	APPLICATION FOR	AGENDA ITEM #	
	URBAN DESIGN COMMISSION	Project #	
	REVIEW AND APPROVAL	Legistar #	
	DATE SUBMITTED: $2-19-14$ UDC MEETING DATE: $4-23-14$	Action Requested Informational Presentation Initial Approval and/or Recommendation Final Approval and/or Recommendation	
۔ و و	PROJECT ADDRESS: 721 South Gammon Road		P
	ALDERMANIC DISTRICT: 19		
PRI	OWNER/DEVELOPER (Partners and/or Principals) Woodman's Food Market, Inc.	ARCHITECT/DESIGNER/OR AGENT: Building Systems General Corp.	EAS
	2631 Liberty Lane	5972 Executive Drive, Suite 100	F
SE	Janesville, WI 53545	Madison, WI 53719	P
	CONTACT PERSON: Jim Arneson (Building Systems Ger	neral Corp.)	R
\mathbf{H}	Address: 5972 Executive Drive, Suite 100		Z
Ľ	Madison, WI 53719		Ĩ
μ	Phone: (608) 663-6233		• 🛥
	Fax: (608) 276-4468		
	E-mail address:jarneson@bsgc-wi.com		
	well as a fee) School, Public Building or Space (Fee may be r	ı Urban Design District * (A public hearing is requ equired) g of a Retail, Hotel or Motel Building Exceeding 4	
	(See Section B for:)	Sin as hadican	
	New Construction or Exterior Remodeling in C	4 District (Fee required) CITY OF MADISON	
	(See Section C for:) R.P.S.M. Parking Variance (Fee required)	FEB 1 9 2014	
	(See Section D for:) Comprehensive Design Review* (Fee required) Street Graphics Variance* (Fee required)) Planning & Communi & Economic Developm	ty ient
	Other		

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

Ę

Building Systems General Corp.

5972 Executive Drive Suite 100 Madison, WI 53719

Phone: 608-276-4400 Fax: 608-276-4468

February 24, 2014

City of Madison Department of Planning & Community & Economic Development 215 Martin Luther King, Jr. Boulevard Madison, WI 53701-2984

URBAN DESIGN COMMISSION COMPREHENSIVE DESIGN REVIEW

Project:	Woodman's Gas Station
	721 South Gammon Road
	Madison, WI 53719

Project Team:

Owner:	Woodman's Food Market, Inc. 2631 Liberty Lane Janesville, WI 53545
Design/Build Contractor:	Building Systems General Corporation 5972 Executive Drive, Suite 100 Madison, WI 53719
Architect/MEP Engineer:	The Larson & Darby Group 4949 Harrison Avenue, Suite 100 Rockford, IL 61125
Civil Engineer:	Snyder & Associates 5010 Voges Road Madison, WI 53718

Proposal:

Woodman's is proposing to demolish its gas station and convenience store located at 721 South Gammon Road and replace it with a new gas station and convenience store. The site is located within Urban Design District No. 2 and consists of a number of contiguous parcels with retail uses. The Woodman's parcel is located within a Commercial Center District and consists of the grocery store and gas station facilities. The Commercial Center District provisions allow for not more than four (4) signable wall areas per building and not more than two (2) ground signs. In addition, all signs shall be approved by the Urban Design Commission through a Comprehensive Design Review.

Existing signage is limited to an internally illuminated pole sign. The new Sign Plan calls for four (4) signs consisting of one (1) monument sign and three (3) wall mounted signs.

Comprehensive Design Review

The monument sign will be constructed over a masonry base and will incorporate electronically illuminated, changeable copy. The monument sign is to be placed at the location of the current pole sign and will require an exception from the setback limitation of 20 feet.

The wall sign on the rear of the convenience store consists of colored, laser cut, ¼" thick, aluminum characters pegged and projected 1-inch from the face of the building. The height of the sign is proposed to be 15'-6" above grade. The two (2) canopy wall signs consist of vinyl applied lettering on a metal sign panel attached to the canopy.

Urban Design Commission: Urban Design District No. 2 Criteria (Sec. 33.24(9)(d)4.b.vi.)

 A minimum setback of five (5) feet is required of all detached signs. A minimum setback of ten (10) feet from the public right-of-way is required for signs exceeding ten (10) square feet in net area and fifteen (15) feet in height. A minimum setback of twenty (20) feet is required for all signs exceeding twenty (20) square feet in net area or twenty (20) feet in height. No detached sign shall exceed seventy-five (75) square feet in net area and twenty-five (25) feet in height. Based upon the following criteria the Urban Design Commission may specifically approve a larger sign or reduce the setbacks above:

A. An exception from the size and setback limitation is necessary for a sign located on the site of an establishment to be identifiable and legible from the nearest roadway at prevailing speeds; and

B. An exception from the size and setback limitation will result in a sign more in scale with the building and site and will result in a superior overall design.

An exception to the sign setback requirement of twenty (20) feet for a sign exceeding twenty (20) square feet in net area is requested for the new monument sign. The proposed monument sign has a net area of thirty (30) square feet and is set back a distance of seven (7) feet from the property line. This exception to the setback limitation is necessary for the sign to be identifiable and legible from South Gammon Road when traveling at prevailing speeds. Exemption from the setback limitation will result in a sign that is more in scale with the building and site and will result in a superior overall design.

Comprehensive Design Review Criteria (Sec. 31.043(4)(b):

1. The Sign Plan shall create visual harmony between the signs, building(s), and building site through unique and exceptional use of materials, design, color, any lighting, and other design elements; and shall result in signs of appropriate scale and character to the uses and building(s) on the zoning lot as well as adjacent buildings, structures and uses.

The new signage will create visual harmony between the signs, buildings, gas canopy, and building site. The monument sign will incorporate a brick base which will match the brick used on the gas station building and on the gas canopy columns. The monument sign will be internally illuminated and will be designed such that when illuminated, the sign appears to have light-colored copy on a dark background. The canopy signs and the rear facing wall sign promote the Woodman's branding and will not be illuminated.

2. Each element of the Sign Plan shall be found to be necessary due to unique or unusual design aspects in the architecture or limitations in the building site or surrounding environment; except that when a request for an Additional Sign Code Approval under Sec. 31.043(3) is included in the Comprehensive

Design Review, the sign(s) eligible for approval under Sec. 31.043(3) shall meet the applicable criteria of Sec. 31.043(3), except that sign approvals that come to Comprehensive Design Review from MXC and EC districts pursuant to 31.13(3) and (7) need not meet the criteria of this paragraph.

The changes to the Sign Plan are necessary for proper branding.

3. The Sign Plan shall not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2).

The proposed signs do not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2).

4. All signs must meet minimum construction requirements under Sec. 31.04(5).

The signs will meet or exceed the minimum construction requirements under Sec. 31.04(5).

5. The Sign Plan shall not approve Advertising beyond the restrictions in Sec. 31.11 or Off-Premise Directional Signs beyond the restrictions in Sec. 31.115.

None of the proposed signs are Advertising Signs as defined in Sec. 31.03(2).

- 6. The Sign Plan shall not be approved if any element of the plan:
 - a. presents a hazard to vehicular or pedestrian traffic on public or private property,
 - b. obstructs views at points of ingress and egress of adjoining properties,
 - c. obstructs or impedes the visibility of existing lawful signs on adjacent property, or
 - d. negatively impacts the visual quality of public or private open space.

The proposed signs do not present a hazard to vehicular of pedestrian traffic on public or private property, obstruct views at points of ingress and egress of adjoining properties, obstruct or impede the visibility of existing lawful signs on adjacent property, or negatively impact the visual quality of public or private open space.

7. The Sign Plan may only encompass signs on private property of the zoning lot or building site in question, and shall not approve any signs in the right of way or on public property.

All signs are located on private property.

Submitted,

Building Systems General Corp.

James R. Arneson, PE Vice President (608)663-6233 jarneson@bsgc-wi.com

Building Systems General Corp.

5972 Executive Drive Suite 100 Madison, WI 53719

Phone:608-276-4400Fax:608-276-4468

February 24, 2014

City of Madison Department of Planning & Community & Economic Development 215 Martin Luther King, Jr. Boulevard Madison, WI 53701-2984

URBAN DESIGN COMMISSION COMPREHENSIVE DESIGN REVIEW: SIGN INVENTORY

Project: Woodman's Gas Station 721 South Gammon Road Madison, WI 53719

Wall Signs:

Gammon Road:

Dunkin' Donuts/Fannie May/World Finance

- 1. World Finance Loans
- 2. Fannie May Fine Chocolates
- 3. Dunkin' Donuts
- 4. Dunkin' Donuts

701-709 South Gammon Road

- 5. India House
- 6. Domino's
- 7. Sport Clips
- 8. Q Beauty
- 9. US Cellular
- 10. US Cellular
- 11. US Cellular
- 12. Q Beauty
- 13. Sport Clips
- 14. Domino's
- 15. Harold's Chicken
- 16. India House

Woodman's Food Market

17. Woodman's Markets – Employee Owned

Watts Road:

Woodman's Food Market

Comprehensive Design Review

- 18. Bakery
- 19. Woodman's (Sun Logo)
- 20. Produce
- 21. Parcel Pick-Up
- 22. Woodman's Markets Open 24 Hours
- 23. Photo
- 24. Liquor

Madison Design Center

- 25. Fireside Hearth & Home
- 26. Madison Lighting
- 27. Woodworks Furniture
- 28. The Great Frame Up
- 29. Badger Spray
- 30. Hallman Lindsay/Paints

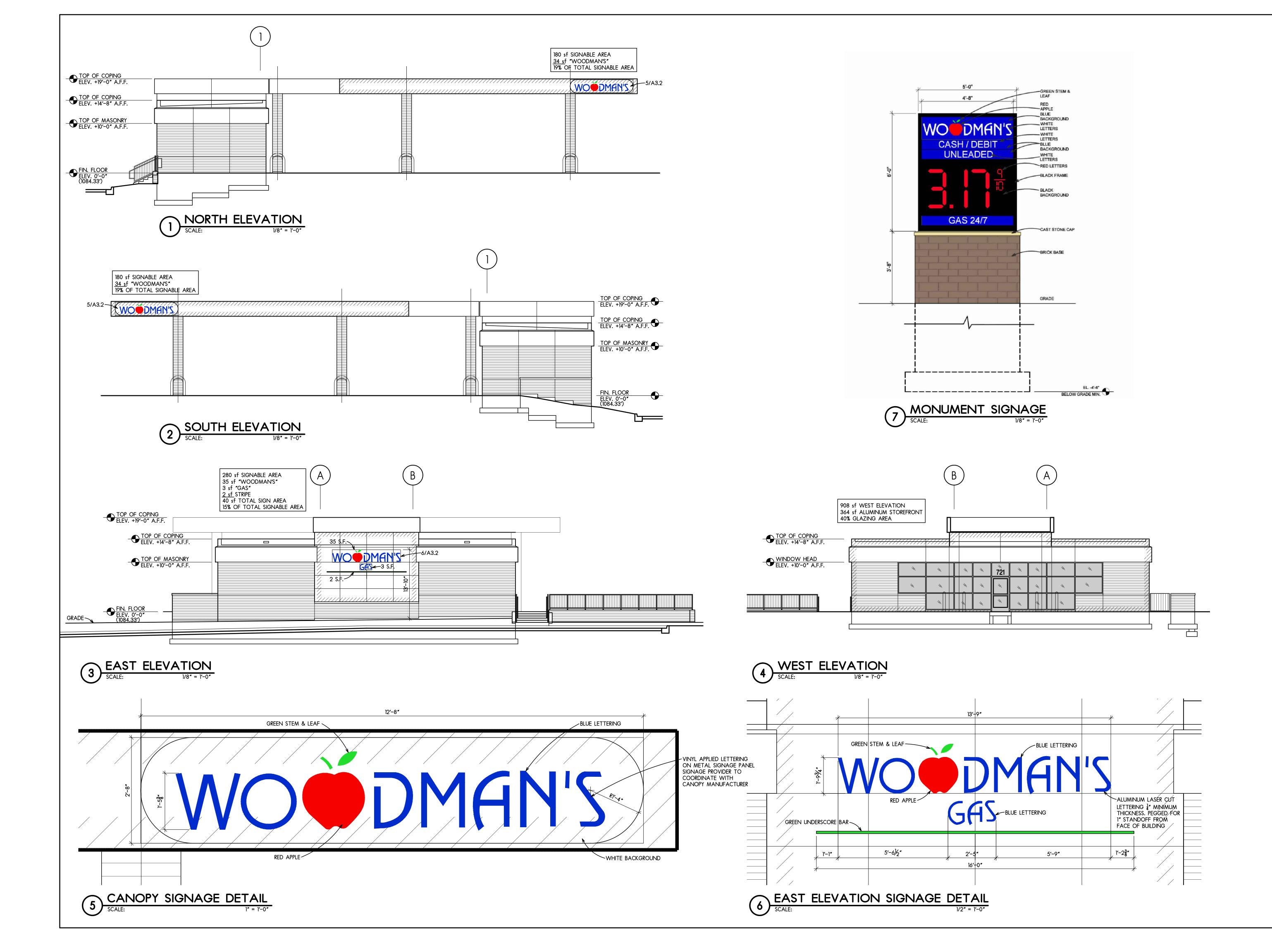
Monument Signs:

Gammon Road:

- 31. Dunkin' Donuts/Fannie May/World Finance
 - a. Sign Area: 40 square feet
 - b. Overall Height: 10'-3"
- 32. Woodman's Gas Station
 - a. Sign Area: 70 square feet
 - b. Overall Height: 11'-7"
- 33. 701-709 South Gammon Road (1)
 - a. Sign Area: 20 square feet
 - b. Overall Height: 4'-31/2"
- 34. 701-709 South Gammon Road (2)
 - a. Sign Area: 20 square feet
 - b. Overall Height: 4'-31/2"

Watts Road

- 35. Madison Design Center
 - a. Sign Area: 40 square feet
 - b. Overall Height: 16'-0"



Spr2 Executive Drive Suite 100Spr2 Executive Drive Suite 100Madison, Wisconsin 53719Phone: (608) 276-4400Fax: (608) 276-4468



PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

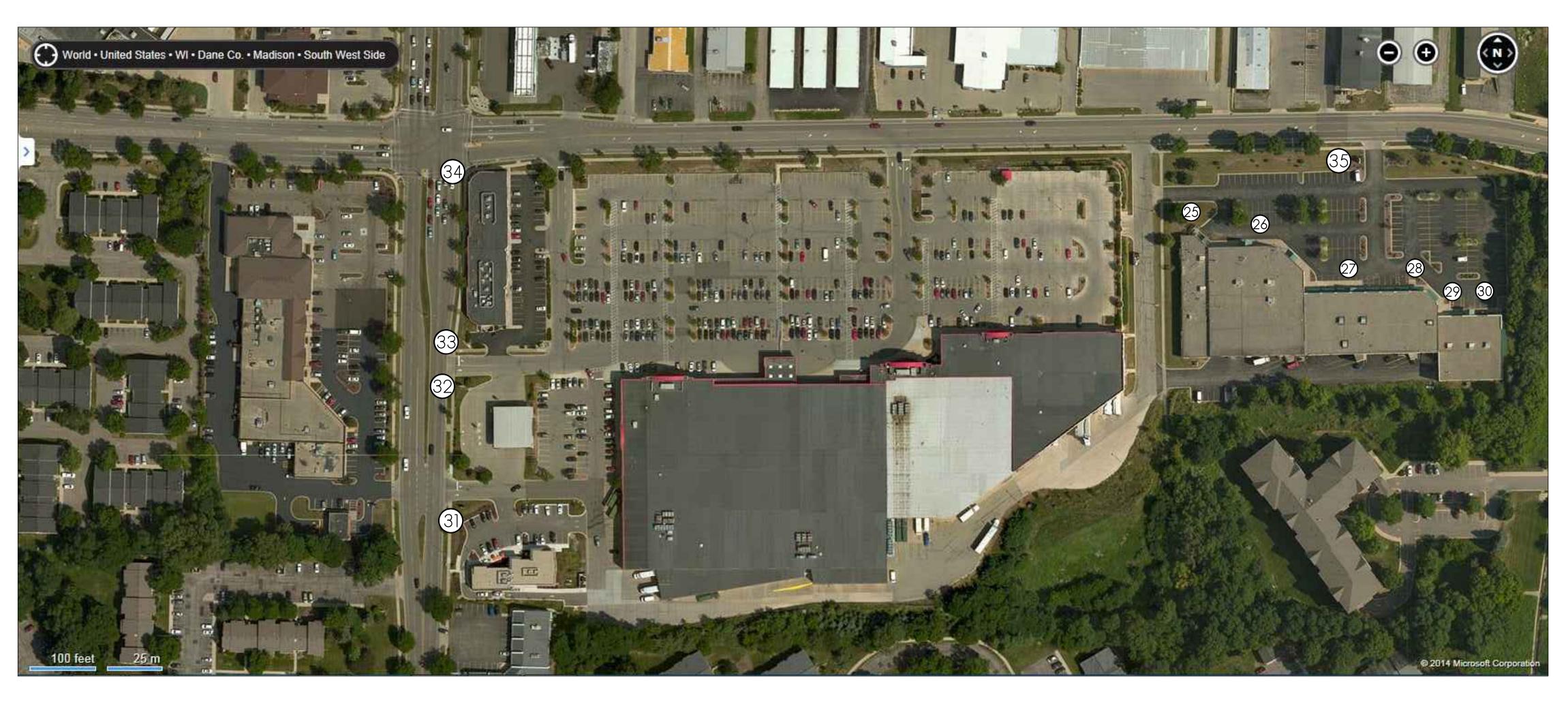
DRAWN	LDG	
CHECKED	DJR	
APPROVED	GWF	
REVISION :		
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		•
•		•
•		٠
•		٠
•		٠
•		•
DATE:		
SCALE:	, , , , , , , , , , , , , , , , , , , ,	
	'' = 1' - 0''	
BSGC PROJ	ECT NO.	
BSGC DRAW	VING NO.	
13	3-112	
SHEET TITLI		
EXTERI	OR	
SIGNAG	Ε	
PLAN		
\\ \		
SHEET NO.		
٨	\mathbf{c}	
A	JJ.Z	
A	3.2	

MADISON DESIGN CENTER



25 FIRESIDE HEARTH & HOME

23 madison lighting



EXISTING MONUMENT SIGNS



27 woodworks furniture

28 THE GREAT FRAME UP

29 BADGER SPRAY 30 HALLMAN LINDSAY/PAINTS





Employee owned

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 South Gammon Road MADISON, WISCONSIN

CONSULTANTS

Втечни	
CHECKED	
APPROVED	
REVISION:	
•	•
•	٠
•	•
•	•
•	٠
•	•
•	٠
•	•
•	•
•	٠
•	٠
•	•
•	•
•	•

DATE:

DRAWN

SCALE:

BSGC PROJECT NO.

BSGC DRAWING NO.

13-112 SHEET TITLE

EXISTING SIGNAGE SURVEY

SHEET NO.





10 US CELLULAR

11 US CELLULAR

12 q beauty



Woodman's food markets



13 SPORT CLIPS

(14) domino's

15 HAROLD'S CHICKEN

16 INDIA HOUSE

SHEET NO. SS2



13-112

BSGC DRAWING NO.

BSGC PROJECT NO.

DATE:

SCALE:

DRAWN CHECKED APPROVED **REVISION**:



General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468 WOÖDMAN'S

Building Systems

Employee owned

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

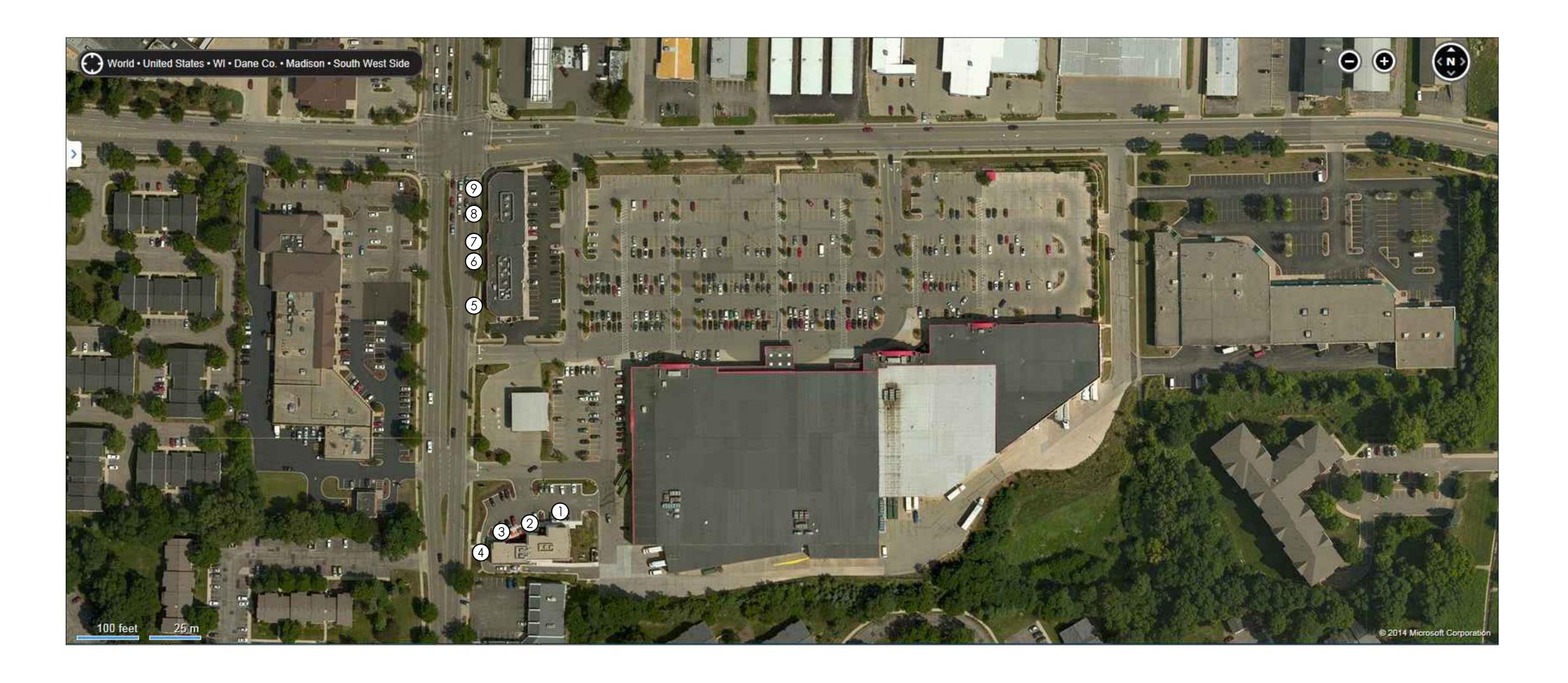
721 South Gammon Road MADISON, WISCONSIN

701–709 South Gammon Road



5 INDIA HOUSE

6 DOMINO'S



733–739 South Gammon Road



 \bigcirc World finance loans

7 SPORT CLIPS

8 Q BEAUTY

2 FANNIE MAY - FINE CHOCOLATES

3 dunkin donuts

(4) dunkin donuts

9 US CELLULAR





Employee owned

PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 South Gammon road MADISON, WISCONSIN

CONSULTANTS

DRAWN	
CHECKED	
APPROVED	
REVISION:	
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•

DATE:

SCALE:

BSGC PROJECT NO.

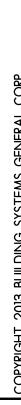
BSGC DRAWING NO.

13-112

SHEET TITLE EXISTING SIGNAGE SURVEY

SHEET NO.

SS1





COPYRIGHT 2013 BUILDING SYSTEMS GENERAL CORP.

SITE AERIAL SHEET NO.	BSGC DRAWING 13-1 SHEET TITLE	DATE: SCALE: I" = 40 BSGC PROJECT	•••	• • • • •	• • • • • •	DRAWN CHECKED APPROVED REVISION:
	NG NO. -112	40'-0" CT NO.				LDG DJR GWF

721 South Gammon Road Madison, Wisconsin

PROJECT NAME

MO DMAN'S · MAIRKETS ·

Building Systems General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468

WOODMAN'S FOOD MARKET REMODELING

CONSULTANTS

200'

50 100'

