

Parking Lot Plan Site Information Block

Site Address	3009 University Avenue
Site acreage (total)	0.899
Number of building stories (above grade)	5
Building height	xx
DILR (Type of construction (new structures or additions))	N/A
Total square footage of building	11,000
Use of property	Multi-family Residential
Gross Square Foot of retail	0
Number of employees in warehouse	0
Number of employees in production area	0
Capacity of restaurant/piece of assembly	0
Number of bicycle stalls shown	40
Number of parking stalls shown	0
Number of trees shown	xx
Small car	0
Large car	64
Accessible	3
Total	67

- LEGEND (PROPOSED)**
- PROPERTY LINE
  - ROOF OUTLINE
  - EDGE OF PAVEMENT
  - RETAINING WALL
  - 1 HOUR RATED FIRE WALL
  - PROPOSED ASPHALT PAVEMENT, 3.25" MIN. E.O. 1.5" 9.5 MM SURFACE, 1.75" 12.5 MM BINDER
  - PROPOSED CONCRETE PAVEMENT, 5" NON REINFORCED
- GENERAL NOTES**
- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
  - LANDSCAPE ARCHITECTURE
  - STRUCTURAL ENGINEERING
  - TRANSPORTATION ENGINEERING
  - PLANNING & DEVELOPMENT
  - WATER RESOURCES
  - CONSTRUCTION SERVICES
  - SURVEYING & MAPPING
  - CIVIL ENGINEERING
- SITE PLAN NOTES**
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
  - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  - EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH.
  - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
  - USE 4" WIDE HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  - 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
  - BIKE RACK TO MEET CITY OF MADISON STANDARDS.
- SITE PLAN NOTES**
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
  - NO SITE GRADING OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION, NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
  - USE SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISPLEASANT ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  - SPECIALTY CONTRACTORS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.

**C-1.0**  
SHEET NUMBER

**SITE PLAN**  
SHEET TITLE

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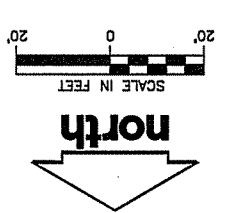
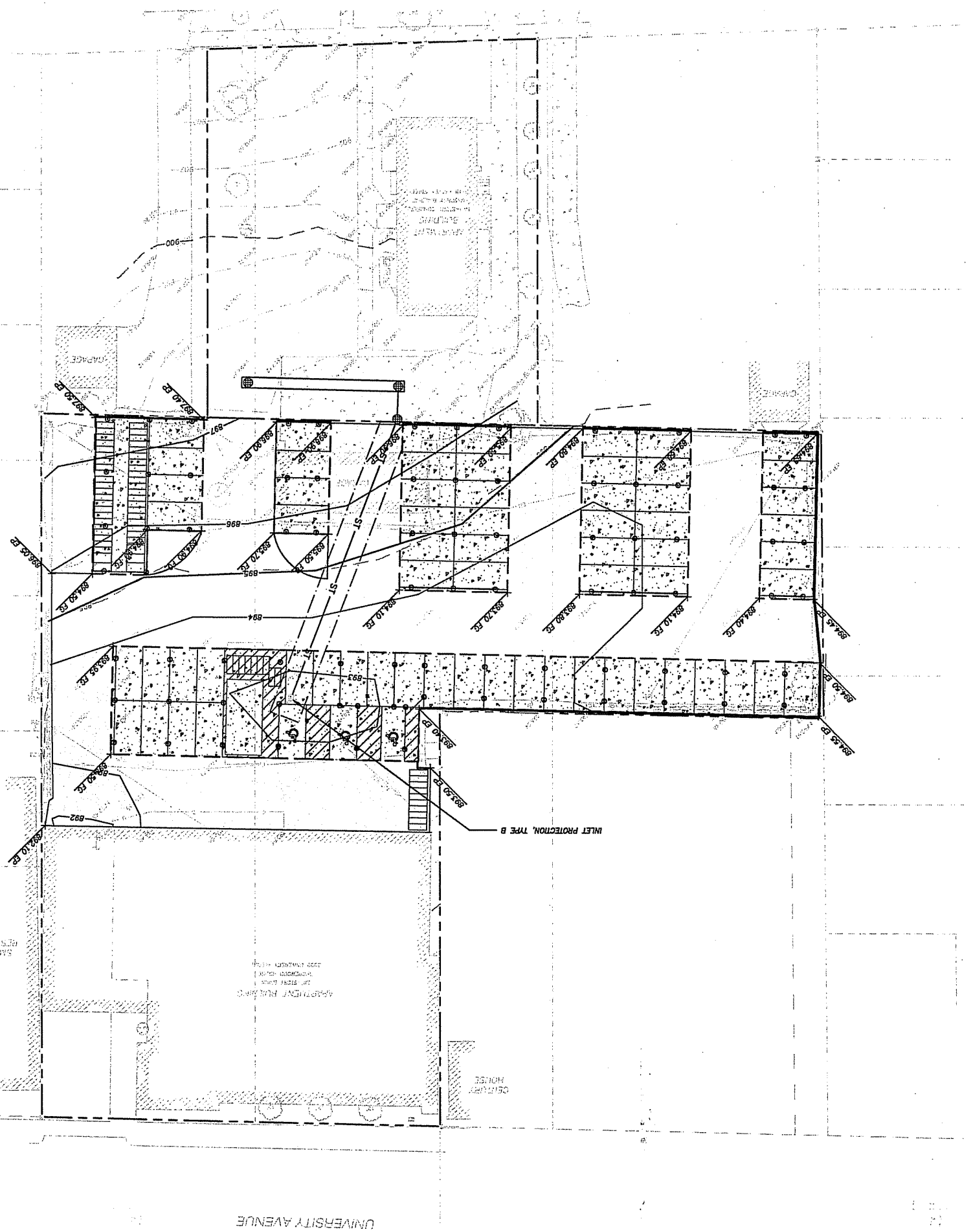
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SERVICES PROVIDED TO:  
**SHOREWOOD HOUSE, LLP.**  
3009 UNIVERSITY AVE.  
MADISON, WI 53705

PROJECT: **3009 UNIVERSITY AVE PARKING LOT**  
PROJECT LOCATION: **CITY OF MADISON DANE COUNTY, WI**  
JOB PROJECT NO.: **10-4352**  
SEAL SIGNATURE:

DATE:	11-20-13
DESIGN:	pgs
DRAWN:	pgs
APPROVED:	BD
DATE:	11-20-13
REVISED UDC SUBMITTAL:	03-12-14



**PLAN MODIFICATIONS:**

DATE	REVISION
03-12-14	REVISED UDC SUBMITTAL

**DESIGN:** PGB 11-20-13  
**DRAWN:** PGB 11-20-13  
**APPROVED:** BD 11-20-13

**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL MAINTENANCE OR APPLICATION OF A ROOT PROOFED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED, CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
5. CONTRACTOR TO DEEP TILL ALL COMPACTED PREVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.wisconsin.gov/unoff/etomwke/etomwke/etomwke.html>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNPREDICTED FIELD CONDITIONS IF MODIFICATIONS CONFORM TO MONITOR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE, TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH MONITOR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):  
 A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.  
 B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION WITH THE C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE OR DRAINAGE DITCH.  
 10. INSTALL TYPE B INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
11. APPLY ANY OTHER POLYMERS TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 5:1 (25%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS 1 TYPE B EROSION CONTROL MATS. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO MONITOR TECHNICAL STANDARD 10B8.
15. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEWAGE FROM ENTERING THE STORM SEWER SYSTEM.

