

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: September 12, 2012

UDC MEETING DATE: September 19, 2012

Action Requested

☐ Informational Presentation

☒ Initial Approval and/or Recommendation

☒ Final Approval and/or Recommendation

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 309 West Johnson Street

ALDERMANIC DISTRICT: 4

OWNER/DEVELOPER (Partners and/or Principals)

Hovde Properties

122 West Washington Avenue, #101

Madison

ARCHITECT/DESIGNER/OR AGENT:

Eppstein Uhen Architects

222 West Washington Avenue, #605

Madison

CONTACT PERSON: Steve Holzhauer

Address: Eppstein Uhen Architects

222 West Washington Avenue, #605

Phone: 442-6688

Fax: _____

E-mail address: steveh@eua.com

TYPE OF PROJECT:

(See Section A for:)

☒ Planned Unit Development (PUD)

☒ General Development Plan (GDP)

☒ Specific Implementation Plan (SIP)

____ Planned Community Development (PCD)

____ General Development Plan (GDP)

____ Specific Implementation Plan (SIP)

____ Planned Residential Development (PRD)

____ New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)

____ School, Public Building or Space (Fee may be required)

____ New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.

____ Planned Commercial Site

(See Section B for:)

____ New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

____ R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

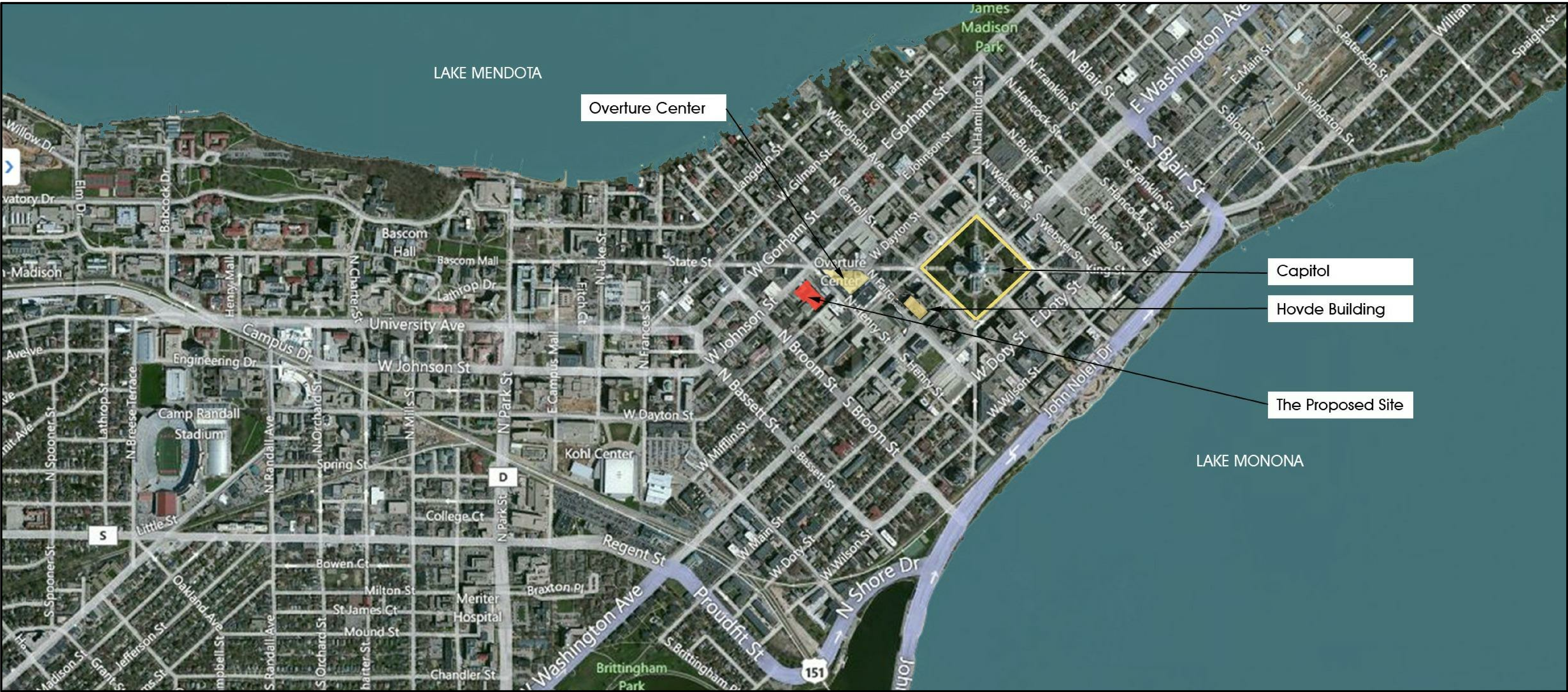
____ Comprehensive Design Review* (Fee required)

____ Street Graphics Variance* (Fee required)

____ Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



eppstein uhen : architects

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Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794

madison 222 West Washington Ave, Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6680

KEY PLAN

ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

#	DATE	DESCRIPTION
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PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

SHEET INFORMATION

DATE: 9/19/2012

SHEET NAME:

SHEET NUMBER:

LOCATOR MAP
G001

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HOVDEPROPERTIES

122 W. Washington Ave. • Madison, WI 53703-2718

TEL 608-255-5175 • FAX 608-255-6196

September 12, 2012

Urban Design Commission
City of Madison
215 Martin Luther King Jr. Blvd

Re: Letter of Intent
305/309/325 W. Johnson Street Development.
Madison, WI 53703

The following is submitted together with the plans, application and zoning text for staff, Urban Design, Plan Commission and Common Council consideration of approval.

