

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____
Legistar # 31996

DATE SUBMITTED: OCTOBER 23, 2013

Action Requested

☐ Informational Presentation

☐ Initial Approval and/or Recommendation

UDC MEETING DATE: NOVEMBER 13, 2013

☒ Final Approval and/or Recommendation

PLEASE PRINT!

PROJECT ADDRESS: 5442 + 5422 WAYNE TERRACE

ALDERMANIC DISTRICT: 17

OWNER/DEVELOPER (Partners and/or Principals)

METRO KIA + METRO FORD

ARCHITECT/DESIGNER/OR AGENT:

RYAN SIGNS, INC.

5442 + 5422 WAYNE TERRACE

3007 PERRY ST.

MADISON, WI 53718

MADISON, WI 53713

CONTACT PERSON: MARY BETH GROWNEY SELENE

Address: 3007 PERRY ST.

MADISON, WI 53713

Phone: 271-7979

Fax: 271-7853

E-mail address: mbgrowneyselene@ryansigns.net

TYPE OF PROJECT:

(See Section A for:)

☐ Planned Unit Development (PUD)

☐ General Development Plan (GDP)

☐ Specific Implementation Plan (SIP)

☐ Planned Community Development (PCD)

☐ General Development Plan (GDP)

☐ Specific Implementation Plan (SIP)

☐ Planned Residential Development (PRD)

☐ New Construction or Exterior Remodeling in an Urban Design District* (A public hearing is required as well as a fee)

☐ School, Public Building or Space (Fee may be required)

☐ New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.

☐ Planned Commercial Site

(See Section B for:)

☐ New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

☐ R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

☒ Comprehensive Design Review* (Fee required)

☐ Street Graphics Variance* (Fee required)

☐ Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

PLEASE PRINT!

CITY OF MADISON

9:37 a.m.

OCT 23 2013

Planning & Community
& Economic Development

Ryan Signs, Inc.

3007 Perry Street
Madison, WI 53713
608-271-7979 Phone
608-271-7853 Fax

mbgrowneyselene@ryansigns.net

October 23, 2013

Mr. Al Martin
City of Madison Planning Department
215 Martin Luther King, Jr. Blvd.
Madison, WI 53701

Re: Letter of Intent for Urban Design Commission's Review of a Comprehensive Design Review Plan
Metro FORD and Metro KIA
5422 and 5442 Wayne Terrace

Dear Al;

The attached document package describes the proposed Comprehensive Signage Plan for the exterior signage at Metro Ford and Metro KIA, located at 5422 and 5442 Wayne Terrace. We are seeking Urban Design Commission approval of the comprehensive exterior signage package.

Objective

We intend to describe the design and integration of the street graphics and site signage. Principal goals are to create identity for all entities included on the expansive site while promoting ease of movement for clients/customers and visitors.

- To effectively display signage on the building façades
- To effectively display freestanding signage

The execution of the objective and goals, as they relate to the relationship and size of the development, has created opportunities to address scale appropriate graphics to maximize legibility in each context in which the graphics are intended to be viewed. This package illustrates the extent and scope of the Metro Ford and Metro KIA development exterior signage and includes a summary of all proposed signage locations and sizes. Included separately, is the intent of and commentary on each type of signage for the development. Please refer to the document package for additional information on specific signage detail.

Purpose of the Comprehensive Design Plan

To determine whether unique, exceptional and innovative use of materials, design, color, lighting and other design elements resulting in visual harmony created between signs and buildings and building site are sufficient to warrant special allowances in signage area beyond the restrictions contained in the City of Madison Sign Ordinance.

Respectfully Submitted,

RYAN SIGNS, INC.



Mary Beth Growney Selene
President
Serving as Agent for Metro Ford and Metro KIA

Ryan Signs, Inc.

3007 Perry Street
Madison, WI 53713
608-271-7979 Phone
608-271-7853 Fax

mbgrowneyselene@ryansigns.net

October 23, 2013

Metro FORD and Metro KIA
5422 and 5442 Wayne Terrace

Background Notes

1. The property is zoned CC.
2. The property is single zoning lot containing two [2] auto dealerships.
3. It is a planned multiuse site containing both Metro FORD and Metro KIA.
4. While it has had various owners, the property has always been a Car Dealership.
5. The overall building size, once renovation is completed, will be approximately 40,000 square feet.

=====

The following is a listing of the PROPOSED and EXISTING sign types located on the site plan and building elevations for Metro FORD:

Freestanding Identification Signs

F-130 FORD Oval (existing) 8'-0" x 20'-0" = 160 square feet
22" = overall height
The sign is located at the Hwy. 151 elevation on the property
(Note: The sign was removed due to construction on the site.)

Freestanding Directional Signs

A (existing) 2'-6" x 3'-9" = 9.375 square feet
6'-2" = overall height
The sign is located near the south drive on the property

B (existing) 4'-0" x 3'-9" = 15 square feet
6'-2" = overall height
The sign is located near the north drive on the property

Wall Signs

F-21 Ford Oval West Elevation
3'-6" x 8'-0" = 28 square feet

F-31 Ford Oval West Elevation
4'-2" x 9'-7" = 40 square feet

F-39 Metro Letters West Elevation
3'-3" x 19'-6" = 64 square feet

F-26 Service Letters South Elevation
2'-2" x 17'-0" = 37 square feet

Existing Ford Wall Sign North Elevation
4'-0" x 10'-0" = 40 square feet

Existing ACCESSORY Sign - BODY SHOP
18" x 12'-0" = 18 square feet

Metro KIA
5442 Wayne Terrace

The following is a listing of the PROPOSED and EXISTING sign types located on the site plan and building elevations for Metro KIA:

Freestanding Identification Signs

NO1	KPSN 20	KIA Pylon Sign 4'-3" x 8'-8" = 37.5 square feet 19'-2" = overall height The sign is located north of the main entry drive on the property
Electronic Message Center	Existing	3'-2" x 11'-0" = 34.87 square feet 8'-0" = overall height

