# APPLICATION FOR URBAN DESIGN COMMISSION

**REVIEW AND APPROVAL** 

AGENDA ITEM#	
Project #	
Legistar #	

**Action Requested** 

	UDC MEETING DATE: 11/28/12	Informational Presentation  Initial Approval and/or Recommendation  Final Approval and/or Recommendation	
<b>-</b> (	PROJECT ADDRESS: 2202 South Park Stre		P
	ALDERMANIC DISTRICT:14		
<b>Y</b>	OWNER/DEVELOPER (Partners and/or Principals) Ken Loving/Access Community Health	ARCHITECT/DESIGNER/OR AGENT: ERDMAN	LEASE
	2901 W. Beltline Hwy., Suite 120	One Erdman Place	$\overline{+}$
1	Madison, WI 53713	Madison, WI 53717	P
	CONTACT PERSON: David Hoffman		PRINT
<b>T</b>	Address: One Erdman Place		
	Madison, WI 53717		
7	Phone: 608.410.8209		• -
	Fax: 608.410.8709		
	E-mail address: <u>dhoffman@erdman.co</u> m		
	well as a fee) School, Public Building or Space (Fee may be re New Construction or Addition to or Remodeling Sq. Ft. Planned Commercial Site	Urban Design District * (A public hearing is required) equired) g of a Retail, Hotel or Motel Building Exceeding 40,	
	(See Section B for:)  New Construction or Exterior Remodeling in C4  (See Section C for:)	1 District (Fee required)	
	R.P.S.M. Parking Variance (Fee required)		
	(See Section D for:)  Comprehensive Design Review* (Fee required) Street Graphics Variance* (Fee required)		
	Other		

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

<sup>\*</sup>Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



November 19, 2012

To: Urban Design Commission

From: David Hoffman, Erdman

Re: 2200 South Park Street - Access Community Health Centers - Initial/Final Review

Attached are 14 copies of the submittal for the new Access Community Health Centers clinic. We have been working over the last weeks to refine the design and respond to the comments we heard at the informational presentation on November 7<sup>th</sup>. We feel that the design currently illustrated in this submittal has been refined and improved with your feedback, and we would like to request combined Initial and Final approval. Below are some of the areas that have been revised since the previous presentation.

The Villager Mall Master Plan has been included in the submittal materials. This indicates the UDC approved building placement and site layout for the Access parcel. Through our programming, design and design development process of the Access facility a number of revisions to the approved master plan were required and/or desired by the design team. These include the following:

#### 1. <u>Building Layout and Placement</u>

The master plan indicates a long and narrow future building with the long axis running north-south along the Park Street setback with the north building line at the Ridgewood Street setback.

The Access proposal maintains the northeast corner setback location of the building. However the Access facility has a relatively square footprint. This allows greater visibility from Park Street to buildings along the west portion of the site.

#### 2. Park Street Presence

The master plan indicates the long building façade extending along approximately seven-eighths of the Park Street frontage. The remaining one-eighth of the Park Street frontage includes a walkway and plantings leading to a paved open space away from Park Street located at the southwest corner of the building. No pedestrian building access is indicated along Park Street in the master plan. Primary user access appears to be provided along the west building line away from Park Street.

The Access proposal provides a south-facing main entry to the building adjacent to the Park Street setback. Building features including wall and glass panels, an entry canopy extending south along the Park Street setback, and material detailing enhance the visibility of the entry as one travels along Park Street.

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#### 3. Parking Layout

The master plan provides a block of parking screened by and to the west of the future building. Parking to building access efficiency is somewhat limited by the layout.

The Access proposal layout provides separate patient and staff parking areas with appropriate proximity to patient and staff building entries. The patient parking area is integrated with the building canopy and pedestrian courtyard garden.

Currently parking is oversubscribed on the overall Villager site. Per current zoning, for the 22,500 square foot clinic 75 parking spots are required. Access' purchase agreement with the Community Development Authority requires 79 parking spots. With the current design we are providing 87 spots which should help the overall parking situation. It is possible that with the relocation of the drive entry from Ridgewood Street, fire access may dictate some reconfiguration that affects parking count.

At the information presentation several comments were made regarding how the building should address Park Street. A suggestion was made to look at adding a door opening onto Park Street, and another that the building should speak to the street. We have thoroughly investigated our options in terms of the site and building design, and our client (Access) has given their thoughts as well.

We are making a number of moves with the building and site design to speak to Park Street. The entrance of the building is located near Park Street but oriented to the passenger drop off and patient parking area. Access has commissioned a survey that shows that 78 percent of their patients arrive by automobile, so we feel that this compromise location addresses both the street and patient convenience.

Another move that addresses Park Street is the covered walkway. This helps to visually extend the presence of the building on the street, and acts as a welcoming element to pedestrians entering the site.

The Urban Design Commission has approved other similar projects on Park Street without requiring a door to the street. These include the Wingra Clinic and the urban League Building. Both of these buildings, along with the new Access Clinic, make gestures to the street other than a door directly to the street.

Access Community Health staff and management has also expressed their concern about having a door that opens directly to Park Street. A large number of their patients visit the clinic with families and small children. The concern is that children may exit the building and be more at risk from traffic if there is a door leading directly to the street. With the precedents of other projects without doors on Park Street, as well as the other design elements that address and speak to the street, we would like to ask for approval with the entrance located as shown in the current design.

Another suggestion was made at the informational presentation about providing for pedestrian access through the site and connecting to the Urban League site. The site plans attached show the pedestrian connections that we are proposing that address this concern.

A comment was made regarding the masonry base, suggesting that split face concrete masonry should not be used, and that there is no need to emulate of match the Urban League building. There is a photograph of the proposed masonry attached. We feel this block works well with the Urban League building while not trying to directly match it.

Another comment was made regarding the metal panel system on the south elevation, that there is a large area of metal and that we should look for some way to break this up. We have added several areas that vary the pattern of the metal ribbing and texture to help break up the large areas and enhance the overall design. We think that this has added another level of interest to the design.

#### **Organizational Structure:**

Owner: Access Community Health Centers

2901 W. Beltline Hwy, Suite 120

Madison, WI 53713

Contact: Ms. Joanne L. Holland

608-443-5500

Design/Builder: ERDMAN Company

One Erdman Place Madison, WI 53717 Contact: David Hoffman dhoffman@erdman.com

608-410-8209

#### **Project Schedule**

Initial/Final Approval Presentation to UDC – November 28, 2012 Construction Start – March 2013 Construction Complete – November 2013

Thank you for your consideration in reviewing our submittal. We look forward to discussing the project at our next presentation.

