



Location
502 Apollo Way

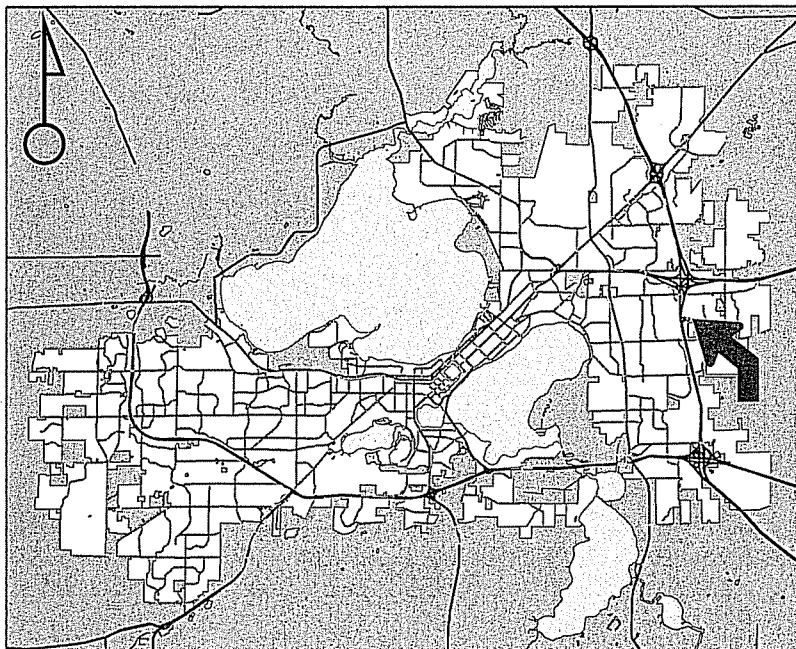
Applicant
Dan Schmidt – Forward Management, Inc/
Brian Stoddard – Avenue Architects, Inc

From: PD-GDP To: PD-SIP

Existing Use
Vacant Land

Proposed Use
Construct 105-unit apartment building

Public Hearing Date
Plan Commission
04 November 2013
Common Council
19 November 2013

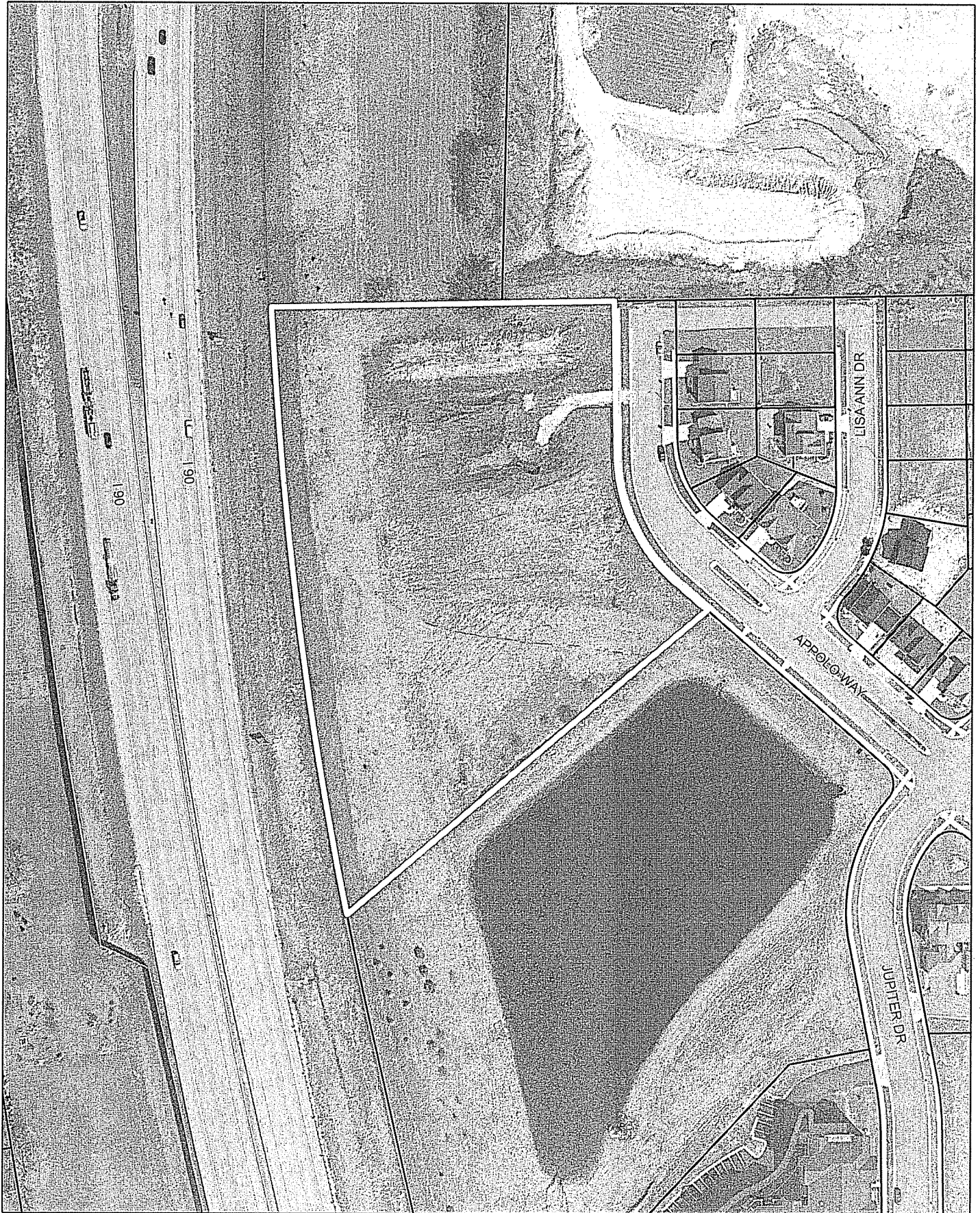


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 28 October 2013





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

2300~ FOR OFFICE USE ONLY:

Amt. Paid ~~146720~~ Receipt No. 146720

Date Received ~~6/13~~ 9/4/13

Received By GSP

Parcel No. 070-112-1909-7

Aldermanic District 3 - CNARE

Zoning District PD

Special Requirements PD, IMP, Noise Pollution

Review Required By:

Urban Design Commission Plan Commission

Common Council Other: _____

Form Effective: February 21, 2013

1. Project Address: 502 APOLLO WAY
Project Title (if any): _____

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from PUD/GDP to PUD/GDP/SIP
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: DAN SCHMIDT Company: FORWARD MANAGEMENT, INC
 Street Address: 110 S. BROOKS ST City/State: MADISON, WI Zip: 53715
 Telephone: ~~(608) 255-3387~~ 608-441-6100 Fax: ~~(608) 255-3387~~ Email: DANS@RENTFALL.COM

Project Contact Person: BRIAN STODDARD Company: AVENUE ARCHITECTS, INC
 Street Address: 550 SUNRISE DR. #201 City/State: SPRING GREEN, WI Zip: 53588
 Telephone: ~~(608) 582-3691~~ 608-582-3691 Fax: ~~(608) 582-3582~~ Email: BSTOD@AVEARCH.COM

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: 105 UNIT APARTMENT BLDG WITH SWIMMING POOL, COMMUNITY ROOM, EXERCISE ROOM, MANAGEMENT OFFICE.

Development Schedule: Commencement DEC 2013 Completion DEC 2014

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways; sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

ALDER CHARE - 7/19/13 NEIGHBORHOOD 7/29/13

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: KEVIN FIRCHOW Date: 6/11/13 Zoning Staff: MATT TUCKER Date: 6/11/13
AL MARTIN

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant: Don Richard Relationship to Property: owner

Authorizing Signature of Property Owner: [Signature] Date: 9/8/13



September 4, 2013

Plan Commission
City of Madison
215 Martin Luther King Jr. Blvd.
Madison, WI 53701

LETTER OF INTENT

Lot 465
Grandview Commons
Project Address – 502 Apollo Way

The attached application and plans are submitted for the rezoning from PUD/GDP to PUD/GDP/SIP for Lot 465 at Grandview Commons

Developer:

FMI Development, LLC
Contact: Dan Schmidt
110 S. Brooks Street
Madison, WI 53715
608-441-6100
(fax) 608-255-3387
dans@rentfmi.com

Architect:

AVENUE Architects, Inc
Contact: Brian Stoddard
550 Sunrise Drive, Suite 201
Spring Green, WI 53588
608-588-3691
(fax) 608-588-3582
bstod@avearch.com

Site Engineer:

Snyder & Associates, Inc.
Contact: Mike Calkins
5010 Voges Road
Madison, WI 53718
608-838-0444
(fax) 608-838-0445
mcalkins@snyder-associates.com

Landscape Design:

Snyder & Associates, Inc.
Contact: Mike Calkins
5010 Voges Road
Madison, WI 53718
608-838-0444
(fax) 608-838-0445
mcalkins@snyder-associates.com

Development Description

The project site is located in the Grandview Commons development on the far east side of Madison, east of Interstate 90 and north of Cottage Grove Road. The site is in the McClellan Park neighborhood and is currently vacant with soil being temporarily stockpiled on it. To the north of the site is a quarry, to the west of the site is the Interstate Highway, to the south is a large pond and green space, and to the east are existing single family homes.

The GDP for Grandview Commons was developed to provide a variety of living options and commercial uses in a neighborhood setting.

It is anticipated that construction will begin in December 2013, pending City approvals, with construction completed in late 2014.

Project Data

Building Summary

Allowable Building Height: 45' (plus 15% increase on one elevations = 51'9")

Provided: (varies, see elevations) Average building height is 44'-6".

Apartment Unit Summary

<u>3 Bedroom</u>	<u>2 Bedroom</u>	<u>1 Bedroom</u>	<u>Studio</u>	<u>Total</u>
4	50	39	12	105

Site Summary

Total Site Acreage	4.51
Total Site Square Footage	196,607 sf
Lot Area/D.U.	1,872 sf/du
Density	23.3 du/acre
Site Coverage	
Building	38,269 sf (19.46%)
Pavement	38,988 sf (20.34%)
Usable Open Space	19,459 sf (185.3 sf/du)

Parking Summary

Provided: Vehicle

 Required: Varies ((will be set in SIP)

 Provided:

Underground	95 Spaces
Surface	<u>90 Spaces</u>
Total	185 Spaces

 Ratio: 1.77 stalls/unit

Provide: Bicycle

Surface (short term)	30 (11 required)
Underground (long term)	<u>109 (95 required)</u>
Total	139 (106 required)

Site and Building Architecture

The project consists of one 105-unit combination three-story/four-story building. Building has underground parking. The project includes an outdoor swimming pool, property management/leasing office, a community room, and an exercise room. Unit styles are a variety of studio, one bedroom, two bedroom, and three bedroom units.

Site and building architecture adopt neighborhood design elements such as siting the buildings close to the street, anchoring the building to the corner architecturally, providing individual connecting walks from the street to many of the units, and neighborhood scale street facades.

The majority of the parking is underground with the surface parking located internally on the site, minimizing the automobile's impact on the neighborhood.

Building has a flat roof. Most units have patios or decks. Building materials are a mix of brick, horizontal siding, aluminum deck railings, with a modified 'board & batten' detailing providing compatibility with the surrounding neighborhood exterior materials.

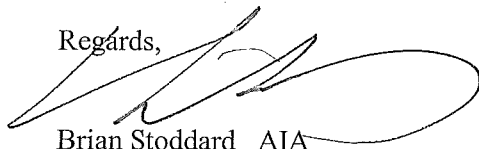
Trash removal will be done privately. Trash storage for the apartments will be located in the underground parking garage. Snow removal and maintenance will be private.

Social and Economic Impact

The development will have a positive social and economic impact. It is the next progression of the Grandview Commons Development Plan and complies with the previously approved GDP zoning standards. The project will add to the variety of living choices and commercial uses in this planned development.

Thank you for your time and consideration of our proposal.

Regards,

A handwritten signature in black ink, appearing to read 'Brian Stoddard', with a large, stylized flourish extending to the right.

Brian Stoddard AIA

502 Apollo Way

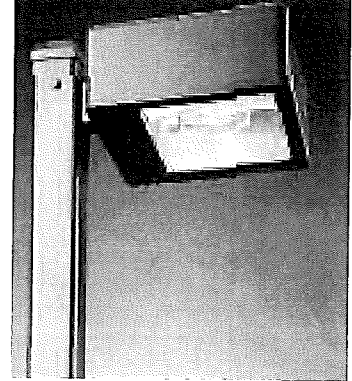
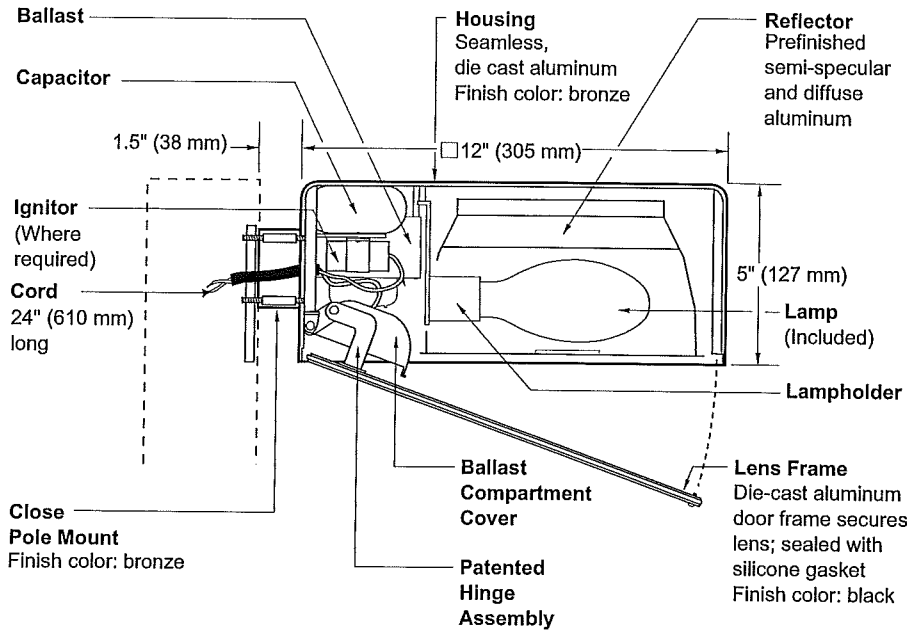
Legal Description

Lot 465, Grandview Commons as recorded in Volume 58-005A of Plats, on page28, as Document Number 3583911, Dane County Registry, City of Madison, Dane County, Wisconsin.

1-1/2" CLOSE POLE MOUNT

12" (305 mm) PARKING/ROADWAY LIGHT

**PR1-12
SERIES**



SPEC #	WATTAGE	CATALOG #
PULSE START METAL HALIDE		
	125W PSMH	MPR1612-(a)(b)
	150W PSMH	MPR1615-(a)(b)
METAL HALIDE		
	50W MH	MPR1405-(a)(b)
	70W MH	MPR1407-(a)(b)
	100W MH	MPR1410-(a)(b)
	175W MH	MPR1417-(a)(b)
HIGH PRESSURE SODIUM		
	35W HPS	MPR1503-(a)(b)
	50W HPS	MPR1505-(a)(b)
	70W HPS	MPR1507-(a)(b)
	100W HPS	MPR1510-(a)(b)
	150W HPS	MPR1515-(a)(b)

Specify (a) Voltage & (b) Options.

(a) VOLTAGE SUFFIX KEY	
D	120/277V (Standard: 125W PSMH; 50 – 100W MH; 50W HPS)
M	120/208/240/277V (Standard: 150W PSMH; 175W MH; 70 – 150W HPS)
T	120/277/347V (Canada Only) (Standard: 150W PSMH; 70 – 175W MH; 70 – 150W HPS)
1	120V (Standard: 35W HPS)
2	277V
27	277V Reactor (150W PSMH Only)
3	208V
4	240V
5	480V (175W MH; 70 – 150W HPS)
6	347V (Canada Only)

For voltage availability outside the US and Canada, see Bulletin TD-9 or contact your Ruud Lighting authorized International Distributor.

(b) OPTIONS (factory-installed)	
-(a)F	Fusing
-(a)P	Button Photocell
-5P	External Photocell (for 480V)
Q	Quartz Standby (includes 100W quartz lamp) (N/A on 277V Reactor)

Specify (a) Single Voltage — See Voltage Suffix Key

GENERAL DESCRIPTION

Parking lot and roadway luminaire for HID lamp, totally enclosed. Supplied with IES Type III asymmetric distribution pattern. Housing is seamless, die-cast aluminum. Mounting consists of a 1.8" (44 mm) wide by 2.5" (64 mm) high by 1.5" (38 mm) long extruded aluminum arm. The arm is held in place with two 3/8" (9 mm) mounting rods fastened to a steel backing plate inside the pole, and by two nuts inside the fixture housing. Mounting rods are provided with sealing washers to prevent water leakage. Lens assembly consists of rigid aluminum frame and high-impact, clear-tempered glass.

ELECTRICAL

Fixture includes clear, medium-base lamp. Pulse-rated porcelain enclosed, 4kv-rated screw-shell-type lampholder. Lamp ignitor included where required. All ballast assemblies are high-power factor and use the following circuit types:

Reactor (277V PSMH)
150W PSMH

Reactor
120V: 35 – 150W HPS

HX — High Reactance
50 – 100W MH; 50 – 150W HPS

CWA — Constant Wattage Autotransformer
125 & 150W PSMH; 175W MH

PATENT

US 4,689,729

FINISH

Exclusive DeltaGuard® finish features an E-coat epoxy primer with medium bronze ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our seven-year limited warranty.

LABELS

ANSI lamp wattage label supplied, visible during relamping. UL Listed in US and Canada for wet locations and enclosure classified IP65 per IEC 529 and IEC 598.

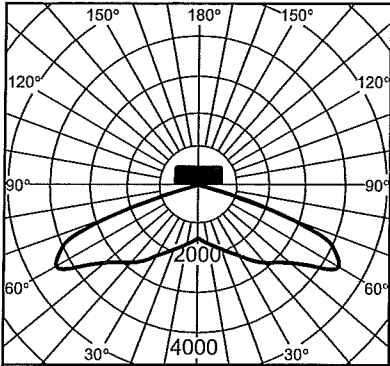
ACCESSORIES

FWG-12	Wire Guard
SBL-12	Backlight Shield

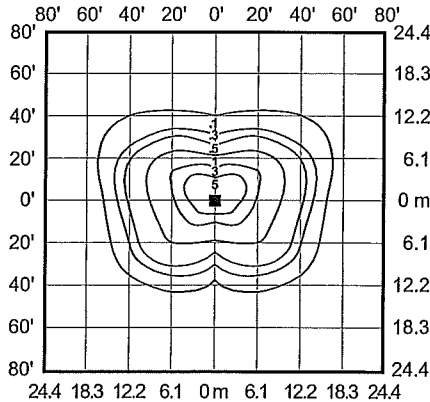
EPA RATING

EPA 0.60 for single fixture with 0° tilt (Consult factory for EPA rating on multiple units).

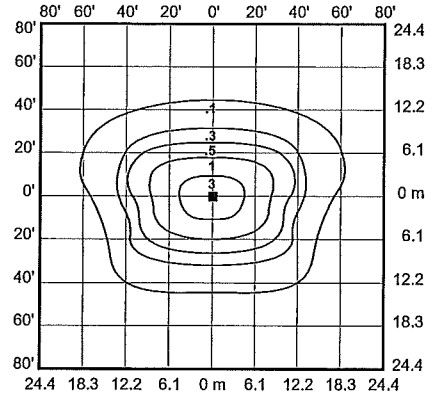
Isofootcandle plots show initial footcandles at grade. (Footcandles ÷ 0.0929 = Lux)



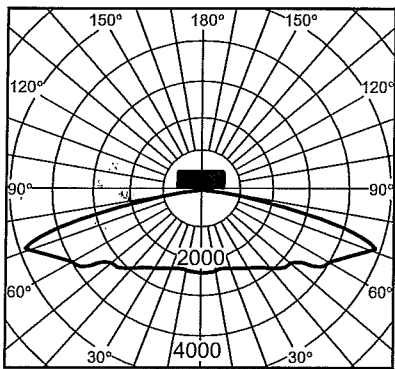
Lighting Sciences Inc.
Certified Test Report No. LSI 10694
Candlepower distribution curve of 175W MH Rectangular Parking/Roadway Light.



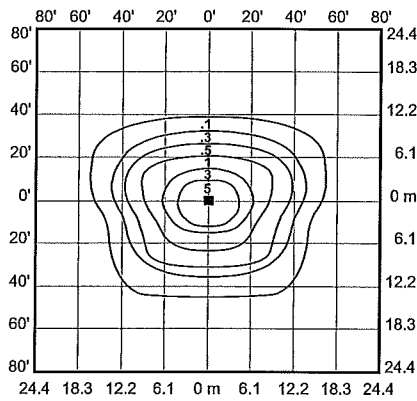
Isofootcandle plot of 175W MH Parking/Roadway Light at 15' (4.6 m) mounting height and 0° vertical tilt. (Plan view)



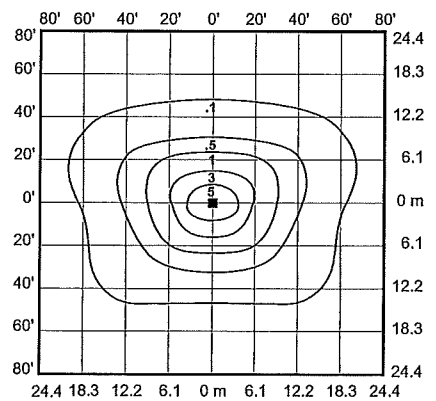
Isofootcandle plot of 175W MH Parking/Roadway Light at 20' (6.1 m) mounting height and 0° vertical tilt. (Plan view)



Lighting Sciences Inc.
Certified Test Report No. LSI 10110
Candlepower distribution curve of 150W HPS Rectangular Parking/Roadway Light.