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4. NO SITE GRADING OUTSIDE OR PROPOSED SILT FENCE LOCATION, NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

**LEGEND (PROPOSED)**

- PROPERTY LINE
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- ROOF OUTLINE
- EDGE OF PAVEMENT
- 1 HOUR RATED FIRE WALL
- RETAINING WALL
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FEE - FINISHED FLOOR ELEVATION
- SW - SIDEWALK
- FD - FINAL GRADE
- RM - STRUCTURE RIM

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 3009 UNIVERSITY AVE.  
 MADISON, WI 53705

PROJECT:  
 3009 UNIVERSITY AVE  
 PARKING LOT

PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

ISP PROJECT NO.: 10-4352

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

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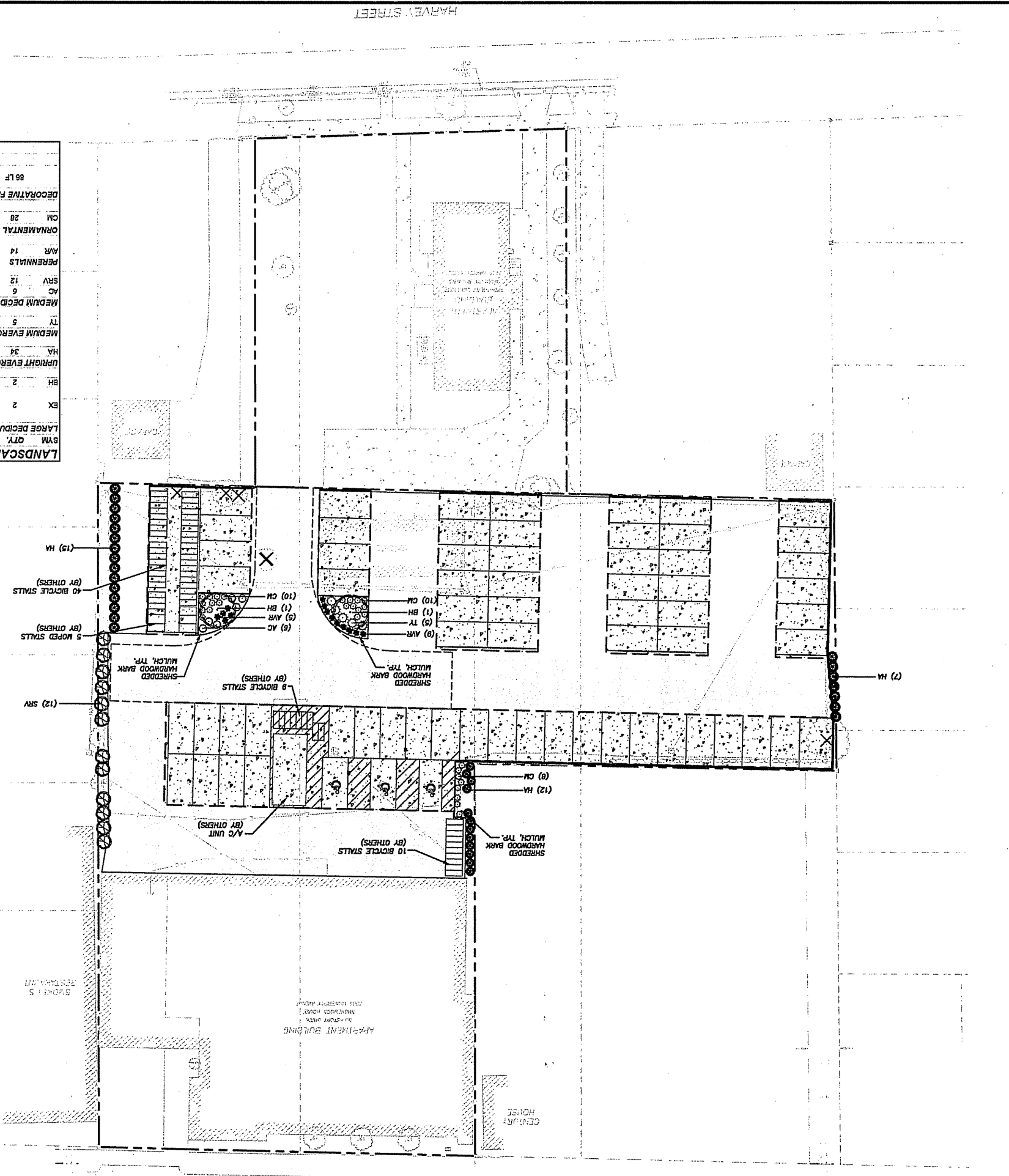
PLAN MODIFICATIONS:  
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SHEET TITLE:  
**GRADING & EROSION CONTROL PLAN**

SHEET NUMBER:  
**C-2.0**





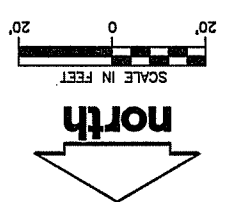
**LANDSCAPE PLANT LIST - 309 UNIVERSITY AVE**

SYM	QTY.	COMMON NAME	BOTANICAL NAME	ROOT	SIZE	POINTS	TOTAL POINTS
EX	2	Existing Large Deciduous Trees					22
BH	2	Bowhall Maple	<i>Acer rubrum</i> 'Bowhall'	2-1/2" Cal.	B&B	35	70
HA	34	Holmstrup Arborvitae	<i>Thuja occidentalis</i> 'Holmstrup'	3-4" Min. Ht.	B&B	10	340
TI	5	Tautou Yew	<i>Taxus x media</i> 'Tautou'	12-24" Min Ht.	# 2 Cont.	4	20
SRV	12	Spring Red Compact Cranberrybush Vb.	<i>Viburnum trilobum</i> 'Spring Red'	18" Ht.	# 2 Cont.	3	36
AC	6	Alpine Currant	<i>Ribes alpinum</i>	12-24" Min Ht.	# 2 Cont.	3	18
AVR	14	Visions in White	<i>Aster x chinensis</i> 'Visions in White'	8-10" Min Ht.	# 1 Cont.	2	28
CM	28	Korean Father Reed Grass	<i>Calamagrostis canadensis</i>	8-10" Min Ht.	# 1 Cont.	2	56
88 LF		Cedar Picket Fence					748
<b>TOTAL:</b>	<b>4 per 10</b>	<b>(Inset) Inset</b>					<b>344</b>

148 POINTS ALLOWED FOR EXISTING TREES TOTAL  
22% OF 487 = 106  
22% OF 4308

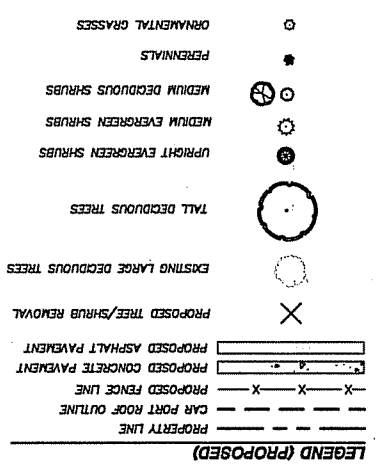
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- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.



**Site Plan Information Block**

Site Address	309 University Avenue
Total Site	43,094 sq. ft.
Existing Apartment Building	10,872 sq. ft.
Existing Detached Garage	1,002 sq. ft.
Existing Open Space	3,939 sq. ft.
Existing Impervious Surface	27,182 sq. ft.
Proposed Open Space	2,826 sq. ft.
Proposed Impervious Surface	29,296 sq. ft.



