

City of Madison

Proposed Demolition & Conditional Use

Location 721 South Gammon Road

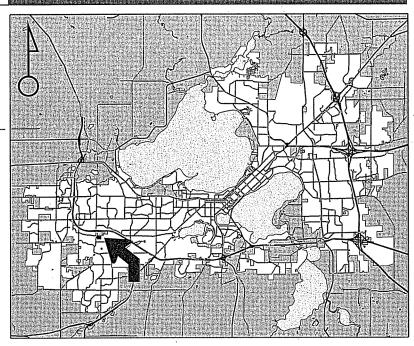
Project Name Woodman's Gas Station

Applicant Woodman's Food Market/Jim Arneson – Building Systems General Corp

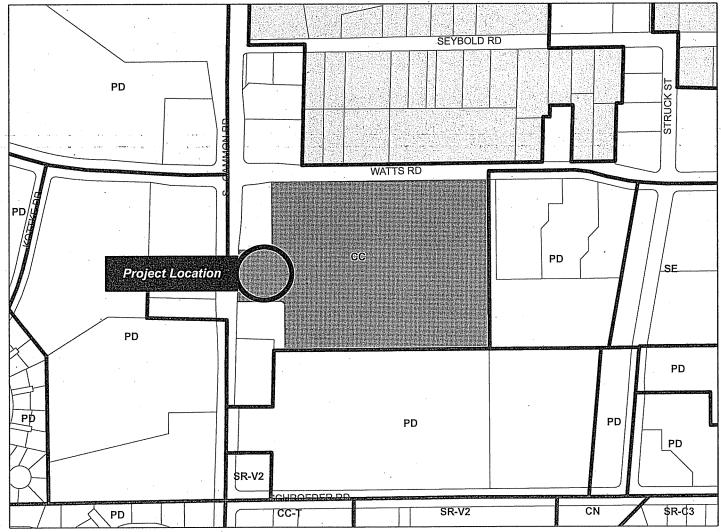
Existing Use Gas Station

Proposed Use
Demolish existing gas station and
convenience store and construct
new gas station and convenience store

Public Hearing Date Plan Commission 28 April 2014



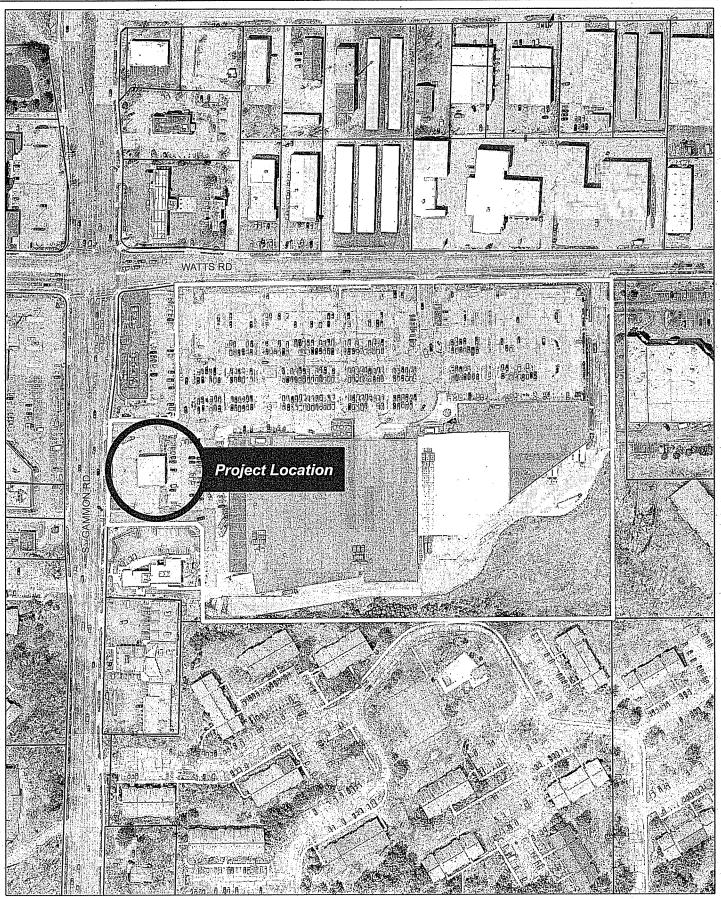
For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale: 1" = 400'

City of Madison, Planning Division: RPJ: Date: 16 April 2014





Date of Aerial Photography: Spring 2013



AND USE APPLICATION

CITY OF MADISON

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at: www.cityofmadison.com/developmentcenter/landdevelopment

1adison _n		FOR OFFICE U	SE ONLY:	
215 Martin Luther King Jr. Blvd; Room LL-100 PO Box 2985; Madison, Wisconsin 53701-2985 Phone: 608.266.4635 Facsimile: 608.267.8739		Por OFFICE USE ONLY: Amt. Paid 600 Receipt No. 151561 Date Received 2/19/14 Received By 1900		
All Land Use Application Administrator at the ab	ns should be filed with the Zoning ove address.	Parcel No. $0708-253$ Aldermanic District $18-6$	LEAR	
Commission review exc	on is required for all applications for Plan ept subdivisions or land divisions, which a <u>Subdivision Application</u> .	Zoning District <u>C</u> Special Requirements <u>UDD</u> ロ Review Required By:	2, Ex	. <u>C.O.</u>
This form may also be c www.cityofmadison.com	ompleted online at: n/developmentcenter/landdevelopment	Urban Design Commission Common Council Form Effective: February	Other:	mission
L. Project Address:	721 South Gammon Road			
•	: Woodman's Gas Station			
☐ Zoning Map Ame	n for (Check all that apply to your Land ndment from	to	oved PD-SII	P Zoning
 ☐ Zoning Map Ame ☐ Major Amendme ☐ Review of Alterational Use, ☐ Demolition Perm 	ndment from	to Major Amendment to Appro mmission)	 oved PD-SII	Zoning
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☐ Zoning Map Ame ☐ Major Amendme ☐ Review of Altera ☐ Conditional Use, ☐ Demolition Perm ☐ Other Requests: 3. Applicant, Agent & Applicant Name: Jim Arnothere Address: 5972 Extended Foreign (608) 663-623 Project Contact Person: Jim Foreign (5072 Extended Foreign) 5072 Extended Foreign (5072 Extended Foreign) 5073 Extended Foreign (5072 Ext	nt to Approved PD-GDP Zoning , tion to Planned Development (By Plan Control Major Alteration to an Approved Condition) Property Owner Information: Seson Comparison Comparison City/State: 33 Fax: (608) 276-4468 Arneson Comparison Comparis	Major Amendment to Appro mmission) tional Use any: Building Systems General Madison, WI	ıl Corp. Zip: .com	53719
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☐ Zoning Map Ame ☐ Major Amendme ☐ Review of Altera ☐ Conditional Use, ☐ Demolition Perm ☐ Other Requests: 3. Applicant, Agent & Applicant Name: Jim Arno Street Address: 5972 Exercise Contact Person: Jim Street Address: 5972 Exercise Address: 5972 Ex	nt to Approved PD-GDP Zoning , tion to Planned Development (By Plan Control Major Alteration to an Approved Condition Property Owner Information: eson	Major Amendment to Appromission) tional Use Building Systems General Madison, WI Email: jarneson@bsgc-wi. any: Building Systems General Madison, WI	al Corp. Zip: .com al Corp. Zip:	53719

4. Project Information:

Provide a brief description of the project and all proposed uses of the site:

Demolition of the existing Woodman's gas station

and construction of a new gas station.

Development Schedule: Commencement

May 2014

Completion

September 2014

5. Required Submittal Information All Land Use applications are required to include the following: ✓ Project Plans including:* Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property) Grading and Utility Plans (existing and proposed) Landscape Plan (including planting schedule depicting species name and planting size) Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials) Floor Plans (fully dimensioned plans including interior wall and room location) Provide collated project plan sets as follows: Seven (7) copies of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled) Twenty Five (25) copies of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled) One (1) copy of the plan set reduced to fit onto 8 ½ X 11-inch paper * For projects requiring review by the Urban Design Commission, provide Fourteen (14) additional 11x17 copies of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting. Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to: Value of Land **Project Team Building Square Footage Estimated Project Cost Existing Conditions Number of Dwelling Units** Number of Construction & Full-**Project Schedule Auto and Bike Parking Stalls** Proposed Uses (and ft² of each) Lot Coverage & Usable Open Time Equivalent Jobs Created **Space Calculations Public Subsidy Requested Hours of Operation** Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: City Treasurer. | Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com. Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements. 6. Applicant Declarations Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices: Mark Clear, 2-18-14 (Met and Discussed Project, Alder Clear Supports the Project) No Associations.

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form. Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date. Planning Staff: Timothy Parks Date: 2-17-14 Zoning Staff: Patrick Anderson Date: 2-17-14 The applicant attests that this form is accurately completed and all required materials are submitted: , Relationship to Property: Construction Manager Name of Applicant Jim Arneson

Authorizing Signature of Property Owner /

Date 2-18-14

NEW GAS STATION

WOODMAN'S

721 S. GAMMON ROAD MADISON, WISCONSIN

PLAN COMMISSION / URBAN DESIGN SUBMITTAL

PROJECT TEAM

DESIGN/BUILD CONTRACTOR

BUILDING SYSTEMS GENERAL CORP.

5972 EXECUTIVE DRIVE SUITE 100 PHONE: 608 276-4400 MADISON, WI 53719 FAX: 608 276-4468

CIVIL

SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD MADISON, WI 53718 PHONE: 608 838-0444 FAX: 608 838-0445

ARCHITECTURAL

LARSON & DARBY GROUP

4949 HARRISON AVENUE SUITE 100 PHONE: 815 484-0739 PO BOX 5207 FAX: 815 229-9867 ROCKFORD, IL 61125-0207

PLUMBING

MICK BALTES PLUMBING INC.