0





Building Systems General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468



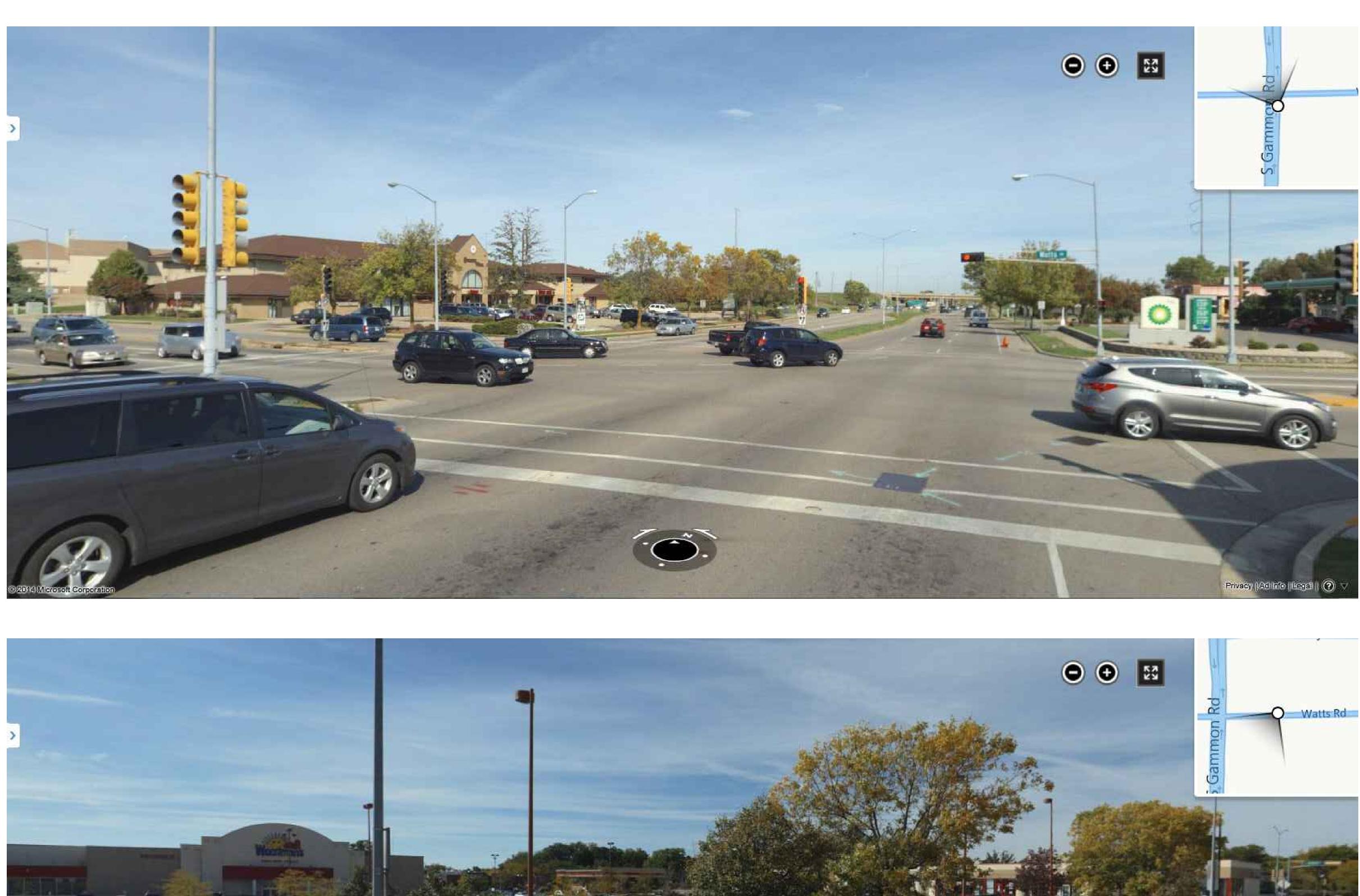
PROJECT NAME

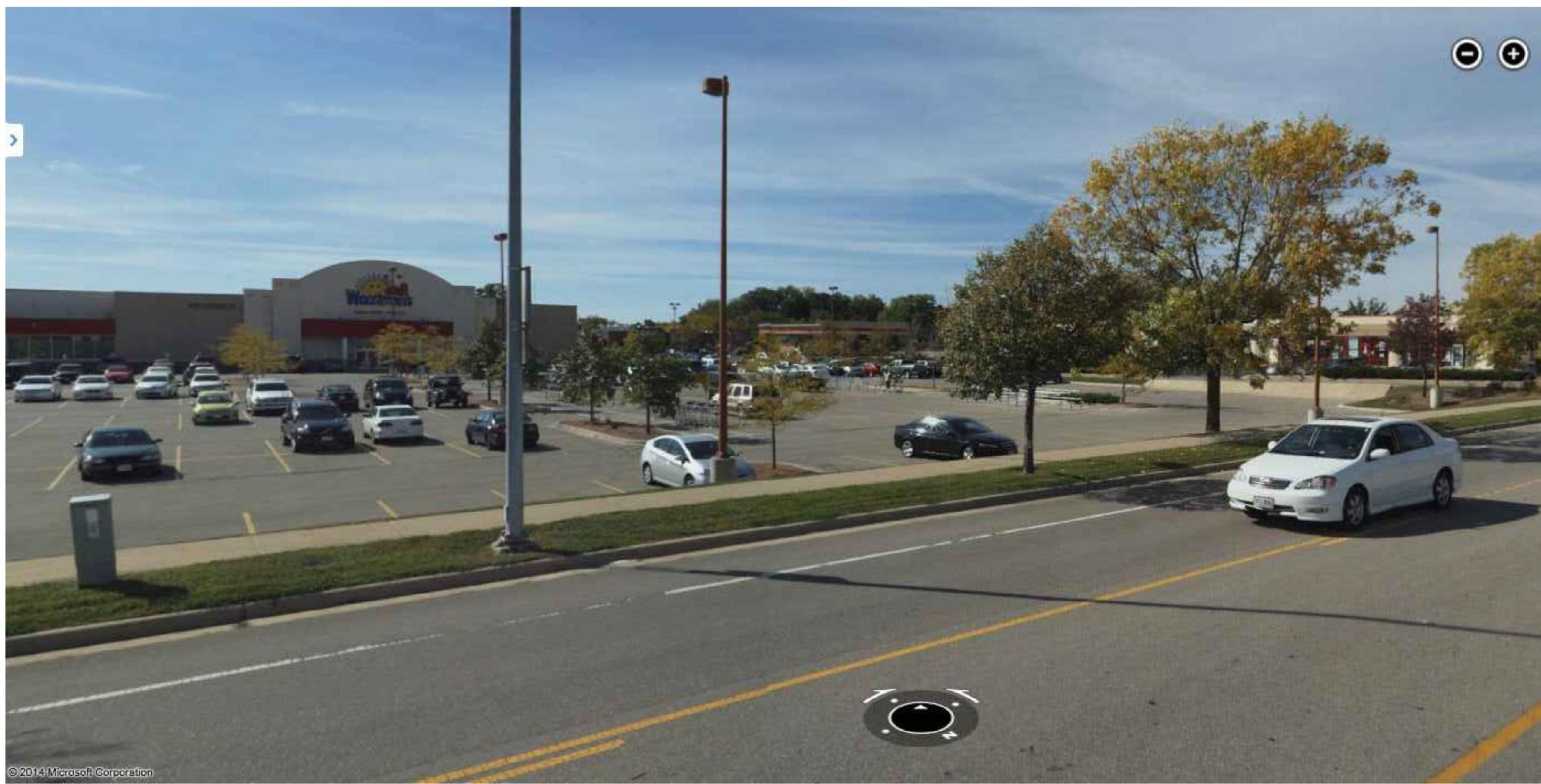
WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG	
CHECKED	DJR	
APPROVED	GWF	
REVISION:		
٠		٠
٠		٠
•		٠
•		٠
٠		٠
٠		٠
•		٠
•		٠
•		٠
•		•
•		•
•		•
•		•
DATE:		
SCALE:		
	ONE	
N		
N BSGC PROJE	CT NO.	
N	CT NO.	
N BSGC PROJE BSGC DRAWI	CT NO.	
N BSGC PROJE BSGC DRAWI 13	CT NO. NG NO.	
N BSGC PROJE BSGC DRAWI	CT NO. NG NO.	
N BSGC PROJE BSGC DRAWI 13 SHEET TITLE	CT NO. NG NO. - 112	
N BSGC PROJE BSGC DRAWI 13 SHEET TITLE CONTEX	CT NO. NG NO. -112 T	
N BSGC PROJE BSGC DRAWI 13 SHEET TITLE	CT NO. NG NO. -112 T	
N BSGC PROJE BSGC DRAWI 13 SHEET TITLE CONTEX	CT NO. NG NO. -112 T	
N BSGC PROJE BSGC DRAWI 13 SHEET TITLE CONTEX	CT NO. NG NO. -112 T	









PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

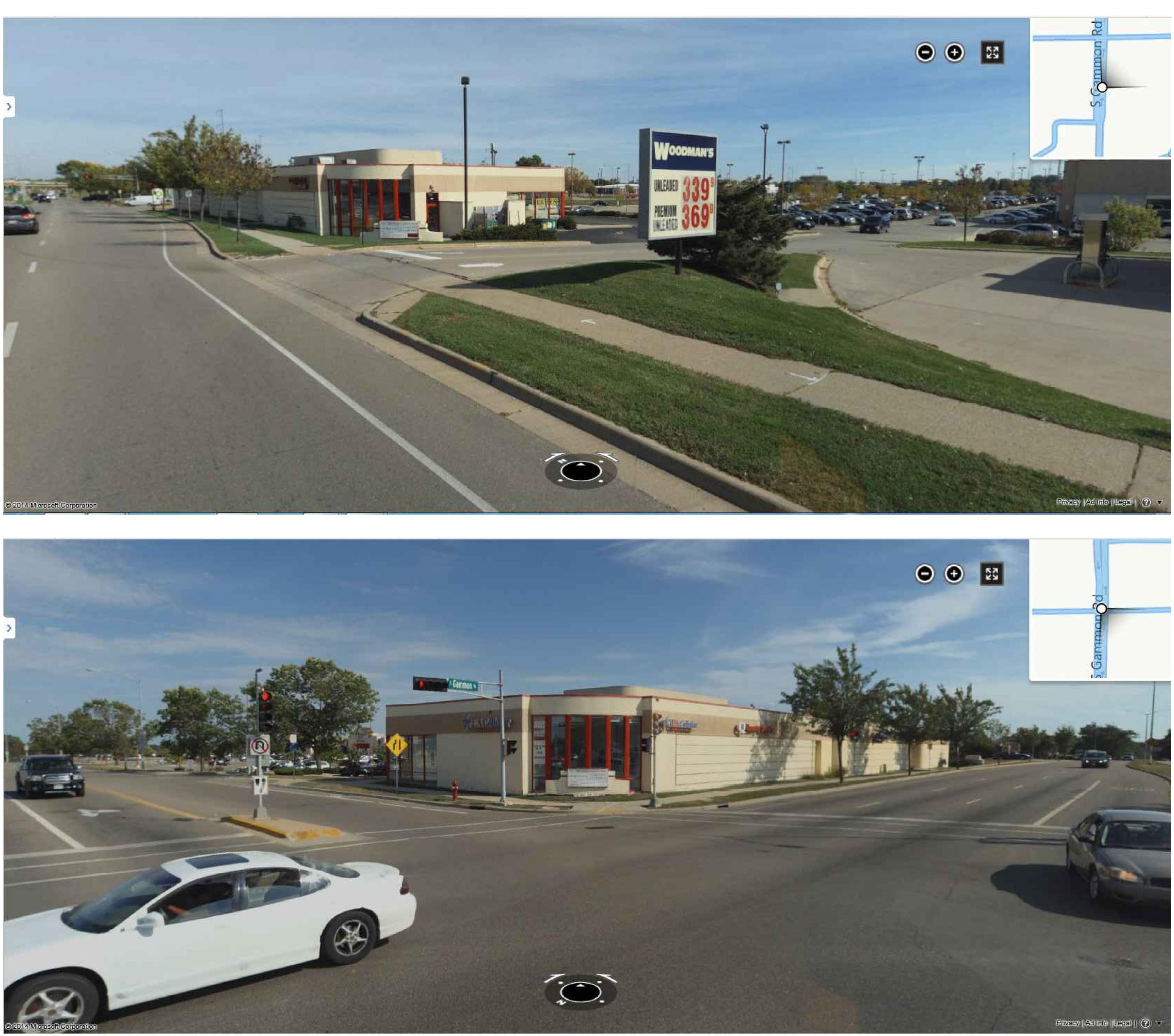
721 SOUTH GAMMON ROAD MADISON, WISCONSIN

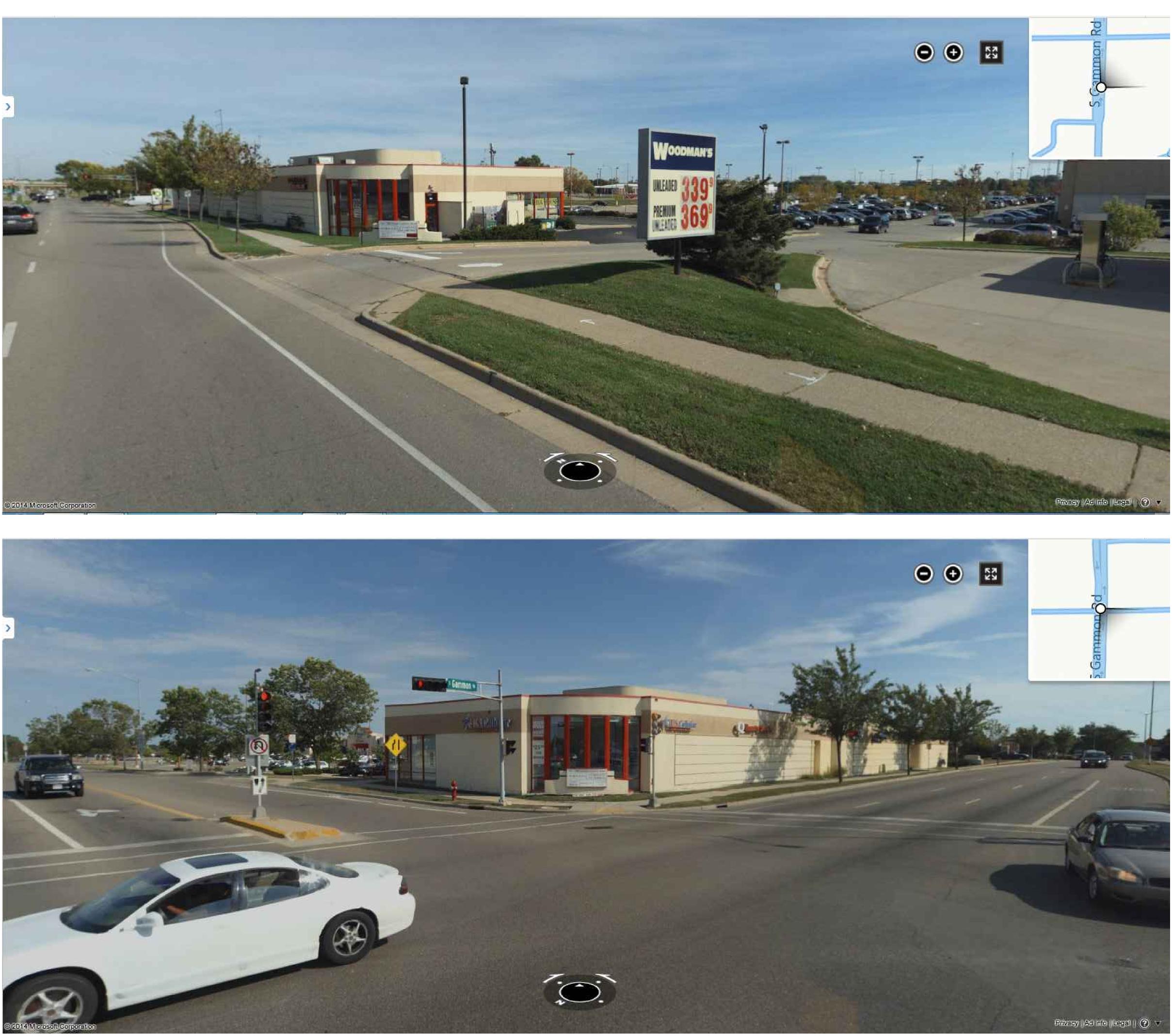
CONSULTANTS

DRAWN	LDG	
CHECKED	DJR	
APPROVED	GWF	
REVISION :		
•		٠
•		٠
•		٠
•		٠
•		٠
٠		٠
٠		٠
•		٠
•		٠
•		٠
•		٠
٠		٠
•		٠
•		•
DATE:		
SCALE:		
	NONE	
BSGC PROJ		
	ECT NO.	
BSGC PROJ	ECT NO. VING NO.	
BSGC PROJ	ECT NO.	
BSGC PROJ	ECT NO. VING NO. 3-112	

SHEET NO.

Privacy | Ad Info | Legal | 📀 🔹







Building Systems General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468



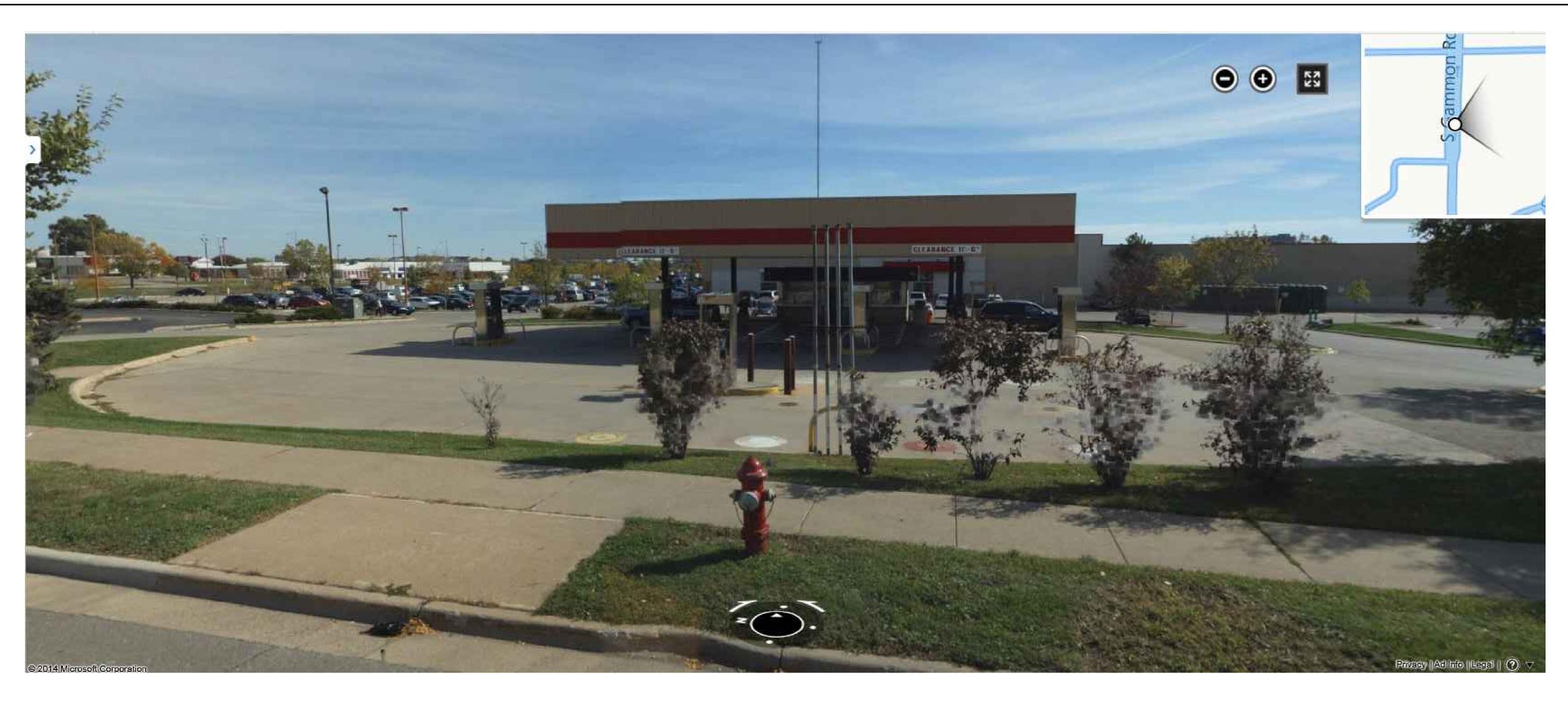
PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