Freestanding Directional Signs

Existing	2'-6" x 3'-9" = 9.375 square feet 6'-2" = overall height The sign is located at the center drive on the property
----------	--

Wall Signs

NO5 East Elevation	KWLN55	KIA Wall Sign 5'-3" x 10'-6" = 55.13 square feet
NO3 South Elevation (Above Canopy Sign)	DNL24	METRO Sign 2'-0" x 8'-9" = 17.5 square feet
NO2 South Elevation	KWLN55	KIA Wall Sign 5'-3" x 10'-6" = 55.13 square feet
NO4 South Elevation	SVC24	SERVICE Wall Sign 2'-0" x 10'-3" = 20.5 square feet
Existing West Elevation	Existing	KIA Wall Sign
Northeast Elevation	Future	Not to exceed 40% of signable area

Following is a comparison of the City of Madison Sign Ordinance and the signage, as proposed.

Sign Type/Location <i>Code</i>	Code Reference	Existing/ <i>Proposed Signage/CDR</i>	Code/ <i>Variance from</i>
<u>Freestanding Signage</u>	Ground Signs Page 27 31.08 (2)(a) Number. No more than two (2) ground signs of the type permitted in this section may be displayed on a single zoning lot, unless approved by the Urban Design Commission through a Comprehensive Design Review. (2)(b) Height. The height of a ground sign shall be measured from the top of the sign to the approved grade at the base of the supporting structure. The maximum height for all permitted ground signs under this section varies by zoning district, the number of lanes of traffic and speed limit of adjacent highways, and whether the sign is a Pole sign or a Monument sign.	<u>Freestanding Identification Signs</u> F-130 FORD Oval (existing) 8'-0" x 20'-0" = 160 square feet 22" = overall height <u>Freestanding Directional Signs</u> A (existing) 2'-6" x 3'-9" = 9.375 square feet 6'-2" = overall height B (existing) 4'-0" x 3'-9" = 15 square feet 6'-2" = overall height	Hwy. 151 has six (6) lanes of traffic at 55 mph. By code, the zoning lot is allowed up to two freestanding signs not to exceed 144 square feet and 22'-0" in height. <i>Sign Type F-130 is an existing sign. The sign was legal non-conforming until it was removed for the addition to the building. Reinstallation of the existing sign will not change what has been on the site.</i> <i>Taking into account all of the signs on site, we are requesting approval of three (3) freestanding signs, not to exceed 185 square feet of freestanding signage.</i>
<u>Building Signs</u>	Wall, Roof & Above Roof Signs Page 24 31.07 (4) Size. Large Buildings 31.07 (6)(a) building Exceeding 125' in Length. ...up to four (4) additional accessory signs, as defined in Sec. 31.03(2) may be displayed. The accessory sign under this paragraph shall not exceed 50% of the net area or 50% of the height of the largest permitted wall sign...already displayed on that wall.	The proposed wall signs on the South elevation are located in three designated signable areas. Maximum square footage for each sign is based on 40% of the signable area or 2 square feet of signage for each lineal foot of leased frontage. <i>As part of the Comprehensive Design Plan, we are requesting approval to maintain the square footage of tenant signs of 40% of the signable area or up to 2 square feet per lineal foot of store frontage. All colors and sign configurations will be as determined by the owner.</i> We are asking for approval of three wall signs and one Accessory sign on the South elevation. The messaging on each is relative to the use.	31.07 (4) Size. The permitted net area of wall, roof and above-roof signs shall be no more than 40% of the signable area or 2 square feet of signage for each lineal foot of building frontage, except that for all Planned Developments and when the total square footage of all building on the zoning lot is 25,000 sq. ft. or more, the maximum net area shall be 30% of the signable area, and the lineal foot method of measurement shall not be available... <i>Without an approved CDP, each building sign would be limited to 30% of the signable area.</i> <i>With the CDP, four signs will be allowed on the South elevation.</i>
<u>Building Signs Continued</u>		<i>The existing wall signs on the South elevation are located in a designated signable area. Maximum square footage for each sign is based on 40% of the signable area or 2 square feet of signage for each lineal foot of leased frontage.</i> <i>As part of the Comprehensive Design Plan, we are requesting approval to maintain the square footage of tenant signs of 40% of the signable area or up to 2 square feet per lineal foot of store frontage. All colors and sign configurations will be as determined by the owner.</i>	31.07 (4) Size. The permitted net area of wall, roof and above-roof signs shall be no more than 40% of the signable area or 2 square feet of signage for each lineal foot of building frontage, except that for all Planned Developments and when the total square footage of all building on the zoning lot is 25,000 sq. ft. or more, the maximum net area shall be 30% of the signable area, and the lineal foot method of measurement shall not be available...

		<u><i>We are asking for approval of three wall signs on the South elevation. The messaging on each is relative to the use.</i></u>	<i>Without an approved CDP, each building sign would be limited to 30% of the signable area.</i>
<u>Parking Lot Regulation Signs</u>	31.044(1)(l) 2. Parking Lot Directional Signs		Maximum Square Foot: 3 Maximum Height: Not noted Setback: 10' Number: No Limit Illumination: Yes These signs comply with the code.
<u>Parking Lot Directional Signs</u>	31.044(1)(l) 1. Parking Lot Regulation Signs		Maximum Square Foot: 9 Maximum Height: 10' Setback: 10' Number: 2 per street frontage Illumination: Yes These signs comply with the code.

City of Madison Sign Ordinance Comparative
Metro KIA / 5442 Wayne Terrace

Following is a comparison of the City of Madison Sign Ordinance and the signage, as proposed.