Sincerely,

David Hoffman, AIA, LEED AP Project Design Manager ERDMAN



































Villager Mall Key Plan



























Zone of North Panoramic Images



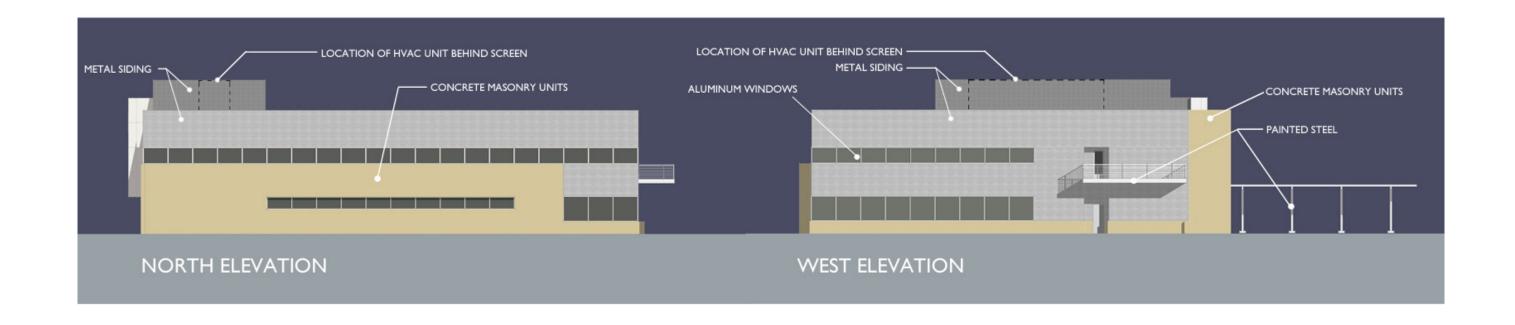


















# PLANTING SCHEDULE AND LEGEND

Key	Botanical Name	Common Name	Qty	Planting Size	Root Spec	Spacing	Comments
Major	Deciduous Trees						
CC	Corylus colurna	Turkish Filbert	6	2"- 2 1/2" cal	B&B	As shown	Straight leader
FSR	Fagus sylvatica 'Roseomarginata'	Tricolor European Beech	I	2"- 2 1/2" cal	B&B	As shown	Straight leader
PCA	Pyrus calleryana 'Aristocrat'	Aristocrat Callery Pear	6	2"- 2 1/2" cal	B&B	As shown	Straight leader, matched
TCG	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	6	2"- 2 1/2" cal	B&B	As shown	Straight leader, matched
Minor	Deciduous Trees						
ACP	Amelanchier can. 'Prince William"	Prince William Serviceberry	3	4' HT	B&B	As shown	Multi-stem, matched
MLS	Magnolia lilliflora x stellata 'Ann'	Ann Magnolia	4	5' HT	B&B	As shown	Multi-stem, matched
Decid	luous Shrubs						
CF	Calycanthus floridus	Carolina Allspice	П	18" HT	Cont	As shown	Full plants, matched
DXL	Deutzia x lemoinei 'Compacta'	Compact Deutzia	14	15" HT	Cont	As shown	Full plants, matched
FGW	Fothergilla gardenii 'Windy City'	Windy City Dwarf Fothergilla	12	18" HT	Cont	As shown	Full plants, matched
RRP	Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose	67	18" HT	Cont	As shown	Full plants
RTT	Rhus typhina 'Tiger Eyes'	Tiger Eyes Staghorn Sumac	1	18" HT	Cont	As shown	
VCC	Viburnum carlesii 'Compactum'	Compact Koreanspice Viburnum	10	18" HT	Cont	As shown	Full plants, matched
Everg	reen Shrubs						
JBV	Juniperus chinensis 'Blue Vase'	Blue Vase Chinese Juniper	56	15" HT	Cont	As shown	Full plants, matched
TCN	Taxus cuspidata 'Nana Auresens'	Dwarf Golden Japanese Yew	21	12" HT	Cont	As shown	Full plants, matched
TME	Taxus x media 'Everlow'	Everlow Yew	48	12" HT	Cont	As shown	Full plants, matched
Peren	nials, Ornamental Grasses and Groundo	covers					
at	Asclepias tuberosa	Butterflyweed	50	6"	Pots	18" o.c.	Field determine planting drift
al	Aster laevis	Smooth Blue Aster	45	6"	Pots	18" o.c.	Field determine planting drift
cakf	Calamagrostis acutiflora 'Karl Foerster	Karl Foerster Reed Grass	50	6"	Pots	24" o.c.	Full vigorous plants
ср	Carex pensylvanica	Pennsylvania Sedge	675	2"	Plugs	12" o,c,	Full vigorous plants
epm	Echinacea purpurea	Purple Coneflower	25	6"	Pots	18" o.c.	Field determine planting drift
hcg	Hemerocallis 'Camden Gold Dollar'	Camden Gold Dollar Daylily	35	l Gal	Pots	24" o.c.	Full vigorous plants
pokr	Pennisetum orientale 'Karley Rose'	Karley Rose Fountain Grass	44	6"	Pots	As shown	Full plants, matched
rfg	Rudbeckia subtomentosa	Sweet Black-Eyed Susan	35	6"	Pots	18" o.c.	Field determine planting drif
SS	Schizachyrium scoparium	Little Bluestem	60	6"	Pots	18" o.c.	Field determine planting drift
sr	Solidago rigida	Stiff Goldenrod	55	6"	Pots	18" o.c.	Field determine planting drif
sh	Sporobolus heterolepsis	Prairie Dropseed	181	6"	Pots	As shown	Full plants, matched
 Lawn	and Non-Plant Groundlayer Treatment	see plan for limits					
<u> </u>	∑ Seed Lawn	(2)		ch: Type 'A': Sla Stone; or appr	-		from Madison Imple
^	√ Spade Edge Treatment						
SE		<u>∕BM\</u> Shred	dded	Bark Mulch: Sh	redded	Natural Hard	dwoods

# LANDSCAPE WORKSHEET

The number of trees require Schedule for Required Tree required. (Example: One to	es on the re	everse side of	this workshee		<del>"</del>	-		
	•			er er er er er				
Landscape requirements for storage area by (300) square feet [Example: 10,000 square feet	ire feet. Th	nis converts <u>are</u>	<u>ea</u> to <u>stalls</u> .		•	age of the		
Number of Parking Sta	ılls ———						88	
Total Square Footage		-					<b>2</b>	
Divided by Three Hund	dred (300) \$	Square Feet						
Number of Canopy Sha		Required (2" -	2 1/2" Caliper	)			TOTAL <b>7</b>	
(See Schedule on reve	erse side)							
Number of Landscape	Points Re	<u>equired</u>						
The number of points requi	ired is also	based on the					440	
ber of points required. (Ex	ample: 49.	5 points are re	quired for 10 s	stalls). A point	t fraction of		<u>413</u>	
(.5) or less may be disrega point. Thus: 49.5 points we			, ,		ea as one			
point. Thus: 49.5 points would be rounded down to 49.0 points required.  The number of points required for <u>loading areas</u> is (75) points for each loading berth.								
The number of points requi	The number of points required for <u>loading areas</u> is (75) points for each loading berth. ————————————————————————————————————							
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		· ·					TOTAL	
Number of Points Required Indicate below the quantity	side) uired (See nd Credits and points	Schedule on re <u>s</u> for all pertiner	nt landscape e		o, credit		TOTAL 488	
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Number of Points Requirements of Points Requirements and Indicate below the quantity information for boundary so the Element Canopy Tree: 2" - 2 1/2*  Deciduous Shrub  Evergreen Shrub	uired (See of Credits and points creening and VALUE 35 2 3	Schedule on research of sections of the section of	POINTS ACHIEVED	e retained.	DITS		-	
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Number of Points Required Tabulation of Points and Indicate below the quantity information for boundary so the Element Canopy Tree: 2" - 2 ½*  Deciduous Shrub Evergreen Shrub Decorative Wall or Fence (per 10 L.F.)	red (See on Credits and points breening an Point Value 35 2 3 5	Schedule on restance of the second se	POINTS ACHIEVED  385 146	e retained.	DITS		-	
Number of Points Required Tabulation of Points at Indicate below the quantity information for boundary so the Element Canopy Tree: 2" - 2 ½*  Deciduous Shrub Evergreen Shrub Decorative Wall or Fence (per 10 L.F.)  Earth Berm (per 10 L.F.)  Avg. Height 30"  Avg. Height 15"	uired (See ond Credits and points creening and VALUE 35 2 3 5	Schedule on restance of the second se	POINTS ACHIEVED  385 146	e retained.	DITS		-	
Number of Points Required Tabulation of Points au Indicate below the quantity information for boundary so the Element Canopy Tree: 2" - 2 ½*  Deciduous Shrub Evergreen Shrub Decorative Wall or Fence (per 10 L.F.) Earth Berm (per 10 L.F.) Avg. Height 30" Avg. Height 15"  Evergreen Trees 3' height minimum Canopy Tree or Small Tree 1 ½" - 2" Caliper	red (See of Credits and points creening and VALUE 35 2 3 5	Schedule on restance of the second se	POINTS ACHIEVED  385 146	e retained.	DITS		-	
Number of Points Required Tabulation of Points and Indicate below the quantity information for boundary so the Element Canopy Tree: 2" - 2 ½*  Deciduous Shrub  Evergreen Shrub  Decorative Wall or Fence (per 10 L.F.)  Earth Berm (per 10 L.F.)  Avg. Height 30"  Avg. Height 15"  Evergreen Trees 3' height minimum  Canopy Tree or Small Tree	real side)  uired (See and Credits and points creening and Point Value 35 5 5 2 15	Schedule on restance of section of the section of t	POINTS ACHIEVED 385 146 231	e retained.	DITS		<b>488</b>	