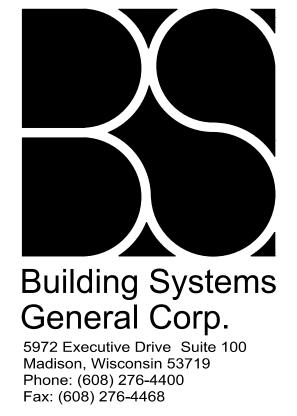
721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG	
CHECKED	DJR	
APPROVED	GWF	
REVISION :		
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		•
DATE:		
SCALE:		
SCALE:	NONE	
1		
BSGC PROJ	ECT NO.	
1	ECT NO.	
BSGC PROJ	ECT NO.	
BSGC PROJ	ECT NO. /ING NO. 3-112	
BSGC PROJ BSGC DRAW	ECT NO. /ING NO. 3-112	
BSGC PROJ BSGC DRAW 13 SHEET TITLE	ECT NO. /ING NO. 3-112 E	
BSGC PROJ BSGC DRAW 13 SHEET TITLE	ECT NO. /ING NO. 3-112 E	
BSGC PROJ BSGC DRAW 13 SHEET TITLE	ECT NO. /ING NO. 3-112 E	
BSGC PROJ BSGC DRAW 13 SHEET TITLE	ECT NO. /ING NO. 3-112 E	









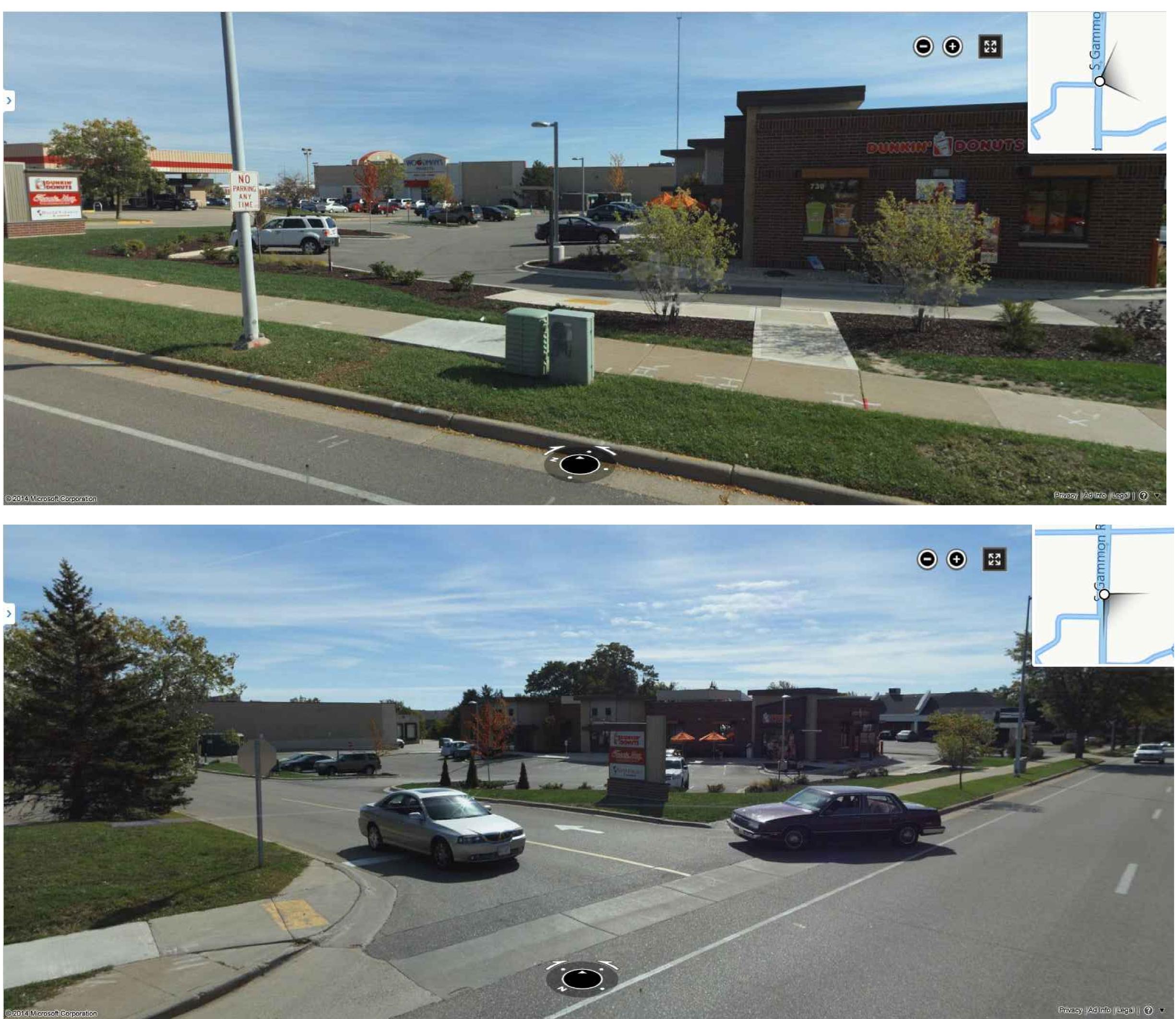
PROJECT NAME

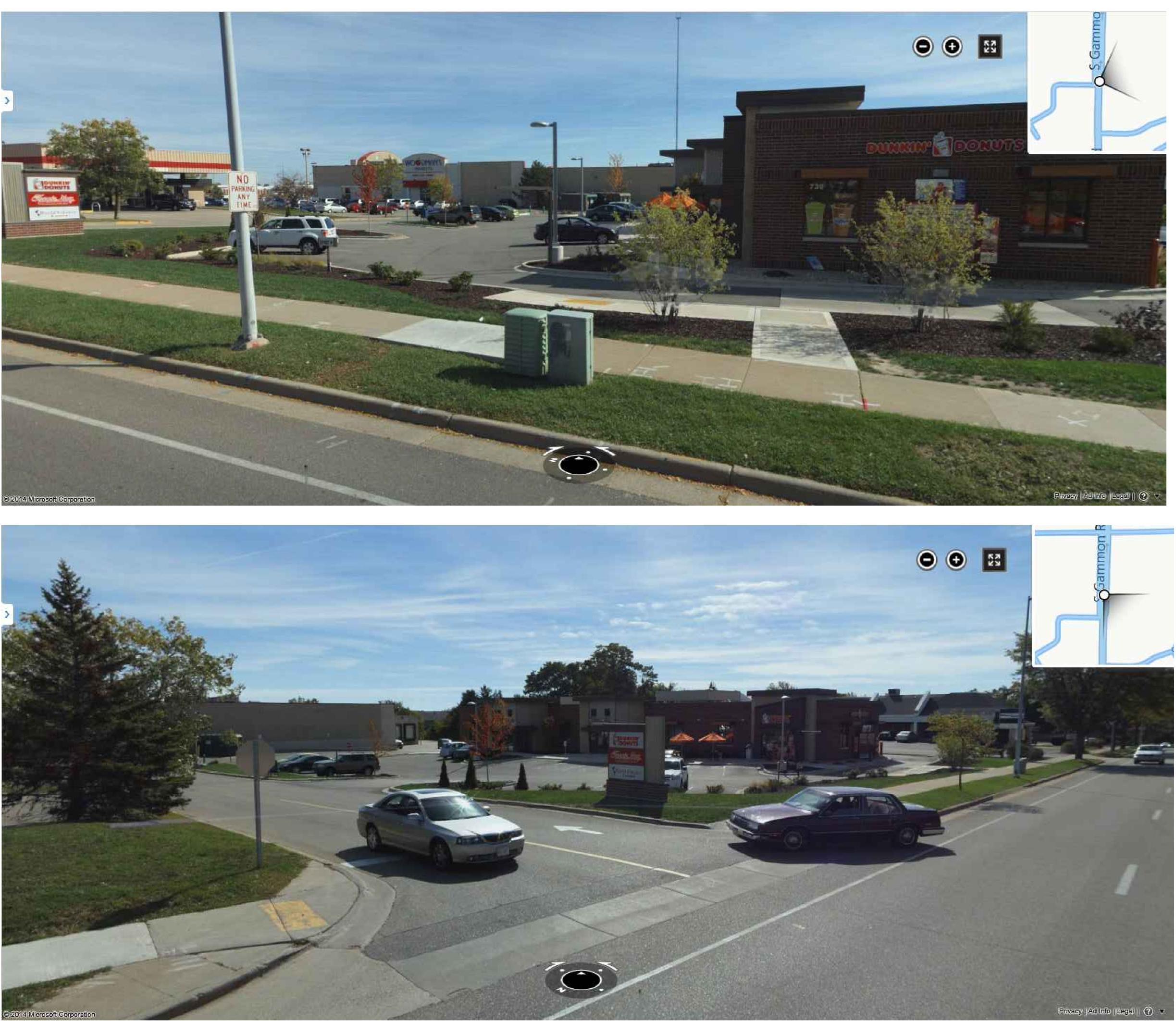
WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG	
CHECKED	DJR	
APPROVED	GWF	
REVISION :		
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		•
•		•
•		•
•		•
DATE:		
DATE:		
DATE: 		
SCALE:	NONE	
SCALE:		
SCALE:		
SCALE: N BSGC PROJE	ECT NO.	
SCALE:	ECT NO.	
SCALE: N BSGC PROJE	ECT NO.	
SCALE: N BSGC PROJE	ECT NO. /ING NO. 8-112	
SCALE: N BSGC PROJE BSGC DRAW 13	ECT NO. /ING NO. 8-112	
SCALE: M BSGC PROJE BSGC DRAW 13 SHEET TITLE	ECT NO. /ING NO. 8-112	
SCALE: M BSGC PROJE BSGC DRAW 13 SHEET TITLE CONTEX	ECT NO. /ING NO. 8-112 E	
SCALE: M BSGC PROJE BSGC DRAW 13 SHEET TITLE	ECT NO. /ING NO. 8-112 E	
SCALE: M BSGC PROJE BSGC DRAW 13 SHEET TITLE CONTEX	ECT NO. /ING NO. 8-112 E	







Building Systems General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468



PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG	
CHECKED	DJR	
APPROVED	GWF	
REVISION :		
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
DATE:		
SCALE:		
٢	NONE	
BSGC PROJE	ECT NO.	
BSGC DRAW	ING NO.	
13	8-112	
SHEET TITLE	-	
CONTEX	(T	
PHOTOS		
	•	
SHEET NO.		

Building Systems General Corp.

5972 Executive Drive Suite 100 Madison, WI 53719

Phone:608-276-4400Fax:608-276-4468

February 19, 2014 (Updated March 3, 2014)

City of Madison Department of Planning & Community & Economic Development 215 Martin Luther King, Jr. Boulevard Madison, WI 53701-2984

LAND USE APPLICATION LETTER OF INTENT

Project: Woodman's Gas Station 721 South Gammon Road Madison, WI 53719

Project Team:

- Owner: Woodman's Food Market, Inc. 2631 Liberty Lane Janesville, WI 53545 Design/Build Contractor: Building Systems General Corporation
- 5972 Executive Drive, Suite 100 Madison, WI 53719
- Architect/MEP Engineer: The Larson & Darby Group 4949 Harrison Avenue, Suite 100 Rockford, IL 61125
- Civil Engineer: Snyder & Associates 5010 Voges Road Madison, WI 53718
- Existing Conditions: The property is currently occupied by Woodman's gas station. Woodman's Food Market, Inc. proposes to demolish the existing gas station and replace it with a new gas station.

Project Schedule: Start – May 2014 Completion – September 2014

Proposed Uses: The property will contain a 1,320 square foot convenience store and six fuel dispensers located under a 5,050 square foot canopy. Fuel delivery will occur during unattended hours of operation to avoid conflict with the accessible parking stall. There will be no intercom/speakers located outside the gas station building or within the canopy. Speakers will be provided at each dispenser for direct communication with the attendant. There will be no outside sales and there will be no outside displays. Trash is collected

Letter Of Intent

by personnel from the adjoining grocery store, is sorted into recyclables and trash, and is placed in receptacles located at the grocery store.

Hours of Operation: Attend	ded – 6 AM to 9 PM Unattended – 24/7
Building Square Footage:	1,320 square foot convenience store 5,050 square foot canopy.
Auto & Bike Parking Stalls:	One (1) Accessible Auto Stall. Two (2) Auto Stalls. Two (2) Bike Stalls
Lot Coverage:	21,730 <i>21,991</i> square feet total, 15,294 <i>14,898</i> square feet is impervious (pavement, curb, sidewalk, and building)
Usable Open Space:	6,436 7,093 square feet is pervious (grass).
Value of Land:	The gas station resides within the Woodman's Food Market property. The property consists of 17.22 acres and has a fair market value of \$3,838,281.00.
Estimated Project Cost:	\$1,350,000.00.
Number of Construction: Jobs Created	The gas station project will employ 10-12 full-time equivalent workers for the duration of the construction.
Number of Employees:	The gas station will employ one person during the hours the convenience store is attended.
Public Subsidy Required:	None.
Submitted,	
Building Systems General C	orp.

James R. Arneson, PE Vice President (608)663-6233 jarneson@bsgc-wi.com



PLAN COMMISSION / URBAN DESIGN SUBMITTAL

PROJECT TEAM

DESIGN/BUILD CONTRACTOR

BUILDING SYSTEMS GENERAL CORP.

5972 EXECUTIVE DRIVE SUITE 100 PHONE: 608 276-4400 MADISON, WI 53719 FAX: 608 276-4468

CIVIL

SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD MADISON, WI 53718

PHONE: 608 838-0444 FAX: 608 838-0445

ARCHITECTURAL LARSON & DARBY GROUP

4949 HARRISON AVENUE SUITE 100 PHONE: 815 484-0739 PO BOX 5207 ROCKFORD, IL. 61125-0207

FAX: 815 229-9867

NEW GAS STATION WOODMAN'S

721 S. GAMMON ROAD MADISON, WISCONSIN



MICK BALTES PLUMBING INC.

4125 MEYER AVENUE MADISON. WI 53711

PHONE: 608 235-1827

MECHANICAL

LARSON & DARBY GROUP

4949 HARRISON AVENUE SUITE 100 PHONE: 815 484-0739 PO BOX 5207 ROCKFORD, IL. 61125-0207

FAX: 815 229-9867

ELECTRICAL LARSON & DARBY GROUP

4949 HARRISON AVENUE SUITE 100 PHONE: 815 484-0739 PO BOX 5207 ROCKFORD, IL. 61125-0207

FAX: 815 229-9867



LAND USE APPLICATION LETTER OF INTENT PERSPECTIVE RENDERINGS ELEVATION RENDERINGS EXISTING SITE AND DEMOLITION PLAN PROPOSED SITE PLAN PROPOSED GRADING PLAN LANDSCAPE PLAN LANDSCAPE CONSTRUCTION NOTES PROPOSED CIRCULATION PLAN FLOOR PLAN & EXTERIOR ELEVATIONS (1"=20' SCALE) FLOOR PLAN & ROOF PLAN EXTERIOR ELEVATIONS & BUILDING SECTIONS SITE PHOTOMETRICS GAS CANOPY LIGHTING PRODUCT CUT SHEET SITE AERIAL PHOTOGRAPH CONTEXT PHOTOS CONTEXT PHOTOS CONTEXT PHOTOS CONTEXT PHOTOS CONTEXT PHOTOS **URBAN DESIGN COMMISSION** COMPREHENSIVE DESIGN REVIEW EXTERIOR SIGNAGE PLAN SIGN INVENTORY EXISTING SIGNAGE SURVEY EXISTING SIGNAGE SURVEY EXISTING SIGNAGE SURVEY

EXHIBIT INDEX





EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S **NEW GAS STATION**

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN
CHECKED
APPROVED
REVISION:
•
•
•
•
•
•
•
•
•
•
•
•
•
•
DATE:
SCALE:
BSGC PROJECT NO.
2252E
BSGC DRAWING NO.
13-112
SHEET TITLE
PROJECT TEAM &
EXHIBIT INDEX
SHEET NO.