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MADISON, WI 53705

PROJECT:  
309 UNIVERSITY AVE  
PARKING LOT AND  
FIRE LANE

PROJECT LOCATION:  
CITY OF MADISON  
DANE COUNTY, WI

JSD PROJECT NO.: 10-4352

SEAL/SIGNATURE:

DATE: 11/20/13  
DESIGN: KY  
DRAWN: KY  
APPROVED: MMS  
REVISED UDC SUBMITTAL: 03/12/14

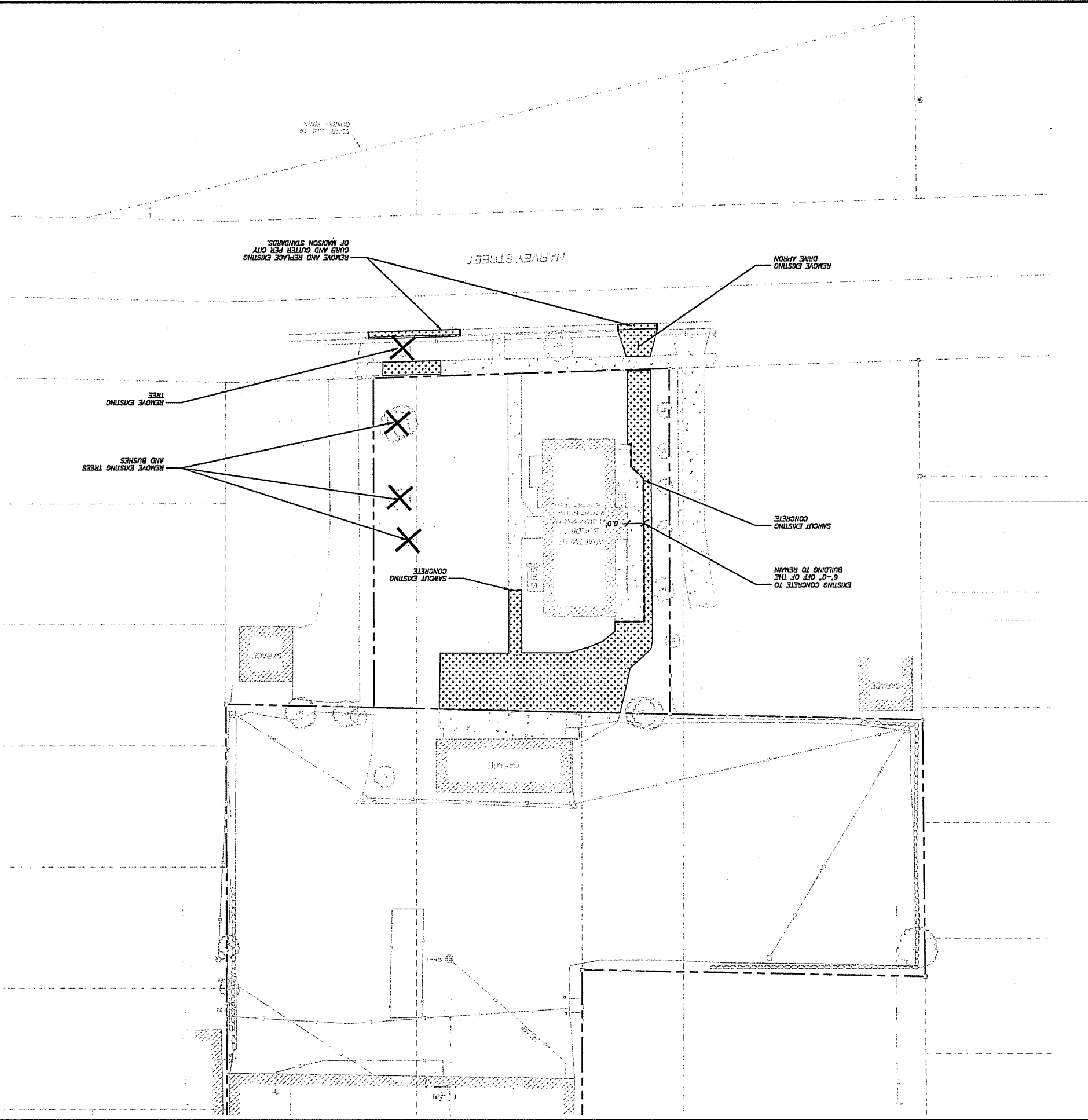
SHEET TITLE: LANDSCAPE PLAN

SHEET NUMBER: L-1.0

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**LEGEND (PROPOSED)**

--- ---	PROPERTY LINE
.....	SAMCUT
.....	CONCRETE/BASE REMOVAL

- GENERAL NOTES**
- REFER TO THE BOUNDARY TOPOGRAPHIC & UTILITY SURVEY BY JSD PROFESSIONAL SERVICES DATED 11-05-13 FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DENYALS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- DEMOLITION NOTES**
- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY. RECOMMENDATIONS, DIGGER'S HOTLINE LOCATION, AND GENERAL STANDARDS OF CARE. THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE OBSERVATION OF EITHER THE EXISTING CONDITIONS OR THE CONTRACTOR'S BIDDERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE IDENTIFIED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
  - ALL PERMITS EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
  - PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENOUGH WITHIN THE EXISTING CURB TO REMAIN. ALL PRUNING WITHIN THE EXISTING CURB OR OF THE EXISTING CURB SHALL BE DONE RADIALLY AWAY FROM THE TRUNK IN EXCESS OF 1' DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPLACING TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.
  - ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
  - BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS. DISCONNECT ALL UTILITIES, DRAIN ALL APPLICABLE FEATURES AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. NO PORTIONS OF THE BUILDING SHALL NOT BE BURIED ON SITE. ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
  - ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
  - CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING LOW DENSITY CONCRETE/FLOWABLE FILL.
  - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS. DEMOLITION AND REMOVAL, THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
  - GRAVELLY MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
  - BEFORE TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS RELATING TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - PERFORM UTILITY ELEVATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE NOTIFIED ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
  - ANY SANITARY SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS AND WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
  - SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE STANDARD SPECIFICATIONS FOR WATER ABANDONMENT/RECONNECTION.
  - CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION. ALL INCLUDED WATER AND SEWER SERVICES SHALL BE FIELD VERIFIED FOR LOCATION, SIZE AND DEPTH PRIOR TO CONSTRUCTION. THESE SERVICES SHOULD BE REMOVED WITHIN THE BUILDING FOOTPRINT AND REMOVED OR ABANDONED IF LOCATED OUTSIDE OF THE BUILDING FOOTPRINT. THE CONTRACTOR SHALL SHUT THE CORPORATION VALVE AT THE MAIN AS PART OF THE ABANDONMENT/RECONNECTION.