4125 MEYER AVENUE MADISON, WI 53711 PHONE: 608 235-1827

MECHANICAL

LARSON & DARBY GROUP

4949 HARRISON AVENUE SUITE 100 PHONE: 815 484-0739 PO BOX 5207 FAX: 815 229-9867 ROCKFORD, IL 61125-0207

ELECTRICAL

LARSON & DARBY GROUP

4949 HARRISON AVENUE SUITE 100 PHONE: 815 484-0739 PO BOX 5207 FAX: 815 229-9867 ROCKFORD, IL 61125-0207

EXHIBIT INDEX

LAND USE APPLICATION LETTER OF INTENT PERSPECTIVE RENDERINGS **ELEVATION RENDERINGS** EXISTING SITE AND DEMOLITION PLAN PROPOSED SITE PLAN PROPOSED GRADING PLAN LANDSCAPE PLAN LANDSCAPE CONSTRUCTION NOTES PROPOSED CIRCULATION PLAN FLOOR PLAN & EXTERIOR ELEVATIONS (T=20' SCALE) FLOOR PLAN & ROOF PLAN EXTERIOR ELEVATIONS & BUILDING SECTIONS SITE PHOTOMETRICS GAS CANOPY LIGHTING PRODUCT CUT SHEET SITE AERIAL PHOTOGRAPH CONTEXT PHOTOS CONTEXT PHOTOS CONTEXT PHOTOS CONTEXT PHOTOS CONTEXT PHOTOS

URBAN DESIGN COMMISSION

COMPREHENSIVE DESIGN REVIEW EXTERIOR SIGNAGE PLAN SIGN INVENTORY EXISTING SIGNAGE SURVEY EXISTING SIGNAGE SURVEY EXISTING SIGNAGE SURVEY

Building Systems General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719

Phone: (608) 276-4400

WO DMAN'S

· MARKETS ·

TEMPLOYEE OWNED

PROJECT NAME

WOODMAN'S NEW GAS STATION

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN
CHECKED
APPROVED
REVISION:

•

SCALE:

BSGC PROJECT NO.

2252F

BSGC DRAWING NO.

13-112

SHEET TITLE
PROJECT TEAM &
EXHIBIT INDEX

Building Systems General Corp.

Letter Of Intent

5972 Executive Drive Suite 100 Madison, WI 53719

Phone: 608-276-4400 **Fax:** 608-276-4468

February 19, 2014 (Updated March 3, 2014)

City of Madison
Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Boulevard
Madison, WI 53701-2984

LAND USE APPLICATION LETTER OF INTENT

Project:

Woodman's Gas Station 721 South Gammon Road Madison, WI 53719

Project Team:

Owner:

Woodman's Food Market, Inc.

2631 Liberty Lane Janesville, WI 53545

Design/Build Contractor:

Building Systems General Corporation

5972 Executive Drive, Suite 100

Madison, WI 53719

Architect/MEP Engineer:

The Larson & Darby Group

4949 Harrison Avenue, Suite 100

Rockford, IL 61125

Civil Engineer:

Snyder & Associates 5010 Voges Road Madison, WI 53718

Existing Conditions:

The property is currently occupied by Woodman's gas station. Woodman's Food

Market, Inc. proposes to demolish the existing gas station and replace it with a new gas

station.

Project Schedule:

Start - May 2014

Completion - September 2014

Proposed Uses:

The property will contain a 1,320 square foot convenience store and six fuel dispensers located under a 5,050 square foot canopy. Fuel delivery will occur during unattended hours of operation to avoid conflict with the accessible parking stall. There will be no intercom/speakers located outside the gas station building or within the canopy.

Speakers will be provided at each dispenser for direct communication with the attendant. There will be no outside sales and there will be no outside displays. Trash is collected

by personnel from the adjoining grocery store, is sorted into recyclables and trash, and is placed in receptacles located at the grocery store.

Hours of Operation:

Attended – 6 AM to 9 PM

Unattended - 24/7

Building Square Footage:

1,320 square foot convenience store

5,050 square foot canopy.

Auto & Bike Parking Stalls:

One (1) Accessible Auto Stall.

Two (2) Auto Stalls. Two (2) Bike Stalls

Lot Coverage:

21,730 21,991 square feet total, 15,294 14,898 square feet is impervious

(pavement, curb, sidewalk, and building)

Usable Open Space:

6,436 7,093 square feet is pervious (grass).

Value of Land:

The gas station resides within the Woodman's Food Market property. The property consists of 17.22 acres and has a fair market value of \$3,838,281.00.

Estimated Project Cost:

\$1,350,000.00.

Number of Construction:

Jobs Created

The gas station project will employ 10-12 full-time equivalent workers for the

duration of the construction.

Number of Employees:

The gas station will employ one person during the hours the convenience store is

attended.

Public Subsidy Required:

Building Systems General Corp.

None.

Submitted,

James R. Arneson, PE

Vice President (608)663-6233

jarneson@bsgc-wi.com







WOÖDMAN'S

· MARKETS ·

EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN CHECKED

DATE:

SCALE:

BSGC PROJECT NO.

BSGC DRAWING NO.

13-112

SHEET TITLE

PERSPECTIVE RENDERINGS

SHEET NO.

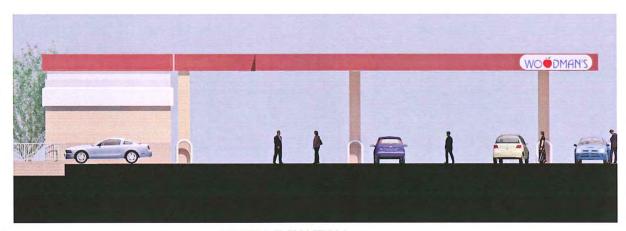
PERSPECTIVES



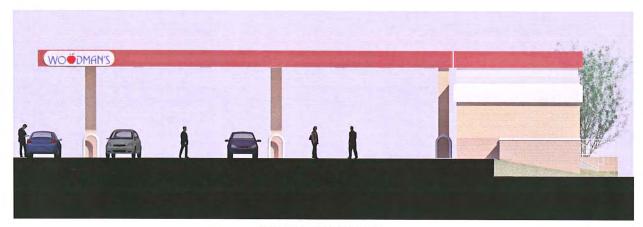
EAST ELEVATION



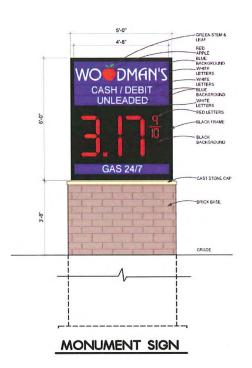
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



- FASCIA - PETERSON ALUMINUM CARDINAL RED FASCIA - PETERSON ALUMINUM SILVER METALIC FASCIA - PETERSON ALUMINUM BONE WHITE - ALUMINUM STOREFRONT - CLEAR ANODIZED FACE BRICK 1 - BOWERSTON SHALE CO. HANOVER PLANT 443 FACE BRICK 2 INTERSTATE BRICK COPPERSTONE

MATERIALS LIST





WOÖDMAN'S

· MARKETS ·

EMPLOYEE OWNED

PROJECT NAME

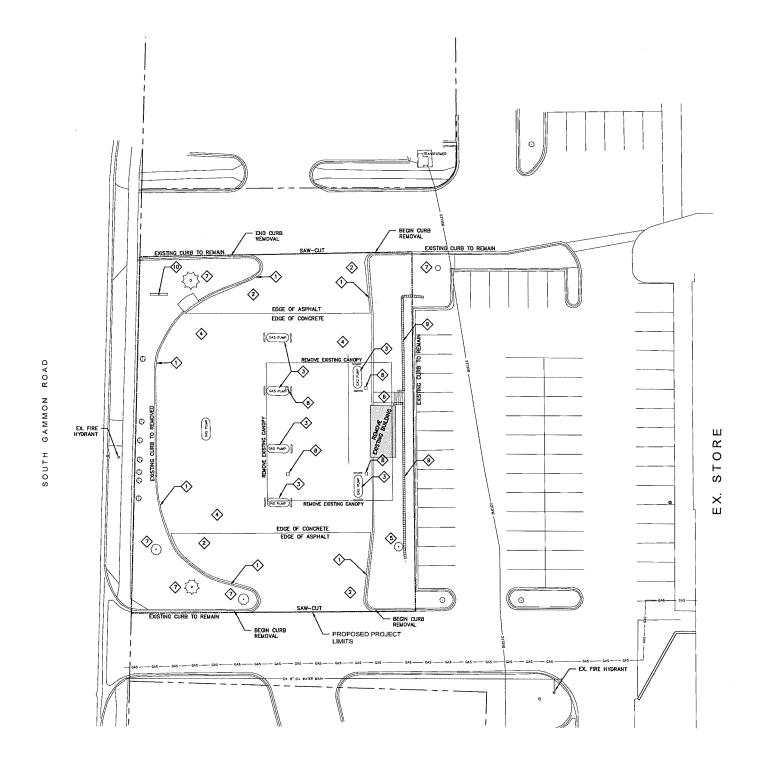
WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

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ELEVATION RENDERINGS



NOTES

- THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED.
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 ETHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRAIN THAT THE UTILITIES
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 ARE IN THE EXACT LOCATION INDICATED, VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
- 2. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES, AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION, DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE, COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- ALL CONSTRUCTION WORK SHALL BE GOVERNED BY THE CURRENT EDITION OF THE "STANDARD SPECIFICATIONS
 FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", AND THE STANDARD SPECIFICATIONS FOR HIGHWAY
 AND STRUCTURE CONSTRUCTION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF
 HIGHWAYS.
- 4. NOTIFY OWNER, ENGINEER AND CIFY OF MADISON AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- 5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONSTRUCT ALL SITE IMPROVEMENTS AND UTILITIES IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- 6. THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS

PLAN KEY

- EXISTING CURB & GUTTER TO BE REMOVED
- 2 EXISTING ASPHALT TO BE REMOVED
- 3 EXISTING GAS PUMP AND ISLAND TO BE REMOVED
- 4 EXISTING CONCRETE PAVEMENT TO BE REMOVED
- 5 EXISTING TREE / BUSH TO BE REMOVED
- 6 REMOVE EXISTING CONCRETE WALK AND STAIRS
- EXISTING TREE TO REMAIN
- (B) EXISTING CANOPY SUPPORTS TO BE REMOVED
- (9) EXISTING RETAINING WALL TO BE REMOVED
- EXISTING SIGN TO BE REMOVED AND REPLACED
- CONVENIENCE STORE PARKING STALL





PROJECT NAME

NEW GAS STATION WOODMAN'S

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS



SNYDER & ASSOCIATE!

