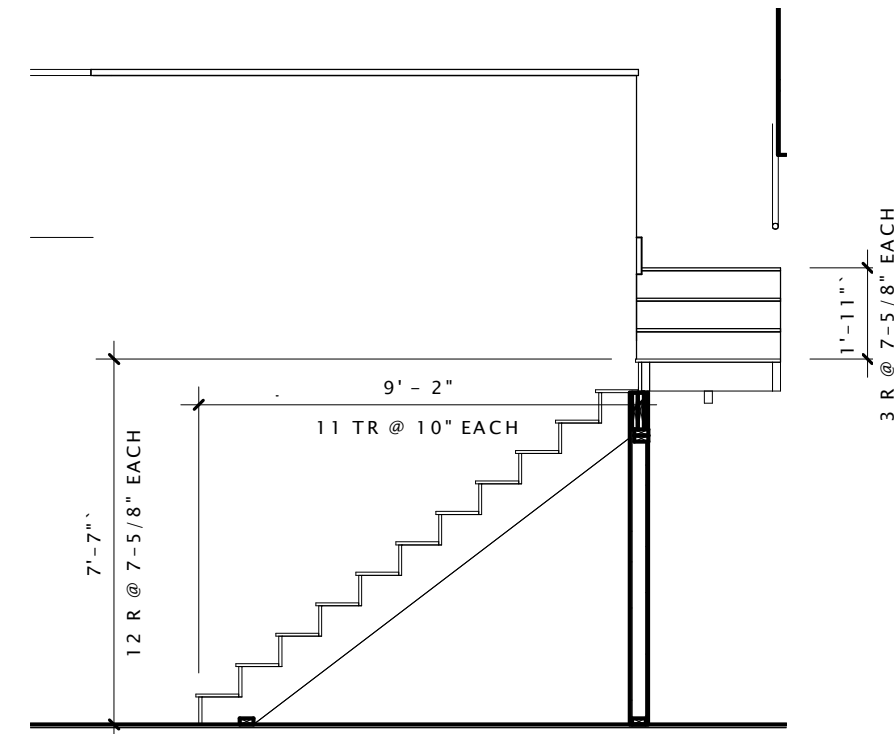
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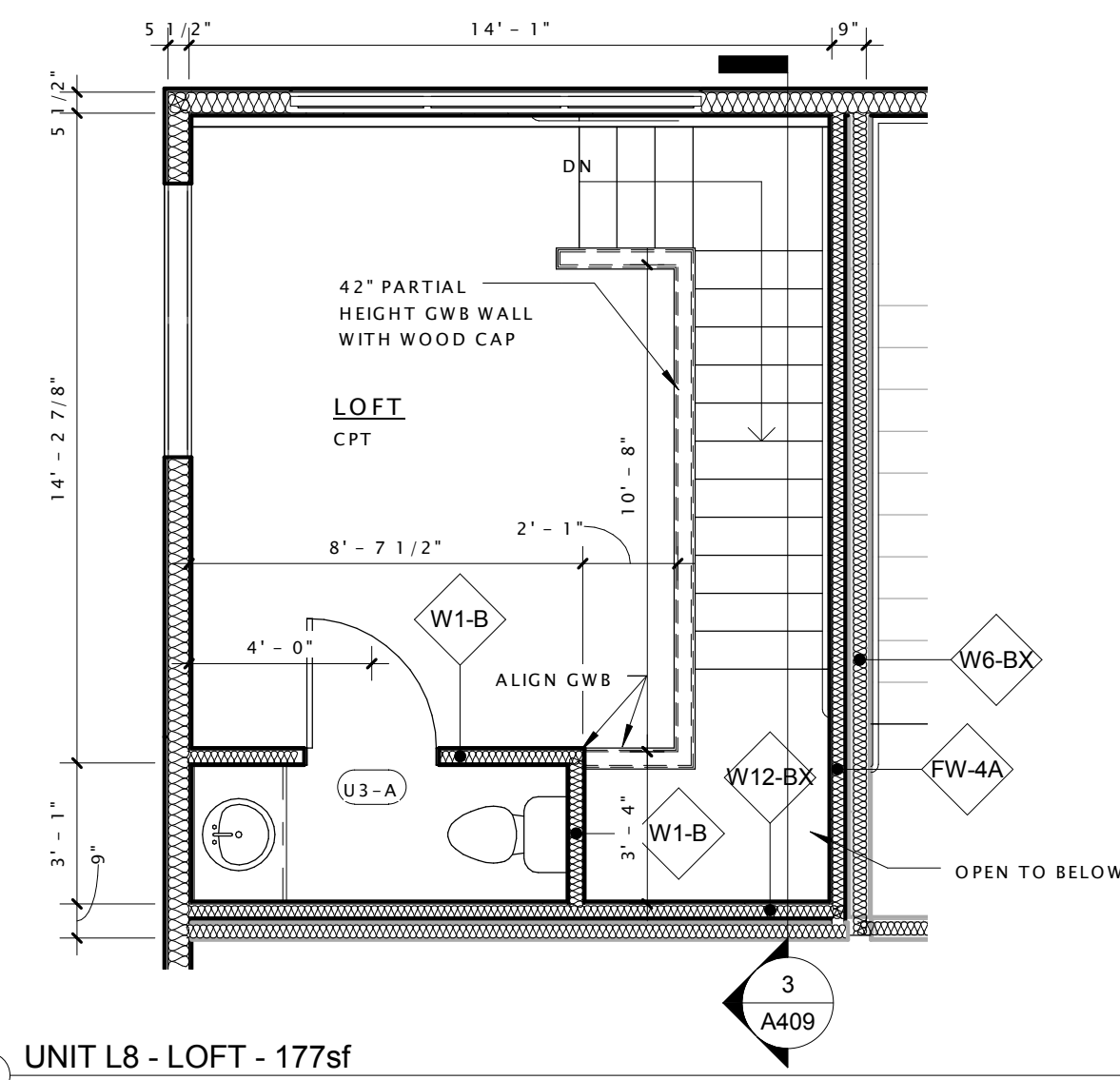
1 UNIT 'L8' - KITCHEN 1
3/8" = 1'-0"