LED CANOPY LIGHT - LEGACY[™] (CRUS)



US & Int'l. patents pending.



- **HOUSING -** Low profile, durable die-cast, aluminum construction, providing a reliable weather-tight seal.
- **LEDS** Features an array of select, mid-power, high brightness, high efficiency LED chips; 5300°K color temperature, 70 CRI (nominal).
- DRIVE CURRENT Choice of Low Wattage (LW) or Super Saver (SS).
- **OPTICS / DISTRIBUTION -** Symmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.
- **OPTICAL UNIT** Features an ultra-slim 7/8" profile die cast housing, with a flat glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.
- **PRESSURE STABILIZING VENT** Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.
- **HAZARDOUS LOCATION** Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).
- **DRIVER** State-of-the-art driver technology superior energy-efficiency and optimum light output. Driver components are fully encased in potting for IP65 moisture resistance. Complies with IEC and FCC standards. Surge protected at 10KV.
- **DRIVER HOUSING** Die cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.
- OPERATING TEMPERATURE -40°C to 50°C (-40°F to +122°F)
- **ELECTRICAL** Universal voltage power supply, 120-277 VAC, 50/60 HZ input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C.
- **FINISH** Standard color is white and is finished with LSI's DuraGrip polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.
- **INSTALLATION** One person installation. No additional sealant required. Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit. Retro panels are available for existing Encores (see back page) as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.
- SHIPPING WEIGHT 27 pounds (single pack), 48 pounds (double pack).
- **EXPECTED LIFE** Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.
- WARRANTY Limited 5-year warranty.
- **LISTING -** UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- **PHOTOMETRICS** Applications layouts are available upon request. Contact LSI Petroleum Lighting or petroleum.apps@lsi-industries.com

temperature of this product will not rise above 100°C., within a 40°C ambient. **Gas Groups A,B,C, and D** – Group A: Acetylene / Group B: Hvdrogen / Group C: Propane and Ethylene /

Group D: Benzene, Butane, Methane & Propane.

Class 1, Division 2 – Standard on SS & LW.

T5 Temperature Classification – The surface

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.





Consult Factory

Project Name

Catalog #____

____ Fixture Type ____

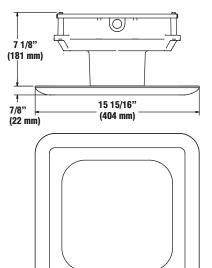
LED CANOPY LIGHT - LEGACYTM (CRUS)

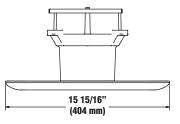


CRUS SC LED SS CW UE WHT TYPICAL ORDER EXAMPLE: Prefix Distribution Light Source **Drive Current Color Temperature** Input Voltage Finish Options WHT - White BRZ - Bronze BLK - Black CW - Cool White CRUS SC - Standard LED <mark>LW - Low Watt</mark> SS - Super Saver UE - Universal None Voltage (120-277V) Symmetric 347 - 347V

ACCESSORY ORDERING INFORMATION (Ac	cessories are field installed)		
Description	Order Number	Description	Order Number
Retrofit Panels - EC / ECTA / SCF to CRU, for 16" Deck Panel	525946	Kit - Hole Plugs and Silicone (enough for 25 retrofits) ¹	1320540
Retrofit Panels - ECTA / SCF to CRU, for 12" Deck Panel	530281	1- Consists of (25) 7/8" hole plugs and (1) 10.3 oz tube of RTV	
Retrofit 2x2 Cover Panel Blank (no holes)	357282	2- Flange Kit used to mount CRU in double deck applications	
Retrofit RIC Cover Panel Blank (no holes)	354702		

DIMENSIONS



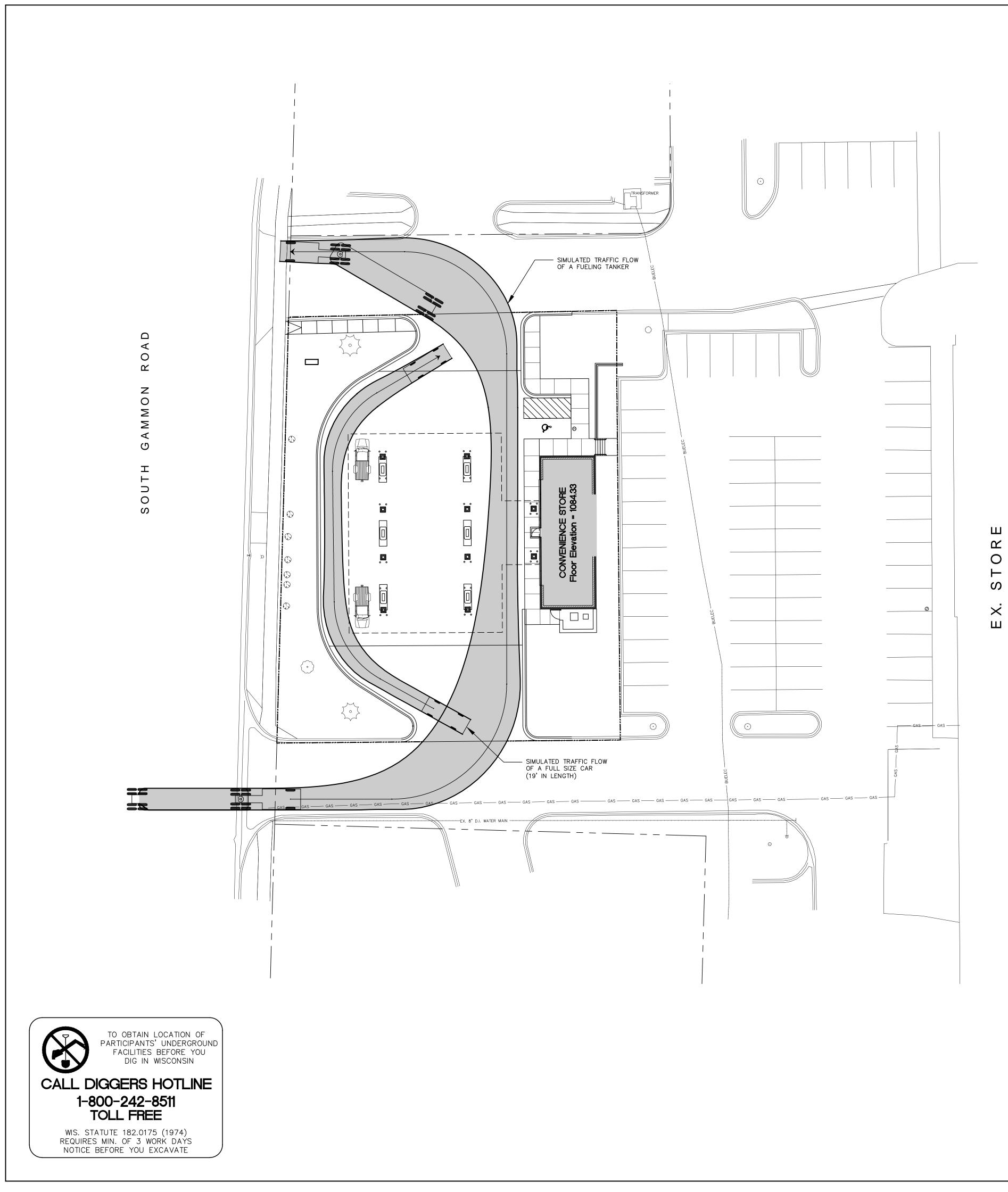


LIGHT O	UTPUT - CRUS			
		Lumens	Watts	LPW
hite	LW - Low Watt	10,871	88	124
Cool W	SS - Super Saver	13,554	114	119



Project Name
Catalog #____

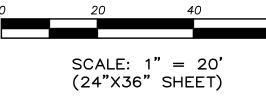
Fixture Type ____



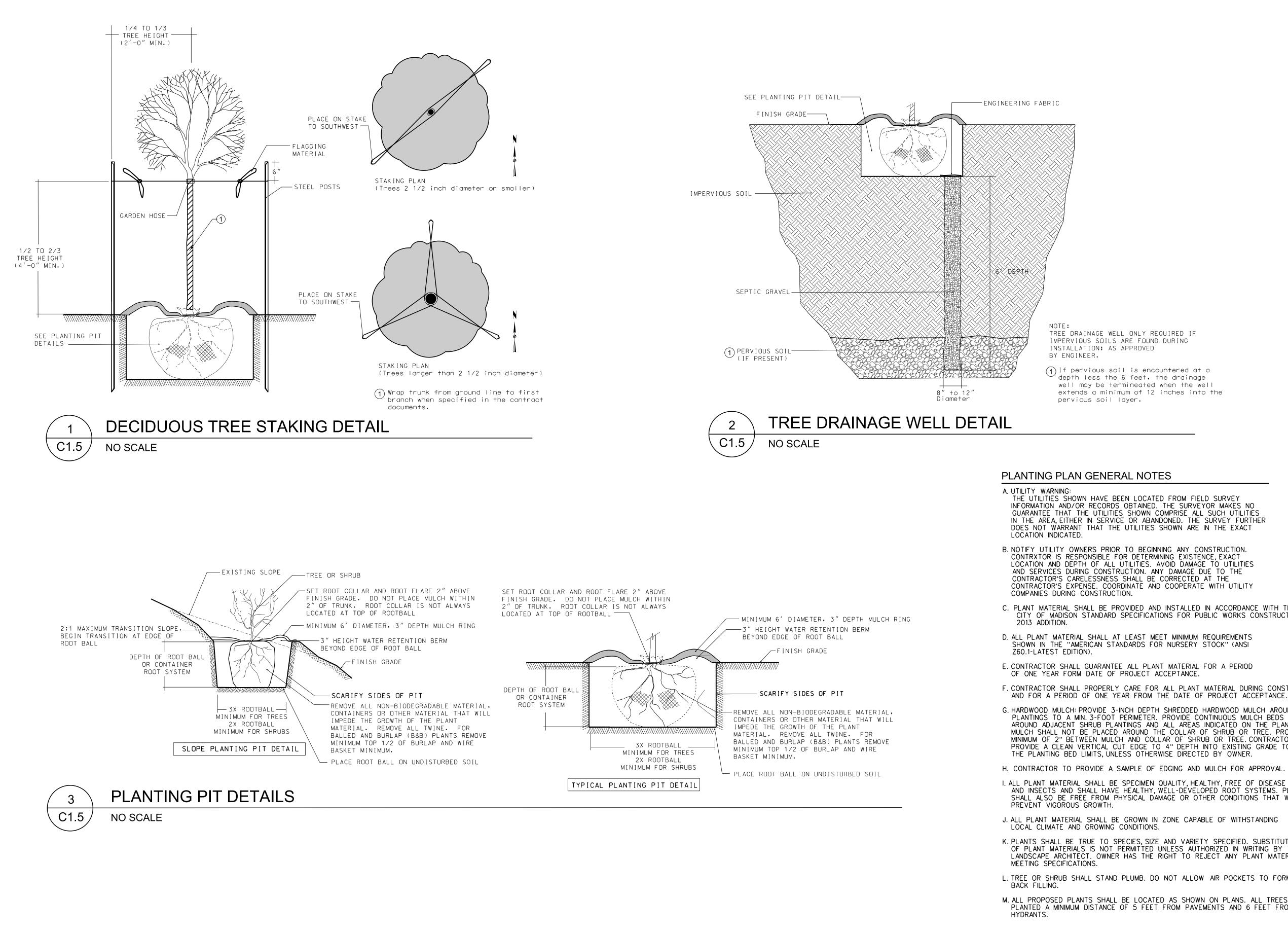


	<image/> <section-header><section-header><section-header><section-header><text></text></section-header></section-header></section-header></section-header>
	PROJECT NAME
	NEW GAS STATION WOODMAN'S
	721 SOUTH GAMMON ROAD MADISON, WISCONSIN
	CONSULTANTS
	SNYDER & ASSOCIATES Engineers and Planners
	5010 VOGES ROAD MADISON, WISCONSIN 53718 608-838-0444 www.snyder-associates.com
	P:\PROJECTS\B\BUI20\Design\BUI20 -BASE.dwg
	DRAWN: M. WAHL CHECKED: APPROVED: M. CALKINS
	REVISION: • 3/4/14 WALL & EQUIPMENT ADDITIONS
	• •
	• • • •
	• • • •
	DATE: 2/17/14 SCALE:
	1" = 20' BSGC PROJECT NO.
n [.]	2252E
AL CORI	BSGC DRAWING NO. 13-112
CENER	SHEET TITLE
SYSTEMS GENERAL CORP.	PROPOSED CIRCULATION PLAN
14 BUIL	SHEET NO.
COPYRIGHT 2014 BUILDING	C1.6
ZOP Y	

CIRCULATION PLAN







TREE DRAINAGE WELL ONLY REQUIRED IF IMPERVIOUS SOILS ARE FOUND DURING INSTALLATION; AS APPROVED

(1) If pervious soil is encountered at a depth less the 6 feet, the drainage well may be termineated when the well extends a minimum of 12 inches into the pervious soil layer.

A UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT

B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRXTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY

C. PLANT MATERIAL SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION

D. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI

E. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD

F. CONTRACTOR SHALL PROPERLY CARE FOR ALL PLANT MATERIAL DURING CONSTRUCTION AND FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT ACCEPTANCE.

G. HARDWOOD MULCH: PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MIN. 3-FOOT PERIMETER. PROVIDE CONTINUOUS MULCH BEDS AROUND ADJACENT SHRUB PLANTINGS AND ALL AREAS INDICATED ON THE PLAN. MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE. CONTRACTOR TO PROVIDE A CLEAN VERTICAL CUT EDGE TO 4" DEPTH INTO EXISTING GRADE TO DEFINE THE PLANTING BED LIMITS, UNLESS OTHERWISE DIRECTED BY OWNER.