5010 VOGES ROAD MADISON, WISCONSIN 53718

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13-112	

SHEET TITLE

SHEET NO.

EXISTING SITE PLAN

C1.1

EXISTING SITE AND DEMOLITION PLAN



NORTH

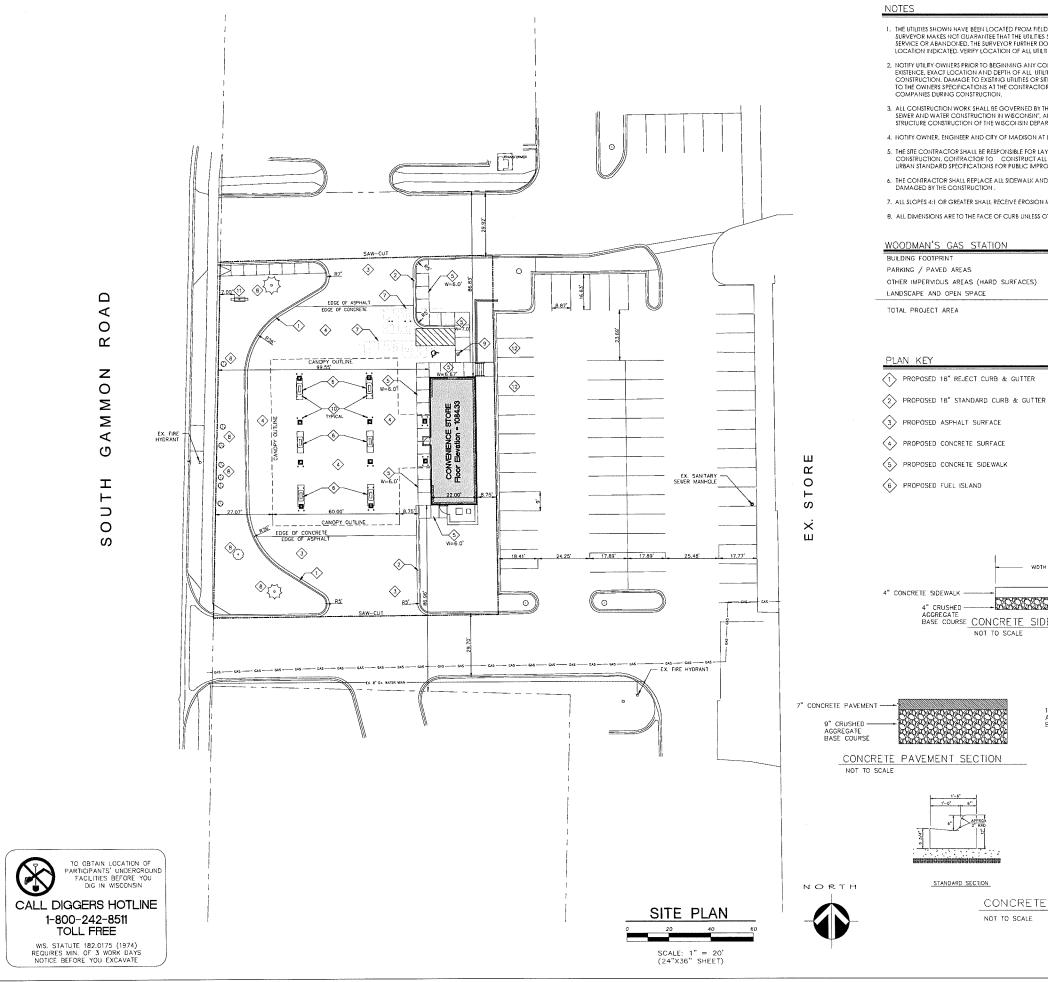
SCALE: 1" = 20' (24"X36" SHEET)

TOLL PREE WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

CALL DIGGERS HOTLINE

1-800-242-8511

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



- 1. THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NOT GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
- 2. NOTICY LITTLETY OWNERS PRIOR TO REGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING. ROTHY DILLIY OWNERS PRIOR IN DESIGNAING ART CONSINCTION. CONTINGCIONS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION, DAMAGE TO EXISTING UTILITIES OR SITE MPROVEMENTS SHALL BE REPARED BY THE CONTRACTOR TO THE CONTRACTOR SEVENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- ALL CONSTRUCTION WORK SHALL BE GOVERNED BY THE CURRENT EDITION OF THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", AND THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS.
- 4. NOTIFY OWNER, ENGINEER AND CITY OF MADISON AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- 5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION, CONTRACTOR TO CONSTRUCT ALL SITE IMPROVEMENTS AND UTILITIES IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- 6. THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS
- 7. ALL SLOPES 4:1 OR GREATER SHALL RECEIVE EROSION MATTING.
- B. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

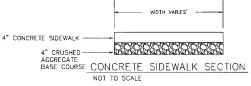
WOODMAN'S GAS STATION	
BUILDING FOOTPRINT	1,320 sq.ft.
PARKING / PAVED AREAS	12,105 sq.ft.
OTHER IMPERVIOUS AREAS (HARD SURFACES)	1,261 sq.ft.
LANDSCAPE AND OPEN SPACE	7,305 sq.ft.

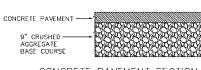
- PROPOSED 18" REJECT CURB & GUTTER
- 3 PROPOSED ASPHALT SURFACE
- 4 PROPOSED CONCRETE SURFACE
- 5 PROPOSED CONCRETE SIDEWALK
- 6 PROPOSED FUEL ISLAND

- 7 UNDERGROUND STORAGE TANKS
- 8 EXISTING TREE TO REMAIN
- 9 PARKING BOLLARD WITH HANDICAP PARKING SIGN
- 10 PARKING BOLLARD

21,991 sq.ft. (.51 ACRES)

- 11) NEW MONUMENT SIGN
- (12) CONVENIENCE STORE PARKING STALL



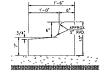


1 ½°-2 ½°-12" CRUSHED— AGGREGATE BASE COURSE

PAVEMENT SECTION - HEAVY DUTY

- 4" BITUMINOUS PAVEMENT





REJECT SECTION

STANDARD SECTION

CONCRETE CURB & GUTTER

NOT TO SCALE

Building Systems General Corp.

2'MAMGÖOW · MARKETS ·

5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468

employee owned

PROJECT NAME

NEW GAS STATION WOODMAN'S

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS



SNYDER & ASSOCIATES Engineers and Planners

5010 VOGES ROAD MADISON, WISCONSIN 53718 608-838-0444 | www.snyder-associates.com

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DRAWN: M. WAHL
CHECKED:
APPROVED: M. CALKINS
REVISION:
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SCALE:
1" = 20'
BSGC PROJECT NO.

2252E

BSGC DRAWING NO. 13-112

SHEET TITLE **PROPOSED**

SITE PLAN

SHEET NO.

C1.2

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EXISTING TIE IN SPOT ELEVATION

GENERAL NOTES

SILI FENCE AND ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO AITY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY OF MADISON.

CONTRACTOR SHALL NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TWO (2) WORKING DAYS PRIOR TO ANY SOIL DISTURBING ACTIVITY.

TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED WITHIN 10-DAYS. PERIMETER CONTROL ON THE DOWNSTREAM SIDE SHALL BE IN-PLACE AT ALL TIMES, (SILT FERICE OR APPROVED EQUAL).

CONTRACTOR TO MINIMIZE AREAS OF EXPOSED SOIL AT ALL TIMES.

ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MIRIMUM OF 4 TOPSOIL PRIOR TO SEEDING.

GRASS AREAS SHALL RECEIVE FERTILIZER. SEED. AND MULCH. SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REOUREMENTS THAT FOLOW: NIRFOGEN, NOT LESS THAN 16%: PHOSPHORIC ACID, NOT LESS THAN 85%: POTASH, NOT LESS THAN 85%: FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET.

MUICH SHOULD BE APPLIED SO THAT THE SOIL SURFACE IS UNIFORMLY COVERED. ACTUAL APPLICATION RATES MAY VARY DEPENDING UPON THE INDIVIDUAL SITE CHARACTERISTICS AND THE TYPE OF MUICH USED. MUICHING APPLICATION SHALL CONSIST OF STRAW AT A MIN. RATE OF 1.5 TONS PER ACRE. MUICH MUST BE CRIMPED.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF INCESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVEILT OF 0.5" OR GREATER, ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.

DEVELOPER SHALL REPAIR/REPLACE ANY SIDEWALK, CURB, OR PAVEMENT DAMAGED DURING CONSTRUCTION OR AS DEEMED NECESSARY BY THE CITY OF MADISON.