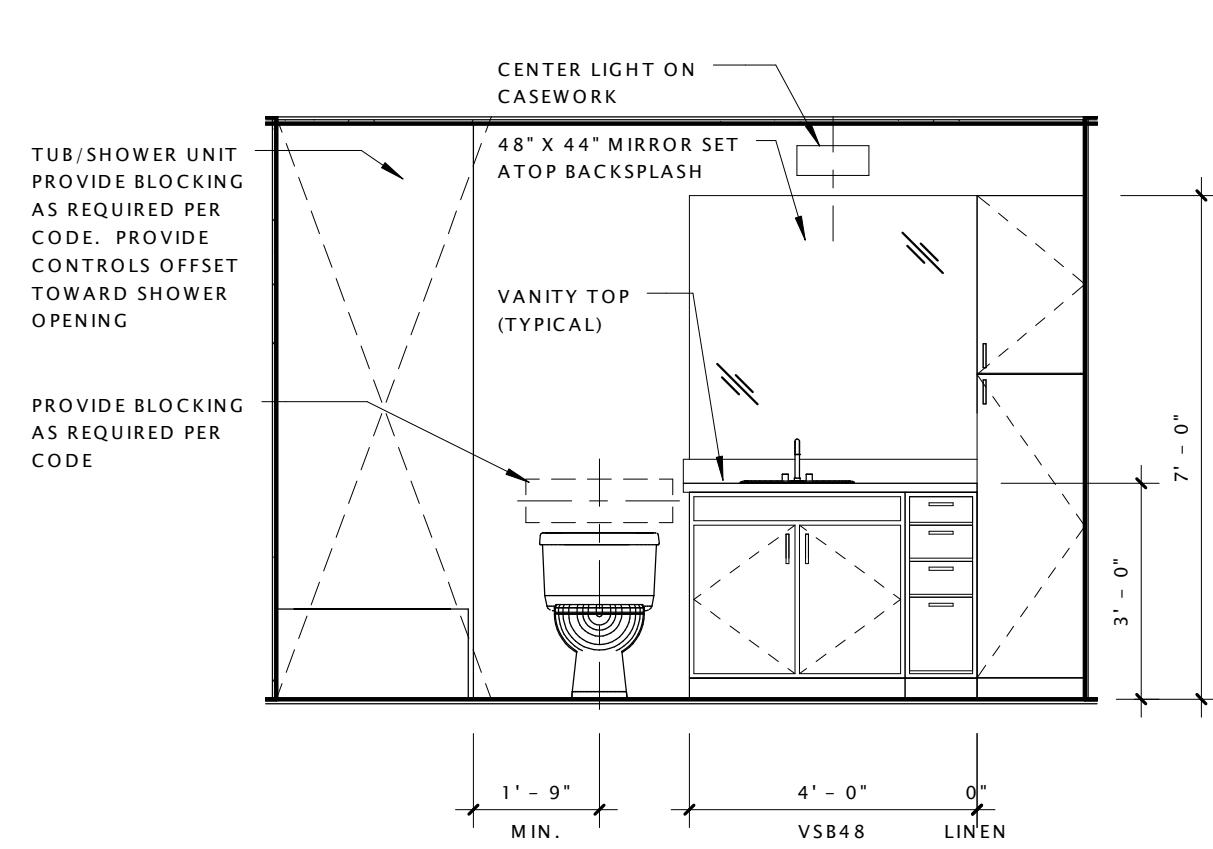
2 UNIT 'L8' - KITCHEN 2
3/8" = 1'-0"



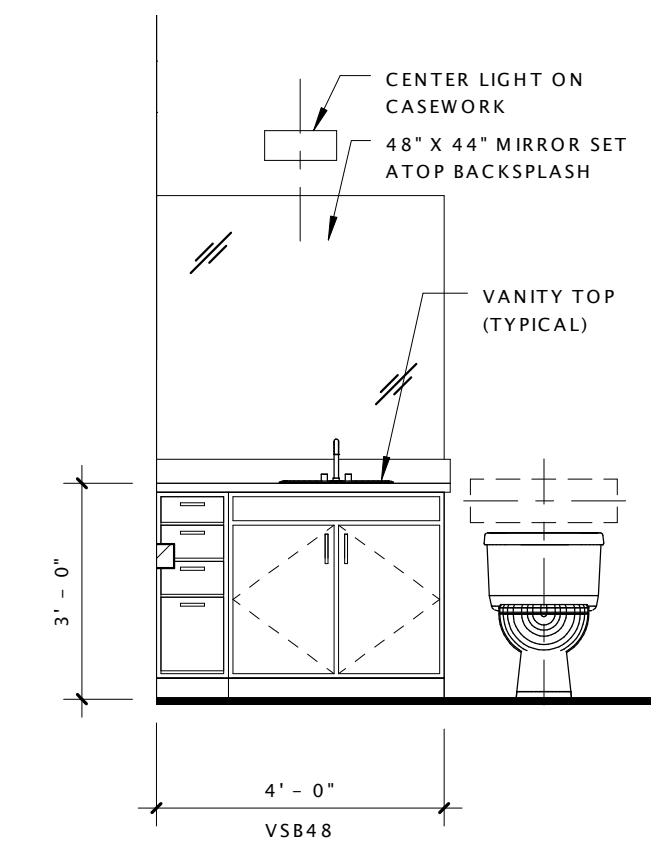
3 UNIT 'L8' - LOFT STAIR
1/4" = 1'-0"