Organizational Structure:

Owner: Hovde Properties, LLC 122 W. Washington Ave Madison, WI
Architect: Eppstein Uhen Architects, 222 W Washington Ave Madison, WI
Structural Engineer: Pierce Engineers, 10 W Mifflin St. Madison, WI
Construction Manager: JH Findorff & Son, 300 S. Bedford St. Madison, WI
Landscape Architect & Civil Engineer: Ken Saiki Design, 303 S Paterson St. Madison, WI
Owner Representative: Huffman Facility Development, Inc., 16 N Carroll St. Madison, WI

Introduction:

By way of background, after Hovde Properties, LLC ("Hovde") initially proposed a mixed-use development on parcels of land located at 305 and 309 West Johnson Street, the City of Madison ("City") approached Hovde with the idea of incorporating the operations of the City's fire department with the development plans of Hovde. There were several meetings with City Staff and Hovde's development team to determine the most feasible program the site could support. The final resolution of these combined Hovde and City meetings is being submitted with this application. Both Hovde and the City continue to meet jointly on a regular basis to determine the final business terms and conditions of this joint development.

Hovde is proposing a mixed-used development consisting of a residential component, a parking structure, commercial offices and retail on parcels of land located at 305, 309 and 325 West Johnson Street (the "Project"). The Project will be subjected to the condominium form of ownership in accordance with Chapter 703 of the Wisconsin Statutes as more fully described below. Hovde has owned 309 W. Johnson Street since the 1980's and acquired 305 W. Johnson in May of 2012. As part of the Project, Hovde intends to acquire from the City the parcel that currently houses the City's fire administration building located at 325 W. Johnson Street. Upon completion of the Project, the City intends to purchase a condominium unit in the Project from Hovde to be used as new City fire administration offices.

The Project includes a request for a waiver from bulk standards described in Urban Design Zone 1 as more fully shown in the attached plans.

A one lot Certified Survey Map ("CSM") containing the Project site and the current Fire Station #1 Building is being generated with an anticipated submittal date of September 5th. The CSM will be recorded following the conveyance from the City to Hovde of (i) 325 West Johnson, (ii) an approximately 10 foot strip of land along the eastern boundary of the First Station #1 parcel, and (iii) a momentary transfer of the Fire Station #1 parcel. Following recordation of the one lot CSM, a two unit condominium will be created. One unit will be the Project site (the "Hovde Land Unit") and the second unit will be the Fire Station #1 parcel which will be immediately conveyed back to the City. A second condominium plat describing the Project will then be recorded vertically over the Hovde Land Unit.

W Mifflin Neighborhood/Business Districts/City Committees:

Hovde has met and worked with the W Mifflin district of Capital Neighborhoods and the Greater State Street Business Associations from the conceptual stage of the Project. Meetings with members of downtown stakeholders also included board members of the downtown business improvement district. Alderman Mike Verveer convened a larger neighborhood meeting on April 12, 2012 after which a neighborhood steering committee was formed that has met approximately 4 times. Members of the Hovde development team have made informational presentations to the Board of Estimates meeting on March 12, 2012, Urban Design Committee on May 16, 2012 and the Plan Commission on June 18, 2012.

Existing Conditions:

Three buildings presently occupy the proposed combined parcel.

- 305 West Johnson Street is an 18,700 SF two-story masonry building constructed in 1913, housing two commercial spaces and 6 apartment units. There are two commercial spaces with a total of 5,726 square feet. The building is not fire sprinklered, accessible to the disabled nor expandable for the purposes of this project. Its demolition is proposed. There is an access easement on the W. Dayton side of the parcel sitting between 305 W. Johnson Street and 202 North Henry Street. See Architectural Site Plan AS102.
- 309 West Johnson Street is a 34,000 SF two-story masonry building constructed in 1910. It is primarily used for indoor parking with 43 stalls and includes two outdated commercial spaces that front on W. Johnson St. with a total square footage of 3,600 sf. The building is not fire sprinklered, accessible to the disabled nor easily converted from its currently structured parking. Its demolition is proposed. There is also a 51 car surface parking lot behind the building which is accessed off of W. Dayton Street.
- 325 West Johnson Street is a 14,000 SF two-story steel framed building constructed in 1968. It is the current administrative headquarters for the Madison Fire Department. While in good physical condition, the building cannot support the long-term needs of the fire department. Vertical expansion may be structurally feasible, however the cost of this construction combined with associated renovations of the building make it impractical. Its demolition is proposed.
- 316 West Dayton is a 26,000 SF three-story steel framed building constructed in 1968. It has been the home of Fire Station #1 since its construction. The building is in good physical condition and will continue to be used as a fire station. A full renovation of the building is proposed as part of a separate Public Works project.

Project Description:

The project will consolidate and improve existing properties that face both West Johnson and West Dayton Streets in the downtown district, resulting in a single 1.63 acre parcel. Outdated low-rise buildings and a surface parking lot will be replaced with approximately 255 residential dwelling units, approximately 49,000 square feet of commercial office space, (of which approximately 30,000 square feet will be sold as a condo to the City of Madison for its fire administration operation), approximately 11,000 square feet of ground floor retail and approximately 300 enclosed parking stalls. The gross area of the entire building will be approximately 463,000 square feet with 278,000 square feet comprising the market-rate apartments. The resulting increased density and proposed mixed uses will substantially increase the activity around the site with hundreds of people living and working in the development. Up to 100 commercial office tenants (including 60 fire department employees) will work on the second floor of the building when fully occupied. Public lobbies will connect commercial tenants and residents at both streets and ground floor retail will serve to activate the 300 block of West Johnson Street.

Included with the proposed demolition plan is the existing Fire Department administration building. Constructed over 40 years ago, it is no longer adequate for the functional support of the department’s present and long-term needs. Space within the new building will be built to address the department’s administration space needs beyond 2027. The Project will be connected to Fire Station #1, providing needed storage, firefighter support space and parking. A separate public building lobby for the fire department’s offices will be built on Dayton Street. To maintain vehicle access to the north side of Fire Station #1, a shared access easement will be created along the west property line.