# **ERDMAN COMPANY**

One Erdman Place | P.O. Box 44975 Madison, Wisconsin 53744-4975 Phone 608.410.8000 | Fax 608.410.8500

Access
Community
Health
Centers
Access
Community
Health
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11 16 10	LIDO DEMEM
11-16-12	UDC REVIEW
rn: <b>KJL</b>	Chk: <b>TMA</b>
heet Name	
	SCAPE

Scale:
Sheet Number

**PLAN** 

# by the proposed work. The subcontractor shall make every effort to protect existing utility lines and shall repair any damages at their own expense. The subcontractors shall also coordinate their activities with other subcontractors to ensure compliance with the project schedule. 3. All site concrete shall have a minimum 28 day compressive strength of 4000 psi, a slump of 4", an air content of 6% and a maximum water to cement ratio of 0.48 CONC) D G E W O O D **Proposed Medical Office** Building FFE. = 888.5 11111111

# GENERAL NOTES

- 1. Parking lot dimensions are from face of curb to face of curb unless noted othewise
- 2. It shall be the responsibility of the subcontractors to notify all applicable utility companies who may be affected

# SITE LEGEND

Contours		)(
Spot elevations	100.0	
Trees to be saved		
Trees to be removed		
Storm sewer main / lateral		
Sanitary sewer main / lateral		_
Water main / lateral		_
Gas main / lateral		
Overhead Electrical service	OH/EOH/E	_
Underground electric service	— UG/E UG/E -	
Overhead Telephone service		
Underground Telephone service		_
PROPOSED:		
Contours	\ /	_
Spot elevations	100.0	

# \_\_\_\_\_ 12 ST \_\_\_\_\_ —— GAS ——— GAS —— Overhead Electrical service Underground Electric service — UG/ E — Cable Television service MISCELLANEOUS:

Property line --

Setback line	
Silt fence	SF
Site Phasing line	
Water line ·	
100 Yr. Flood line	
Contract Limit line	
<u>LANDSCAPING</u>	
Construction fence	- x - x - x -
Irrigation Area Zone line	- ~ - ~ - ~ -
Landscape Edging line	
Mowing line	_ + - + - + -

Irrigation Area Zone line	— ~ - ~ - ~ ·
Landscape Edging line	
Mowing line	+ - + - +
Planting code symbol (Base Bid Plant)	0 ← Plant Qty. 00 ← Plant Code
Planting code symbol (Add Alternate Plant)	Plant Code
<u>SYMBOLS</u>	

STMBULS		
Existing Parking lights		9 9
Proposed Parking lights	φ <b>φ</b>	
Soil boring location & Number		<b>1</b>

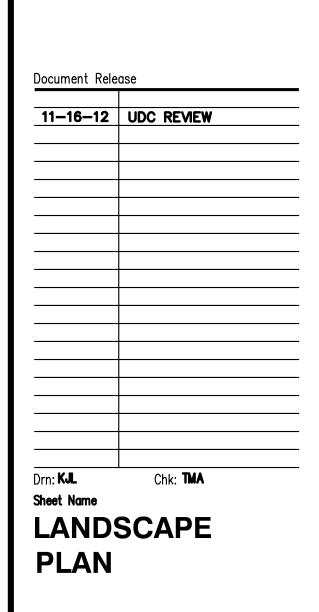
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EXISTING	PROPOSED	
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<b>-</b>	<b> </b>	Concrete Headwall
		Storm Catchbasins
$\bigcirc\bigcirc$		Sanitary & Storm Manhole
1	<b>)</b>	Storm gooseneck
© C.O.	© C.O. —	Cleanout
		Storm inlet protection
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G	G —	Gas Meter
<del>- 0</del>		Power pole
	N	Handicap signs
	• ~~	Flag pole
0	<b>o</b> –	Concrete Bollard
0	• –	— Conc. filled Pipe Bollard
×	<b>×</b> –	Light Bollard
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## **ERDMAN COMPANY**

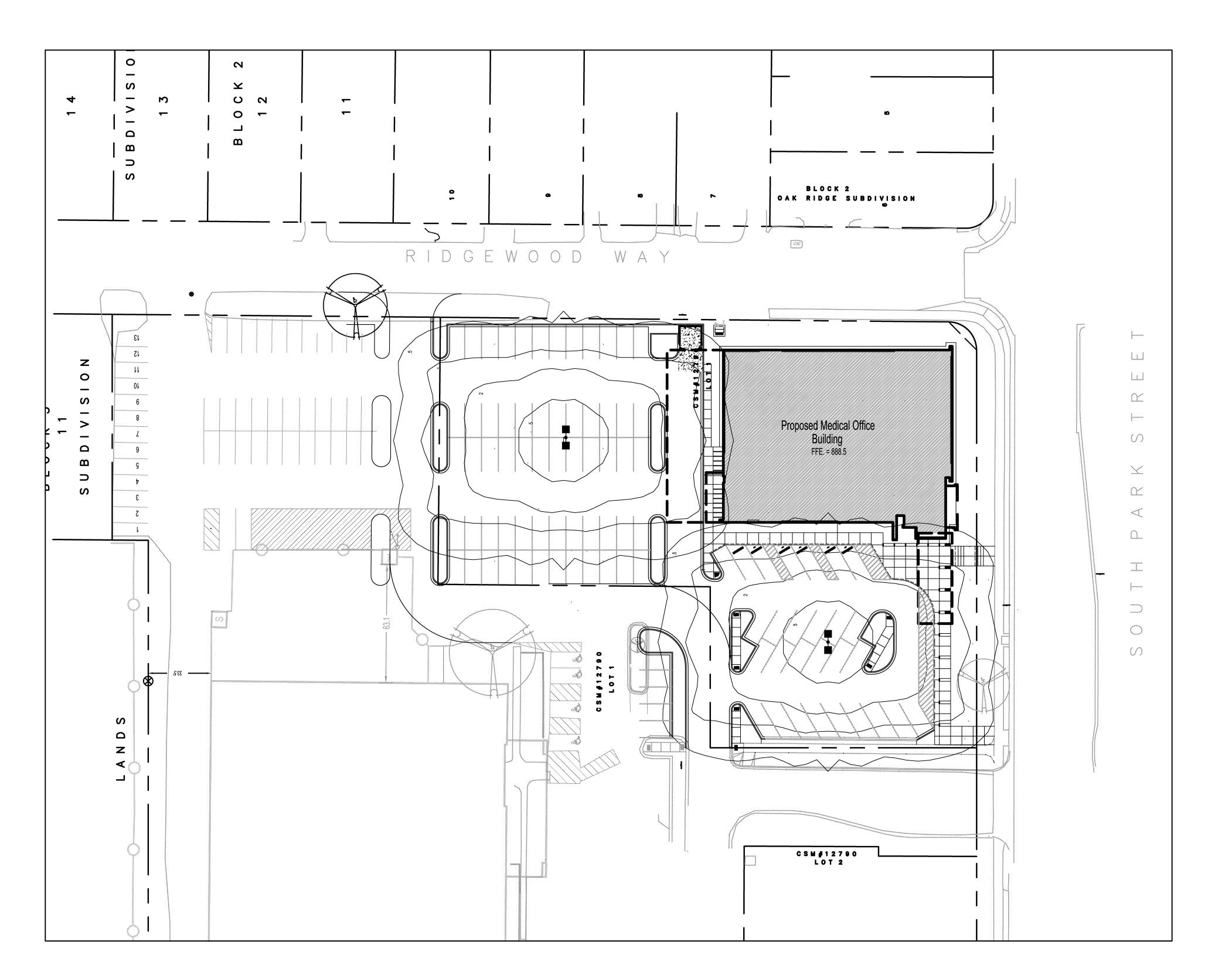
One Erdman Place | P.O. Box 44975 Madison, Wisconsin 53744-4975 Phone 608.410.8000 | Fax 608.410.8500

