



City of Madison Planning Division
215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

Madison Landmarks Commission APPLICATION

1. LOCATION 201 E. WIFFLIN

Project Address: 17, 19, 25 N. WEBSTER ST. Aldermanic District: 2

2. PROJECT

Date Submitted: _____

Project Title / Description: 6 STORY, 50 UNIT APARTMENT BUILDING

This is an application for: (check all that apply)

- Alteration / Addition to a Designated Madison Landmark
- Alteration / Addition to a building adjacent to a Designated Madison Landmark
- Alteration / Addition to a building in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- New Construction in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- Demolition
- Variance from the Landmarks Ordinance
- Referral from Common Council, Plan Commission, or other referral
- Other (specify): NEW construction adjacent to Landmark

3. APPLICANT

Applicant's Name: FRED ROUSE Company: ROUSE MANAGEMENT
 Address: 2428 PERKY ST City/State: MADISON WI Zip: 53713
 Telephone: 608.251.5382 E-mail: FR@ROUSEMGMT.COM
 Property Owner (if not applicant): _____
 Address: _____ City/State: _____ Zip: _____

Property Owner's Signature: Fred Rouse Date: 10/28/13

GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
 - Site plan showing all property lines and structures
 - Building elevations, plans and other drawings as needed to illustrate the project
 - Photos of existing house/building
 - Contextual Information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

Questions? Please contact the
Historic Preservation Planner:
Amy Scanlon
Phone: 608.266.6552
Email: ascanlon@cityofmadison.com

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

October 16, 2013

Ms. Katherine Cornwell
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent
Rezoning from DR1 to UMX
17, 19, 25 N. Webster Street, 201 E. Mifflin
Madison, WI

Dear Ms. Cornwell:

The following is submitted together with the plans, application and zoning text for staff for approval.

Organizational structure:

Owner: Fred Rouse
Rouse Management
2428 Perry Street
Madison, WI 53713
608-251-5382
608-251-5350 fax
Contact: Fred Rouse
info@rousemgmt.com

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
Contact: Randy Bruce
rbruce@knothebruce.com

Engineer: Vierbicher
999 Fourier Drive Ste 201
Madison, WI 53717
608-826-0532
608-826-0530 fax
Contact: Joe Doyle
jdoyle@vierbicher.com

Landscape Design: The Bruce Company
2830 Parmenter Street
Middleton, WI 53562
(608) 836-7041
Contact: Sarah Ricker
sricker@brucecompany.com

Introduction:

The proposed site is located on the northwest corner of North Webster Street and East Mifflin Street. The site is currently occupied by 4 older rental housing buildings. The proposed development will implement a portion of the Madison Downtown Plan providing new housing options for the neighborhood.

The developer has had several meetings with the neighborhood representatives and has made serious efforts and changes to the initial proposal in an effort to improve the proposal from the

neighborhoods perspective. The Rouse Management is planning to develop, own and manage this property for the long-term and looks forward to positive relationships with the adjoining property owners and neighborhood at large.

Demolition Standards:

This proposed development envisions the deconstruction of (4) structures that currently exists on the site. A recycling and re-use plan for the buildings will be prepared and submitted to staff for review and approval prior to applying for the demolition permit.

Section 28.185(7) of the Madison Zoning Code outlines the standards by which a demolition permit may be issued. These standards require that the Plan Commission find that the requested demolition and proposed use are compatible with the intent and purposes of the zoning code.

As the Plan Commission considers the demolition request the following standards are to be considered:

- The effects the proposed demolition and use would have on the normal and orderly development and improvement of the surrounding properties.
- Reasonableness of efforts to relocate the buildings including the costs of relocation and the limits that the location of the building would have on its relocation.
- The limits that the location of the building would place on efforts to relocate it, and the availability of affordable housing.

Given the recommendations of the Madison Downtown Plan we believe that the demolition standards can be met.

Project Description:

The project consists of 58 unit, six story high multi-family building. The building is designed to fit within the immediate context defined by a mix of commercial and residential uses. A generous building setback was provided along Webster Street for improved pedestrian circulation and improvements to Webster Street.

Vehicular access to the site is achieved from East Mifflin Street to the northeast of the site. A ground level parking area provides parking for 40 cars and 1 community car. Bicycle parking is well distributed on-site and within the parking garage.

The exterior open space of the development provides attractive private and public areas for the residents and guests. The private roof terraces and balconies provide residents with usable open space. The site proposes a unique façade challenge as grade is dramatically dropping south to north. The design proposed raised planter beds with tall grasses to help ease this transition.

The site is adjacent to a Historical Landmark, The Lamp House. Our goal is to bring a new sense of awareness to the Landmark, bringing the historic House into the present allowing it to be reinterpreted with new meaning by new generations. Key vantage points to the building were saved, thus keeping Wrights original intent of an isolated internal site that can be viewed from select locations. The juxtaposition of new modern material and massing to the 1900's brick Lamp House, establishes a dialogue of respect for the old while allowing the new to speak for itself.

Site Development Data:

Dwelling Unit Mix:

Efficiency	12
One Bedroom	41
Two Bedroom	5
<hr/> Total Dwelling Units	<hr/> 58

Areas:

Total Gross Area 46,115 S.F.

Densities:

Lot Area 14,780 sf
Lot Area / D.U. 254 SF/unit
Density 170 Units/Acre

Building Height:

Six Stories

Vehicle Parking:

Surface: 0

Underground: 41 stalls (1 Community Car)
Total 41 stalls (1 Community Car)

Bicycle Parking:

Garage - wall hung 19 stalls
Garage - standard 2'x6' 39 stalls

Exterior - standard 2'x6' 11 stalls
Total 69 stall

Project Schedule:

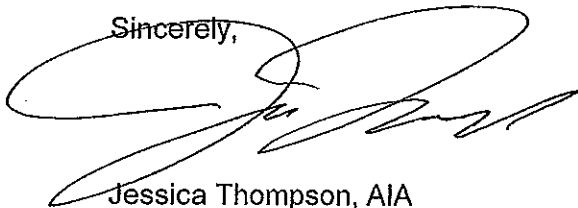
It is anticipated that the new construction phase will start in Summer 2014 and be completed in Summer 2015.

Social & Economic Impacts:

This development will have a positive social and economic impact. The re-development of this property will provide a pedestrian and transit-oriented development, implement a portion of the Madison Downtown Plan and provide additional high quality in-fill housing.

Thank you for your time in reviewing our proposal.

Sincerely,



Jessica Thompson, AIA

LEGAL DESCRIPTION:

Parcel A:

The Southeast 33 feet of the Southwest 90 feet of Lot Ten (10), Block One Hundred Nine (109), Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin. Together with a joint driveway over the Southeast 3-1/2 feet of the Northwest 33 feet of the Southwest 90 feet of said Lot Ten (10), as set forth in Volume 56 of Misc., Page 174, as Document No. 404826.

Parcel Number: 251/0709-133-3116-5

Parcel B:

The Southwest Half (SW 1/2) of Lot 1, Block One Hundred Nine (109), Original Plat of the City of Madison, in the City of Madison, Dane County, Wisconsin.

Parcel Number: 251/0709-133-3114-9

Parcel C:

The Northwest 33.0 feet of the Southwest 90.0 feet of Lot 10, Block 109, Original Plat of Madison, in the City of Madison, Dane County, Wisconsin. Together with a non-exclusive joint driveway over the Northwest 3-1/2 feet of the Southeast 33 feet of the Southwest 90 feet of Lot 10, as created in Volume 56 of Misc., Page 174, as Document No. 404826, and referred to in Warranty Deed recorded in Volume 397 of Deeds, Page 134, as Document No. 622052.

Parcel Number: 251/0709-133-3115-7

Parcel D:

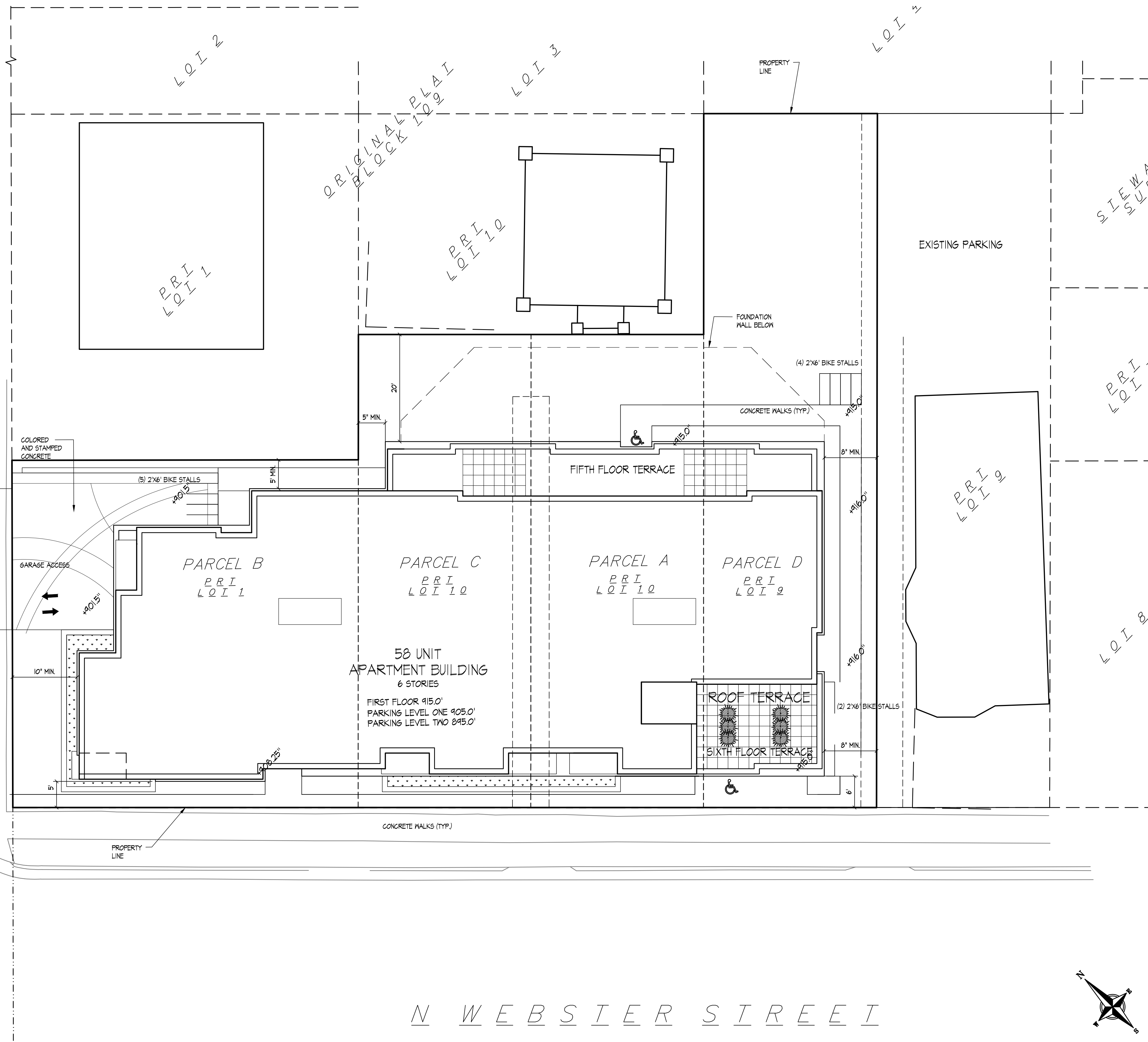
The Northwest 1/2 of Lot Nine (9), Block One Hundred Nine (109), in the City of Madison, Dane County, Wisconsin. Together with Joint Driveway Agreement recorded January 3, 1986, in Volume 7663 of Records, Page 92, as Document No. 1916144.