Legal Description:

Currently the Project is a compilation of lots and parcels with a metes and bounds description located at 305, 309 and 325 West Johnson Street. The final legal description for the Project will be created following the Certified Survey Map and 2-step condominium platting process more fully described below.

Site Development Data:

Density Analysis:

Lot Area: 70,874 sf

Acres: 1.63 acres

Dwelling Units: 255

Lot Area/D. U.: 278 sf

Density (Units per Acre): 156.4

Includes the complete City of Madison Parcel

The following further illustrates the project data:

Project Data - W. Johnson Street Development								9/12/2012
	Apartments		Commercial			Parking		
floor	apartment GSF	# of units	retail GSF	office GSF	fire dept GSF	parking GSF	parking	Total GSF
lower level 2						46,237	117	46,237
lower level						47,891	113	47,891
ground floor (at Johnson)	2,669		11,059	1,036	2,863	28,878	65	46,505
mezzanine level	8,454				2,376	2,205	8	13,035
floor 2	981			18,149	24,201			43,331
floor 3	33,595	36						33,595
floor 4	33,593	36						33,593
floor 5	33,595	36						33,595
floor 6	33,593	36						33,593
floor 7	24,142	24						24,142
floor 8	20,072	18						20,072
floor 9	17,672	16						17,672
floor 10	17,672	16						17,672
floor 11	17,672	16						17,672
floor 12	17,672	15						17,672
floor 13	12,170	6						12,170
floor 14	4,683							4,683
floors 13 + 14 subtotal	16,853	6						
mechanical penthouse								-
totals	278,236	255	11,059	19,185	29,440	125,211	303	463,131
Total Parking							303	
office / retail							23	
fire department							25	
commercial subtotal							48	
residential subtotal							255	
parking ratio per unit							1.00	

Approximate Dwelling Unit Mix and Estimated Prices:

Unit Data- W Johnson Project			
Type	Ave Unit SF	# of Units	Ave Price
Studios	586	20	\$873
1 Bedroom	729	131	\$1,145
1 Bedroom+Den	853	40	\$1,305
Two Bedroom	1,105	49	\$1,635
Two Bedroom+Den	1,410	15	\$1,974
Total Units	255		

Loading:

There will one 10x35 off-street loading zone accessible from W. Johnson Street and one 10x35 off-street loading accessible from W. Dayton Street. There will also be an on-street passenger/loading zone on both W. Johnson and W. Dayton Streets as indicated on The Drawings.

Project Schedule:

August 15, 2012 - Land Use Submittal

September 5, 2012 - Submit CSM

September 12, 2012 - Submit Design for UDC Initial Approval

September 26, 2012 - Submit Design for UDC Final Approval

November 15, 2012 - Purchase and Sales Agreement Executed

October 15, 2012 – Plan Commission Approval of PUD

October 30, 2012 – Common Council Approval of PUD

December 2012 - Site Demolition

January 2013 - Construction Start

June 2014 - First Phase of Building Completion

October 2014 - Final Phase of Building Completion

Social & Economic Impact:

The social impacts are many. Providing a vehicle for an improved fire administration will increase public safety citywide. The Project also serves as a catalyst for the renovation of Fire Station #1 which will improve working conditions for downtown fire fighters. Having up to 350 additional residents in the center city will increase the demand for goods and services which will help retain and grow local business on and around State Street. As an infill development site, the increase in economic value to the land will result in higher assessments and tax revenues to the city and other taxing authorities. These funds can go to pay for teachers, firefighters and police.

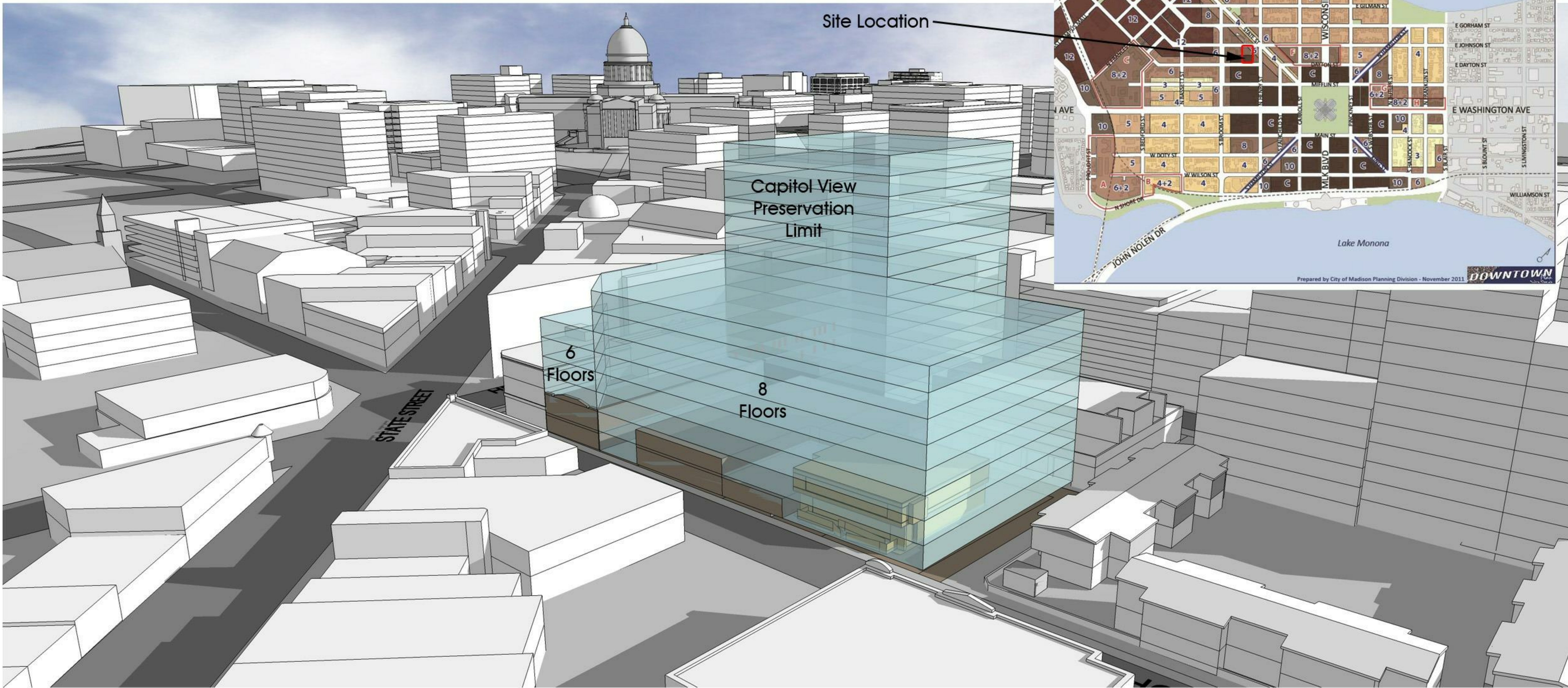
Through the development process from concepts to construction to grand opening it is estimated that there will be 70 full time jobs created a year for three years. In addition, there are hundreds more jobs imbedded in the manufacture and delivery of the materials to the job site. When fully occupied the project will create 5 full time jobs in the operation and management of the building, 60 jobs with the fire department's administration operations and approximately 40 jobs in the office and retail components of the building.