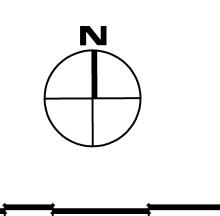
# Access Community Health Centers



uminaire Schedule						
Symbol	Qty	Arrangement	Lumens	LLF	Description	
	2	BACK-BACK	40000	1.000	Double 400 Watt Metal Halide Box Fixture on a 30' Pole (Match Existing)	

inaire Schedule					
bol	Qty	Arrangement	Lumens	LLF	Description
	2	BACK-BACK	40000	1 000	Double 400 Watt Metal Halide Box Fixture on a 30' Pole (Match Existing)





- 1. Parking lot dimensions are from face of curb to face of curb unless noted othewise
- 2. It shall be the responsibility of the subcontractors to notify all applicable utility companies who may be affected by the proposed work. The subcontractor shall make every effort to protect existing utility lines and shall repair any damages at their own expense. The subcontractors shall also coordinate their activities with other subcontractors to ensure compliance with the project schedule.
- 3. All site concrete shall have a minimum 28 day compressive strength of 4000 psi, a slump of 4", an air content of 6% and a maximum water to cement ratio of 0.48

<u>EXISTING</u>		
Contours	100.0	100
Spot elevations	100.0 	
Trees to be saved		
Trees to be removed		
Storm sewer main / lateral		12 ST—
Sanitary sewer main / lateral		6 SA
Water main / lateral	4 W	4 W
Gas main / lateral	GAS	GAS
Overhead Electrical service	—OH/E	OH/E —
Underground electric service	—	UG/E —
Overhead Telephone service		OH/T —
Underground Telephone service		UG/T —
PROPOSED:		$\overline{}$
Contours	100.0	00)———
Spot elevations	100.0	_
Trees		$\mathcal{S}$
Shrubs	O S	
Storm sewer main / lateral	12 S	эт ———
Sanitary sewer main / lateral	6 SA	<b>A</b> ———
Water main / lateral	4 W —	— 4 W —
Gas main / lateral	GAS	— GAS ——
Overhead Electrical service	OH/	Ε ——
Underground Electric service	UG/	Ε
Overhead Telephone service	OH/	T
Underground Telephone service	UG/	т ——
Cable Television service	СОМ	м
MISCELLANEOUS:		
Property line	N 90° 0'	0 <u>" E</u>
Setback line	11.02	<u>-</u> — —
	eF	
Silt fence	- J	
Silt fence Site Phasing line		
Site Phasing line		
Site Phasing line Water line 100 Yr. Flood line		
Site Phasing line  Water line  100 Yr. Flood line  Contract Limit line		
Site Phasing line		
Site Phasing line  Water line  100 Yr. Flood line  Contract Limit line	— x — x	

# <u>SYMBOLS</u>

Planting code symbol (Add Alternate Plant)

Existing Parking lights		ç	9	000
Proposed Parking lights	φ <b>φ</b>	Ţ		•
Sail baring location & Number		<b>L</b>		

EXISTING	PROPOSED	_
		Precast Flaired end section
<u> </u>	<u> </u>	Concrete Headwall
		Storm Catchbasins
$\bigcirc\bigcirc$		——— Sanitary & Storm Manhole
1	<b>)</b>	Storm gooseneck
©C.O.	© C.O.	Cleanout
		Storm inlet protection
$\Diamond$	<b>♦</b>	Fire Hydrant
		Siamese Connection
∞ w.v.	₩.v.	Water Valve
W	W	Water Meter
G	G	Gas Meter
<del></del>	•	Power pole
	H + H +	——— Handicap signs
	•~	Flag pole

W	W	Water Meter
G	G	Gas Meter
0		Power pole
	H F H F	Handicap signs
	••	Flag pole
0	0	Concrete Bollard
0	•	Conc. filled Pipe Bollard
×	×	Light Bollard

