

City of Madison

Proposed Rezoning

Location 6350 Town Center Drive

Applicant
Jim Whitney - City of Madison

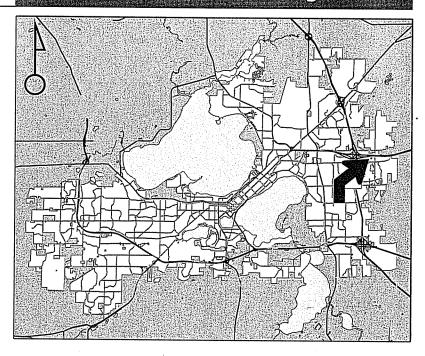
From: PUD-GDP

To: PUD(PD)-SIP

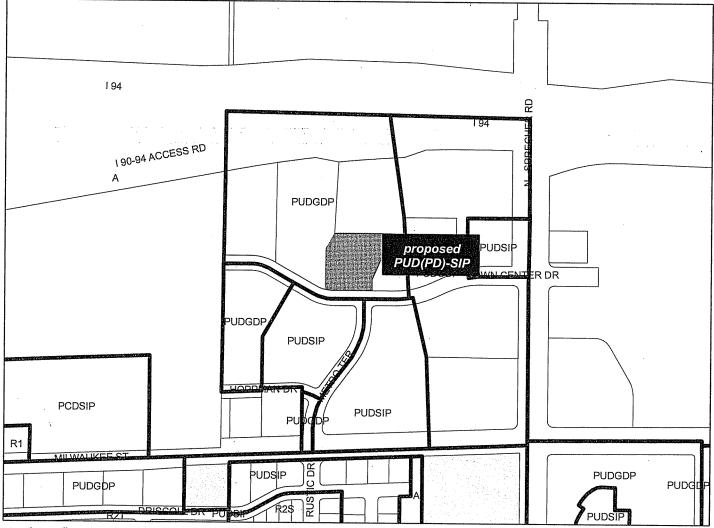
Existing Use Vacant Land

Proposed Use Construct Fire Station 13

Public Hearing Date Plan Commission 05 November 2012 Common Council 27 November 2012



For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale: 1" = 400'

City of Madison, Planning Division: RPJ: Date: 23 October 2012



City of Madison

6350 Town Center Drive



Date of Aerial Photography : Spring 2010



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LAND USE APPLICATION	ON	FOR OFFICE USE ONLY:
Madison Plan Commissi	on	Amt. Paid Receipt No
215 Martin Luther King Jr. Blvd; Room LL-		Date Received 9/5/12
PO Box 2985; Madison, Wisconsin 53701-2		Received By
Phone: 608.266.4635 Facsimile: 608.267		Parcel No. <u>07/0-021-0306-9</u>
		Aldermanic District 3 Lauren Chare
 The following information is required for all applications: Commission review except subdivisions or land divisions should be filed with the <u>Subdivision Application</u>. 		GQ ZONED PUDGOP/Enghall Zoning District PUDGOP
• Before filing your application, please review the regarding the LOBBYING ORDINANCE on the fir		For Complete Submittal Application Letter of
 Please read all pages of the application completely required fields. 	and fill in all	IDUP Intent Legal Descript.
 This application form may also be completed www.cityofmadison.com/planning/plan.html 	d online at	Plan Sets Zoning Text
• All Land Use Applications should be filed direct	ly with the	Alder Notification Waiver
Zoning Administrator.		Ngbrhd. Assn Not. Waiver
		Date Sign Issued 9/5//2
1. Project Address: 6350 Town CEN	TER DIZ	Project Area in Acres: 60.028
Project Title (if any): MADISON FIRE		
2. This is an application for:		
Zoning Map Amendment (check the appropriate box((es) in only one	of the columns below)
Rezoning to a Non-PUD or PCD Zoning Dist	t.: Rezoni	ng to or Amendment of a PUD or PCD District:
Existing Zoning:	_	. Zoning: to PUD/PCD-GDP
Proposed Zoning (ex: R1, R2T, C3):		z. Zoning: to PUD/PCD-SIP
Froposed Zonning (ex. K1, K21, C3).	_ _	
		nended Gen. Dev. 🔀 Amended Spec. Imp. Plan
☐ Conditional Use ☐ Demolition Permit	t 🛭 Oi	ther Requests (Specify):
2 Applicant Agent Change to Occupant		
3. Applicant, Agent & Property Owner Info		7
		npany: ZIMMERMAN ARCH. STUDIOS
		MILWAUKEE WI Zip: 53233
Telephone: (414) 225.0857 Fax: ()		Email: jack.blume @ zastudios.com
		•
Street Address: 210 Martin Little Kinich	# 115 Citv/State:	MADISON, WI Zip: 53703
		Email: jwhitney city of madison.c
Property Owner (if not applicant):		
Street Address:	city/State!	Zip:
4. Project Information:		
Provide a brief description of the project and all prop	posed uses of	the site: Construction of a NEW
14 land SE FIDE STETIAL LATTE & BA	75 AUA 1	IVING SPACE.
HOW SE LIKE DISCHOOL WITH J DA	TANK P	ANTING ALEGE.