GRADING NOTES

ALL SPOT ELEVATIONS ARE FINISHED PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED

NORTH



SCALE: 1" = 20' (24"X36" SHEET)

LEGEND

887.63 X FINISHED SURFACE ELEVATION

General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468



Building Systems

PROJECT NAME

NEW GAS STATION WOODMAN'S

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS



SNYDER & ASSOCIATES Engineers and Planners

5010 VOGES ROAD MADISON, WISCONSIN 53718 608-838-0444 | www.snyder-associates.com

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APPROVED: M. CALKINS	
REVISION:	
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PROPOSED **GRADING PLAN**

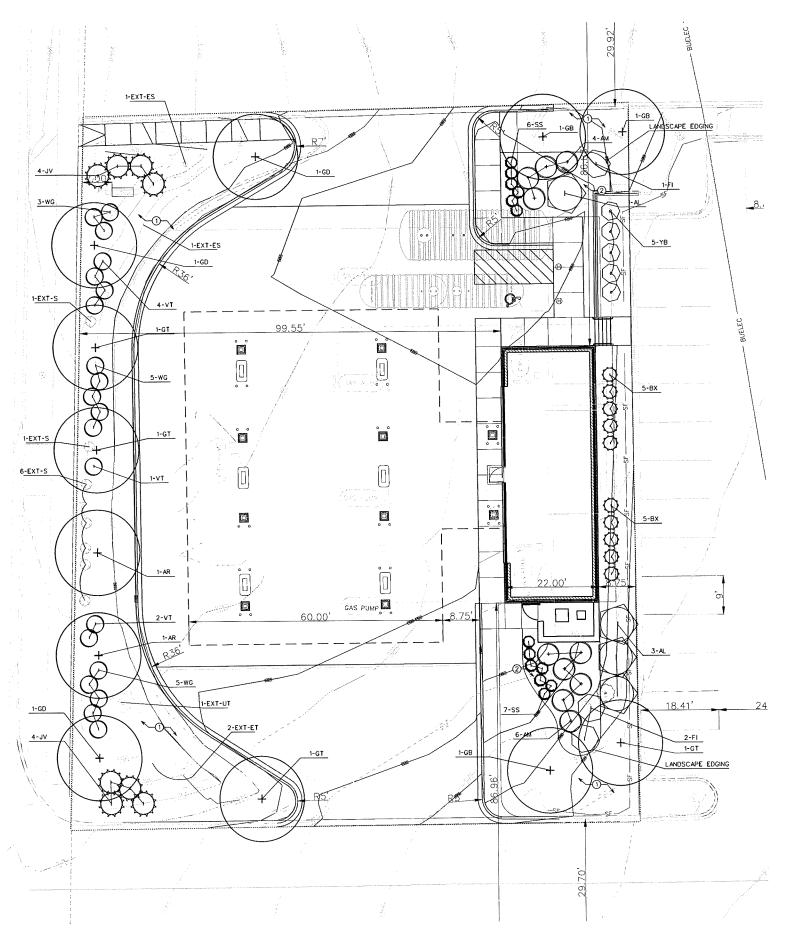
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SHEET TITLE

C1.3

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE WS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

O't



PLANT SCHEDULE

	11 1		BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
		VE:	BOTANICAL NAME	COMMON HAME	1	1
	2	AR	Acer rubrum 'Brandywine'	BRANDYWRÆ MAPLE	2 1/2"	B&B
ß	3	GB	Ginko biloba	MAINDENHAIR TREE	2 1/2"	B&B, SEEDLESS
TREES	3	GĐ	Gymnocladus dioicus	KENTUCKY COFFEE TREE 'ESPRESSO'	2 1/2"	B&B, SEEDLESS
	4	GT	Gleditisia triocanthos 'Skyline'	SKYLPÆ HONEYLOCUST	2 1/2"	848
	4	AL	Amelanchier laevis "Cumulus"	CUMULUS SERVICEBERRY	6' HT.	868
	10	AM	Aronia melanocarpa 'Viking'	BLACK CHOKEBERRY 'VIKING'	24° Ht.	CONT. (5° O.C.)
SHRUBS	10	BX	Buxus x 'Green Mountain'	GREEN MOUNTAIN BOXWOOD	24" Ht.	CONT. (4' O.C.)
£	3	FI	Forsythia x intermedia "Kolgold"	MAGICAL GOLD FORSYTHIA	24" Ht.	CONT. (6' O.C.)
U)	8	J۷	Juniperus virginiona 'Grey Oat'	GREY OWL JUNIPER	12" Ht.	CONT. (5' O.C.)
	13	WG	Weigela florida 'Vinuet'	MINUET WEKELA	24" Ht.	CONT. (5' O.C.)
	7	VT	Viburnum trilobum 'Compactum'	DWARF CRANBERRYBUSH VIBURNUM	24" Ht.	CONT. (5' O.C.)
	5	YΒ	Hydrangea macrophylla 'Bailmer'	ENDLESS SUMMER HYDRANGEA	24" Ht.	CONT. (4' O.C.)
GRASSES	13	SS	Schizachyrium scoparium 'Carousel'	LITTLE BLUESTEM 'CAROUSEL'	1 GAL.	CONT. (2.5' O.C.)
¥.	2	DITE	EVERGREEN SHRUB			
MATERIAL	2		EVERGREEN TREE			
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PLANTING PLAN REQUIREMENTS

TOTAL DEVELOPED AREA
TOTAL AREA: 21,990 SO.FT.
REQUIREMENT: 21,990 SOC = 74 LANDSCAPE UNITS X 5 = 370 TOTAL POINTS REQURIED (377 PROVIDED)
EXISTING PLANT MATERIAL ON SITE: 67 PTS.
PROPOSED PLANT MATERIAL: 310 PTS.

STREET FRONTAGES LINEAR FEET: 165 LF REOUIREMENT: 1 TREE AND 5 SHURBS/30 LF PROVIDED: 6 TREES AND 28 SHRUBS

INTERIOR PARKING LOT LANDSCAPING

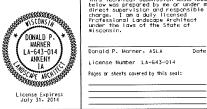
TOTAL STALLS: 1 REOUIREMENT: N/A

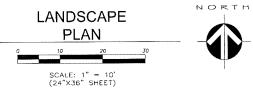
FOUNDATION PLANTINGS LINEAR FEET: 82'(NOT DIRECTLY ABUTING SIDEWALKS) REQUIREMENT: AS PROVIDED - SEE PLAN

PLANTING PLAN CONSTRUCTION NOTES

- (1) SEED ALL OTHER AREA'S DISTURBED FROM CONSTRUCTION WITH GRASS SEED MIX IN ACCORDANCE WITH PROPOSED EROSION CONTROL PLAN; UNLESS, OTHERWISE NOTED.
- 2 PLANTING BEDS TO BE MULCHED WITH SHREDDED BARK OR STONES PER THE OWNER'S HISTRUCTION









Building Systems General Corp.

5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468

Z'NAMQÖOW · MARKETS ·

employee owned

PROJECT NAME

NEW GAS STATION WOODMAN'S

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS



SNYDER & ASSOCIATES Engineers and Planners

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	DRAWN: M, WAHL	
	CHECKED; L. OLSEN	
	APPROVED; M. CALKINS	
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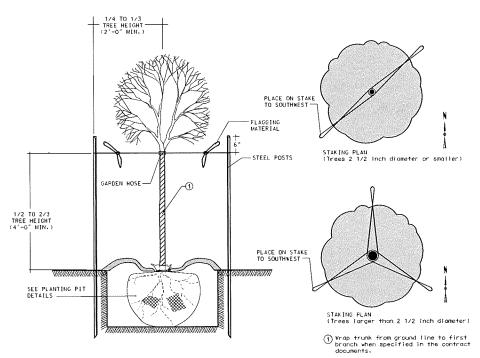
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C1.4

LANDSCAPE

PLAN



C1.5

DECIDUOUS TREE STAKING DETAIL

NO SCALE

SEE PLANTING PIT DETAIL-- ENGINEERING FABRIC FINISH GRADE-IMPERVIOUS SOIL SEPTIC GRAVEL NOTE: TREE DRAINAGE WELL ONLY REQUIRED IF IMPERVIOUS SOILS ARE FOUND DURING INSTALLATION: AS APPROVED BY ENGINEER. 1 PERVIOUS SOIL

(1) If pervious soil is encountered at a depth less the 6 feet. the drainage well may be termineated when the well extends a minimum of 12 inches into the pervious soil layer.

C1.5

TREE DRAINAGE WELL DETAIL

NO SCALE

--- EXISTING SLOPE TREE OR SHRUB -SET ROOT COLLAR AND ROOT FLARE 2" ABOVE FINISH GRADE. DO NOT PLACE MULCH WITHIN 2" OF TRUNK. ROOT COLLAR IS NOT ALWAYS LOCATED AT TOP OF ROOTBALL MINIMUM 6' DIAMETER. 3" DEPTH MULCH RING 2:1 MAXIMUM TRANSITION SLOPE. BEGIN TRANSITION AT EDGE OF ROOT BALL -3" HEIGHT WATER RETENTION BERM BEYOND EDGE OF ROOT BALL DEPTH OF ROOT BAL OR CONTAINER ROOT SYSTEM FINISH GRADE -SCARIFY SIDES OF PIT -SCARIFT SIDES UP FIT PREMOVE ALL NON-BIDDEGRADABLE MATERIAL. CONTAINERS OR OTHER MATERIAL THAT WILL IMPEDE THE GROWTH OF THE PLANT MATERIAL. REMOVE ALL TWINE. FOR BALLED AND BURLAP (BAB) PLANTS REMOVE MINITUMN TOP 1/2 OF BURLAP AND WIRE BASKET MINIMUM. 2X ROOTBALL MINIMUM FOR SHRUBS SLOPE PLANTING PIT DETAIL PLACE ROOT BALL ON UNDISTURBED SOIL

SET ROOT COLLAR AND ROOT FLARE 2" ABOVE FINISH GRADE. DO NOT PLACE MULCH WITHIN 2" OF TRUIK. ROOT COLLAR IS NOT ALWAYS LOCATED AT TOP OF ROOTBALL DEPTH OF ROOT BALL OR CONTAINER ROOT SYSTEM 3X ROOTBALL MINIMUM FOR TREES 2X ROOTBALL MINIMUM FOR SHRUBS TYPICAL PLANTING PIT DETAIL

PLANTING PIT DETAILS

C1.5 NO SCALE

MINIMUM 6' DIAMETER. 3" DEPTH MULCH RING -3" HEIGHT WATER RETENTION BERM BEYOND EDGE OF ROOT BALL FINISH GRADE SCARIFY SIDES OF PIT - REMOVE ALL NON-BIODEGRADABLE MATERIAL, CONTAINERS OR OTHER MATERIAL THAT WILL IMPEDE THE GROWTH OF THE PLANT MATERIAL. REMOVE ALL TWINE. FOR BALLED AND BURLAY (6AB) PLANTS REMOVE MINIMUM TOP 1/2 OF BURLAP AND WIRE BASKET MINIMUM. - PLACE ROOT BALL ON UNDISTURBED SOIL

PLANTING PLAN GENERAL NOTES

- A UTILITY WARNING:
 THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR PARAMONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRXTOR IS RESPONSIBLE FOR DETERMINANC EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURNG CONSTRUCTION, ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. CONDINATE AND COOPERATE WITH UTILITY COMPARIES DURNG CONSTRUCTION.
- C. PLANT MATERIAL SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE CITY OF MAINSON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 2013 ADDITION.
- D. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- E. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FORM DATE OF PROJECT ACCEPTANCE.
- F. CONTRACTOR SHALL PROPERLY CARE FOR ALL PLANT MATERIAL DURING CONSTRUCTION AND FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT ACCEPTANCE.
- G. HARDWOOD MULCH: PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MN. 3-FOOT PERMETER. PROVIDE CONTINUOUS MULCH BEDS AROUND ADJACENT SHRUB PLANTINGS AND ALL AREAS INDICATED ON THE PLAN. MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE. CONTRACTOR TO PROVIDE A CLEAN VERTICAL OUT EDGE TO 4" DEPTH INTO ENISTING GRADE TO DEFINE THE PLANTING BED LIMITS, UNLESS OTHERWISE DIRECTED BY OWNER.
- H. CONTRACTOR TO PROVIDE A SAMPLE OF EDGING AND MULCH FOR APPROVAL.
- I. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS, PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VICOROUS GROWTH.
- J. ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- K. PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIALS IS NOT PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. DWINER HAS THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- L.TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- M. ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.