Drn: **KJL** 

**PLAN** 

**PHOTOMETRIC** 

11-16-12 UDC REVIEW

Madison, WI 6102



**ERDMAN COMPANY** 

One Erdman Place | P.O. Box 44975

Phone 608.410.8000 | Fax 608.410.8500

Access

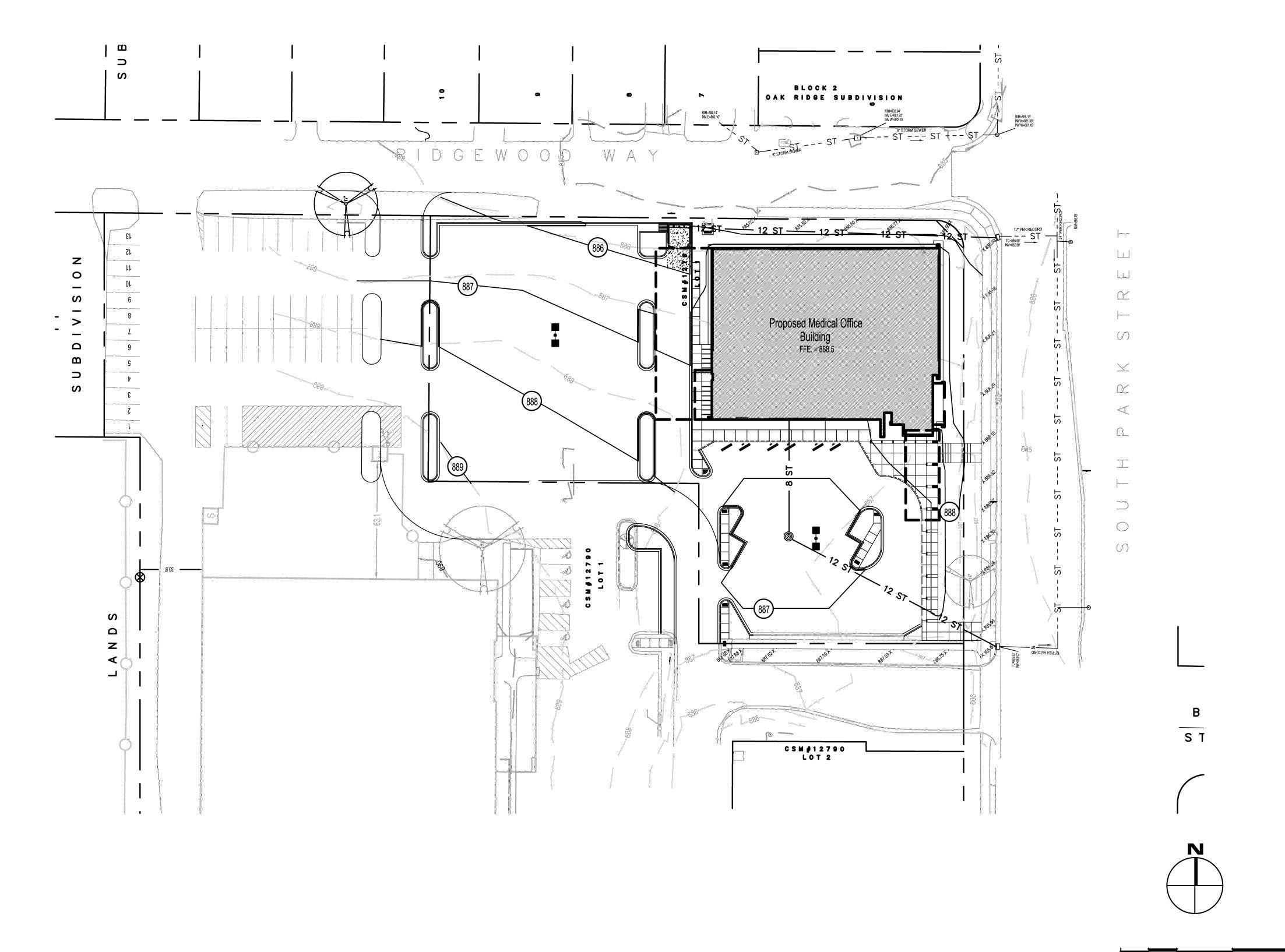
Health

Centers

Community

Madison, Wisconsin 53744-4975

- curb unless noted othewise
  - notify all applicable utility companies who may be affected by the proposed work. The subcontractor shall make every effort to protect existing utility lines and shall repair any damages at their own expense. The subcontractors shall also coordinate their activities with other subcontractors to ensure compliance with the project schedule.
- 3. All site concrete shall have a minimum 28 day compressive strength of 4000 psi, a slump of 4", an air content of 6% and a maximum water to cement ratio of 0.48



#### 1. Parking lot dimensions are from face of curb to face of **EXISTING** Contours 2. It shall be the responsibility of the subcontractors to Spot elevations

Trees to be saved Trees to be removed ...

SITE LEGEND

Gas main / lateral ---

Underground Telephone service --UG/T - --UG/T

PROPOSED: Contours ---Spot elevations 

Storm sewer main / lateral \_\_\_\_\_\_ 12 ST \_\_\_\_\_ Water main / lateral — 4 W — 4 W — Gas main / lateral —— GAS ——— GAS —— OH/ E —— Overhead Electrical service Underground Electric service UG/E — —— OH/ T ——— Overhead Telephone service Underground Telephone service UG/ T ——— Cable Television service

MISCELLANEOUS: Property line ~ Setback line Silt fence ... Site Phasing line Water line 100 Yr. Flood line Contract Limit line

**LANDSCAPING** Construction fence Landscape Edging line Mowing line

Planting code symbol (Base Bid Plant) Planting code symbol (Add Alternate Plant) <u>SYMBOLS</u>

Soil boring location & Number

—— Precast Flaired end section ---- Cleanout ----- Storm inlet protection Flag pole

• Conc. filled Pipe Bollard

----- Concrete pavement Slope Arrow



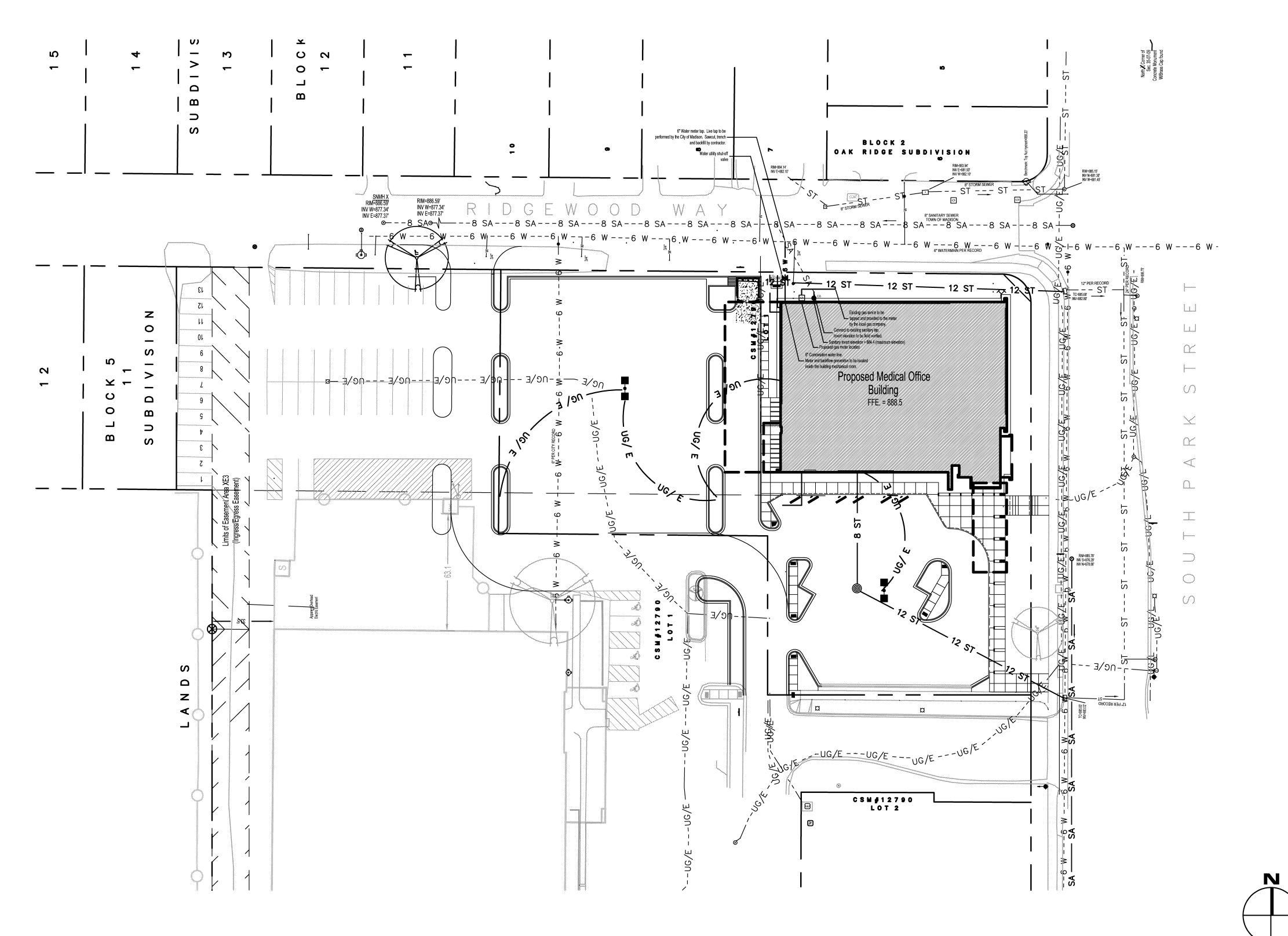
### **ERDMAN COMPANY**

One Erdman Place | P.O. Box 44975 Madison, Wisconsin 53744-4975 Phone 608.410.8000 | Fax 608.410.8500