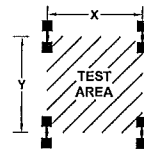


Isofootcandle plot of 150W HPS Parking/Roadway Light at 15' (4.6 m) mounting height and 0° vertical tilt. (Plan view)



Isofootcandle plot of 150W HPS Parking/Roadway Light at 20' (6.1 m) mounting height and 0° vertical tilt. (Plan view)

Pole-spacing Example Data



Test area is centered within a (16) pole layout.
Max. Recommended Pole-spacing

Average Initial Light Levels at Grade
2 Fixtures per pole @ 180°
(Footcandles ÷ 0.0929 = Lux)

Catalog #	Lamp Type	Lamp Lumens	Mounting Height	X x Y		Footcandles		Lux	
MPR1410-D	100W MH	8,100	10' (3.0 m)	60' (18.3 m) x 40' (12.2 m)	5.84	68			
			15' (4.6 m)	90' (27.4 m) x 60' (18.3 m)	2.48	27			
MPR1417-M	175W MH	12,000	15' (4.6 m)	90' (27.4 m) x 60' (18.3 m)	3.69	40			
			20' (6.1 m)	120' (36.6 m) x 80' (24.4 m)	2.01	22			
MPR1510-M	100W HPS	9,500	10' (3.0 m)	60' (18.3 m) x 40' (12.2 m)	7.32	79			
			15' (4.6 m)	90' (27.4 m) x 60' (18.3 m)	2.94	32			
MPR1515-M	150W HPS	16,000	15' (4.6 m)	90' (27.4 m) x 60' (18.3 m)	4.95	53			
			20' (6.1 m)	120' (36.6 m) x 80' (24.4 m)	2.64	28			

Zoning Text

Rezoning PUD-GDP to PUD-GDP-SIP

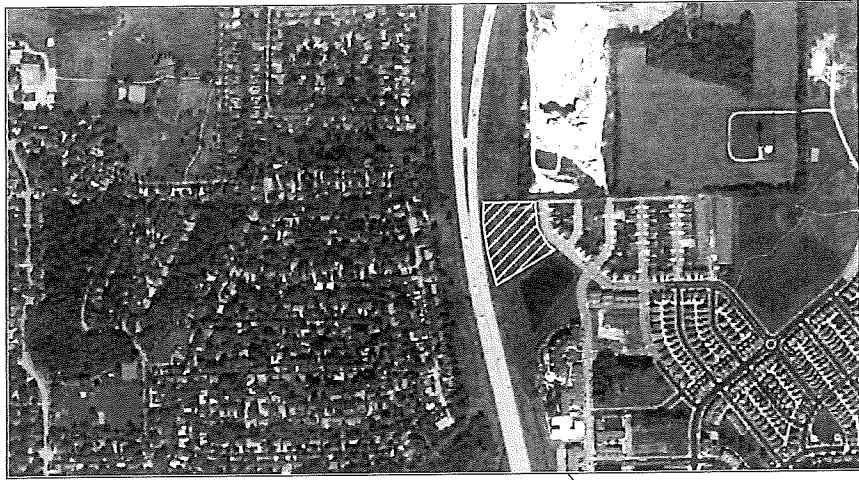
Lots 465, Grandview Commons

September 4, 2013

Legal Description: Lot 465, Grandview Commons as recorded in Volume 58-005A of Plats, on page 28, as Document Number 3583911, Dane County Registry, City of Madison, Dane County, Wisconsin.

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of a 105-unit multifamily housing community.
- B. **Permitted Uses:** Following are permitted uses within the PUD district:
 - 1. A 105-unit multifamily housing community.
 - 2. Accessory uses including parking for residents and guests, outdoor swimming pool, community room, exercise room, property management/leasing offices, and those accessory uses allowed in the TR-P district.
 - 3. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street and surface parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O.28.211 for the TR-P zoning district.
- J. **Signage:** Signage will be allowed as per Chapter 31 of the Madison General Ordinances as compared to the TR-P district or signage will be provided as approved on the S.I.P. plans or as a minor alteration to the approved SIP, and as approved by the Urban Design Commission.

- K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director of Planning and Development, and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.



INTERSTATE 39/90

SITE DEVELOPMENT DATA

LOT AREA: 196,646 SF OR 4.51 ACRES

DWELLING UNITS: GDP - 184 UNITS
SIP PROPOSED - 105 UNITS

LOT AREA PER UNIT: SIP PROPOSED - 1,872 SF/UNIT

DENSITY: 23.3 DU/ACRE

SITE COVERAGE: BUILDING: 38,269 SF (19.46%)
PAVEMENT: 39,988 SF (20.34%)
USABLE OPEN SPACE: 19,459 SF (185.3 SF/DU)

BUILDING HEIGHT: GDP - 45'-0" (PLUS 15% ONE ELEVATION = 51'-9")
SIP PROPOSED - 45'-0" (PLUS 51'-0" ONE ELEVATION)

VEHICLE PARKING: GDP - VARIES, SET AT SIP
SIP PROPOSED - UNDERGROUND 95 STALLS

SURFACE	90 STALLS
TOTAL	185 STALLS (1.76/DU)

BIKE PARKING

SURFACE (SHORT TERM)	30 STALLS
UNDERGROUND (LONG TERM)	109 STALLS
TOTAL	139 STALLS

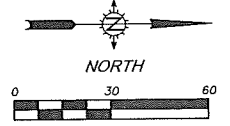
SHEET INDEX

C1.0 PROPOSED SITE PLAN
C2.0 EXISTING SITE PLAN
C2.1 PROPOSED DIMENSIONED SITE PLAN
C2.2 PROPOSED UTILITY PLAN
C3.0 PROPOSED GRADING AND EROSION CONTROL PLAN
C3.1 PROPOSED GRADING PLAN
C3.2 PROPOSED GRADING PLAN
C3.3 PROPOSED GRADING PLAN
C4.0 PROJECT DETAILS
C4.1 PROJECT DETAILS
C4.2 PROJECT DETAILS
C5.0 PROPOSED BIORETENTION AREAS
SL-1 SITE LIGHTING LAYOUT
L-1.1 PROPOSED LANDSCAPE PLAN
L-1.2 PROPOSED LANDSCAPE PLAN
L-1.3 PROPOSED LANDSCAPE PLAN
L-1.4 PLANTING DETAILS AND GENERAL NOTES

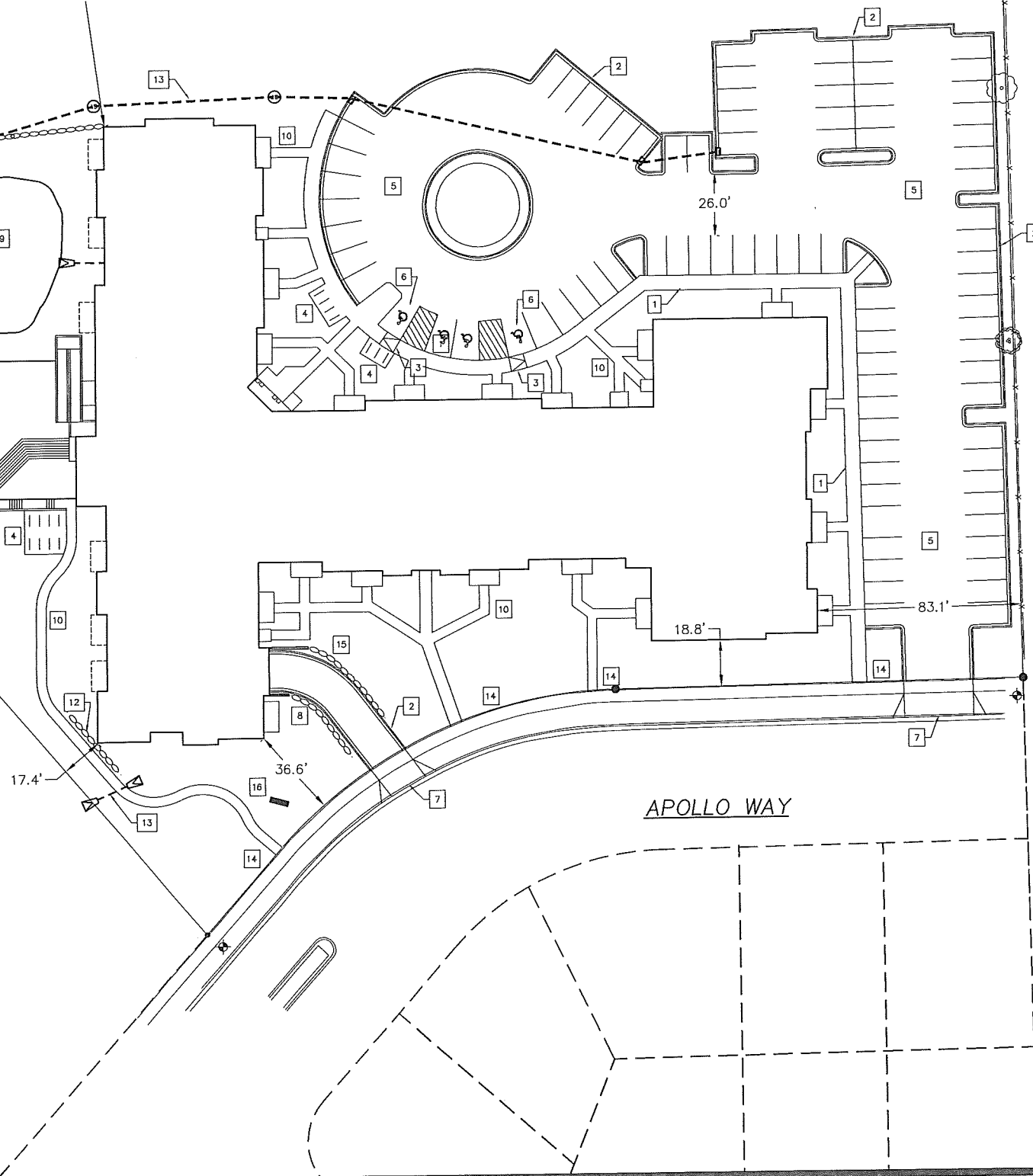
A-1.0 BASEMENT PLAN
A-1.1 FIRST FLOOR PLAN
A-1.2 SECOND FLOOR PLAN
A-1.3 THIRD FLOOR PLAN
A-1.4 FOURTH FLOOR PLAN
A-2.1 BUILDING ELEVATIONS (COLORED)
A-2.2 BUILDING ELEVATIONS (COLORED)
A-2.1 BUILDING ELEVATIONS (B&W)
A-2.2 BUILDING ELEVATIONS (B&W)
FA-1.0 FIRE DEPARTMENT ACCESS SITE PLAN

NOTES:

1. PROPOSED THICKENED EDGE SIDEWALK
2. PROPOSED 18" CURB AND GUTTER
3. HANDICAP RAMP
4. PROPOSED BIKE PARKING
5. ASPHALT PARKING LOT
6. HANDICAP PARKING STALLS WITH SIGNAGE
7. STANDARD CITY OF MADISON COMMERCIAL DRIVEWAY ENTRANCE
8. CAST IN PLACE CONCRETE RETAINING WALL AND BOULDER WALL
9. PROPOSED BIORETENTION AREAS FOR STORMWATER TREATMENT
10. PROPOSED 4' WIDE CONCRETE SIDEWALK
11. POOL DECK
12. PROPOSED BOULDER RETAINING WALL
13. PROPOSED STORM SEWER
14. CONNECT SITE WALKWAY TO EXISTING PUBLIC SIDEWALK
15. CAST IN PLACE CONCRETE RETAINING WALL AND BOULDER WALL, SPLIT RAIL FENCE AT TOP FOR FALL PROTECTION
16. PROPOSED SIGN LOCATION (SEPARATE REVIEW)



PRO BIORETENTION AREA, TYP.



MARK	REVISION	DATE	BY
	Checked By: SJA		
	Technician: NGO	Date: 08-14-2013	Field Bk: Pg.

Project No: 113.0542.30

Sheet C1.0

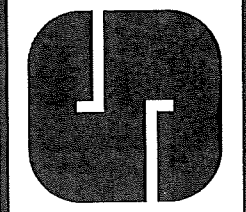
LOT 465 ~ 502 APOLLO WAY

PROPOSED SITE PLAN

CITY OF MADISON, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC.

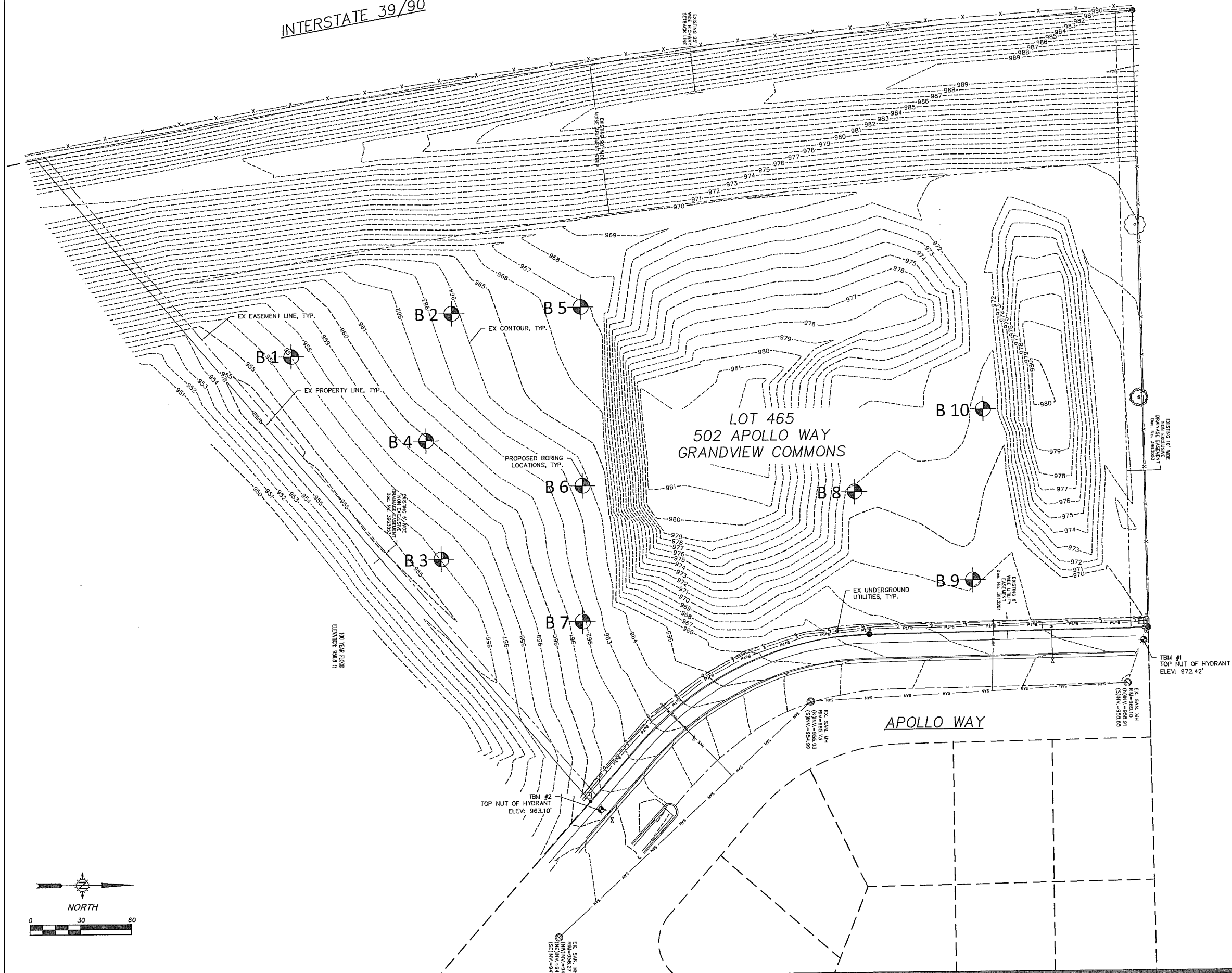
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com



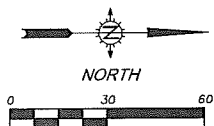
GENERAL NOTES

1. UTILITY WARNING
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NOT GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
2. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
3. NOTIFY OWNER, ENGINEER AND CITY OF MADISON AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.

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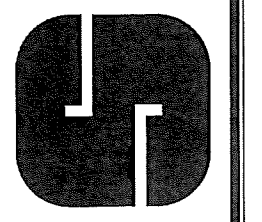



 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 WS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



MARK	REVISION	DATE	BY
Engineer: SJA	Checked By:	Scale: SEE BAR SCALE	
Technician: NGO	Date: 08-14-2013	Field Bk:	
Project No: 113.0542.30			Sheet C2.0

LOT 465 ~ 502 APOLLO WAY
 EXISTING SITE PLAN
 CITY OF MADISON, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

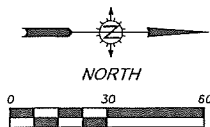
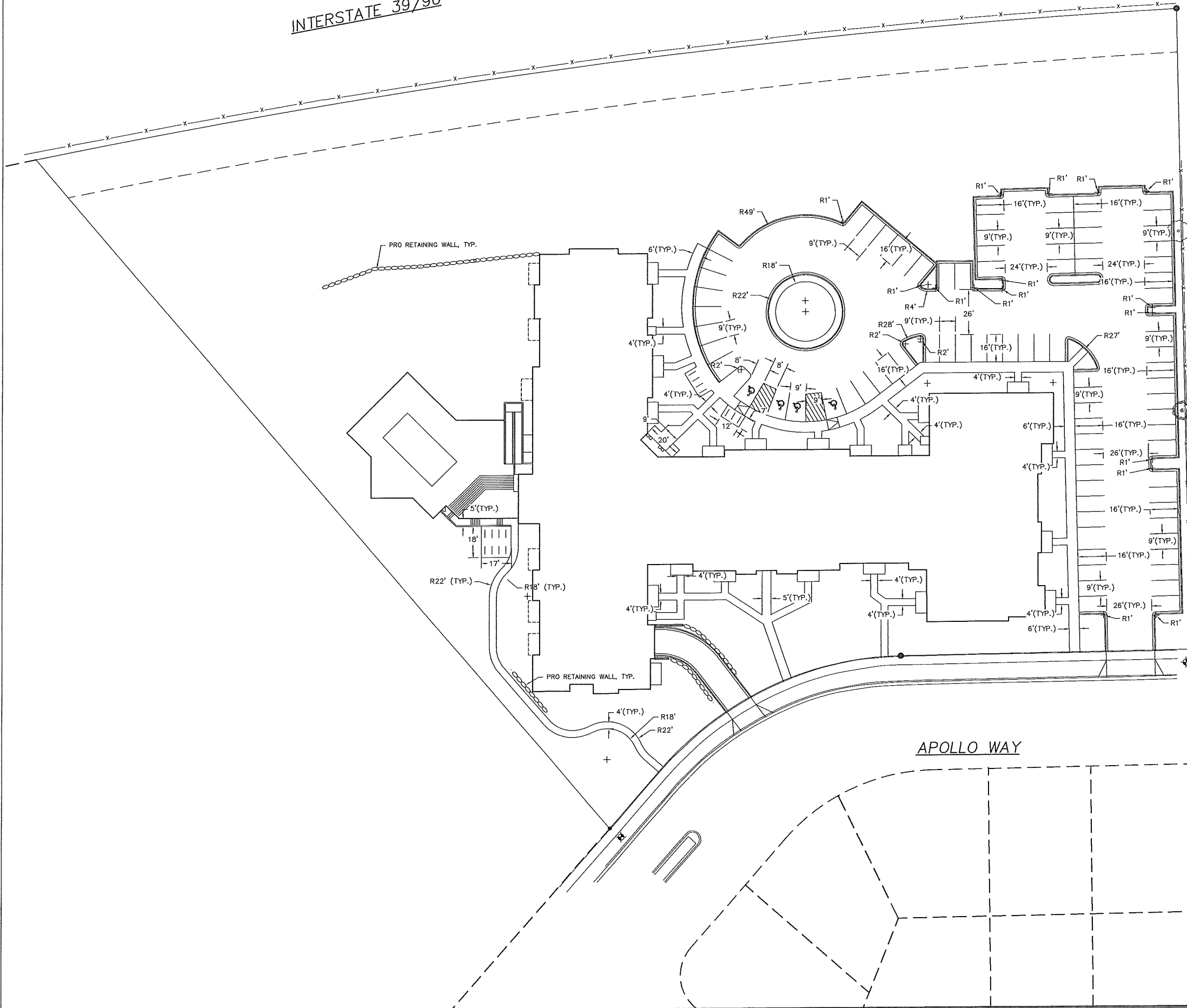


Project No: 113.0542.30
 Sheet C2.0

NOTES

1. PAVEMENTS, PROVIDE THE FOLLOWING:
 - A. 3" DEPTH ASPHALT PAVING FOR DRIVES AND PARKING WITH 10" OF BASE COURSE AND 18" CURB AND GUTTER. SUBGRADE SHALL CONSIST OF SUITABLE MATERIAL AND COMPACT TO 95% OF STANDARD PROCTOR DENSITY. MOISTURE IS TO BE BETWEEN OPTIMUM AND +3%.
 - B. 4" DEPTH PCC SIDEWALKS, 6" DEPTH AT DRIVEWAY CROSSINGS
 - C. SEE DETAILS ON SHEET C4.0 FOR THICKENED EDGE SIDEWALKS.
 - D. PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33% AS SHOWN.
2. PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
 - A. PAINTED PARKING STALL LINES IN WHITE COLOR.
 - B. PAINTED STATE OF WISCONSIN APPROVED HANDICAP SYMBOL.
 - C. 45' STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
3. ALL DIMENSIONS ARE FROM FACE OF CURB.