Building Systems General Corp.

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WOÖDMAN'S

EMPLOYEE OWNED

PROJECT NAME

NEW GAS STATION WOODMAN'S

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS



SNYDER & ASSOCIATES Engineers and Planners

5010 VOGES ROAD MADISON, WISCONSIN 53718 6D8-838-D444 | www.snyder-associates.com

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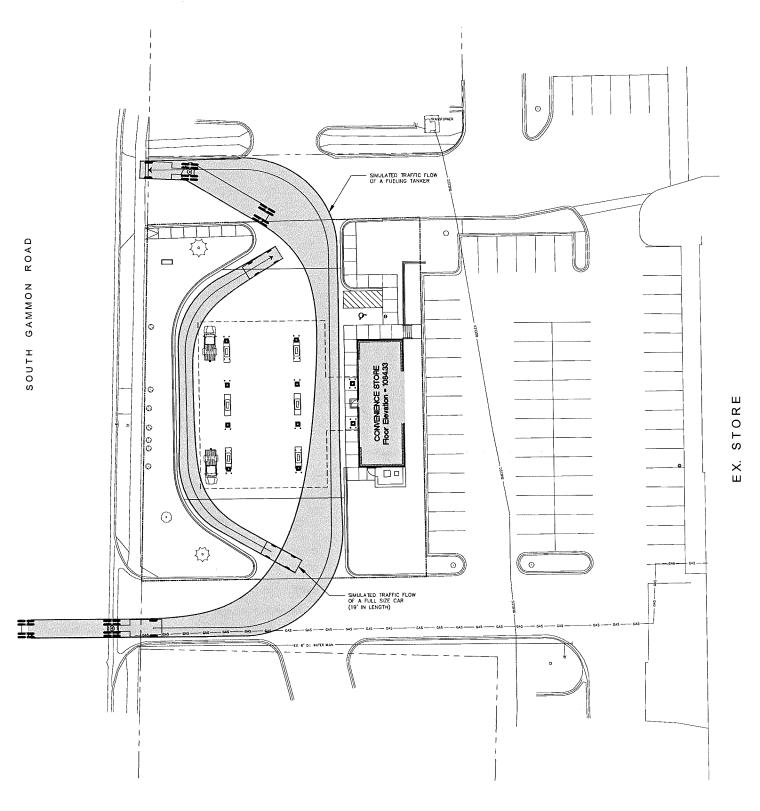
13-112 SHEET TITLE

LANDSCAPE CONSTRUCTION NOTES

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C1.5





WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



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WOÖDMAN'S

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PROJECT NAME

NEW GAS STATION WOODMAN'S

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

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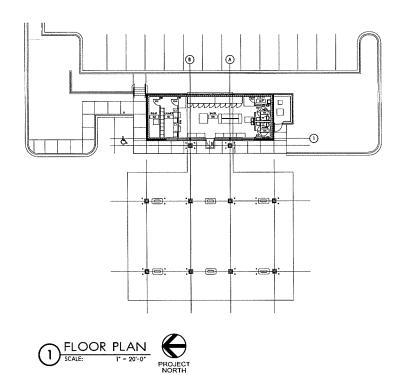
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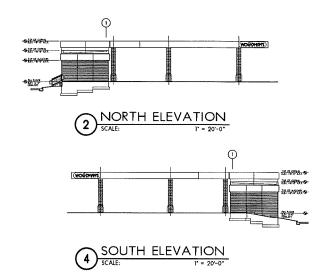
PROPOSED CIRCULATION PLAN

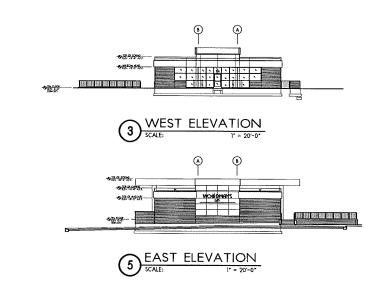
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Building Systems

General Corp.
5972 Executive Drive Suite 100
Madison, Wisconsin 53719
Phone: (608) 276-4400
Fax: (608) 276-4468

NOQONAN'S employee owned

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 South Gammon Road Madison, Wisconsin

CONSULTANTS

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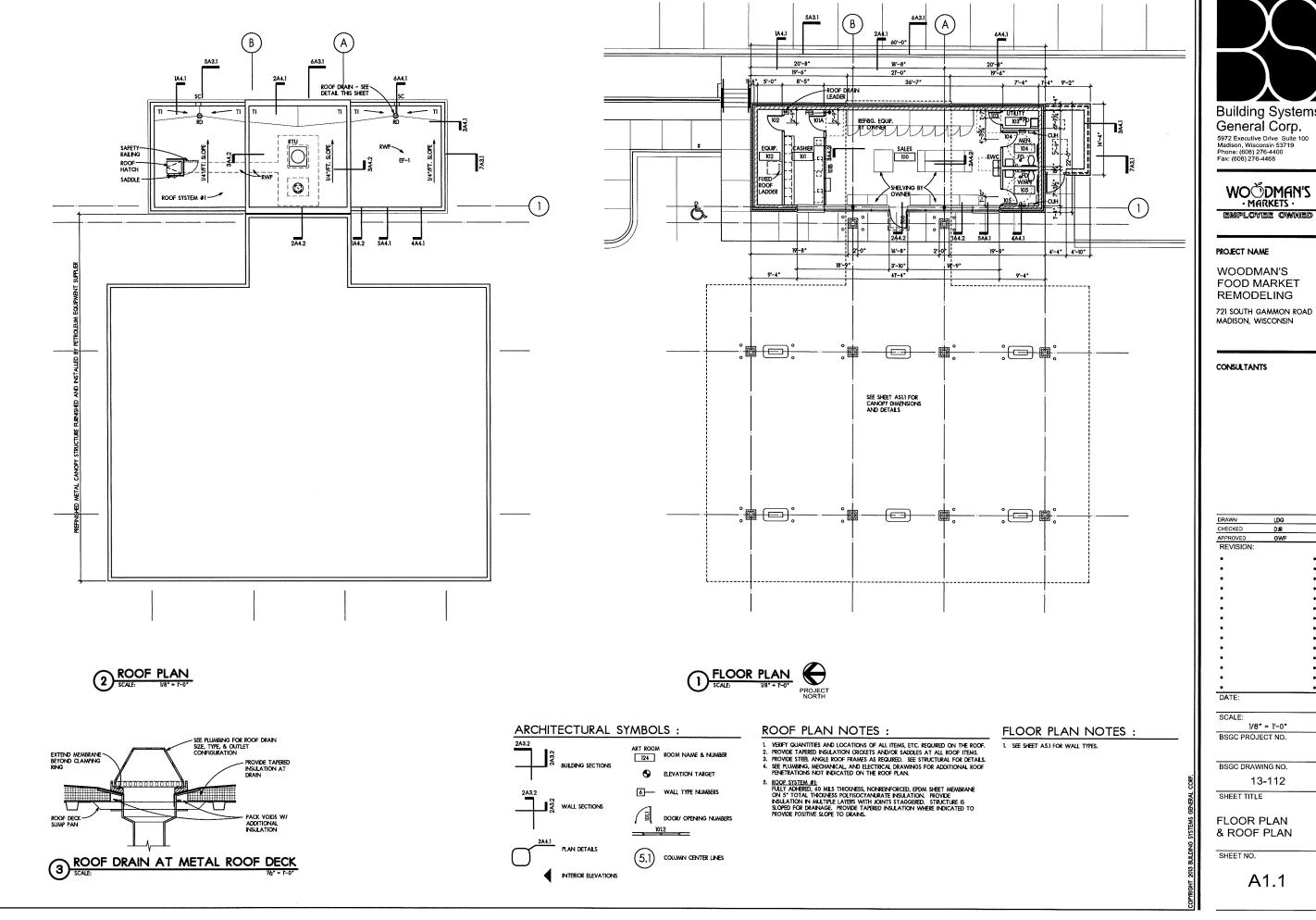
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SHEET TITLE FLOOR PLAN & EXTERIOR **ELEVATIONS**

SCALE: 1" = 20'-0" BSGC PROJECT NO.

SHEET NO.

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Building Systems General Corp.