Access Community Health Centers

11-16-12 | UDC REVIEW Drn: **KJL** Chk: TMA Sheet Name SITE GRADING **PLAN** 

- curb unless noted othewise
- damages at their own expense. The subcontractors shall ensure compliance with the project schedule.
- 3. All site concrete shall have a minimum 28 day compressive





# 1. Parking lot dimensions are from face of curb to face of

2. It shall be the responsibility of the subcontractors to notify all applicable utility companies who may be affected by the proposed work. The subcontractor shall make every effort to protect existing utility lines and shall repair any also coordinate their activities with other subcontractors to

strength of 4000 psi, a slump of 4", an air content of 6% and a maximum water to cement ratio of 0.48

# SITE LEGEND

<u>EXISTING</u>	
Contours  Spot elevations	100.0
Trees to be saved	
Trees to be removed	
Storm sewer main / lateral	
Sanitary sewer main / lateral	

	••••
Storm sewer main / lateral ———	12 ST12 ST-
Sanitary sewer main / lateral	6 SA6 SA
Water main / lateral	4 W4 W
Gas main / lateral	GAS GAS —
Overhead Electrical service	OH/EOH/E —
Underground electric service ——	UG/EUG/E —
Overhead Telephone service	OH/TOH/T —
Underground Telephone service	UG/TUG/T —

PROPOSED:	
Contours	
Spot elevations	100.0
Trees	
Shrubs	
Storm sewer main / lateral	12 ST ———
Sanitary sewer main / lateral	6 SA ——
Water main / lateral	4 W —— 4 W ——
Gas main / lateral	—— GAS ——— GAS ——
Overhead Electrical service	OH/ E ——
Underground Electric service	UG/ E ——
Overhead Telephone service	OH/ T ——
Underground Telephone service	UG/ T ——
Cable Television service	COMM

<u> </u>	MISCELLANEOUS:		00° 0' 0" E	
ı	Property line	N	<u>9</u> 0_0 <u>0 0" E</u> 11 32'	<b>-</b>
:	Setback line ————————————————————————————————————		- — — —	
!	Silt fence ———————————————————————————————————		SF	
;	Site Phasing line			_
,	Water line			
•	100 Yr. Flood line			
(	Contract Limit line			

Contract Limit line	
<u>LANDSCAPING</u>	
Construction fence	— x - x - x -
Irrigation Area Zone line	_ ~ - ~ - ~ -
Landscape Edging line	
Mowing line	+ - + - + -
Planting code symbol (Base Bid Plant)	0 ← Plant Qty. 00 ← Plant Code
Planting code symbol (Add Alternate Plant)	Plant Code

SYMBO	<u>DLS</u>				
Existing I	Parking lights ••••••••••••••••••••••••••••••••••••	<b>P</b>	Ç	0	9
Proposed	Parking lights ——————	φ	•		
Soil borin	a location & Number		 <b>△</b> <sub>R1</sub>		

Soil boring loo	cation & Num	ber B1
EXISTING	PROPOSED	_
	$oldsymbol{\Theta}$	
	H	Concrete Headwall
		Storm Catchbasins
$\bigcirc\bigcirc$		Sanitary & Storm Manhole
<b>1</b>	<b>)</b>	Storm gooseneck
© C.O.	© C.O.	Cleanout
		Storm inlet protection
$\Diamond$	<b>•</b>	Fire Hydrant
		Siamese Connection
$\otimes$ "···	$\otimes$ "	. — Water Valve
W	W	Water Meter
G	G	Gas Meter
0		Power pole
	H F H F	Handicap signs
	••	Flag pole
0	0	Concrete Bollard
o	•	Conc. filled Pipe Bollard

11-16-12 UDC REVIEW

Madison, WI 6102

SITE UTILITY

Drn: **KJL** 

**PLAN** 

Madison, Wisconsin 53744-4975

**ERDMAN COMPANY** One Erdman Place | P.O. Box 44975

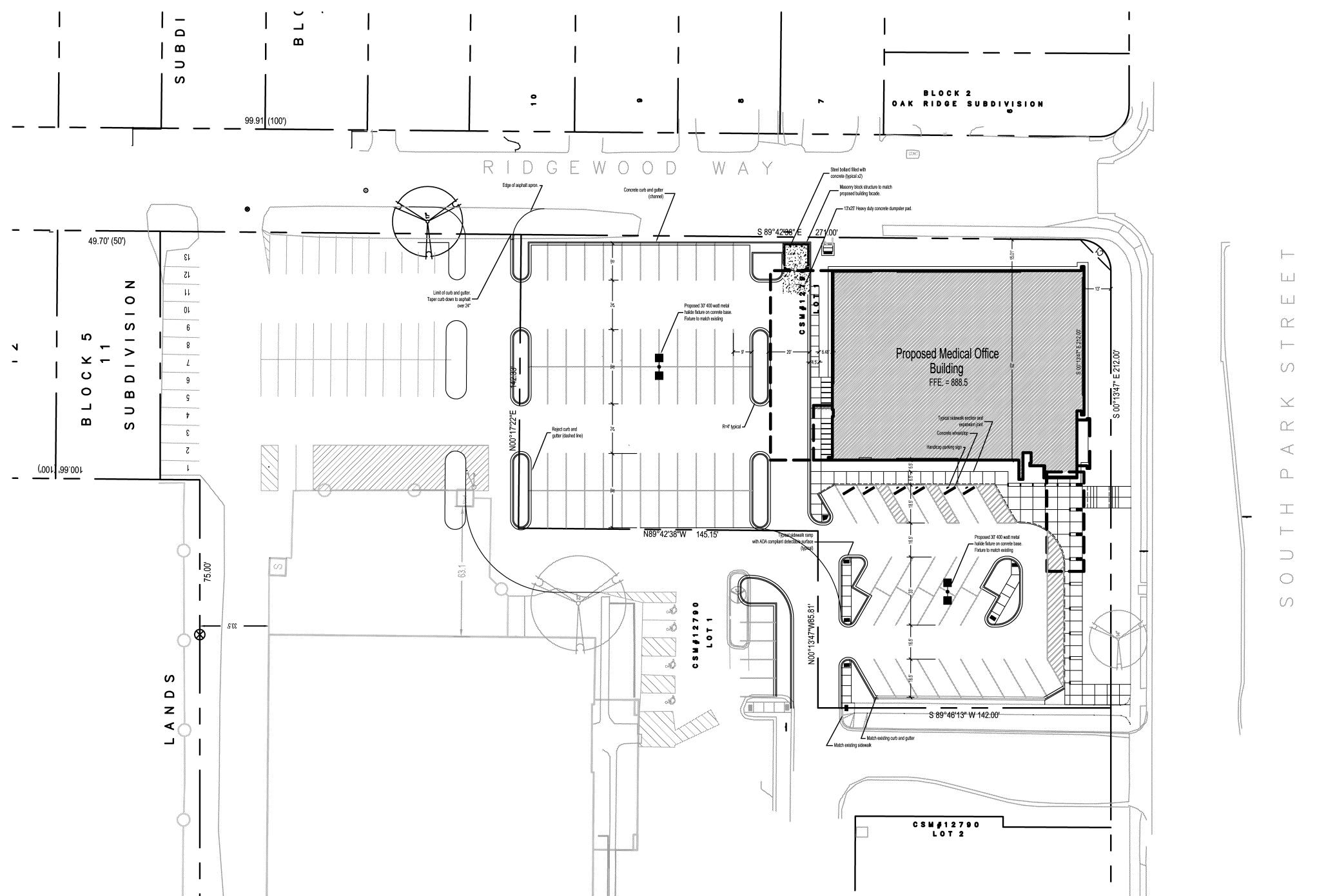
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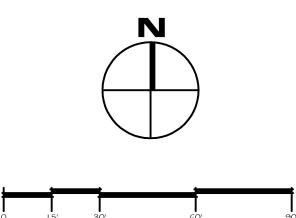
Phone 608.410.8000 | Fax 608.410.8500