14,10 Development Schedule: Commencement 3/15/13

Completion 2/1/14

5.	Req	uire	d Su	ıbm	ittals:
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- Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - 7 copies of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - 7 copies of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - 1 copy of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent (12 copies): describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee: \$____ See the fee schedule on the application cover page. Make checks payable to: City Treasurer.
- Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City 30 or 60 days prior to filing their application using the online notification tool found at: https://www.cityofmadison.com/developmentCenter/demolitionNotification/
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies): must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of METROTECH GENERAL DEVELOPMENT Plan, which recommends:

PROFESIONAL OFFICE # MUNICIPAL PIRE STATION for this property.

Pre-application Notification: Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than 30 days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

LAUREN CHARE DISTRICT 3, LUAS NOTIFIED ON 6/29/12 WITH A NEIGHBORNOOD M76 HELD ON 8/30/12. NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: KEVIN FIRCHOW Date: 6/28/12 Zoning Staff: _____ Date: _____

Check here if this project will be receiving a public subsidy. If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Signature Out Bue Relation to Property Owner ARCHITECT	Printed Name	JACK BLUME		Date 9/4/12	
	Signature _	Jack Bune	Relation to Property Owner	ARCHITECT	

Authorizing Signature of Property Owner Dk Clyfforting May 1, 2000

Effective May 1, 2009



2122 West Mt. Vernon Avenue | Milwaukee, WI 53233 | zastudios.com

TELEPHONE [414] 476.9500

FACSIMILE [414] 476.8582

September 5, 2012

City of Madison Plan Commission 215 Martin Luther King Jr. Blvd. Madison, WI 53701-2985

RE: Letter for Intent – Madison Fire Station #13

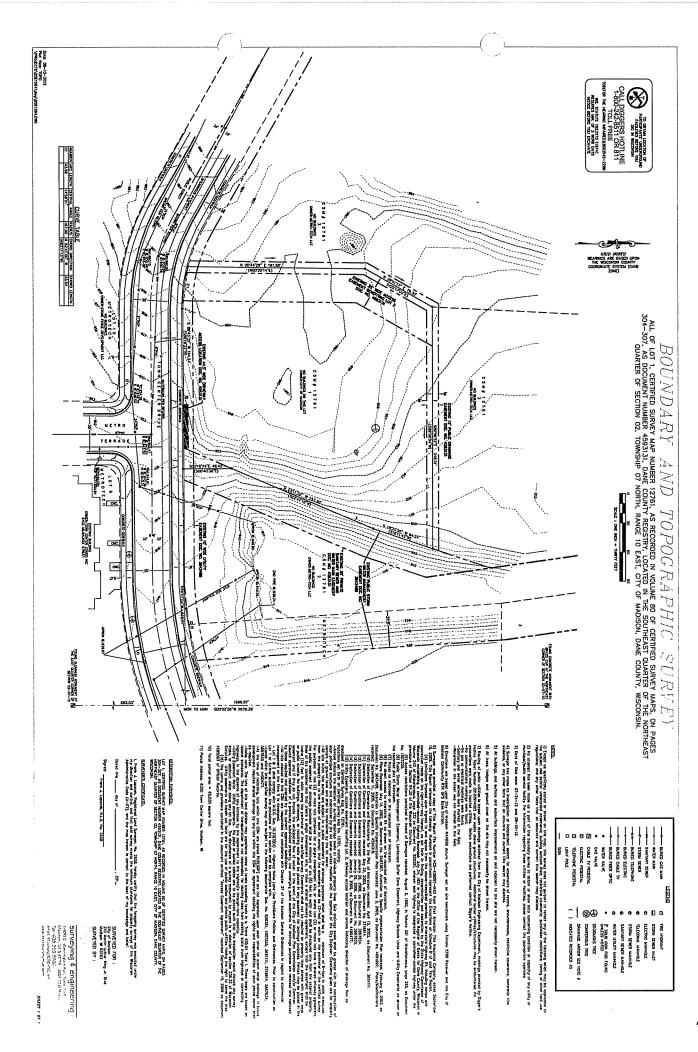
To Whom It May Concern:

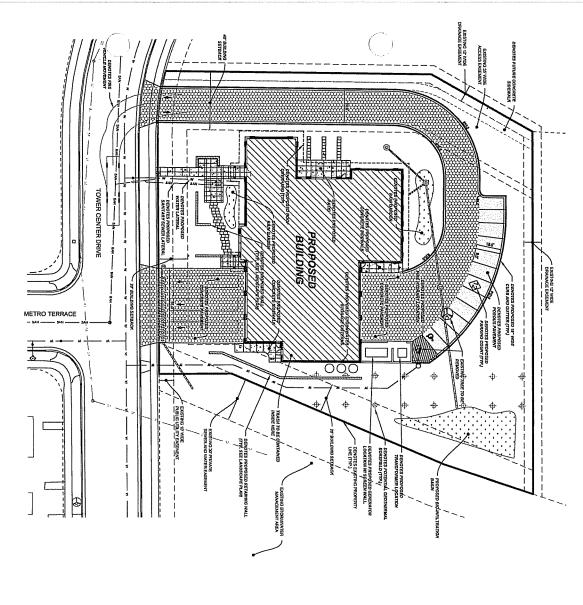
As a requirement of Plan Commission approval, the following is the Letter of the Intent for the aforementioned project.

The City of Madison intends to construct a new Fire Station (titled Number 13) on a 1.4 acre site on Madison's east side in Aldermanic District 3. The building is part of the Metrotech General Development Plan and the site lies in a Commercial Office/Municipal Fire Station zone. The current design for the station has a 12,655 gsf footprint with a 2,037 gsf penthouse. The sustainable goal for the building is to achieve LEED silver accreditation. Zimmerman Architectural Studios, Harwood Engineering Consultants and Sustainable Engineering Group have been hired to design and commission the building.

The function of the building is to provide fire services to the east side of Madison. The building on the site is aligned to allow for apparatus to enter on the west side of Town Center Drive, wrap around and enter the north end of the apparatus bay, and exit at the south end of the apparatus bay back onto Town Center Drive. There are eleven parking stalls provided for staff and an additional accessible stall on the site. Public will be directed to park on Town Center Drive. The "front" of the building is considered to be the south side, which faces the growing neighborhood in which it resides.

The building separates the apparatus bay on the east side from the living space and community room on the west side. The living area has 8 sleep spaces for fire department staff and EMT personnel. The community room will be sized to accommodate 38 occupants. The building materials are generally masonry in nature with cut stone base and concrete brick field. Doors and windows are to be anodized storefront aluminum with tinted glass; translucent glass is planned for above the south apparatus bay doors. Building trim materials are to predominantly be composite aluminum. Apparatus bay roof to be white TPO membrane and living space roof to be vegetative trays on membrane with standing seam aluminum mansard on three sides.