WOÖDMAN'S

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

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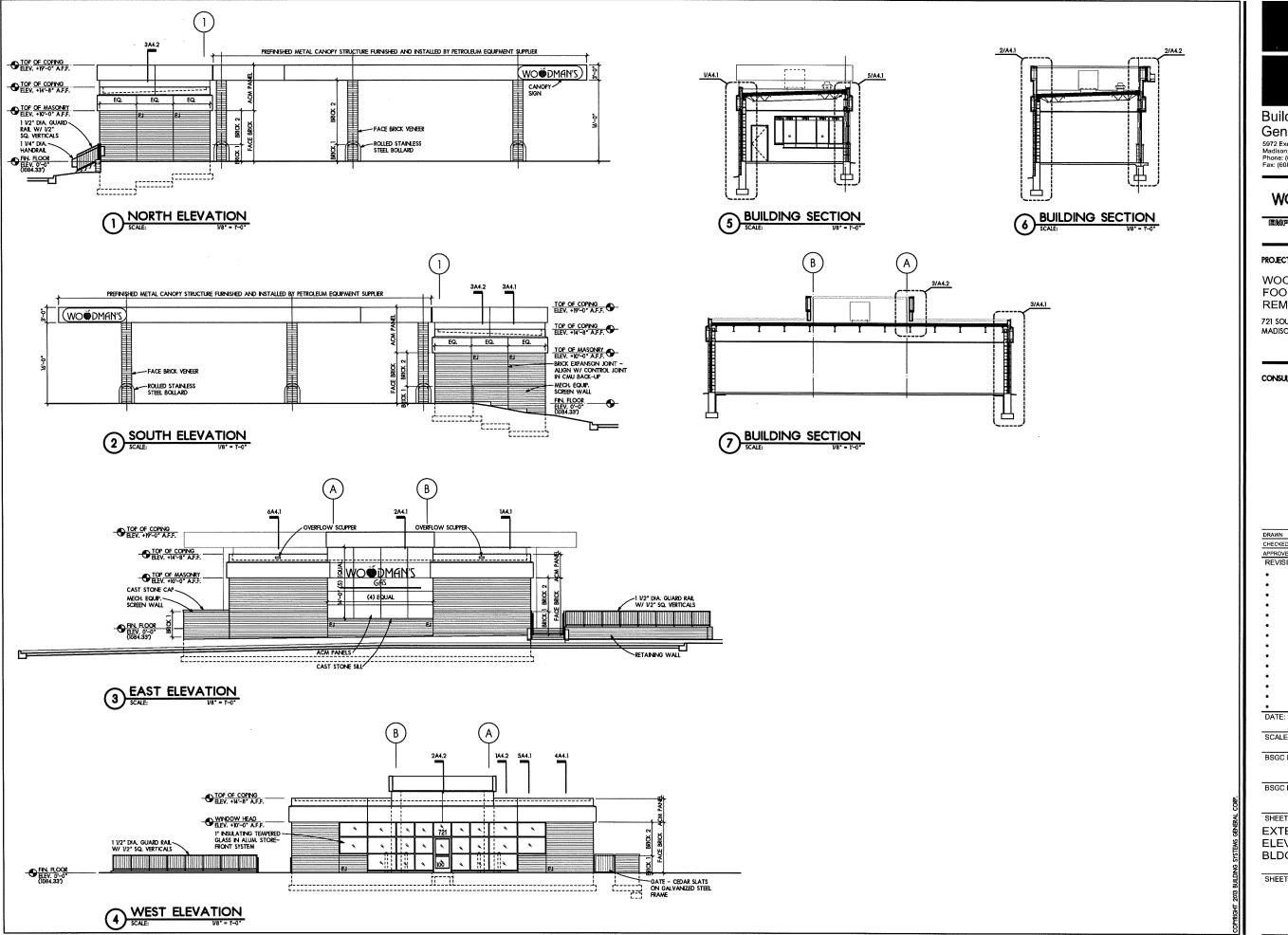
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FLOOR PLAN & ROOF PLAN

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S'NAMGÖOW employee owned

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

CHECKED REVISION

SCALE:

1/8" = 1'-0" BSGC PROJECT NO.

BSGC DRAWING NO.

13-112

SHEET TITLE **EXTERIOR ELEVATIONS & BLDG. SECTIONS**

SHEET NO.

A3.1

"05 '07 | 11 '17 '26 '40 '61 '85 '108 '121 '131 '136 '138 '141 '139 '137 '132 '123 '110 '89 '65 '13 '26 '18 '12 '08 '08 '04 "07 10 75 24 40 66 109 1650212 237 20 765 266 1270 767 260 241 26 17,4 118 73 45 28 18 17,2 08 75 07 11 17 27 44 74 119 175 227 255 274 784 288 283 283 285 285 285 285 285 123 189 121 83 81 12 21 18 16 17 "68 12 18 29 48 78 125 181 232 262 282 292 297 302 288 284 287 265 242 185 140 81 68 17 24 16 11 67 109 113 20 131 150 162 132 194 1248 1279 301 1312 1316 1322 1318 1315 1007 1288 1261 1214 1353 102 166 143 128 118 112 108 0.9 1.4 2.1 3.3 162 6.5 13.5 19.5 24.9 28.5 20.3 31.5 32.1 32.6 32.3 32.0 31.4 2.9 27.8 22.9 18.8 13.3 9.5 16.2 3.8 2.4 16.5 1.0 09 14 24 33 63 66 115 195 25 155 155 155 251 323 315 321 325 323 321 355 323 327 355 315 475 315 45 327 355 32 -08 14 21 33 53 65 137 222 258 250 314 326 331 337 334 333 327 315 332 279 243 124 325 83 48 29 14 14 109 144 221 53 52 65 134 192 247 27#1301 314 319 325 322 319 318 301 284 285 211 185 315 72 44 27 117 117 "09" 13 | 20 | 31 | 51 | 62 | 134 | 199 | 257 | 269 | 312 | 124 | 328 | 334 | 334 | 328 | 323 | 302 | 178 | 231 | 168 | 173 | 74 | 49 | 52 | 21 | 178 | 109 "0.8 12, 18 3.0 4.9 8.0 12.8 18.8 24.2 27.4 29.5 30.7 31.2 31.7 31.4 31.0 30.3 28.5 25.8 21.2 15.3 10.1 48.5 4.2 2.7 1.8 1.2 0.8 "08 "12 18 '28 '48 '75 '121 '175 '228 '239 '27.9 '390 '395 '398 '392 '326 '368 '241 '195 '141 <u>'92 '87 '38 '24 '15 '13</u> '07 1.6 '2.5 '4.2 '7.0 '11.5 '17.3 '22.4 '25.2 '27.3 '28.3 '22.8 '29.0 '28.7 '28.4 '27.7 '26.0 '22.5 '18.3 '13.2 '8.4 '6.1 '23.5 '2.1 '1.4 '0.8 '0.5 '0.5 06 10 14 23 37 62 101 354 200 225 241 252 254 256 256 253 247 232 210 170 117 73 44 28 18 12 06 06 19 10 149 728 115 148 157 179 167 190 193 191 1486 184 173 165 125 68 57 16 23 15 10 107 105 1.5 [23 36 64 74 94 106 116 121 123 126 124 122 119 110 99 81 60 641 127 118 112 106 106-004 01-102 102 103 103 104 105 105 105 107 107 107 107 108 108 108 108 107 107 106 106 105 104 104 103 102 102 102 101 NORTH Catalog Number Description

CRU-SC-LED-LW-CW-LED CANOPY LIGHT, FLUSH.

COO. WHITE LAMP COLOR.

WHITE FINISH. PHOTOMETRICS PLAN Filename Lumens Per Lamp CRU-SC-LED-LW-CW-UEJES 8436.652 Label SCALE: 1" = 20' (30"X42" SHEET) С

Building Systems General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468

S'NAMGÖDWAN'S employee owned

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN CHECKED

DATE: 2-19-14

SCALE: AS NOTED BSGC PROJECT NO.

2252E BSGC DRAWING NO.

13-112

SHEET TITLE

SITE PHOTOMETRICS

SHEET NO.

ES1.1

LED CANOPY LIGHT - LEGACY™ (CRUS)





US & Int'l. patents pending.

HOUSING - Low profile, durable die-cast, aluminum construction, providing a reliable weather-tight seal.

LEDS - Features an array of select, mid-power, high brightness, high efficiency LED chips; 5300°K color temperature, 70 CRI (nominal).

DRIVE CURRENT - Choice of Low Wattage (LW) or Super Saver (SS).

OPTICS / DISTRIBUTION - Symmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.

OPTICAL UNIT - Features an ultra-slim 7/8" profile die cast housing, with a flat glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

PRESSURE STABILIZING VENT - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

HAZARDOUS LOCATION - Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).

DRIVER - State-of-the-art driver technology superior energy-efficiency and optimum light output. Driver components are fully encased in potting for IP65 moisture resistance. Complies with IEC and FCC standards. Surge protected at 10KV.

DRIVER HOUSING - Die cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.

OPERATING TEMPERATURE - -40°C to 50°C (-40°F to +122°F)

ELECTRICAL - Universal voltage power supply, 120-277 VAC, 50/60 HZ input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C.

FINISH - Standard color is white and is finished with LSI's DuraGrip polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

INSTALLATION - One person installation. No additional sealant required. Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit. Retro panels are available for existing Encores (see back page) as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

SHIPPING WEIGHT - 27 pounds (single pack), 48 pounds (double pack).

EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

WARRANTY - Limited 5-year warranty.

LISTING - UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.

PHOTOMETRICS - Applications layouts are available upon request. Contact LSI Petroleum Lighting or petroleum.apps@lsi-industries.com

Consult Factory

Class 1, Division 2 - Standard on SS & LW.

T5 Temperature Classification - The surface temperature of this product will not rise above 100°C., within a 40°C ambient.

Gas Groups A.B.C. and D - Group A: Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D. Benzene, Butane, Methane & Propane.

Catalog #

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements



















Project Name Woodman's - Madison West

J Fixture Type

02/17/14 @ 2018

LSI INDUSTRIES INC

LED CANOPY LIGHT - LEGACY™ (CRUS)



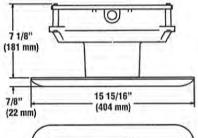
LUMINAIRE ORDERING INFORMATION

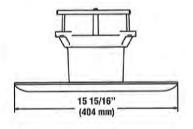
TYPICAL ORDER EXAMPLE: CRUS SC LED SS CW UE WHT

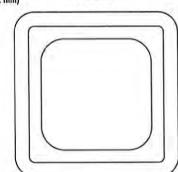
Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
CRUS	SC - Standard Symmetric	LED	LW - Low Watt SS - Super Saver	CW - Cool White	UE - Universal Voltage (120-277V) 347 - 347V	WHT - White BRZ - Bronze BLK - Black	None

ACCESSORY ORDERING INFORMATION (Accessories are field installed)					
Description	Order Number	Description	Order Number		
Retrolit Panels - EC / ECTA / SCF to CRU, for 16" Deck Panel	525946	Kit - Hole Plugs and Silicone (enough for 25 retrofits)	1320540		
Retrolit Panels - ECTA / SCF to CRU, for 12* Deck Panel	530281	1- Consists of (25) 7/8" hole plugs and (1) 10.3 oz tube of RTV			
Retrofit 2x2 Cover Panel Blank (no holes) 357282		Flange Kit used to mount CRU in double deck applications			
Retrofit RIC Cover Panel Blank (no holes)	354702				

DIMENSIONS







IGHT OUT	TPUT - CRUS	4		
A CONTRACTOR	DO AP -	Lumens	Watts	LPW
e ite	LW - Low Watt	10,871	88	124
Cool W	SS - Super Saver	13,554	114	119

1 -10	
151	
Industries"	
American Innovation Through Technology	
American innovation inrough recinions gy	

Catalog #_

Project Name	Woodman's - Madison West	





WO DMAN'S

MARKETS:

EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

SCALE:

BSGC PROJECT NO.