H. CONTRACTOR TO PROVIDE A SAMPLE OF EDGING AND MULCH FOR APPROVAL.

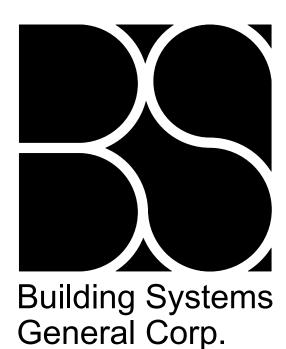
AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD

J. ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING

K. PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIALS IS NOT PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. OWNER HAS THE RIGHT TO REJECT ANY PLANT MATERIAL NOT

L. TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN

M. ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL



5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468



EMPLOYEE OWNED

PROJECT NAME

NEW GAS STATION WOODMAN'S

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS



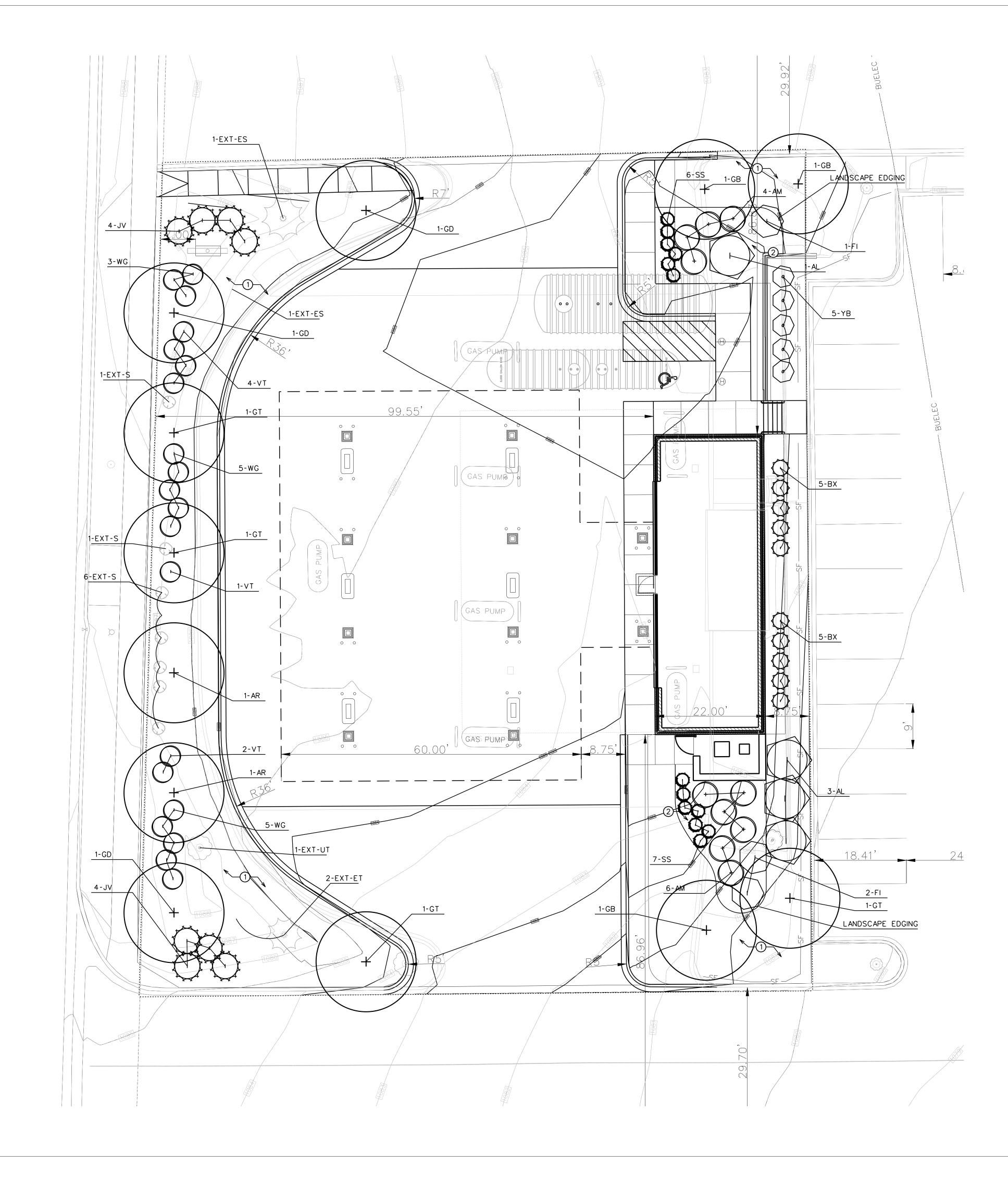
SNYDER & ASSOCIATES Engineers and Planners

5010 VOGES ROAD MADISON, WISCONSIN 53718 608-838-0444 | www.snyder-associates.com

DRAWN: M. WAHL
CHECKED: L. OLSEN
APPROVED: M. CALKINS
REVISION:
• 03/04/14 •
• •
• •
• •
• •
• •
• •
• •
• •
• •
• •
• •
• •
• •
DATE: 2/17/14
SCALE:
SEE PLAN
BSGC PROJECT NO.
2252E
BSGC DRAWING NO.
13-112
SHEET TITLE
LANDSCAPE CONSTRUCTION NOTES
SHEET NO

SHEET NU.

C1.5



		KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
	2	AR	Acer rubrum 'Brandywine'	BRANDYWINE MAPLE	2 1/2"	B&B
ES	3	GB	Ginko biloba	MAINDENHAIR TREE	2 1/2"	B&B, SEEDLES
TREES	3	GD	Gymnocladus dioicus	KENTUCKY COFFEE TREE 'ESPRESSO'	2 1/2"	B&B, SEEDLES
	4	GT	Gleditisia triacanthos 'Skyline'	SKYLINE HONEYLOCUST	2 1/2"	B&B
	4	AL	Amelanchier laevis "Cumulus"	CUMULUS SERVICEBERRY	6' HT.	B&B
<u> </u>	10	AM	Aronia melanocarpa 'Viking'	BLACK CHOKEBERRY 'VIKING'	24" Ht.	CONT. (5' 0.C
۳ ۳	10	BX	Buxus x 'Green Mountain'	GREEN MOUNTAIN BOXWOOD	24" Ht.	CONT. (4' 0.C
Shrubs	3	FI	Forsythia x intermedia 'Kolgold'	MAGICAL GOLD FORSYTHIA	24" Ht.	CONT. (6' 0.C
	8	J۷	Juniperus virginiana 'Grey Owl'	GREY OWL JUNIPER	12" Ht.	CONT. (5' 0.C
	13	WG	Weigela florida 'Minuet'	MINUET WEIGELA	24" Ht.	CONT. (5' 0.C
	7	VT	Viburnum trilobum 'Compactum'	DWARF CRANBERRYBUSH VIBURNUM	24" Ht.	CONT. (5' 0.C
	5	YB	Hydrangea macrophylla 'Bailmer'	ENDLESS SUMMER HYDRANGEA	24" Ht.	CONT. (4' 0.C
GRASSES	13	SS	Schizachyrium scoparium 'Carousel'	LITTLE BLUESTEM 'CAROUSEL'	1 GAL.	CONT. (2.5' 0
IAL	2		EVERGREEN SHRUB			
TER	2		EVERGREEN TREE			
MA	2 8	EXT-S	SHURBS			
PLANT MATERIAL	0 1	EXT-UT				
EXISTING						

PLANTING PLAN REQUIREMENTS

TOTAL DEVELOPED AREA TOTAL AREA: 21,990 SQ.FT. REQUIREMENT: 21,990/300 = 74 LANDSCAPE UNITS X 5 = 370 TOTAL POINTS REQURIED (377 PROVIDED) EXISTING PLANT MATERIAL ON SITE: 67 PTS. PROPOSED PLANT MATERIAL: 310 PTS.

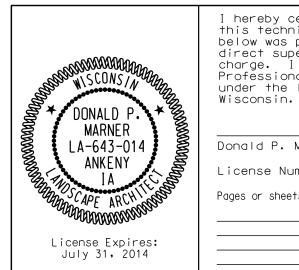
STREET FRONTAGES LINEAR FEET: 165 LF REQUIREMENT: 1 TREE AND 5 SHURBS/30 LF PROVIDED: 6 TREES AND 28 SHRUBS

INTERIOR PARKING LOT LANDSCAPING TOTAL STALLS: 1 REQUIREMENT: N/A

FOUNDATION PLANTINGS LINEAR FEET: 82'(NOT DIRECTLY ABUTING SIDEWALKS) REQUIREMENT: AS PROVIDED - SEE PLAN

PLANTING PLAN CONSTRUCTION NOTES

(1) SEED ALL OTHER AREA'S DISTURBED FROM CONSTRUCTION WITH GRASS SEED MIX IN ACCORDANCE WITH PROPOSED EROSION CONTROL PLAN; UNLESS, OTHERWISE NOTED. PLANTING BEDS TO BE MULCHED WITH SHREDDED BARK OR STONES PER THE OWNER'S INSTRUCTION



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Wisconsin.

Date Donald P. Marner, ASLA License Number LA-643-014 Pages or sheets covered by this seal:



SCALE: 1" = 10' (24"X36" SHEET)





LANDSCAPE PLAN

SHEET NO.

C1.4



Ш \mathbf{r} Ο S \times

SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT. TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY OF MADISON.

CONTRACTOR TO MINIMIZE AREAS OF EXPOSED SOIL AT ALL TIMES.

GRASS AREAS SHALL RECEIVE FERTILIZER, SEED, AND MULCH. SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS

PER 1,000 SQUARE FEET.

MIN. RATE OF 1.5 TONS PER ACRE. MULCH MUST BE CRIMPED. FOR THE FIRST SIX WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, PROVISIONS SHALL BE MADE FOR WATERING WHENEVER MORE THAN SEVEN DAYS OF DRY WEATHER ELAPSE.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS. DEVELOPER SHALL REPAIR/REPLACE ANY SIDEWALK, CURB, OR PAVEMENT DAMAGED DURING CONSTRUCTION OR AS DEEMED NECESSARY BY THE CITY OF MADISON.

LEGEND

 \otimes 880.67 887.83 🗙 EXISTING TIE IN SPOT ELEVATION FINISHED SURFACE ELEVATION

GENERAL NOTES

CONTRACTOR SHALL NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TWO (2) WORKING DAYS PRIOR TO ANY SOIL DISTURBING ACTIVITY.

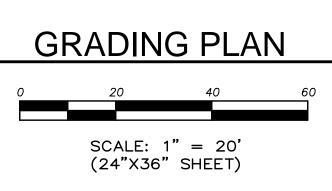
TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED WITHIN 10-DAYS. PERIMETER CONTROL ON THE DOWNSTREAM SIDE SHALL BE IN-PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).

ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO seeding.

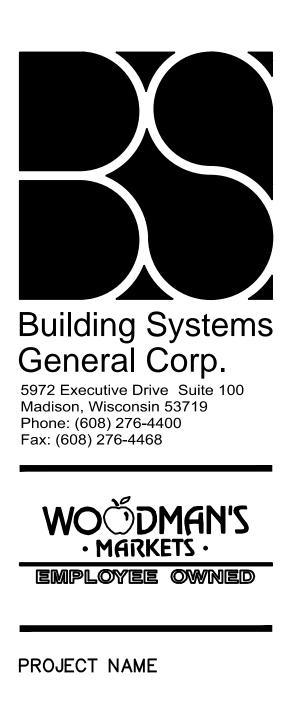
MULCH SHOULD BE APPLIED SO THAT THE SOIL SURFACE IS UNIFORMLY COVERED. ACTUAL APPLICATION RATES MAY VARY DEPENDING UPON THE INDIVIDUAL SITE CHARACTERISTICS AND THE TYPE OF MULCH USED. MULCHING APPLICATION SHALL CONSIST OF STRAW AT A

GRADING NOTES

ALL SPOT ELEVATIONS ARE FINISHED PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.