Parcel Number: 251/0709-133-3117-1

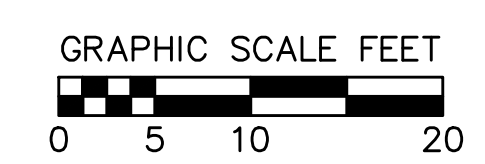
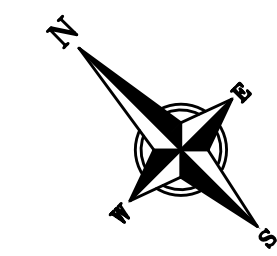
SITE INDEX SHEET	
SITE	
C-1.1	SITE PLAN
C-1.2	FIRE DEPARTMENT ACCESS PLAN
C-1.0	EXISTING SITE PLAN
C-2.0	GRADING AND EROSION CONTROL PLAN
C-3.0	UTILITY PLAN
LI	LANDSCAPE PLAN
ARCHITECTURAL	
A-1.0	LOWER FLOOR PLAN
A-1.1	UPPER FLOOR PLAN
A-1.2	FIRST FLOOR PLAN
A-1.3	SECOND FLOOR PLAN (THIRD - FOURTH SIM.)
A-1.4	FIFTH FLOOR PLAN
A-1.4	SIXTH FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS

SITE DEVELOPMENT STATISTICS	
LOT AREA	14,700 S.F./0.34 ACRES
DWELLING UNITS	58 D.U.
LOT AREA/ D.U.	254 S.F./D.U.
DENSITY	170 UNITS/ACRE
BUILDING HEIGHT	6 STORIES
GROSS FLOOR AREA	46,115 S.F.
(excluding underground parking)	
FLOOR AREA RATIO	3.12
UNIT MIX	
EFFICIENCY	12
ONE BEDROOM	41
TWO BEDROOM	5
TOTAL	58
VEHICLE PARKING	
SURFACE	0
UNDERGROUND	41 (40 + 1 COMMUNITY CAR)
TOTAL	41
BIKE PARKING	
FLOOR STALL, SURFACE	11
WALL HUNG, UNDERGROUND	19
FLOOR STALL, UNDERGROUND	34
TOTAL	64
USABLE OPEN SPACE	
GROUND LEVEL	3081 S.F.
ROOF DECK	960 S.F.
TOTAL	4,041 S.F.

E M I L L I N S T R E E T



N W E B S T E R S T R E E T



Revisions
Land Use Submittal - October 16, 2013

Revised - Month Day, Year
Revised - Month Day, Year
Revised - Month Day, Year
Revised - Month Day, Year

Project Title
17, 19 & 25 N. Webster Street and 201 East Mifflin

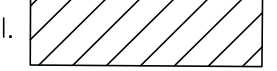
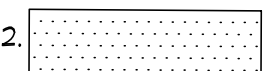
Drawing Title
Site Plan

Project No. Drawing No.
1315 C-1.1

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Consultant

Notes

-  = 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 50'.
-  = 20' TO 28' WIDE FIRE LANE. (SEE PLAN FOR ACTUAL WIDTH.)
- VARIOUS LINETYPES REPRESENT 500' HOSELAYS.

Revisions

Land Use Submittal - October 16, 2013

Revised - Month Day Year

Revised - Month Day Year

Revised - Month Day Year

Revised - Month Day Year

Project Title

17, 19 & 25 N. Webster Street and 201 East Mifflin

Drawing Title

Fire Department Access

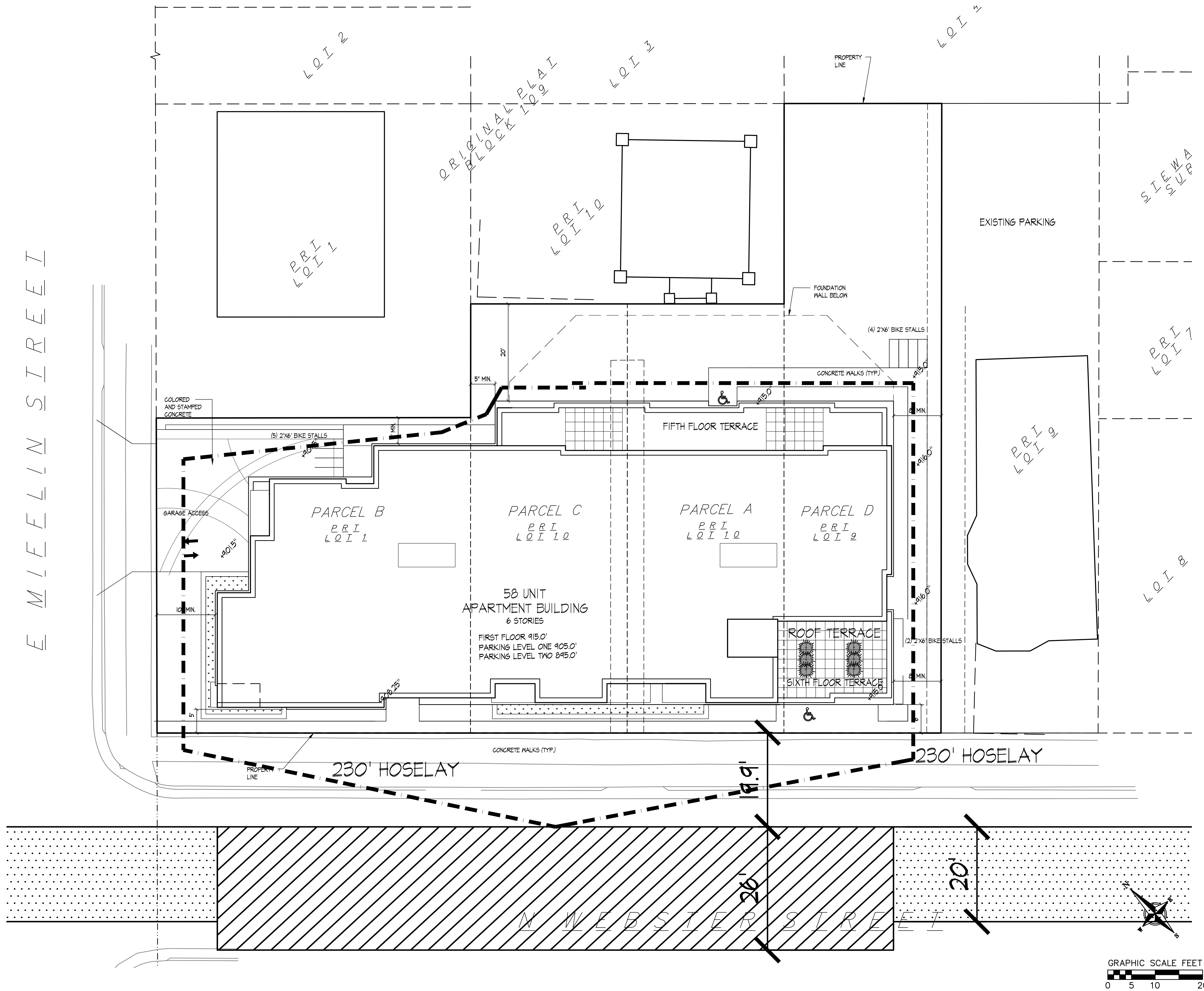
Project No.

1315

Drawing No.