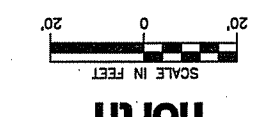
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C-3.0	UTILITY PLAN
C-4.0	DETAILS
L-1.0	LANDSCAPE PLAN
L-2.0	LANDSCAPE DETAILS AND SPECIFICATIONS

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PLAN MODIFICATIONS:  
 REVISED UDC SUBMITTAL  
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PROJECT:  
**3118 HARVEY STREET  
 FIRE LANE**

PROJECT LOCATION:  
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 JSD PROJECT NO.: 10-4352

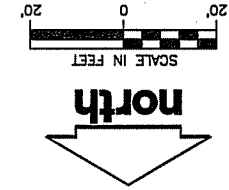
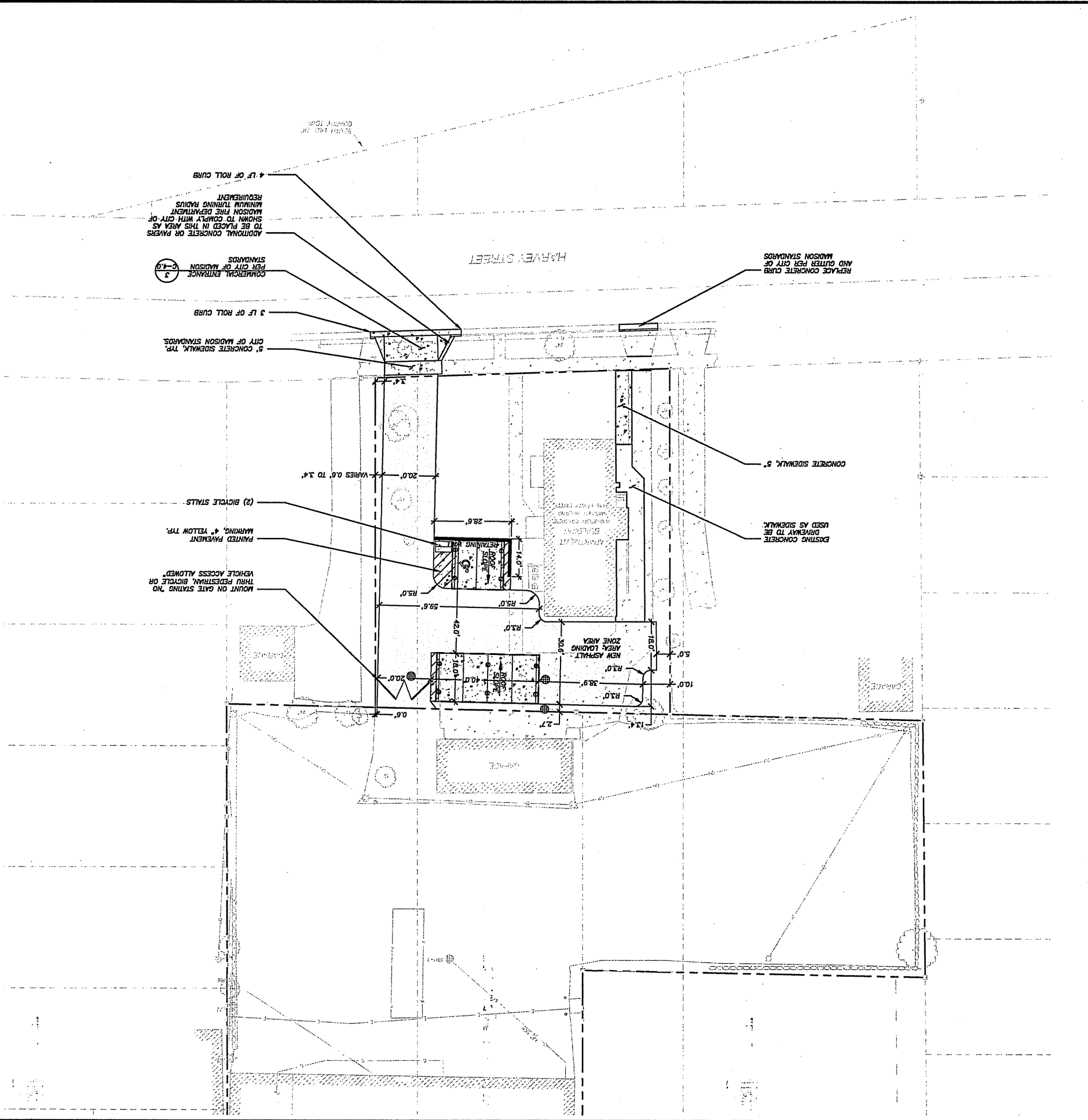
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SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**C-0.1**

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Parking Lot Plan Site Information Block

Site Address (total) 3118 Harvey Street  
 Site acreage (total) 0.318

Number of building stories (above grade) 2  
 Building height xx  
 Diller type of construction (new structures or additions) N/A  
 Total square footage of building 1,830  
 Use of property Apartments

Gross square feet of retail 0  
 Number of employees in warehouse 0  
 Number of employees in production area 0  
 Capacity of restaurant/office of assembly 0

Number of bicycle stalls shown 2  
 Number of bicycle stalls shown 2

Number of parking stalls shown  

Small car	0
Large car	5
Accessible	1
Total	6

 Number of trees shown xx

- SITE PLAN NOTES**
1. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
  2. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  3. EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOK FINISH.
  4. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TR-28UV CONCRETE SEALANT.
  5. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  6. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  7. 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMP.
  8. BIKE RACK TO MEET CITY OF MADISON STANDARDS.

- GENERAL NOTES**
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  2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
  3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE SPECIFICATIONS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SLOPE LOCATION, NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
  5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- LEGEND (PROPOSED)**
- PROPERTY LINE
  - ROOF OUTLINE
  - PROPOSED FENCE LINE
  - EDGE OF PAVEMENT
  - 8" FOM-DU-LAC DRYWALL STONE, DRY STACKED, RETAINING WALL
  - PROPOSED CONCRETE PAVEMENT, 5" NON REINFORCED
  - PROPOSED ASPHALT PAVEMENT, 3.25" MIN. EQ. 3, 1.5" 9.5 MI SURFACE, 1.75", 12.5 MI BINDER

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PROJECT:  
**3118 HARVEY STREET  
 FIRE LANE**  
 CITY OF MADISON  
 DANE COUNTY, WI  
 JSD PROJECT NO.: 10-4352

SEAL/SIGNATURE:  
 DATE: 11-20-13  
 DESIGNED: PGB  
 DRAWN: PGB  
 APPROVED: BD  
 11-20-13

PLAN MODIFICATIONS:  
 REVISED UDC SUBMITTAL: 03-12-14

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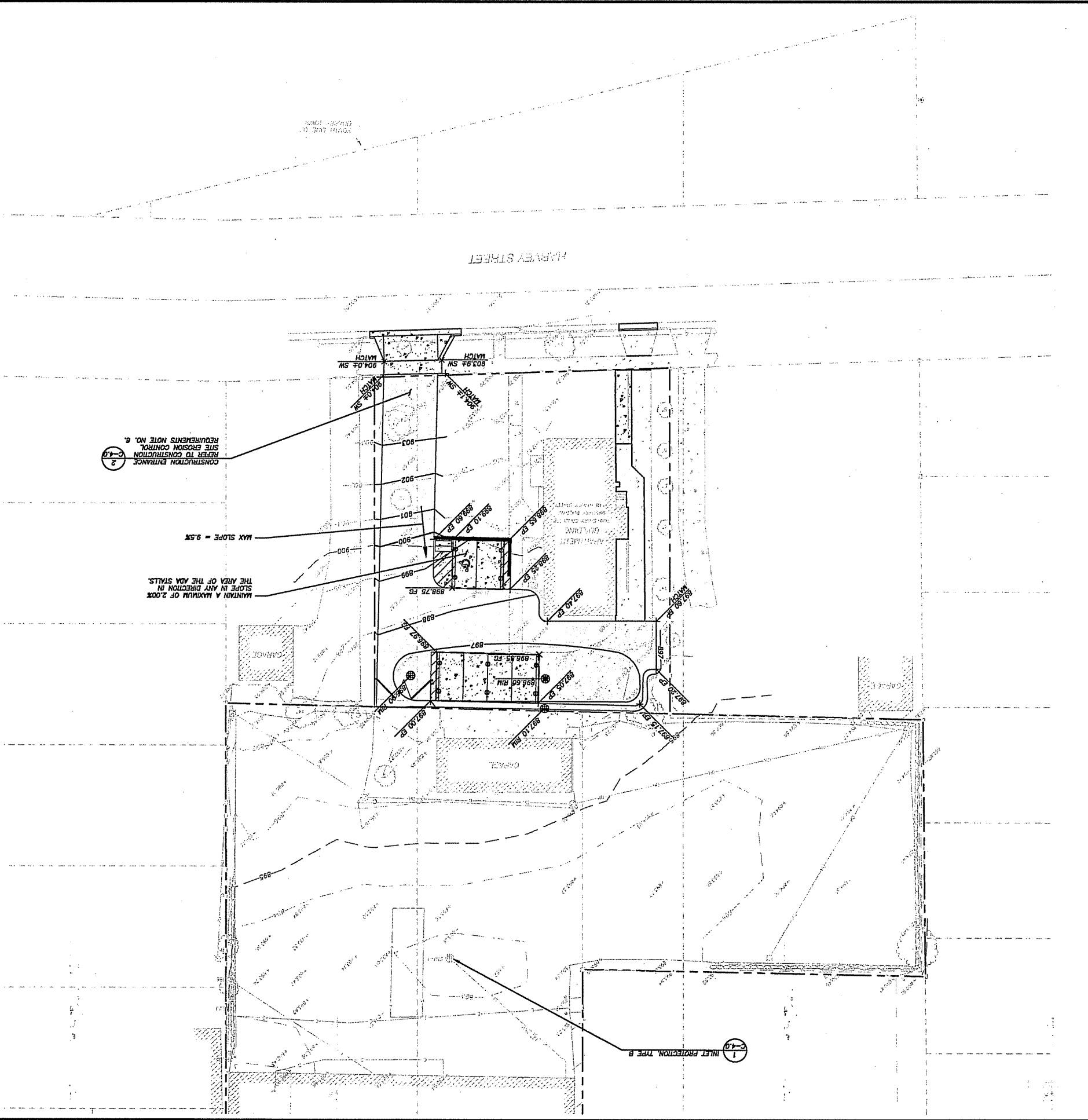
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SHEET TITLE: **SITE PLAN**