Community Health Centers

# 1. Parking lot dimensions are from face

- Parking lot dimensions are from face of curb to face of curb unless noted othewise
- 2. It shall be the responsibility of the subcontractors to notify all applicable utility companies who may be affected by the proposed work. The subcontractor shall make every effort to protect existing utility lines and shall repair any damages at their own expense. The subcontractors shall also coordinate their activities with other subcontractors to ensure compliance with the project schedule.
- All site concrete shall have a minimum 28 day compressive strength of 4000 psi, a slump of 4", an air content of 6% and a maximum water to cement ratio of 0.48





<u>EXISTING</u>	
Contours  Spot elevations	100.0
Trees to be saved	
Trees to be removed	
Storm sewer main / lateral	
Sanitary sewer main / lateral	
Water main / lateral	
Gas main / lateral	
Overhead Electrical service	
Underground electric service	
Overhead Telephone service	
Underground Telephone service	
PROPOSED:	
Contours	
Spot elevations	100.0
Trees	
Shrubs	$ \odot$
Storm sewer main / lateral	12 ST —
Sanitary sewer main / lateral	6 SA ——
Water main / lateral	4 W — 4 W —
Gas main / lateral	GAS GAS
Overhead Electrical service	OH/ E
Underground Electric service	UG/ E
Overhead Telephone service	OH/ T ——
Underground Telephone service	UG/ T
	COMM ———
Cable Television service	

Setback line	
Silt fence	SF
Site Phasing line	
Vater line	
00 Yr. Flood line	
Contract Limit line	0 000000000000
_ANDSCAPING	
Construction fence	$ \times$ $ \times$ $ \times$ $-$
rrigation Area Zone line	_ ~ - ~ - ~ -
andscape Edging line	

	<b>* * * *</b>
Irrigation Area Zone line	~ ~ ~ ~ ~ ~
Landscape Edging line	
Mowing line	+ - + - + -
Planting code symbol (Base Bid Plant)	0 Plant Qty. 00 Plant Code
Planting code symbol (Add Alternate Plant)	Plant Code    Code
SYMBOLS	

3 IMBOLS		
Existing Parking lights		
Proposed Parking lights	φ <b>•</b>	•
Soil boring location & Number		<b>₽</b> B1

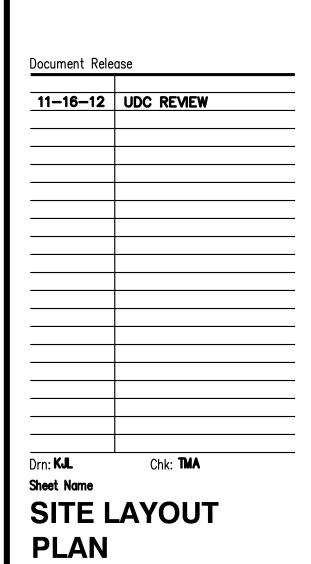
		Ψ = -
EXISTING	PROPOSED	
	D	——— Precast Flaired end section
<b>—</b>	<b> </b>	Concrete Headwall
$\Box$ O		Storm Catchbasins
$\bigcirc\bigcirc$		——— Sanitary & Storm Manhole
1	<b>1</b>	Storm gooseneck
©C.O.	© C.O.	Cleanout
		Storm inlet protection
$\Diamond$	<b>→</b>	Fire Hydrant
		Siamese Connection
₩.v.		Water Valve
W	W	Water Meter
G	G	Gas Meter
<del></del>	•	Power pole
	H F H F	——— Handicap signs
	•••	Flag pole
0	•	Concrete Bollard
0	•	——— Conc. filled Pipe Bollard
×	×	——— Light Bollard
<b>⟨</b> €	<b>4</b>	—— Flood light



## **ERDMAN COMPANY**

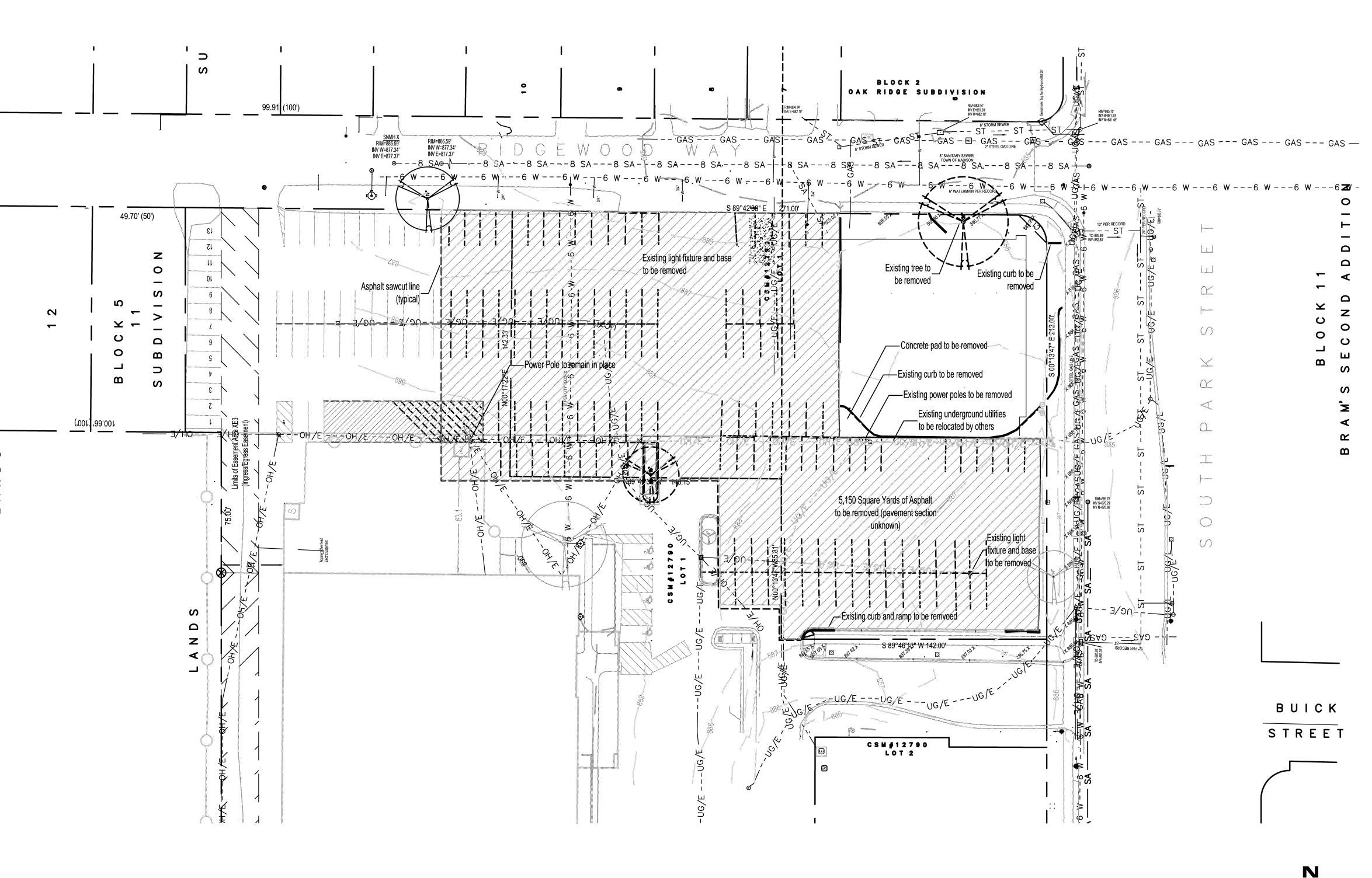
One Erdman Place | P.O. Box 44975 Madison, Wisconsin 53744-4975 Phone 608.410.8000 | Fax 608.410.8500