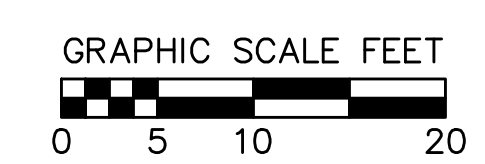
C-1.2

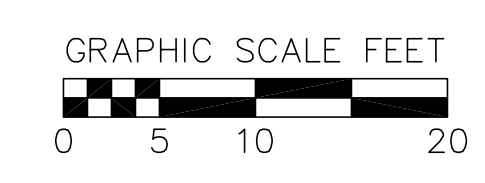
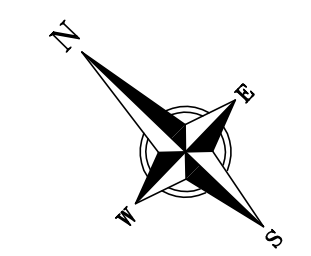
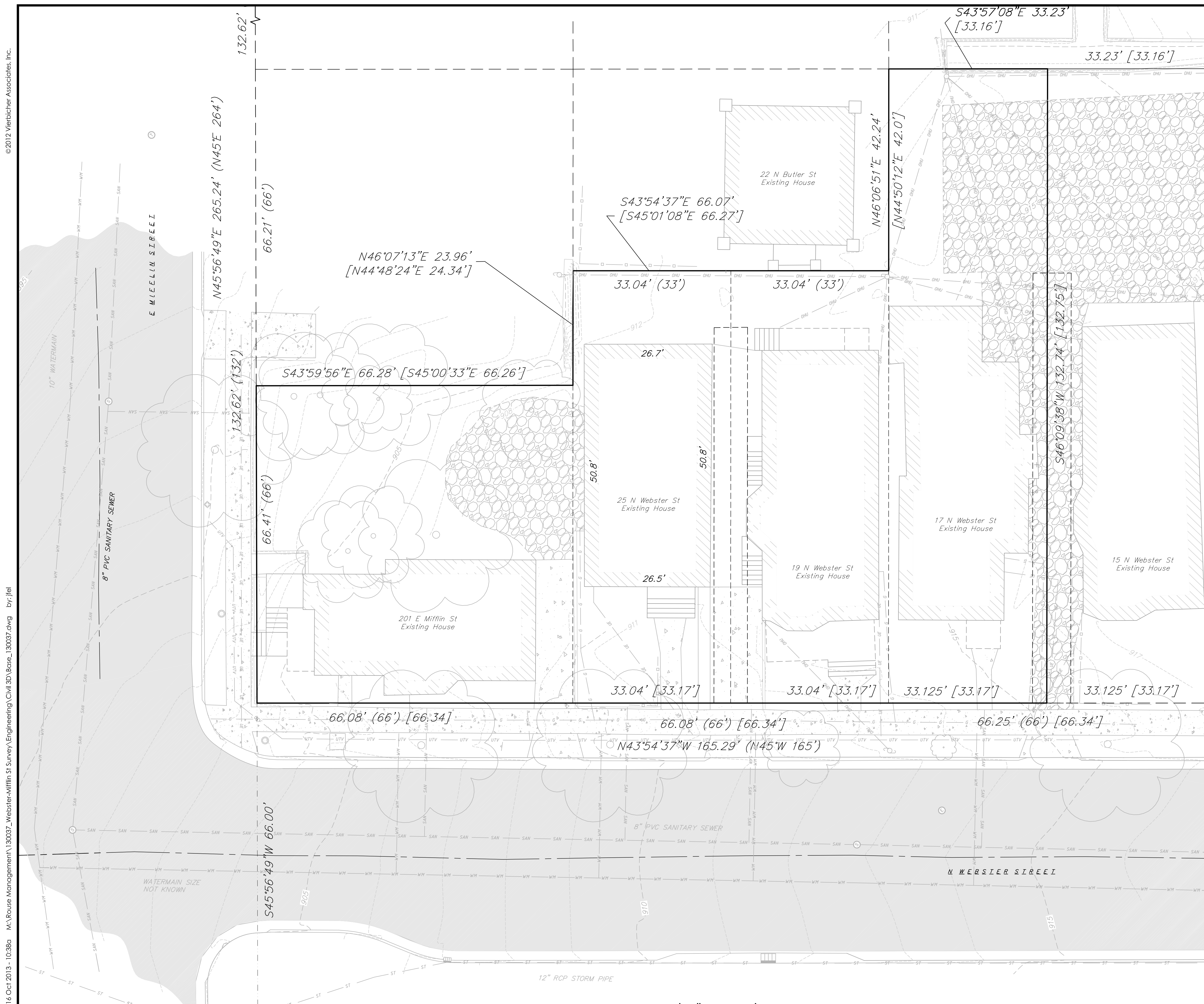
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EMIELIN STREET

WEBSTER STREET





EXISTING CONDITIONS LEGEND

- EXISTING BOLLARD
- EXISTING SIGN (TYPE NOTED)
- EXISTING TRAFFIC SIGNAL
- EXISTING BOX CURB INLET
- EXISTING SANITARY MANHOLE
- EXISTING CURB STOP
- EXISTING ELECTRIC MANHOLE
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING DOWN GUY
- EXISTING TELEPHONE MANHOLE
- EXISTING DECIDUOUS TREE
- EXISTING RETAINING WALL
- EXISTING WOOD FENCE
- EXISTING UNDERGROUND CABLE TV
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING PROPERTY LINE
- EXISTING ROW
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE
- EXISTING GRAVEL

EXISTING CONDITIONS PLAN

E. MIFFLIN & N. WEBSTER STREETS
CITY OF MADISON
DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE:
1"=20' (24"x36")
1"=10' (11"x17")

DATE: 10/16/13

DRAFTER: JFEL

CHECKED: []

PROJECT NO. 130037

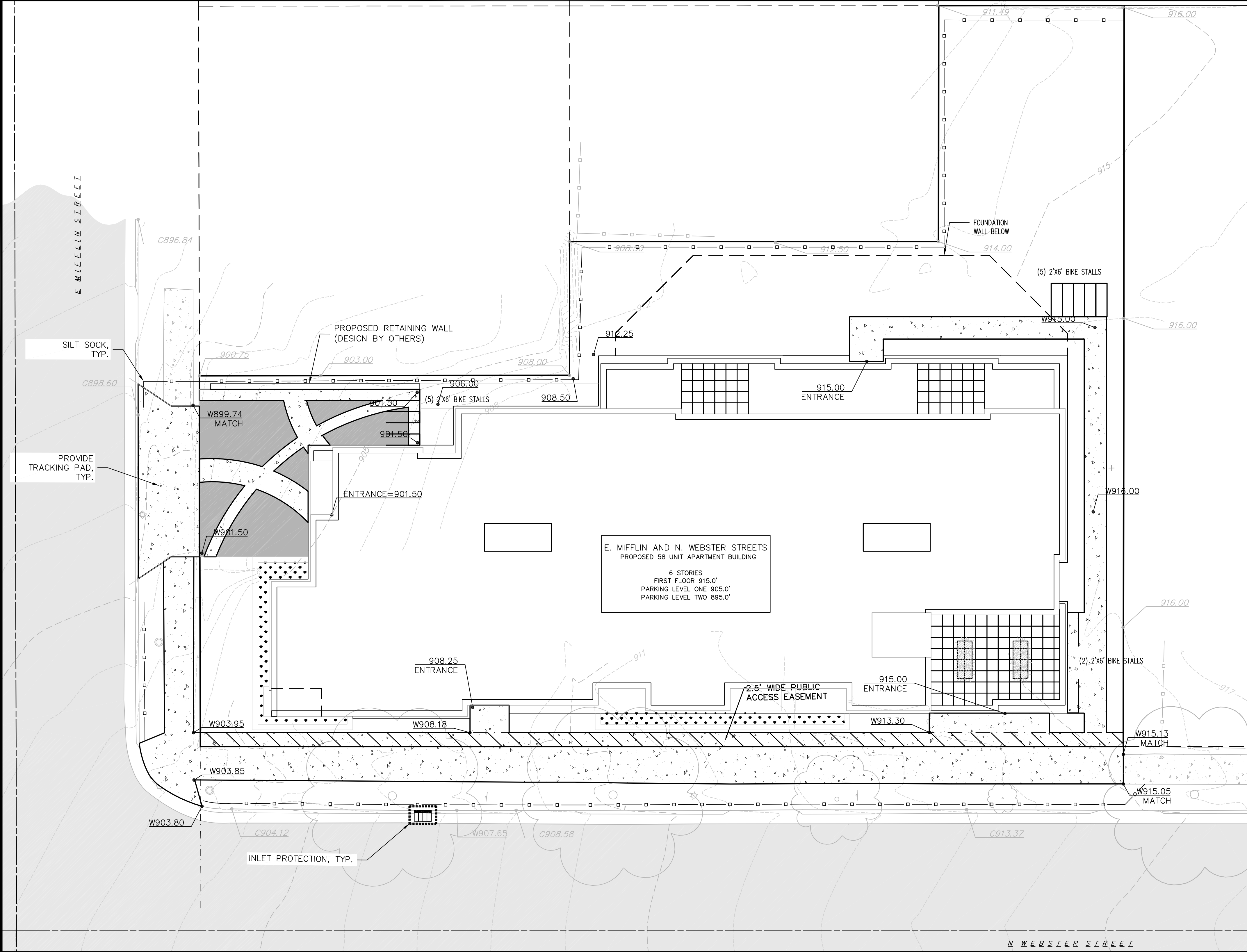
SHEET 1 OF 3

DWG. NO. C1.0

vierbicher
planners | engineers | activists

REEDSBURG - MADISON - PRABHU DU CHEN
1000 W. MONROE ST. SUITE 200
REEDSBURG, WI 53151
Phone: (608) 824-0332 Fax: (608) 824-0330

16 Oct 2013 - 10:39a M:\Rouse Management\130037_Webster-Mifflin S1 Survey\Engineering\Civil 3D\Base_1\30037.dwg by: jfel © 2012 Vierbicher Associates, Inc.



CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE
TELEFAX: 1-800-338-3860
TDC (FOR HEARING IMPAIRED):
1-800-542-2289
WS. STATUTE 182.075 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE

GRADING AND EROSION CONTROL LEGEND

- 820--- EXISTING MAJOR CONTOURS
- 818--- EXISTING MINOR CONTOURS
- SILT SOCK
- 862.33 EXISTING SPOT ELEVATIONS
- 863.13 PROPOSED SPOT ELEVATIONS
- INLET PROTECTION
- PROPOSED STORM MANHOLE
- PROPOSED STORM CATCH BASIN
- PROPERTY BOUNDARY
- PROPOSED BUILDING OUTLINE
- PROPOSED CURB AND GUTTER
- ▨ PROPOSED CONCRETE
- ▨ EXISTING CONCRETE
- ▨ EXISTING ASPHALT PAVEMENT
- ▨ PROPOSED ASPHALT PAVEMENT

- EROSION CONTROL MEASURE NOTES:**
- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
 - CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
 - INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 - EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
 - A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WSDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
 - STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
 - SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
 - WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
 - INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
 - RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
 - ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
 - SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
 - FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
 - EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
 - SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
 - SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
 - SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
 - ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
 - ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
 - THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
 - IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.