INTERSTATE 39/90

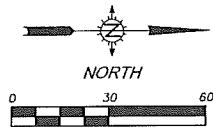
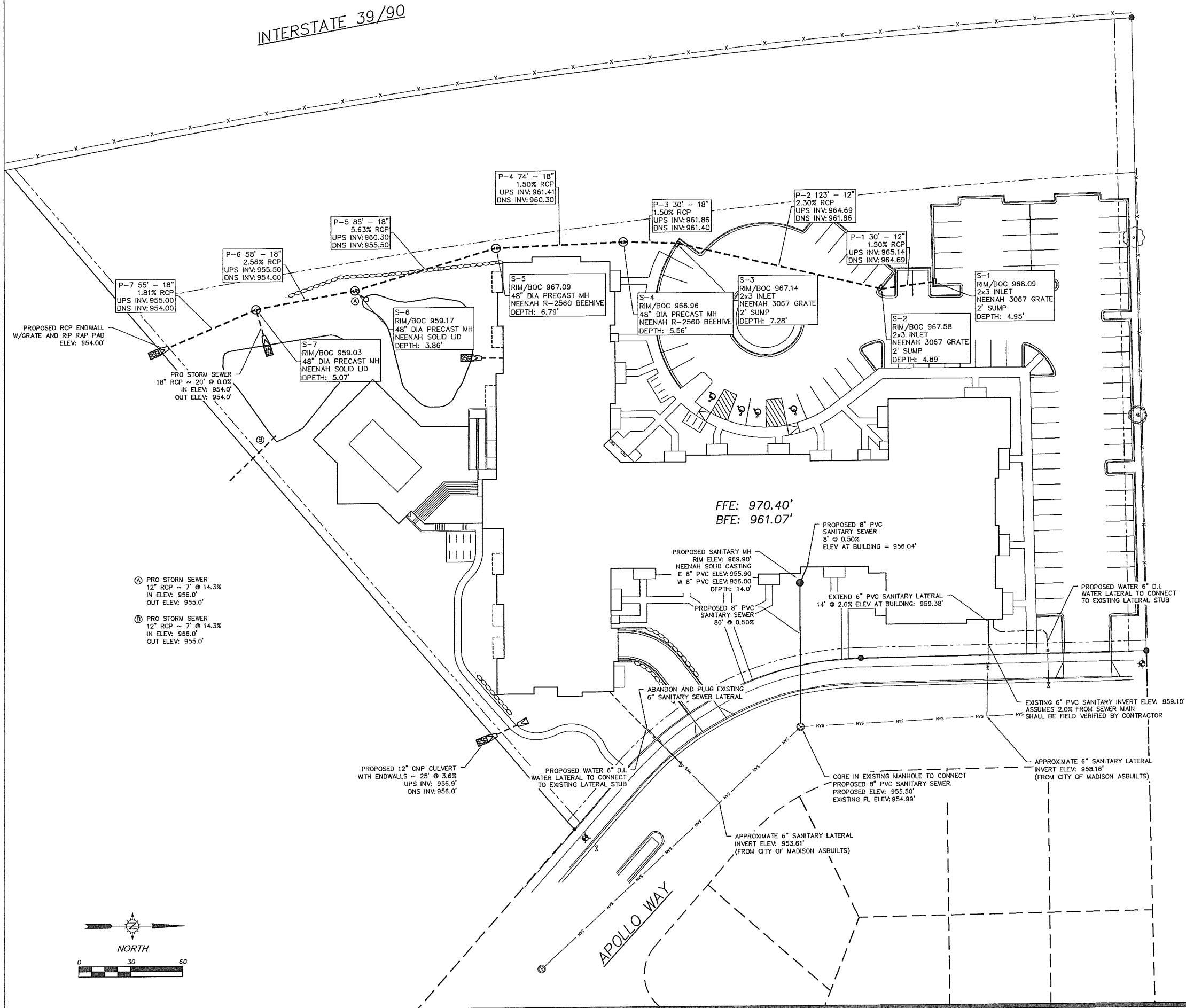


MARK	REVISION	DATE	BY
Engineer: SJA	Checked By:	Scale: SEE BAR SCALE	
Technician: NGO	Date: 08-14-2013	Field Bk:	Pg:
Project No: 113.0542.30			Sheet C2.1

LOT 465 ~ 502 APOLLO WAY
 PROPOSED DIMENSIONED SITE PLAN
 CITY OF MADISON, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
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Project No: 113.0542.30
 Sheet C2.1

- GENERAL NOTES**
- UTILITY WARNING**
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
 - NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
 - ALL CONSTRUCTION WORK SHALL BE GOVERNED BY THE CURRENT EDITION OF THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", AND THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS.
 - NOTIFY OWNER, ENGINEER AND CITY OF MADISON AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
 - CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESSES. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% OF STANDARD PROCTOR DENSITY. MOISTURE IS TO BE BETWEEN OPTIMUM AND +3%.
 - THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONSTRUCT ALL SITE IMPROVEMENTS AND UTILITIES IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
 - WATER SERVICE, PROVIDE THE FOLLOWING:
A. 6-INCH DUCTILE IRON SERVICE LINE
B. COORDINATE BUILDING WATER CONNECTION WITH MECHANICAL DRAWINGS.
C. CONNECT TO EXISTING 6" WATER SERVICE. CONTRACTOR TO VERIFY WATER MAIN LOCATION PRIOR TO CONSTRUCTION.
 - SANITARY SEWER SERVICE, PROVIDE THE FOLLOWING:
A. COORDINATE SANITARY SEWER SERVICE CONNECTION WITH MECHANICAL DRAWINGS.
B. CONNECT TO EXISTING 6" PVC SANITARY SERVICE PROVIDED BY CITY. CONTRACTOR TO VERIFY DEPTH AND LOCATION PRIOR TO CONSTRUCTION.
 - SEE ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.
 - CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, AND TELEPHONE SERVICES WITH UTILITY SERVICE PROVIDER, THE CITY OF MADISON, AND THE OWNER PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" CLEARANCE BETWEEN UTILITIES.
 - CONTRACTOR SHALL OBTAIN NECESSARY CONNECTION AND EXCAVATION PERMITS FROM CITY ENGINEERING PRIOR TO WORK COMMENCING.
 - THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 182.0175(2) OF THE WISCONSIN STATUTES. ANY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
 - ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - UNLESS OTHERWISE INDICATED, WATER AND SANITARY SEWER LATERALS AND STORM SEWER ENDS SHALL EACH BE MARKED WITH A 4" X 4" POST EXTENDING FOUR FEET (4') BELOW GROUND AND THREE FEET (3') ABOVE GROUND. WHERE BOTH THE WATER SERVICE AND THE SEWER LATERAL END AT THE SAME LOCATION, A COMMON 4" X 4" POST MAY BE USED TO MARK THE ENDS.
 - ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - COORDINATE WORK WITH BUILDING PLUMBING CONTRACTOR(S).
 - THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ADJUTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - ALL DAMAGE TO THE PAVEMENT ON APOLLO WAY AND ANY OTHERS, ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 - SANITARY SEWER LATERAL ELEVATIONS ARE BASED ON CITY OF MADISON ASBUILT INFORMATION. ALL ELEVATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR.



INTERSTATE 39/90

APOLLO WAY

MARK	REVISION	DATE	BY

Engineer: SJA
Checked By: SJA
Scale: SEE BAR SCALE
Field Bk: Pj:
Technician: NGO
Date: 08-14-2013
Project No: 113.0542.30
Sheet C2.2

LOT 465 ~ 502 APOLLO WAY
PROPOSED UTILITY PLAN
CITY OF MADISON, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

Project No: 113.0542.30
Sheet C2.2

GENERAL NOTES:

STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE IS INSTALLED.

SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY OF MADISON.

CONTRACTOR SHALL NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TWO (2) WORKING DAYS PRIOR TO ANY SOIL DISTURBING ACTIVITY.

TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED WITHIN 10-DAYS. PERIMETER CONTROL ON THE DOWNSTREAM SIDE SHALL BE IN-PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).

CONTRACTOR TO MINIMIZE AREAS OF EXPOSED SOIL AT ALL TIMES.

AREAS WITH SLOPES 4:1 OR GREATER AND ALL INTERIOR BIORETENTION AREA SLOPES SHALL BE STABILIZED WITH CLASS I TYPE B EROSION CONTROL MATTING.

MULCH SHALL BE PUNCHED INTO THE SOIL TO A MINIMUM DEPTH OF 2-INCHES USING A MULCH TILLER WHILE TRAVELING ON THE CONTOUR.

BIO-RETENTION BASINS SHALL BE EXCAVATED AND USED AS SEDIMENT TRAPS DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION AND SITE STABILIZATION, THE BASINS SHALL BE OVER-EXCAVATED 3 FEET MINIMUM AND THEN THE SAND LAYER AND ENGINEERED SOIL SHALL BE EMPLACED TO WITHIN 3 INCHES OF FINAL GRADE. ONCE THE ENGINEERED SOIL IS EMPLACED, 3 INCHES OF HARDWOOD MULCH SHALL BE ADDED ON TOP OF THE ENGINEERED SOIL.

ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.

GRASS AREAS SHALL RECEIVE FERTILIZER, SEED, AND MULCH. SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET.

MULCH SHOULD BE APPLIED SO THAT THE SOIL SURFACE IS UNIFORMLY COVERED. ACTUAL APPLICATION RATES MAY VARY DEPENDING UPON THE INDIVIDUAL SITE CHARACTERISTICS AND THE TYPE OF MULCH USED. MULCHING APPLICATION SHALL CONSIST OF STRAW AT A MIN. RATE OF 1.5 TONS PER ACRE. MULCH MUST BE CRIMPED.

PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

FOR THE FIRST SIX WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, PROVISIONS SHALL BE MADE FOR WATERING WHENEVER MORE THAN SEVEN DAYS OF DRY WEATHER ELAPSE.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.

DEVELOPER SHALL REPAIR/REPLACE ANY SIDEWALK, CURB, OR PAVEMENT DAMAGED DURING CONSTRUCTION OR AS DEEMED NECESSARY BY THE CITY OF MADISON.

PROPOSED TURF REINFORCEMENT MATTING SHALL BE CLASS III TYPE B.

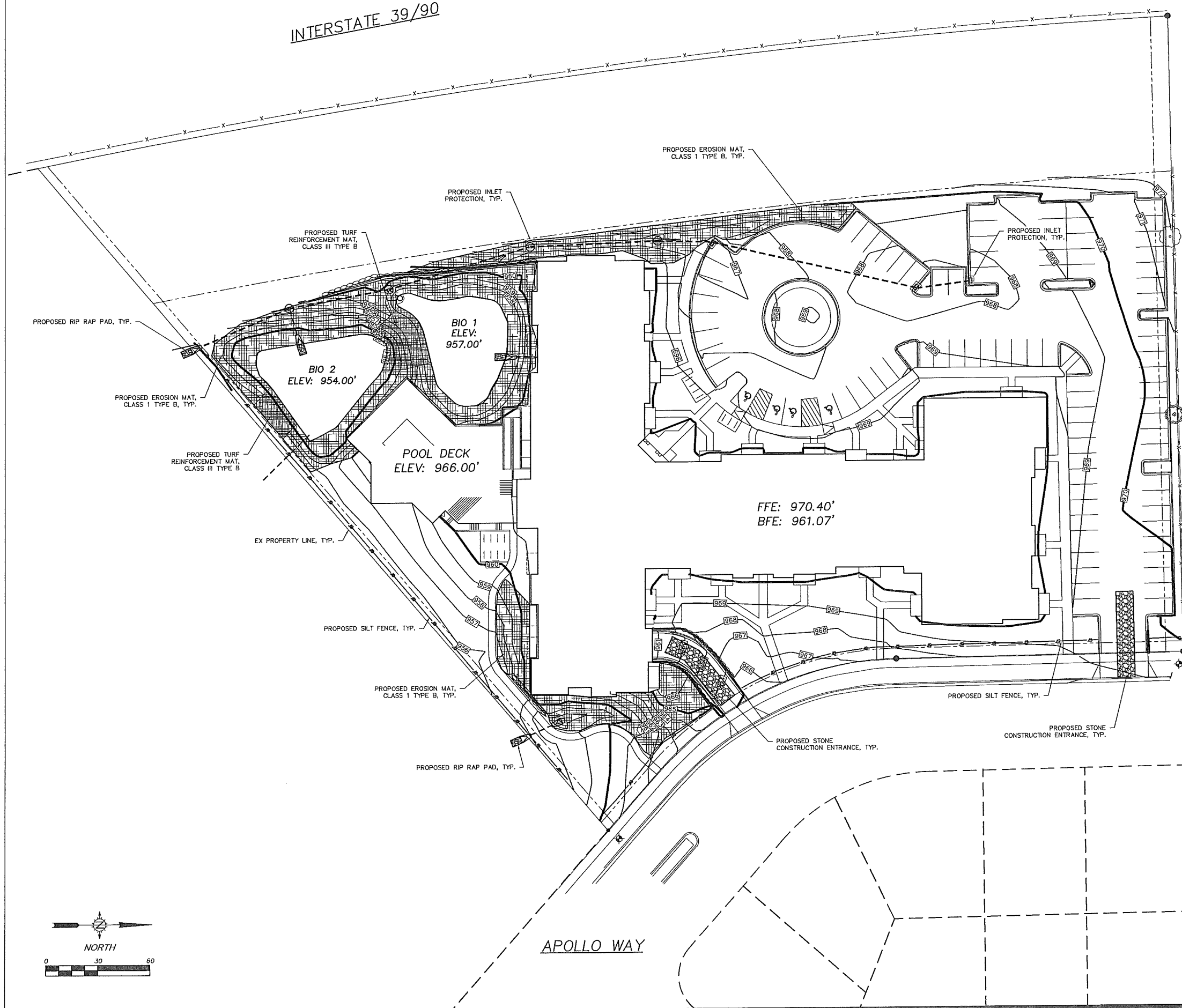
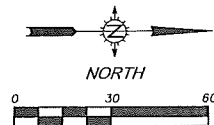
INLET PROTECTION SHALL BE INSTALLED ON ALL ONSITE AND OFFSITE CATCH BASINS AS SHOWN ON THE STANDARD DETAIL ON SHEETS.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

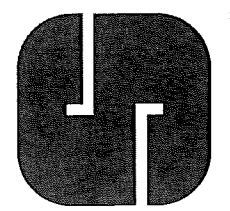


INTERSTATE 39/90

APOLLO WAY

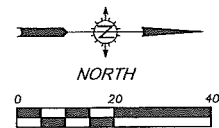
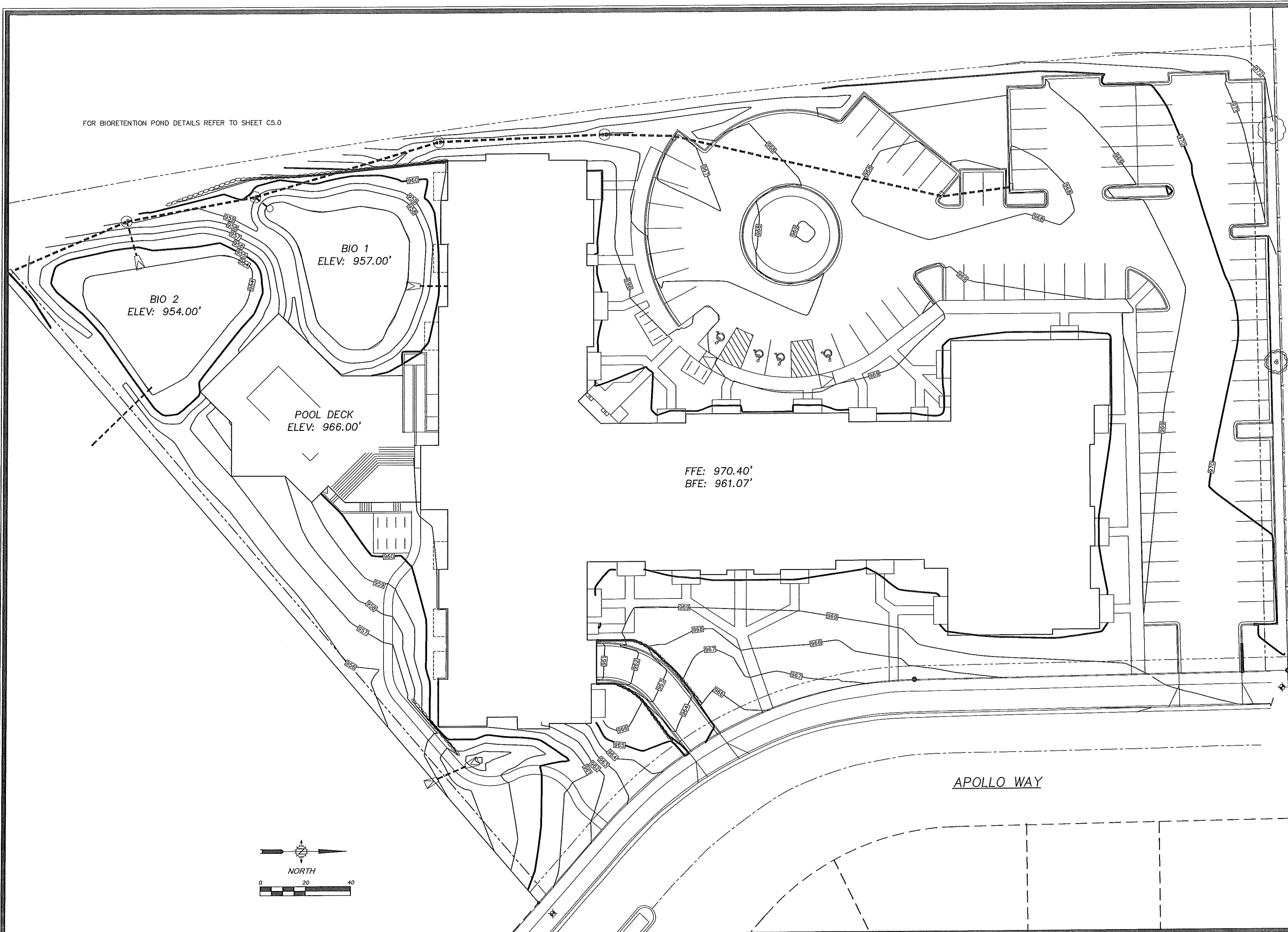
MARK	REVISION	DATE	BY
Engineer: SJA	Checked By:	Scale: SEE BAR SCALE	Field Bk:
Technician: NGO	Date: 08-14-2013		Page:
Project No: 113.0542.30			Sheet C3.0

LOT 465 ~ 502 APOLLO WAY
 CITY OF MADISON, DANE COUNTY, WI
 PROPOSED GRADING AND EROSION CONTROL PLAN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
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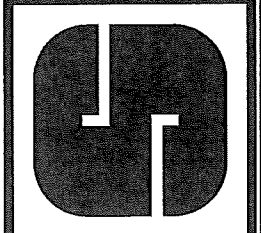
Project No: 113.0542.30
 Sheet C3.0

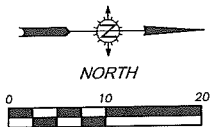
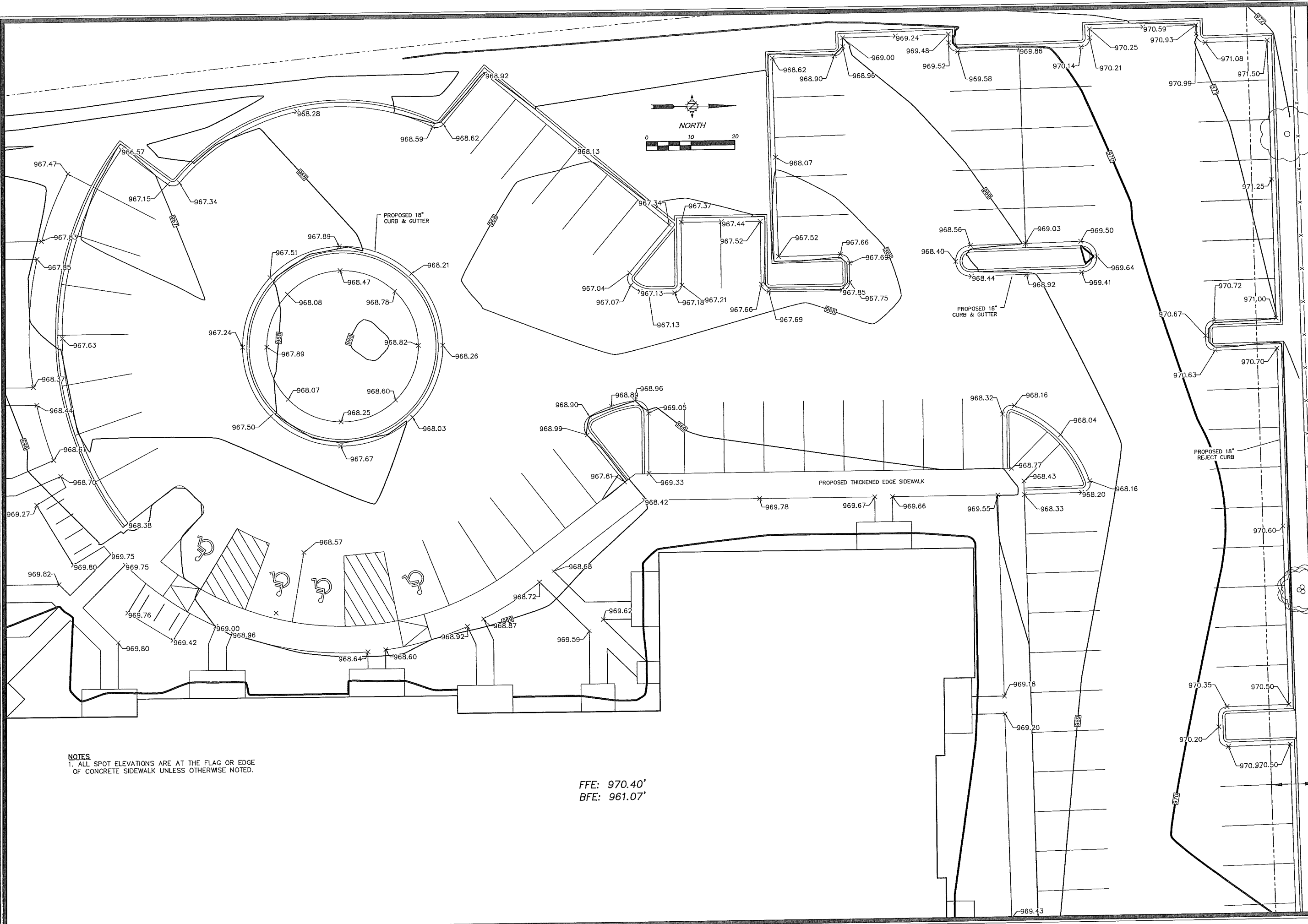
FOR BIORETENTION POND DETAILS REFER TO SHEET C5.0



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Technician: NGO	Date: 08-14-2013	Field Bk:	Pg:

LOT 465 ~ 502 APOLLO WAY
 CITY OF MADISON, DANE COUNTY, WI
 PROPOSED GRADING PLAN
SNYDER & ASSOCIATES, INC.
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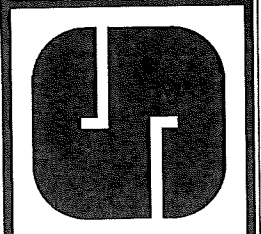
NOTES
 1. ALL SPOT ELEVATIONS ARE AT THE FLAG OR EDGE OF CONCRETE SIDEWALK UNLESS OTHERWISE NOTED.

