

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: April 30, 2014
UDC MEETING DATE: May 7, 2014

Action Requested
 Informational Presentation
 Initial Approval and/or Recommendation
 Final Approval and/or Recommendation

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 448 South Park Street

ALDERMANIC DISTRICT: District 13

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
Joseph McCormick JLA Architects + Planners
101 North Mills Street 2418 Crossroads Drive - Suite 2300
Madison, Wisconsin 53715 Madison, Wisconsin 53718
Contact: Joseph Lee

CONTACT PERSON: Joseph Lee (JLA Architects + Planners)

Address: 5325 Wall Street - Suite 2700
Madison, Wisconsin 53718
Phone: 608.241.9500
Fax: _____
E-mail address: jlee@jla-ap.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Community Development (PCD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Residential Development (PRD)
 New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 School, Public Building or Space (Fee may be required)
 New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



JOSEPH LEE + ASSOCIATES, LLC
2418 Crossroads Drive – Suite 2300
Madison, Wisconsin 53718
608.241.9500

Urban Design Commission
c/o Mr. Al Martin
215 Martin Luther King Jr., Blvd.
Madison, WI 53703

April 30, 2014

Re: Park & Drake Mixed Use Development
Urban Design Commission

Mr. Martin,

Please find enclosed the following requested information for the Park & Drake Mixed-Use Development:

- Exterior elevations showing exterior materials, louvers, windows and metal roof. Exterior light fixtures shown on elevations and plans for reference. Address the use of cement board at corner entry vs metal panel and how it is to be maintained and protected from every day use. Clarification of request to remove horizontal banding at the fifth floor level.

This information is supplemental to the submittal that was made on October 31, 2012. As we have discussed, please add this project to the next Urban Design Commission Meeting – scheduled for May 7, 2014.

Sincerely,

Joseph Lee & Associates, LLC

By: Joseph M. Lee, AIA

It's: Principal

c: JLA File

shall include the name of the project, address, and applicant. Applicants unable to provide the materials electronically should contact the Secretary of the Urban Design Commission at 267-8740 for assistance.

An application is required for each Urban Design Commission appearance. For projects also requiring Plan Commission approval, applicants must have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. Applicants are strongly encouraged to meet with UDC staff prior to preparing an application. Please call (608) 266-4635 to arrange an appointment.

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF, or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City's Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

All application fees shall be included with the application. Make check payable to City Treasurer, Madison, Wisconsin.

PARK & DRAKE MIXED-USE BUILDING
444 South Park Street (Retail) / 902 Drake Street
(Apartments)
Madison, Wisconsin 53715

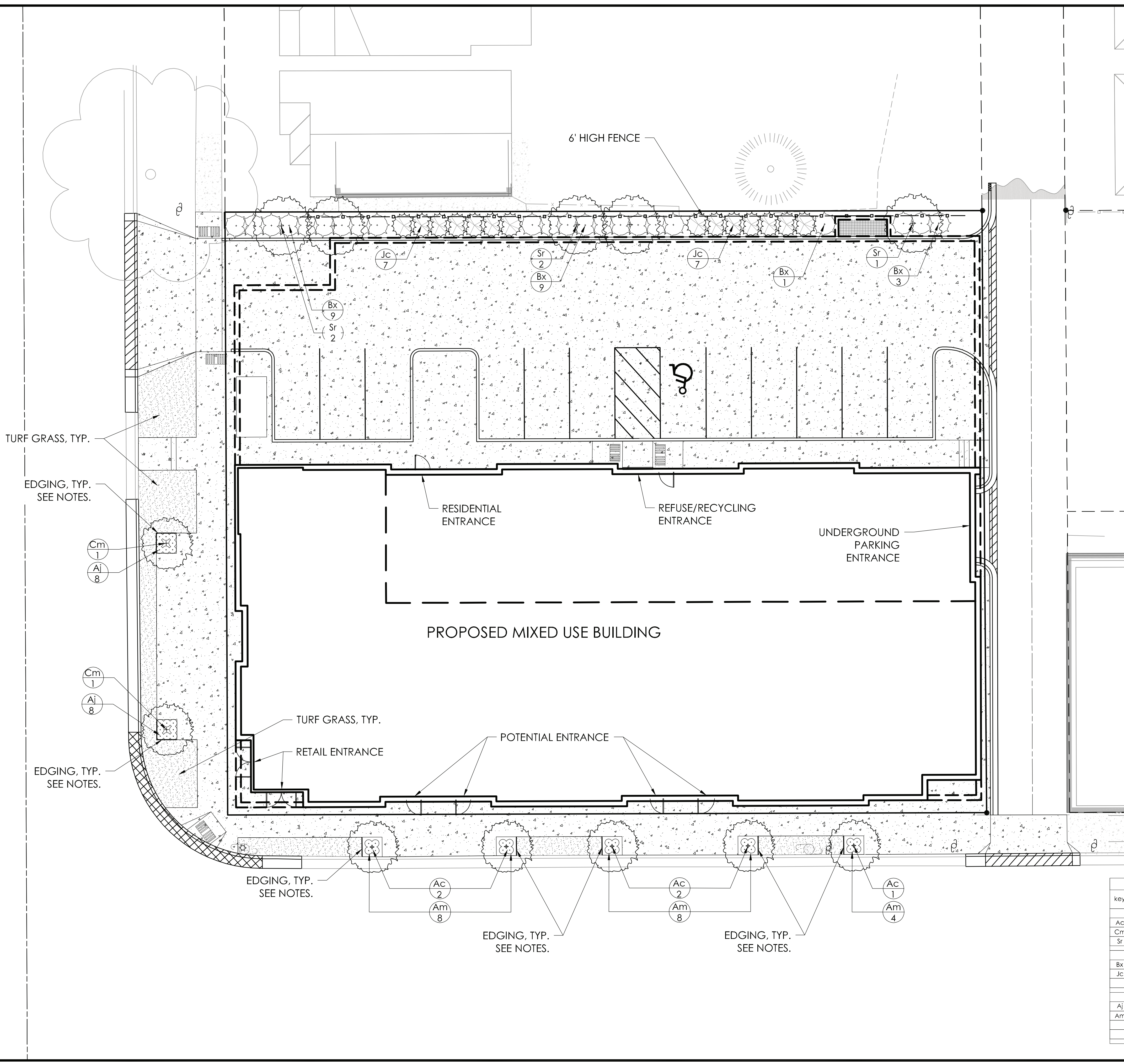


city of madison udc submittal

JLA
architects

JLA PROJECT NUMBER: 12-0718-01

April 30, 2014



- GENERAL NOTES:**
1. All plantings shall conform to quality requirements as per ANSI Z60.1.
 2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
 3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
 4. All disturbed areas, unless otherwise noted, and areas labeled 'TURF GRASS' to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
 5. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
 6. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
 7. Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. Do not mound mulch against base of plants. Perennial beds to be mulched to 1" depth.
 8. **EDGING** to be commercial grade steel landscape edging, 12 ga. x 4" ht. Green powdercoat finish. Install as indicated on plan.