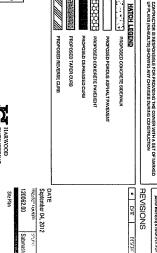












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TOTAL DISTURBED AREA
EXISTING IMPERVIOUS AREA
PROPOSED IMPERVIOUS AREA
PROPOSED GREENSPACE PROPOSED REGULAR PARKING SPACES PROPOSED HANDICAP PARKING PROPOSED TOTAL PARKING SITE CALCULATION TABLE PROPERTY OWNER: OHING SETBACKS: PROPOSED ZONING: XISTING ZONING BUILDING SETBACK: 20 FEET (FRONT & EAST SIDE)
40 FEET (WEST SIDE) FIRE STATION CITY OF MADISON PUD-(GDP) PUD-(GDP) 6350 TOWN CENTER DRIVE MADISON WISCONSIN ಣ - = THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRUS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS. ALL PROPOSED WATERMAIN SHALL BE PUC SDR 18, CLASS 150, AVAVIA C500 WITH ELASTOMERIC JORITS. ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOHETS CONFORMING TO ASTM D-3212 (UKLESS OTHERWISE NOTED). PROPOSED SAVITARY SEVIER PIPE SHALL BE PVC, ASTIM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMANC TO ASTIM D-3212. BACKELL RECURREMENS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRAVILLAN BACKELL UNDER CIR WITHIN 5 OF CHRES, SIDEWALK, OR PAYEZETI, FORLIAN BE LESDE LESPWERE. SLURRY BACKELL WILL BE RECURRED IN PUBLIC ROADWAYS.) NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION. PLAN, THE ENGNEER SHALL BE KIDTERD BUNGDATELY FOR EVALUATION.

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HATCH LEGEND

PROPOSED CONCRETE SIDEWALK



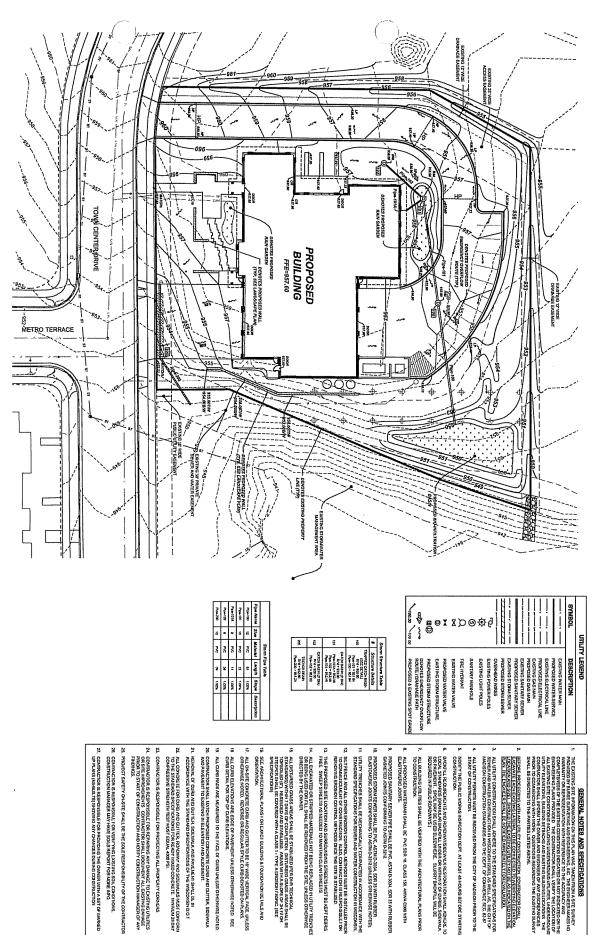






BITE ZONING AND LOCATION TABLE

GENERAL NOTES AND SPECIFICATIONS



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ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.

ALL PROPOSED WATERMAIN SHALL BE PVC SDR 18, CLASS 150, AWWA CDOO WITH ELASTOMERIC JOSTIS.

PROPOSED SANTARY SEVER PIPE SHALL BE PVC, ASTAID:2014, SDR 35 WITH RUBBER GASHETED JOBNIS CONFORMENG TO ASTAID:2012.

10. PROPOSED STORM SEWER SHALL BE PVC, ASTM D-JDM, SDR 35 WITH RUBBER ELASTOMERIC JORATS CORFORMING TO ASTM D-3212 (UNLESS OTHERWISE HOTED).