Sign Type/Location <i>Code</i>	Code Reference	Existing/ <i>Proposed Signage/CDR</i>	Code/ <i>Variance from</i>
<u>Freestanding Signage</u>	Ground Signs Page 27 31.08 (2) (a) Number. No more than two (2) ground signs of the type permitted in this section may be displayed on a single zoning lot, unless approved by the Urban Design Commission through a Comprehensive Design Review. (2)(b) Height. The height of a ground sign shall be measured from the top of the sign to the approved grade at the base of the supporting structure. The maximum height for all permitted ground signs under this section varies by zoning district, the number of lanes of traffic and speed limit of adjacent highways, and whether the sign is a Pole sign or a Monument sign.	<u>Freestanding Identification Signs</u> KPSN 20 KIA Pylon Sign 4'-3" x 8'-8" = 37.5 square feet 19'-2" = overall height Electronic Message Center Existing 3'-2" x 11'-0" = 34.87 square feet 8'-0" = overall height <u>Freestanding Directional Signs</u> 2'-6" x 3'-9" = 9.375 square feet 6'-0" = overall height	Hwy. 151 has six (6) lanes of traffic at 55 mph. By code, the zoning lot is allowed up to two freestanding signs not to exceed 144 square feet and 22'-0" in height. <i>Taking into account all of the permitted signs on site, we are requesting approval of three (3) freestanding signs, not to exceed 90 square feet of freestanding signage.</i>
<u>Building Signs</u>	Wall, Roof & Above Roof Signs Page 24 31.07 (4) Size. 31.071 (2) Above Canopy Signs. In lieu of a canopy fascia	All existing signage is located in a designated signable area. Maximum square footage for each sign is based on 40% of the signable area or 2 square feet of signage for each lineal foot of leased frontage. <i>As part of the Comprehensive Design Plan, we are requesting approval to maintain the square footage of tenant signs of 40% of</i>	31.07 (4) Size. The permitted net area of wall, roof and above-roof signs shall be no more than 40% of the signable area or 2 square feet of signage for each lineal foot of building frontage, except that for all Planned Developments and when the total square footage of all

	sign or wall sign.. The sign shall be the business name or business logo only.	<u><i>the signable area or up to 2 square feet per lineal foot of store frontage. All colors and sign configurations will be as determined by the owner.</i></u> To allow for one wall sign on the East, West and North elevation of the building.	building on the zoning lot is 25,000 sq. ft. or more, the maximum net area shall be 30% of the signable area, and the lineal foot method of measurement shall not be available.. <i>Without an approved CDP, each building sign would be limited to 30% of the signable area.</i>
<u>Building Signs</u>	31.071 (2) Above Canopy Signs. In lieu of a canopy fascia sign or wall sign.. The sign shall be the business name or business logo only.	We are asking for approval of two wall signs and one above canopy sign on the South elevation. The messaging on each is relative to the use.	<i>With the CDP approval, two walls signs and one above canopy sign will be approved on the south elevation. All other elevations will be allowed one wall sign.</i>
<u>Parking Lot Regulation Signs</u>	31.044(1)(l) 2. Parking Lot Directional Signs		Maximum Square Foot: 3 Maximum Height: Not noted Setback: 10' Number: No Limit Illumination: Yes These signs comply with the code.
<u>Parking Lot Directional Signs</u>	31.044(1)(l) 1. Parking Lot Regulation Signs		Maximum Square Foot: 9 Maximum Height: 10' Setback: 10' Number: 2 per street frontage Illumination: Yes These signs comply with the code.

3.5" BITUMINOUS PAVEMENT
(1.34" SURFACE COURSE)
(1.34" BINDER COURSE)

SAFETY/PROJECT LIMITS
CONCRETE PAVEMENT
PROPOSED RETAINING WALL
18" CONCRETE CURB & GUTTER
18" SELECT CONCRETE CURB & GUTTER
ACCESSIBLE ROUTE
FIRE LANE ACCESS (20' WIDE LANE AT ALL POINTS
ALONG TURNING RADIUS AND 20' AS REQUIRED)
EXISTING CONDITIONS LEGEND

Gries
Architectural Group Inc.
500 North Commercial Street
Newark, Wisconsin 54156
Phone: 920-722-2445 Fax: 920-722-6605
www.griesarchitectural.com

MADISON,

WISCONSIN



SITE PLAN



0 50'