# Access Community Health Centers



Scale: 1" =

Sheet Number C102



- 1. Parking lot dimensions are from face of curb to face of curb unless noted othewise
- 2. It shall be the responsibility of the subcontractors to notify all applicable utility companies who may be affected by the proposed work. The subcontractor shall make every effort to protect existing utility lines and shall repair any damages at their own expense. The subcontractors shall also coordinate their activities with other subcontractors to ensure compliance with the project schedule.
- 3. All site concrete shall have a minimum 28 day compressive strength of 4000 psi, a slump of 4", an air content of 6% and a maximum water to cement ratio of 0.48



Gas main / lateral -

Overhead Electrical service

Contours	
Spot elevations	100.0 ——
Trees to be saved	
Trees to be removed	
Storm sewer main / lateral	
Sanitary sewer main / lateral	6 SA6
Water main / lateral	
Gas main / lateral	GAS (
Overhead Electrical service	—OH/EC
Underground electric service	UG/EU
Overhead Telephone service	
Underground Telephone service	
PROPOSED:	
Contours	
Spot elevations	100.0
Trees	
Shrubs	$\bigcirc \otimes \otimes$
Storm sewer main / lateral	12 ST -
Sanitary sewer main / lateral	6 SA -

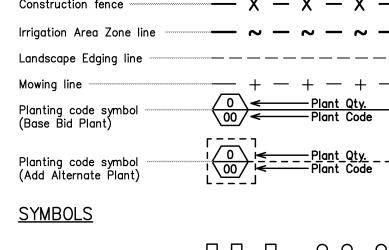
MISCELLANEOUS:	\\ 00° 0\ 0\ =
Property line	N 90° 0' 0" E 11.32'
Setback line	
Silt fence	SF
Site Phasing line	
Water line	
100 Yr. Flood line	
Contract Limit line	
<u>LANDSCAPING</u>	
Construction fence	x - x - x -
Irrigation Area Zone line	~ ~ ~ ~ ~ _
Landscape Edging line	

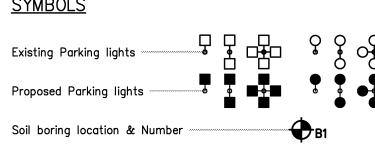
Underground Electric service — UG/ E — —

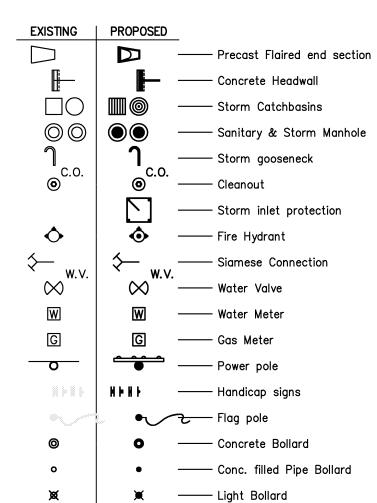
Overhead Telephone service OH/ T ———

Underground Telephone service UG/ T ———

Cable Television service COMM

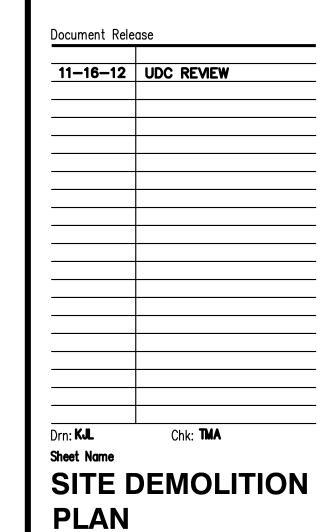






----- Flood light

----- Concrete pavement Slope Arrow



**ERDMAN COMPANY** 

One Erdman Place | P.O. Box 44975

Phone 608.410.8000 | Fax 608.410.8500

Access

Health

Centers

Community

Madison, Wisconsin 53744-4975

# Access Community Health Centers

Madison, Wisconsin

# CONSTRUCTION SITE IMPROVEMENT PLANS

# **Owner Contact**

Access Community Health Att. Ms. Joanne Holland 2901 W. Beltline Highway, Suite 120 Madison, Wl 53713

# **Engineer**

ERDMAN Company Karl Lueschow, PE One Erdman Place Madison, WI 53717 (608) 410 — 8135

# **Site Location**

50,000 Square Feet located within Lot 1 of Certified
Survey Maqp Number 12790
(Intersection of Ridgewood Way and Park Street)
Madison. W

# **Erosion Responsibility During Construction**

ERDMAN Company Charles Falk Madison, WI 53717 (608) 410 — 8201

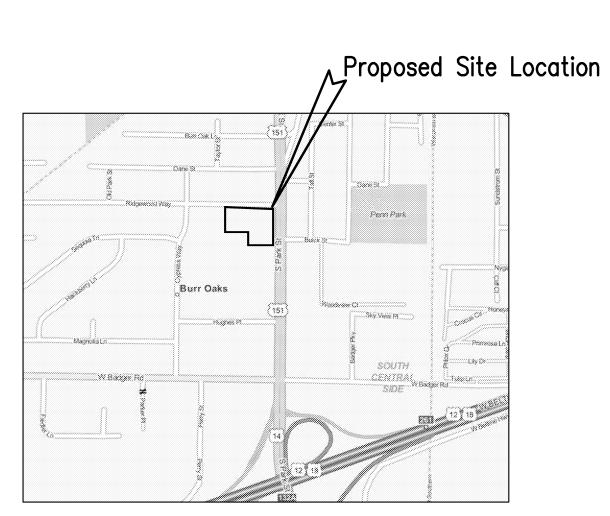


Site Location Map: Not To Scale

# Sheet Index

C000 C101 C102 C103 C104	COVER SHEET DEMOLITION PLAN SITE LAYOUT PLAN SITE UTILITY PLAN SITE GRADING PLAN
C106	PHOTOMETRIC PLAN

L101 LANDSCAPE PLAN L102 LANDSCAPE PLAN



Site Location Map: Not To Scale



## **ERDMAN COMPANY**

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Access
Community
Health
Centers

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Document Release

Scale: As Showi

Sheet Number



# The Villager Master Plan