12. SILT FENCE AND ALL OTHER EKOSION CONTROL METHODS MUST BE HIST/ALED PRIOR TO COMMEDICE/BUST OF CONSTRUCTION, ALSO, CONTROL ON BIT REPORTS IT FOR REMOVING EROSION CONTROL METHODS CHICE THE SITE IS STABILIZED. UTILITY TREICHES SHALL BE MECHANICALLY COMPACTED IN ACCORDAICE WITH THE STANDARD SPECFICATIONS FOR SEVIER AND WATER CONSTRUCTION IN INSCONSIL.

14. ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTUITY TRENGHES
OWNECTED BY THE OWNER. . THE PROPOSED SITE LOCATION AND SUPROUNDING STREETS MUST BE REPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEWI STREETS.

Plan Commission

SCALE: 1*=20*

Madison.
ANICE AND REVISIONS





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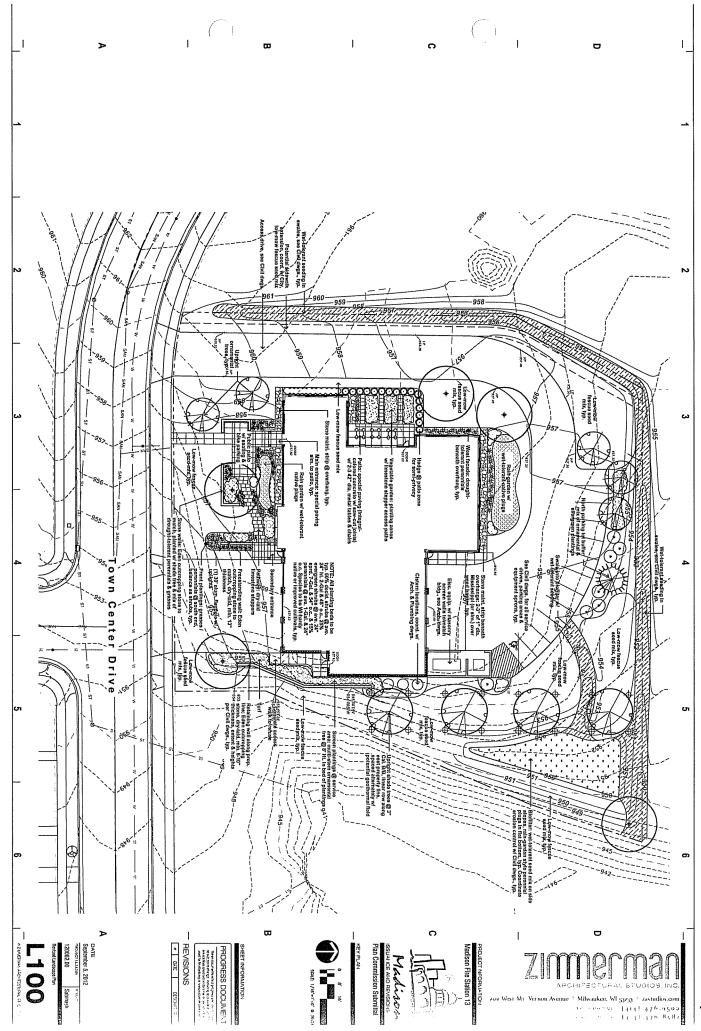
PROGRESS DOCUMENT

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REVISIONS

120062.00 Grading Plan

GENERAL NOTES AND SPECIFICATIONS



General Notes

- 1.01 All landscape installation & maintenance to conform with all applicable local codes & ordinances, including (but not limited to) the City of Madison Municipal Code.
- 102 See Sins & Child larges, for work firms, scrape of construction, chemestanes & for construction rotes. See which depts, for all interleants, gending, stammatic menagenerum, sile utilities & motion control. See Landscape depts, for interleants plants, convengalmistration requirements, densite, extraorise & motes. See Sins decidical depts, for extender highling. See Architectural depts, for all building construction & signage.
- 1.03 Contractor shall provide shop drawings and malerial submittals of all transcope & landscope construction elements shown in plan set for Landscape Architect review prior to construction.
- 1.05 Cauton: underground utilités are present on sits. The Contractor shall retif beating of all above-tion droive-grafe utilités, <u>Mich. publicé. Explain</u>, port to commencement of site construction. If unanticipated above- or halov-grade conditions are encountreed, notify client & Lundespap-Architect prior to presenting. Contribate with local public & private utility locating delities as received. 1.04 Contractor to provide samples for Owner approval on all colors, finishes & materials (including but not limited to imported topsoil, gravels, mulches, seed mixes et al) prior to installation.
- 1.06 Contractor to verify layout prior to construction. Contact Landscape Architect or Civil Engineer if discrepancies are found.
- 1.07 Contractor to limit construction traffic to within work limit lines. All adjacent damage shall be the responsibility of the contractor to restore. See Civil drawings for limits of disturbance.
- 1.08 All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.