FFE: 970.40'
 BFE: 961.07'

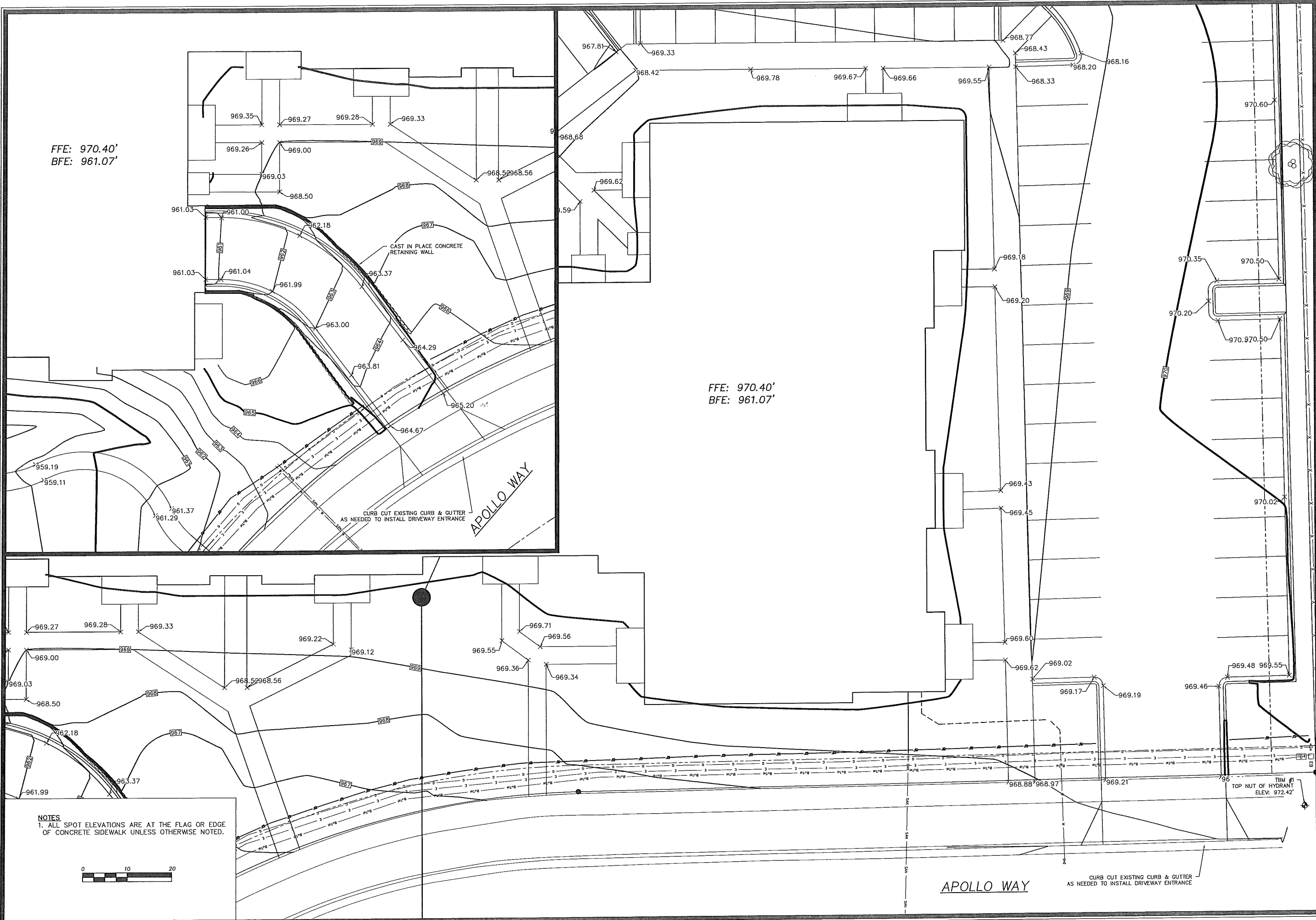
MARK	REVISION	DATE	BY
Engineer: SJA	Checked By:	Scale: SEE BAR SCALE	
Technician: NGO	Date: 08-14-2013	Field Bk:	Pg:

Project No: 113.0542.30
 Sheet C3.2

LOT 465 ~ 502 APOLLO WAY
 PROPOSED GRADING PLAN
 CITY OF MADISON, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
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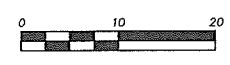
Project No: 113.0542.30
 Sheet C3.2



FFE: 970.40'
BFE: 961.07'

FFE: 970.40'
BFE: 961.07'

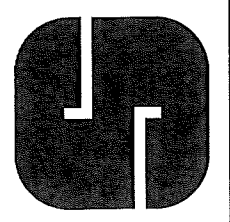
NOTES
1. ALL SPOT ELEVATIONS ARE AT THE FLAG OR EDGE OF CONCRETE SIDEWALK UNLESS OTHERWISE NOTED.



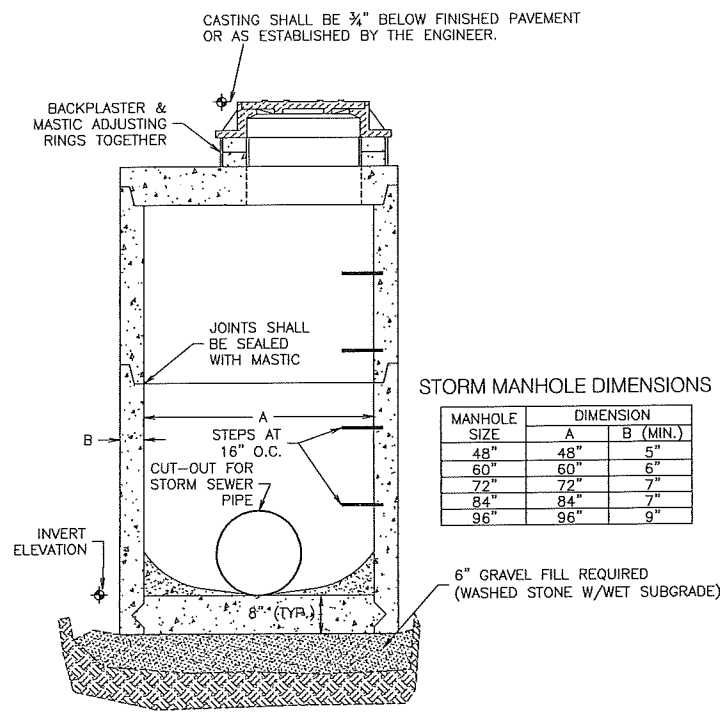
MARK	REVISION	DATE	BY

Engineer: SJA Checked By: Scale: SEE BAR SCALE
 Technician: NGO Date: 08-14-2013 Field Bk: Fig: Project No: 113.0542.30 Sheet C3.3

LOT 465 ~ 502 APOLLO WAY
 PROPOSED GRADING PLAN
 CITY OF MADISON, DANE COUNTY, WI
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Project No: 113.0542.30
 Sheet C3.3



STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1-2% AIR ENTRAINMENT.

MANHOLE STEPS SHALL CONFORM TO ASTM-C478 & SHALL BE NEENAH FOUNDRY R-1981-N OR APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.

ADJUST FRAME TO GRADE WITH AT LEAST TWO PRECAST CONCRETE RINGS OF DIFFERENT THICKNESSES. RINGS SHALL BE REINFORCED WITH ONE NO.3 STEEL BAR CENTERED WITHIN EACH RING.

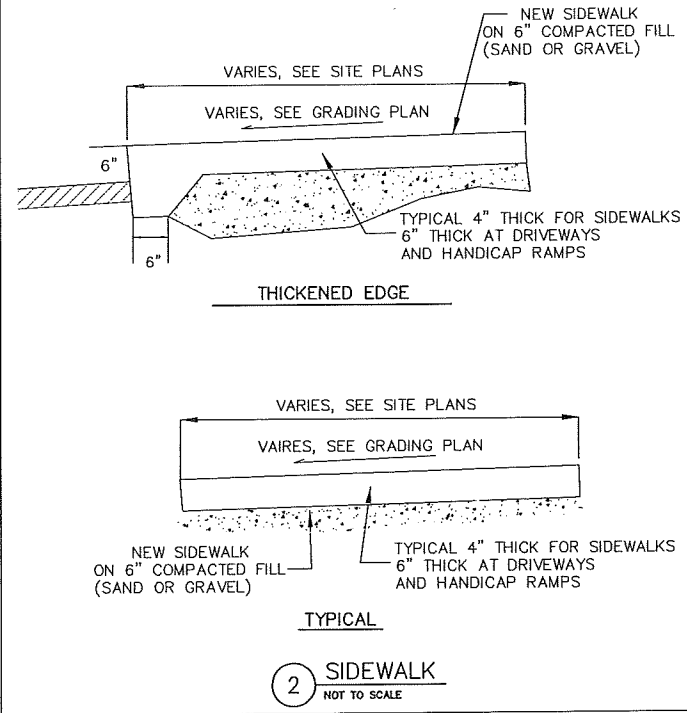
A MINIMUM OF 3" TO A MAXIMUM OF 9" OF ADJUSTING RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO THE FINISHED GRADE. ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE AND OUT WITH CEMENT MORTAR.

MANHOLE CASTING SHALL BE HEAVY DUTY, NEENAH FOUNDRY R-1550-A WITH TYPE "B" NON-ROCKING LID, GASKET SEAL AND CONCEALED PICKHOLES.

MANHOLE-TYPE CURB INLET CASTING SHALL BE NEENAH FOUNDRY R-3067 WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE CURB INLET.

A 2x3 LID OPENING IS REQUIRED FOR MANHOLE-TYPE CURB INLETS. ADJUSTING RINGS SHOULD THEN BE LIMITED TO 6" MAX.

1 STORM SEWER MANHOLE DETAILS
NOT TO SCALE



2 SIDEWALK
NOT TO SCALE

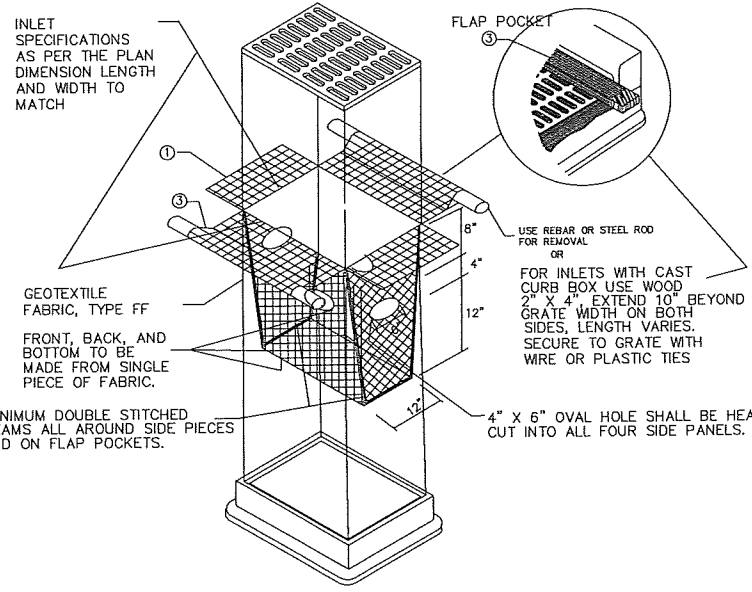
GENERAL NOTES:

TYPE D METAL CATCH ALL OR FLEX STORM

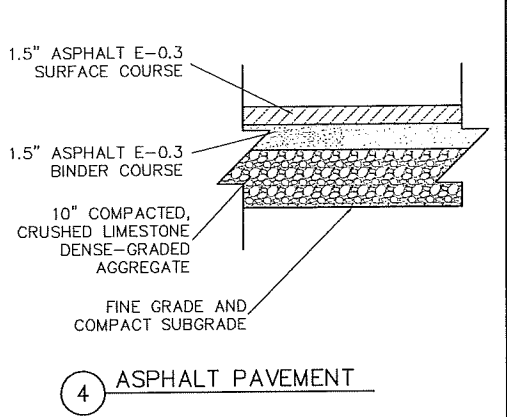
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT DIRECTION OF THE ENGINEER. CATCH-ALL INLET PROTECTION DEVICES OR EQUIVALENT AS APPROVED BY THE CITY ENGINEER MUST BE USED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET REMOVED IMMEDIATELY.

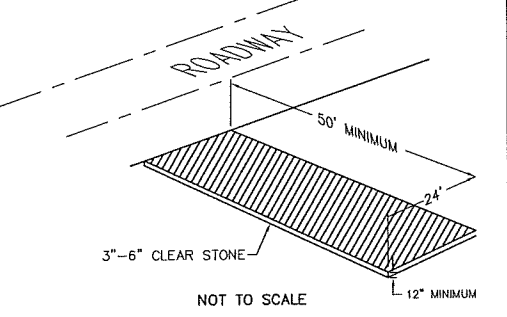
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



3 INLET PROTECTION, TYPE D
NOT TO SCALE



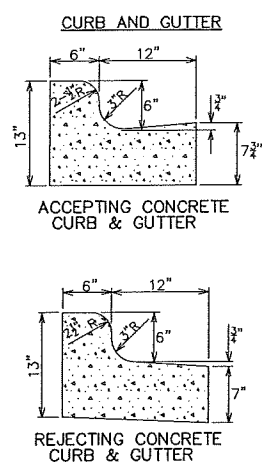
4 ASPHALT PAVEMENT



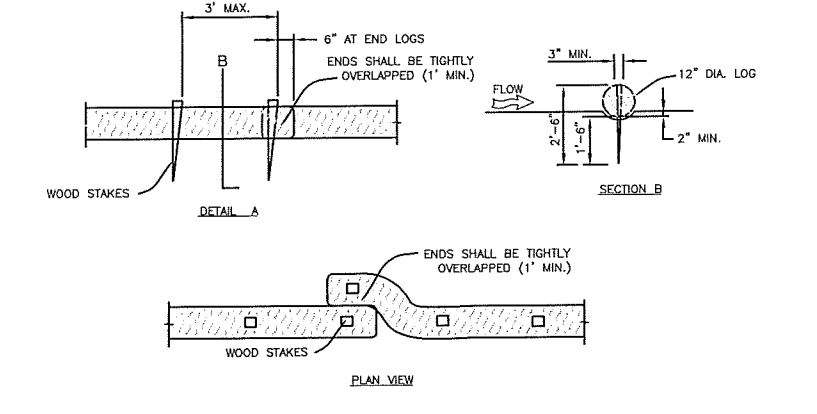
STONE CONSTRUCTION ENTRANCE GENERAL NOTES:

- CONTRACTOR SHALL PROVIDE STONE CONSTRUCTION ENTRANCE IN ACCORDANCE TO WSDNR TECHNICAL STANDARD NO. 1057.
- USE 3 TO 6 INCH CLEAR OR WASHED STONE. STONE SHALL BE A MINIMUM 12" THICK. LENGTH OF ENTRANCE SHALL BE 50' MINIMUM. IF SATURATED CONDITIONS ARE PRESENT THE PAD SHALL BE UNDERLAIN WITH WSDOT TYPE R GEOTEXTILE FABRIC.
- SURFACE WATER SHALL BE PREVENTED FROM PASSING THROUGH THE CONSTRUCTION ENTRANCE. FLOWS SHALL BE DIVERTED AROUND ENTRANCE AREA VIA OTHER PRACTICES.

5 STONE CONSTRUCTION ENTRANCE
NOT TO SCALE



6 CURB & GUTTER
NOT TO SCALE



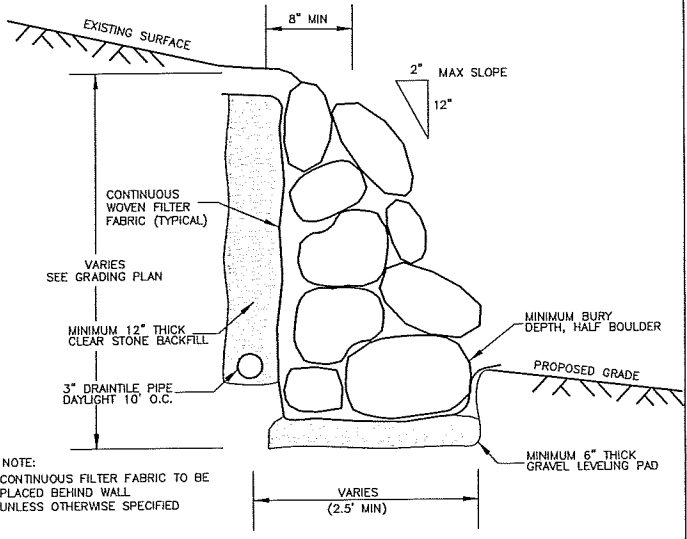
SEDIMENT LOG INSTALLATION NOTES

- SEE PLAN VIEW FOR THE LOCATION AND LENGTH OF SEDIMENT LOG.
- SEDIMENT LOG INDICATED ON INITIAL PLAN SHALL BE INSTALLED PRIOR TO ANY LAND-DISTURBING ACTIVITIES.
- SEDIMENT LOG SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR, OR COCONUT FIBER.
- NOT FOR USE IN CONCENTRATED FLOW AREAS.
- THE SILT SOCK SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1/2 OF THE DIAMETER OF THE LOG.

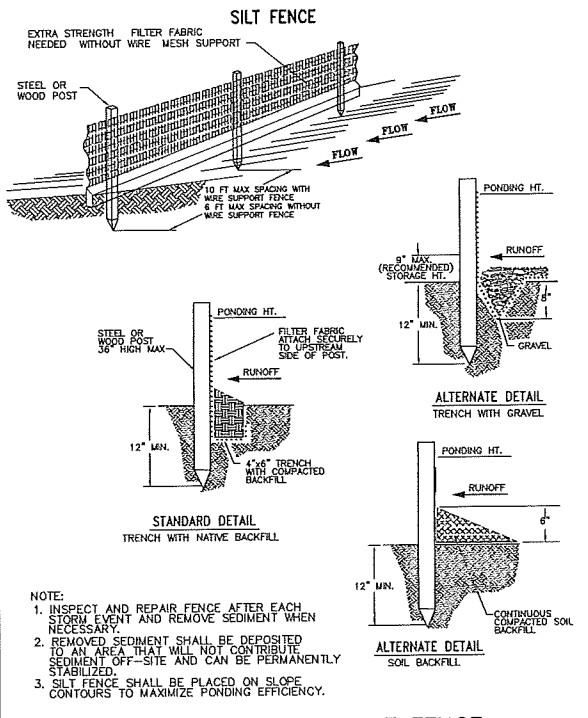
SEDIMENT LOG MAINTENANCE NOTES

- THE CONTRACTOR SHALL INSPECT SEDIMENT LOGS DAILY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.
- SEDIMENT ACCUMULATED UPSTREAM OF THE SEDIMENT LOG SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT DEPTH IS WITHIN 1/2 THE HEIGHT OF THE CREST OF LOG.
- SEDIMENT LOGS SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF ANY DISTURBED AREA EXISTS AFTER REMOVAL, IT SHALL BE DRILL SEEDED AND CRIMP MULCHED OR OTHERWISE STABILIZED.

7 SEDIMENT LOG



8 BOULDER RETAINING WALL
NOT TO SCALE



9 SILT FENCE
NOT TO SCALE

Construction Specifications

The height of a silt fence shall not exceed 36 inches. Storage height shall never exceed 18".

The fence line shall follow the contour as closely as possible.

If possible, the filter fabric shall be cut from a continuous roll to avoid the use of joints. When joints are necessary, filter cloth shall be spliced only at a support post, with a minimum 6-inch overlap and both ends securely fastened to the post.

Posts shall be spaced a maximum of 10 feet apart and driven securely to the ground (minimum of 12 inches). When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet.

The ends of the fence shall be turned uphill.

A trench shall be excavated approximately 4 inches wide and 6 inches deep along the line of posts and upslope from the barrier.

When standard-strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1 inch long, tie wires or hog rings. The wire shall extend into the trench a minimum of 2 inches and shall not extend more than 36 inches above the original ground surface.

The standard-strength filter fabric shall be stapled or wired to the fence, and 6 inches of the fabric shall extend into the trench. The fabric shall not extend more than 35 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.

When extra-strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts.

The trench shall be backfilled and/or the soil compacted over the top of the filter fabric. The filter fabric shall not be secured by sand bags.

Silt fences placed at the toe of a slope shall be set at least 6 feet from the toe in order to increase ponding volume.

Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized, and any sediment stored behind the silt fence has been removed.

Inspection and Maintenance

Silt fences and filter barriers shall be inspected weekly and after each significant storm (1" in 24 hr.). Any required repairs shall be made immediately.

Sediment shall be removed when it reaches 1/3 height of the fence or 9 inches maximum.

The removed sediment shall be vegetated or otherwise stabilized.

LOT 465 ~ 502 APOLLO WAY

PROJECT DETAILS

CITY OF MADISON, DANE COUNTY, WI

5010 VOGES ROAD
MADISON, WISCONSIN 53718
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SNYDER & ASSOCIATES, INC.

Project No: 113.0542.30

Sheet C4.0

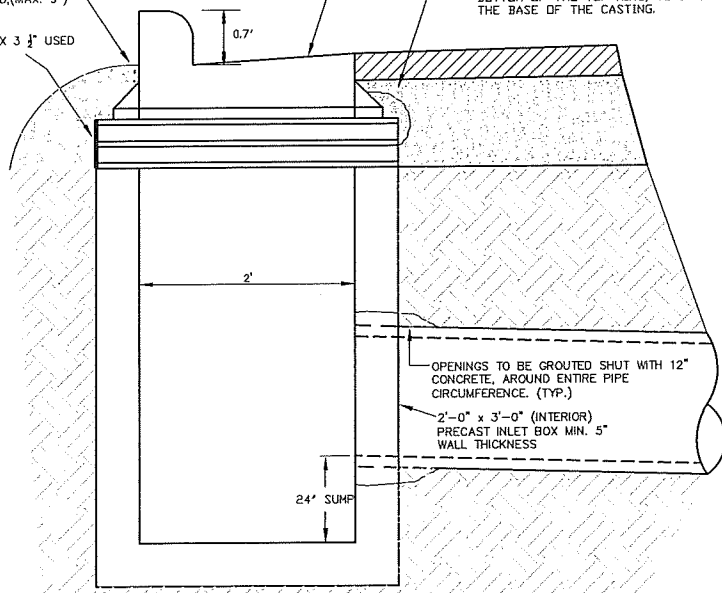
DATE BY
REVISION CHECKED BY
MARK: SJA
Engineer: SJA
Technician: NGO
Date: 08-14-2013
Scale: SEE BAR SCALE
Field Bk:
Page: 11

MOULD CONCRETE FROM 6" BELOW TOP OF CURB TO 6" BELOW INLET BOX. CONCRETE SHALL BE TOWELED SMOOTH.