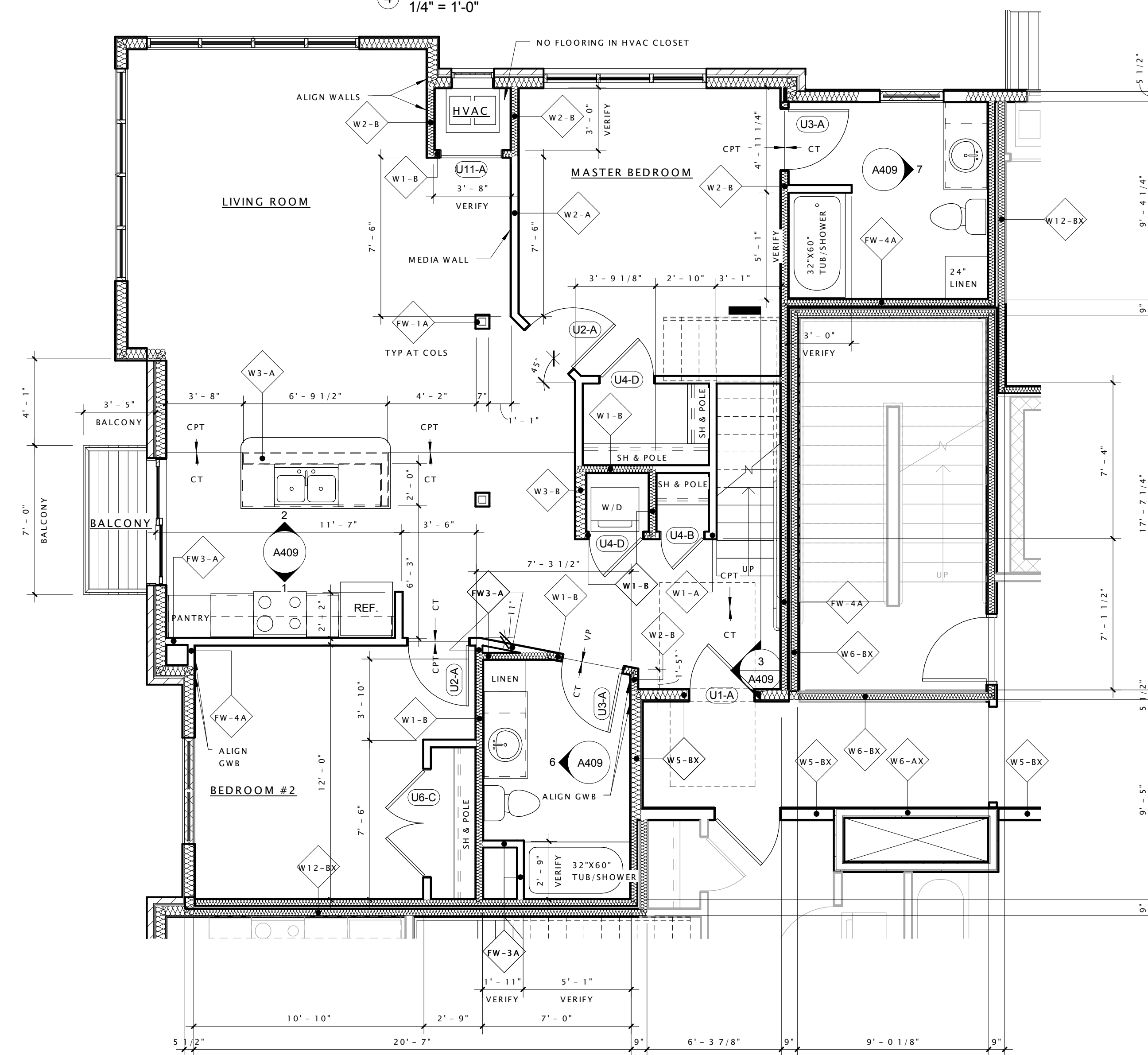
4 UNIT 'L8' - LOFT - 177sf
1/4" = 1'-0"