Landscape Notes

- 201 Rough paráing, utilly trainfaision & dopad placement shall be completed by others. Londeupo unimeter shall coordinate with CG another antimetr contractor be source correct logities. & fine grading-Sead and and orientendal planking load paparation shall be not landeupon contendors responsibility. Feeling at existing less and princing conditions plant to construction.
- 2.0.3 All unamental planning back spall contain beneficial topical risk to artist, dayth of 15°, All seeded spall contains the spall of the planning back to the planning back to the planning back to the planning back of the planning back 202 Continniand sai stall be removed from the project immediately site as discovered. The contractor and coordinate with the CG and/or enthroate contract in project more any excessive clay gravel, dobts, word chips, stone a and/or other debications trainfels greater than 1° demotes from all orannersial or seeded areas. Use of appropriate equipments (i.e. portable on-sibs screener or other equipment) will be required.
- 2.04 All areast disturbed by pading or site construction shall be fine graded and restored with regularization of the fine graded and restored with regularization of the construction in the plant. Areas quisided of the suck final lines are to be fit at all antest disturbed by controlating stagling or slockpling, size plant for construction of stagling a slockpling based and suck with LN perior construction.
- 2.05 Contractor shall verify plant quantiles stown on plan. Prior to construction, provide to the LA applicable material involve(s) from commercial nurseries identifying the species, sizes & plant sources orbitmed throughout the project.
- 2.0.0 The LA, shall happed plan matchash prior to installation. Place all materials per the plan but do not dig in until the LA. Inspect at a proposed the buyonigh. I the LA reserves the right to inject any substantiant planting matchai. Such nejected material shall be terrowed from the project also immediately and replaced with material modeling the specifications are fortien from the putter & school-bush.
- 2.07 All nursery tags/labals shall be left on plant materials until the LA completed the landscape punch-list inspection. Unlagged materials will be assumed to be deficient.
- 2.08 Contractor is responsible for ensuring that all tree pits & planting erres drain properly. Notify Landscape Architect if drainage or moisture problems are encountered while planting.
- 2. 210 All actualing treats to remains shall be protected, Prior to clearing/probing, install seaw ferioring (82. 2.10) and the state of the prior to clear the prior the prior to clear the prior the prior to clear the prior to clear the prior to clear the prior the pr 2.09 Contractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil. Plant Starter Mix available from Liesener Soils, Jackson WI, or approved equal.
- 2.11 All perannial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer, rotatilied into the top 6" of blanded topsoil in beds.
- 2.12 All perennial areas shall reache a 1-2º layer of stredded hartwood bork muich. Do not allow muich to bouch stems or leaves of prennials I All woody planting areas shall reache a 2º layer. Unless otherwise shown in the plans, no landscape fabric or weed barrier is to be installed.
- 2.13 Groundcover beds DO NOT receive a cover of shredded bark mulch.
- 2.14 Unless otherwise shown, all perennials & shrubs to be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
- 2.15 Stone mulch areas to contain 2-3" of Massissippi (or approved variant) 1" dia, stone installed over poly weed barrier, Edge with 3/16" x 4" mill-finish aluminum edging.
- 2.16. Before 60-day maintenance period ends, Contractor to install 6* shavel-cut edges wherever noted
- 2.17 Contractor shall provide positive drainage away from all structures for a minimum of 10°.