LANDSCAPING REQUIREMENTS: CITY OF MADISON

I. NUMBER OF TREES REQUIRED:
 NUMBER OF PARKING STALLS: 14
 TOTAL SQUARE FOOTAGE OF STORAGE AREA/300 SF: 0
 NUMBER OF CANOPY SHADE TREES REQUIRED: **1 TREE**

II. NUMBER OF LANDSCAPE POINTS REQUIRED:
 POINTS REQUIRED FOR PARKING STALLS: 69
 POINTS REQUIRED FOR LOADING AREAS: 0
 NUMBER OF POINTS REQUIRED: **69**

element	point value		credits	
	point value	quantity	points achieved	points
Canopy Tree: 2"-2.5"	35	0	0	0
Deciduous Shrub	2	0	0	0
Evergreen Shrub	3	36	108	0
Decorative Wall or Fence (per 10 LF)	5	0	0	0
Earth Berm (per 10 LF)				
Avg. Height 30"	5	0	0	0
Avg. Height 15"	2	0	0	0
Evergreen Trees: 3' height minimum	15	0	0	0
Canopy Tree or Small Tree 1.5"-2" cal. (i.e. Crab, Hawthorn)	15	5	75	0
Total Points Provided:				183

key	qty	botanical name	common name	planting size	root cond.	mature size (h x w)
Low Canopy Trees						
Ac	5	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	6' ht.	B&B	12' x 10'
Cm	2	<i>Cornus mas</i>	Corneliancherry Dogwood	6' ht.	B&B	20' x 12'
Sr	5	<i>Syringa reticulata</i> 'Ivory Pillar'	Ivory Pillar Tree Lilac	6' ht.	B&B	20' x 12'
Shrubs						
Bx	22	<i>Buxus x 'Glencoe'</i>	Chicagoland Green Boxwood	18" ht.	cont.	3' x 5'
Jc	14	<i>Juniperus chinensis</i> 'Hook's'	Hook's Juniper	4' ht.	cont.	14' x 4'
Perennials						
Aj	16	<i>Ajuga 'Bronze Beauty'</i>	Bronze Beauty Ajuga	#1	cont.	6" x 18"
Am	20	<i>Amsonia 'Blue Ice'</i>	Blue Ice Amsonia	#1	cont.	18" x 20"

vierbicher
 engineers | architects
 planners

REEDSBURG - MADISON - WAUBesaun
 999 F. ...
 Phone: (608) 824-5232 Fax: (608) 824-5233

LANDSCAPE PLAN

PARK & DRAKE MIXED USE BUILDING
 914 DRAKE STREET & 448 S. PARK STREET
 LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS

NO.	DATE	REMARKS
1	10-02-12	SITE PLAN SUBMITTAL
2	10-30-12	REVISED SITE PLAN
3	07-11-13	REVISED SITE PLAN

SCALE AS SHOWN

DATE 10/03/12

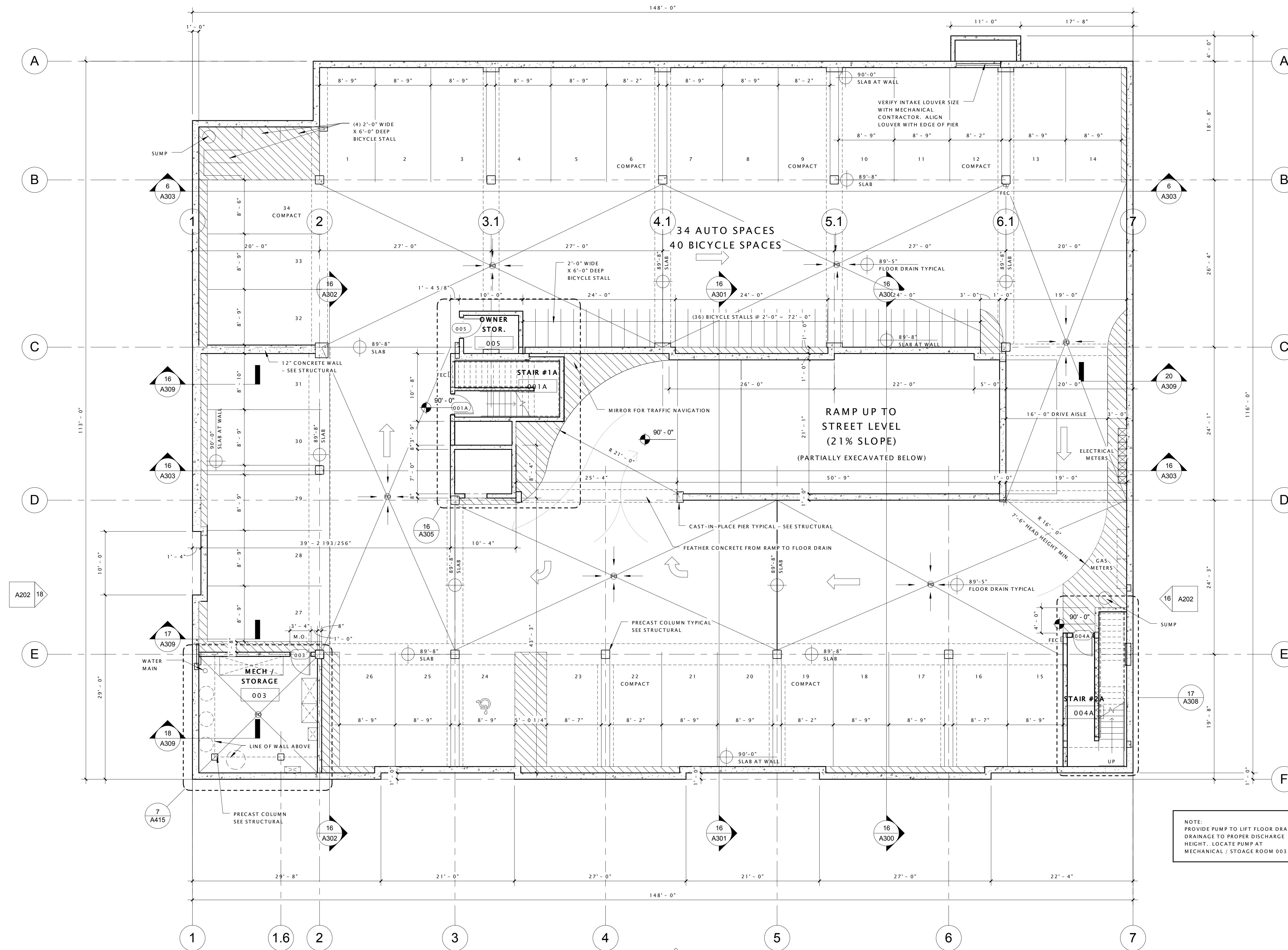
DRAFTER SWN/ACAR

CHECKED TSCH

PROJECT NO. 128054

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1.0



NOTE:
PROVIDE PUMP TO LIFT FLOOR DRAIN
DRAINAGE TO PROPER DISCHARGE
HEIGHT. LOCATE PUMP AT
MECHANICAL / STORAGE ROOM 003

16 LOWER LEVEL PLAN
1/8" = 1'-0"

DATE OF ISSUANCE April 30, 2014

Revision Schedule		
Mark	Description	Date
1	AD1	140430

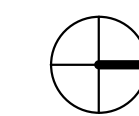
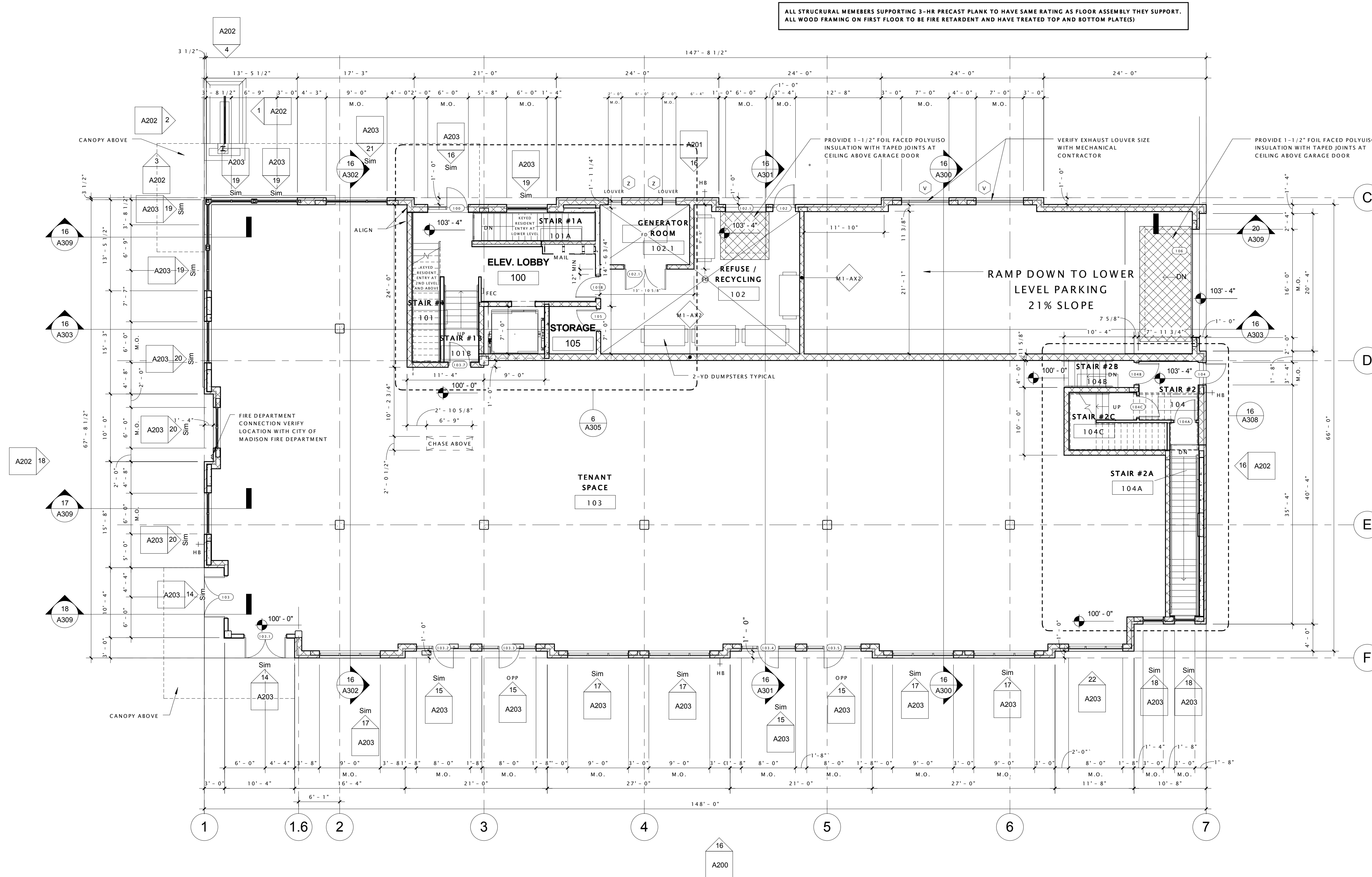
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LOWER LEVEL PLAN

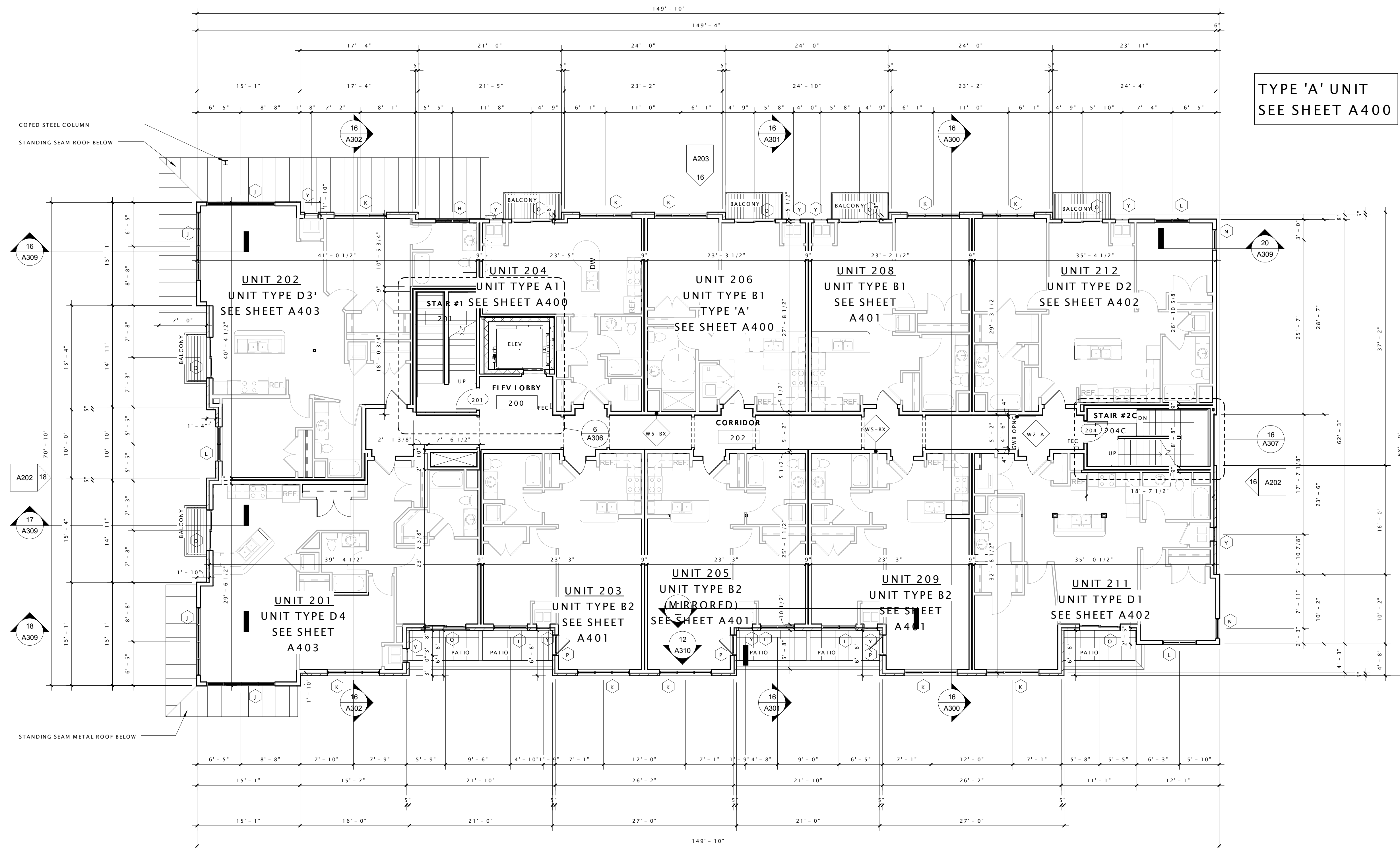
SHEET NUMBER

A100

Revision Schedule		
Mark	Description	Date
1	AD1	140430



Type Mark	Description	Width	Height	Manufacturer	Model	Window Frame Color	Type Comments
A	FIBERGLASS TRANSOM WINDOW	9' - 0"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
B	FIBERGLASS TRANSOM WINDOW	7' - 8"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
C	FIBERGLASS TRANSOM WINDOW	5' - 0"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
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O	2-Panel Sliding Patio Door	6' - 0"	8' - 0"	WEATHERSHIELD WINDOWS AND DOORS	2-6080	BRONZE	No Grids
P	1-Panel Swing Patio Door	3' - 0"	8' - 0"	WEATHERSHIELD WINDOWS AND DOORS	1-3080	BRONZE	No Grids
V	ALUMINUM MECHANICAL LOUVER	7' - 0"	4' - 0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Y	HVAC Louver	2' - 0"	4' - 0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Z	ALUMINUM MECHANICAL LOUVER	2' - 0"	2' - 0"	TBD			