TIF Application:

Provided the financial model identifies a gap in funds, the developer would seek tax incremental financing from the City of Madison.

Downtown Plan Proposed Maximum Building Heights

Site Location



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KEY PLAN

ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

#	DATE	DESCRIPTION
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PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

SHEET INFORMATION

DATE: 9/19/2012

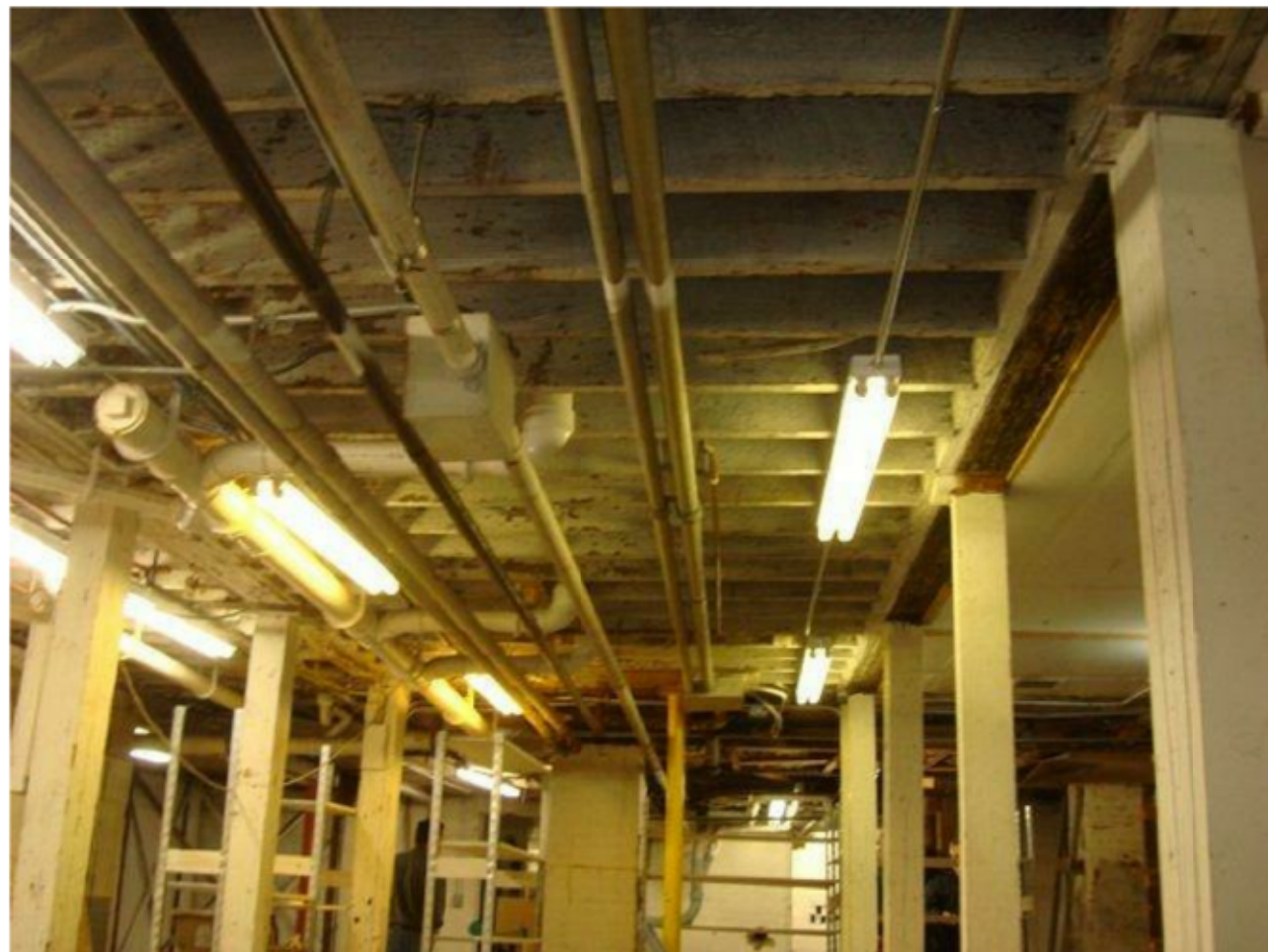
SHEET NAME: ALLOWABLE BUILDING HEIGHTS

SHEET NUMBER: G002

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305 W. JOHNSON STREET



309 W. JOHNSON STREET



325 W. JOHNSON STREET

3 INTERIORS OF EXISTING PROPERTIES TO BE DEMOLISHED

WEST DAYTON STREET



344



316



Buildings to be demolished



216 N. Henry

2 EXISTING STREETSCAPE AT WEST DAYTON STREET

WEST JOHNSON STREET



301



333

Buildings to be demolished

1 EXISTING STREETSCAPE AT WEST JOHNSON STREET