SHEET NUMBER: **C-1.0**

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**GRADING AND SEEDING NOTES**

1. TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
5. CONTRACTOR TO KEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/info/erosioncontrol.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL MEASURES MAY BE CONDUCTED TO MEET UNFORTHSEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DIRT BY THE CITY OF MUSKEGON.
7. STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
9. ACCORDANCE WITH WNR TECHNICAL STANDARDS.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMTIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 6:1 (25%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS 1 TYPE B EROSION MATTING OR APPLICATED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WNR TECHNICAL STANDARD 100B.
15. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEWAGE FROM ENTERING THE STORM SEWER SYSTEM.

**GENERAL NOTES**

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4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION, NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

**LEGEND (PROPOSED)**

---	PROPERTY LINE
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	ROOF OUTLINE
-X-X-	PROPOSED FENCE LINE
---	EDGE OF PAVEMENT
---	RETAINING WALL
---	PROPOSED ASPHALT PAVEMENT
---	SPOT ELEVATION
EP	EDGE OF PAVEMENT
FE	FINISHED FLOOR ELEVATION
SM	SEWAL
SG	FINAL GRADE
RM	STRUCTURE RIM

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 JSD PROJECT NO.:  
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SEAL/SIGNATURE:

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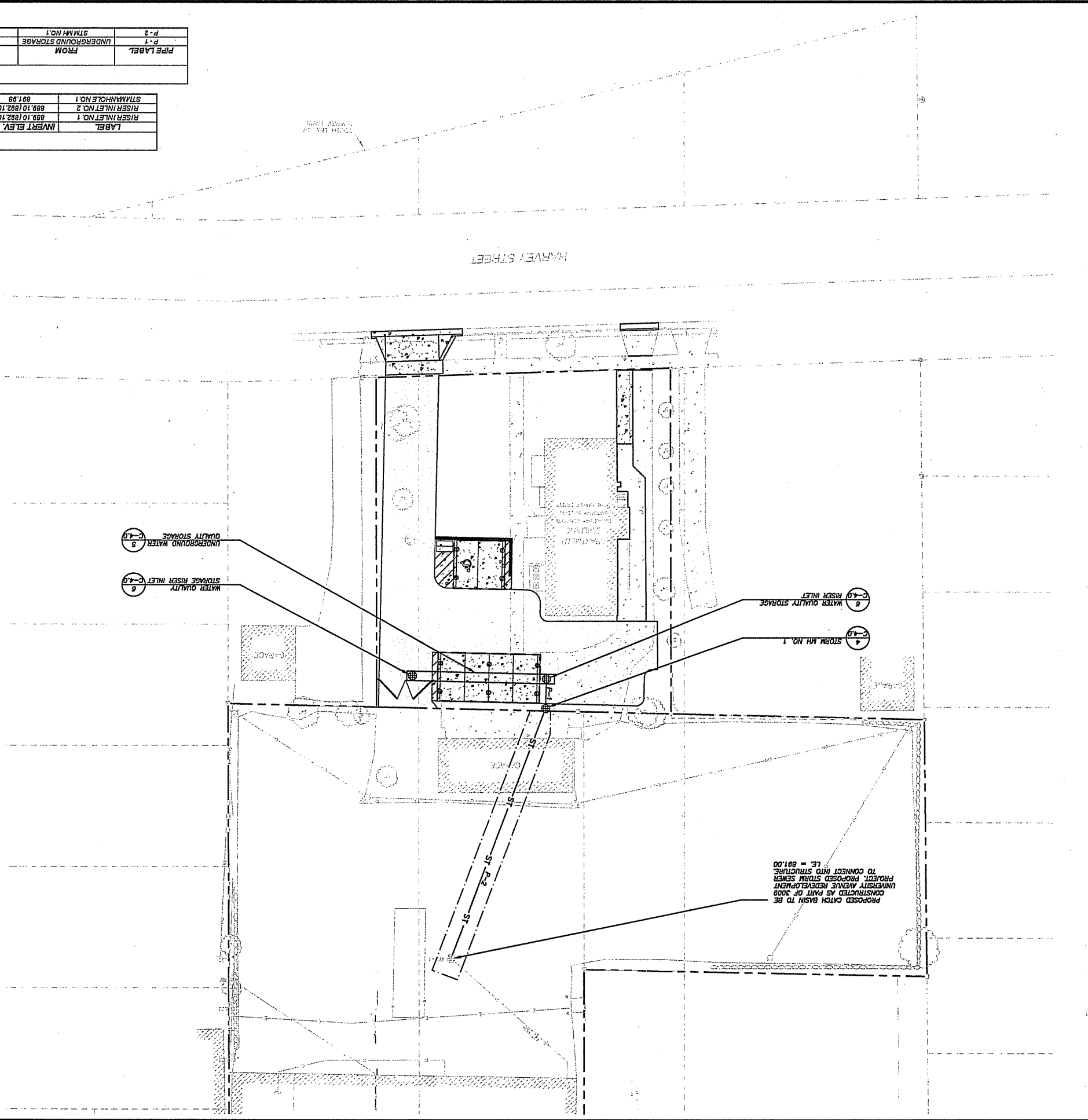
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PLAN MODIFICATIONS:  
 REVISIONS UDC SUBMITTAL 03-12-14

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SHEET TITLE:  
**GRADING & EROSION  
 CONTROL PLAN**

SHEET NUMBER:  
**C-2.0**



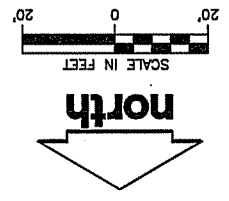
**PROPOSED STORM SEWER PIPE SCHEDULE**

PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE	SLOPE (%)	PIPE SIZE & TYPE
P-1	UNDERGROUND STORAGE	STMMH NO. 1	10	882.10		1.00%	8" PVC
P-2	STMMH NO. 1	EXISTING INLET		881.88			8" PVC