TYPE 'A' UNIT
SEE SHEET A400

16 SECOND FLOOR PLAN
1/8" = 1'-0"



JOSEPH LEE + ASSOCIATES
3325 wall street - suite 2700
madison, wisconsin 53718
608.241.9500

JLA PROJECT NUMBER: 12-0718-01



JD McCormick
Companies

PARK & DRAKE
MIXED-USE BUILDING

DATE OF ISSUANCE April 30, 2014

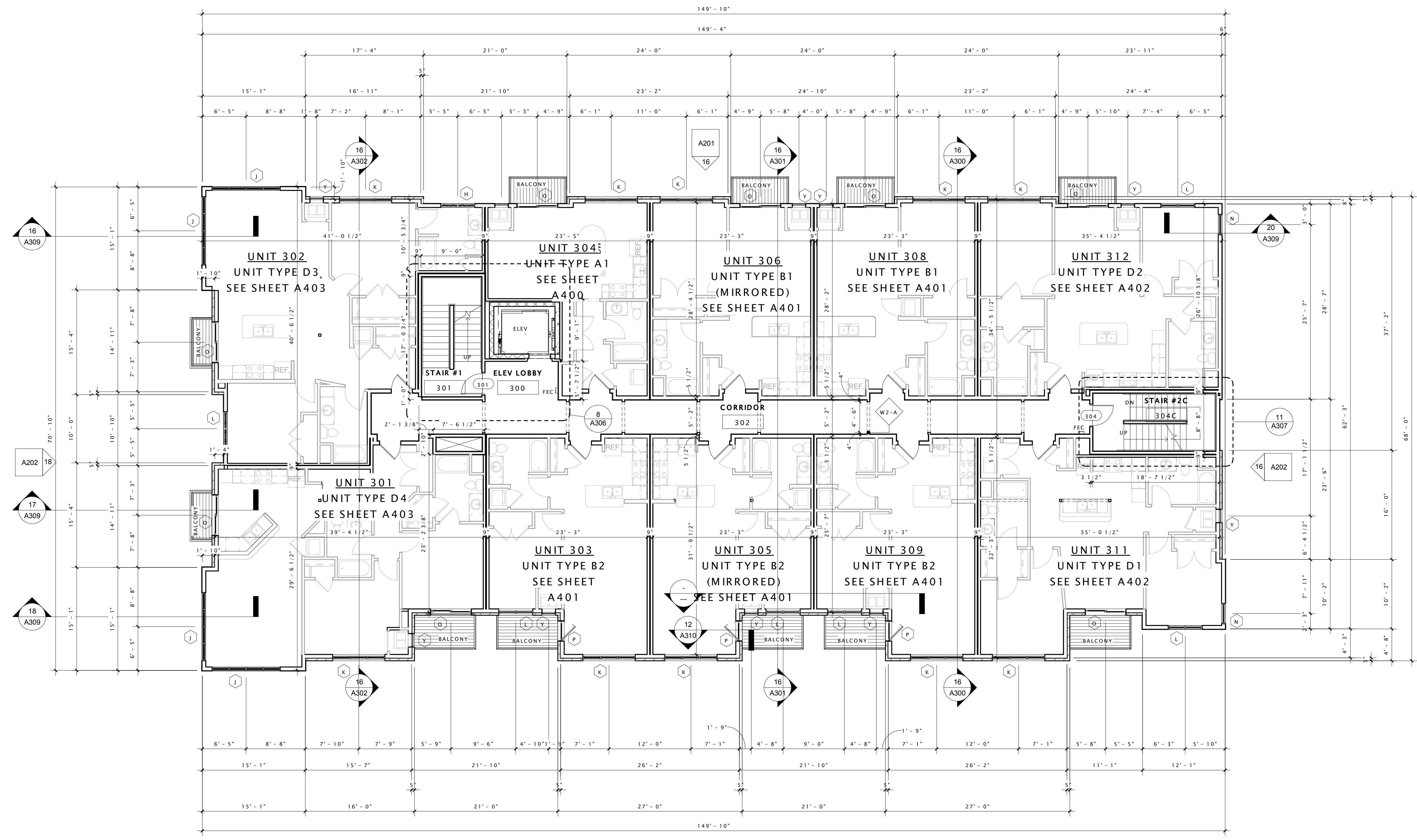
Revision Schedule		
Mark	Description	Date
1	AD1	140430

SHEET TITLE
SECOND FLOOR PLAN

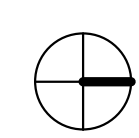
SHEET NUMBER
A102

Type Mark	Description	Width	Height	Manufacturer	Model	Window Frame Color	Type Comments
A	FIBERGLASS TRANSOM WINDOW	9' - 0"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
B	FIBERGLASS TRANSOM WINDOW	7' - 8"	2' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
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V	ALUMINUM MECHANICAL LOUVER	7' - 0"	4' - 0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Y	HVAC Louver	2' - 0"	4' - 0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Z	ALUMINUM MECHANICAL LOUVER	2' - 0"	2' - 0"	TBD			

Revision Schedule		
Mark	Description	Date
1	AD1	140430



16 THIRD FLOOR PLAN
1/8" = 1'-0"



Window Schedule							
Type Mark	Description	Width	Height	Manufacturer	Model	Window Frame Color	Type Comments
A	FIBERGLASS TRANSOM WINDOW	9'-0"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
B	FIBERGLASS TRANSOM WINDOW	7'-8"	2'-0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
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 Companies

