

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM # \_\_\_\_\_**  
**Project # \_\_\_\_\_**  
**Legistar # \_\_\_\_\_**

DATE SUBMITTED: _____	<b>Action Requested</b>
UDC MEETING DATE: _____	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

**PLEASE PRINT!**

**PLEASE PRINT!**

PROJECT ADDRESS: 2501 East Springs Drive  
ALDERMANIC DISTRICT: 17  
OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
Don Goben, DMG Holding Company LLC Arlan Kay, Architecture Network Inc  
1415 Pflaum Rd 116 E Dayton St  
Madison, WI 53716 Madison, WI 53703  
CONTACT PERSON: Arlan Kay, Architecture Network Inc  
Address: 116 E Dayton St  
Madison, WI 53703  
Phone: (608) 251-7515 x27  
Fax: (608) 251-7566  
E-mail address: arlan\_archnet@tds.net

**TYPE OF PROJECT:**  
(See Section A for:)

- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



**architecture**  
**network, inc.**

116 E. Dayton St.  
Madison, WI 53703  
608.251.7515  
608.251.7566 fax  
www.architecture-network.net

25 March 2012

Planning and Development  
City of Madison, Wisconsin  
215 Martin Luther King, Jr. Blvd.  
PO Box 2984  
Madison, WI 53701-2984

RE GOBEN CARS, 2501 EAST SPRINGS DRIVE, MADISON, WI  
PLAN COMMISSION AND URBAN DESIGN APPLICATION

It is the intent of the Owner of Contract, Don Goben of DMG Holdings, to develop the current vacant land at 2501 East Springs Drive, into an automobile retail outlet for Goben Cars. The proposed use is a Permitted Use in the current and new Zoning Ordinances. Plan Commission approval is required as this lot is part of a Planned Commercial Development.

The work is scheduled to start in Summer of 2013 and be finished in the Fall. The estimated cost of construction is \$700,000.00. The lot purchase price is \$950,000.00. No public subsidy is requested.

The 4900 SF building is located near the center of the lot. The sales office is 2275 SF and the remaining 2625 SF will be used for preparing cars for display and sale on the lot. That work will include washing and detailing the cars as well as safety inspections, minor repairs and oil changes. There will be five working bays. This is not a service garage and customers will not come to this area. The lot will have room for about 140 vehicles in sales inventory. Fourteen (14) additional parking spaces have been identified for customers and staff. Two bicycle parking spaces are provided.

The operation is planned to operate during the same hours as the other two Goben Cars lots, which are open from 9 AM to 8 PM, Monday-Thursday; 9 AM to 6 PM Friday and 9 AM to 5 PM Saturday. See [www.gobencars.com](http://www.gobencars.com) for typical information about the other two Goben facilities. The owner anticipates there will be five (5) to ten (10) new jobs created by this expansion. There will be a maximum of twelve employees on the site at any time. 35 construction workers will be employed.

A snowplow will be kept on the site and be parked in the back row of the rear inventory lot. Snow storage will be located on the rear of the lot. A small dumpster on an 8'x8' concrete pad will be provided to the East of the building.

If you have any questions, please do not hesitate to call.

Arlan Kay, AIA  
Architect

ATTACHMENTS;      Directory of people involved and contact information  
                                 Operation Plan for On site Traffic Management

## DIRECTORY

### **Owner:**

Don Goben 608-216-0500  
Goben Cars  
DMG Holdings  
1415 Pflam Road  
Madison, WI 53716 [gobencars1@yahoo.com](mailto:gobencars1@yahoo.com)

### **Architect:**

Arlan Kay 608-251-7515, ext 27  
Architecture Network, Inc  
116 E. Dayton Street  
Madison, WI 53703 [arlan\\_archnet@tds.net](mailto:arlan_archnet@tds.net)

### **General Construction:**

Al Bachmann 608-222-8869  
Bachmann Construction  
1201 South Stoughton Road  
Madison, WI 53716 [abachmann@bachmannconstruction.net](mailto:abachmann@bachmannconstruction.net)

### **Civil & Surveyor:**

Ron Klaas 608-833-7530  
D'Onofrio & Kottke  
7530 Westward Way  
Madison, WI 53717 [rklaas@donofrio.cc](mailto:rklaas@donofrio.cc)

### **Landscape Architect:**

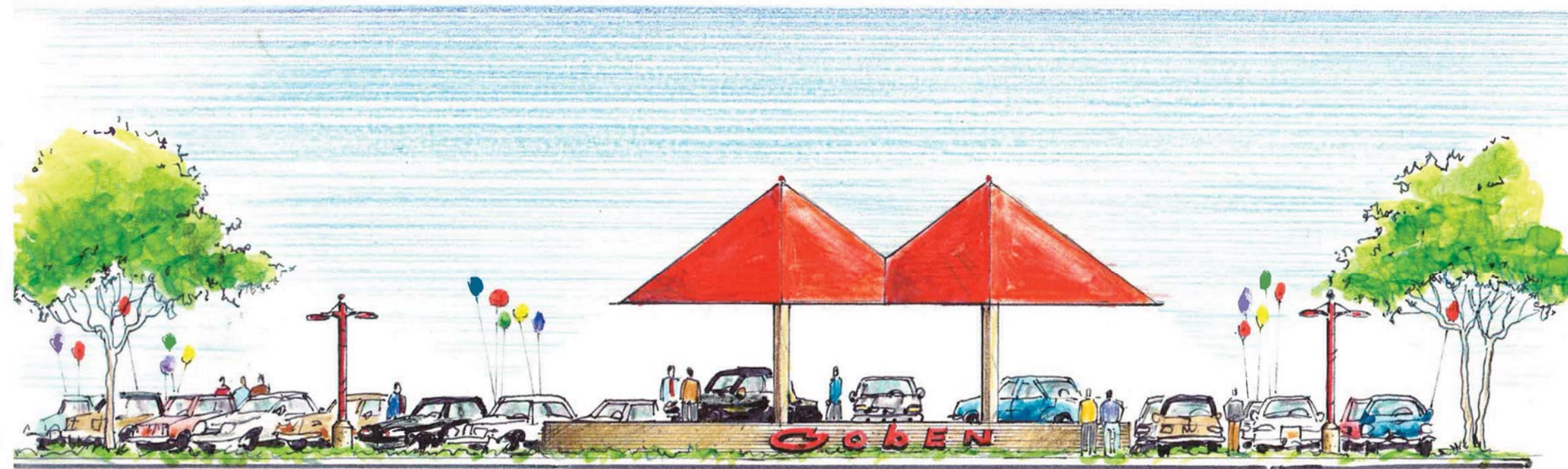
Heidi Natura 773-467-1634  
Living Habitats  
6457 N. Sayre Avenue  
Chicago, IL 60631 [heidinatura@livinghabitats.com](mailto:heidinatura@livinghabitats.com)

### **Lighting Design:**

Rob Rudolf 608-271-2046  
2861 Index Road  
Madison, WI 53513 [rudolf@ecidesign.com](mailto:rudolf@ecidesign.com)

## SITE INFORMATION

Lot Area	78,624 SF
Building Area	4,900 SF
Parking Calculations	
Five service bays, 2 people per bay	(5) spaces
2275 SF sales area/300SF/space	(8) spaces
Spaces provided	(14)
Bicycle space provided	(2) under cover



## CORNER VIEW

1" = 10'

### SHEET INDEX

TS1.1	TITLE SHEET
DP-1.0	OVERALL DEVELOPMENT PLAN (11X17 Only)
DP-1.1	AERIAL PHOTO - DEVELOPMENT (11X17 Only)
C1.0	SITE PLAN
C1.1	SITE GRADING, UTILITY, STORM WATER PLAN
L-1.0	LANDSCAPE PLAN
C3.1	SITE LIGHTING PLAN
C3.2	SITE LIGHTING FIXTURES
A1.1	FLOOR PLAN
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.1	SITE RENDERING - CORNER (11X17 Only)
A3.1	SITE RENDERING - EAST SPRINGS DRIVE (11X17 Only)

**GobEN CARS**

East Springs Drive  
Madison, Wisconsin

REVISIONS:


DATE: 12-19-2012

SCALE: -

PROJECT: K1214

DRAWN BY: KAC

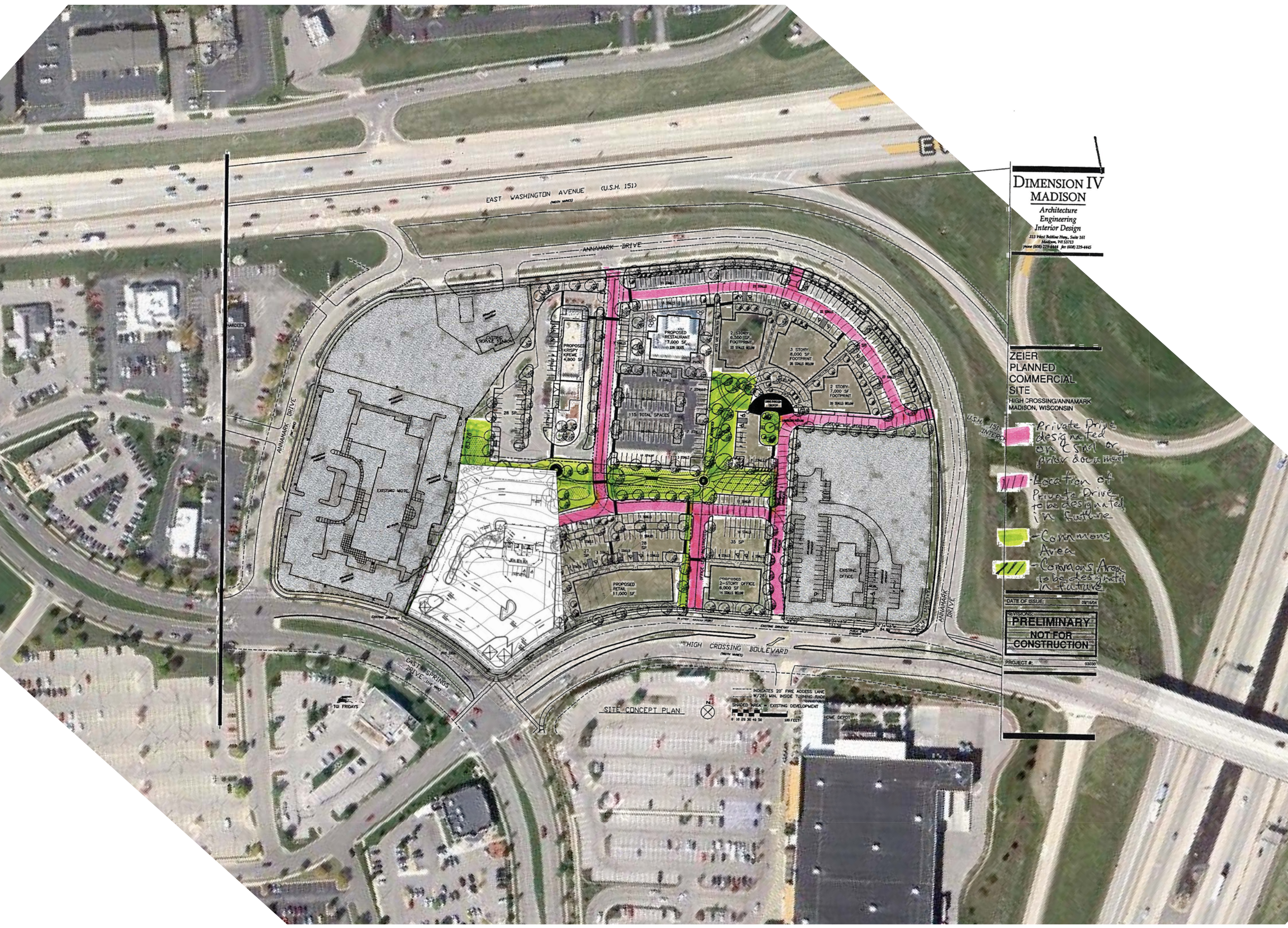
DRAWING NAME:

TITLE SHEET

DRAWING NUMBER:

**TS1.1**

# GOBEN CARS



**DIMENSION IV  
MADISON**  
Architecture  
Engineering  
Interior Design  
313 West Redding Hwy., Suite 101  
Madison, WI 53713  
Phone (608) 272-8444 Fax (608) 272-4445

**ZEIER  
PLANNED  
COMMERCIAL  
SITE**  
HIGH CROSSING/ANNAMARK  
MADISON, WISCONSIN

- Private Drive designated on CSM or prior document
- Location of Private Drive to be designated in future
- Commons Area
- Commons Area to be designated in future

DATE OF ISSUE: 09/16/12  
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**  
 PROJECT #: 00030

**SITE CONCEPT PLAN**  
 INDICATES 20' FIRE ACCESS LANE  
 W/20' MIN. INSIDE TURNING RADIUS  
 SHADED AREA = EXISTING DEVELOPMENT  
 0 10 20 30 40 50 100 FEET

REVISIONS:


DATE: 19 DEC 2012  
 SCALE: NTS  
 PROJECT: K1214  
 DRAWN BY: ASH  
**DRAWING NAME:**

OVERALL  
DEVELOPMENT PLAN  
**DRAWING NUMBER:**

**DP-1.0**

# GOBEN CARS

East Springs Drive  
Madison, Wisconsin

REVISIONS:

NO.	DESCRIPTION	DATE

DATE: 19 DEC 2012  
SCALE: NTS  
PROJECT: K1214  
DRAWN BY: ASH

**DRAWING NAME:**

AERIAL PHOTO  
DEVELOPMENT

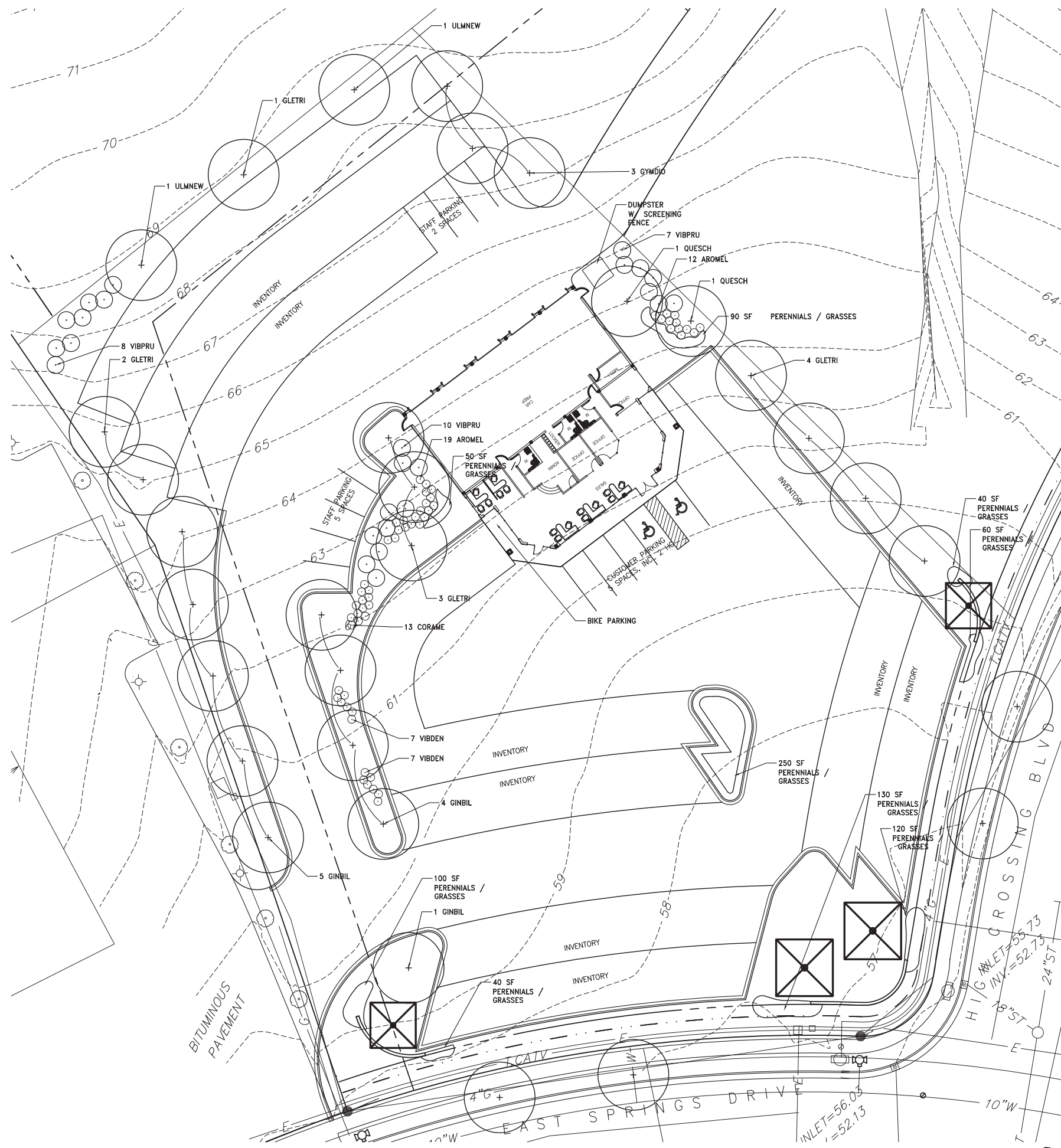
**DRAWING NUMBER:**

# DP-1.1









**A PLAN**  
REFER TO GRAPHIC SCALE

Quantity	Key	Scientific Name	Common Name	Size	Root	Spacing
27	<b>TREES</b>					
	CELOPP	<i>Celtis occidentalis</i> 'Prairie Pride'	Prairie Pride Hackberry	2.5' cal.	B&B	Plan
10	GLETIS	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	Thornless Common Honeylocust	2.5' cal.	B&B	Plan
10	GINBIL	<i>Ginkgo biloba</i>	Ginkgo biloba	2.5' cal.	B&B	Plan
3	GYMDIO	<i>Gymnocladus dioica</i> 'Expresso'	Expresso Kentucky Coffeetree	2.5' cal.	B&B	Plan
2	QUEMAC	<i>Quercus macrocarpa</i>	Bur Oak	2.5' cal.	B&B	Plan
2	ULMNEH	<i>Ulmus x 'New Horizon'</i>	Accolade Smoothleaf Elm	2.5' cal.	B&B	Plan
25	<b>SMALL FLOWERING TREES</b>					
	AMEGRA	<i>Amelanchier grandiflora</i>	Apple Serviceberry	4' ht.	B&B	Plan
	CRACIN	<i>Crataegus crus-galli</i> var. <i>inermis</i>	Thornless Cockspur Hawthorn	4' ht.	B&B	Plan
25	VIBPRU	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	4' ht.	B&B	Plan
58	<b>SHRUBS</b>					
10	AROMEL	<i>Aronia melanocarpa</i>	Black Chokeberry	5 gal.	Cont.	Plan
10	CORAME	<i>Corylus americana</i>	American Hazelnut	5 gal.	Cont.	Plan
10	PHYOPU	<i>Physocarpus opulifolius</i>	Common Ninebark	5 gal.	Cont.	Plan
8	RHUAGL	<i>Rhus aromatica</i> 'Gro-low'	Grow-low Sumac	5 gal.	Cont.	Plan
10	SYRMPA	<i>Syringa meyeri</i> 'Palibin'	Palibin Lilac	5 gal.	Cont.	Plan
10	VIBDEN	<i>Viburnum dentatum</i>	Arrowwood Viburnum	5 gal.	Cont.	Plan
	<b>Perennials</b>					
15	ALLCER	<i>Allium cernuum</i>	Nodding Onion	gal.	Cont.	18"
15	ANECAN	<i>Anemone canadensis</i>	Meadow Anemone	gal.	Cont.	18"
15	ASCTUB	<i>Asclepias tuberosa</i>	Butterflyweed	gal.	Cont.	18"
15	ASTAZJ	<i>Aster azureus</i>	Sky Blue Aster	gal.	Cont.	18"
15	CORPAL	<i>Coreopsis palmata</i>	Prairie Coreopsis	gal.	Cont.	18"
15	ECHPUR	<i>Echinacea purpurea</i>	Purple Coneflower	gal.	Cont.	18"
15	EUPMGA	<i>Eupatorium maculatum</i> 'Gateway'	Spotted Joe Pye Weed	gal.	Cont.	18"
15	HEURIC	<i>Heuchera richardsonii</i>	Prairie Alum Root	gal.	Cont.	18"
15	LIAPYC	<i>Liatris pycnostachya</i>	Blazing Star	gal.	Cont.	18"
15	MISSGR	<i>Miscanthus sinensis</i> 'Gracillimus'	Maiden Grass	gal.	Cont.	18"
15	PANVRO	<i>Panicum virgatum</i> 'Rotstahbusch'	Red Switch Grass	gal.	Cont.	18"
15	PARINT	<i>Parthenium integrifolium</i>	Wild Quinine	gal.	Cont.	18"
15	PENDHR	<i>Penstemon digitalis</i> 'Husker Red'	Foxglove Beard Tongue	gal.	Cont.	18"
15	PETPUR	<i>Petalostemum purpureum</i>	Purple Prairie Clover	gal.	Cont.	18"
15	PHYVIR	<i>Physostegia virginiana</i>	Obedient Plant	gal.	Cont.	18"
15	RATPIN	<i>Ratibida pinnata</i>	Yellow Coneflower	gal.	Cont.	18"
15	RUDFGO	<i>Rudbeckia fulgida</i> 'Goldsturm'	Goldsturm Black-eyed Susan	gal.	Cont.	18"
15	SCHSCO	<i>Schizachyrium scoparium</i>	Little Bluestem	gal.	Cont.	18"
15	SEDHER	<i>Sedum 'Herbstfreude'</i>	Autumn Joy Sedum	gal.	Cont.	18"
15	SPOHET	<i>Sporobolus heterolepis</i>	Prairie Dropseed	gal.	Cont.	18"

**B PLANT SCHEDULE**

**LANDSCAPE WORKSHEET**  
Parking Lots, Storage Areas and Loading Areas  
(Section 28.04 Madison General Ordinance)

Project Location/Address: 2501 EAST SPRINGS DRIVE  
Name of Project: GOBEN CARS  
Owner/Contact: ARLAN KAY, AIA; ARCHITECTURE NETWORK, INC  
Address: 116 E DAYTON ST; MADISON, WI 53703

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

**I. Number of Trees Required**  
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls).

Number of Parking Stalls: 14

Total Square Footage of the Storage Area Divided by Three Hundred (300) Square Feet: 181

Number of Canopy Shade Trees Required (2' - 2 1/2" Caliper) (See Schedule on reverse side): 13

**TOTAL: 13**

**II. Number of Landscape Points Required**  
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.

The number of points required for loading areas is (75) points for each loading berth. (See Schedule on reverse side): 0

**TOTAL: 69**

**Tabulation of Points and Credits**  
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	
				QUANTITY	POINTS
Canopy Tree: 2" - 2 1/2"	35	14	490		
Deciduous Shrub	2	58	116		
Evergreen Shrub	1	0			
Decorative Wall or Fence (per 10 L.F.)	5	0			
Earth Berm (per 10 L.F.)					
Avg. Height 30"	5	0			
Avg. Height 15"	2	0			
Evergreen Trees 3' height minimum	15	0			
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)	15	25	375		
<b>Sub Totals</b>			<b>981</b>	<b>+</b>	

**TOTAL**  
= 981  
Total No. of Points Provided (Equal to or greater than points required)

\*Trees required in Part I above, are not to be included in the point count.

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

**C LANDSCAPE WORKSHEET**

**Living Habitats**  
Landscape Architecture  
Ecological Services  
Environmental Planning  
Custom Artworks  
6457 North Sayre Avenue  
Chicago, Illinois 60631  
p: 773-4671634  
www.livinghabitats.com

**Gobben CARS**

East Springs Drive  
Madison, Wisconsin

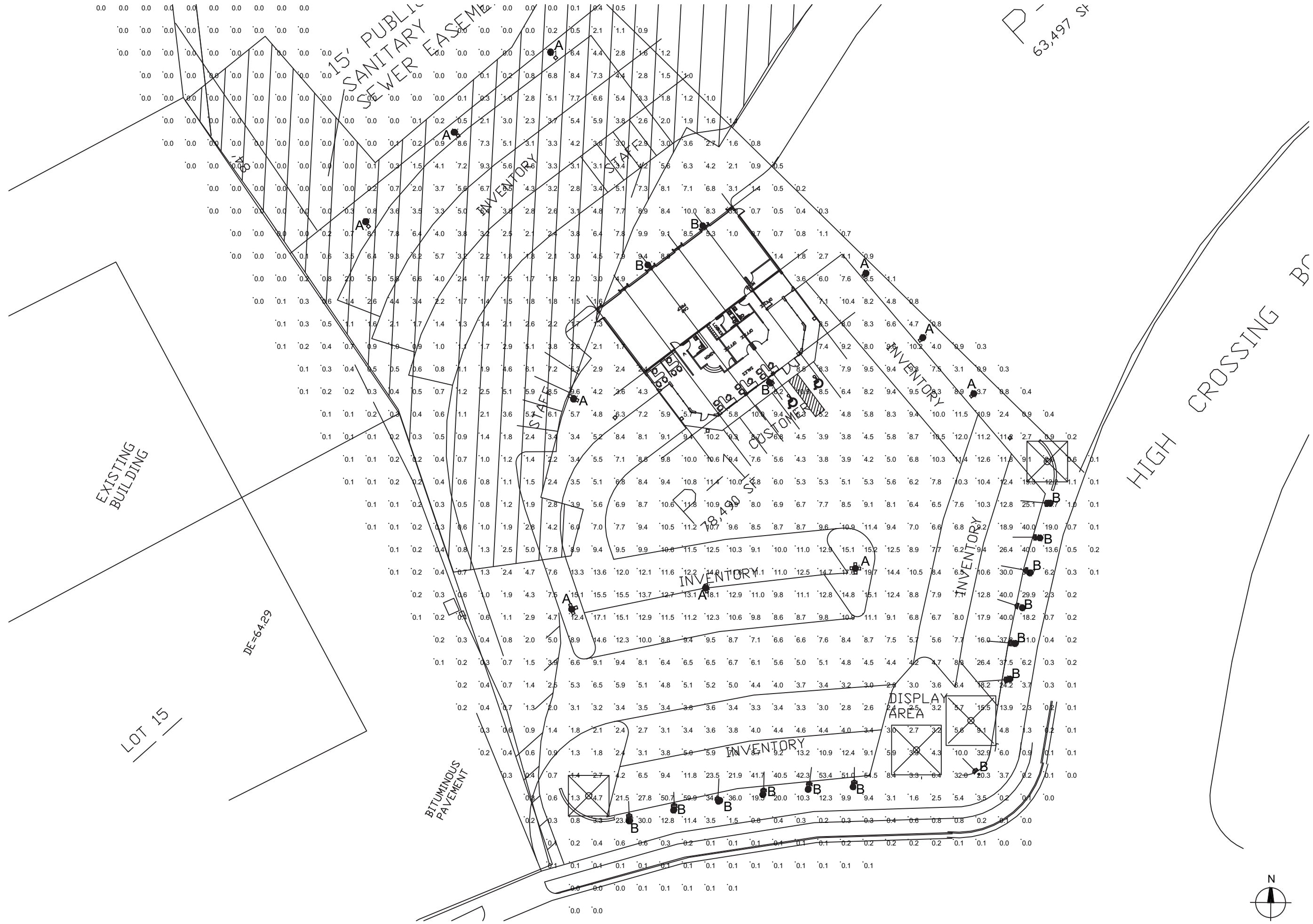
REVISIONS:


DATE: 12/19/2012  
SCALE: 1  
PROJECT: 1"=20'-00"  
DRAWN BY: AP / HN  
DRAWING NAME:

**LANDSCAPE PLAN**

DRAWING NUMBER:

**L-1.0**



# Goblen Cars

East Springs Drive  
 Madison, Wisconsin

REVISIONS:


DATE: 12-19-2012  
 SCALE: 1"=20'-0"  
 PROJECT: K1214  
 DRAWN BY: DT  
 DRAWING NAME:

SITE LIGHTING  
 PHOTOMETRICS

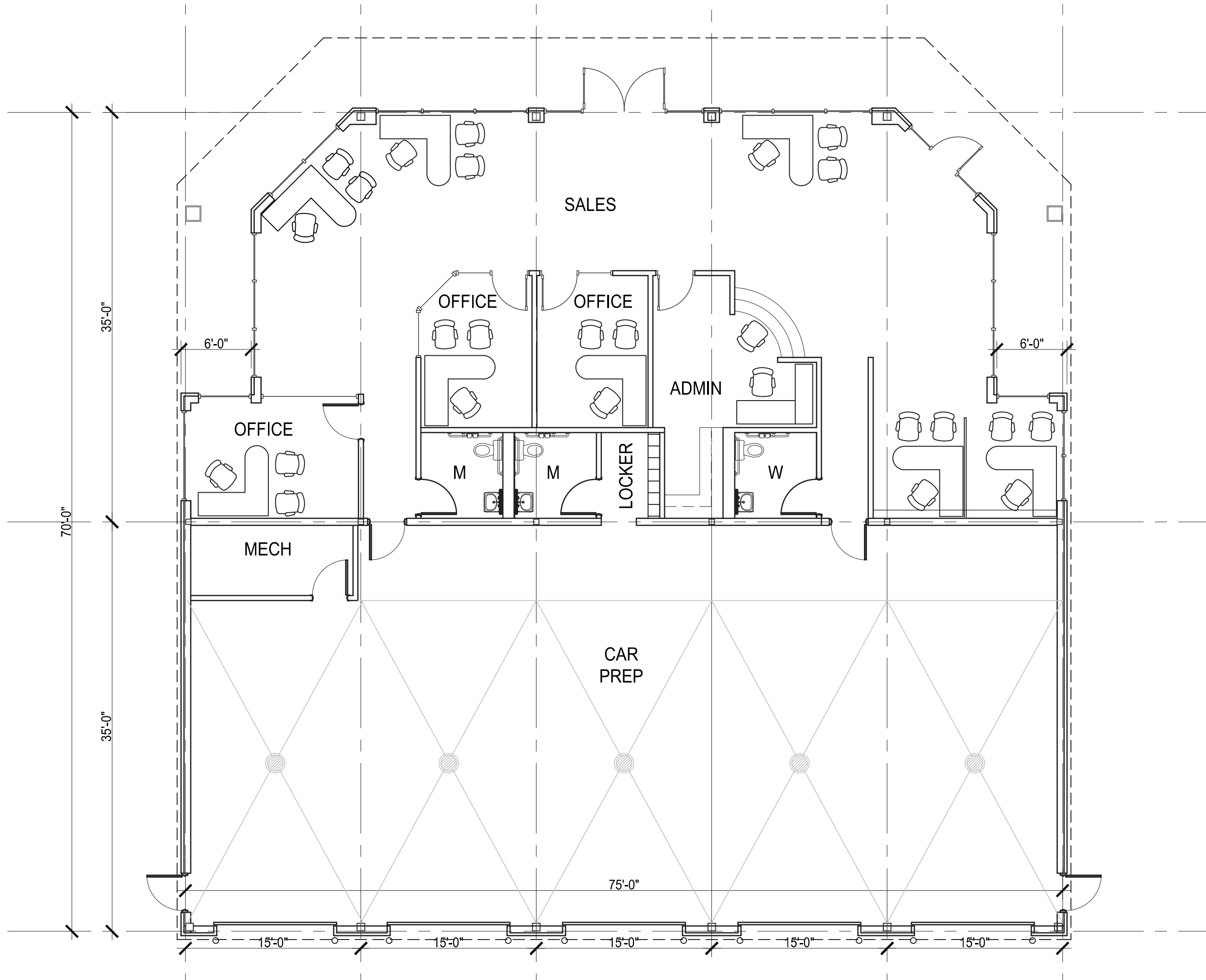
DRAWING NUMBER:

# C3.1



# GOBEN CARS

East Springs Drive  
Madison, Wisconsin



REVISIONS:


DATE: 12-19-2012  
SCALE: 1/8"=1'-0"-22X34=1/4"  
PROJECT: K1214  
DRAWN BY: KAC  
DRAWING NAME:

FLOOR PLAN

DRAWING NUMBER:

**A1.1**

**Goben CARS**  
East Springs Drive  
Madison, Wisconsin



Bright Red  
(Typical)  
Saddle Tan  
(Typical)

FRONT ELEVATION



Bright Red  
(Typical)  
Saddle Tan  
(Typical)

19'-2"

12'-8"

SIDE ELEVATION

REVISIONS:


DATE: 12-19-2012  
SCALE: 1/8"=1'-0"  
PROJECT: K1214  
DRAWN BY: KAC  
DRAWING NAME:

BUILDING ELEVATIONS

DRAWING NUMBER:

**A2.1**



Bright Red  
(Typical)  
Saddle Tan  
(Typical)

REAR ELEVATION



Bright Red  
(Typical)  
Saddle Tan  
(Typical)

SIDE ELEVATION

**Goben CARS**  
East Springs Drive  
Madison, Wisconsin

REVISIONS:


DATE: 12-19-2012  
SCALE: 1/8"=1'-0"  
PROJECT: K1214  
DRAWN BY: KAC  
DRAWING NAME:

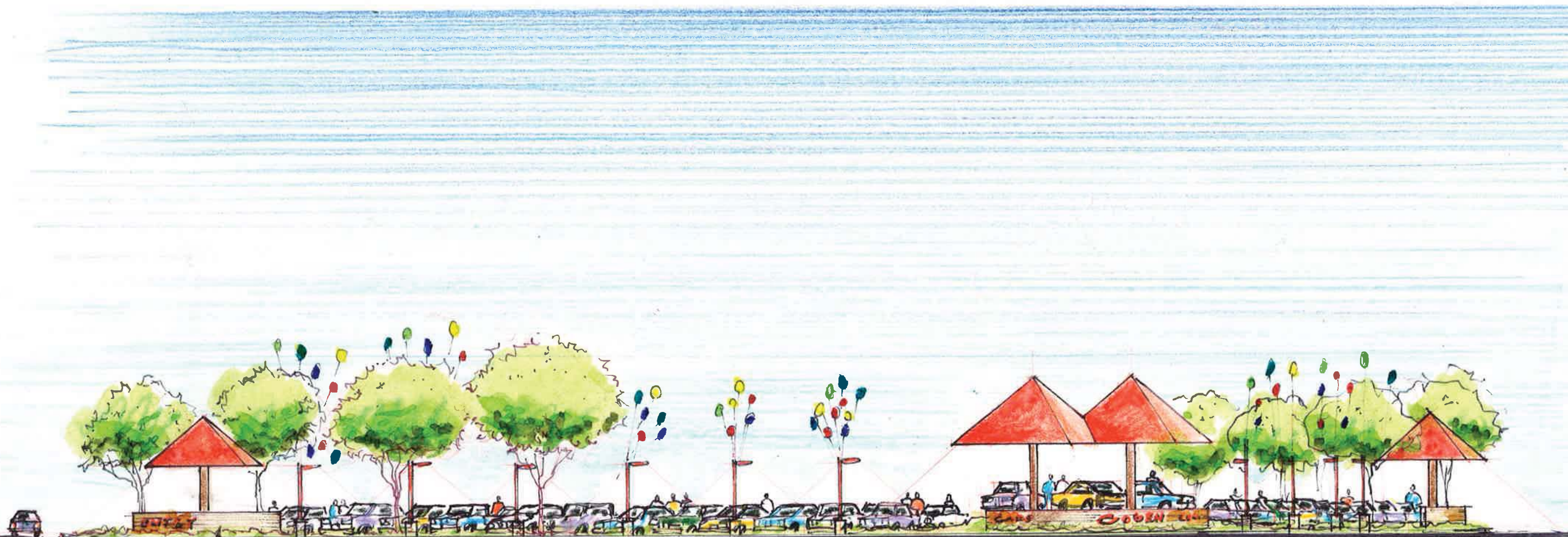
BUILDING ELEVATIONS

DRAWING NUMBER:

**A2.2**

Gobben CARS

East Springs Drive  
Madison, Wisconsin



Access Drive

Entry Sign & Canopy

East Spring Drive

Corner

High Crossing Boulevard

VIEW ALONG EAST SPRING DRIVE.