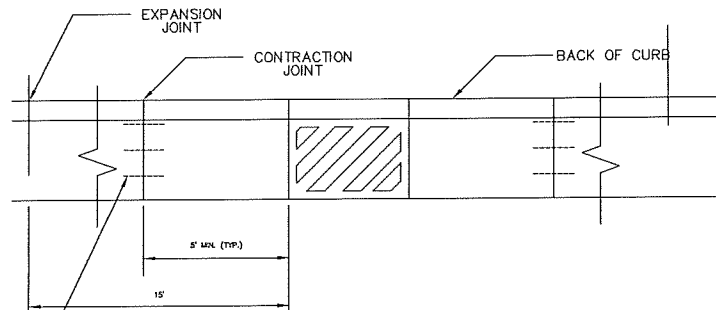
INLET FRAME AND CURB BOX SHALL BE NEENAH R-3067 WITH TYPE R-DIAGONAL REVERSIBLE GRATE & SHALL HAVE THE WORDS "DUMP NO WASTE - DRAINS TO STREAM" & 2 FISH LOGO PRINTED ON THEM.

IF SHIMMING IS NECESSARY BETWEEN THE TOP ADJUSTMENT RING AND CASTING, NO WOOD SHIMS ALLOWED. A CONCRETE COLLAR SHALL BE POURED FROM THE BOTTOM OF THE TOP RING, TO 2" ABOVE THE BASE OF THE CASTING.

PRECAST ADJUSTING RINGS, MINIMUM OF 4" ADJUSTMENT REQUIRED, (MAX. 9") AN ALL WEATHER, PRECOMPRESSED BUTYL SEALANT 3/8" X 3 1/2" USED BETWEEN EACH RING.

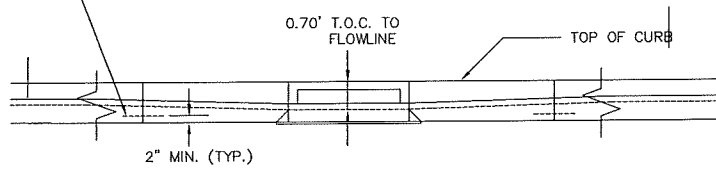


1 TYPICAL INLET DETAIL
NOT TO SCALE



INSTALL 3 - #4 X 1'-0" REBARS OR 2 - #6 X 1'-0" REBARS EQUALLY SPACED AT ANY COLD JOINTS ADJACENT TO INLET.

TOP VIEW



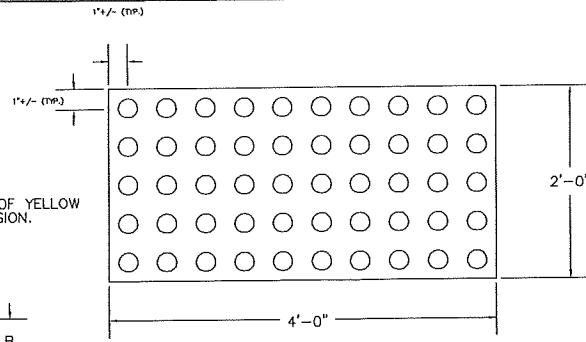
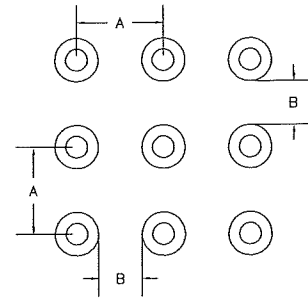
FRONT VIEW

NOTE: EXPANSION JOINT MATERIAL SHALL NOT BE PLACED WITHIN 15' OF ANY INLET.

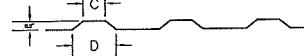
2 CONCRETE CURB & GUTTER - INLET DETAIL
NOT TO SCALE

	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"

* THE C DIMENSION IS 50% TO 65% OF YELLOW TRUNCATED DOMES PER THE D DIMENSION.

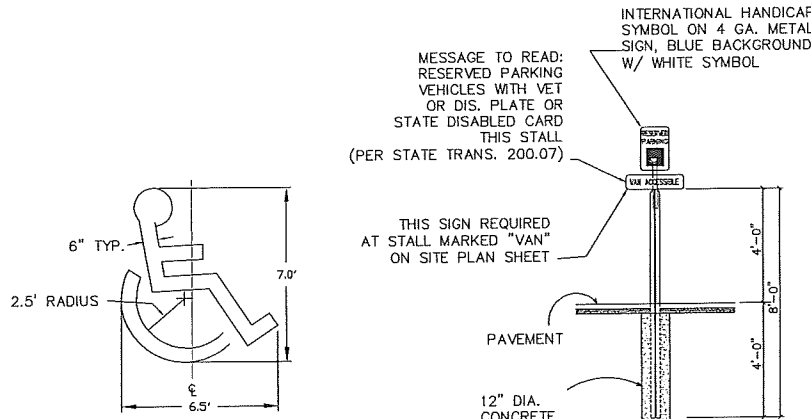


PLAN



SECTION

3 DETECTABLE WARNING FIELD



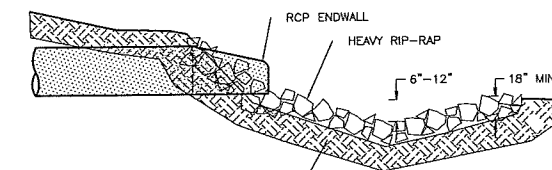
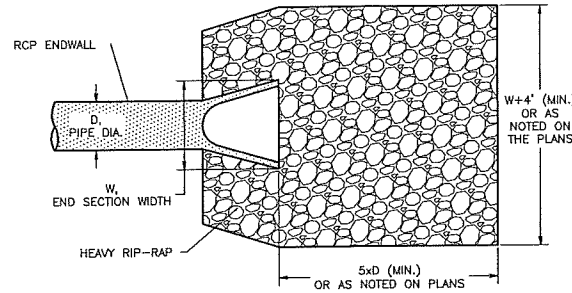
INTERNATIONAL HANDICAP SYMBOL ON 4 GA. METAL SIGN, BLUE BACKGROUND W/ WHITE SYMBOL
MESSAGE TO READ: RESERVED PARKING VEHICLES WITH VET OR DIS. PLATE OR STATE DISABLED CARD THIS STALL (PER STATE TRANS. 200.07)
THIS SIGN REQUIRED AT STALL MARKED "VAN" ON SITE PLAN SHEET
ACCESSIBLE SIGN (R7-8)

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

ACCESSIBLE PARKING SYMBOL
NOT TO SCALE

ACCESSIBLE PARKING POST DETAIL
NOT TO SCALE

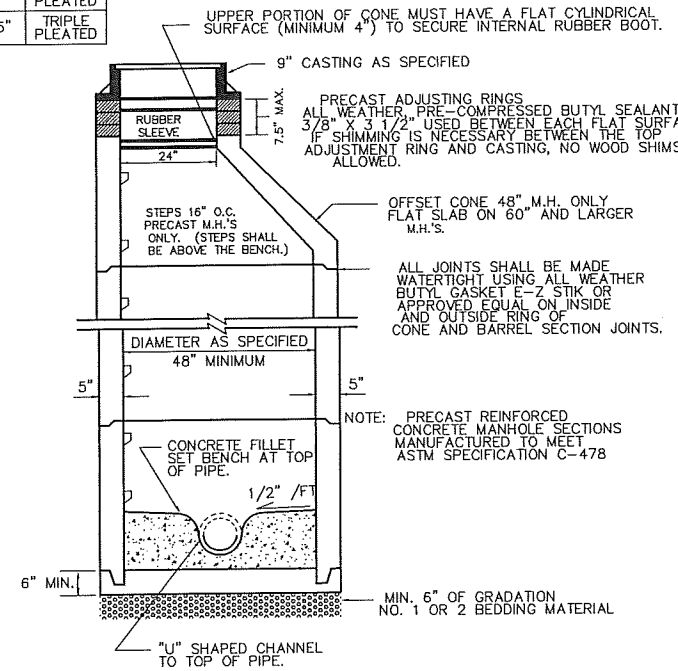
4 ACCESSIBLE PARKING



NOTE: RIP-RAP SHALL BE A MINIMUM OF 2 C.Y. PER ENDWALL.

5 ENDWALL RIP-RAP DETAIL
NOT TO SCALE

ADJUSTING RING HEIGHT	CHIMNEY SEAL
0" - 4.5"	DOUBLE PLEATED
4.5" - 7.5"	TRIPLE PLEATED



UPPER PORTION OF CONE MUST HAVE A FLAT CYLINDRICAL SURFACE (MINIMUM 4") TO SECURE INTERNAL RUBBER BOOT.

PRECAST ADJUSTING RINGS ALL WEATHER, PRE-COMPRESSED BUTYL SEALANT 3/8" X 3 1/2" USED BETWEEN EACH FLAT SURFACE. IF SHIMMING IS NECESSARY BETWEEN THE TOP ADJUSTING RING AND CASTING, NO WOOD SHIMS ALLOWED.

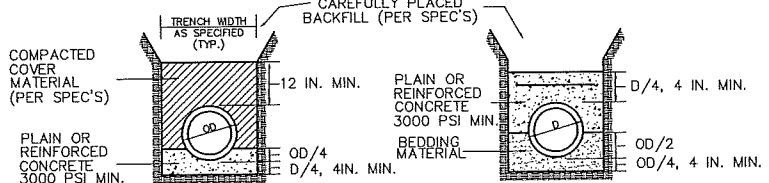
OFFSET CONE 48" M.H. ONLY FLAT SLAB ON 60" AND LARGER M.H.'S.

ALL JOINTS SHALL BE MADE WATER TIGHT USING ALL WEATHER BUTYL GASKET E-Z STIK OR APPROVED EQUAL ON INSIDE AND OUTSIDE RING OF CONE AND BARREL SECTION JOINTS.

NOTE: PRECAST REINFORCED CONCRETE MANHOLE SECTIONS MANUFACTURED TO MEET ASTM SPECIFICATION C-478

NOTE: THE ENGINEER MAY ALSO APPROVE THE USE OF STREET LOCATION INSTALLATIONS IN OTHER LOCATIONS.

6 STANDARD PRECAST SANITARY MANHOLE DETAIL
NOT TO SCALE

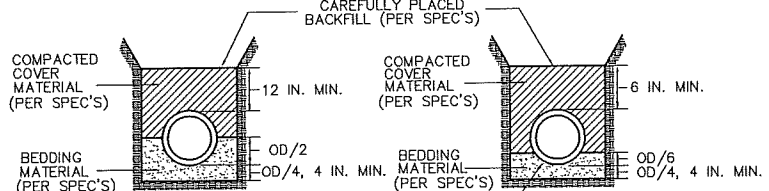


NOTE - MINIMUM WIDTH OF CONCRETE CRADLE = OD + 8 IN.

NOTE - MINIMUM WIDTH OF CONCRETE ARCH = OD + 8 IN.

CLASS A CONCRETE CRADLE

CLASS A-1 CONCRETE ARCH



CLASS B

CLASS C

NOTES:
ALL PVC AND ABS SEWER MAINS AND LATERALS SHALL BE CLASS "B" MIN., OR AS CALLED FOR IN THE SPECIAL PROVISIONS.
ALL BEDDING AND COVER MATERIALS SHALL BE AS SPECIFIED AND SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER.
UNDERCUT SHALL BE IN ACCORDANCE WITH SECTION 3 OF THE STORM AND SANITARY SEWER STANDARD SPECIFICATIONS.

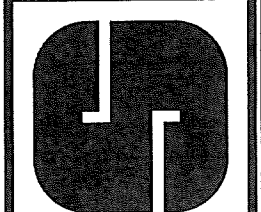
7 STORM AND SANITARY SEWER BEDDING STANDARDS
NOT TO SCALE

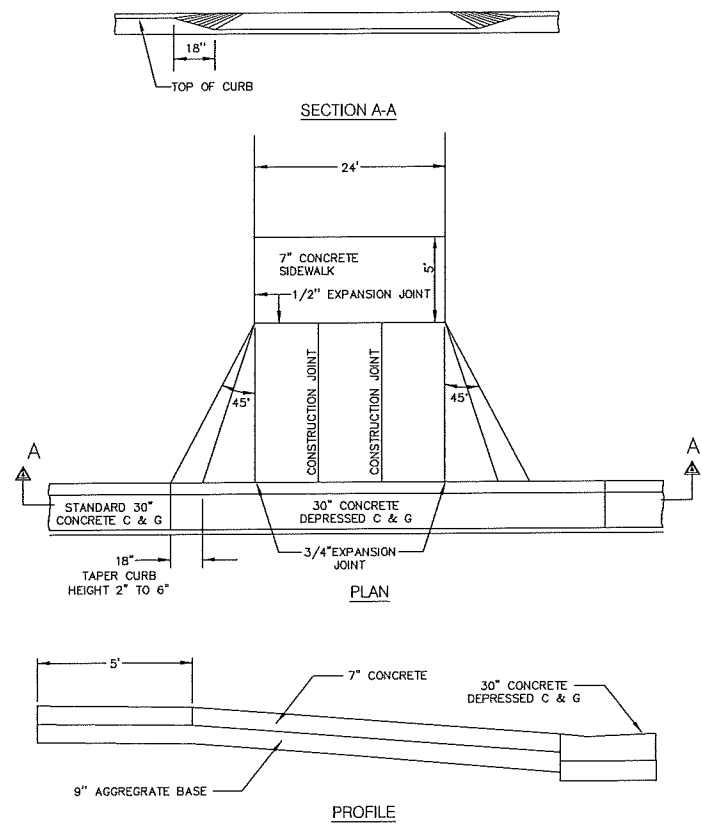
MARK	REVISION	DATE	BY

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Field Bc:
Project No: 113.0542.30
Sheet C4.1

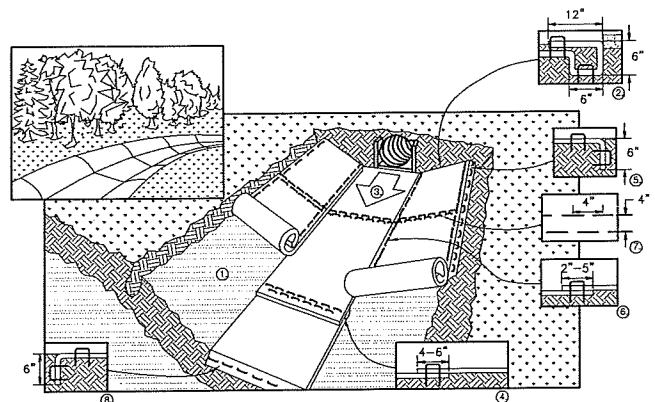
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LOT 465 ~ 502 APOLLO WAY
PROJECT DETAILS
SNYDER & ASSOCIATES, INC.



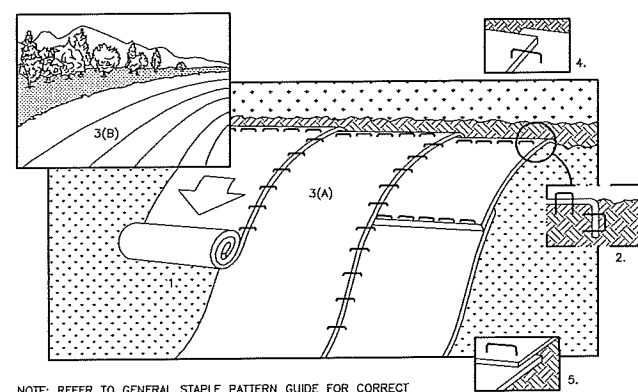


2 DRIVEWAY DETAIL
NOT TO SCALE



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
 2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
 4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
 5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 4" AND STAPLED.
 7. A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
 8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

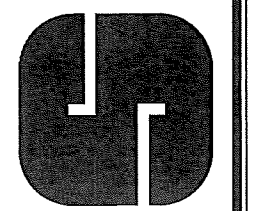
1 EROSION CONTROL MAT - INSTALLATION DETAILS
NOT TO SCALE



- NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
 5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
 6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

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Engineer: SJA	Checked By:	Scale: SEE BAR SCALE	
Technician: NGO	Date: 08-14-2013	Field Bk:	Pg:
Project No: 113.0542.30			Sheet C4.2

LOT 465 ~ 502 APOLLO WAY
PROJECT DETAILS
CITY OF MADISON, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com



BIO-RETENTION BASIN PLANTING NOTES

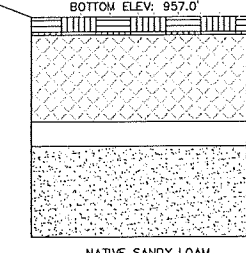
SOIL PREPARATION & GRADING

- UPON COMPLETION OF EXCAVATING & GRADING OPERATIONS, A LOOSE, FRIABLE SEEDBED SHALL BE PREPARED FOR INSTALLATION OF NATIVE SEED.
- CARE SHALL BE TAKEN TO MINIMIZE SOIL COMPACTION DURING CONSTRUCTION ACTIVITY. BY EXAMPLE OF A STANDARD SOIL PENETROMETER (COMPACTION TESTER), THE TOPSOIL COMPACTION READINGS SHALL BE LESS THAN 200 PSI AT THE 0-6 INCH DEPTH AND LESS THAN 250 PSI AT THE 6-18 INCH DEPTHS IN ALL AREAS TO BE SEED.
- PLANTING AND SEEDING AREAS SHOULD HAVE A MINIMUM OF 6 INCHES OF TOPSOIL. IF TOPSOIL FROM OFF SITE IS UTILIZED IT WILL BE TESTED FOR NUTRIENT CONTENT AND THE PRESENCE OF RESIDUAL HERBICIDE. THE TOPSOIL SHALL BE FREE OF HEAVY CLAY, REFUSE, STUMPS, LARGE ROOTS, ROCKS OVER 2 INCHES IN DIAMETER, WEEDS, OR OTHER EXTRANEOUS MATERIAL WHICH WOULD BE DETRIMENTAL TO GOOD SEED TO SOIL CONTACT AND THEREFORE SEED ESTABLISHMENT.
- UNDULATIONS OR IRREGULARITIES IN THE SEEDBED WHICH WOULD INTERFERE WITH A CONSISTENT SEEDING OPERATION SHALL BE LEVELLED PRIOR TO FINAL SEEDING.
- FINAL SEEDBED SHOULD BE GRADED SUCH THAT THE AREAS TO BE SEEDD CONSIST OF A SMOOTH, FREE DRAINING, EVEN SURFACE WITH A LOOSE POROUS TEXTURE.
- SPECIFIC SPECIES OR CONTAINER SIZE SUGGESTED SUBSTITUTIONS SHALL BE PRESENTED TO CONSULTANT ALONG WITH THE REASONS FOR THE SUGGESTIONS. WITH CONSULTANT OR PROJECT ENGINEER'S APPROVAL, SUBSTITUTIONS MAY BE MADE. IF SUBSTITUTIONS ARE MADE, CONTRACT PRICES MAY NEED TO BE ADJUSTED ACCORDINGLY.
- LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY CONSULTANT OR ENGINEER. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- ALL PLANTED MATERIALS WILL BE WARRANTED BY INSTALLATION CONTRACTOR TO BE IN HEALTHY CONDITION WITH A REPLACEMENT GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF PLANTING.
- NATIVE PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE MONTH PERIOD OR UNTIL GROUND FREEZE UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR PROJECT ENGINEER WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
- APPLY A SELECTIVE PRE-EMERGENT HERBICIDE TO ALL PLANTED AREAS UPON COMPLETION OF PLANT INSTALLATION. THE SELECTED HERBICIDE SHOULD PROVIDE CONTROL OF SEED GERMINATION IN THE AREAS PLANTED WITH LIVE PLANTS, BUT DO NO HARM TO THE NEWLY PLANTED PLANTS. THE SELECTED HERBICIDE SHOULD BE SHOWN ON THE LABEL TO BE ALLOWED TO BE USED AT LABEL RATES AT THE PROJECT LOCATION. THE SELECTED HERBICIDE SHOULD BE APPLIED IN ACCORDANCE WITH LOCAL RULES AND REGULATIONS AND BE SHOWN TO BE NON-HARMFUL TO THE ENVIRONMENT IF APPLIED UNDER THE CONDITIONS LISTED IN THIS SECTION.