- SITE CONSTRUCTION NOTES:**
- CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE. SEE SHEET C-2.3 FOR DETAILS.
 - CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
 - CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
 - CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 - ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
 - ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 5382364).
 - ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

- CONSTRUCTION SEQUENCE:**
- INSTALL SILT FENCE AND TRACKING PAD.
 - INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
 - PERFORM SITE DEMOLITION AND REMOVE PAVEMENT.
 - STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
 - ROUGH GRADE FOR FOR BUILDING PADS AND WALKS.
 - CONSTRUCT UNDERGROUND UTILITIES.
 - INSTALL INLET PROTECTION ON NEW INLETS.
 - CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
 - FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
 - REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

- SEEDING RATES:**
- TEMPORARY:**
- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 - USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.
- PERMANENT:**
- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.
- FERTILIZING RATES:**
- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.
- MULCHING RATES:**
- TEMPORARY AND PERMANENT:**
- USE 2" TO 1-3" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

vierbicher
planners | engineers | activists

REEDSBURG - MADISON - PRABHU DU CHEN
999 First Street
Phone: (608) 824-0332 Fax: (608) 824-0330

GRADING AND EROSION CONTROL PLAN
E. MIFFLIN & N. WEBSTER STREETS
CITY OF MADISON
DANE COUNTY, WISCONSIN

REVISIONS		NO.	DATE	REMARKS

SCALE:
1"=20' (24"x36")
1"=40' (11"x17")

DATE: 10/16/13

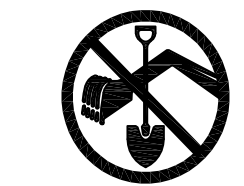
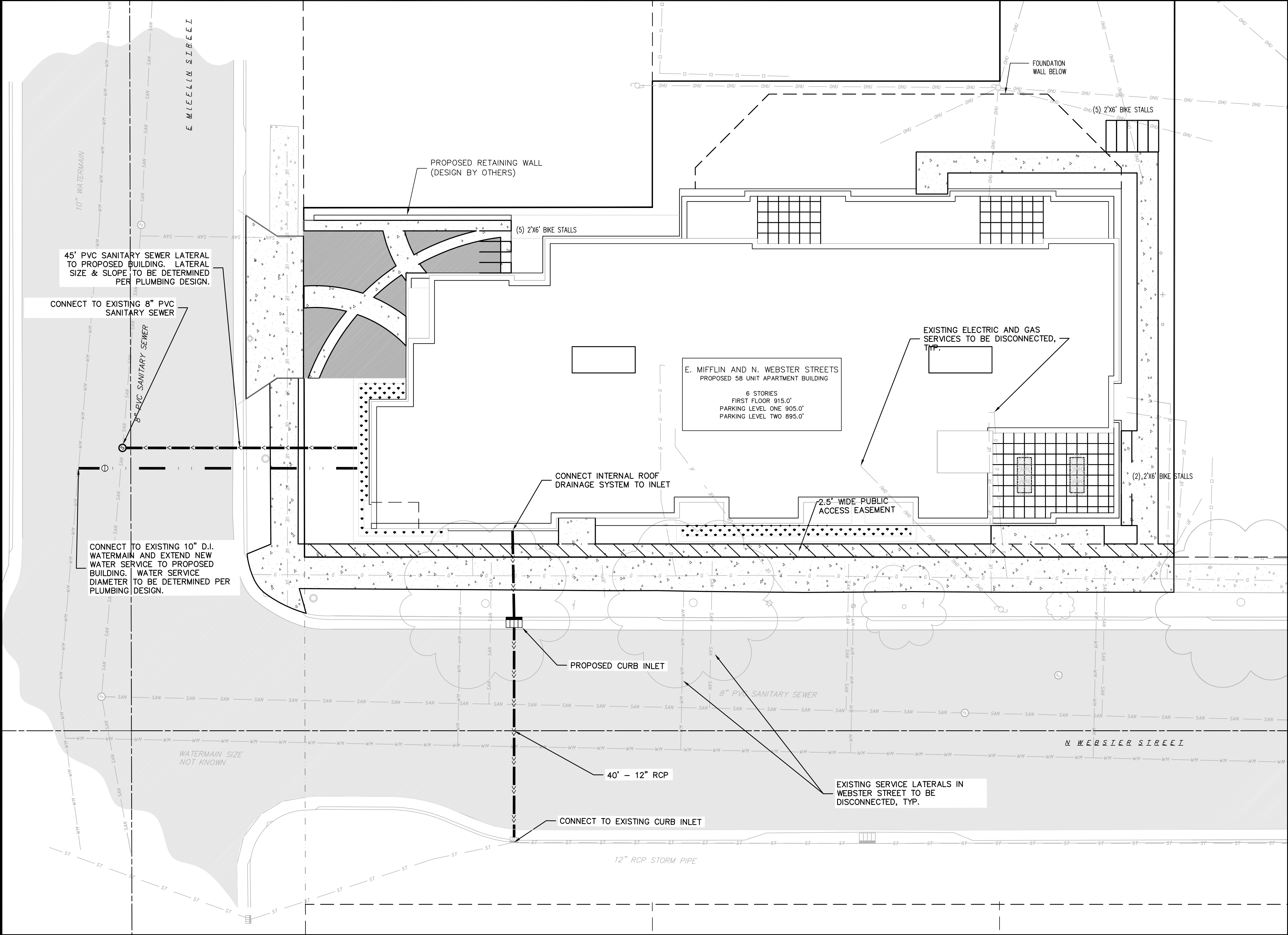
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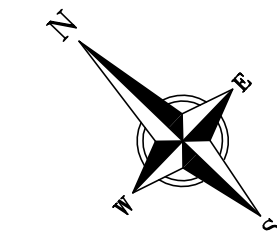
PROJECT NO. 130037

SHEET 2 OF 3

DWG. NO. C2.0



CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE
TELEFAX: 1-800-338-3860
TDC (FOR HEARING IMPAIRED):
1-800-542-2289
WIS. STATUTE 182.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.



GRAPHIC SCALE FEET
0 5 10 20

EXISTING CONDITIONS LEGEND

- EXISTING POST
- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING TRANSFORMER
- EXISTING UTILITY POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING DECIDUOUS TREE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE

PROPOSED UTILITY LEGEND

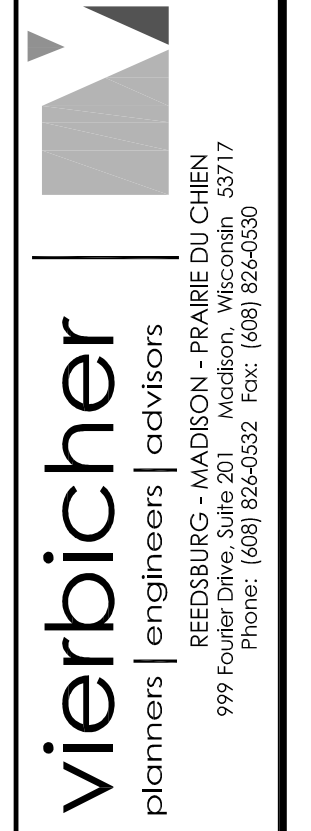
- STORM SEWER PIPE
- SANITARY SEWER PIPE (GRAVITY)
- WATER MAIN
- WATER VALVE
- CURB INLET
- PROPOSED TRANSFORMER
- GAS MAIN
- ELECTRIC SERVICE
- TELEPHONE SERVICE
- PROPOSED BUILDING OUTLINE
- PROPOSED PROPERTY BOUNDARY
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT

UTILITY NOTES:

1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.

6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.

11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
12. EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
13. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
14. THE DEVELOPER SHALL INSTALL THE 3M[®] ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
15. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
16. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 53B2364).



UTILITY PLAN
E. MIFFLIN & N. WEBSTER STREETS
CITY OF MADISON
DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE	1"=20' (24"x36")
	1"=40' (11"x17")
DATE	10/16/13
DRAFTER	JFEL
CHECKED	
PROJECT NO.	130037
SHEET	3 OF 3
DWG. NO.	C3.0

GENERAL NOTES

A) Areas labeled "Red B Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown or red as indicated, spread to a 3" depth over pre-emergent herbicide.

B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown or red as indicated, spread to a minimum 3" depth (3' wide beds for shrub groupings).

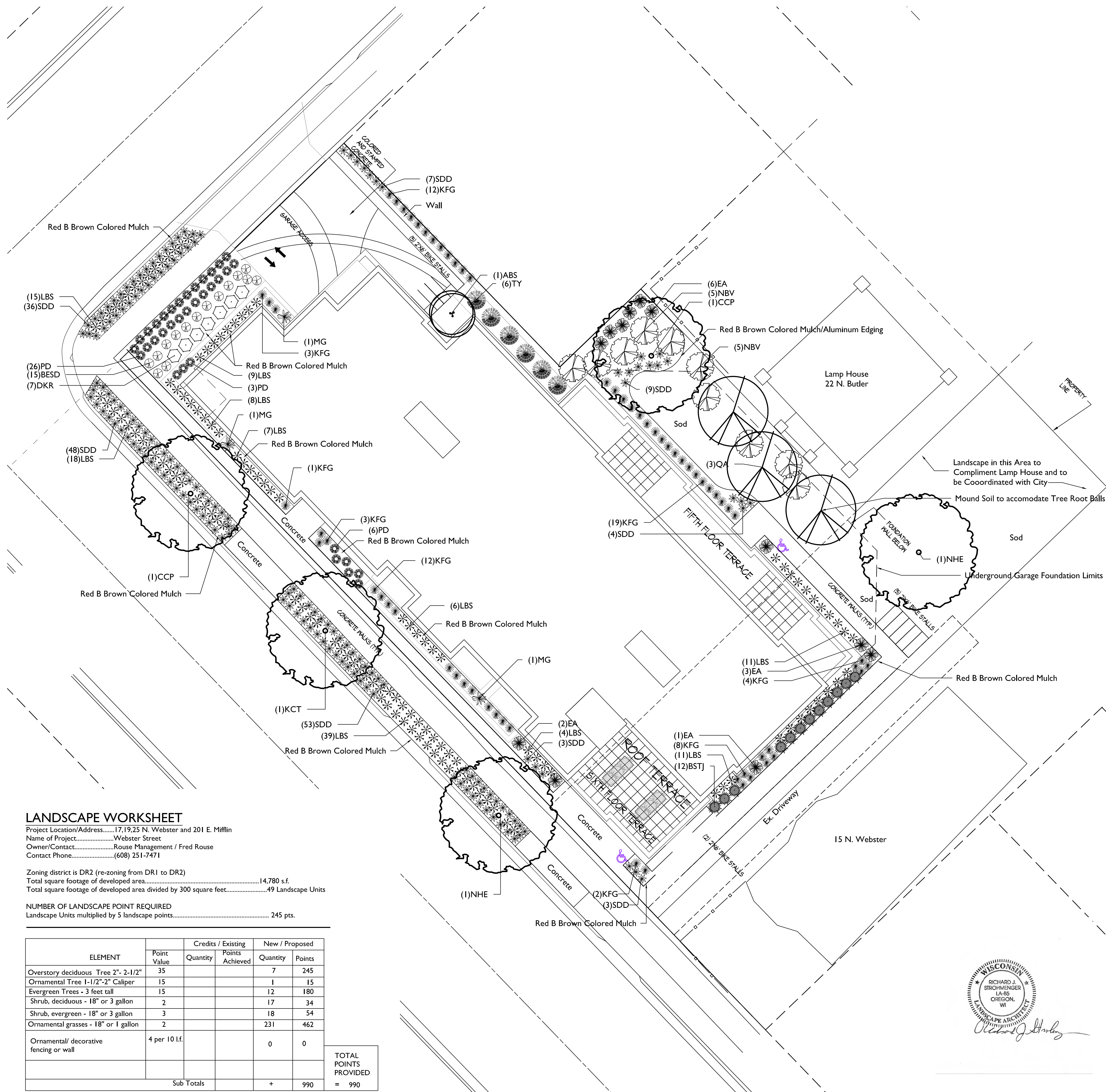
C) "Aluminum Edging" to be "Curv-Rite" Aluminum Edging or equivalent.