1" = 20'

REVISIONS:


DATE: 12-19-2012

SCALE: -

PROJECT: K1214

DRAWN BY: DB

DRAWING NAME:

SITE VIEW from East Springs Drive

DRAWING NUMBER:

A3.2



**PROJECT LOCATION**  
East Springs Drive

## SHEET INDEX

- TS1.1 TITLE SHEET
- DP-1.0 OVERALL DEVELOPMENT PLAN
- DP-1.1 AERIAL PHOTO - DEVELOPMENT
- DP-1.2 COMMERCIAL SITE PLAN
- DP-1.3 CONTEXT PHOTOS
- C1.0 SITE PLAN
- L-1.0 LANDSCAPE PLAN
- C3.2 SITE LIGHTING FIXTURES
- A1.1 FLOOR PLAN
- A2.0 ELEVATIONS
- A2.1 ELEVATIONS
- A3.0 SITE SECTIONS
- A3.1 SITE RENDERING

# GobEN CARS

East Springs Drive  
Madison, Wisconsin

REVISIONS:	
REV-1	01-30-2013
REV-2	03-27-2013

DATE: 12-19-2012  
SCALE: -  
PROJECT: K1214  
DRAWN BY: KAC  
DRAWING NAME:

TITLE SHEET

DRAWING NUMBER:

# TS1.1





# GOBEN CARS

East Springs Drive  
Madison, Wisconsin

REVISIONS:	
#1	1/30/2013
#2	3/27/2013

DATE: 27 MARCH 2013

SCALE: NTS

PROJECT: K1214

DRAWN BY: ASH

DRAWING NAME:

AERIAL PHOTO  
DEVELOPMENT

DRAWING NUMBER:

# DP-1.1





**DIMENSION IV  
MADISON**  
Architecture  
Engineering  
Interior Design  
313 West Madison Hwy., Suite 101  
Madison, WI 53713  
Phone (608) 229-4444 Fax (608) 229-4445

**ZEIER  
PLANNED  
COMMERCIAL  
SITE**  
HIGH CROSSING/ANNAMARK  
MADISON, WISCONSIN

- Private Drive designated on ESM or prior document
- Location of Private Drive to be designated in future
- Commons Area
- Commons Area to be designated in future

DATE OF ISSUE: 09/16/12  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
 PROJECT #: 03030

**SITE CONCEPT PLAN**  
 INDICATES 20' FIRE ACCESS LANE  
 W/20' MIN. INSIDE TURNING RADIUS  
 SHADED AREA = EXISTING DEVELOPMENT  
 0 10 20 30 40 50 60 FEET  
 HOME DEPOT

# Goben Cars

East Springs Drive  
Madison, Wisconsin

REVISIONS:	
#1	1/30/2013
#2	3/27/2013

DATE: 27 MARCH 2013  
 SCALE: NTS  
 PROJECT: K1214  
 DRAWN BY: ASH

**DRAWING NAME:**  
 COMMERCIAL  
 SITE PLAN  
**DRAWING NUMBER:**

**DP-1.2**



**1** TOWARD EAST TOWNE  
 DP1.3 Scale: 1/4" = 1'-0"



**2** TOWARD EAST WASH  
 DP1.3 Scale: 1/4" = 1'-0"



**4** UP HIGH CROSSING  
 DP1.3 Scale: 1/4" = 1'-0"

**3** LOOKING WEST  
 DP1.3 Scale: 1/4" = 1'-0"



**5** ON EAST SPRINGS  
 DP1.3 Scale: 1/4" = 1'-0"

**Gobben Cars**

East Springs Drive  
 Madison, Wisconsin

REVISIONS:

#1	1/30/2013
#2	3/27/2013

DATE: 27 MARCH 2013  
 SCALE: NTS  
 PROJECT: K1214  
 DRAWN BY: ASH

**DRAWING NAME:**

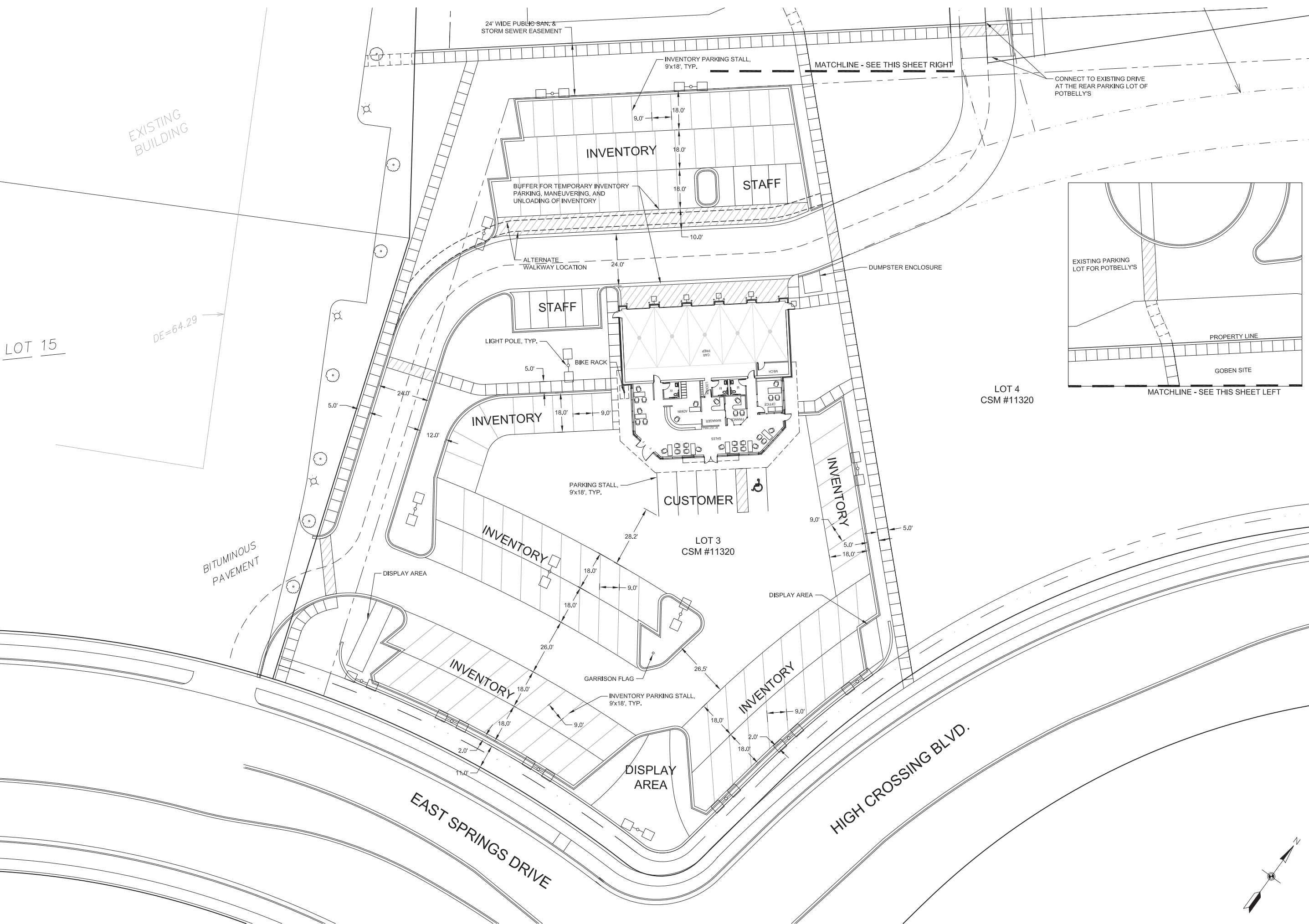
CONTEXT  
 PHOTOS

**DRAWING NUMBER:**

**DP-1.3**

# Goben Cars

East Springs Drive  
Madison, Wisconsin



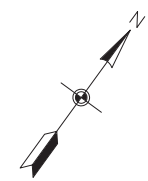
REVISIONS:

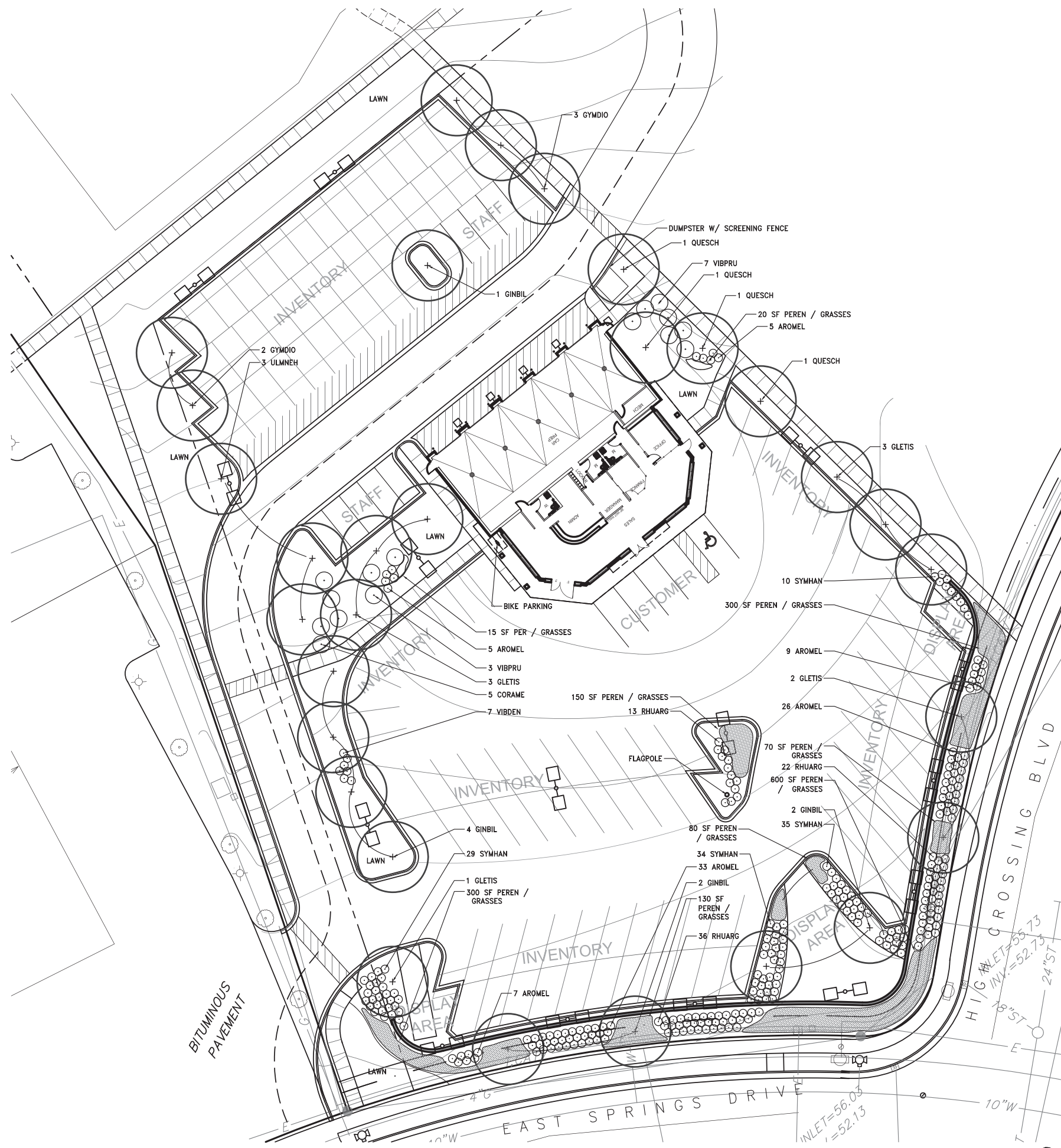
1	01-30-13

DATE: 03-21-13  
SCALE: 1"=20'  
PROJECT: K1214  
DRAWN BY: JMS  
DRAWING NAME:

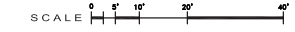
SITE PLAN  
DRAWING NUMBER:

**C-1.0**





**A PLAN**  
REFER TO GRAPHIC SCALE



Quantity	Key	Scientific Name	Common Name	Size	Root	Spacing
30	TREES					
	CELOCP	<i>Celtis occidentalis</i> 'Prairie Pride'	Prairie Pride Hackberry	2.5" cal.	B&B	Plan
9	GLETIS	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	Thornless Common Honeylocust	2.5" cal.	B&B	Plan
9	GINBIL	<i>Ginkgo biloba</i>	Ginkgo biloba	2.5" cal.	B&B	Plan
5	GYMDIO	<i>Gymnocladus dioica</i> 'Expresso'	Expresso Kentucky Coffeetree	2.5" cal.	B&B	Plan
4	QUESCH	<i>Quercus macrocarpa</i>	Bur Oak	2.5" cal.	B&B	Plan
3	ULMNEH	<i>Ulmus x New Horizon'</i>	Accolade Smoothleaf Elm	2.5" cal.	B&B	Plan
15	SMALL TREES					
	AMEGRA	<i>Amelanchier grandiflora</i>	Apple Serviceberry	4' ht.	B&B	Plan
	CRACIN	<i>Crataegus crus-galli</i> var. <i>inermis</i>	Thornless Cockspur Hawthorn	4' ht.	B&B	Plan
5	CORAME	<i>Corylus americana</i>	American Hazelnut	5 gal.	Cont.	Plan
10	VIBPRU	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	4' ht.	B&B	Plan
271	SHRUBS					
85	AROMEL	<i>Aronia melanocarpa</i>	Black Chokeberry	5 gal.	Cont.	Plan
	CEOAMER	<i>Ceanothus americanus</i>	New Jersey Tea	5 gal.	Cont.	Plan
	PHYOPU	<i>Physocarpus opulifolius</i>	Common Ninebark	5 gal.	Cont.	Plan
71	RHUAGL	<i>Rhus aromatica</i> 'Gro-low'	Grow-low Sumac	5 gal.	Cont.	Plan
	SYRMIPA	<i>Syringa meyeri</i> 'Palibin'	Palibin Lilac	5 gal.	Cont.	Plan
108	SYMHAN	<i>Symphoricarpos x chenaaultii</i> 'Hancock'	Hancock Coralberry	2 gal.	Cont.	Plan
7	VIBDEN	<i>Viburnum dentatum</i>	Arrowwood Viburnum	5 gal.	Cont.	Plan
900	PERENNIALS					
50	ALLCER	<i>Allium cernuum</i>	Nodding Onion	gal.	Cont.	18"
75	ANECAN	<i>Anemone canadensis</i>	Meadow Anemone	gal.	Cont.	18"
25	ASCTUB	<i>Asclepias tuberosa</i>	Butterflyweed	gal.	Cont.	18"
25	ASTAZU	<i>Aster azureus</i>	Sky Blue Aster	gal.	Cont.	18"
25	CORPAL	<i>Coreopsis palmata</i>	Prairie Coreopsis	gal.	Cont.	18"
50	ECHPUR	<i>Echinacea purpurea</i>	Purple Coneflower	gal.	Cont.	18"
20	EUPMGA	<i>Eupatorium maculatum</i> 'Gateway'	Spotted Joe Pye Weed	gal.	Cont.	18"
75	HEURIC	<i>Heuchera richardsonii</i>	Prairie Alum Root	gal.	Cont.	18"
50	LIAPYC	<i>Liatris pycnostachya</i>	Blazing Star	gal.	Cont.	18"
15	MISSGR	<i>Miscanthus sinensis</i> 'Gracillimus'	Maiden Grass	gal.	Cont.	18"
40	PANVRO	<i>Panicum virgatum</i> 'Rotstahibusch'	Red Switch Grass	gal.	Cont.	18"
35	PARINT	<i>Parthenium integrifolium</i>	Wild Quinine	gal.	Cont.	18"
75	PENDHR	<i>Penstemon digitalis</i> 'Husker Red'	Foxglove Beard Tongue	gal.	Cont.	18"
25	PETPUR	<i>Petalostemum purpureum</i>	Purple Prairie Clover	gal.	Cont.	18"
30	PHYVIR	<i>Physostegia virginiana</i>	Obedient Plant	gal.	Cont.	18"
35	RATPIN	<i>Ratibida pinnata</i>	Yellow Coneflower	gal.	Cont.	18"
50	RUDFGO	<i>Rudbeckia fulgida</i> 'Goldsturm'	Goldsturm Black-eyed Susan	gal.	Cont.	18"
50	SCHSCO	<i>Schizachyrium scoparium</i>	Little Bluestem	gal.	Cont.	18"
70	SEDPER	<i>Sedum 'Herbstfreude'</i>	Autumn Joy Sedum	gal.	Cont.	18"
80	SPOHET	<i>Sporobolus heterolepis</i>	Prairie Dropseed	gal.	Cont.	18"

**B PLANT SCHEDULE**

**LANDSCAPE WORKSHEET**  
Parking Lots, Storage Areas and Loading Areas  
(Section 28.04 Madison General Ordinance)

Project Location: 2501 EAST SPRINGS DRIVE  
Name of Project: GOBEN CARS  
Owner/Client: ARON KAY, AIA; ARCHITECTURE NETWORK, INC.  
Address: 225 E. MICHIGAN ST., MADISON, WI 53703

FOR PAVING LOTS WITH COVERED TREES 20 FEET, LANDSCAPE PLAN MUST BE REVIEWED BY A REGISTERED LANDSCAPE ARCHITECT.