**PROPOSED STORM SEWER STRUCTURES SCHEDULE**

LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION
RISE INLET NO. 1	889.10 (882.10)	888.30	1.40 (4.40)	30" COMP. RISER
RISE INLET NO. 2	889.10 (882.10)	889.90	7.80 (8.80)	30" COMP. RISER
STMMH NO. 1	881.88	887.10	5.12	24" DIA. MANHOLE

GRATE  
R-257A INLET FRAME, TYPE C GRATE  
R-257B INLET FRAME, TYPE C GRATE  
R-168B, CLOSED IJD, TYPE B GRATE



- UTILITY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
  - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
  - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
  - ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
  - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
  - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WSPRS, AND WDMR.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
    - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
    - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, WATER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY IN INCLUDING BUT NOT LIMITED TO EXISTING SERVICE ABANDONMENT.
    - VERIFYING UTILITY ELEVATIONS AND NOTING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
    - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
    - NOTING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO AVOID FOR APPROPRIATE CONSTRUCTION OBSERVATION.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
  - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
  - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SEWER, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
  - ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS. PUBLIC IMPROVEMENTS ONLY SHOWN ON THIS PLAN FOR GRAPHIC PURPOSES. CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH CITY OF MADISON INSPECTOR A MINIMUM OF 48 HOURS BEFORE COMMENCING TO PUBLIC UTILITIES OR DOING ANY OTHER WORK WITHIN THE PUBLIC RIGHT-OF-WAY. ALL WORK SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  - ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-6, TABLE 384.30-6. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
  - ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-6, TABLE 384.30-6. COORDINATE AND OBTAIN ALL PERMITS FOR EXISTING PRIVATE SERVICES TO BE ABANDONED WITH THE CITY OF MADISON.
  - DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDMR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

- GENERAL NOTES**
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- LEGEND (PROPOSED)**
- PROPERTY LINE
  - ROOF OUTLINE
  - EDGE OF PAVEMENT
  - 5' STORM SEWER EASEMENT
  - STORM SEWER
  - ROUND CATCH BASIN INLET

**C-3.0**  
SHEET NUMBER

**UTILITY PLAN**

SHEET TITLE

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PROJECT LOCATION:  
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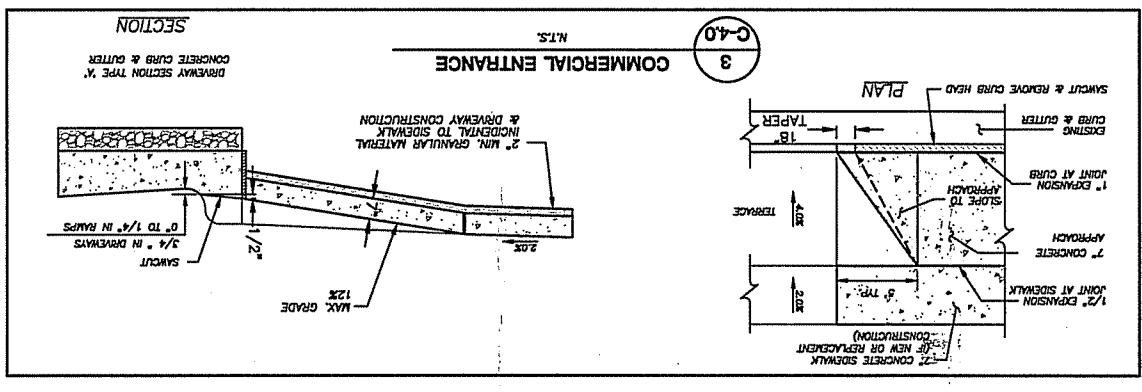
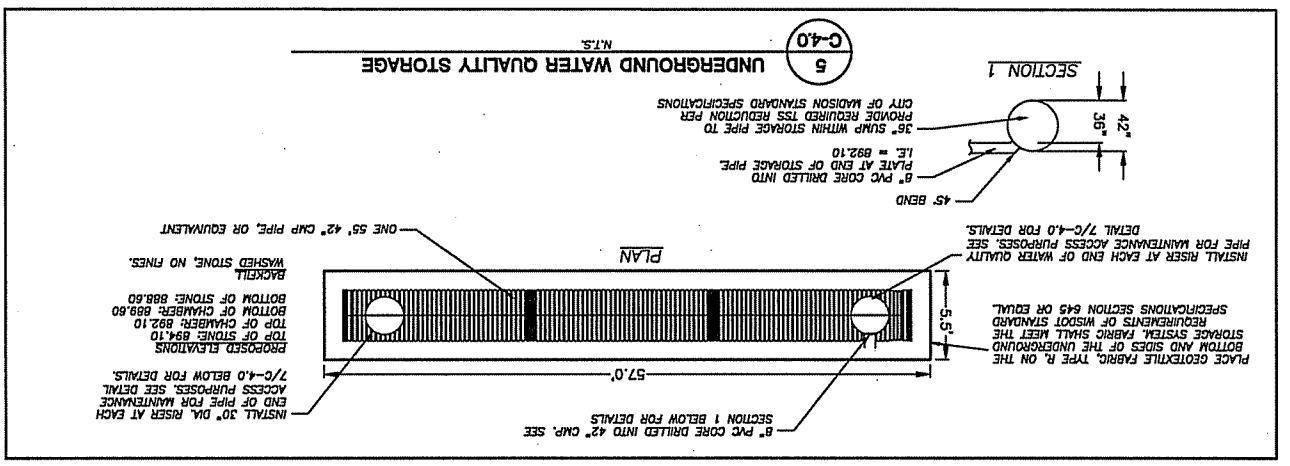
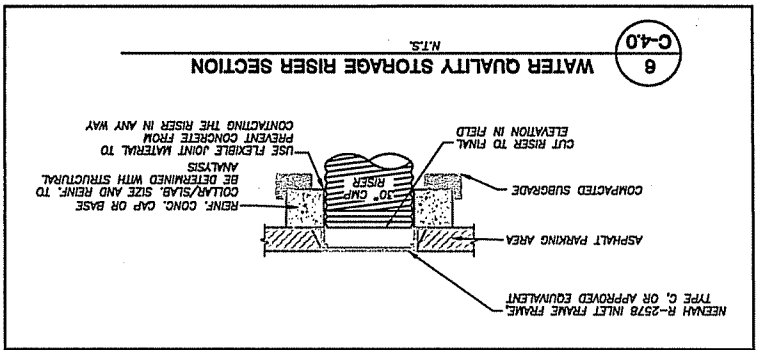
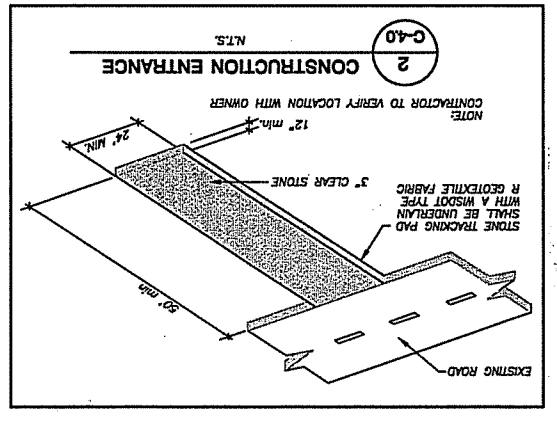
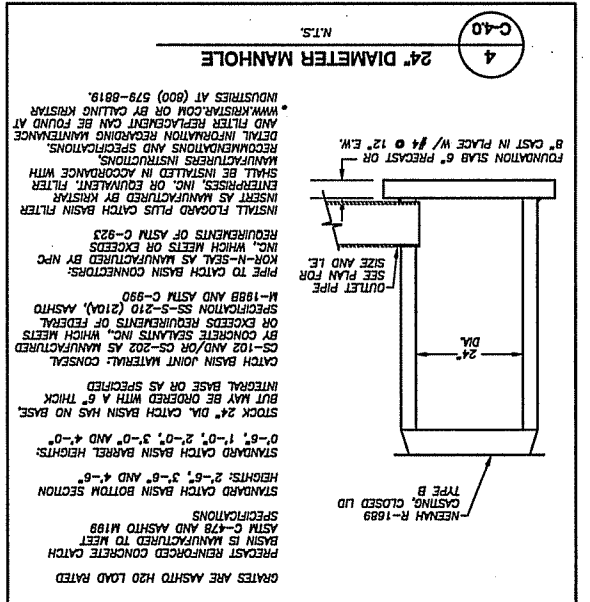
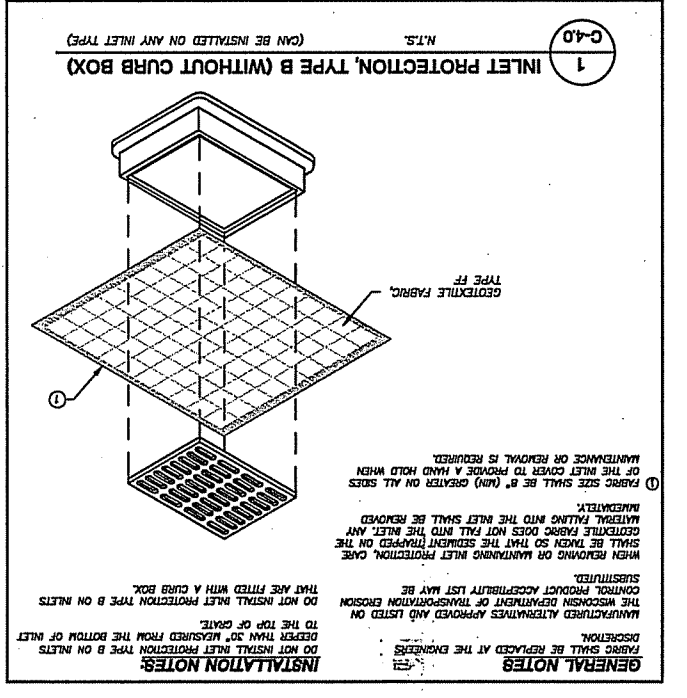
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PROJECT:  
3118 HARVEY STREET  
FIRE LANE  
CITY OF MADISON  
DANE COUNTY, WI  
JSD PROJECT NO.: 10-4352