6 UNIT 'L8' - BATHROOM 1
3/8" = 1'-0"

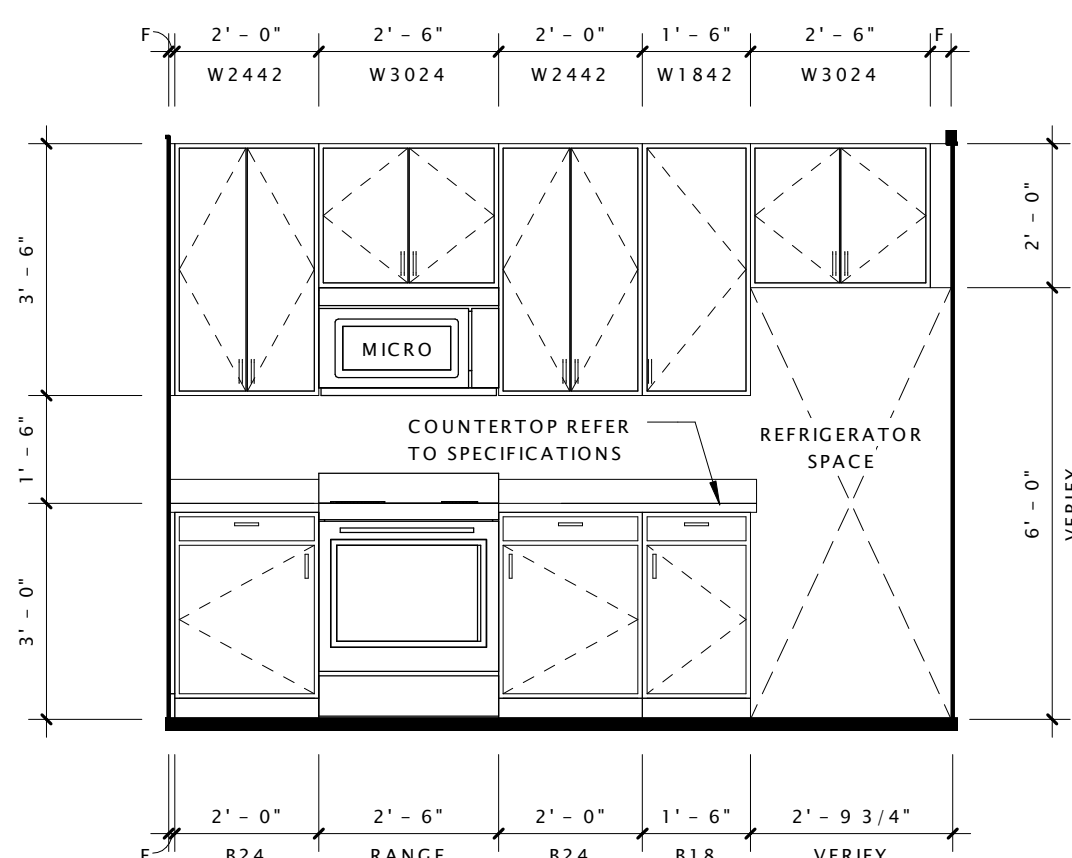


7 UNIT 'L8' - BATHROOM 2
3/8" = 1'-0"

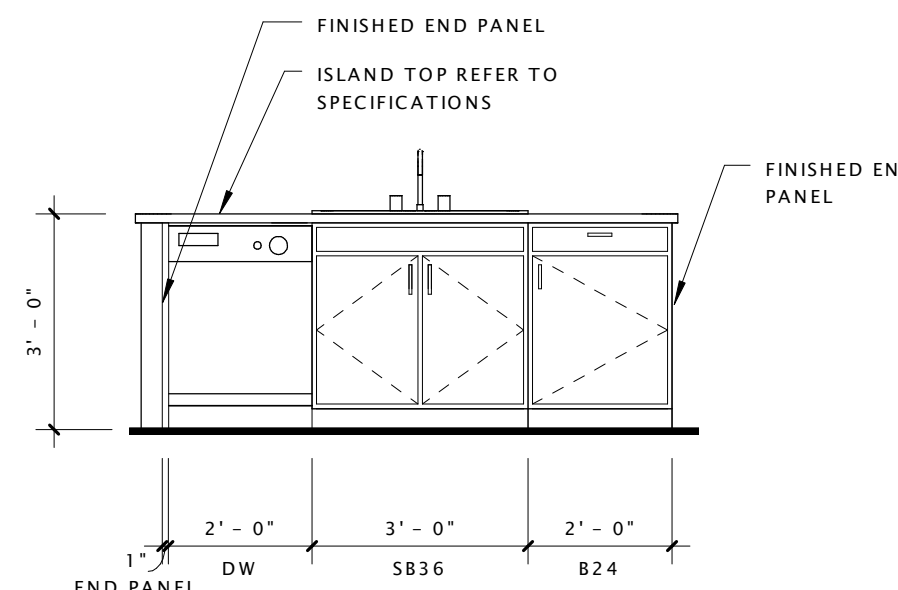


14 UNIT 'L8' - 2 BED - 1180sf + LOFT
1/4" = 1'-0"

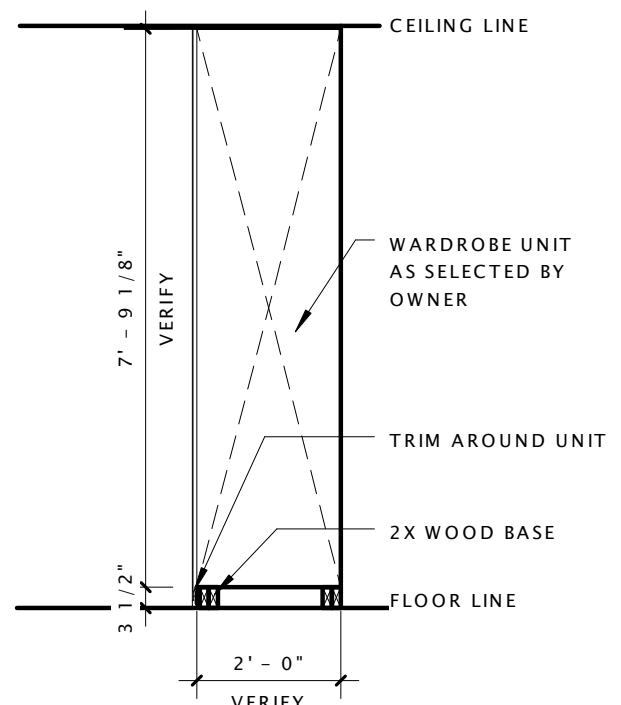
Revision Schedule		
Mark	Description	Date