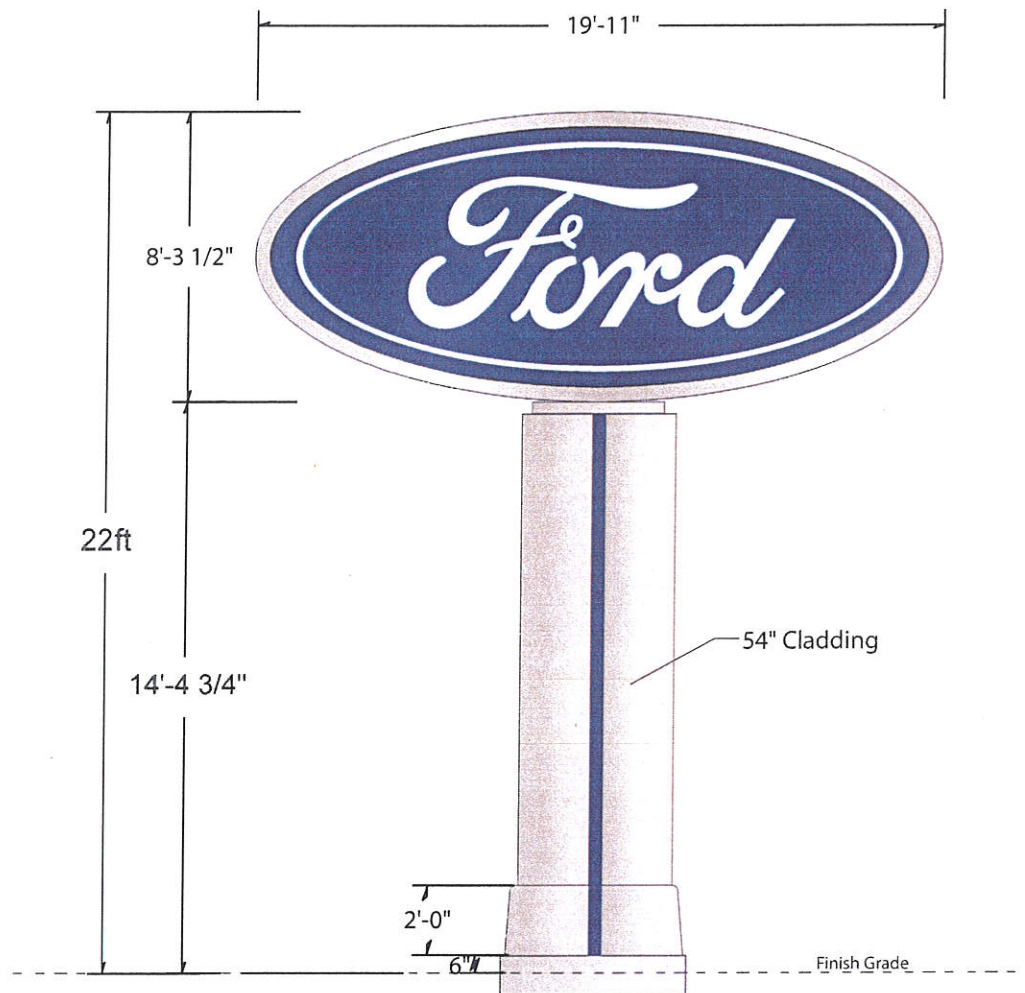
C-2.0

date: 06/20/13
job: 1.5-05-109
d. by: CAB
rev.: 06/20/13

date: 06/20/13
job: 1.5-05-109
d. by: CAB
rev.: 06/20/13

FO F-130

F-130 FORD Pylon



**Ford Brand Oval:
Blue (Pantone 294 C);
"FORD" Script BCTR 110 White
Retainer Stainless Steel**



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Architectural Graphics, Inc.

Title: F-130

Customer: Metro Ford F41102

Date: 10/17/13

Drawn by: M. McCaslin

Customer Rep: N/A

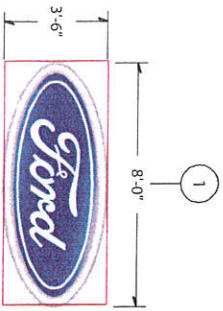
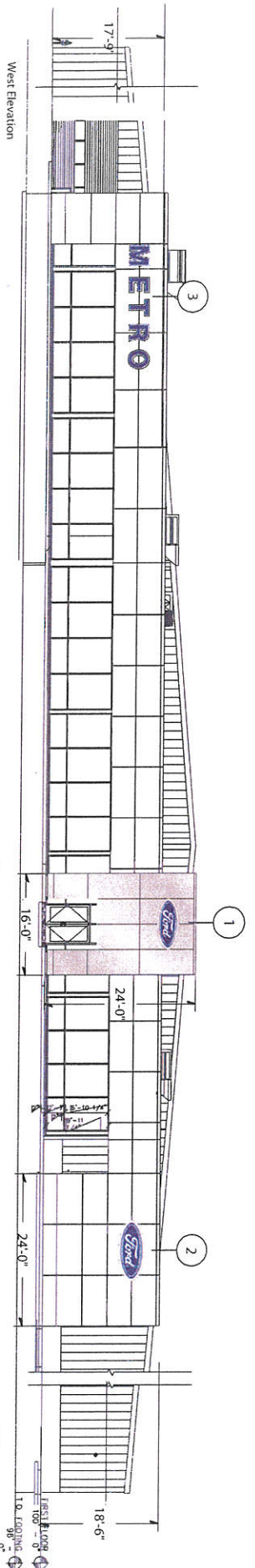
Scale: Not to scale

8555 International Pkwy., Virginia Beach, VA 23452
PHONE: (757) 427-1900 Fax: (757) 427-1297
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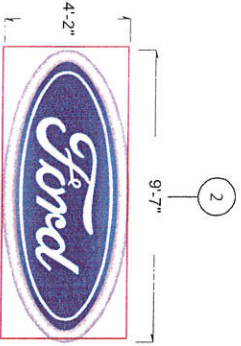
F-39 Metro Letters

F-21 Wall Oval

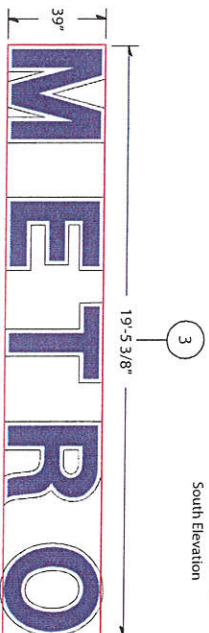
F-31 Wall Oval



F 21sf oval: 28 sq.ft.
Ford Oval:
Blue (Pantone 294 C);
"FORD" Script BCTR 110 White

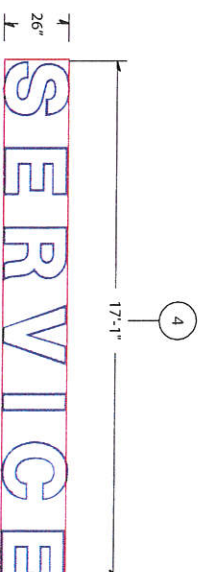


F 31sf oval - 39.95 sq.ft.
Ford Oval:
Blue (Pantone 294 C);
"FORD" Script BCTR 110 White





F 39 in Blue Letters - 63.21 sq.ft.
METRO Letters:
Colors: Ford Oval Blue (Pantone 294 C)
Jewellite Trim with Satin Anodized Returns