BSGC DRAWING NO.

13-112

SHEET TITLE

SITE **AERIAL**

SHEET NO.

200'







WOÖDMAN'S

MARKETS

EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN CHECKED

SCALE:

NONE BSGC PROJECT NO.

BSGC DRAWING NO. 13-112

SHEET TITLE

CONTEXT PHOTOS







WOÖDMAN'S

employee owned

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

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CHECKED	DJR	
APPROVED	GWF	
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BSGC DRAWING NO. 13-112

NONE BSGC PROJECT NO.

SHEET TITLE

SCALE:

CONTEXT PHOTOS







WOÖDMAN'S · MARKETS · EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG
CHECKED	DJR
APPROVED	GWF
REVISION:	

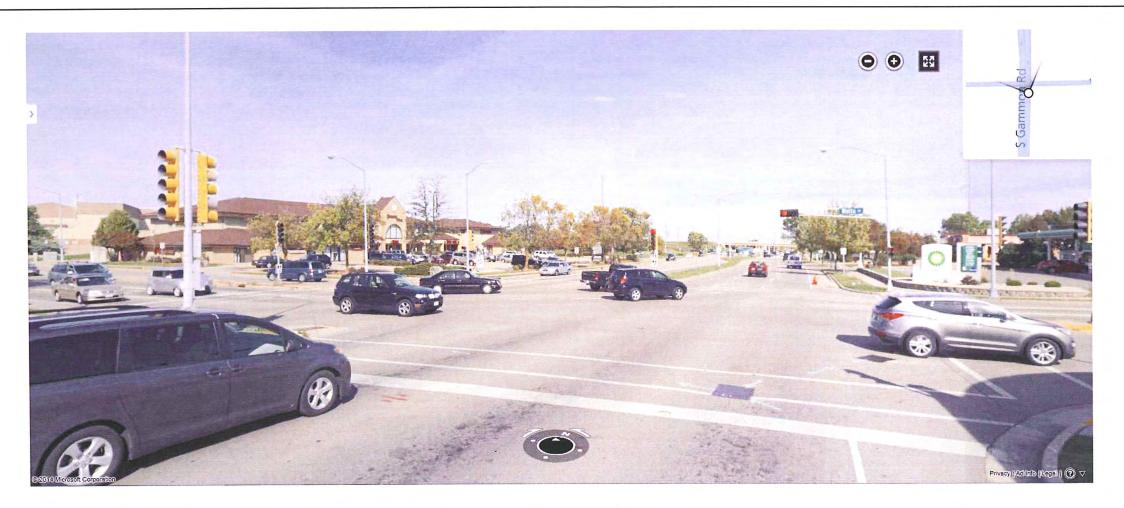
SCALE:

BSGC PROJECT NO.

BSGC DRAWING NO.

13-112 SHEET TITLE

CONTEXT **PHOTOS**







WOODMAN'S MARKETS EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG	
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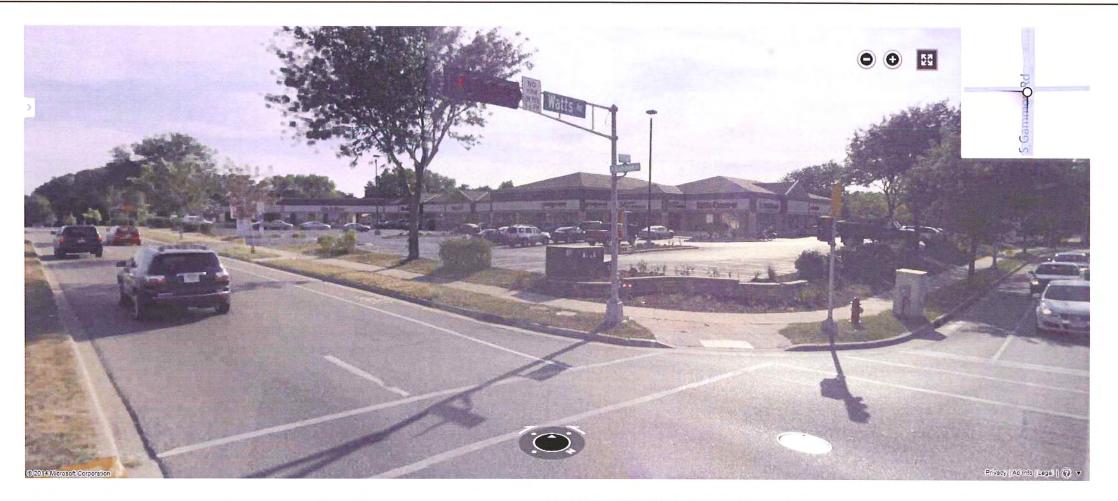
SCALE:

NONE BSGC PROJECT NO.

BSGC DRAWING NO.

13-112 SHEET TITLE

CONTEXT **PHOTOS**







WO DMAN'S - MARKETS EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG	
CHECKED	DJR	
APPROVED	GWF	
REVISION:		
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SCALE:

NONE BSGC PROJECT NO.

BSGC DRAWING NO.

13-112

SHEET TITLE

CONTEXT **PHOTOS**

Building Systems General Corp.

Comprehensive Design Review

5972 Executive Drive Suite 100 Madison, WI 53719

Phone: 608-276-4400 Fax: 608-276-4468

February 24, 2014

City of Madison
Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Boulevard
Madison, WI 53701-2984

URBAN DESIGN COMMISSION COMPREHENSIVE DESIGN REVIEW

Project:

Woodman's Gas Station 721 South Gammon Road Madison, WI 53719

Project Team:

Owner:

Woodman's Food Market, Inc.

2631 Liberty Lane Janesville, WI 53545

Design/Build Contractor:

Building Systems General Corporation

5972 Executive Drive, Suite 100

Madison, WI 53719

Architect/MEP Engineer:

The Larson & Darby Group

4949 Harrison Avenue, Suite 100

Rockford, IL 61125

Civil Engineer:

Snyder & Associates 5010 Voges Road Madison, WI 53718

Proposal:

Woodman's is proposing to demolish its gas station and convenience store located at 721 South Gammon Road and replace it with a new gas station and convenience store. The site is located within Urban Design District No. 2 and consists of a number of contiguous parcels with retail uses. The Woodman's parcel is located within a Commercial Center District and consists of the grocery store and gas station facilities. The Commercial Center District provisions allow for not more than four (4) signable wall areas per building and not more than two (2) ground signs. In addition, all signs shall be approved by the Urban Design Commission through a Comprehensive Design Review.

Existing signage is limited to an internally illuminated pole sign. The new Sign Plan calls for four (4) signs consisting of one (1) monument sign and three (3) wall mounted signs.

The monument sign will be constructed over a masonry base and will incorporate electronically illuminated, changeable copy. The monument sign is to be placed at the location of the current pole sign and will require an exception from the setback limitation of 20 feet.

The wall sign on the rear of the convenience store consists of colored, laser cut, ¼" thick, aluminum characters pegged and projected 1-inch from the face of the building. The height of the sign is proposed to be 15'-6" above grade. The two (2) canopy wall signs consist of vinyl applied lettering on a metal sign panel attached to the canopy.

Urban Design Commission: Urban Design District No. 2 Criteria (Sec. 33.24(9)(d)4.b.vi.)

- 1. A minimum setback of five (5) feet is required of all detached signs. A minimum setback of ten (10) feet from the public right-of-way is required for signs exceeding ten (10) square feet in net area and fifteen (15) feet in height. A minimum setback of twenty (20) feet is required for all signs exceeding twenty (20) square feet in net area or twenty (20) feet in height. No detached sign shall exceed seventy-five (75) square feet in net area and twenty-five (25) feet in height. Based upon the following criteria the Urban Design Commission may specifically approve a larger sign or reduce the setbacks above:
 - A. An exception from the size and setback limitation is necessary for a sign located on the site of an establishment to be identifiable and legible from the nearest roadway at prevailing speeds; and
 - B. An exception from the size and setback limitation will result in a sign more in scale with the building and site and will result in a superior overall design.

An exception to the sign setback requirement of twenty (20) feet for a sign exceeding twenty (20) square feet in net area is requested for the new monument sign. The proposed monument sign has a net area of thirty (30) square feet and is set back a distance of seven (7) feet from the property line. This exception to the setback limitation is necessary for the sign to be identifiable and legible from South Gammon Road when traveling at prevailing speeds. Exemption from the setback limitation will result in a sign that is more in scale with the building and site and will result in a superior overall design.

Comprehensive Design Review Criteria (Sec. 31.043(4)(b):

1. The Sign Plan shall create visual harmony between the signs, building(s), and building site through unique and exceptional use of materials, design, color, any lighting, and other design elements; and shall result in signs of appropriate scale and character to the uses and building(s) on the zoning lot as well as adjacent buildings, structures and uses.

The new signage will create visual harmony between the signs, buildings, gas canopy, and building site. The monument sign will incorporate a brick base which will match the brick used on the gas station building and on the gas canopy columns. The monument sign will be internally illuminated and will be designed such that when illuminated, the sign appears to have light-colored copy on a dark background. The canopy signs and the rear facing wall sign promote the Woodman's branding and will not be illuminated.

2. Each element of the Sign Plan shall be found to be necessary due to unique or unusual design aspects in the architecture or limitations in the building site or surrounding environment; except that when a request for an Additional Sign Code Approval under Sec. 31.043(3) is included in the Comprehensive

Design Review, the sign(s) eligible for approval under Sec. 31.043(3) shall meet the applicable criteria of Sec. 31.043(3), except that sign approvals that come to Comprehensive Design Review from MXC and EC districts pursuant to 31.13(3) and (7) need not meet the criteria of this paragraph.