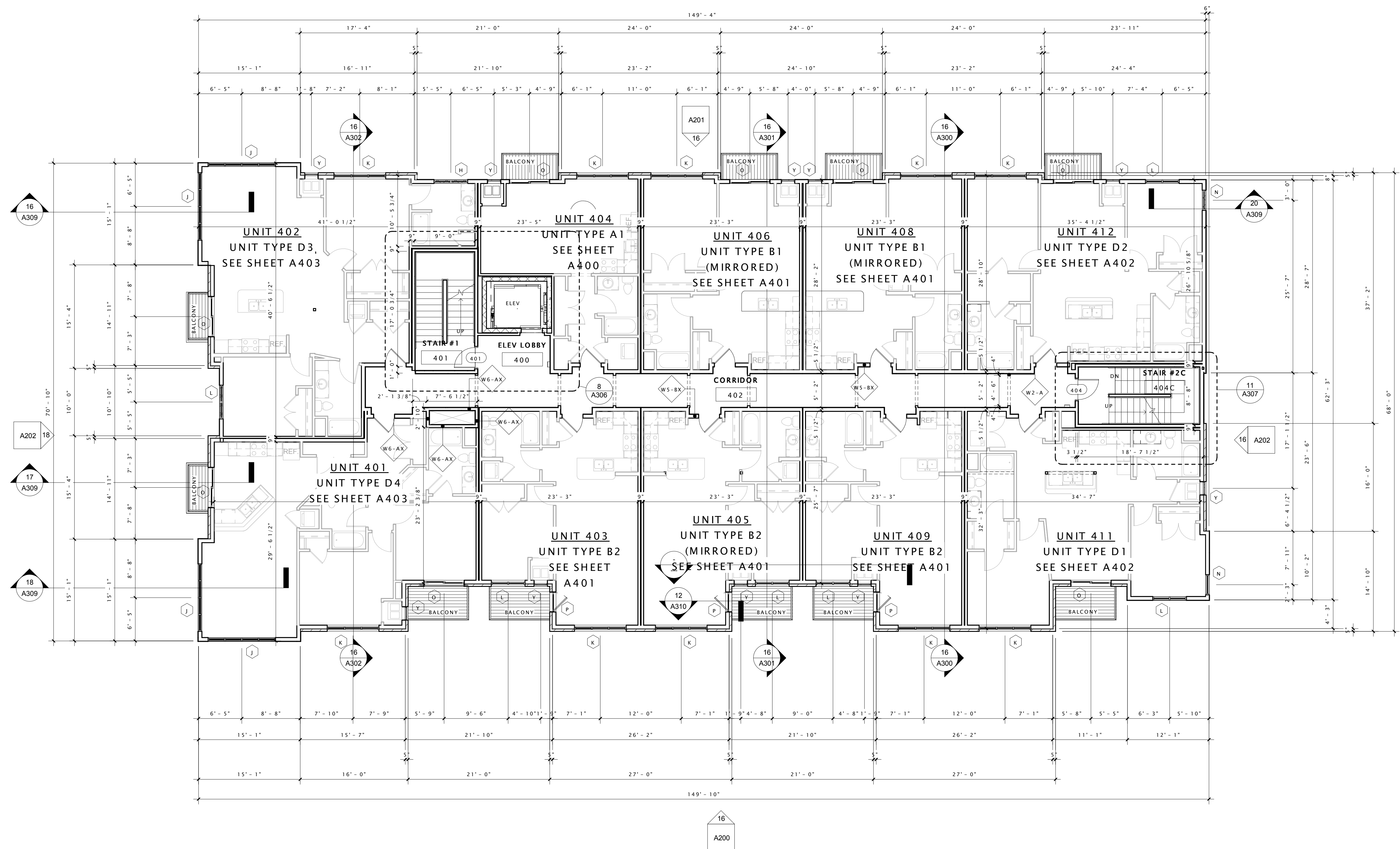
PARK & DRAKE
 MIXED-USE BUILDING

DATE OF ISSUANCE April 30, 2014

Revision Schedule		
Mark	Description	Date
1	AD1	140430

SHEET TITLE
 FOURTH FLOOR PLAN

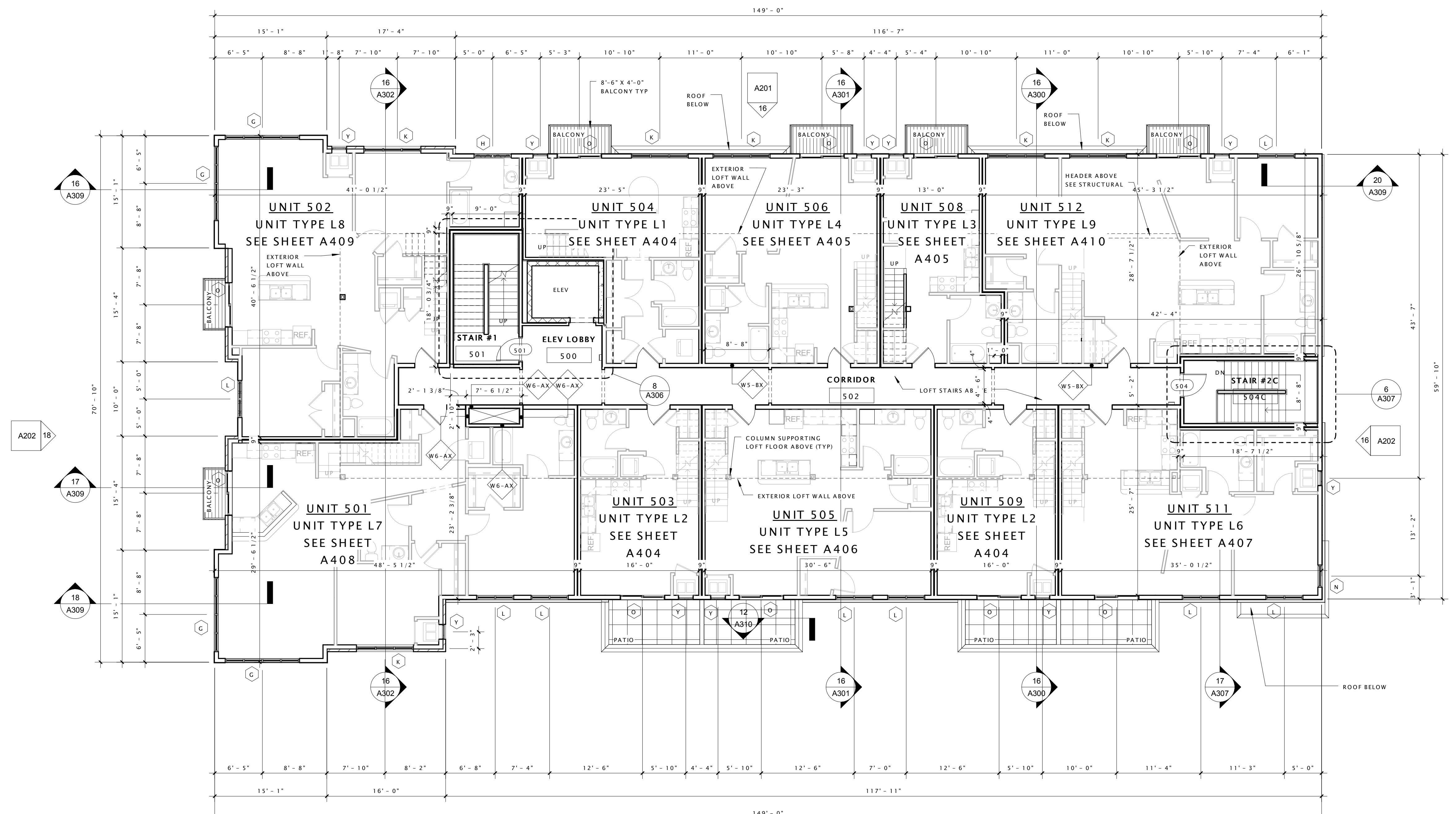
SHEET NUMBER
 A104



16 FOURTH FLOOR PLAN
 1/8" = 1'-0"



Window Schedule							
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16 FIFTH FLOOR PLAN
1/8" = 1'-0"