F-26 Service



F 26 in White Letters - 37.06 sq.ft.
SERVICE Letters:
Colors: BCTR 110 White
Jewellite Trim with Satin Anodized Returns

Dealer Code# F41102	Dealership Name: Metro Ford	File Name: Metro Ford_Elev F41102	Approved by: Name _____ Date _____	 Architectural Graphics, Inc.
 City, State: Madison, WI 53718 Date: 7/22/13	Scale: Elevation: 1/16"=1' (11x17 paper) Signs: 1/4"=1' Drawn by: M. McCaslin	Rev 1: 7/31/13 mm Rev 2: 10/11/13 mm Rev 3: 10/17/13 mm Rev 4:	Sheet No. 1	

Ford Directional A



← SHIPPING &
RECEIVING

ALL NEW & USED
CAR & TRUCK
DELIVERIES
USE THIS ENTRANCE



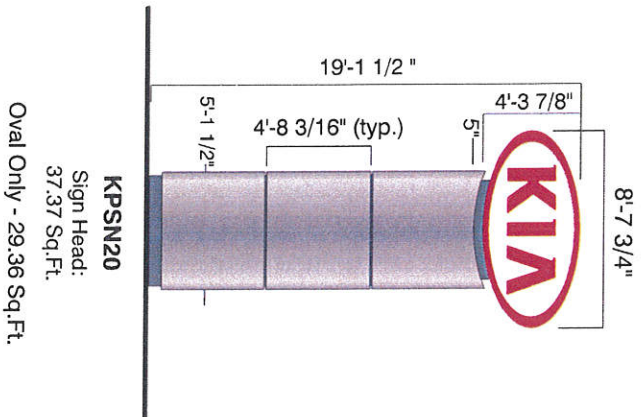
Existing Ford Wall



Existing Body Shop



NO1 KIA Pylon



NO1

KPSN20 Pylon Sign

Head:

Fabricated aluminum channel letters/oval, mounted to white backer panel.
White acrylic faces with Kia red vinyl applied first surface.
Red trim caps & returns
LED illumination

Column/Cladding:

Steel pole construction with Formed aluminum cladding painted silver

KPSN20
Sign Head:
37.37 Sq.Ft.
Oval Only - 29.36 Sq.Ft.

SCALE 3/16" = 1'



410 N. CEDAR BLUFF RD. • SUITE 101 • KNOXVILLE, TN 37923
Tel (865) 693-1105 • Fax (865) 694-1106 • Toll Free (865) 218-1976

Customer Approval:

Date: / /

NOTE: DIMENSIONS ARE APPROXIMATE PENDING FINAL ENGINEERING
The sign is to be installed in accordance with the requirements of the local authority having jurisdiction. The sign is to be installed in accordance with the requirements of the local authority having jurisdiction. The sign is to be installed in accordance with the requirements of the local authority having jurisdiction.

It is the responsibility of the client to ensure that the sign is installed in accordance with the requirements of the local authority having jurisdiction. The sign is to be installed in accordance with the requirements of the local authority having jurisdiction.

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www.pattisonsign.com

CLIENT:	W1028 - Metro KIA
LOCATION:	5422 Wayne Terrace Madison, WI 53718
DESIGNER:	A. M. M. M. M.
REVISIONS:	DATE: 10-17-13
SCALE:	AS NOTED



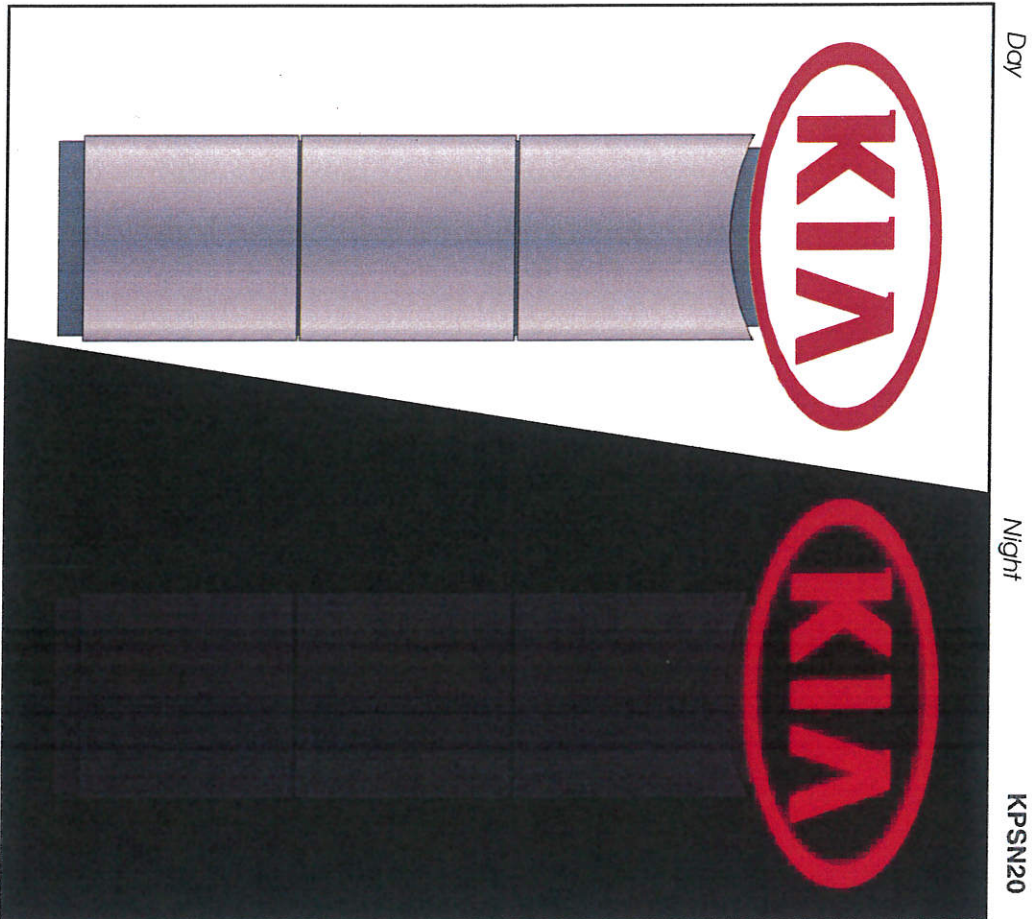
Example Photo - Oval & Channel Letters

Head:

Fabricated aluminum channel letters/oval,
mounted to white backer panel.
White acrylic faces with Kia red vinyl
applied first surface.
Red trim caps & returns
LED illumination

Column/Cladding:

Steel pole construction with
Formed aluminum cladding
painted silver



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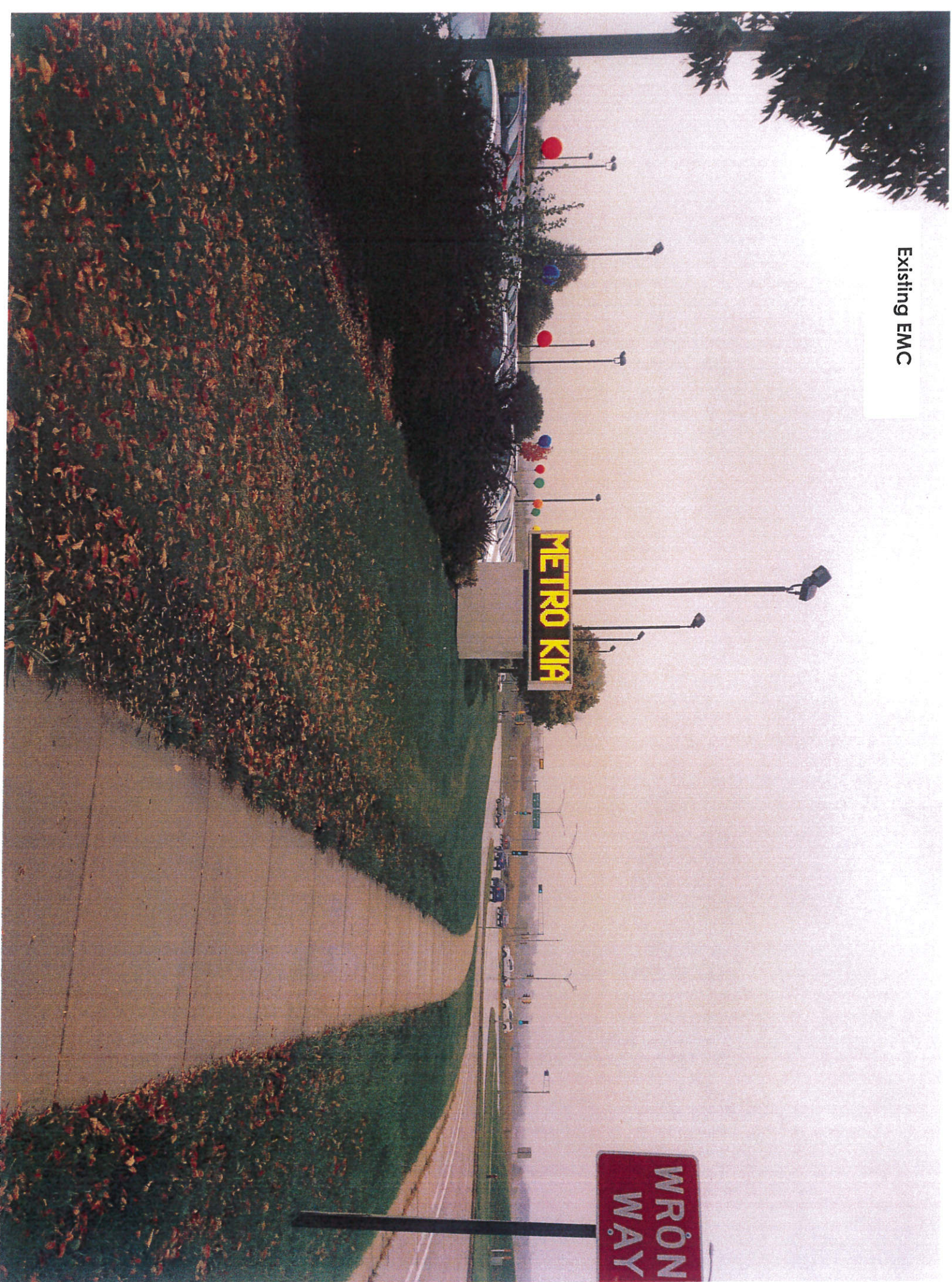
Customer Approval: _____

Date: ____/____/____

www.pattisonsign.com

Client:	W1028 Metro Kia		
Site:	Madison, WI		
Designer:	A. Matthews		Date: 10-17-13
Checked By:			Rev:
Page: 1/3	Scale:		nts

Existing EMC

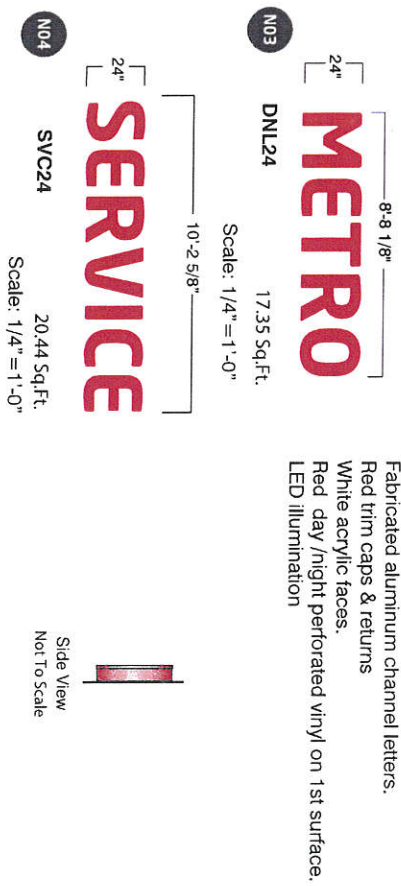


KIA Directional

NEW/USED
CARS & TRUCKS
SALES ➡
NO VENDOR DELIVERIES



NO3 Metro Canopy



LEFT ELEVATION
SOUTH

Scale: 1/16"=1'-0"