Seeding Notes & Mixes

- 3.01 This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required
- mars. I na urasa to po eceded shall be worked with prov chiests, datas & harrows, sail instines anufor other proportials optioment until in masanably wom and loses a condocted is bublened. Seed bods shall be prepared immediatibly in advanza poll be seeding. Do not seed over compacted togod. If proposal seed a rosa wanedly, contractor to a poly horizotte or control masaures to eliminate weeds. Conform with seed supplier's specifications if required.
- Old Confirm that anti-planted project schedule distingly plan within the respective send supplier's approved collection prior to installation, installations completed outside of recognizable seeding less shall be performed at the sale responsibility and superior of the contractor. For domand seeding, a min, of one over-seed application in the lidewing season with be required.
- 3.06 No seeding shall occur if the wind exceeds 12 MPH.

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KEY PLAN

Plan Commission Submittal

Madison

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- LOW MOW MIX: "No-Alow Lawn Seed Mix" shall be supplied by Prairie Nursery, Westfield W1, 600-476-9453, Apply @ 220 bs per AC.
- WET MIX:

 Detention Basin Wet Prairie Mix* shall be supplied by Prairie Nursery, Apply @ 10 lbs per AC.

Wet Tolerant Plug Notes

- 4.02 Rough grading, drainage work & engineered soil spreading shall be completed by others before installing the plugs. See the Civil plans for the areas of engineered soil and its placament.
- 4.03 hashi pluga during the trapective plug augplier's approved calendar, installations completed outside of occeptable install dates shall be the performed at the sole responsibility and expense of the contractor.
- 4.04 See Civil dwgs for erosion control regs. Plugs are to be installed into the engineered soil via sits cut through the mat. See Civil dwgs for balance of site erosion control measures.
- 4.05 Plug kit/source substitutions will be considered only approved 10 days before the close of bidding.
- 407 Contractor shall be responsible for providing comprehensive plug area establishment, maintenances and warmanly care for two years take in installation. Constructor shall provide a 24-month maintenance callendar with all scheduled activities shall for Owner / LA review & approval prior to completion of plug instantation.

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mixes The areas to be a needed established worked with plant chiefle rieses & hornware and forlesses	~	seed on the various seeded areas, as outlined in the site plans and specifications.	
- 2	5		

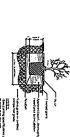
- 3.04 Seeds shall be PLS and shall be mixed in accordance w/mirs specifications. Provide involces bag-tags or mix analysis results for approval prior to installation.
- 3.05 The send mixtures shall be sewn by means of equipment adapted to the purpose. Mechanical distribution of send (i.e. Truax send drill, Brillion seveds; calipracter, sit-sender, drop spreader or broadcasts parader) are the only accepted methods. No hand-broadcasting of send.
- 3.07 Coordinale control cooling and/or mulating with Child drops, in stopped aneas sile-got tran 41, another plants of the coordination will be required in aneas with another plants but stranged by chainst glean 3.08; setablish procondination will be required in another plants and the coordination will be required. Here debte an appear some of coordination between the plants and the supply common of the foreign and the coordination of the coordination which makes all the plants of the coordinations. Machine makes all the plants of the plants of the coordination of the coordination of the process and uplants of the counting and/or hydromuch will be accepted as a no-count alternate if approved by Lindscape Architect.
- 3.08 See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.
- 3.09 Contractor is responsible for obtaining self least for all seeded areas prior to construction, Self leafling states and leaded foul is not limited to just by 14. Septide maller, preference, presents, actions it tends represents for send, self-and contract self-and contracts and self-and contracts and self-and self-and the contractor self-and religion to LA prior to application and shall request an alternate seed specifiem the specified supplies.
- 3.10 Seed seured / mix autostations shall be considered only if submitted for approval 10 days belief to soo of bidding. All mixes shall be installed & maintend per suspicior's specification, in addition to the mixes, with exception of the bluegass zames, Annual Rya cover cray @ 5 lbs per AC in spirited. Rya cover cray @ 5 lbs per AC in the stall be spirited.
- 3.11 Contractor shall be responsible for providing comprehensive seed area establishment, maintenance and warranty care for the following seed areas:
- Tuy mow mick one year.
 Vid-byerent areas: two years, Contractor shall provide a 24-month maintenance catendar with all scheduled activities shall for Owner / LA review & approval prior to completion of sceding.

- 4.01 This work shall consist of preparing the plug areas and furnishing, installing and multaing the specific premaral plugs on the various seaded areas, as outless in the six plans and specifications.