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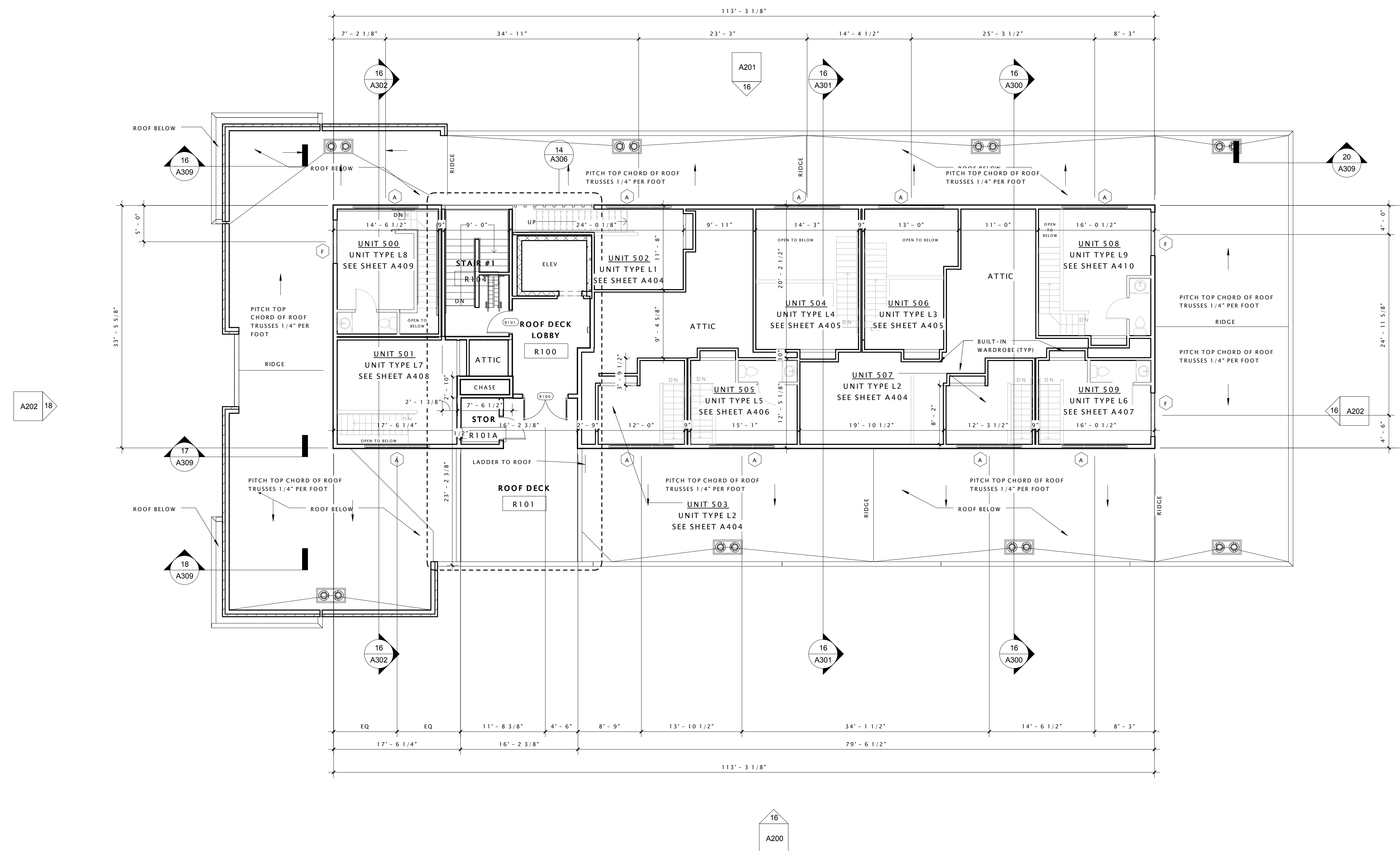
Revision Schedule		
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1	AD1	140430

SHEET TITLE
FIFTH FLOOR PLAN

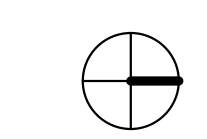
SHEET NUMBER
A105

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M	FIBERGLASS AWNING WINDOW	3' - 0"	2' - 4"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
N	FIBERGLASS AWNING WINDOW	3' - 0"	6' - 0"	WEATHERSHIELD WINDOWS AND DOORS		BRONZE	
O	2-Panel Sliding Patio Door	6' - 0"	8' - 0"	WEATHERSHIELD WINDOWS AND DOORS	2-6080	BRONZE	No Grids
P	1-Panel Swing Patio Door	3' - 0"	8' - 0"	WEATHERSHIELD WINDOWS AND DOORS	1-3080	BRONZE	No Grids
V	ALUMINUM MECHANICAL LOUVER	7' - 0"	4' - 0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Y	HVAC Louver	2' - 0"	4' - 0"	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIALS
Z	ALUMINUM MECHANICAL LOUVER	2' - 0"	2' - 0"	TBD			