NEW GAS STATION WOODMAN'S

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

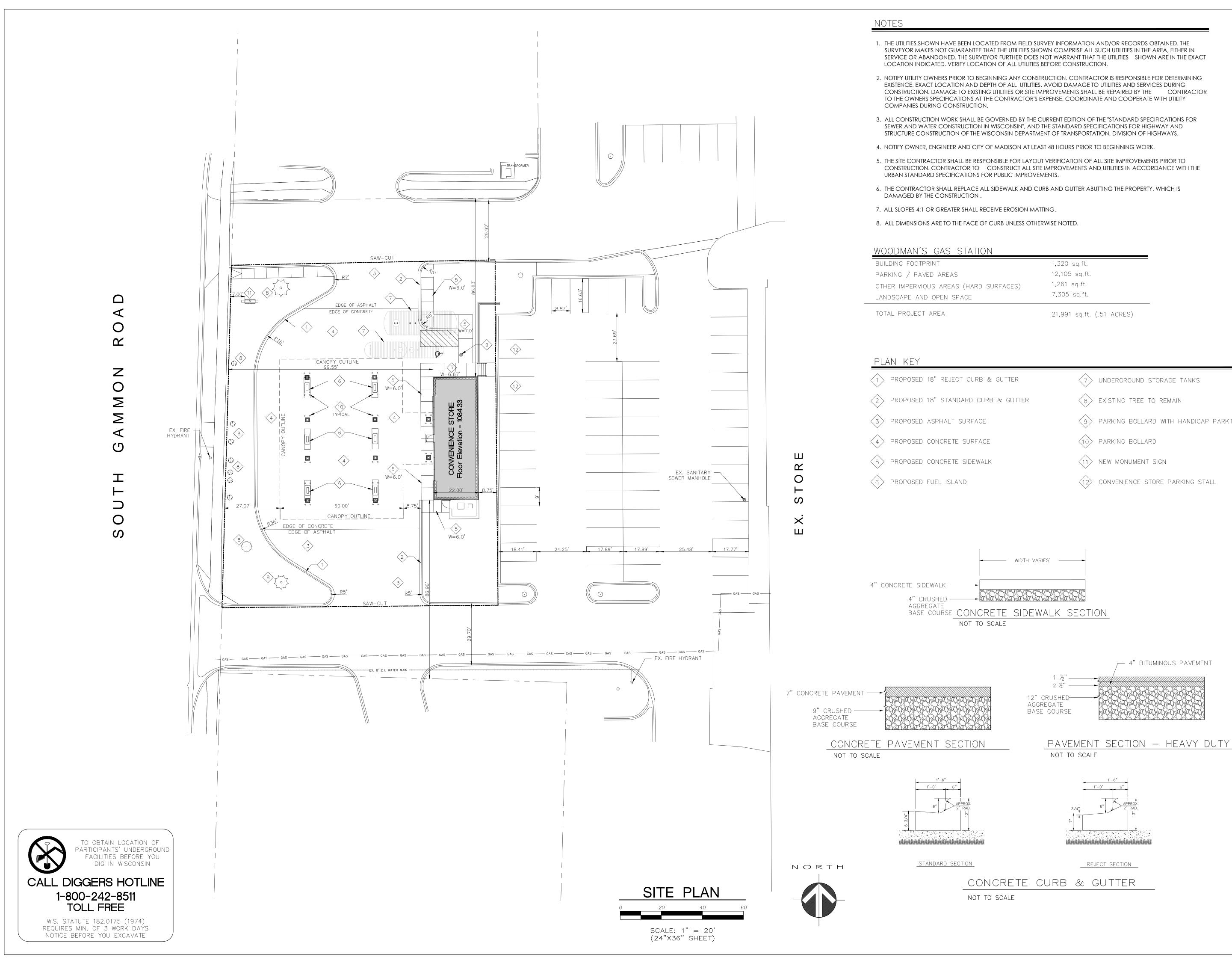


SNYDER & ASSOCIATES Engineers and Planners

5010 VOGES ROAD MADISON, WISCONSIN 53718 608-838-0444 | www.snyder-associates.com

P:\PROJECTS\B\BUI20\Design\BUI20 -BASE.dwg

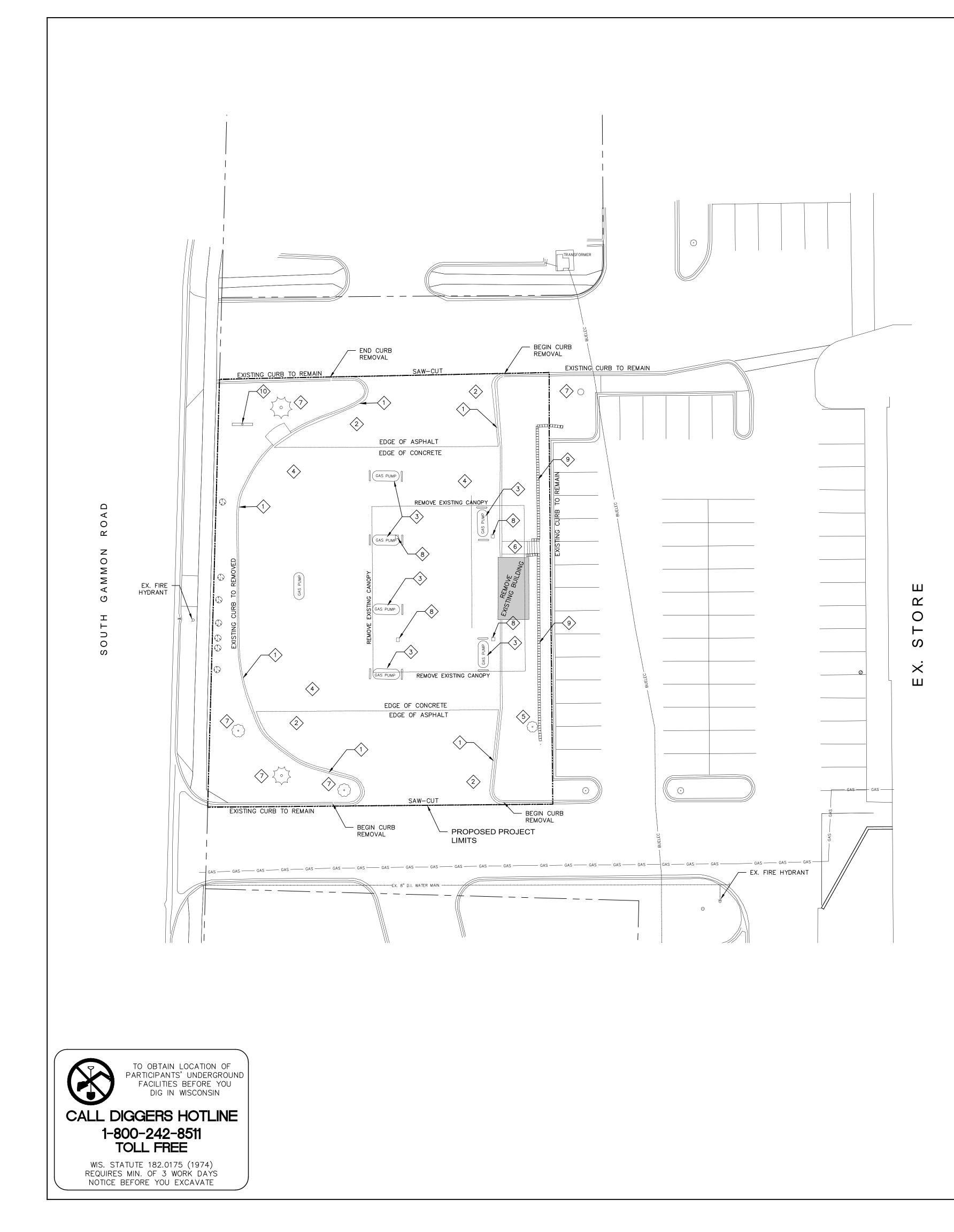
DRAWN: M. W	/AHL
CHECKED:	
APPROVED: N	
REVISION	J:
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
•	•
DATE:	
DATE.	3/4/14
SCALE:	1" = 20'
BSGC PR	OJECT NO.
	2252E
	ZZJZL
BSGC DR	AWING NO.
	13-112
SHEET TI	TLE
PR	OPOSED
	DING PLAN
GINA	
SHEET NO	Э.
	C1.3



	1,320 sq.ft.
	12,105 sq.ft.
HARD SURFACES)	1,261 sq.ft.
Ŷ	7,305 sq.ft.

CURB & GUTTER	$\overline{\langle 7 \rangle}$	UNDERGROUND STORAGE TANKS
RD CURB & GUTTER	8	EXISTING TREE TO REMAIN
RFACE	9	PARKING BOLLARD WITH HANDICAP PARKING SIGN
URFACE	10>	PARKING BOLLARD
IDEWALK		NEW MONUMENT SIGN
	12	CONVENIENCE STORE PARKING STALL





NOTES

- highways.

- DAMAGED BY THE CONSTRUCTION .

PLAN KEY

$\overline{\langle}$	EXISTING CURB & GUTTER TO
$\langle 2 \rangle$	EXISTING ASPHALT TO BE REM
$\langle 3 \rangle$	EXISTING GAS PUMP AND ISLA
$\langle 4 \rangle$	EXISTING CONCRETE PAVEMENT
$\langle 5 \rangle$	EXISTING TREE / BUSH TO BE
$\langle 6 \rangle$	REMOVE EXISTING CONCRETE V
$\langle 7 \rangle$	EXISTING TREE TO REMAIN
8	EXISTING CANOPY SUPPORTS
9	EXISTING RETAINING WALL TO

(11) CONVENIENCE STORE PARKING STALL

1. THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NOT GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.

2. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.

3. ALL CONSTRUCTION WORK SHALL BE GOVERNED BY THE CURRENT EDITION OF THE "STANDARD SPECIFICATIONS" FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", AND THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF

4. NOTIFY OWNER, ENGINEER AND CITY OF MADISON AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.

5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONSTRUCT ALL SITE IMPROVEMENTS AND UTILITIES IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.

6. THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS

BE REMOVED

MOVED

AND TO BE REMOVED

ENT TO BE REMOVED

REMOVED

WALK AND STAIRS

TO BE REMOVED

BE REMOVED

(10) EXISTING SIGN TO BE REMOVED AND REPLACED

Building Systems General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468



Employee owned

PROJECT NAME

NEW GAS STATION WOODMAN'S

721 SOUTH GAMMON ROAD MADISON, WISCONSIN

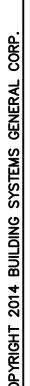
CONSULTANTS



SNYDER & ASSOCIATE: Engineers and Planners

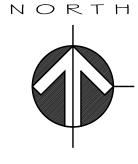
5010 VOGES ROAD MADISON, WISCONSIN 53718 608-838-0444 | www.snyder-associates.c

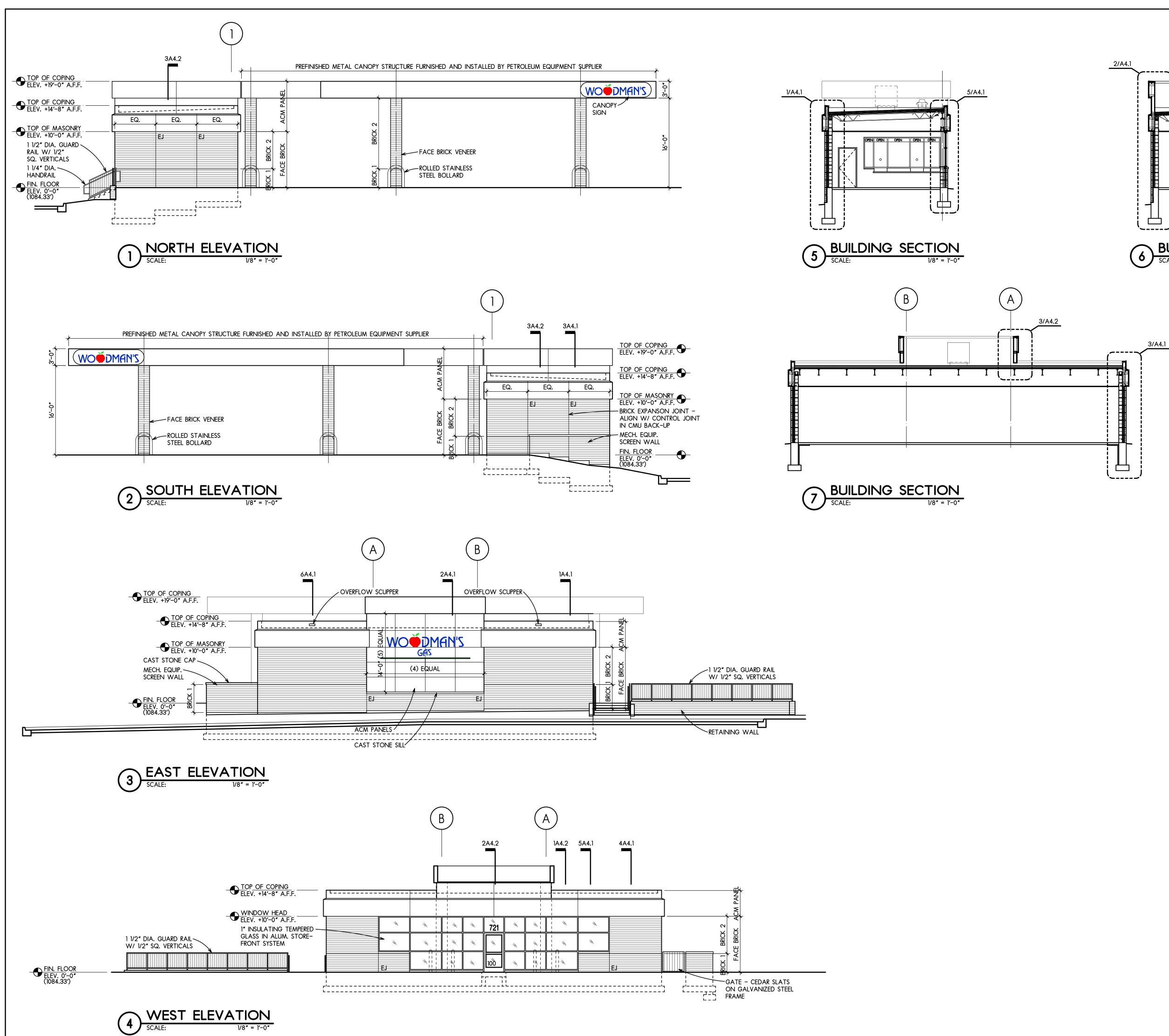
P:\PROJECTS\B\BUI20\Design\BUI20 -BASE.dv

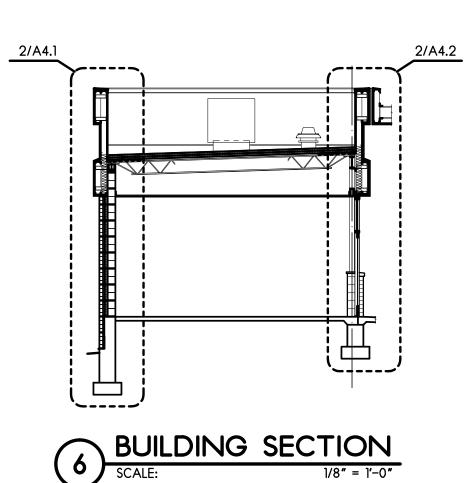


EXISTING SITE AND DEMOLITION PLAN

SCALE: 1" = 20' (24"X36" SHEET)







Building Systems General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468



PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 South Gammon Road MADISON, WISCONSIN

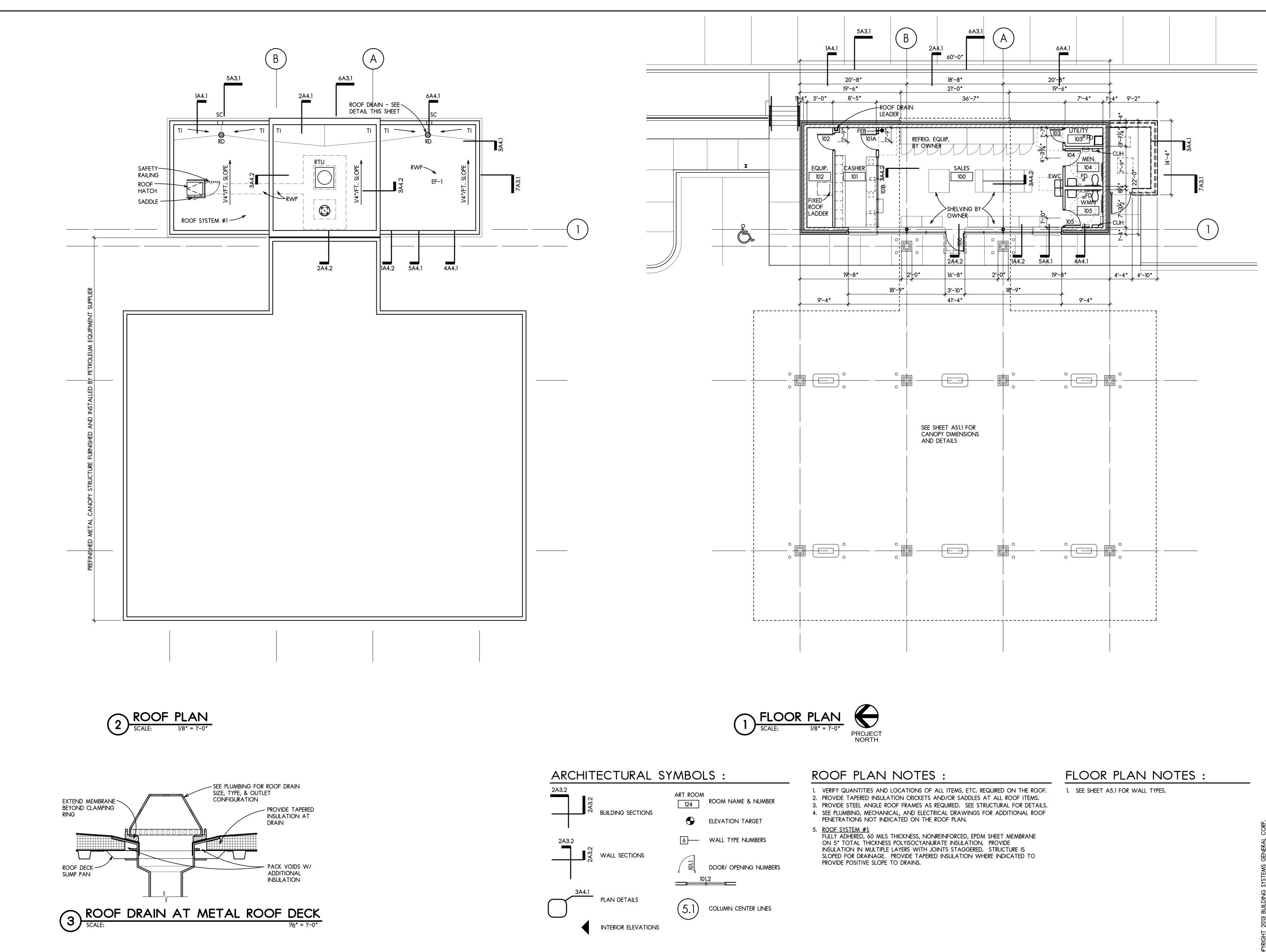
CONSULTANTS

DRAWN	LDG	
CHECKED	DJR	
APPROVED	GWF	
REVISION :		
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
٠		٠
٠		٠
٠		٠
٠		٠
DATE:		
SCALE:		
1/8	<i>"</i> =]'-0 <i>"</i>	
BSGC PROJ	IECT NO.	
BSGC DRAV	VING NO.	
1	3-112	
SHEET TITL	E	
EXTERI	OR	
ELEVAT	10NS &	

BLDG. SECTIONS

SHEET NO.