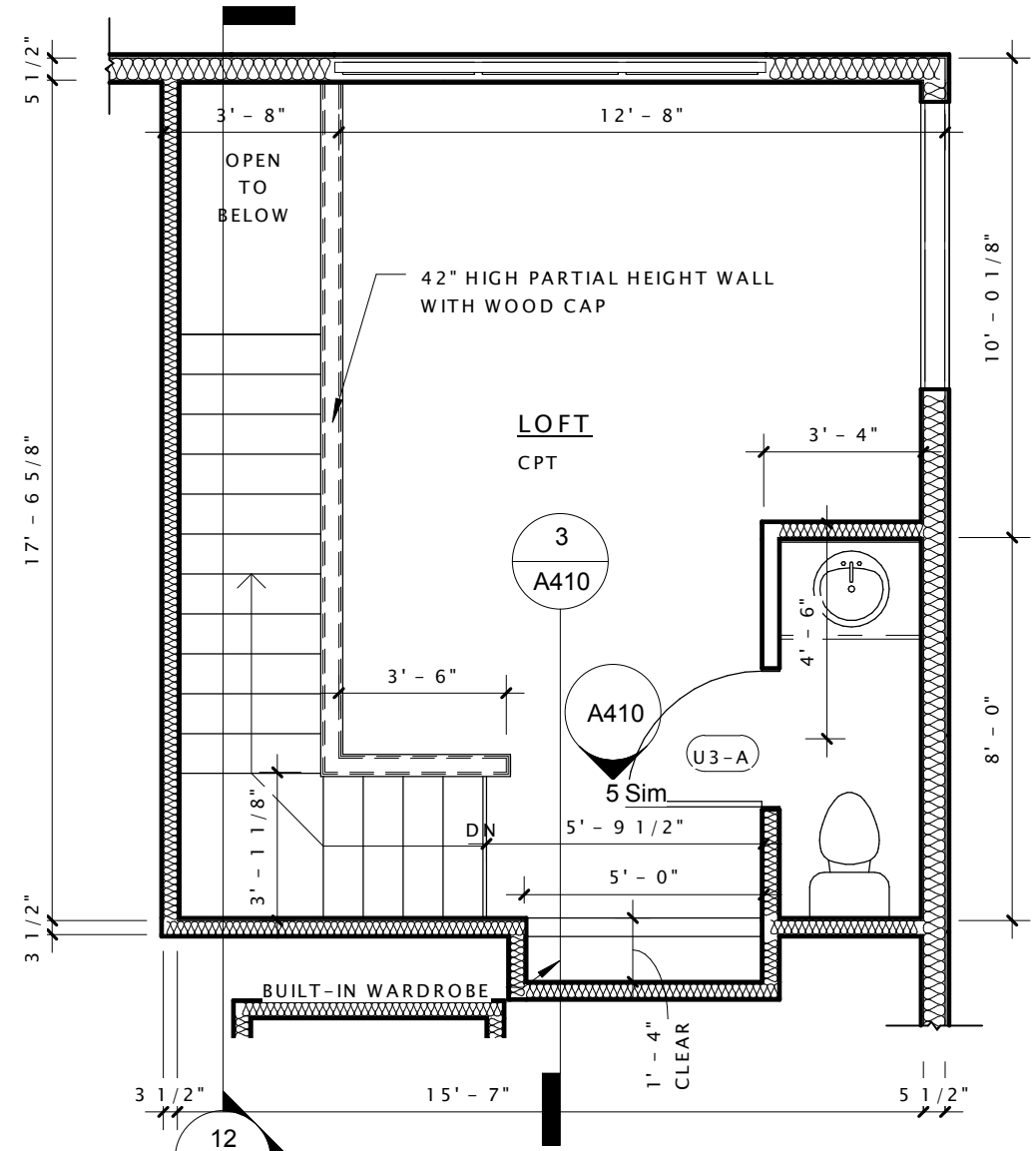
1 UNIT 'L9' - KITCHEN 1
 3/8" = 1'-0"