D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.

E) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.

F) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction - <http://www.cityofmadison.com/business/pw/documents/StdSpecs/2013/Part1.pdf>.

G) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.



LANDSCAPE WORKSHEET

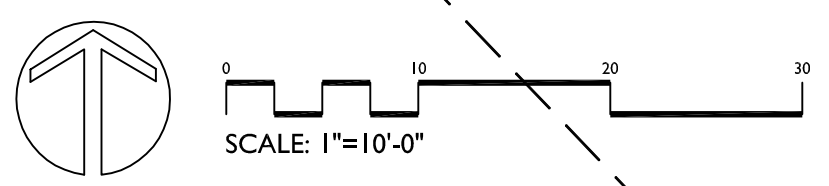
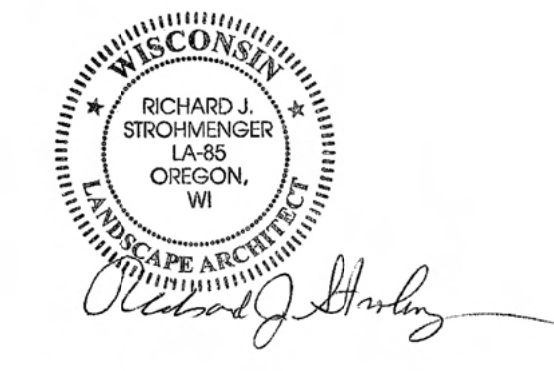
Project Location/Address.....17,19,25 N. Webster and 201 E. Mifflin
Name of Project.....Webster Street
Owner/Contact.....Rouse Management / Fred Rouse
Contact Phone.....(608) 251-7471

Zoning district is DR2 (re-zoning from DR1 to DR2)
Total square footage of developed area.....14,780 s.f.
Total square footage of developed area divided by 300 square feet.....49 Landscape Units

NUMBER OF LANDSCAPE POINT REQUIRED
Landscape Units multiplied by 5 landscape points..... 245 pts.

ELEMENT	Point Value	Credits / Existing		New / Proposed	
		Quantity	Points Achieved	Quantity	Points
Overstory deciduous Tree 2"-2-1/2"	35			7	245
Ornamental Tree 1-1/2"-2" Caliper	15			1	15
Evergreen Trees - 3 feet tall	15			12	180
Shrub, deciduous - 18" or 3 gallon	2			17	34
Shrub, evergreen - 18" or 3 gallon	3			18	54
Ornamental grasses - 18" or 1 gallon	2			231	462
Ornamental/ decorative fencing or wall	4 per 10 l.f.			0	0
Sub Totals				+	990
TOTAL POINTS PROVIDED					= 990

Plant Material List				
Broadleaf Deciduous				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
1	ABS	Amelanchier X Grand 'Autumn Brill'	Autumn Brill Serviceberry	6' B&B
2	CCP	Pyrus Calleryana 'Chanticleer'	Chanticleer Callery Pear	2 1/2" B&B
1	KCT	Gymnocladus Dioicus	Kentucky Coffeetree	2 1/2" B&B
2	NHE	Ulmus Pumila X U Japonica	New Horizon Elm	2 1/2" B&B
3	QA	Populus Tremuloides	Quaking Aspen	2" B&B
Conifer Evergreen				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
12	BSTJ	Juniperus Squamata 'Blue Star'	Blue Star Juniper	#2 CONT.
12	EA	Thuja Occidentalis 'Smaragd'	Emerald Arborvitae	4' B&B
6	TY	Taxus X Media 'Tauntonia'	Taunton Yew	18" B&B
Perennial				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
15	BESD	Hemerocallis 'Black Eyed Susan'	Black Eyed Susan Daylily	#1 CONT.
64	KFG	Calamagrostis Acutiflora 'Karl Foerster'	Karl Foerster's Feather Reed Grass	#1 CONT.
129	LBS	Schizachyrium Scoparium	Little Bluestem	#1 CONT.
3	MG	Miscanthus Sinensis 'Gracillimus'	Maiden Grass	#1 CONT.
35	PD	Sporobolus Heterolepis	Prairie Dropseed	#1 CONT.
163	SDD	Hemerocallis 'Stella De Oro'	Stella De Oro Daylily	#1 CONT.
Shrub				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
7	DKR	Rosa 'Radtko'	Double Knock Out Rose	#3 CONT.
10	NBV	Viburnum Dentatum 'Morton'	Northern Burgundy Arwd Viburnum	4' B&B



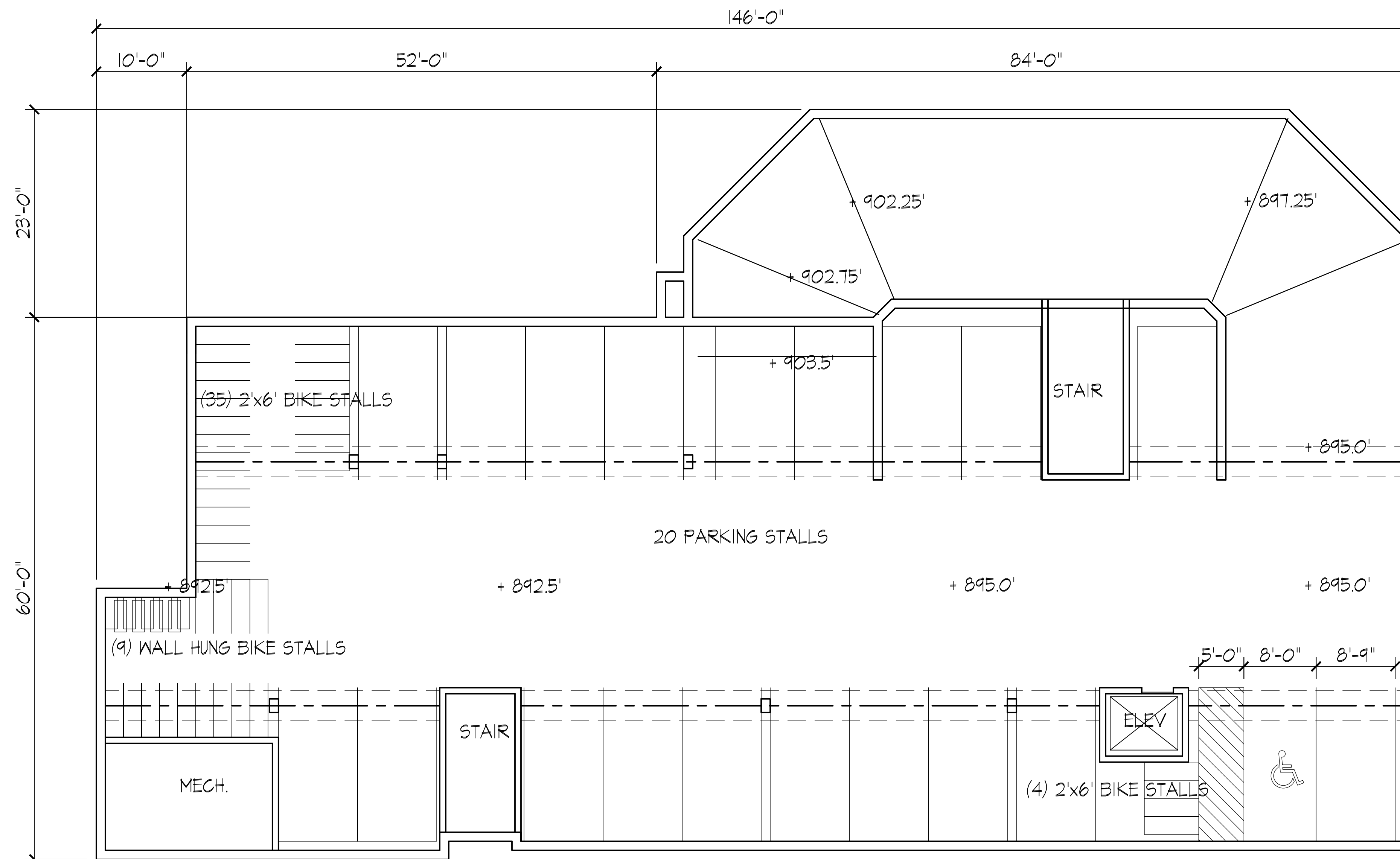
WEBSTER STREET
17, 19 and 25 N. WEBSTER STREET AND 201 E. MIFFLIN STREET
MADISON, WISCONSIN 53703

Checked By: SS
Drawn By: 10/16/13 RS

Revised:
Revised:
Revised:
Revised:
Revised:
Revised:
Revised:

L1

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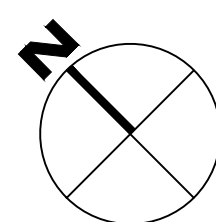