SEAL/SIGNATURE:

DESIGN:	PGB	11-20-13
DRAWN:	PGB	11-20-13
APPROVED:	BD	11-20-13

PLAN MODIFICATIONS:

DATE:	DESCRIPTION:
03-12-14	REVISED UOC SUBMITTAL

SHEET TITLE: DETAILS

SHEET NUMBER: C-4.0

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PROJECT:  
**3118 HARVEY STREET  
 PARKING LOT AND  
 FIRE LANE**

PROJECT LOCATION:  
 CITY OF MADISON  
 DANE COUNTY, WI

JOB PROJECT NO.: 10-4352

SEAL/SIGNATURE: \_\_\_\_\_

DATE: 11/20/13  
 DESIGN: KJV  
 DRAWN: KJV  
 APPROVED: MAS

PLANS MODIFICATIONS:  
 REVISIONS: 03/12/14

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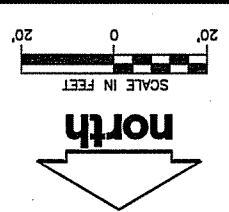
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LANDSCAPE PLAN

SHEET TITLE: LANDSCAPE PLAN

SHEET NUMBER: L-1.0



**GENERAL NOTES**

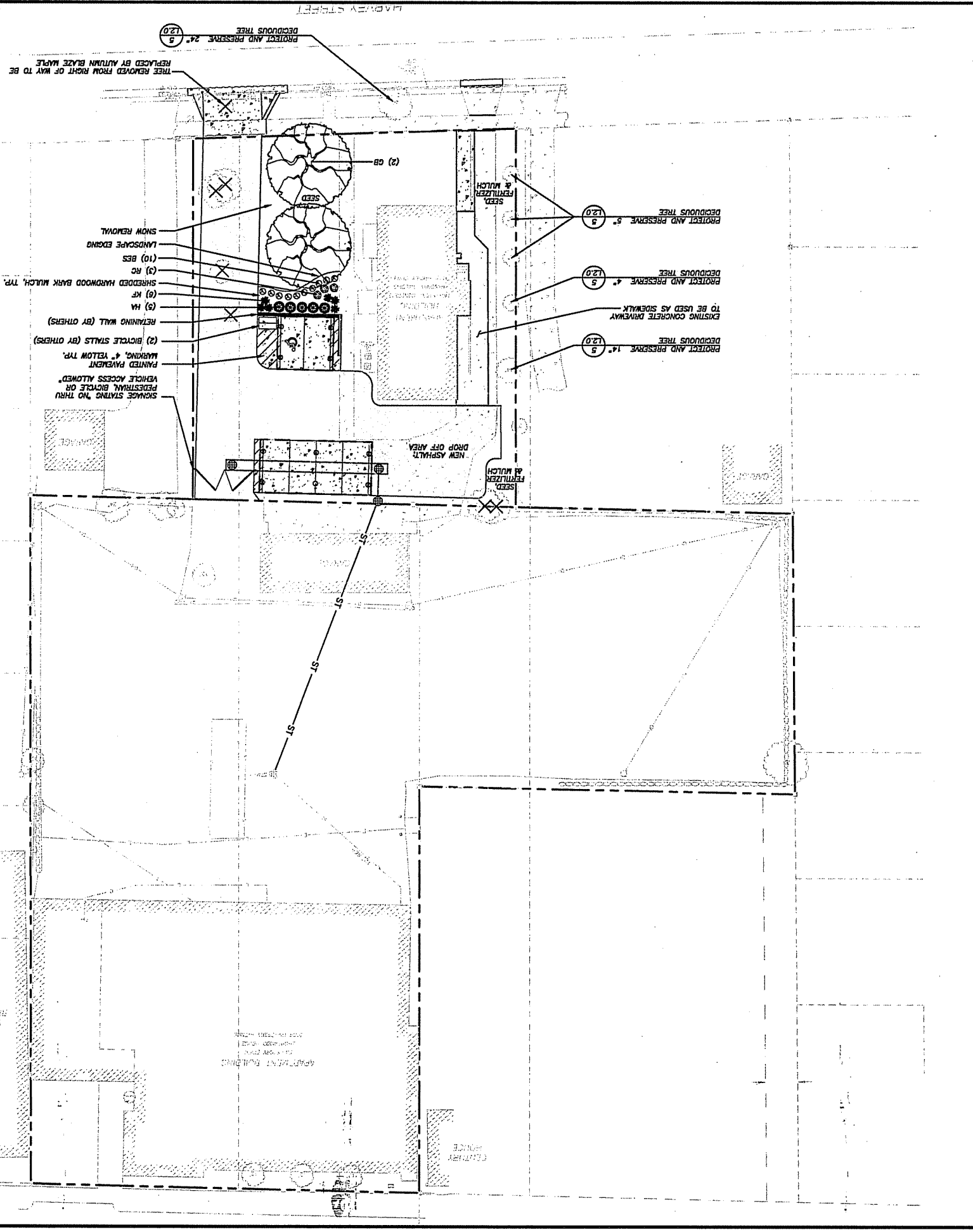
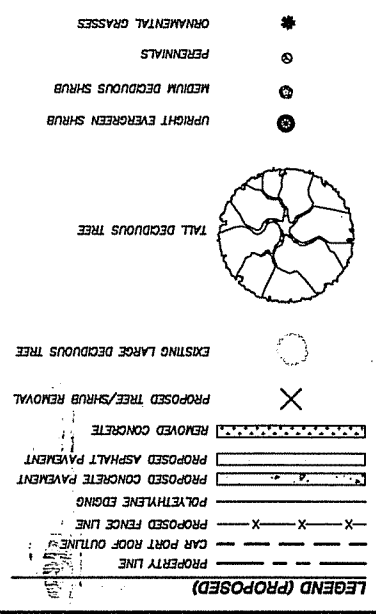
- REFER TO THE BOUNDARY, TOPOGRAPHIC, SITE PLAN, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
- ASD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