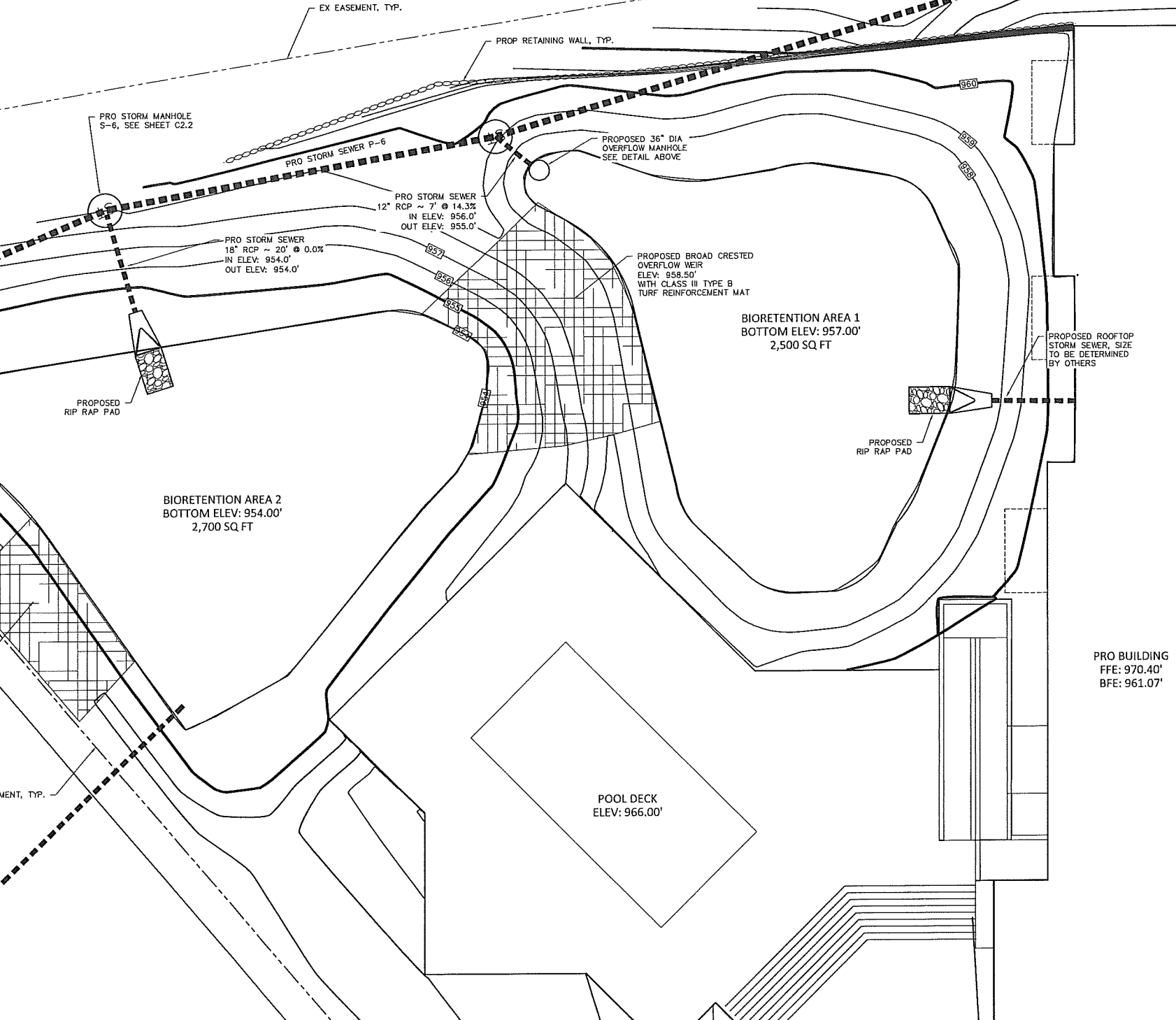
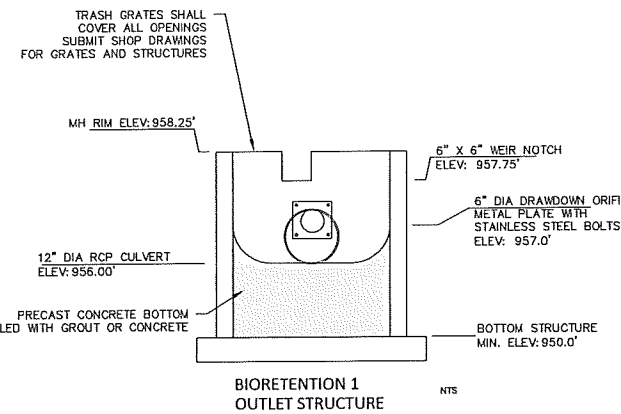
BIORETENTION NOTES:

- BIORETENTION SHALL CONFORM TO WIS. DNR TECH STANDARD 1004.
- ENGINEERED SOIL SHALL CONSIST OF 70%-85% SILICA SAND AND 15%-30% COMPOST WITH A PH OF 5.5-6.5
- SEE LANDSCAPE PLAN FOR BIORETENTION VEGETATION.
- BIORETENTION BASINS SHALL BE EXCAVATED AND USED AS SEDIMENT TRAPS DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION AND SITE STABILIZATION, THE BASINS SHALL BE OVER-EXCAVATED 3 FEET MINIMUM AND THEN THE SAND LAYER AND ENGINEERED SOIL SHALL BE PLACED TO WITHIN THREE INCHES OF FINAL GRADE. ONCE THE ENGINEERED SOIL IS PLACED, THREE INCHES OF HARDWOOD MULCH SHALL BE ADDED ON TOP OF THE ENGINEERED SOIL.
- BASED ON SOIL BORING RESULTS, NATIVE SAND AND GRAVELLY SOILS SHOULD BE PRESENT AT THE APPROXIMATE ELEVATION OF 957.0'. EXCAVATION SHALL BE DONE UNTIL THIS NATIVE LAYER OF SOILS IS ENCOUNTERED.

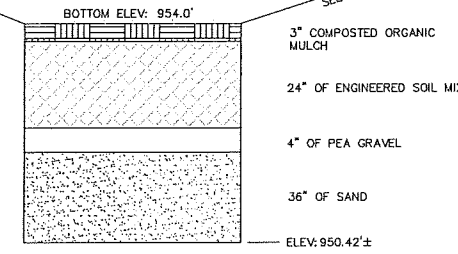
BIORETENTION VEGETATION



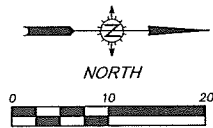
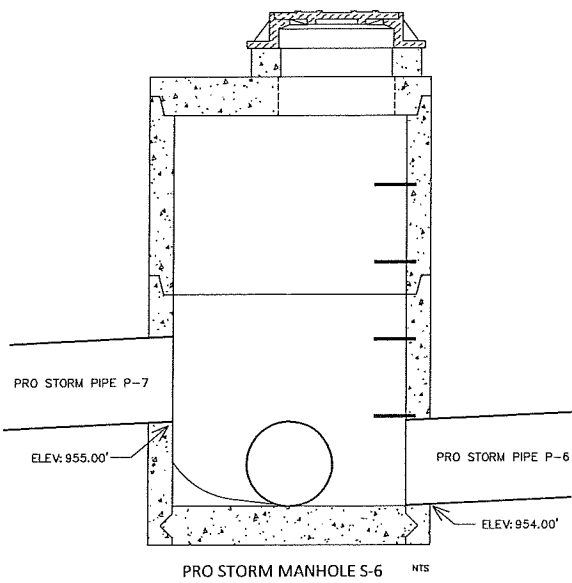
BIORETENTION 1 SOIL PROFILE



BIORETENTION VEGETATION



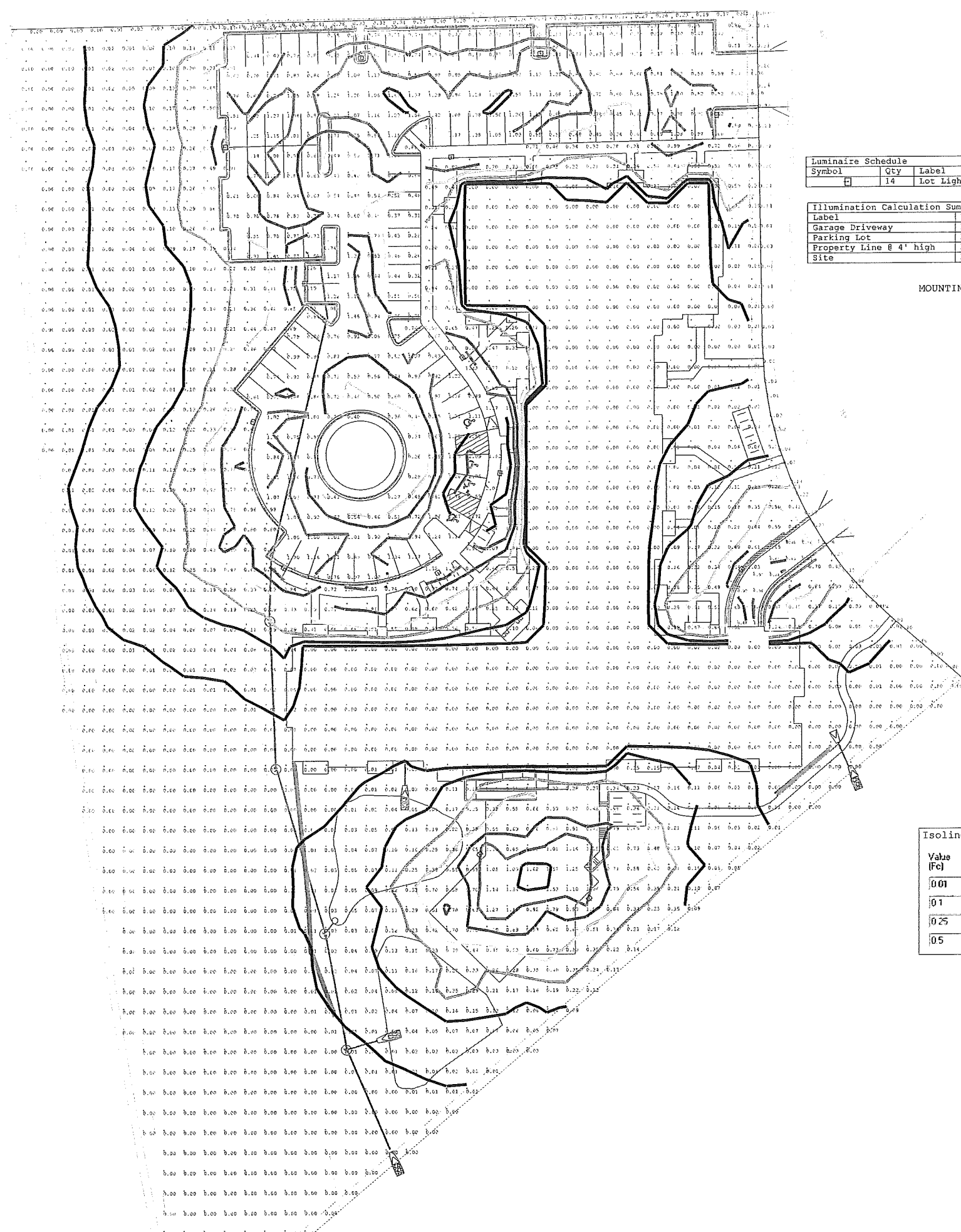
BIORETENTION 2 SOIL PROFILE



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Engineer: SJA	Checked By:	Scale: SEE BAR SCALE	Field Bk: Pgr.
Technician: NGO	Date: 08-14-2013	Project No: 113.0542.30	Sheet C5.0

LOT 465 ~ 502 APOLLO WAY
 CITY OF MADISON, DANE COUNTY, WI
 PROPOSED BIORETENTION DETAILS
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
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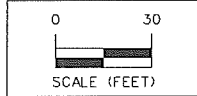
Project No: 113.0542.30
 Sheet C5.0



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
□	14	Lot Lighting	SINGLE	RUUD Lighting MPR1410-M (100W MH)

Illumination Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Garage Driveway	Fc	0.75	1.06	0.38	1.97	2.79
Parking Lot	Fc	0.84	2.59	0.26	3.23	9.96
Property Line @ 4' high	Fc	0.17	0.43	0.00	N.A.	N.A.
Site	Fc	0.16	2.01	0.00	N.A.	N.A.

MOUNTING HEIGHT - ALL FIXTURES AT 25 FT



Isoline Legend					
Value (Fc)	Color	Value (Fc)	Color	Value (Fc)	Color
0.01	[Dark Grey]	0.75	[Medium Grey]	2.5	[Light Grey]
0.1	[Dark Grey]	1	[Medium Grey]	3	[Light Grey]
0.25	[Dark Grey]	1.5	[Medium Grey]		
0.5	[Dark Grey]	2	[Medium Grey]		

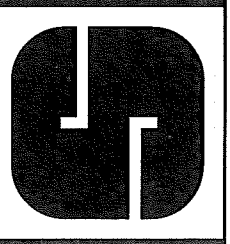

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

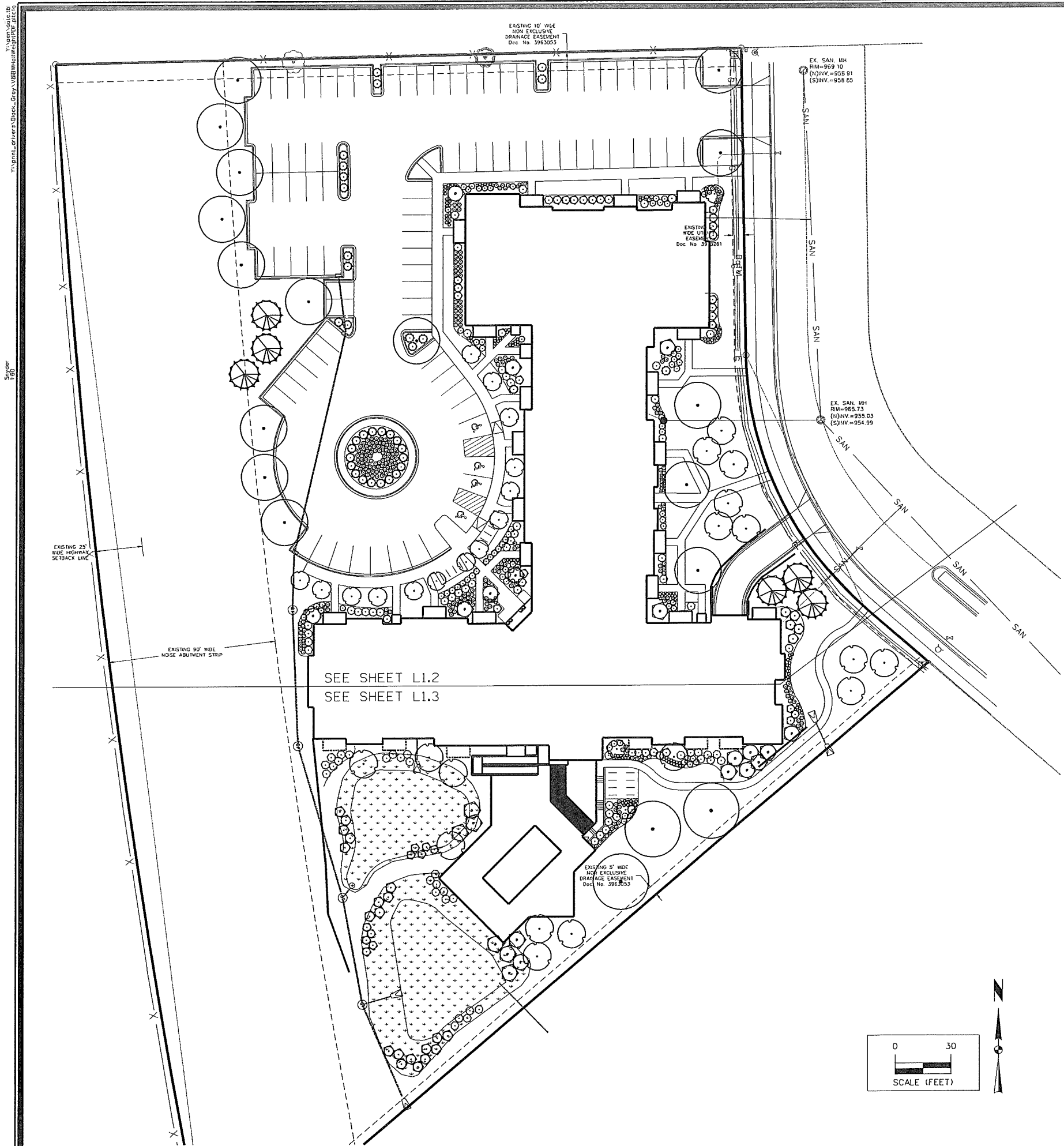
MARK	REVISION	DATE	BY

Checked By: SJA
 Engineer: SJA
 Scale: SEE SCHEDULE BAR
 Field Bk: Pg.

City of Madison, Dane County, WI
 Project No: 113.0542.30

LOT 465 ~ 502 APOLLO WAY
SITE LIGHTING LAYOUT
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com





PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
AS	Acer saccharum 'AutumnFest'	AUTUMN FEST MAPLE	2"	B&B
GD	Gymnocladus dioica	KENTUCKY COFFEE TREE 'ESPRESSO'	2"	B&B, SEEDLESS
GT	Gleditsia triacanthos 'Skyline'	SKYLINE HONEYLOCUST	2"	B&B
TREES				
AL	Amelanchier laevis 'Cumulus'	CUMULUS SERVICEBERRY	6' HT.	B&B
AC	Amelanchier canadensis	SERVICEBERRY	6' HT., MULTISTEM	B&B
MP	Morus 'Prairiefire'	PRAIRIEFIRE CRABAPPLE	6' HT.	B&B
PG	Picea glauca 'Densata'	BLACK HILLS SPRUCE	6' HT.	B&B
ORNAMENTAL TREES				
AA	Aronia arbutifolia 'Brilliantissima'	RED CHOKEBERRY 'BRILLIANTISSIMA'	36" HI.	CONT. (4' O.C.)
AM	Aronia melanocarpa 'Viking'	BLACK CHOKEBERRY 'VIKING'	24" HI.	CONT. (4' O.C.)
AW	Spiraea x bumalda 'Anthony Waterer'	ANTHONY WATERER SPIREA	24" HI.	CONT. (3' O.C.)
JH	Juriperus horizontalis 'Youngstown'	YOUNGSTOWN JUNPER	12" HI.	CONT. (5' O.C.)
RN	Rosa x 'Noleso'	FLOWER CARPET YELLOW ROSE	24" HI.	CONT. (2' O.C.)
SJ	Spiraea japonica 'Neon Flash'	NEON FLASH SPIREA	24" HI.	CONT. (2' O.C.)
PO	Physocarpus opulifolius 'Diabolo'	DIABOLO NINEBARK	36" HI.	CONT. (5' O.C.)
VC	Viburnum carlesii 'compactum'	COMPACT KOREANSPICE VIBURNUM	24" HI.	CONT. (5' O.C.)
VD	Viburnum dentatum 'Christom'	BLUE MUFFIN VIBURNUM	36" HI.	CONT. (5' O.C.)
VL	Viburnum lentago	NANNEYBERRY VIBURNUM	36" HI.	CONT. (7' O.C.)
SHRUBS				
EP	Echinacea purpurea	PURPLE CONEFLOWER	1 GAL.	CONT. (2' O.C.)
HA	Heuchera x 'Amethyst Mist'	AMETHYST MIST CORAL BELLS	1 GAL.	CONT. (2' O.C.)
HE	Hosta 'Empress Wu'	EMPRESS WU HOSTA	1 GAL.	CONT. (3' O.C.)
HN	Hosta 'Enterprise'	ENTERPRISE HOSTA	1 GAL.	CONT. (2' O.C.)
HR	Hemerocallis 'Rocket City'	ROCKET CITY DAYLILY	1 GAL.	CONT. (2' O.C.)
AF	Astilbe x arendsii 'Fana'	FANAL ASTILBE	1 GAL.	CONT. (2' O.C.)
PV	Panicum virgatum 'Northwind'	NORTHWIND SWITCH GRASS	1 GAL.	CONT. (2.5' O.C.)
SS	Schizanthus scapularium 'Carouse'	LITTLE BLUESTEM 'CAROUSEL'	1 GAL.	CONT. (2.5' O.C.)
SH	Sporobolus heterolepis	PRAIRIE DROPS EED	1 GAL.	CONT. (2.5' O.C.)
PERENNIALS				

PLANTING PLAN CONSTRUCTION NOTES

- SEED ALL OTHER AREA'S DISTURBED FROM CONSTRUCTION WITH GRASS SEED MIX IN ACCORDANCE WITH PROPOSED EROSION CONTROL PLAN; UNLESS, OTHERWISE NOTED.
- BIO-RETENTION AREAS TO BE SEEDED WITH RAINWATER RENEWAL GARDEN NATIVE SEED MIX, INCLUDES TILLING, SPREADING, FERTILIZING, WATERING, WEEDING AND OTHER ACTIVITIES AS REQUIRED TO ESTABLISH FINAL VEGETATION. SEED MIX SHALL CONSIST OF THE FOLLOWING:

 FORBS: MARSH MILKWEED, HEATH ASTER, NEW ENGLAND ASTER, WILD WHITE INDIGO, SPOTTED JOE PYE WEED, BONESET PRAIRIE BLAZING STAR, MARSH BLAZING STAR, CARDINAL FLOWER, GREAT BLUE LOBELIA, WILD BERGAMOT, OBEDIENT PLANT, MOUNTAIN MINT, YELLOW CONEFLOWER, BLACK-EYED SUSAN, SWEET BLACK-EYED SUSAN, OHIO GOLDENROD, SPIDERWORT, BLUE VERVAIN AND IRONWEED.

 GRASSES, SEDGES & RUSHES: FRINGED BROME, BLUE JOINT GRASS, BEBB-S SEDGE, CRAWFORD'S SEDGE, FRINGED SEDGE, COMMON FOX SEDGE, CANADA WILD RYE, VIRGINIA WILD RYE, REED MANNA GRASS, SWITCH GRASS, DARK-GREEN BULLRUSH, WOOL GRASS, INDIAN GRASS, PRAIRIE CORD GRASS.

 SEEDING RATE TO BE 8 LBS. PER ACRE. SEED MIX MAY BE OBTAINED FROM AGRECOL, LLC, WWW.AGRECOL.COM, 1-800-223-3571, (AGRECOL, LLC, 10101 NORTH CASEY ROAD, EVANSVILLE, WI 53536) OR APPROVED EQUAL. ALLOWABLE SEEDING DATES SHALL BE DETERMINED BY THE MANUFACTURER'S RECOMMENDATION.

 SEE PROPOSED STORMWATER DETAILS FOR SOIL MIX AND ADDITIONAL INFORMATION.
- BIO-RETENTION AREAS SHALL ALSO BE PLANTED WITH CONTAINER PLUG PLANTINGS. PLUGS TO BE PLACED RANDOMLY, IN GROUPS OF 3, 5 AND 7. PLUGS SHOULD BE 1.5"X1.5"X3" PLUGS PLANTED 18" O.C. PLUG MIX SHALL CONSIST OF THE FOLLOWING:

 LAVENDER HYSSOP, HEATH ASTER, HARY WOOD MINT, BRISTLY SEDGE, PORCUPINE SEDGE, BROWN FOX SEDGE, PURPLE CONEFLOWER, BONESET, RATTLESNAKE GRASS, SOUTHERN BLUE FLAG IRIS, MARSH BLAZING STAR, GREAT BLUE LOBELIA, MOUNTAIN MINT, OHIO GOLDENROD, BLUE VERVAIN, HEART-LEAVED GOLDEN ALEXANDERS.

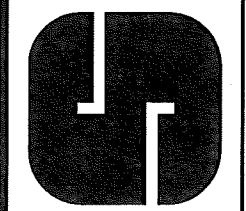
MARK	REVISION	DATE	BY
Engineer: MC	Checked By: DFM	Scale: 1"=10'	See Plan
Technician: DEG	Date: 9-3-13	Field Bk:	Pg:
Project No: 113.0542.30			Sheet L-1.1

LOT 465 ~ 502 APOLLO WAY
 PROPOSED LANDSCAPE PLAN
 CITY OF MADISON, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-438-0444 | www.snyder-associates.com

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Wisconsin.