The changes to the Sign Plan are necessary for proper branding.

3. The Sign Plan shall not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2).

The proposed signs do not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2).

4. All signs must meet minimum construction requirements under Sec. 31.04(5).

The signs will meet or exceed the minimum construction requirements under Sec. 31.04(5).

5. The Sign Plan shall not approve Advertising beyond the restrictions in Sec. 31.11 or Off-Premise Directional Signs beyond the restrictions in Sec. 31.115.

None of the proposed signs are Advertising Signs as defined in Sec. 31.03(2).

- 6. The Sign Plan shall not be approved if any element of the plan:
 - a. presents a hazard to vehicular or pedestrian traffic on public or private property,
 - b. obstructs views at points of ingress and egress of adjoining properties,
 - c. obstructs or impedes the visibility of existing lawful signs on adjacent property, or
 - d. negatively impacts the visual quality of public or private open space.

The proposed signs do not present a hazard to vehicular of pedestrian traffic on public or private property, obstruct views at points of ingress and egress of adjoining properties, obstruct or impede the visibility of existing lawful signs on adjacent property, or negatively impact the visual quality of public or private open space.

7. The Sign Plan may only encompass signs on private property of the zoning lot or building site in question, and shall not approve any signs in the right of way or on public property.

All signs are located on private property.

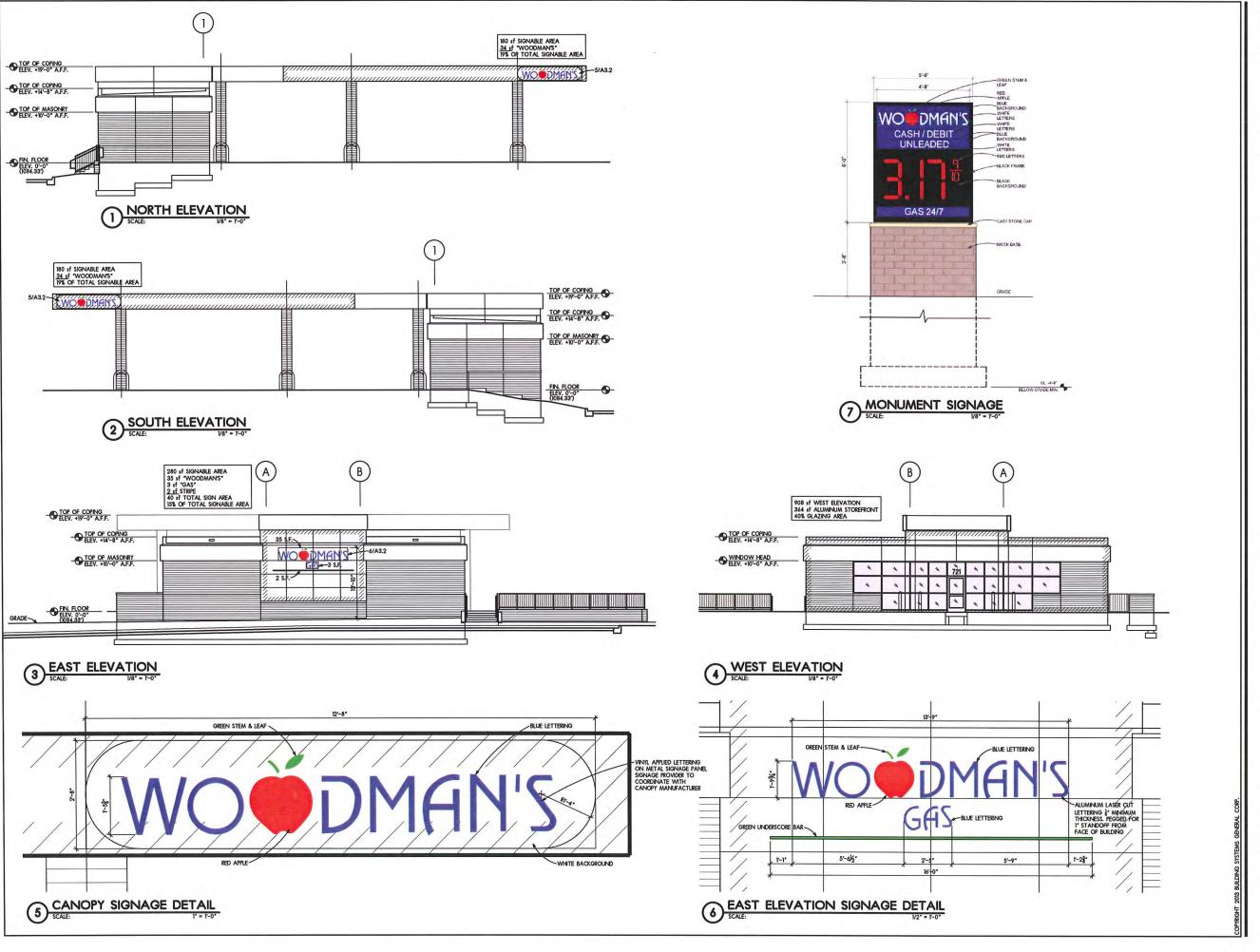
Submitted.

Building Systems General Corp.

James R. Arneson, PE

Vice President (608)663-6233

jarneson@bsqc-wi.com





Building Systems General Corp.

5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468

WO DMAN'S

MARKETS

EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG	
CHECKED	DJR	
APPROVED	GWF	
REVISION:		
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BSGC DRAWING NO. 13-112

1/8" = 1'-0" BSGC PROJECT NO.

SHEET TITLE
EXTERIOR
SIGNAGE
PLAN

SHEET NO.

A3.2

Building Systems General Corp.

Comprehensive Design Review

5972 Executive Drive Suite 100 Madison, WI 53719

Phone: 608-276-4400 Fax: 608-276-4468

February 24, 2014

City of Madison
Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Boulevard
Madison, WI 53701-2984

URBAN DESIGN COMMISSION COMPREHENSIVE DESIGN REVIEW: SIGN INVENTORY

Project:

Woodman's Gas Station 721 South Gammon Road Madison, WI 53719

Wall Signs:

Gammon Road:

Dunkin' Donuts/Fannie May/World Finance

- 1. World Finance Loans
- 2. Fannie May Fine Chocolates
- 3. Dunkin' Donuts
- 4. Dunkin' Donuts

701-709 South Gammon Road

- 5. India House
- 6. Domino's
- 7. Sport Clips
- 8. Q Beauty
- 9. US Cellular
- 10. US Cellular
- 11. US Cellular
- 12. Q Beauty
- 13. Sport Clips
- 14. Domino's
- 15. Harold's Chicken
- 16. India House

Woodman's Food Market

17. Woodman's Markets - Employee Owned

Watts Road:

Woodman's Food Market

- 18. Bakery
- 19. Woodman's (Sun Logo)
- 20. Produce
- 21. Parcel Pick-Up
- 22. Woodman's Markets Open 24 Hours
- 23. Photo
- 24. Liquor

Madison Design Center

- 25. Fireside Hearth & Home
- 26. Madison Lighting
- 27. Woodworks Furniture
- 28. The Great Frame Up
- 29. Badger Spray
- 30. Hallman Lindsay/Paints

Monument Signs:

Gammon Road:

- 31. Dunkin' Donuts/Fannie May/World Finance
 - a. Sign Area: 40 square feet
 - b. Overall Height: 10'-3"
- 32. Woodman's Gas Station
 - a. Sign Area: 70 square feet
 - b. Overall Height: 11'-7"
- 33. 701-709 South Gammon Road (1)
 - a. Sign Area: 20 square feet
 - b. Overall Height: 4'-31/2"
- 34. 701-709 South Gammon Road (2)
 - a. Sign Area: 20 square feet
 - b. Overall Height: 4'-31/2"

Watts Road

- 35. Madison Design Center
 - a. Sign Area: 40 square feet
 - b. Overall Height: 16'-0"

701-709 SOUTH GAMMON ROAD





733-739 SOUTH GAMMON ROAD



(1) WORLD FINANCE LOANS

2 FANNIE MAY - FINE CHOCOLATES

3 DUNKIN DONUTS

4 DUNKIN DONUTS



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WOÖDMAN'S

· MARKETS ·

EMPLOYIEE OWNED

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DATE:

SCALE:

BSGC PROJECT NO.

BSGC DRAWING NO.

13-112
SHEET TITLE
EXISTING

EXISTING SIGNAGE SURVEY

SHEET NO.

SS1

701-709 SOUTH GAMMON ROAD



(10) US CELLULAR

(11) US CELLULAR

(12) Q BEAUTY

(13) SPORT CLIPS

14) DOMINO'S

(15) HAROLD'S CHICKEN

(6) INDIA HOUSE



5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468



PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DATE:

BSGC PROJECT NO.

BSGC DRAWING NO.

13-112

SHEET TITLE
EXISTING
SIGNAGE
SURVEY

SHEET NO.

SS2



WOODMAN'S FOOD MARKETS



WOODMAN'S MARKETS - EMPLOYEE OWNED

18 bakery 19 woodman's sun

20 PRODUCE

2) PARCEL PICK-UP

2 WOODMAN'S MARKETS - OPEN 24 HOURS ØРНОТО ØLIQUOR

MADISON DESIGN CENTER



25 FIRESIDE HEARTH & HOME

23 MADISON LIGHTING

WOODWORKS FURNITURE

28 THE GREAT FRAME UP

29 BADGER SPRAY 30 HALLMAN LINDSAY/PAINTS

Building Systems General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468

WOÖDMAN'S
- MARKETS EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

CHECKED

DATE:

SCALE:

BSGC PROJECT NO.

BSGC DRAWING NO. 13-112

SHEET TITLE

EXISTING SIGNAGE SURVEY

SHEET NO.

SS3



EXISTING MONUMENT SIGNS



MONUMENT SIGN: 40 SQ. FT. -10'-3" TALL

MONUMENT SIGN: 70 SQ. FT. -11'-7" TALL

MONUMENT SIGN: 20 SQ. FT. -4'-3½" TALL

MONUMENT SIGN: 20 SQ. FT. -4'-3½" TALL

33

MONUMENT SIGN: 30 SQ. FT. -16'-0" TALL