**LANDSCAPE PLANT LIST - 3118 HARVEY STREET**

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
EX	5	Existing Large Deciduous Trees	VARIES			14	78 TOTAL DBH POINTS = 56 (30% OF 118 REQUIRED)
GB	2	Autumn Gold Ginkgo	GINKGO biloba 'Autumn Gold'	2'-1/2" Cal.	B&B	35	70
HA	5	Holmstrup Arborvitae	THUJA occidentalis 'Holmstrup'	3'-4" Min. Ht.	B&B	10	50
RC	3	Ruby Spice Cleyra	CLETHRA alnifolia 'Ruby Spice'	12-24" Min. Ht.	# 3 Cont.	9	
BES	10	Black-Eyed Susan	RUDIBECKIA hirtella var. 'ligula'	8'-18" Min. Ht.	# 1 Cont.	20	
OR	6	Kent Forester Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Kent Forester'	8'-18" Min. Ht.	# 1 Cont.	2	12
<b>ORNAMENTAL GRASSES</b>							
<b>PERENNIALS</b>							
<b>MEDIUM DECIDUOUS SHRUBS</b>							
<b>UPRIGHT EVERGREEN SHRUBS</b>							
<b>LARGE DECIDUOUS TREES</b>							
<b>TOTAL POINTS</b>							187

**Site Plan Information Block**

Existing Apartment Building	1,827 sq. ft.
Existing Open Space	8,428 sq. ft.
Existing Impervious Surface	3,518 sq. ft.
Proposed Open Space	3,881 sq. ft.
Proposed Impervious Surface	7,981 sq. ft.



**LANDSCAPE WORKSHEET**  
 Section 28.142 Madison General Ordinance  
**CITY OF MADISON**

Project Location / Address: 318 HARVEY STREET, MADISON, WI  
 Name of Project: 318 HARVEY STREET, MADISON, WI  
 Owner / Contact: SHOREWOOD HOUSE, LLP  
 Contact Email: MIKE.SCHMIDT@SHOREWOODHOUSE.COM  
 Contact Phone: (608) 848-5080

Project: 318 HARVEY STREET AND PARKING LOT AND FIRE LANE  
 PROJECT LOCATION: CITY OF MADISON DANFORTH COUNTY, WI  
 J&S PROJECT NO.: 10-4352

DESIGN: KY  
 APPROVED: MMS  
 DATE: 11/20/13

REVISED UDC SUBMITTAL: 03/12/14

DATE: 11/20/13

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: KY  
 APPROVED: MMS  
 DATE: 11/20/13

REVISED UDC SUBMITTAL: 03/12/14

DATE: 11/20/13

LANDSCAPE NOTES & SPECIFICATIONS

WWW.DIGGERSHOTLINE.COM  
 Toll Free (800) 242-8511  
 Madison Area (608) 259-1181  
 Hearing Impaired TDD (800) 542-2299

SHEET NUMBER: L-2.0

\* As determined by ANSI, A17.1 - American Standard for Merry Stairs. For each step, minimum plan area shall conform to the specifications as stated in the current American Standard for Merry Stairs.

Total Number of Points Provided: 197

Sub Totals	Points	Notes
161	36	Landscaping furniture for transit connections (transit connections must be accessible and within developed area, public use required)
161	161	Landscaping furniture for transit connections (transit connections must be accessible and within developed area, public use required)

Table with 4 columns: Plant Type/Element, Minimum Size at Installation, Quantity/Points, and Notes. Includes entries for Evergreen trees, Deciduous trees, and various shrubs.

**LANDSCAPE NOTES AND SPECIFICATIONS**

1. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EXPOSURE SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. J&S SHALL BE HELD HARMLESS OR ALL REGULATORY AGENCIES LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES AND DOES NOT WARRANT ANY DAMAGE TO UTILITIES FROM THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES AND DOES NOT WARRANT ANY DAMAGE TO UTILITIES FROM THE CONSTRUCTION.

2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROJECT PLANTS DURING DELIVERY AND DO NOT REMOVE PLANTS FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINERS OR BULBS AND KEEPING WELLS WATERED. DO NOT REMOVE CONTAINER GROWING STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINERS OR BULBS AND KEEPING WELLS WATERED.

3. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTH AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINAL SPECIES UNLESS OTHERWISE DIRECTED BY OWNER. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINAL SPECIES UNLESS OTHERWISE DIRECTED BY OWNER.

4. MATURITY: PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK AND 2004-2009. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE HEALTHY, WELL-DEVELOPED, BRANCHED AND DENSELY FOLIAGED WHEN IN LEAF AND FREE OF DISEASE AND INSECTS (QUILT EGGS, PINE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SO TRAINED IN PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE HEALTHY, WELL-DEVELOPED, BRANCHED AND DENSELY FOLIAGED WHEN IN LEAF AND FREE OF DISEASE AND INSECTS (QUILT EGGS, PINE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SO TRAINED IN PROJECT FOR AT LEAST 2 YEARS.

5. MATURITY - SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:  
 1. PLANTING AREAS = 24"  
 2. TREE PITS = SEE DETAILS

6. MATURITY - ALL PLANTING AREAS SHALL RECEIVE HEAVY SHREDDERED WOOD MULCH (PRE-EMERGENT WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RINGS AS WELL AS ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RINGS AS WELL AS ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RINGS AS WELL AS ABOUT THE CENTER OF THE TREE PLANTING.)

7. MATURITY - TREE RINGS: ALL TREES PLANTED IN SEEDLING LANE ARE TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDERED HARDWOOD MULCH TREE RING SPREAD WISCONSIN REQUIREMENTS.

8. MATURITY - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC, NO PLASTIC/IMPREGNATED BARRIERS WILL BE PERMITTED. EXPOSED BLACK VISQUEUR.

9. MATURITY - EDGING: EDGING SHALL BE 3" DEEP, POLYETHYLENE EDGING, OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

10. PER: ALL DISTURBED LANE AREAS SHALL BE SEEDING WITH EARTH CARPET'S 'BOULEVARD' OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LANE SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1/2 LBS PER 1000 SQUARE FEET. FERTILIZER AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.

11. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND SHRUBS THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH THE FOLLOWING GUIDELINES: DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISETIC TREE PAINT.

12. CLEANUP: EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE REMOVED FROM THE PROJECT AREA. BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

13. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SODDED LANE AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LANE AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE WATERING PLANTS AND LANE/TURFGRASS AREAS DURING THIS PERIOD. LONG TERM PLANT MAINTENANCE AND LANE/TURFGRASS MAINTENANCE FOR ANY PLANTING OR PLANT BUFFER FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LANE/TURFGRASS AREAS SHALL BE MAINTAINED IN A MAINTAINED CONDITION.

14. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