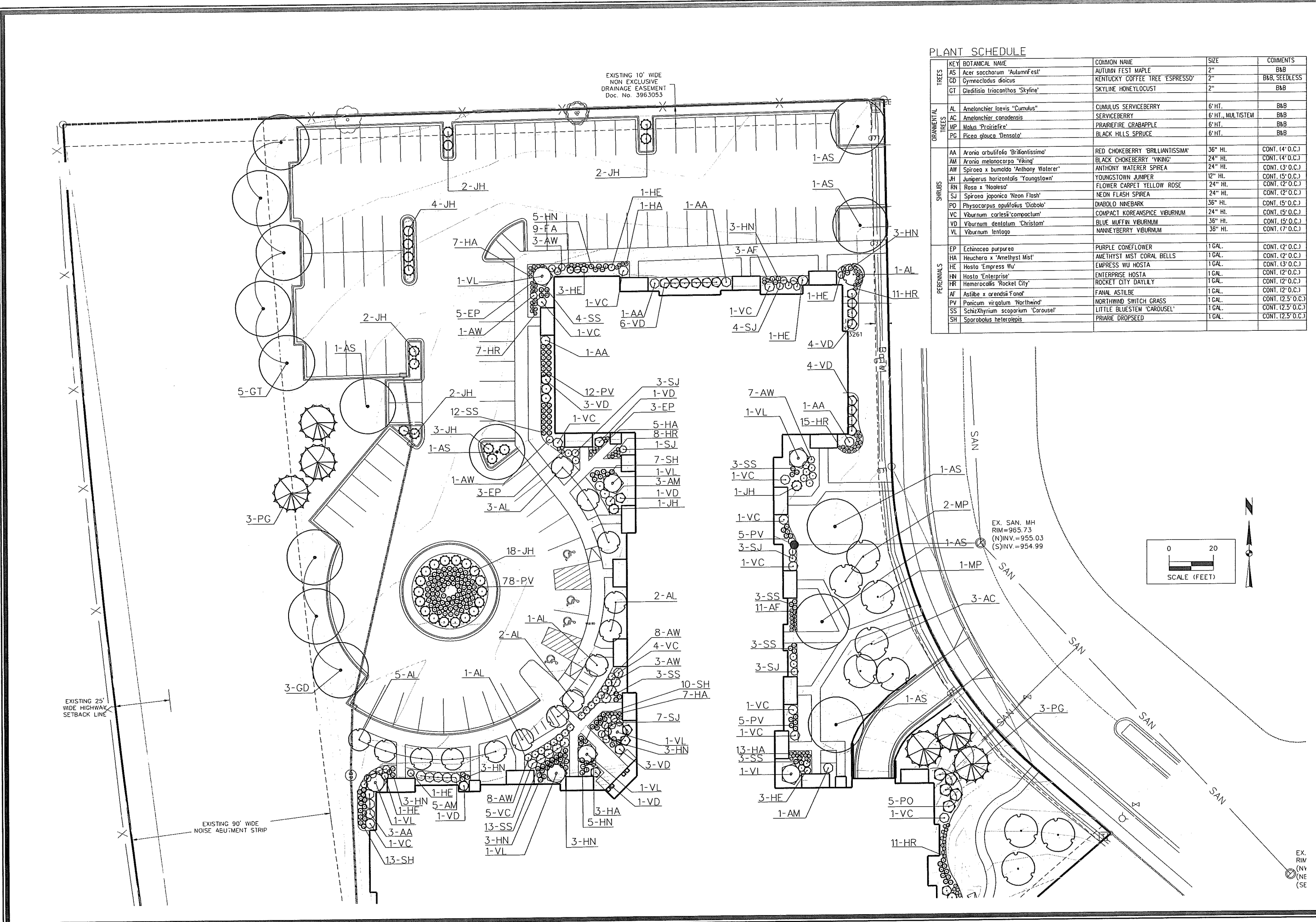
Donald P. Marner, ASLA Date _____
 License Number LA-643-014
 Pages or sheets covered by this seal: _____

License Expires: July 31, 2014



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Printer
7/10



PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
AS	<i>Acer saccharum</i> 'AutumnFest'	AUTUMN FEST MAPLE	2"	B&B
CD	<i>Gymnocladus dioica</i>	KENTUCKY COFFEE TREE 'ESPRESSO'	2"	B&B, SEEDLESS
GT	<i>Gleditsia triacanthos</i> 'Skyline'	SKYLINE HONEYLOCUST	2"	B&B
TREES				
AL	<i>Amelanchier laevis</i> 'Cumulus'	CUMULUS SERVICEBERRY	6' HT.	B&B
AC	<i>Amelanchier canadensis</i>	SERVICEBERRY	6' HT., MULTISTEM	B&B
MP	<i>Morus</i> 'Prairiefire'	PRAIRIEFIRE CRABAPPLE	6' HT.	B&B
PG	<i>Picea glauca</i> 'Densata'	BLACK HILLS SPRUCE	6' HT.	B&B
ORNAMENTAL TREES				
AA	<i>Aronia arbutifolia</i> 'Brilliantissima'	RED CHOKEBERRY 'BRILLIANTISSIMA'	36" HL.	CONT. (4' O.C.)
AM	<i>Aronia melanocarpa</i> 'Viking'	BLACK CHOKEBERRY 'VIKING'	24" HL.	CONT. (4' O.C.)
AW	<i>Spiraea x bumalda</i> 'Anthony Waterer'	ANTHONY WATERER SPIREA	24" HL.	CONT. (3' O.C.)
JH	<i>Juniperus horizontalis</i> 'Youngstown'	YOUNGSTOWN JUMPER	12" HL.	CONT. (5' O.C.)
RN	<i>Rosa</i> x 'Noleso'	FLOWER CARPET YELLOW ROSE	24" HL.	CONT. (2' O.C.)
SJ	<i>Spiraea japonica</i> 'Neon Flash'	NEON FLASH SPIREA	24" HL.	CONT. (2' O.C.)
PO	<i>Physocarpus opulifolius</i> 'Diabolo'	DIABOLO NINEBARK	36" HL.	CONT. (5' O.C.)
VC	<i>Viburnum carlesii</i> 'compactum'	COMPACT KOREANSPICE VIBURNUM	24" HL.	CONT. (5' O.C.)
VD	<i>Viburnum dentatum</i> 'Christom'	BLUE MUFFIN VIBURNUM	36" HL.	CONT. (5' O.C.)
VL	<i>Viburnum lentago</i>	NAWNEYBERRY VIBURNUM	36" HL.	CONT. (7' O.C.)
SHRUBS				
EP	<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	1 GAL.	CONT. (2' O.C.)
HA	<i>Heuchera</i> x 'Amethyst Mist'	AMETHYST MIST CORAL BELLS	1 GAL.	CONT. (2' O.C.)
HE	<i>Hosta</i> 'Empress Wu'	EMPRESS WU HOSTA	1 GAL.	CONT. (3' O.C.)
HN	<i>Hosta</i> 'Enterprise'	ENTERPRISE HOSTA	1 GAL.	CONT. (2' O.C.)
HR	<i>Hemerocallis</i> 'Rocket City'	ROCKET CITY DAYLILY	1 GAL.	CONT. (2' O.C.)
AF	<i>Astilbe</i> x 'orendii Tonal'	FANAL ASTILBE	1 GAL.	CONT. (2' O.C.)
PV	<i>Panicum virgatum</i> 'Northwind'	NORTHWIND SWITCH GRASS	1 GAL.	CONT. (2.5' O.C.)
SS	<i>Schizanthus scoparium</i> 'Carousel'	LITTLE BLUESTEM 'CAROUSEL'	1 GAL.	CONT. (2.5' O.C.)
SH	<i>Sporobolus heterolepis</i>	PRAIRIE DROPSEED	1 GAL.	CONT. (2.5' O.C.)
PERENNIALS				

LOT 465 ~ 502 APOLLO WAY

PROPOSED LANDSCAPE PLAN

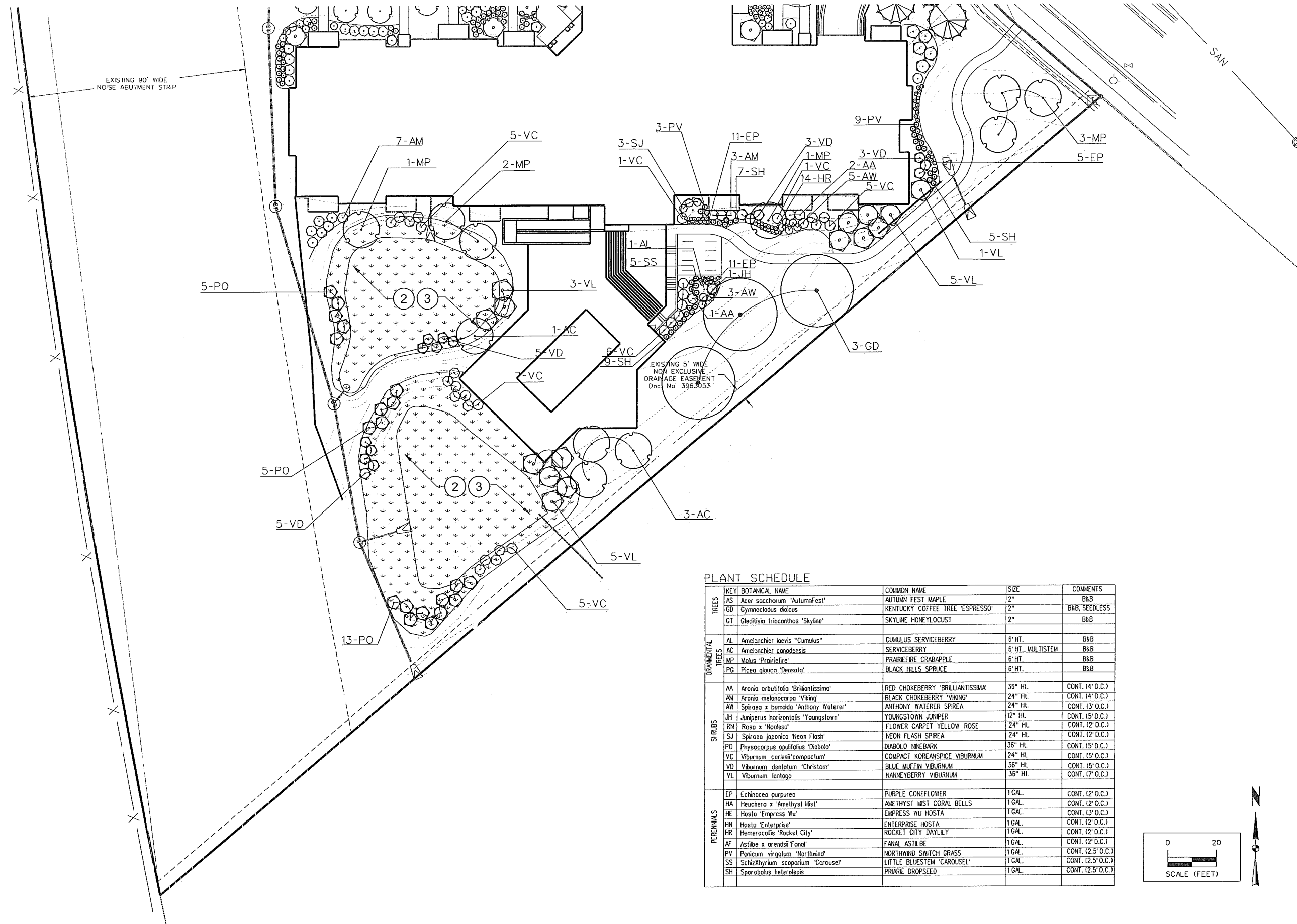
SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

CITY OF MADISON, DANE COUNTY, WI

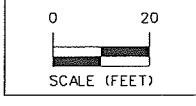
Project No: 113.0542.30
Sheet L-1.2

DATE BY
REVISION Scale: See Plan
Checked By: DFM
Date: 9-3-13
Field Bk: Pg:
Engineer: MC
Technician: DEG



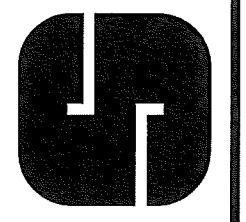
PLANT SCHEDULE

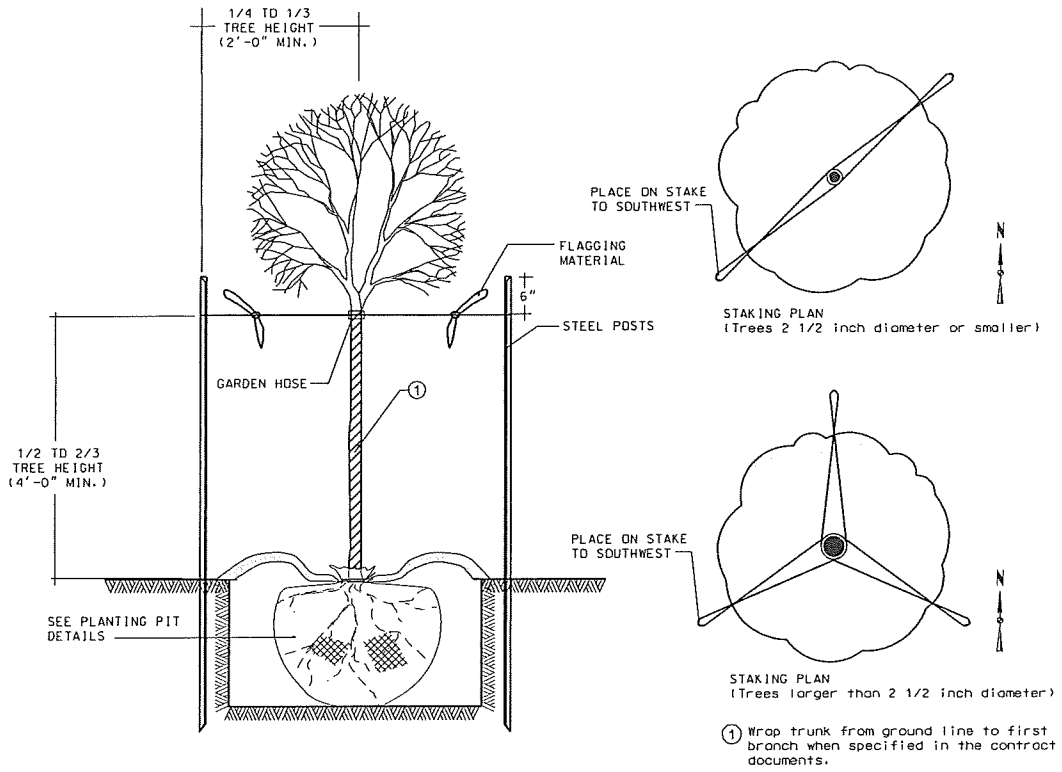
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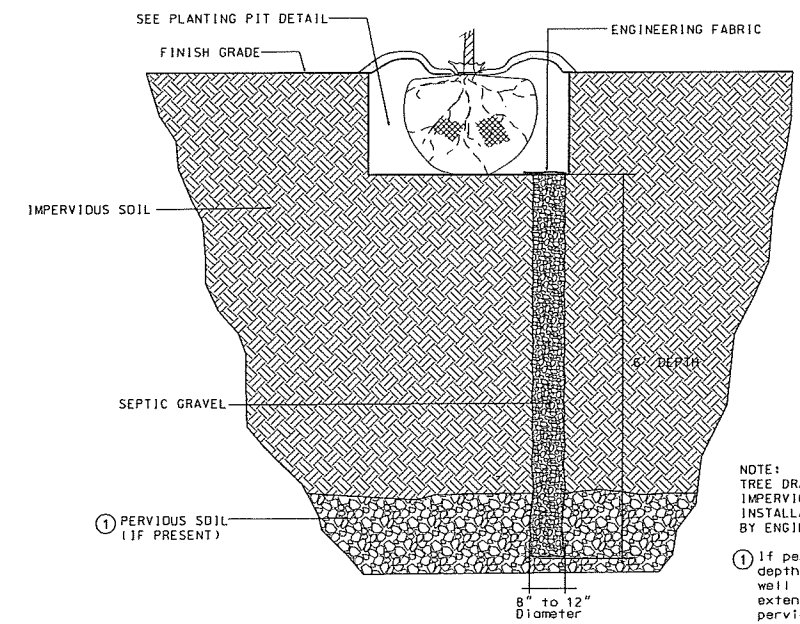
MARK	REVISION	DATE	BY
Engineer: MC	Checked By: DPM	Scale: See Plan	
Technician: DEG	Date: 9-3-13	Field Bk:	
Project No: 113.0542.30			Sheet L-1.3

LOT 465 ~ 502 APOLLO WAY
 CITY OF MADISON, DANE COUNTY, WI
 PROPOSED LANDSCAPE PLAN
SNYDER & ASSOCIATES, INC.
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 MADISON, WISCONSIN 53718
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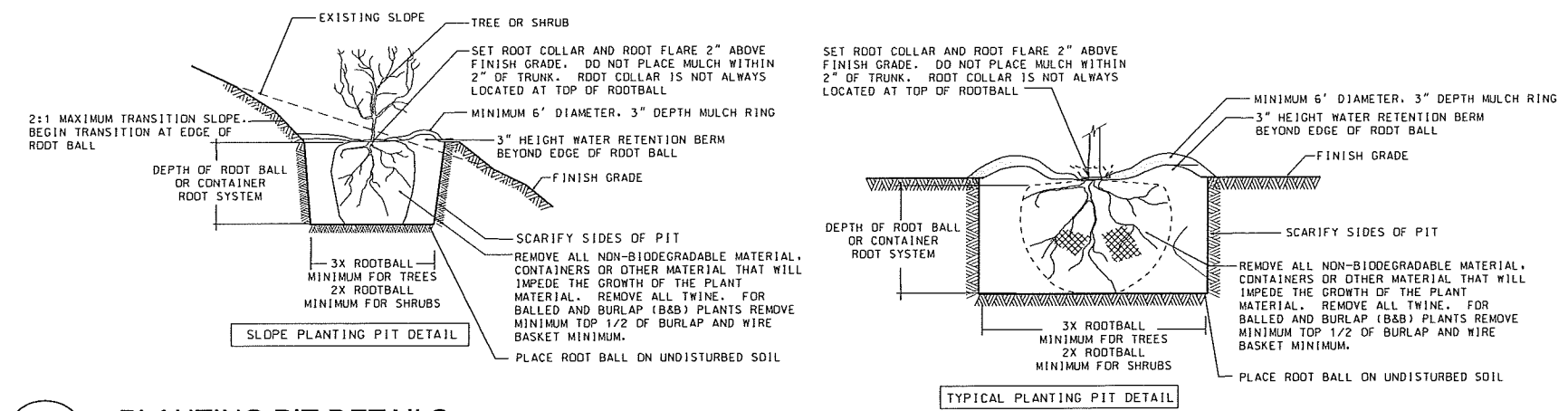




1
L1.2 DECIDUOUS TREE STAKING DETAIL
 NO SCALE



2
L1.2 TREE DRAINAGE WELL DETAIL
 NO SCALE



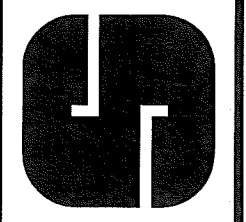
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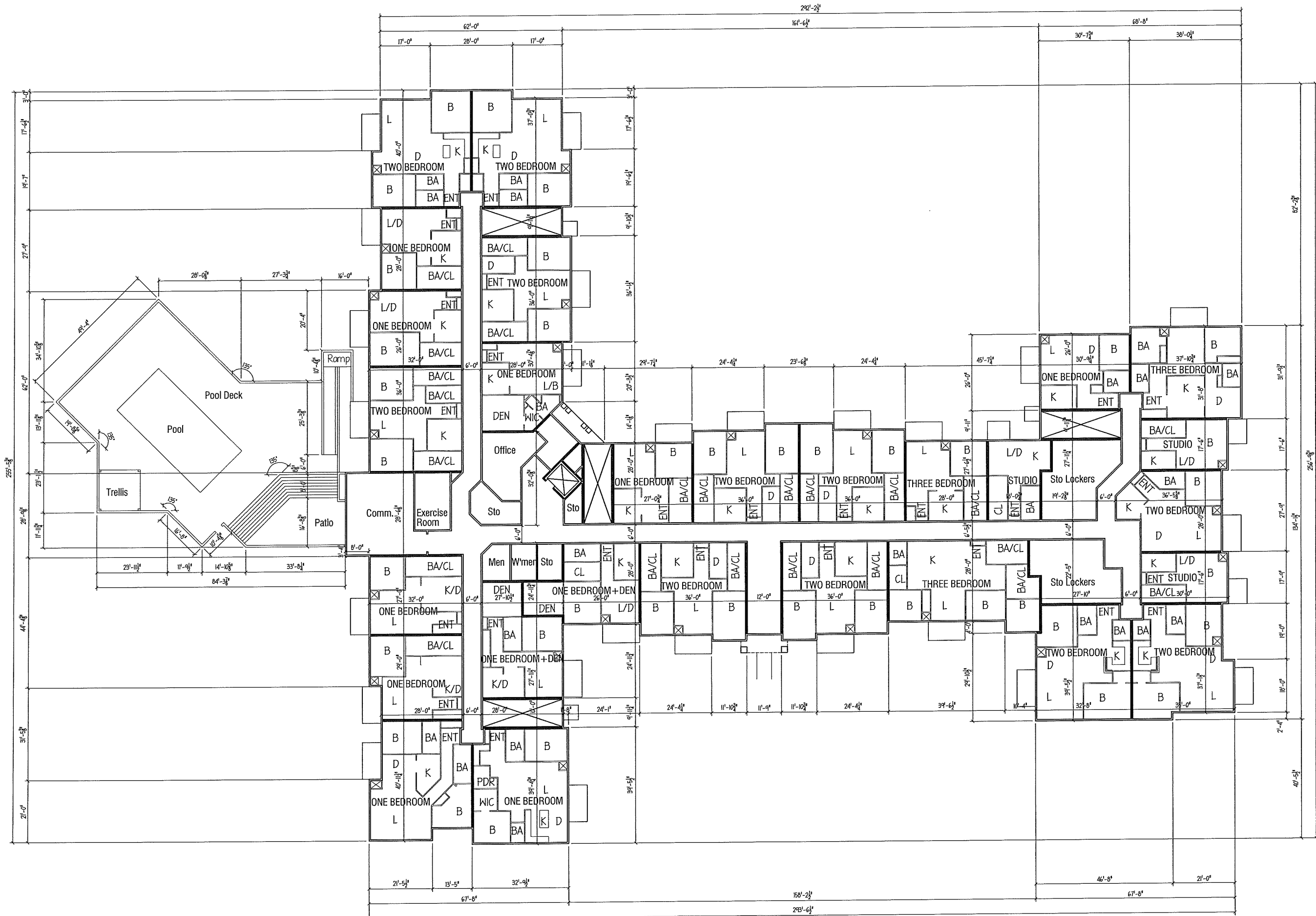
PLANTING PLAN GENERAL NOTES


- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXXT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXXT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRXTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRXTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. PLANT MATERIAL SHALL BE PROVIDED AND INSTALLED IN XCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 2015 ADDITION.
- D. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- E. CONTRXTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FORM DATE OF PROJECT XCEPTANCE.
- F. CONTRXTOR SHALL PROPERLY CARE FOR ALL PLANT MATERIAL DURING CONSTRUCTION AND FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT XCEPTANCE.
- G. HARDWOOD MULCH: PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MIN. 3-FOOT PERMETER. PROVIDE CONTINUOUS MULCH BEDS AROUND ADJXENT SHRUB PLANTINGS AND ALL AREAS INDICATED ON THE PLAN. MULCH SHALL NOT BE PLXED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE. CONTRXTOR TO PROVIDE A CLEAN VERTICAL CUT EDGE TO 4" DEPTH INTO EXISTING GRADE TO DEFINE THE PLANTING BED LIMITS, UNLESS OTHERWISE DIRECTED BY OWNER.
- H. CONTRXTOR TO PROVIDE A SAMPLE OF EDGING AND MULCH FOR APPROVAL.
- I. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- J. ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- K. PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIALS IS NOT PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. OWNER HAS THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- L. TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BXX FILLING.
- M. ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.