**I. Number of Trees Required**  
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Landscaping Elements on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls.)

Landscaping requirements for storage areas or loading areas by dividing the total square footage of the storage area by 2000 square feet. (See reverse side of this worksheet.)  
Example: 10,000 square feet is equivalent to (10,000 / 2000) = 5 trees (1000) parking.

Number of Parking Stalls: 15

Total Square Footage of the Storage Area (Divided by Three Hundred (300) Square Feet): 1.5H

Number of Covered Storage Areas (2' - 8' Deep): 1.0  
(See Schedule for coverage table)

**II. Number of Landscaping Points Required**  
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscaping Elements on the reverse side of this worksheet, determine the number of points required. (Example: 40.5 points are required for 10 stalls. A point is defined as 1/10 of an acre or 10,000 square feet, which is located in blocks of 100 each to be located in the lot. These 40.5 points must be rounded down to 40.5 points required.)

The number of points required for loading areas is (75) points for each loading dock. (See Schedule for coverage table)

Number of Points Required (See Schedule for coverage table): 49.5

**III. Total Points Required**  
The number of points required is the sum of the number of trees required and the number of points required. (Example: 40.5 points are required for 10 stalls and 10 points are required for 1000 square feet of storage area. Total points required is 50.5 points.)

Number of Points Required (Sum of Trees and Points): 69.5

Element	Plant	Quantity	Points	Points	Points
Storage Area (2' - 8' Deep)		15	1.5H	6.30	
Landscaping Stalls		2	8.5	27.1	
Exposure Wall or Fence (per 100 sq ft)		3	0		
Exposure Wall or Fence (per 100 sq ft)		3	0		
Trade Area (per 10,000 sq ft)		3	0		
Trade Area (per 10,000 sq ft)		2	0		
Storage Area (2' - 8' Deep)		15	0		
Storage Area (2' - 8' Deep)		15	1.5	22.5	
<b>TOTAL</b>				<b>1179.5</b>	

\*Trees required in Plant I above, over lot to be included in the point count.

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

**C LANDSCAPE WORKSHEET**

**Living Habitats**  
Landscape Architecture  
Ecological Services  
Environmental Planning  
Custom Artworks  
6457 North Sayre Avenue  
Chicago, Illinois 60631  
p. 773-4671634  
www.livinghabitats.com

**Goben Cars**

East Springs Drive  
Madison, Wisconsin

REVISIONS:

NO.	DATE	DESCRIPTION
2	27 MARCH 2013	
1	30 JANUARY 2013	

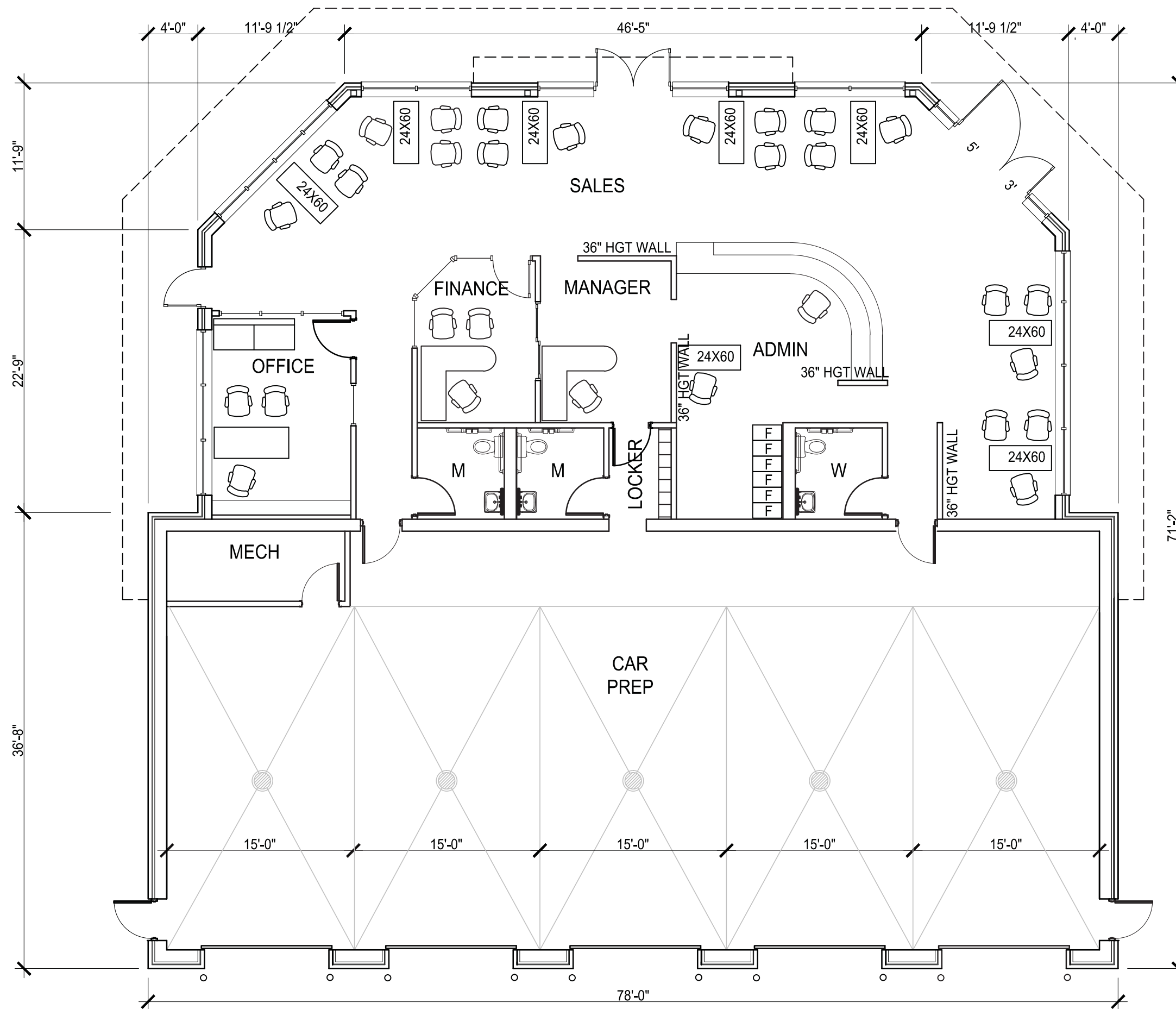
DATE: 12/19/2012  
SCALE: 1  
PROJECT: 1"=20'-00"  
DRAWN BY: AP / HN  
DRAWING NAME:

**LANDSCAPE PLAN**

DRAWING NUMBER:

**L-1.0**





**architecture network, inc.**  
 116 East Dayton Street  
 Madison, WI 53703  
 608-251-7515 Phone  
 608-251-7566 Fax  
 www.architecture-network.net



# Goblen Cars

East Springs Drive  
 Madison, Wisconsin

REVISIONS:	
REV-1	01-30-2013
REV-2	03-27-2013

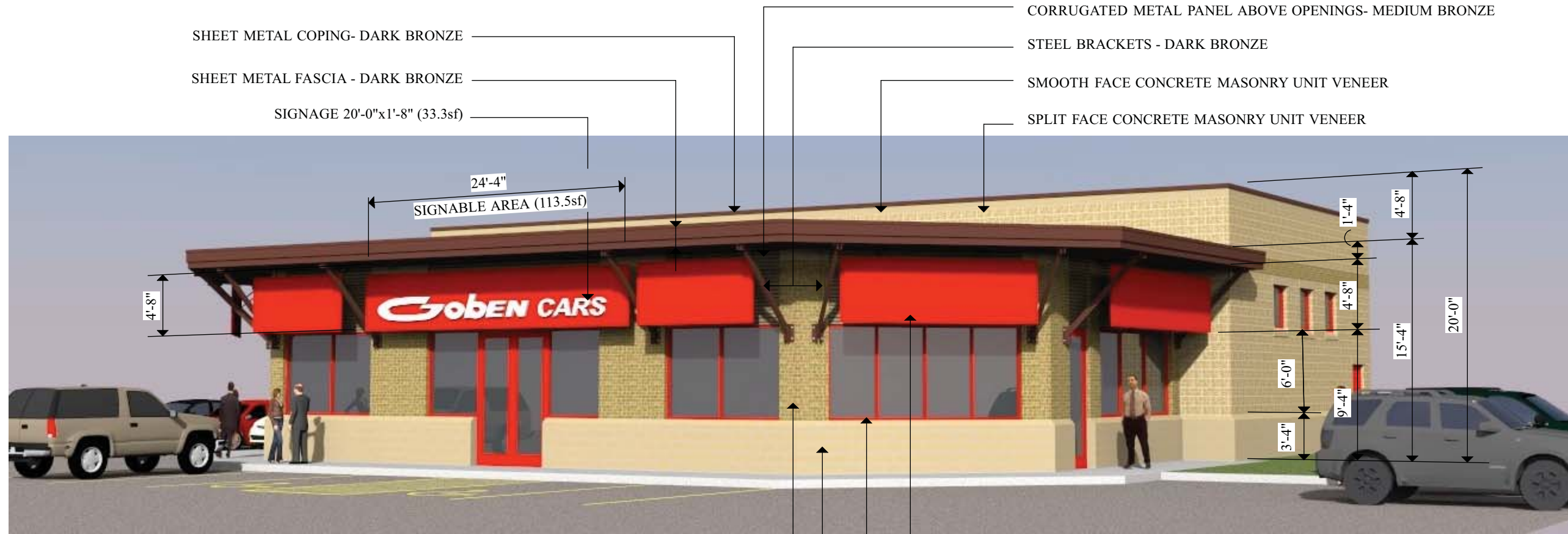
DATE: 12-19-2012  
 SCALE: 1/8"=1'-0"  
 PROJECT: K1214  
 DRAWN BY: KAC  
 DRAWING NAME:

FLOOR PLAN

DRAWING NUMBER:

# A1.1





SHEET METAL COPING- DARK BRONZE  
SHEET METAL FASCIA - DARK BRONZE  
SIGNAGE 20'-0"x1'-8" (33.3sf)

CORRUGATED METAL PANEL ABOVE OPENINGS- MEDIUM BRONZE  
STEEL BRACKETS - DARK BRONZE  
SMOOTH FACE CONCRETE MASONRY UNIT VENEER  
SPLIT FACE CONCRETE MASONRY UNIT VENEER

## SOUTH ELEVATION

SMOOTH FACE CONCRETE MASONRY UNIT - HEADER AND SILL  
BRICK MASONRY VENEER BAND

FABRIC AWNING - CARDINAL RED  
ALUMINUM STOREFRONT AND ENTRANCE SYSTEMS - CARDINAL RED w/ CLEAR GLASS  
SMOOTH FACE CONCRETE MASONRY UNIT  
BRICK VENEER MASONRY



## EAST ELEVATION

SMOOTH FACE CONCRETE MASONRY UNIT HEADER  
GLAZED ALUMINUM OVERHEAD DOOR  
INSULATED HOLLOW METAL DOOR

**Gobben CARS**

East Springs Drive  
Madison, Wisconsin

REVISIONS:


DATE: 3/27/2013  
SCALE: NONE  
PROJECT: K1214  
DRAWN BY: kta  
DRAWING NAME:

ELEVATIONS

DRAWING NUMBER:

**A2.0**



**WEST ELEVATION**



**NORTH ELEVATION**

**Gobben CARS**

East Springs Drive  
Madison, Wisconsin

REVISIONS:


DATE: 3/27/2013  
SCALE: NONE  
PROJECT: K1214  
DRAWN BY: KTA  
DRAWING NAME:

ELEVATIONS

DRAWING NUMBER:

**A2.1**

# GOBEN CARS

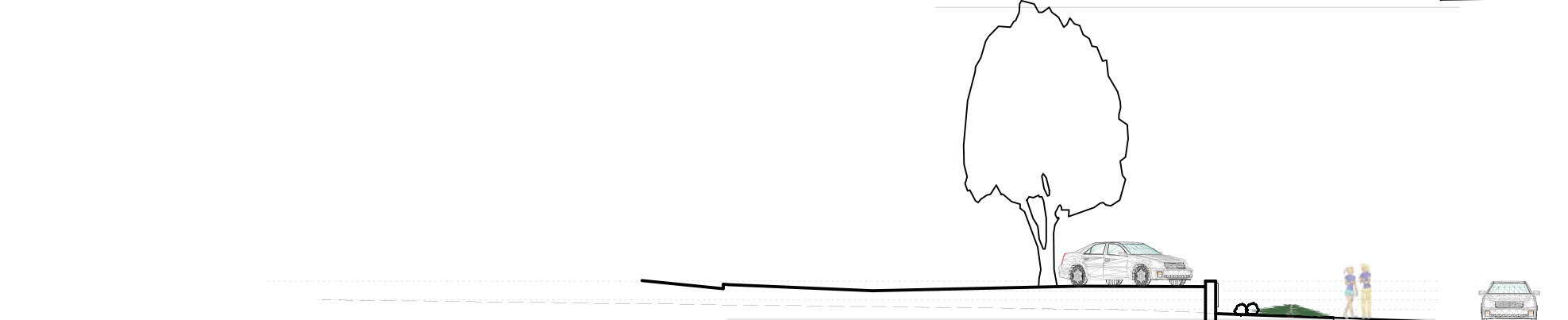
East Springs Drive  
Madison, Wisconsin



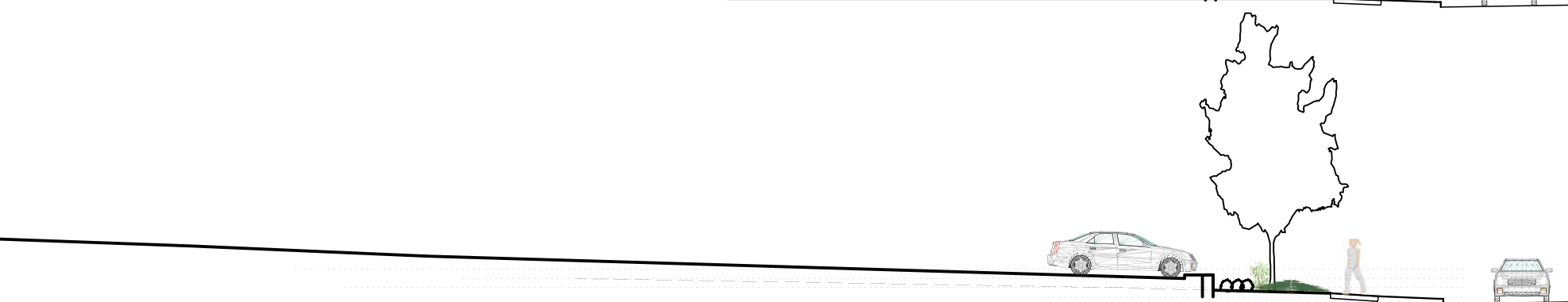
1 NE CORNER @ HIGH CROSSING  
A3.0 Scale: 1/16" = 1'-0"



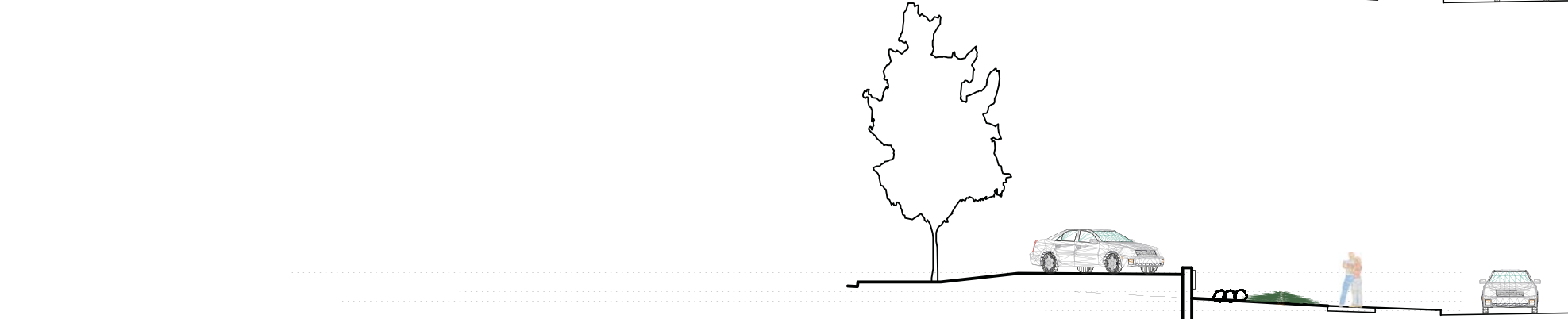
2 HIGH CROSSING @ MID LOT  
A3.0 Scale: 1/16" = 1'-0"



3 CORNER @ EAST SPRINGS & HIGH CROSSING  
A3.0 Scale: 1/16" = 1'-0"



4 EAST SPRINGS MID LOT  
A3.0 Scale: 1/16" = 1'-0"



5 EAST SPRINGS @ ENTRY CORNER  
A3.0 Scale: 1/16" = 1'-0"

REVISIONS:	
#1	1/30/2013
#2	3/27/2013

DATE: 27 MARCH 2013  
SCALE: NTS  
PROJECT: K1214  
DRAWN BY: ASH

**DRAWING NAME:**

SITE SECTIONS

**DRAWING NUMBER:**

**A-3.0**