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MADISON, WI



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PROJECT MANAGER: CG

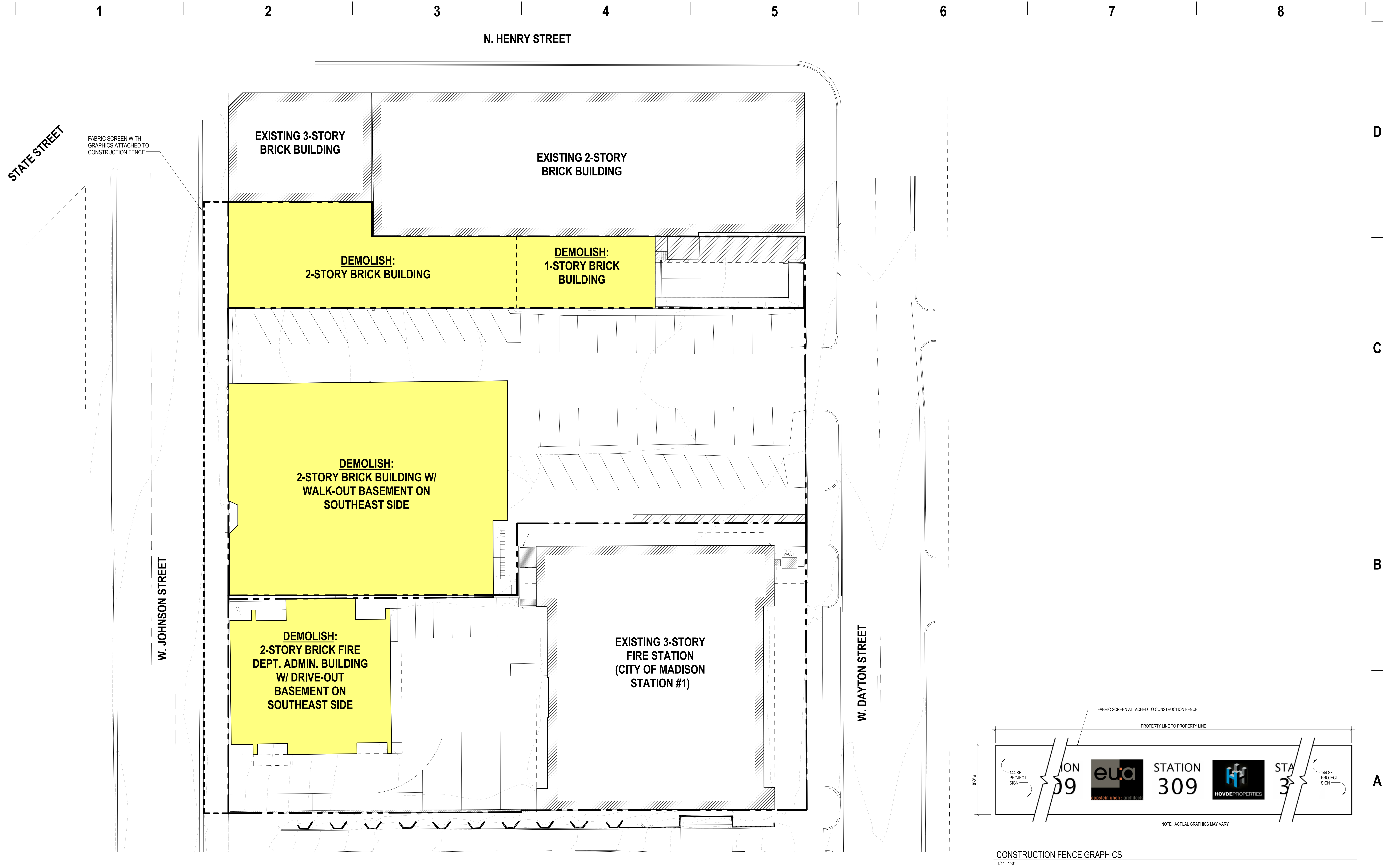
SHEET INFORMATION

DATE: 9/19/2012

SHEET NAME: PHOTOGRAPHS OF
EXISTING PROPERTIES

SHEET NUMBER: G003

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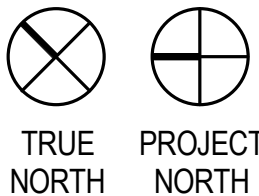
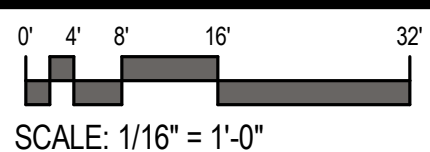


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KEY PLAN



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PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

SHEET INFORMATION

DATE: 9/19/2012

SHEET NAME: EXISTING SITE PLAN

SHEET NUMBER: AS101

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N. HENRY STREET

STATE STREET

W. JOHNSON STREET

W. DAYTON STREET

EXISTING 3-STORY
BRICK BUILDING

EXISTING 2-STORY
BRICK BUILDING

PROPOSED
14-STORY
MIXED-USE
TOWER

EXISTING 3-STORY
FIRE STATION
(CITY OF MADISON
STATION #1)

EXTENTS OF SIDEWALK
CAFE (MEASURED 6'
FROM CURB)