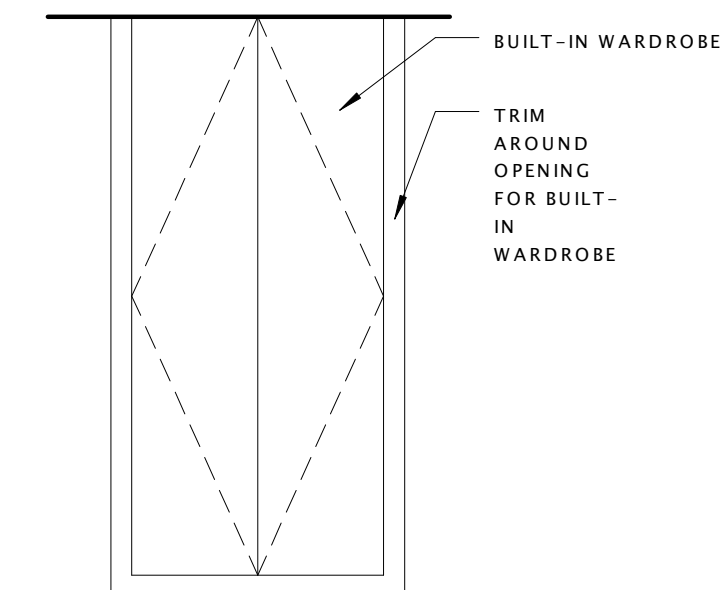
2 UNIT 'L9' - KITCHEN 2
 3/8" = 1'-0"



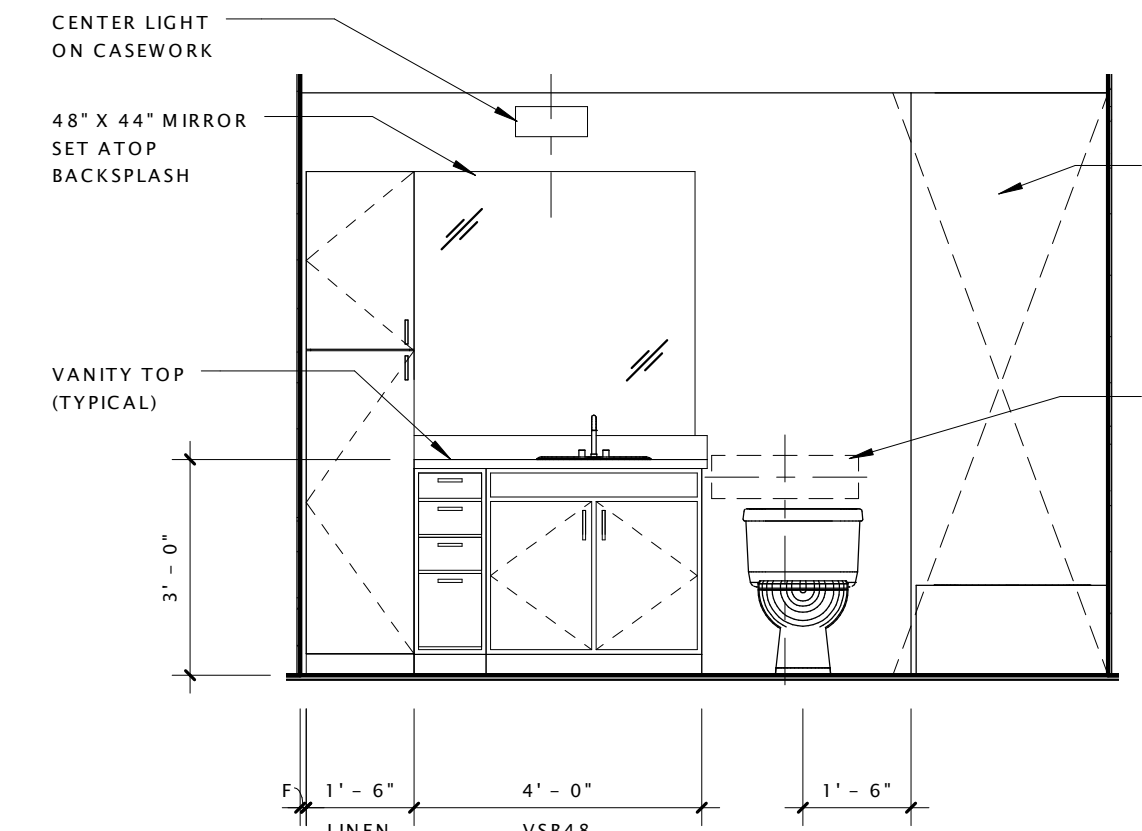
3 BUILT-IN WARDROBE SECTION
 3/8" = 1'-0"