CLIENT:	W1028 - METRO KIA		
LOCATION:	5422 WAYNE TERRACE	MADISON, WI	53718
DESIGNER:	A. MATTHEWS		
REMOVED BY:	A. MATTHEWS	DATE:	07-23-13
PAGE:	3/4	REV.	10-11-13
SCALE:		AS NOTED	



Example Photos - Channel Letters

Fabricated aluminum channel letters.
 Red trim caps & returns
 White acrylic faces.
 Red day /night perforated vinyl on 1st surface.
 LED illumination

Day

METRO

Night

METRO

DNL24

SVC24

SERVICE

SERVICE



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Customer Approval: _____

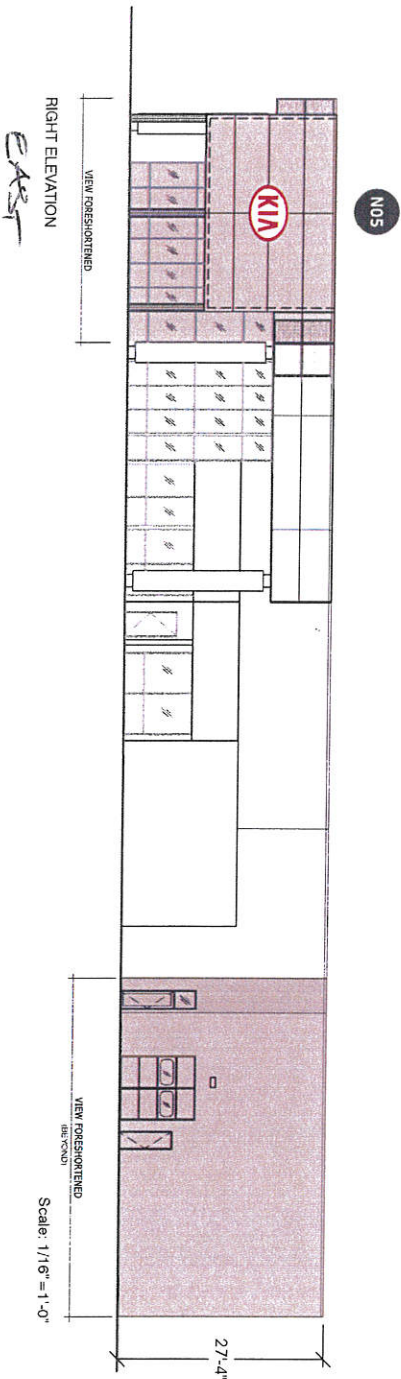
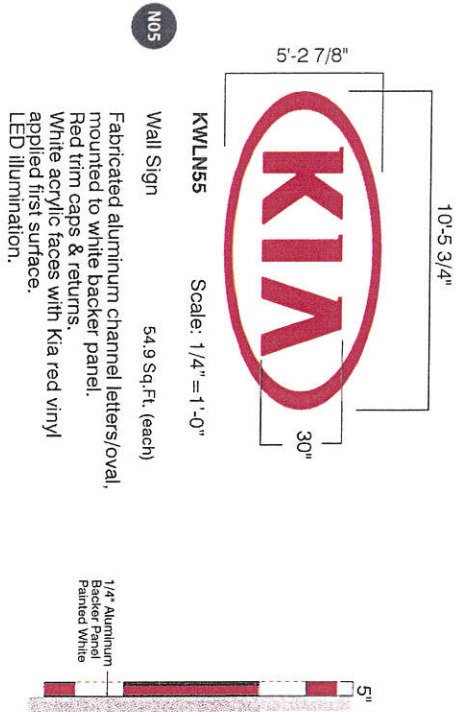
Date: ____/____/____

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Client:	W028 Metro Kia		
Site:	Madison, WI		
Designer:	A. Matthews	Date:	10-17-13
Checked By:		Rev:	
Page:	3/3	Scale:	1/16" = 1'

N05 KIA Wall



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Customer Approval:

Date: / /

NOTE: DIMENSIONS ARE APPROXIMATE PENDING FINAL ENGINEERING

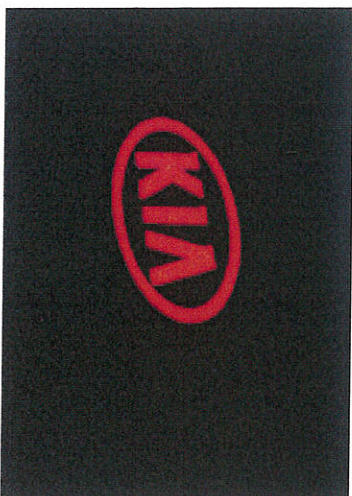
The sign should be installed in accordance with the sign code of the jurisdiction. The sign should be installed in accordance with the sign code of the jurisdiction. The sign should be installed in accordance with the sign code of the jurisdiction.

WARNING: This sign is a fire hazard. Do not use for anything other than the intended purpose. Do not use for anything other than the intended purpose. Do not use for anything other than the intended purpose.

WARNING: This sign is a fire hazard. Do not use for anything other than the intended purpose. Do not use for anything other than the intended purpose. Do not use for anything other than the intended purpose.