EXTENTS OF SIDEWALK
CAFE (MEASURED 6'
FROM CURB)

EXISTING CURB CUT
TO BE REMOVED

10' x 35' LOADING /
PASSENGER ZONE

AERIAL APPARATUS
FIRE LANE

871.85'
(100'-0")

871.00'
(100'-0")

870.75'
(99'-3")

871.00'
(100'-0")

871.00'
(100'-0")

865.00'
(94'-0")

865.00'
(94'-0")

865.00'
(94'-0")

866.00'
(95'-0")

866.00'
(95'-0")

866.50'
(94'-3")

865.25'
(94'-3")

EXISTING CURB
CUT TO REMAIN

NEW CURB CUT FOR
GARAGE ENTRANCE

REMOVE EXISTING
CURB AND CURB CUTS

NEW CURBS BETWEEN
CURB CUTS

REMOVE EXISTING
CURB AND CURB CUTS

NEW CURBS CUT FOR
M.F.D. COMMAND CAR
GARAGE

FIRE LANE

JOINT ACCESS EASEMENT

OVERHEAD DOOR FOR
TRASH PICK-UP

APARTMENT
GARAGE
ENTRANCE

GARAGE FOR
M.F.D. COMMAND
VEHICLE

ELEC.
VAULT

"DOG WALK" AREA

INVERTED "U" BIKE RACKS

NEW EGRESS STAIR TO
SERVE EXISTING OFFICE
SPACE

JOINT ACCESS EASEMENT

10' x 35' LOADING ZONE

10' x 35' LOADING ZONE

JOINT ACCESS EASEMENT

KEY PLAN

0' 4' 8' 16' 32'
SCALE: 1/16" = 1'-0"

TRUE
NORTH
PROJECT
NORTH

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309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

SHEET INFORMATION

DATE: 9/19/2012

ARCHITECTURAL SITE
PLAN

SHEET NAME:
AS102

SHEET NUMBER:

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1

2

3

4

5

6

7

8

PLANTERS AND 5' BENCH AT MAIN ENTRANCE
(PLANTING BY OWNER)

SPECIAL PAVEMENT

PLANTER W/6" CONCRETE CURB

PLANTER TREE SPECIES TO BE DETERMINED BY
CITY OF MADISON FORESTRY (UPRIGHT CANOPY;
EXAMPLE: CHANTICLEER ORNAMENTAL PEAR)

PROPOSED PLANTER PERENNIAL SPECIES:
Allium x 'Millenium'
Echinacea x 'Pixie Meadowbrite'
Solidago x 'Golden Baby'
Sporobolus heterlepis 'Tara'

STATE STREET LIGHT (TYP OF 3)

BIKE RACK (DERO BIKE HITCH)

PLANTERS AT COLUMNS

4' x 12' TREE GRATES WITH
EXPOSED AGGREGATE
CONCRETE SURROUND

STREET TREE SPECIES TO BE
DETERMINED BY CITY OF
MADISON FORESTRY DEPT.
(EXAMPLES: ELM, GINGKO,
HONEYLOCUST)

W. JOHNSON STREET

EXISTING 3-STORY
BRICK BUILDING

EXISTING 2-STORY
BRICK BUILDING

PROPOSED
14 -STORY
MIXED-USE
TOWER

EXISTING 3-STORY
FIRE STATION
(CITY OF MADISON
STATION #1)

W. DAYTON STREET

PLANTERS AND BENCHES AT LOBBY
(PLANTING BY OWNER)

SPECIAL PAVEMENT

STREET TREES IN 4' x 8' TREE GRATES
(TREE SPECIES TO BE DETERMINED BY
CITY OF MADISON FORESTRY DEPT.)

1 LANDSCAPE PLAN
L100 1/16"=1'-0"

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309 W. JOHNSON STREET
MADISON, WI

SHEET INFORMATION

DATE: 9/19/2012

SHEET NAME: Landscape Plan

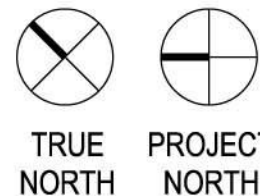
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PROJECT NUMBER: 11418
PROJECT MANAGER: CG