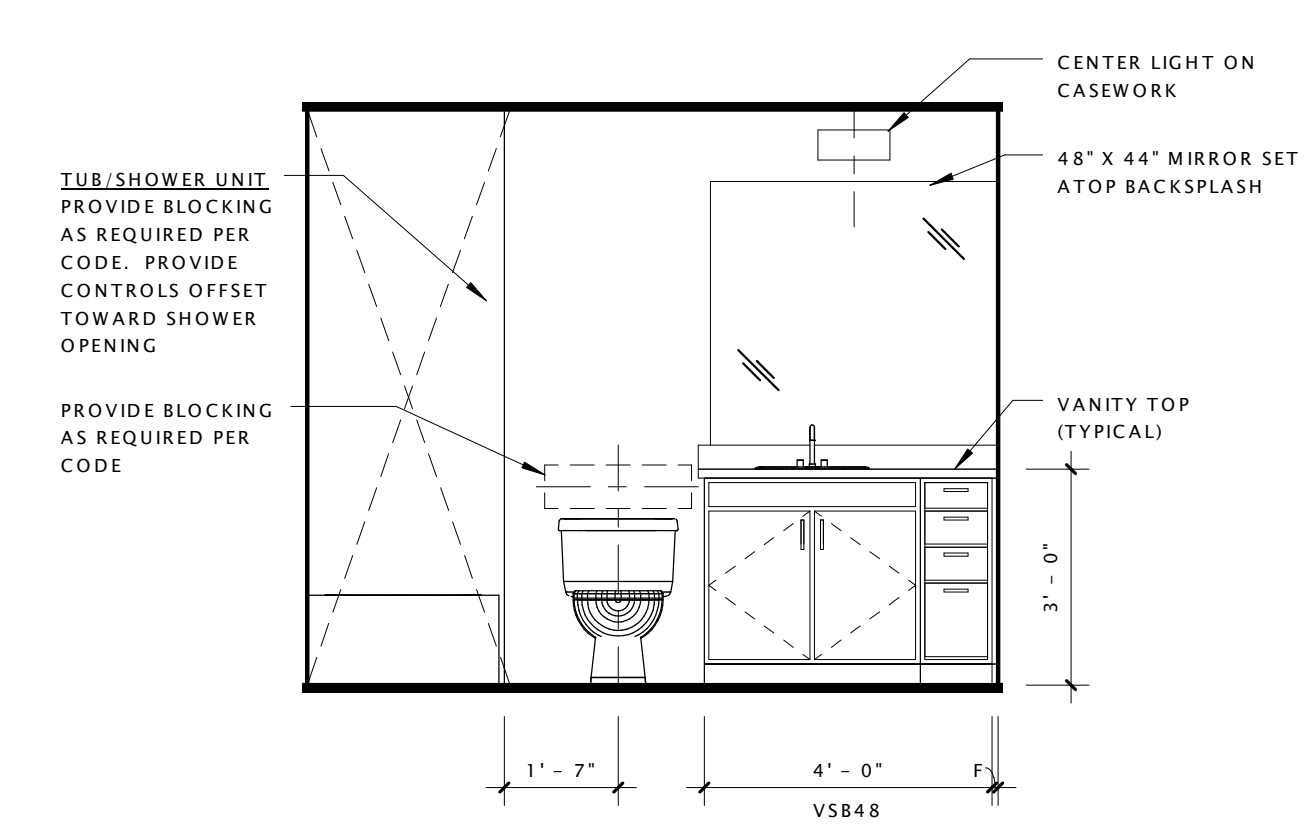
4 UNIT L9 - LOFT - 208sf
 1/4" = 1'-0"



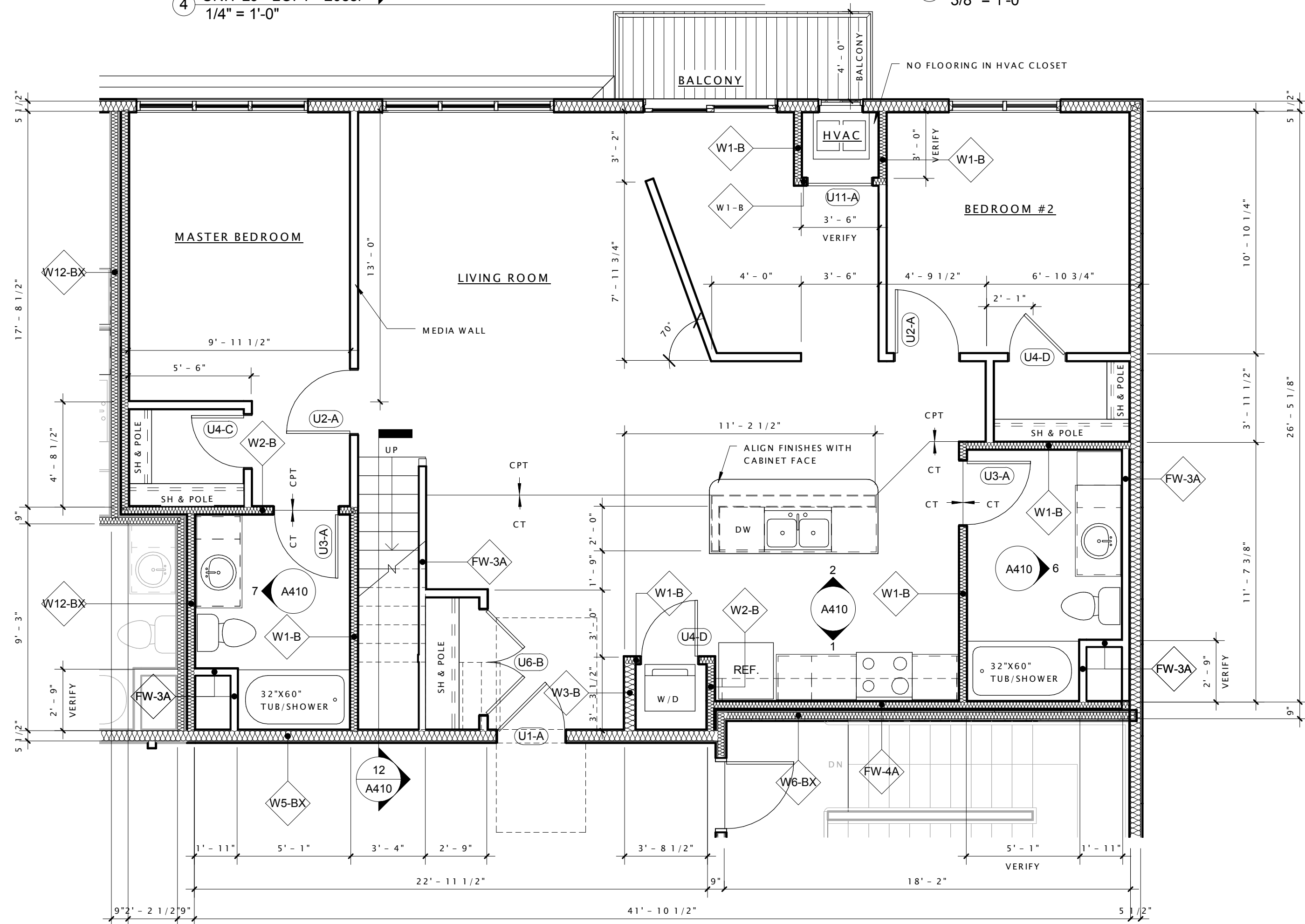
5 BUILT-IN WARDROBE
 3/8" = 1'-0"