- 4.06 Rain Conton Plays: "Pain Gardon For Sandy Soll in Full Sun" bills, I Shall be provided by Praise Nursery, To be insalifed & maintained per supplier's specifications, insalil @ 12-15 o.c., staggared / bringuilar spacing, with species organized in clusters of 3-9 plugs such.

	25°0E	Ş.	457	Hyperion Day ily	Hemorocal's Trypomori		Непнур
	13-24°0C	ğ	ŧ,	Harpy Returns Daylly	Hemerocada Ytappy Raturas'	Γ	Hemitte
	15°05.	Cost	45	Rozzone Geranum	Geranium Rozamei		GarRoz
					Perennials & Grasses [Oty. 550 SF]	lais & C	Perenn
	As Shorn	8.8	5.45	Deard Tectory Albandae	Thus occoderate Technici		TauTec
	54-60" ec.	768	21"sprd.	Katay Compact Jumper	Junipanus chineres's Natay		a Kerit
					Evergreen Shrubs [Qly. 550 SF]	en Shr	Evergn
	30.03	ĕ	K	Conçact Konsonspice Viburrum	Vounturs carless Compactum		Nº Con
	48-54" a c	2 Gat.	24 XF HE	Patter Drd. Lise	Syrings meyer Pallorr		Spr 24
	47 cc.	2G#	24° HE	To: Earthled Sparea	Spirana betulida Tor		Spi Tor
	18'02	2 Gal.	21°H	Giren Hound Alpine Current	Roes aprum Green Found		Ra Cos
	18.05	26%	1978	Grow Low Surrac	Rus aronados Gro Low		RauGeo
	45 or.	2 Gal.	24°HL	Harton Bayberry	Myrica pervoy carico		MyrPen
	48'02	20±	74.75	Spould Hydranges	Hydrangos art. "Gundabara"		HjdCa
	A Storm	69	87.7F	Compact Bursing Bush	Everymus alda Compadus		FunCom
	54°oc	204	24"14.	Dwartsut Harepsuckle	Dan Es tarions	Γ	Delon
					Deciduous Shrubs [Qly. 1,160 SF]	ous Sh	Decidu
	As Shoen	63	74"HL	Back Hits Spruce	Pleas glauca var. densera		Pe Gu
	As Shown	63	7.EH	Austrian Piere	Prvariga		Pasting
					Evergreen Trees [City. 81]	en Tre	Evergn
STORESIM	As Shorn	8.1	25°CM	Autum Blaze Orramenta Paar	Pyrus calesyana 'Auturn Baum'		Pr Ace
Heavy Three Store	THE STATE OF	878	E.	Jackal Crahappie	Hater becats 'Jedis'		Light Spec
	As Shown	8.8	25.04	Frestan Muschargod	Carprus carsinara "Ji Upropii"		CAFF
Heavy Prize Ster	As Shorn	8.5	5-10 Hz.	Autum Brilliance Ser Agebony	Area probler s. 'Automo Britishess'		thy bury
					Ornamental Trees [Qty. 65]	ontal Tr	Ornam
	AI Storn	8.9	7 Ck	Hew Forces Hybrid Elm	Umus x New Horzon'		Um New
	הממל בה	8.0	Y.C.	Glarieren Linden	Tita faren 'Gerievor'		1100
	AL Shows	82	ě	Automo Fartesy Maple	Acer a, teenumi 'Adam Fareny'		è
					Shado Troos [Qly. 09]	Loos	Shade
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il mine	- Andrew	2		and it common	Bolock Base	?	

Madison Fire Station 13



3 Shrub Planting Detail

PROGRESS DOCUME

REVISIONS

	gol under metrod sector tead to seption to a bad and reduces assets	Back! One approve backings was should be should be postered. Should be shoul	34" depth of voody make: Simple Carp make it best to have a make it best from make it best from mare	For them were breaked or said top and "but down or and the part of	Harton enters sol inprints of built resure	Etting harbon variable places on windows and becamed pate of the Calvanday pate with rather lose (hybrid). Aboness: 19,500 sangers of	
Tree Planting Detail	I destroy for the state of the	Radas (Permatura) on the state of the state	Professional Action and and	Tracket of 17 days and on the contract of the	The state of the s	The first and th	
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