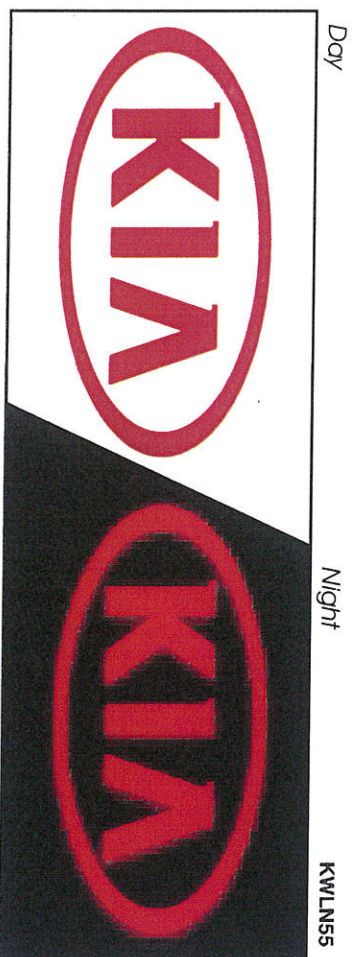
www.pattisonsign.com

CLIENT:	W028 - Metro KIA
LOCATION:	6422 WAYNE TERRACE, Madison, WI 53718
DESIGNER:	A. MATTHEWS
REVIEWED BY:	A. MATTHEWS
DATE:	07-23-13
REV:	10-11-13
SCALE:	AS NOTED
PAGE:	2/4



Example Photo - Oval & Channel Letters

Fabricated aluminum channel letters/oval,
mounted to white backer panel.
White acrylic faces with Kia red vinyl
applied first surface.
Red trim caps & returns
LED illumination



PATTISON
SIGN GROUP INC.

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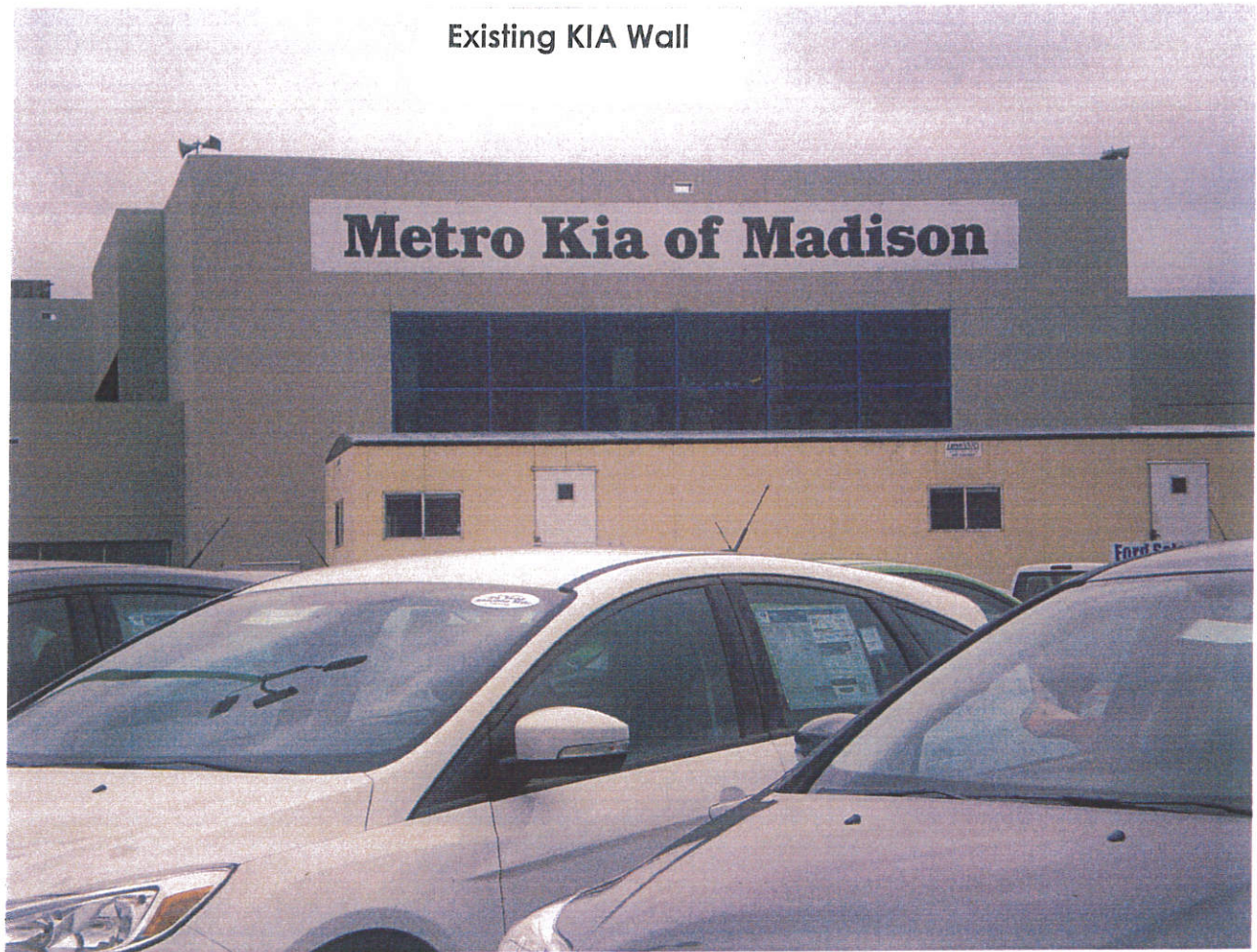
Date: ____/____/____

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Client:	W028 Metro Kia		
Site:	Madison, WI		
Designer:	A. Matthews		
Checked By:		Date:	10.17.13
Page:	2/3	Scale:	1/16" = 1'

Existing KIA Wall



WEST ELEVATION