Revision Schedule		
Mark	Description	Date
1	AD1	140430

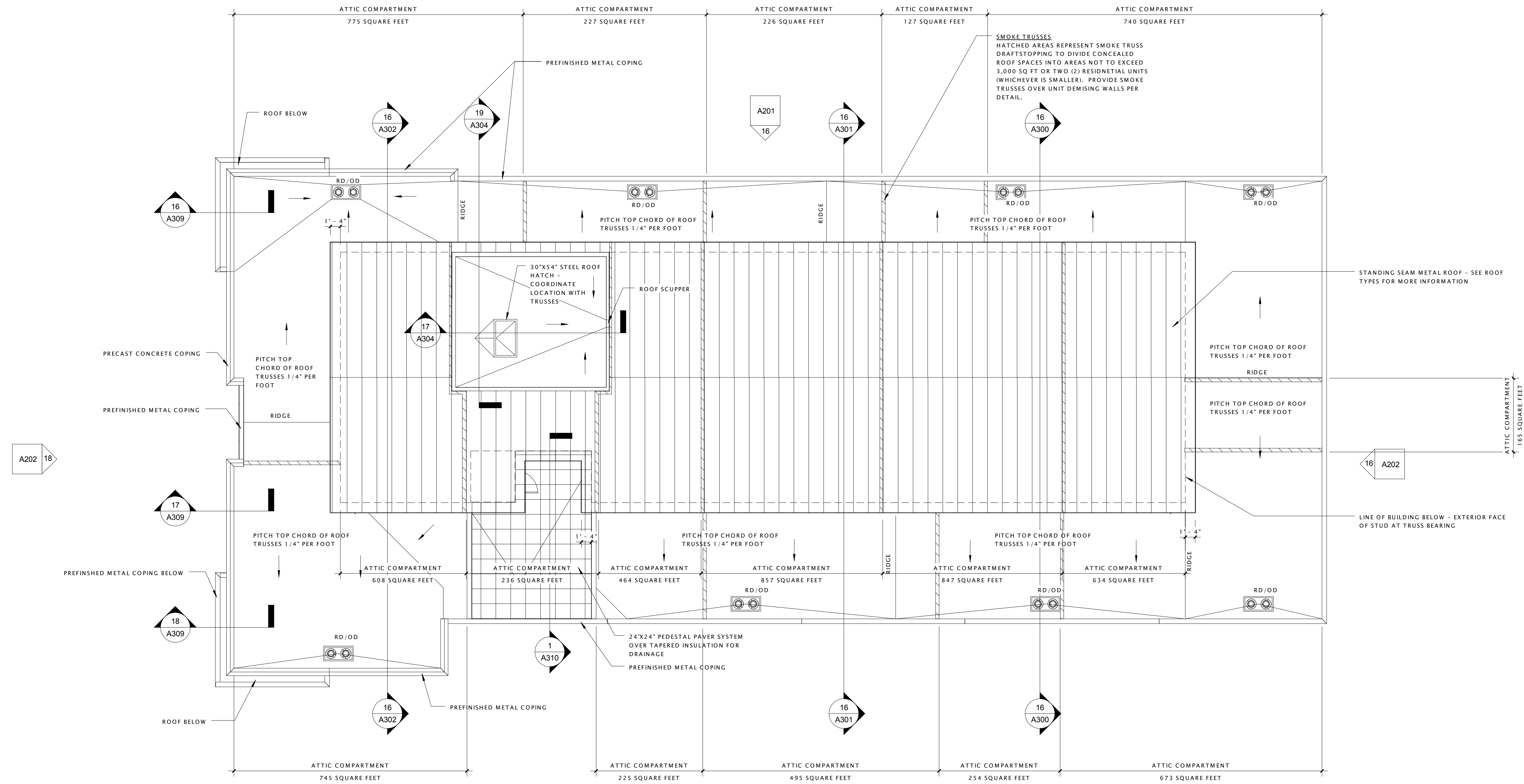


16 LOFT FLOOR PLAN
1/8" = 1'-0"



ROOF NOTES

- 1) ROOF SHALL BE ROOF ASSEMBLY-W6 UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE PITCHED AT 1/4" PER FOOT (MINIMUM) TO PROVIDE ROOF DRAINAGE. SEE SHEET 501 FOR ROOF ASSEMBLY DESCRIPTION.
- 2) PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF TRUSSES & ROOF SHEATHING TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS.
- 3) ROOF DRAINS ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGN/BUILD CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE (1/4" PER FOOT) AND WITH UNIT PLANS TO DETERMINE THE VERTICAL DRAIN PATH.
- 4) CONTRACTOR SHALL PROVIDE INTAKE & EXHAUST ROOF VENTS TO PROVIDE 1 S.F. OF VENT AREA PER 300 S.F. OF ATTIC AREA (PER ATTIC COMPARTMENT). OWNERS DESIGN/BUILD MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
- 5) OVERHANGS SHALL BE AS SHOWN ON ROOF PLAN.
- 6) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADED AREAS ON ROOF PLAN):
ALL EAVES:
 RUN FROM EDGE OF EAVE TO 3'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.
ALL VALLEYS:
 RUN FROM VALLEY TO 3'-0" (MIN.) EACH SIDE OF VALLEY. INSTALL UNDER METAL FLASHINGS AT VALLEYS.
ALL ROOF/WALL INTERSECTIONS:
 RUN 3'-0" (MIN.) HORIZONTALLY FROM FACE OF WALL RUN 1'-6" (MIN.) VERTICALLY UP FACE OF WALL.
ALL ROOF PENETRATIONS:
 RUN 3'-0" (MIN.) FROM PENETRATIONS
- 7) PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFTSTOP SHALL EXTEND FULLY INTO SOFFITS AND ALL PENETRATIONS SHALL BE CAULKED. SEE 5/A104 FOR ADDITIONAL INFORMATION.
- 8) PROVIDE METAL FLASHING AT ALL VALLEYS AND ALL ROOF/WALL INTERSECTIONS.
- 9) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS. DESIGN/BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
- 10) VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/BUILD MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- 11) ALL DRYERS SHALL BE VENTED WITH U.L. CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN/VENT IF VENT RUN EXCEEDS 25'-0".
- 12) CARE MUST BE TAKEN TO ENSURE THAT ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.



16 ROOF PLAN
1/8" = 1'-0"

DATE OF ISSUANCE April 30, 2014

Revision Schedule		
Mark	Description	Date
1	AD1	140430

SHEET TITLE
ROOF PLAN

SHEET NUMBER
A107

Revision Schedule		
Mark	Description	Date

EXTERIOR MATERIAL LEGEND						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTE
1	STANDING SEAM METAL ROOF	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	TBD TO MATCH WINDOW FINISH	
2	PREFINISHED METAL FASCIA	TBD	PREFINISHED ALUMINUM	SEE PLANS	TBD - TO MATCH STANDING SEAM ROOF FINISH	
4	PREFINISHED METAL COPING	TBD	PREFINISHED ALUMINUM	SEE PLANS	TBD - TO MATCH ADJACENT FIBER CEMENT SIDING	
5	FIBER CEMENT PANELS	JAMES HARDIE	FIBER CEMENT	10'x4' MAXIMUM	IRON GREY	
6	HORIZONTAL FIBER CEMENT SIDING	JAMES HARDIE	FIBER CEMENT - CEDARMILL	5" EXPOSURE	TBD - TO MATCH MASONRY -2	
7	MASONRY - 1	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	RED IRONSPOT VELOUR	
8	INSET MASONRY - 1	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	RED IRONSPOT VELOUR	
9	SOLDIER COURSE MASONRY - 1	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	RED IRONSPOT VELOUR	
10	MASONRY - 2	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	DESERT IRONSPOT DARK VELOUR	
11	SOLDIER COURSE MASONRY - 2	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	DESERT IRONSPOT DARK VELOUR	
12	MASONRY - 3	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	GOLDEN BUFF VELOUR	
13	SOLDIER COURSE MASONRY - 3	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	GOLDEN BUFF VELOUR	
14	PRECAST CONCRETE BANDING	ROCKCAST - OR EQUAL	PRECAST CONCRETE - SMOOTH FACE - SEE MASONRY PROFILES	SEE PLANS	TBD	
15	PRECAST CONCRETE SILL	ROCKCAST - OR EQUAL	PRECAST CONCRETE - SMOOTH FACE - SEE MASONRY PROFILES	SEE PLANS	TBD	
16	RESIDENTIAL HVAC LOUVER / GRILLE	TBD	EXTRUDED ALUMINUM	TBD	PAINT TO MATCH ADJACENT MATERIALS	
17	BALCONY RAILING	KANE STERLING - OR EQUAL	ALUMINUM	SEE PLANS	BRONZE	
18	BALCONY / DECK	TREX - OR EQUAL	'TRASCEND' COMPOSITE	SEE PLANS	TBD	
19	STANDARD ALUMINUM CHANNEL - DECK	TBD	ALUMINUM	12" HIGH - 3" FLANGE	POWDER COAT TO MATCH WINDOW FINISH	
20	STANDING SEAM CANOPY	TBD	TBD	SEE PLANS	TBD - TO MATCH WINDOW FINISH	
21	PREFINISHED AWNING	TBD	TBD	TBD	TBD - TO MATCH WINDOW FINISH	
22	PREFINISHED OVERHEAD DOOR	MID-AMERICA - OR EQUAL	VANTAGE SERIES - INSULATED STEEL	SEE DOOR SCHEDULE	BROWN - TO MATCH WINDOW FINISH	
23	FIBERGLASS WINDOWS	WEATHERSHIELD WINDOWS & DOORS	SEE SCHEDULE	SEE WINDOW SCHEDULE	CRAFTSMAN BRONZE	
24	ALUMINUM TERRACE DOORS	TBD	SEE SCHEDULE	SEE WINDOW SCHEDULE	TBD - TO MATCH WINDOW FINISH	
25	PREFINISHED METAL STOREFRONT ENTRY SYSTEM	KAWNEER	EXTRUDED ALUMINUM	SEE PLANS & DOOR SCHEDULE	TBD - TO MATCH WINDOW FINISH	
26	PREFINISHED METAL STOREFRONT WINDOW SYSTEM	KAWNEER	EXTRUDED ALUMINUM	SEE PLANS	TBD - TO MATCH WINDOW FINISH	
27	SLIDING PATIO DOOR	WEATHERSHIELD WINDOWS & DOORS	SEE SCHEDULE	SEE WINDOW SCHEDULE	CRAFTSMAN BRONZE	
28	DECORATIVE LIGHT FIXTURE	COOPER LIGHTING	EON LUMIERE	TBD	ALUMINUM OR STAINLESS STEEL	
29	DECORATIVE LIGHT FIXTURE	TBD	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIAL



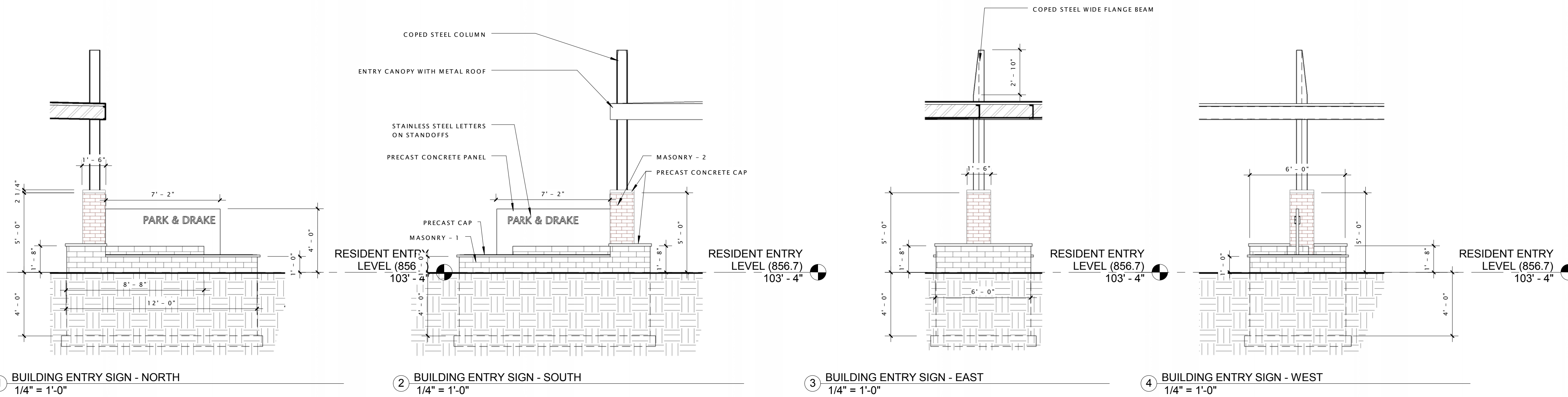
16 EAST ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTE
1	STANDING SEAM METAL ROOF	PAC-CLAD - OR EQUAL	PREFINISHED ALUMINUM	SEE PLANS	TBD TO MATCH WINDOW FINISH	
2	PREFINISHED METAL FASCIA	TBD	PREFINISHED ALUMINUM	SEE PLANS	TBD - TO MATCH STANDING SEAM ROOF FINISH	
4	PREFINISHED METAL COPING	TBD	PREFINISHED ALUMINUM	SEE PLANS	TBD - TO MATCH ADJACENT FIBER CEMENT SIDING	
5	FIBER CEMENT PANELS	JAMES HARDIE	FIBER CEMENT	10'x4' MAXIMUM	IRON GREY	
6	HORIZONTAL FIBER CEMENT SIDING	JAMES HARDIE	FIBER CEMENT - CEDARMILL	5" EXPOSURE	TBD - TO MATCH MASONRY - 2	
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10	MASONRY - 2	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	DESERT IRONSPOT DARK VELOUR	
11	SOLDIER COURSE MASONRY - 2	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	DESERT IRONSPOT DARK VELOUR	
12	MASONRY - 3	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	GOLDEN BUFF VELOUR	
13	SOLDIER COURSE MASONRY - 3	ENDICOTT CLAY PRODUCTS	UTILITY BRICK	UTILITY SIZE	GOLDEN BUFF VELOUR	
14	PRECAST CONCRETE BANDING	ROCKCAST - OR EQUAL	PRECAST CONCRETE - SMOOTH FACE - SEE MASONRY PROFILES	SEE PLANS	TBD	
15	PRECAST CONCRETE SILL	ROCKCAST - OR EQUAL	PRECAST CONCRETE - SMOOTH FACE - SEE MASONRY PROFILES	SEE PLANS	TBD	
16	RESIDENTIAL HVAC LOUVER / GRILLE	TBD	EXTRUDED ALUMINUM	TBD	PAINT TO MATCH ADJACENT MATERIALS	
17	BALCONY RAILING	KANE STERLING - OR EQUAL	ALUMINUM	SEE PLANS	BRONZE	
18	BALCONY / DECK	TREX - OR EQUAL	'TRASCEND' COMPOSITE	SEE PLANS	TBD	
19	STANDARD ALUMINUM CHANNEL - DECK	TBD	ALUMINUM	1 1/2" HIGH - 3" FLANGE	POWDER COAT TO MATCH WINDOW FINISH	
20	STANDING SEAM CANOPY	TBD	TBD	SEE PLANS	TBD - TO MATCH WINDOW FINISH	
21	PREFINISHED AWNING	TBD	TBD	SEE PLANS	TBD - TO MATCH WINDOW FINISH	
22	PREFINISHED OVERHEAD DOOR	MID-AMERICA - OR EQUAL	VANTAGE SERIES - INSULATED STEEL	SEE DOOR SCHEDULE	BROWN - TO MATCH WINDOW FINISH	
23	FIBERGLASS WINDOWS	WEATHERSHIELD WINDOWS & DOORS	SEE SCHEDULE	SEE WINDOW SCHEDULE	CRAFTSMAN BRONZE	
24	ALUMINUM TERRACE DOORS	TBD	SEE SCHEDULE	SEE WINDOW SCHEDULE	TBD - TO MATCH WINDOW FINISH	
25	PREFINISHED METAL STOREFRONT ENTRY SYSTEM	KAWNEER	EXTRUDED ALUMINUM	SEE PLANS & DOOR SCHEDULE	TBD - TO MATCH WINDOW FINISH	
26	PREFINISHED METAL STOREFRONT WINDOW SYSTEM	KAWNEER	EXTRUDED ALUMINUM	SEE PLANS	TBD - TO MATCH WINDOW FINISH	
27	SLIDING PATIO DOOR	WEATHERSHIELD WINDOWS & DOORS	SEE SCHEDULE	SEE WINDOW SCHEDULE	CRAFTSMAN BRONZE	
28	DECORATIVE LIGHT FIXTURE	COOPER LIGHTING	EON LUMIERE	TBD	ALUMINUM OR STAINLESS STEEL	
29	DECORATIVE LIGHT FIXTURE	TBD	TBD	TBD	TBD	PAINT TO MATCH ADJACENT MATERIAL



16 WEST ELEVATION
1/8" = 1'-0"

Revision Schedule		
Mark	Description	Date
1	AD1	140430



1 BUILDING ENTRY SIGN - NORTH
1/4" = 1'-0"

2 BUILDING ENTRY SIGN - SOUTH
1/4" = 1'-0"

3 BUILDING ENTRY SIGN - EAST
1/4" = 1'-0"

4 BUILDING ENTRY SIGN - WEST
1/4" = 1'-0"



16 NORTH ELEVATION
1/8" = 1'-0"

18 SOUTH ELEVATION
1/8" = 1'-0"

PARK & DRAKE
MIXED-USE BUILDING

DATE OF ISSUANCE April 30, 2014

Revision Schedule		
Mark	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A202