Revisions
Land Use Submittal - October 16, 2013

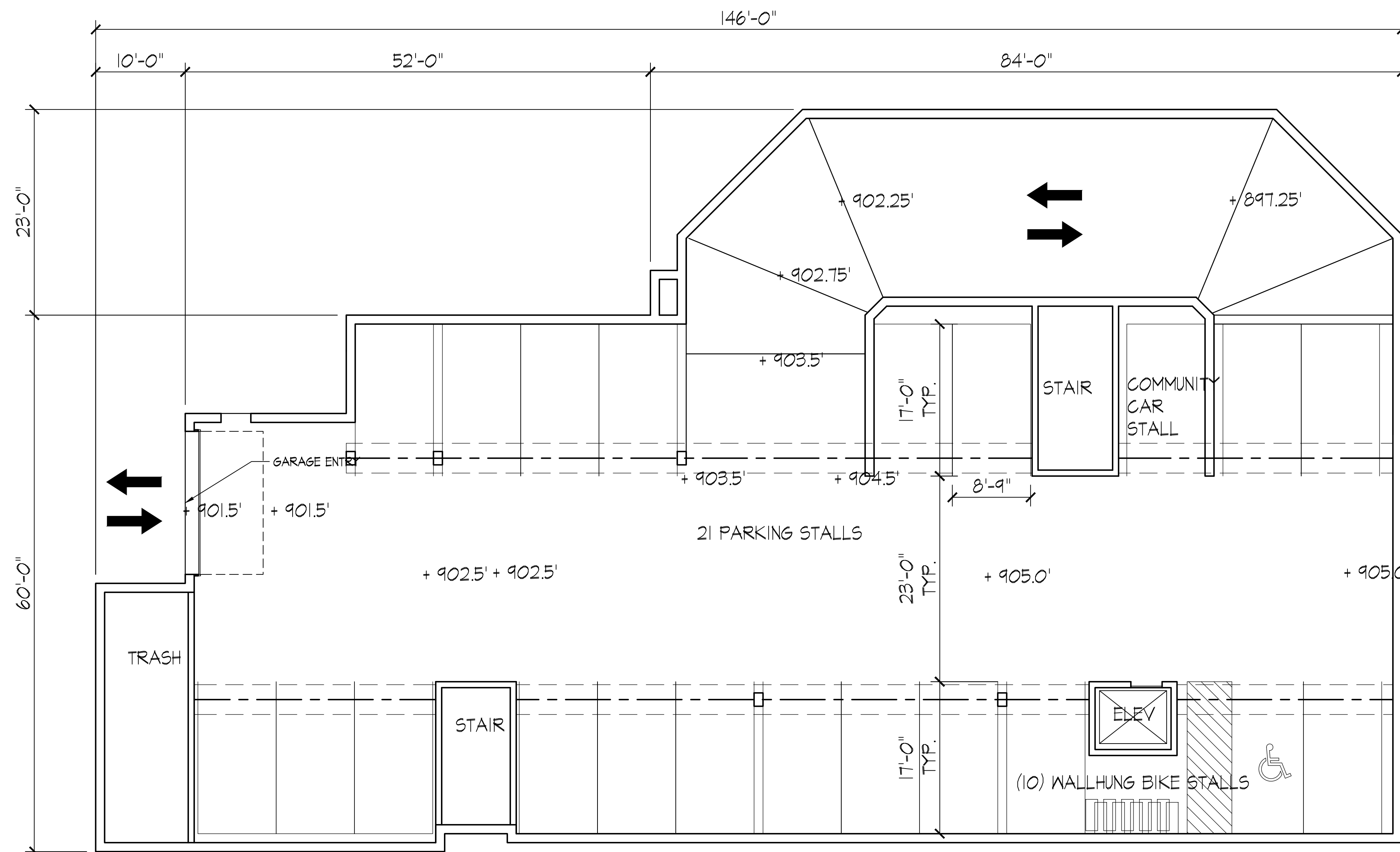
Project Title
17, 19 & 25 N. Webster
Street and 201 East
Mifflin

Drawing Title
Lower Floor Plan

Project No. 1315 Drawing No. A-P1.0



LOWER LEVEL PARKING PLAN
1/8" = 1'-0"

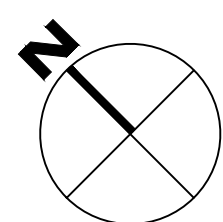


Revisions
 Land Use Submittal - October 16, 2013

Project Title
 17, 19 & 25 N. Webster
 Street and 201 East
 Mifflin

Drawing Title
 Upper Floor Plan

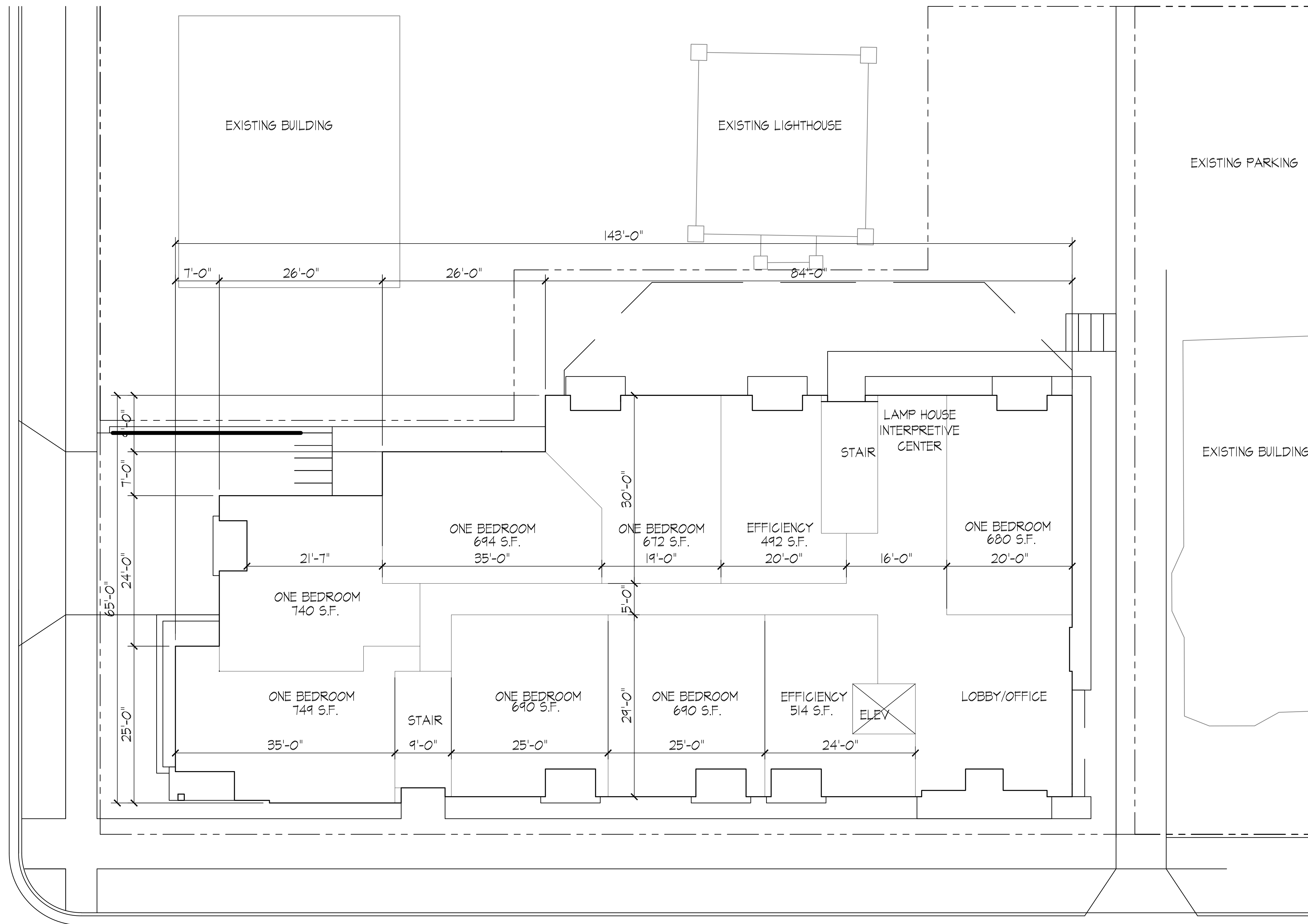
Project No. 1315
 Drawing No. A-1.0



UPPER LEVEL PARKING PLAN
 1/8" = 1'-0"

Consultant

Notes



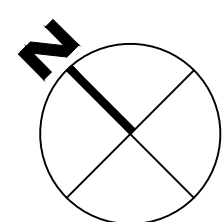
Revisions
 Land Use Submittal - October 16, 2013