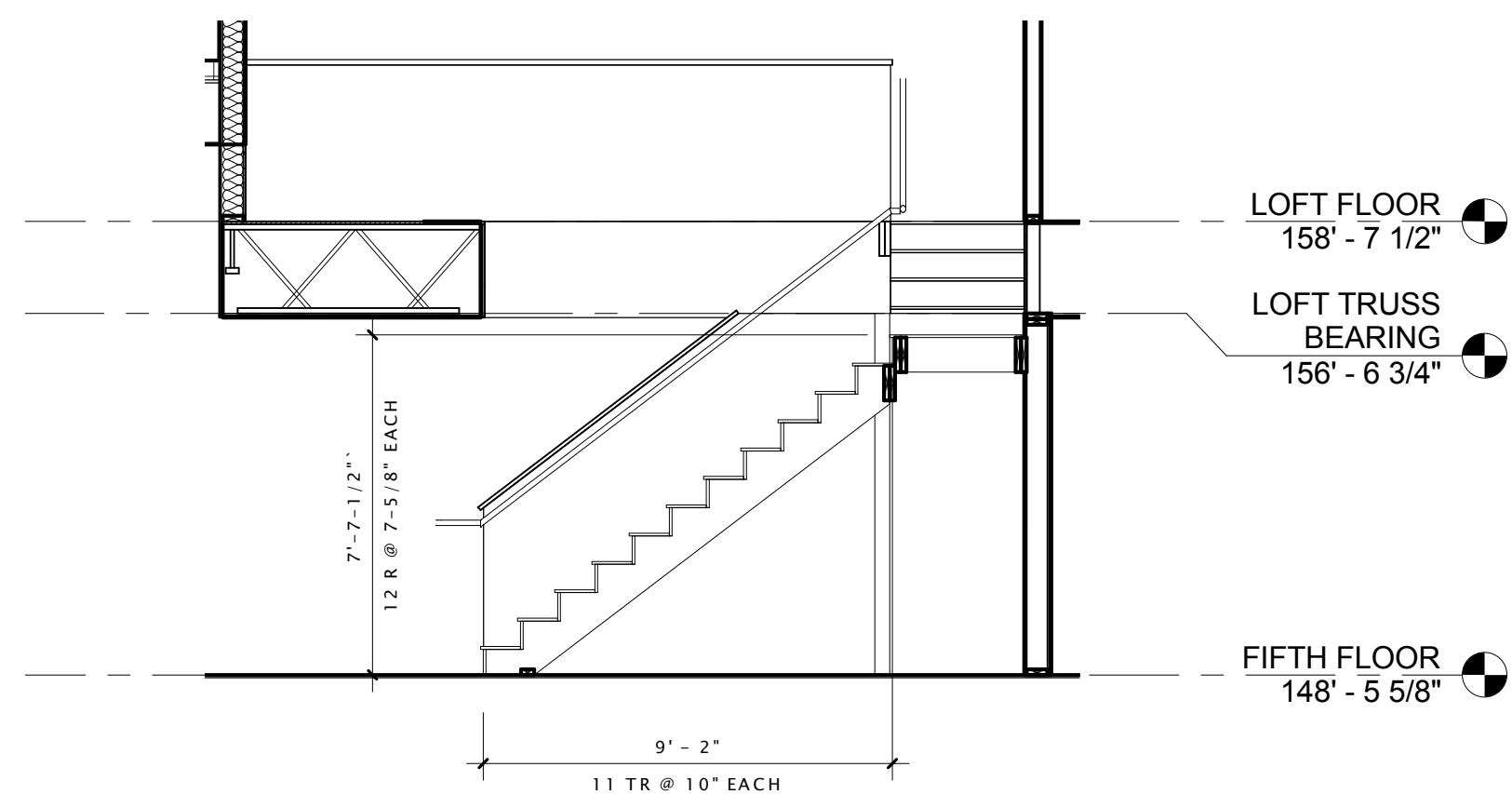
6 UNIT 'L9' - BATHROOM 1
 3/8" = 1'-0"



7 UNIT 'L9' - BATHROOM 2
 3/8" = 1'-0"



14 UNIT L9 - 2 BED - 948sf + LOFT
 1/4" = 1'-0"



12 UNIT 'L9' - LOFT STAIR
 1/4" = 1'-0"

DATE OF ISSUANCE May 14, 2014

Revision Schedule		
Mark	Description	Date

SHEET TITLE

ENLARGED UNIT
 PLANS

SHEET NUMBER

A410