REVISION	DATE	BY
1.	01-31-13	DEC
MARK	Engineer:	MC
Checked By:	DPM	Scale:
See Plan	Field Bk:	Pg.
Date:	9-3-13	
Project No:	113.0542.30	Sheet
		L-1.4

LOT 465 ~ 502 APOLLO WAY
 CITY OF MADISON, DANE COUNTY, WI
 PLANTING DETAILS AND GENERAL NOTES
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First Floor Plan
 SCALE - 1/16" = 1'-0" (1/32" = 1'-0" @ 11x17)

Lot 465
502 Apollo Way
Grandview Commons
Madison, Wisconsin


Plan Comm. Submittal
 09-04-2013

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Drawing Name
First Floor Plan
2nd & 3rd Floor
Sim.

Project Number	Sheet No.
1307	A-1.1




Second Floor Plan
 SCALE - 1/16" = 1'-0" (1/32" = 1'-0" @ 11x17)

Lot 465
502 Apollo Way
Grandview Commons
Madison, Wisconsin

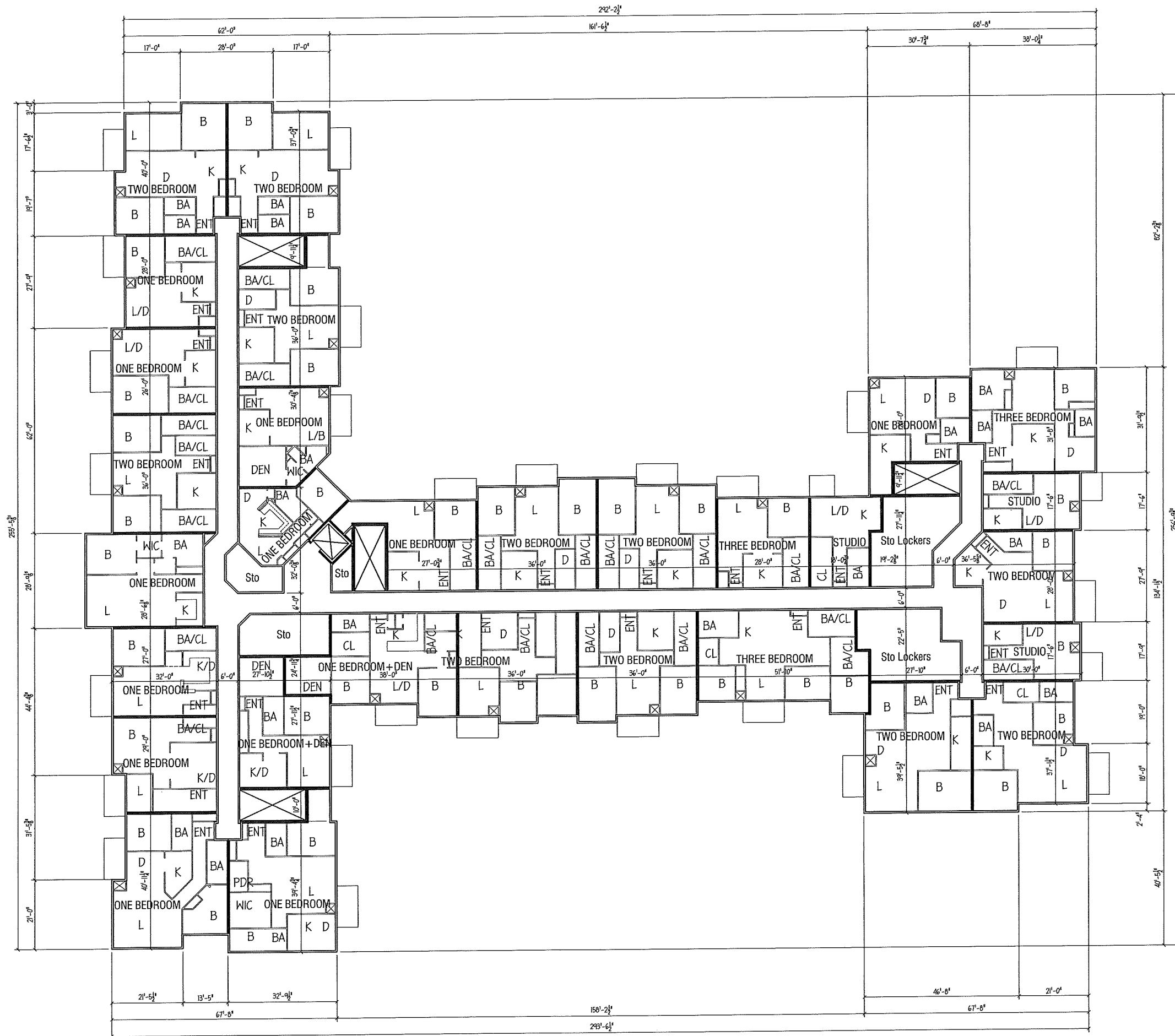
Plan Comm. Submittal
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Drawing Name
Second Floor Plan

Project Number
1307

Sheet No.
A-1.2




Third Floor Plan
 SCALE - 1/16" = 1'-0" (1/32" = 1'-0" @ 11x17)



550 Sunrise Drive, Suite 201
 Post Office Box 1024
 Spring Green, WI 53588
 Phone: 608-588-3691
 Fax: 608-588-3582

Lot 465
502 Apollo Way
Grandview Commons
Madison, Wisconsin

Plan Comm. Submittal
 09-04-2013

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Drawing Name
Third Floor Plan

Project Number
1307

Sheet No.
A-1.3



Fourth Floor Plan
 SCALE - 1/16" = 1'-0" (1/32" = 1'-0" @ 11x17)



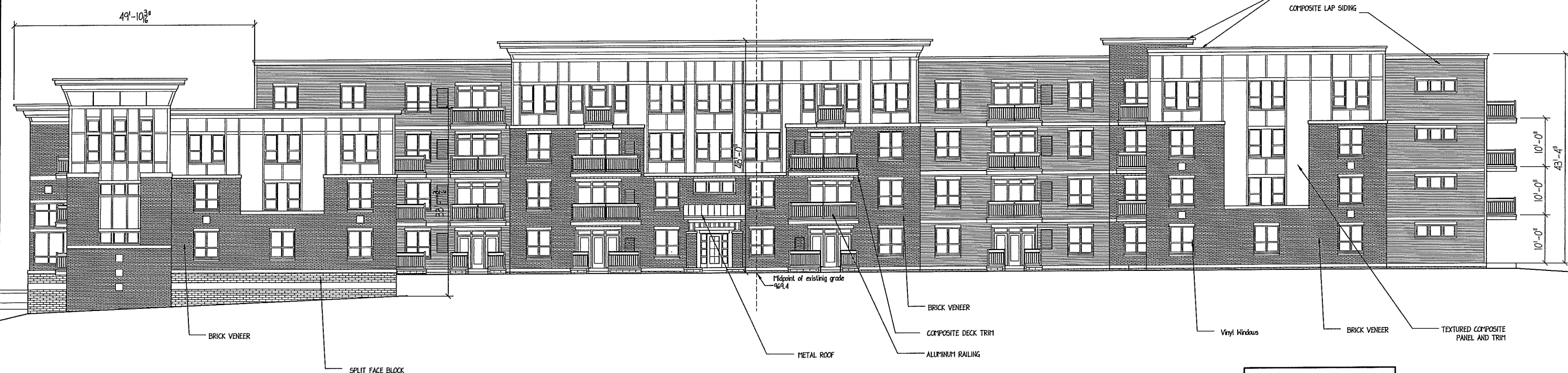
550 Sunrise Drive, Suite 201
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Lot 465
 502 Apollo Way
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 Madison, Wisconsin

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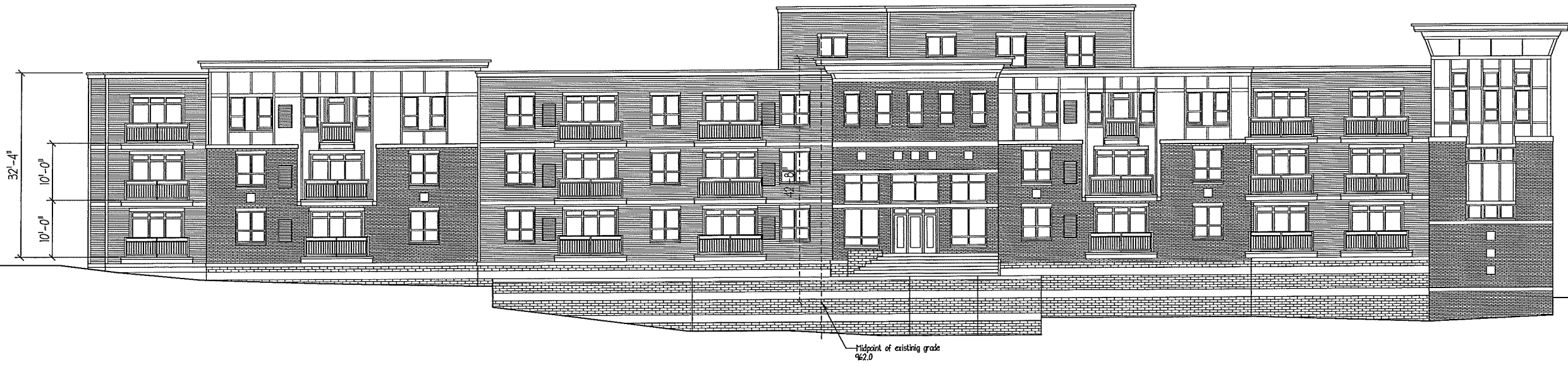
Drawing Name
Fourth Floor Plan

Project Number	Sheet No.
1307	A-1.4



EAST ELEVATION
SCALE - 3/32" = 1'-0"

BUILDING HEIGHT CALCULATION	
EAST ELEVATION	= 48'-0"
NORTH ELEVATION	= 44'-4"
WEST ELEVATION	= 45'-0"
SOUTH ELEVATION	= 42'-8"
AVERAGE	= 45'-0"



SOUTH ELEVATION
SCALE - 3/32" = 1'-0"

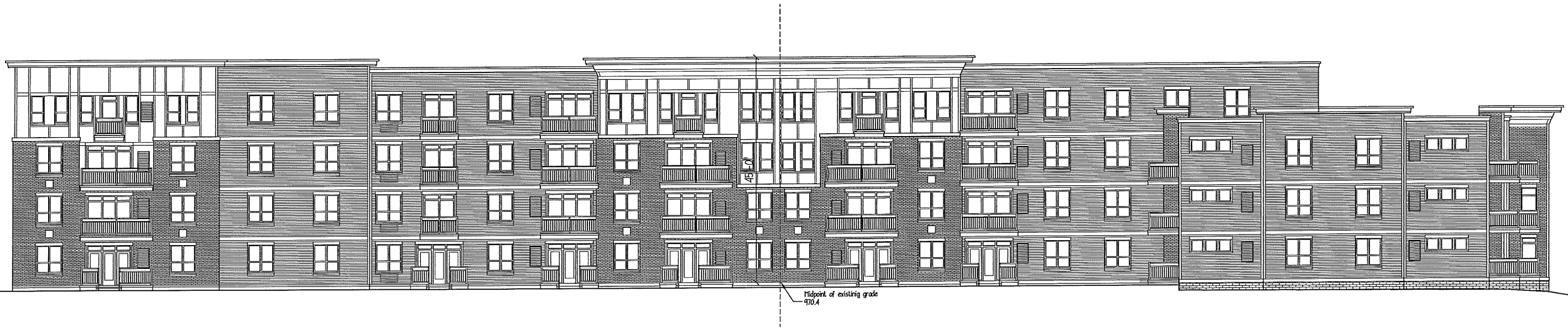
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PLAN COMMISSION
09-04-2013

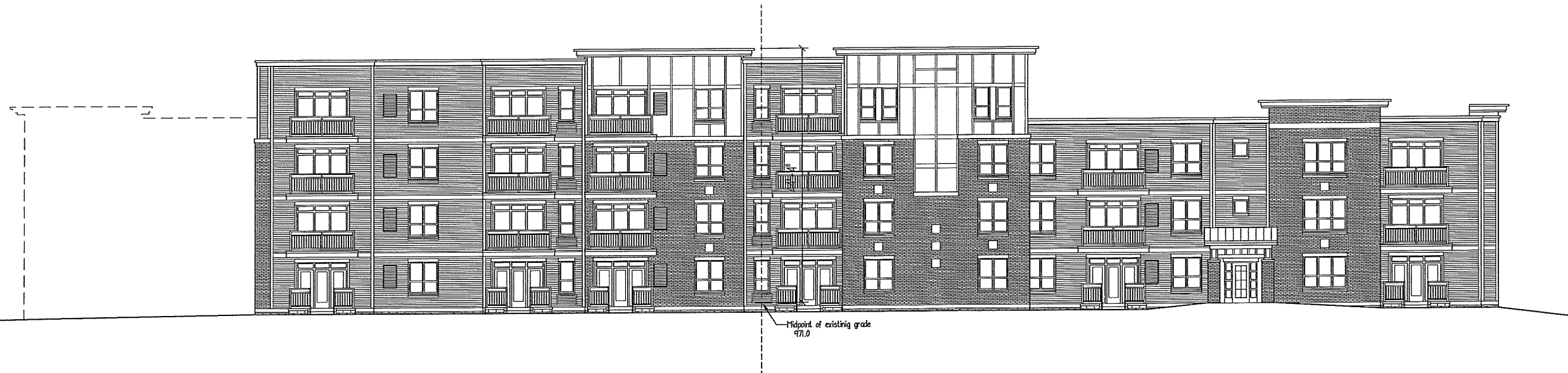
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Drawing Name
Elevations

Project Number 1307	Sheet No. A-2.1
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○ WEST ELEVATION
SCALE - 3/32" = 1'-0"



○ NORTH ELEVATION
SCALE - 3/32" = 1'-0"

Lot 465
502 Apollo Way
Grandview Commons
Madison, Wisconsin

PLAN COMMISSION
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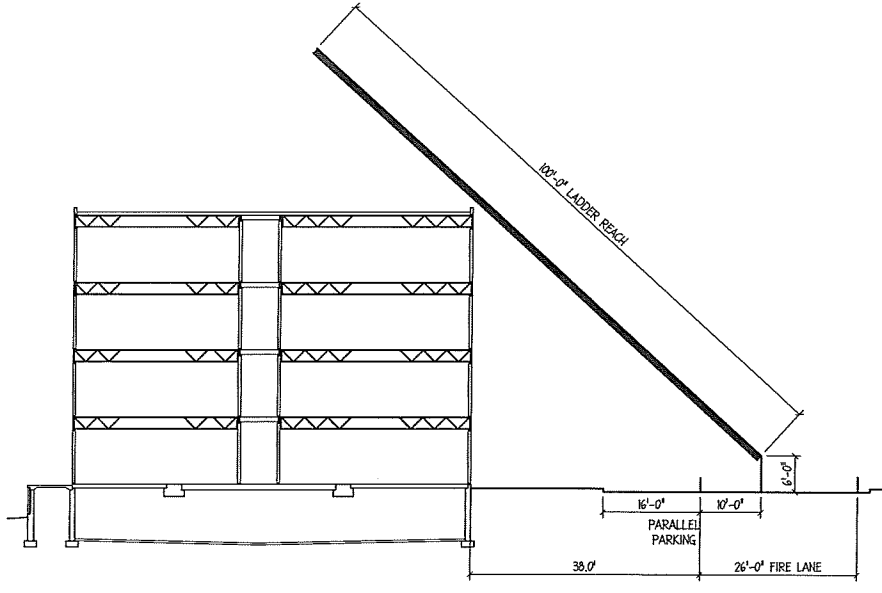
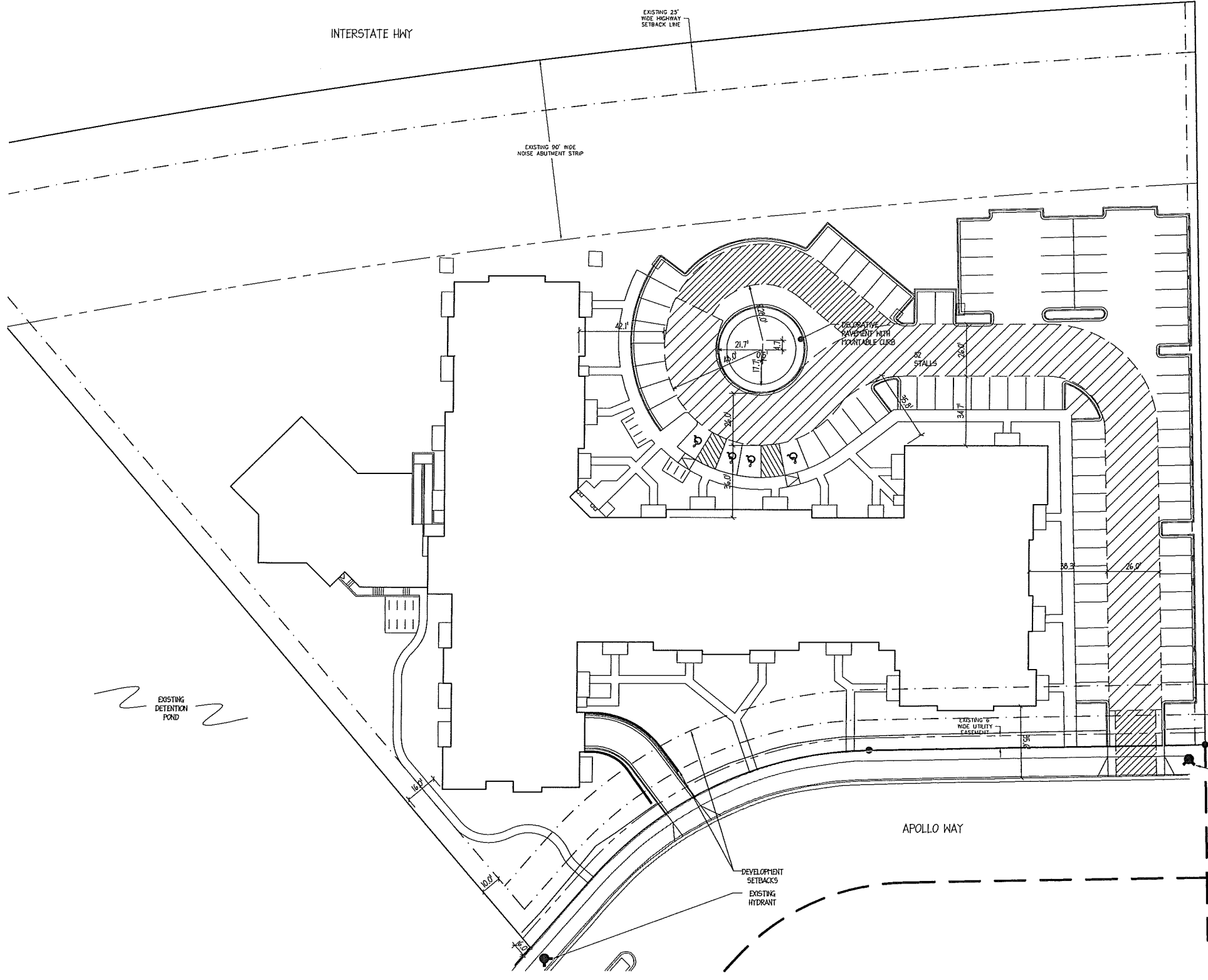
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Drawing Name

Elevations

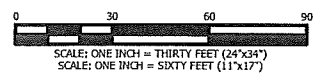
Project Number
1307

Sheet No.
A-2.2



○ AERIAL APPARATUS LADDER REACH

- NOTES**
- 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.
 - 20' MIN. WIDE FIRE LANE.
- FIRE LANE SIGN SPECS:**
SIZE: MINIMUM 12" WIDE BY 18" HIGH
- VERBIAGE:** NO PARKING
FIRE LANE
TOW AWAY ZONE
- SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH BLOCK RED LETTERS AND A RED BORDER.
- DIRECTION ARROWS MAY BE REQUIRED TO INDICATE THE SPECIFIC LOCATION, BEGINNING AND END OF THE FIRE LANE.
- HEIGHT ABOVE GRADE: THE BOTTOM OF THE SIGN SHALL BE 7 FEET ABOVE GRADE.



Fire Department Access Plan
SCALE - 1" = 30' (1" = 60' @ 11x17)