Project Title
**17, 19 & 25 N. Webster
 Street and 201 East
 Mifflin**

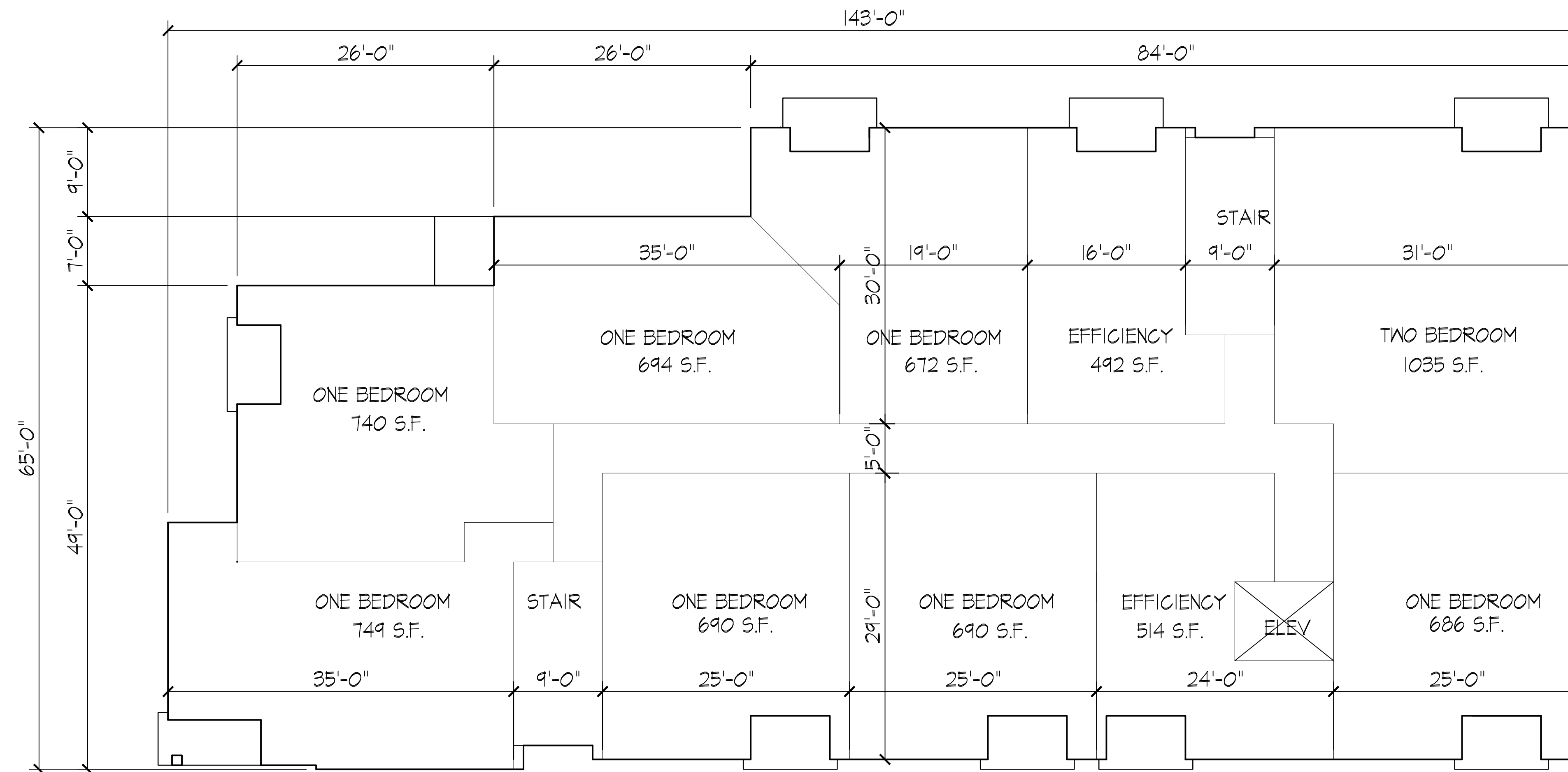
Drawing Title
First Floor Plan

Project No. Drawing No.

1315 A-1.1

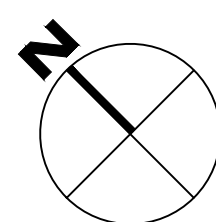


FIRST FLOOR PLAN
 1/8" = 1'-0"



Revisions
 Land Use Submittal - October 16, 2013

Project Title
 17, 19 & 25 N. Webster
 Street and 201 East
 Mifflin

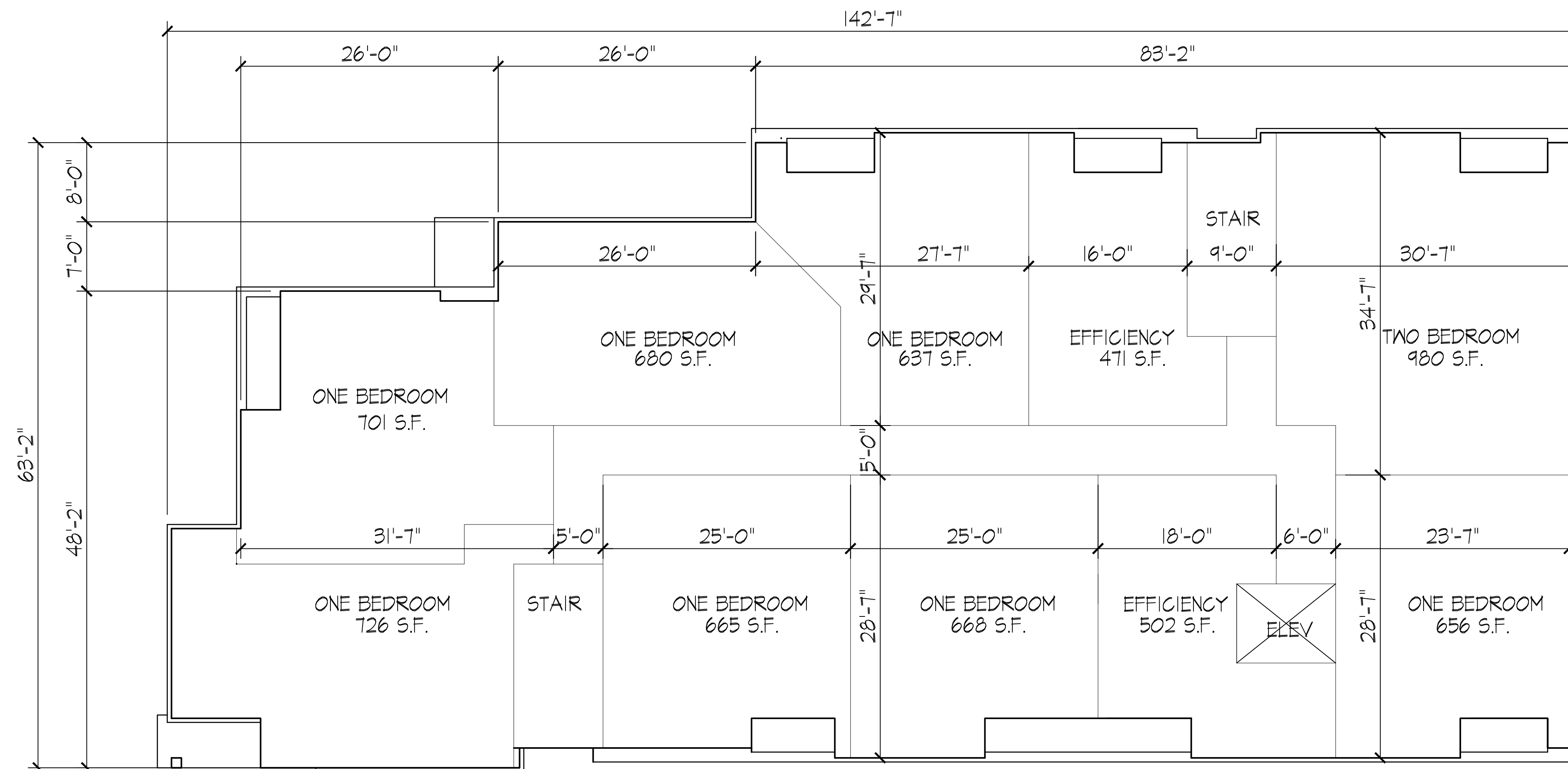


SECOND FLOOR PLAN (THIRD-FOURTH SIM)
 1/8" = 1'-0"

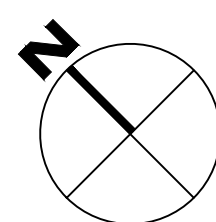
Drawing Title
 Second Floor Plan
 (Third - Fourth Sim)

Project No. Drawing No.

1315 A-1.2



Revisions
 Land Use Submittal - October 16, 2013

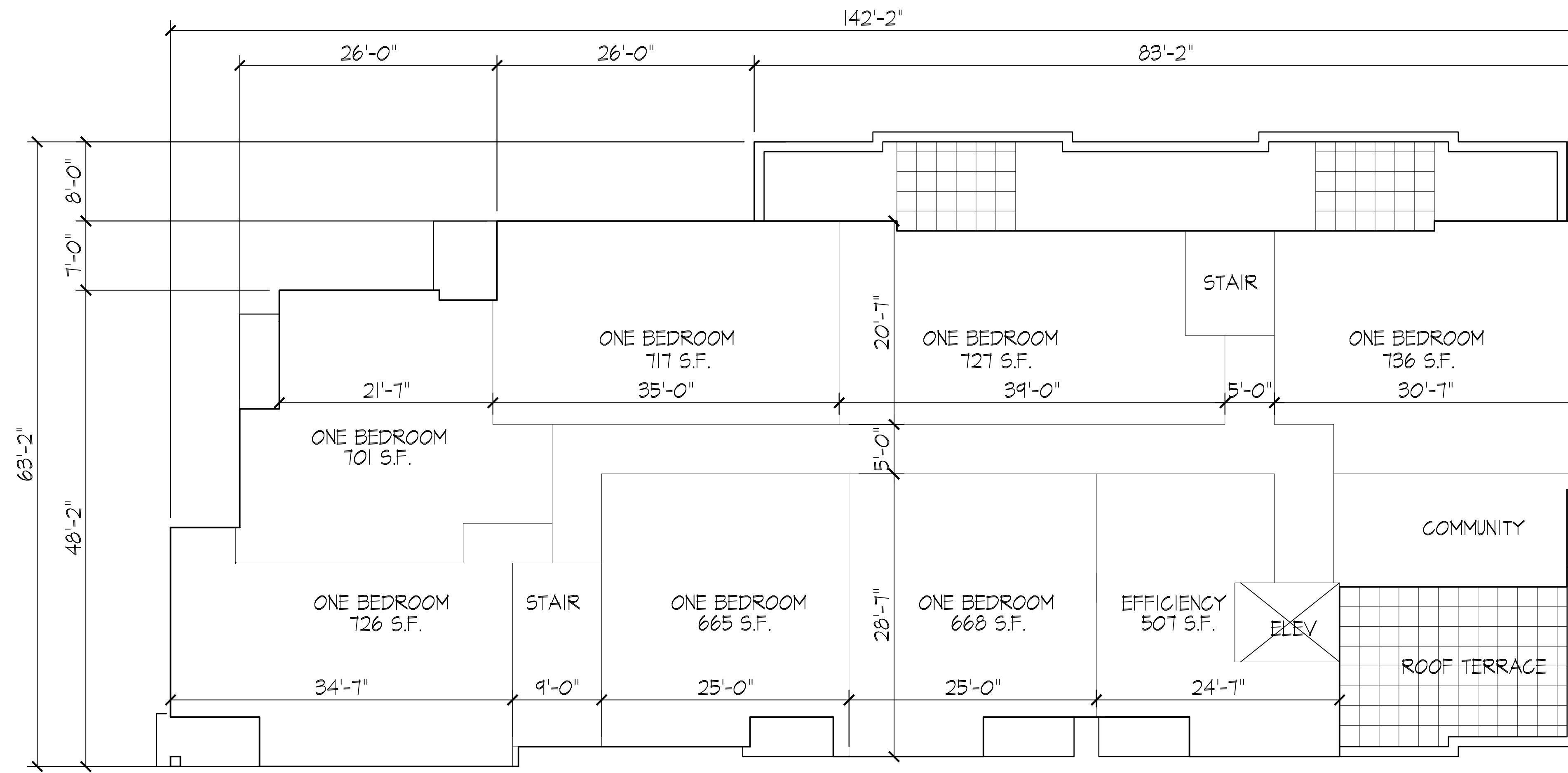


FIFTH FLOOR PLAN
 1/8" = 1'-0"