A3.1





PROJECT NAME

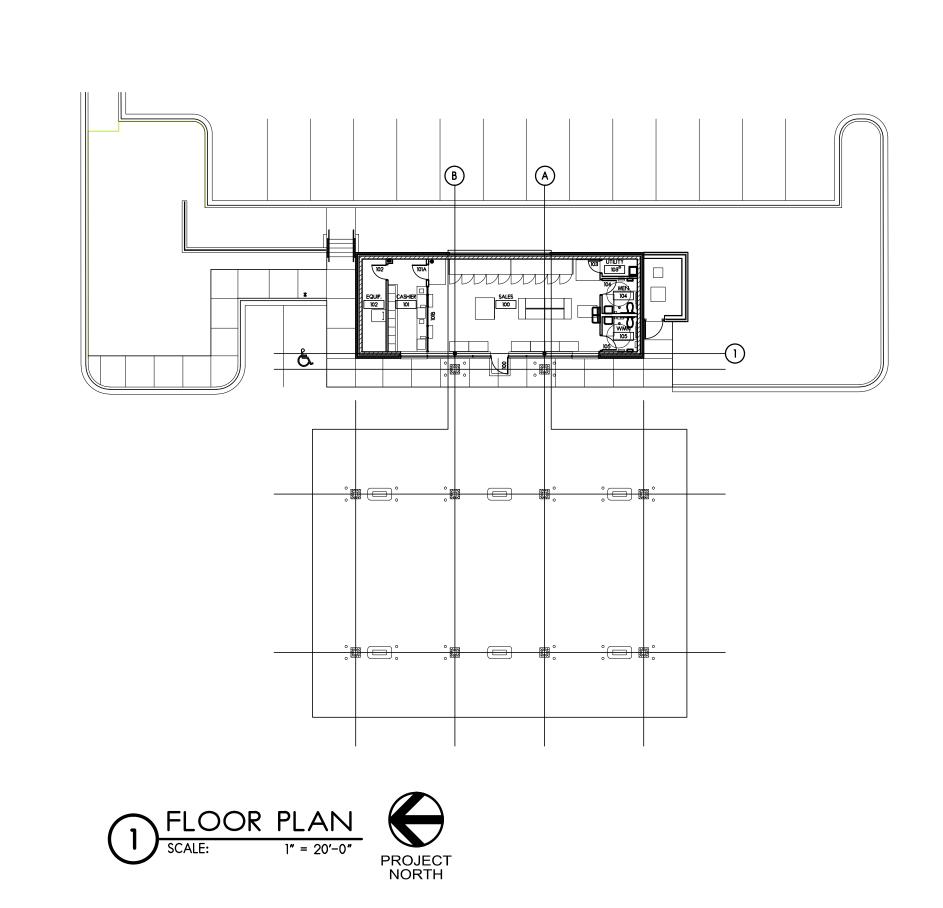
WOODMAN'S FOOD MARKET REMODELING

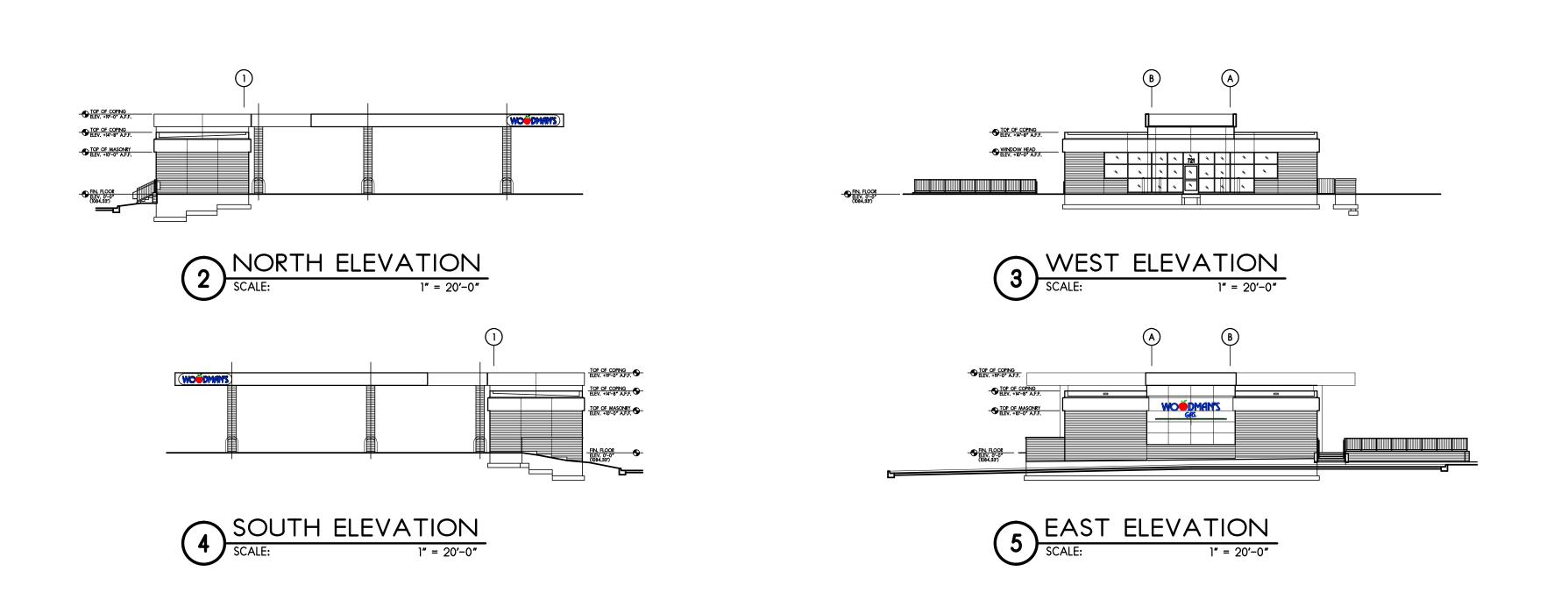
721 South Gammon Road MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG	
CHECKED	DJR	
APPROVED	GWF	
REVISION:		
•		•
•		•
•		•
•		•
•		•
•		•
•		•
•		•
•		•
•		•
•		•
•		•
•		•
•		•
DATE:		
SCALE:		
	<i>"</i> =]'-0 <i>"</i>	
BSGC PROJ	ECT NO.	
BSGC DRAV	VING NO.	
1:	3-112	
SHEET TITL	 E	
FLOOR		
& ROOF	PLAN	
SHEET NO.		

A1.1









PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

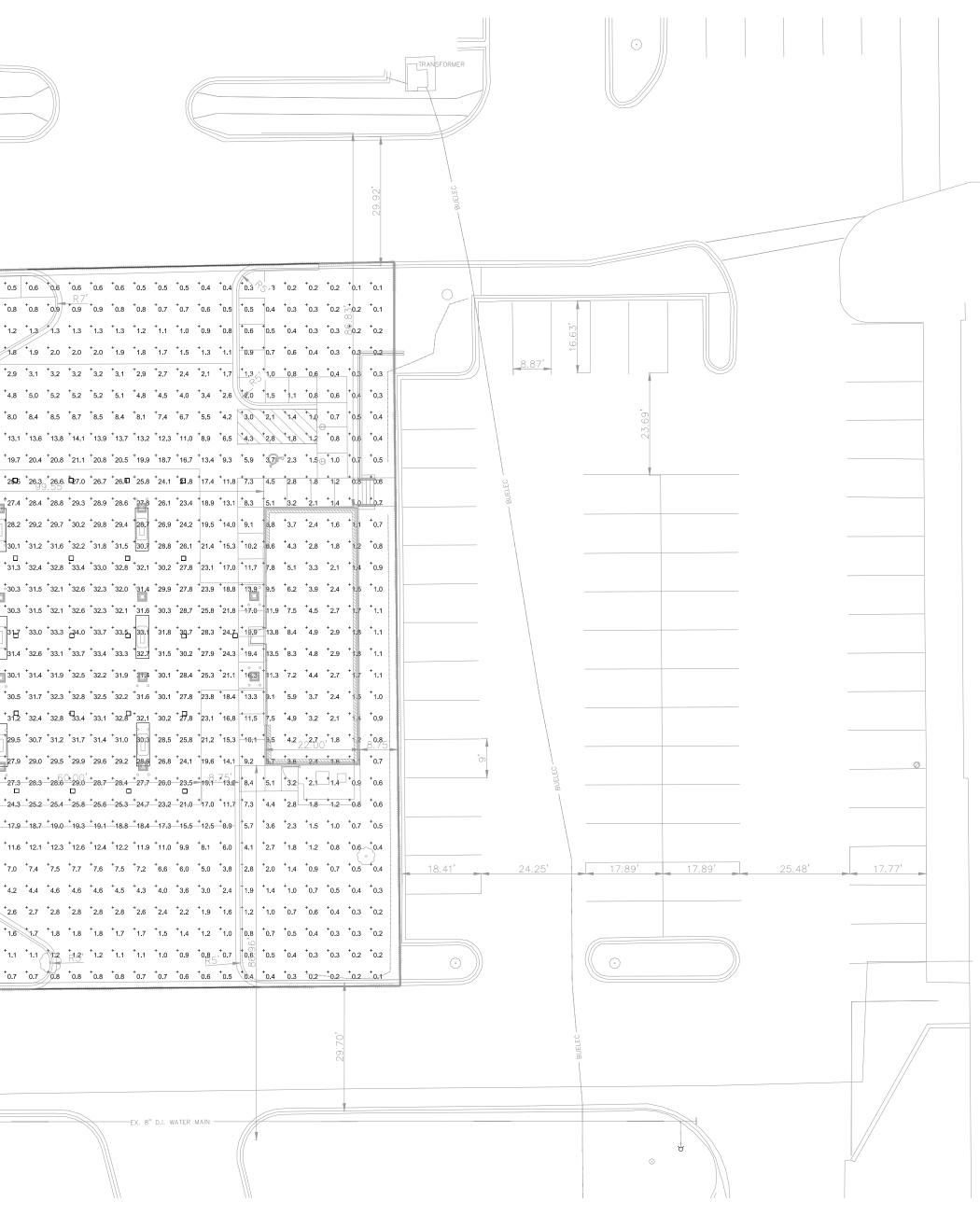
721 SOUTH GAMMON ROAD MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG	
CHECKED	DJR	
APPROVED	GWF	
REVISION :		
•		٠
•		٠
•		٠
•		٠
•		٠
•		•
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		٠
•		•
DATE:		
SCALE:		
]″ =	20'-0"	
BSGC PROJE	CT NO.	
BSGC DRAWI	NG NO.	
13	-112	
	114	
SHEET TITLE		
FLOOR P	'LAN	
& EXTER	IOR	
ELEVATIO	ONS	
SHEET NO.		
	1	

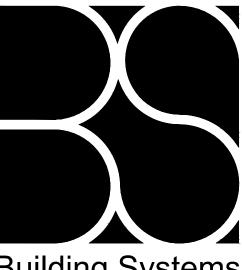
+0.1 +0.2			+0.3 + +0.4 +		+0.4 +	0.5 ⁺ 0.5 0.7 ⁺ 0.7	
+0.2	⁺ 0.2 ⁺ 0 3		⁺ 0.5 ⁺	0.6 +0.7	+0.9 +0.9	1.0 ⁺ 1.1	⁺ 1.2
+0.2	⁺ 0.3 ⁺ 0.4	+0.5	*8.7 *	0.9 ⁺ 1.1	⁺ 1.3 ⁺	1.5 ⁺ 1.7	1.8
+0.3				1.3 ⁺ 1.6			
+0.4				1.9 ⁺ 2.5			
+0.4	0.6	9 ⁺ 1.3		// 🍆 🗠		6.5 ⁺ 7.3 10.8 ⁺ 12.1	
⁺ 0.5 ⁺ 0.6	1 11		/	4.0 ⁺ 6.1 5.4 ⁺ 8.7			
+0.7	1 11			6.6 ⁺ 10.9	[
+0.7						22.7 ⁺ 25 [°] .5	
+0.8	⁺ 1.2 ⁺ 1.8	3 ⁺ 2.9		7.8 ⁺ 12.5		I.	
+0.9	⁺ 1.3 2.0) ⁺ 3.1		8.2 ⁺ 13.2			
+0.9	+1.3 2.0) ⁺ 3.2	⁺ 5.2 ⁺	8.5 ⁺ 13.6	⁺ 20.1 ⁺	25.8 ⁺ 28.9	□ 31.3
+0.9	+1.4 2.1	0		8.5 ⁺ 13.5			
+0.9						24.9 ⁺ 28.1	
*0.9	⁺ 1.4 2.1					26.0 29.3	
+0.9						25.8 ⁺ 290	
⊳, ⁺ 0.9	⁺ 1.4 ⁺ 2.1 ⁺ 1.3 ⁺ 2.0	Y				24.7 ⁺ 27. 25.1 ⁺ 28.3	0
+ 0.9)				25.1 26.3 25.7 ⁺ 28.9	
+0.8	1.3 2.0 1.2 1.9	/				24.2 + 27	q
+0.8	⁺ 1.2					22.8 ⁺ 25.	
+0.7	⁺ 1.1 ⁺ 1.6					۲ 22.4 ⁺ 25.2	
+0.6	⁺ 1.0 ⁺ 1.4		111	6.2 ⁺ 10.1	+ 15.4 +	20.0 +22.5	⊑ 124.:
⁺ 0.6	⁺ 0.8 ⁺ 1.2	2 ⁺ 1.9	⁺ 3.0 ⁺	4.9 7.8	⁺ 11.5 ⁺	14.8 ⁺ 16.7	⁺ 17.9
⁺ 0.5	⁺ 0.7 ⁺ 1.0	5	2			9.4 ⁺ 10.6	
+0.4	⁺ 0.6 ⁺ 0.8			2.5 +3.5		5.7 ⁺ 6.4	
⁺ 0.3	⁺ 0.5 ⁺ 0.6			1.7 ⁺ 2.2		3.4 ⁺ 3.9	
+0.3	⁺ 0.4 ⁺ 0.5				N 4	2.1 ⁺ 2.4	//
+02	*0.2 *0.4 *0.2 *0.3			0.8 ⁺ 1.0 0.6 ⁺ 0.7	+1.2 +0.8 +	1.3 ⁺ 1.5 0.9 ⁺ 1.0	1.6 ⁻ +
	+0.2 +0.2					0.6 +0.7	
			((*****
//							

PHOTOMETRICS PLAN SCALE: 1" = 20' (30"X42" SHEET)



PROJECT NORTH

Luminaire So	chedule				
Symbol	Label	Quantity	Manufacture r	Catalog Number	Description
	С	26	LSI INDUSTRIES	CRU-SC-LED-LW-CW- UE	LED CANC COOL WHI WHITE FIN



Building Systems General Corp. 5972 Executive Drive Suite 100 Madison, Wisconsin 53719 Phone: (608) 276-4400 Fax: (608) 276-4468



PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 South Gammon Road MADISON, WISCONSIN

CONSULTANTS

DRAWN CHECKED D.IR APPROVED **REVISION:** DATE: SCALE: as noted BSGC PROJECT NO.

BSGC DRAWING NO.

13-112

SHEET TITLE

PHOTOMETRICS

ES1.1

PLAN

SHEET NO.