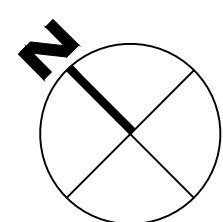
Project Title
17, 19 & 25 N. Webster Street and 201 East Mifflin

Drawing Title
Fifth Floor Plan

Project No. **1315** Drawing No. **A-1.3**



Revisions
 Land Use Submittal - October 16, 2013



SIXTH FLOOR PLAN
 1/8" = 1'-0"

Project Title
17, 19 & 25 N. Webster Street and 201 East Mifflin

Drawing Title
Sixth Floor Plan

Project No. **1315** Drawing No. **A-1.4**



METAL PANEL

WIRE MESH RAILING SYSTEM

GROUND FACED CMU (PRAIRIE STONE)

FIBERGLASS WINDOWS

PAINTED METAL CHANNEL

ALUMINUM STOREFRONT

○ WEBSTER STREET ELEVATION
 1/8" = 1'-0"



○ MIFFLIN STREET ELEVATION
 1/8" = 1'-0"

Revisions

Land Use Submittal - October 16, 2013

Project Title

17, 19 & 25 N. Webster Street and 201 East Mifflin

Drawing Title

EXTERIOR ELEVATIONS

Project No.

1315

Drawing No.

A-2.1

Consultant

Notes



REAR ELEVATION
1/8" = 1'-0"



SIDE ELEVATION
1/8" = 1'-0"

Revisions
Land Use Submittal - October 16, 2013

Project Title
17, 19 & 25 N. Webster
Street and 201 East
Mifflin

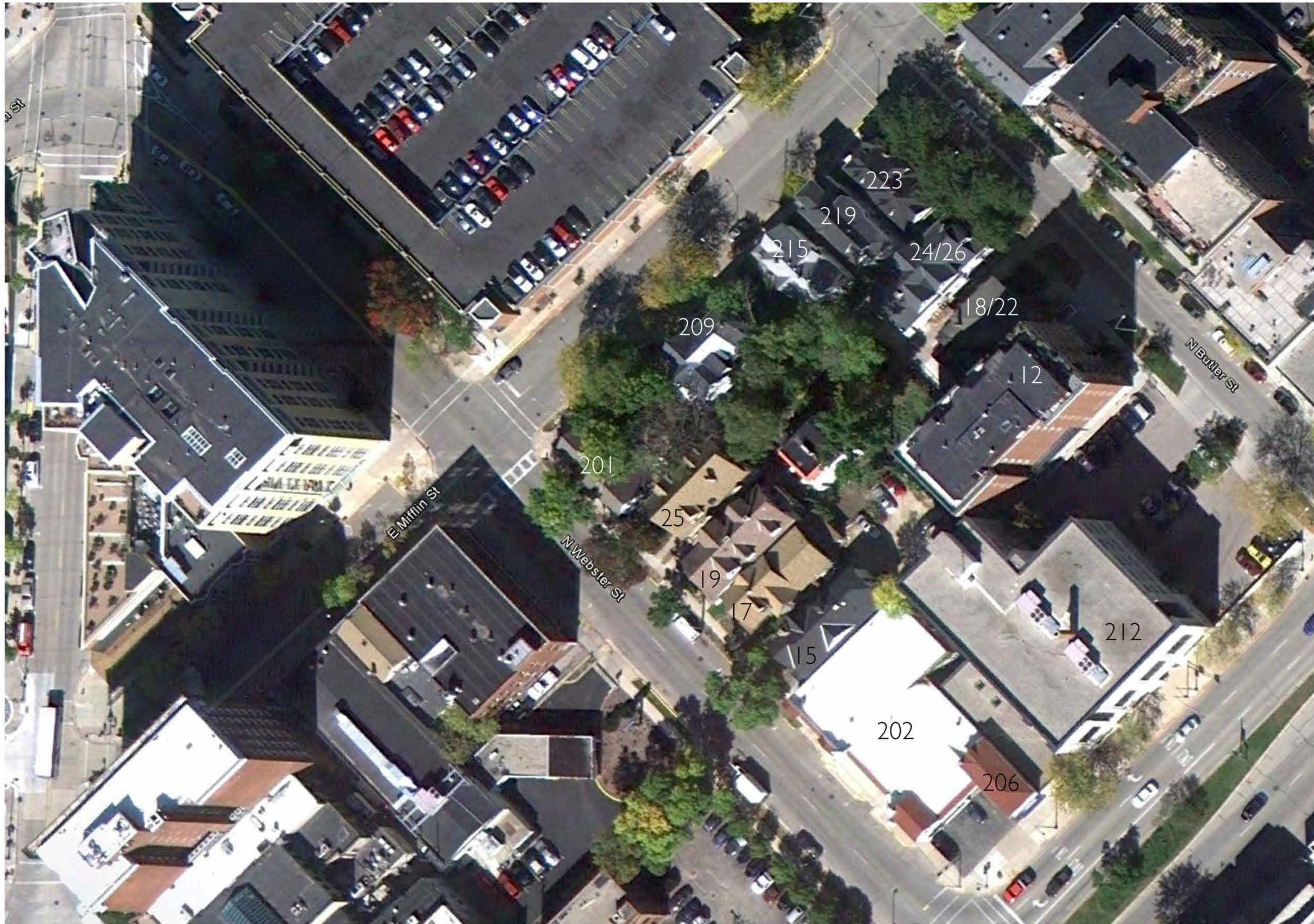
Drawing Title
EXTERIOR ELEVATIONS

Project No. Drawing No.
1315 A-2.2

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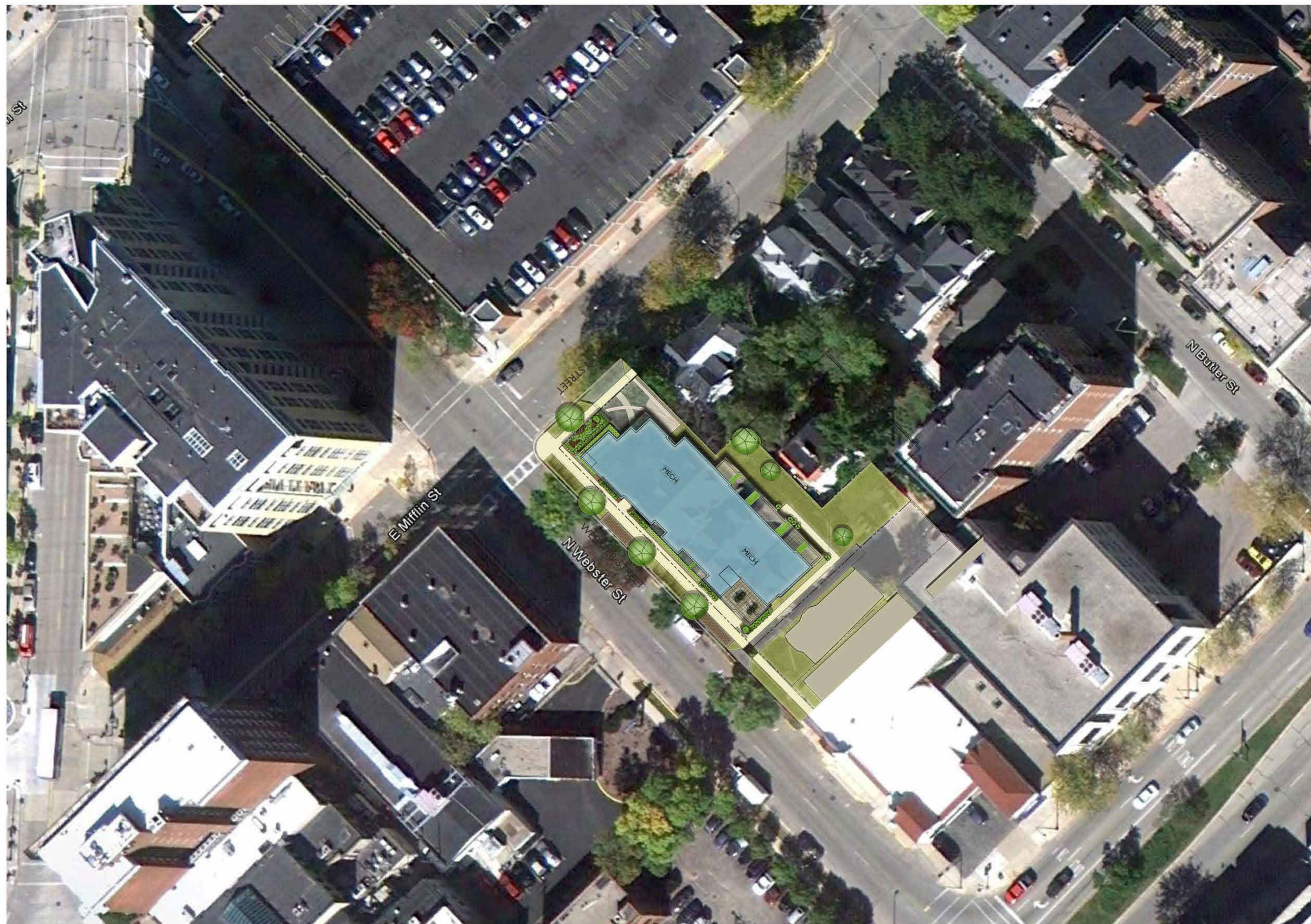
Webster Street
Aerial

June 25, 2013



Webster Street
Proposed Site

July 29, 2013





Webster Street
Elevations

July 23, 2013



Webster Street Elevation



Mifflin Street Elevation



Rear Elevation



Side Elevation

Webster Street
Perspective

July 11 2013