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D

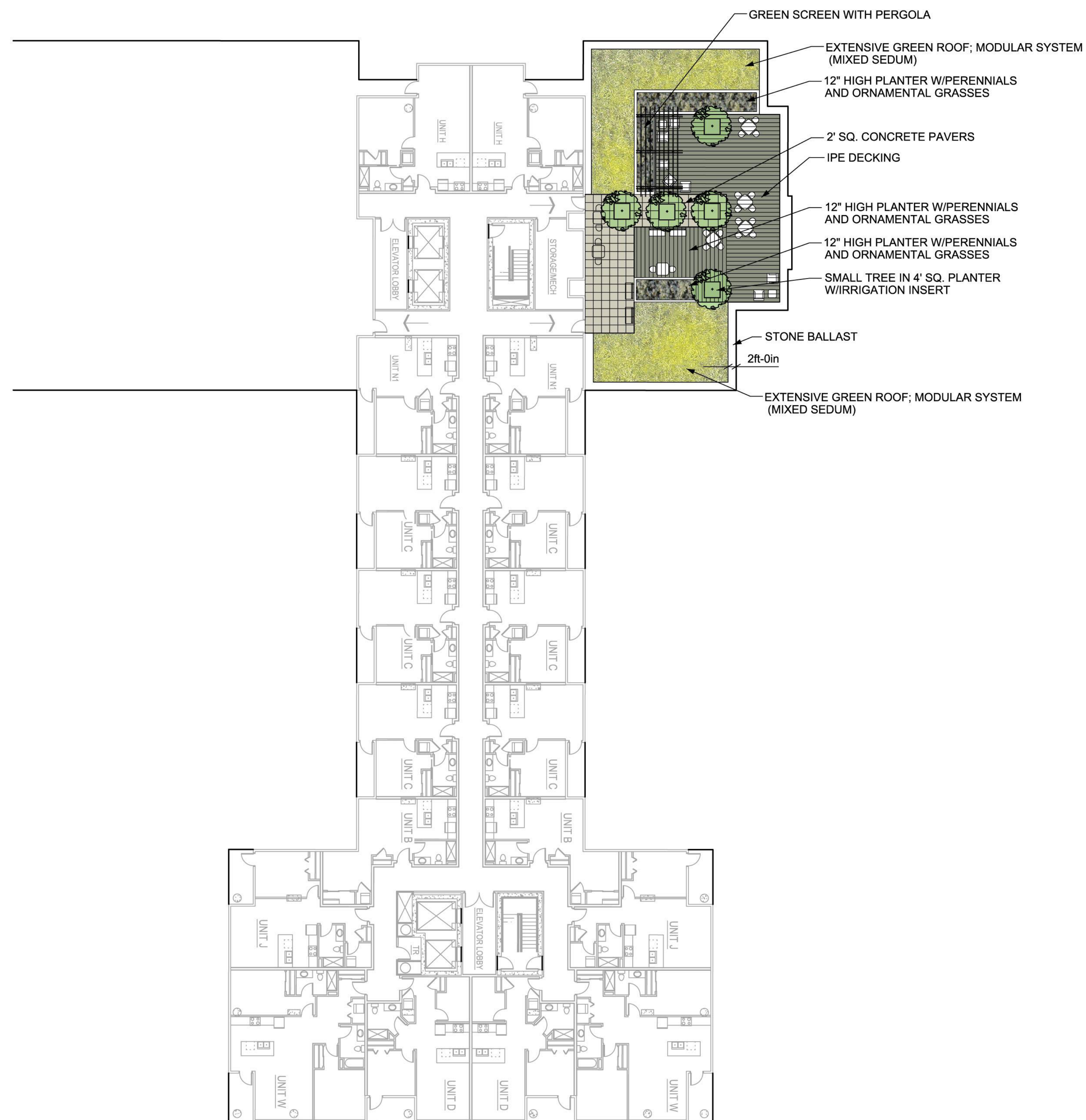
C

B

A



1 GREEN ROOF - THIRD FLOOR
L200 1/16"=1'-0"



2 GREEN ROOF - SEVENTH FLOOR
L200 1/16"=1'-0"

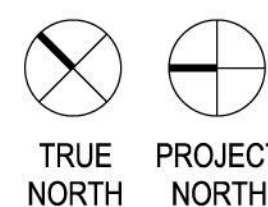


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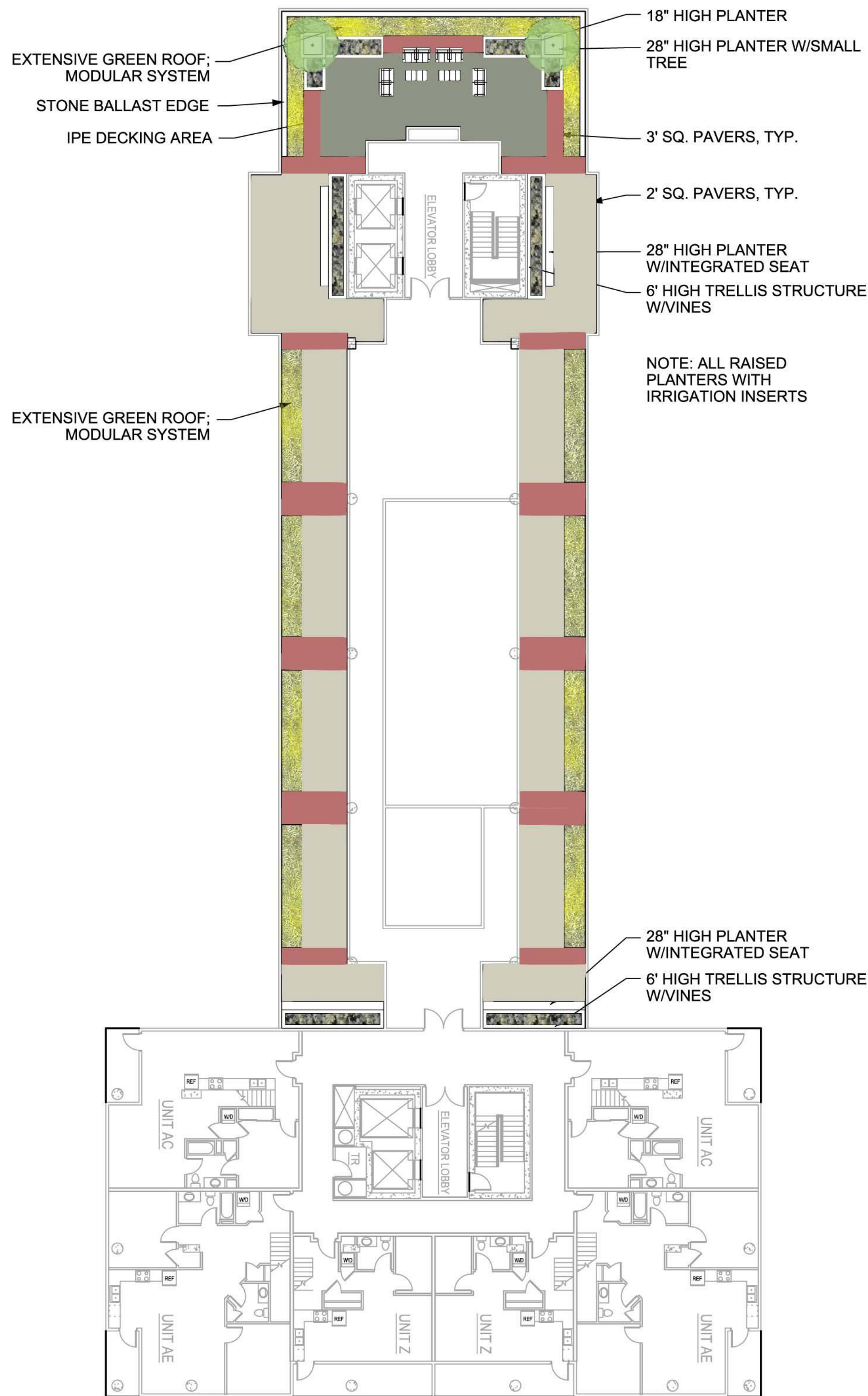
SHEET NUMBER:

Green Roofs
L200

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Phone: 608 951-2600
Fax: 608 951-2550
www.ksd-la.com



1
L201 GREEN ROOF - THIRTEENTH FLOOR
1/16"=1'-0"

Preliminary Plant Palette					
Key	Botanical Name	Common Name	Quantity	Size	Comments
	Trees				
	Malus sargentii 'Tina'	Tina Sargent Crabapple		5' Ht B&B	Multi-stemmed
	Vines				
	Akebia quinata	Fiveleaf Akbia		1 gal pot	
	Clematis maximowzsiana	Sweet Autumn Clematis		1 gal pot	
	Johnson St. Planter Perennials				
	Allium x 'Millenium'	Millenium Ornamental Onion		4 1/2" pot	
	Echinacea x 'Pixie Meadowbrite'	Pixie Meadowbrite Purple Coneflower		4 1/2" pot	
	Solidago x 'Golden Baby'	Golden Baby Goldenrod		4 1/2" pot	
	Sporobolus heterolepis 'Tara'	Tara Dropseed		4 1/2" pot	
	Semi-Intensive Green Roof				
	Allium 'Summer Beauty'	Summer Beauty Ornamental Onion		4 1/2" pot	
	Aster sericeus	Silky Aster		4 1/2" pot	
	Coreopsis verticillata 'Zagreb'	Zagreb Threadleaf Tickseed		4 1/2" pot	
	Dianthus carthusianorum	Clusterhead Pink		4 1/2" pot	
	Eragrostis spectabilis	Purple Love Grass		4 1/2" pot	
	Gaura lindheimeri 'Summer Breeze'	Summer Breeze Gaura		4 1/2" pot	
	Panicum virgatum 'Prairie Sky'	Prairie Sky Switchgrass		4 1/2" pot	
	Sedum x 'Purple Emperor'	Purple Emperor Sedum		4 1/2" pot	
	Sesleria autumnalis	Autumn Moor Grass		4 1/2" pot	
	Extensive Green Roof - mix 1				
	Sedum acre 'Aurea'		pre-grown green roof modules		shade tolerant; 3rd floor east side
	Sedum ellacombeanum				
	Sedum hybridum 'Immergrunchen'				
	Sedum floriferum 'Weihenstephaner Gold'				
	Sedum pachyclados				
	Sedum sexangulare				
	Sedum spurium 'Album Superbum'				
	Sedumspurium 'Fuldaglut'				
	Sedumspurium 'Green Mantle'				
	Sedumspurium 'John Creech'				
	Sedum ternatum				
	Sedum tschernokolevii				
	Extensive Green Roof - mix 2				
	Sedum album 'Chloroticum'		pre-grown green roof modules		3rd floor west side; sun; predominantly green and white
	Sedum album 'Green Ice'				
	Sedum spectabile 'Star Dust'				
	Sedum spurium 'Album Superbum'				
	Sedum spurium 'Green Mantle'				
	Extensive Green Roof - mix 3				
	Sedum album 'Chloroticum'		pre-grown green roof modules		3rd floor west side; sun; predominantly pink and green
	Sedum spurium 'Dragon's Blood'				
	Sedum spurium 'John Creech'				
	Sedum spurium 'Pink Jewel'				
	Sedum spurium 'Roseum'				
	Sedum spurnium 'Royal Pink'				
	Sedum spurnium 'Summer Glory'				
	Extensive Green Roof - mix 4				
	Sedum album 'Coral Carpet'		pre-grown green roof modules		3rd floor west side; sun; predominantly yellow and pink
	Sedum floriferum 'Weihenstephaner Gold'				
	Sedum hybidum 'Immergrunchen'				
	sedum reflexum				
	Sedum rupestre 'Angelina'				
	Sedum sexangulare				
	Sedum spurium 'Dragon's Blood'				
	Sedum spurium 'Voodoo'				
	Extensive Green Roof - mix 5				
	Allium schoenoprasum 'Forescate'		pre-grown green roof modules		7th floor; sun; mixed colors with accent plants
	Sedum acre 'Aureum'				
	Sedum album 'Chloroticum'				
	Sedum cauticola 'Sunset Cloud'				
	Sedum reflexum				
	Sedum spurium 'Dragon's Blood'				
	Sedum spurium 'Voodoo'				
	Extensive Green Roof - mix 6				
	Sedum acre 'Aureum'		pre-grown green roof modules		13th floor; sun; mixed colors
	Sedum album 'Chloroticum'				
	Sedum reflexum 'Moonshadow'				
	Sedum reflexum 'Solar Spice'				
	Sedum rupestre 'Angelina'				
	Sedum spurium 'Sour Cherry'				
	Sedum spurium 'Voodoo'				

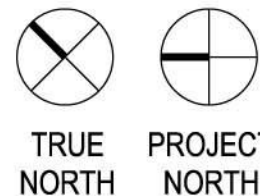


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KEY PLAN



ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

#	DATE	DESCRIPTION
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PROGRESS DOCUMENTS

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PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

SHEET INFORMATION

DATE: 9/19/2012

SHEET NAME:

SHEET NUMBER:

Green Roofs
L201

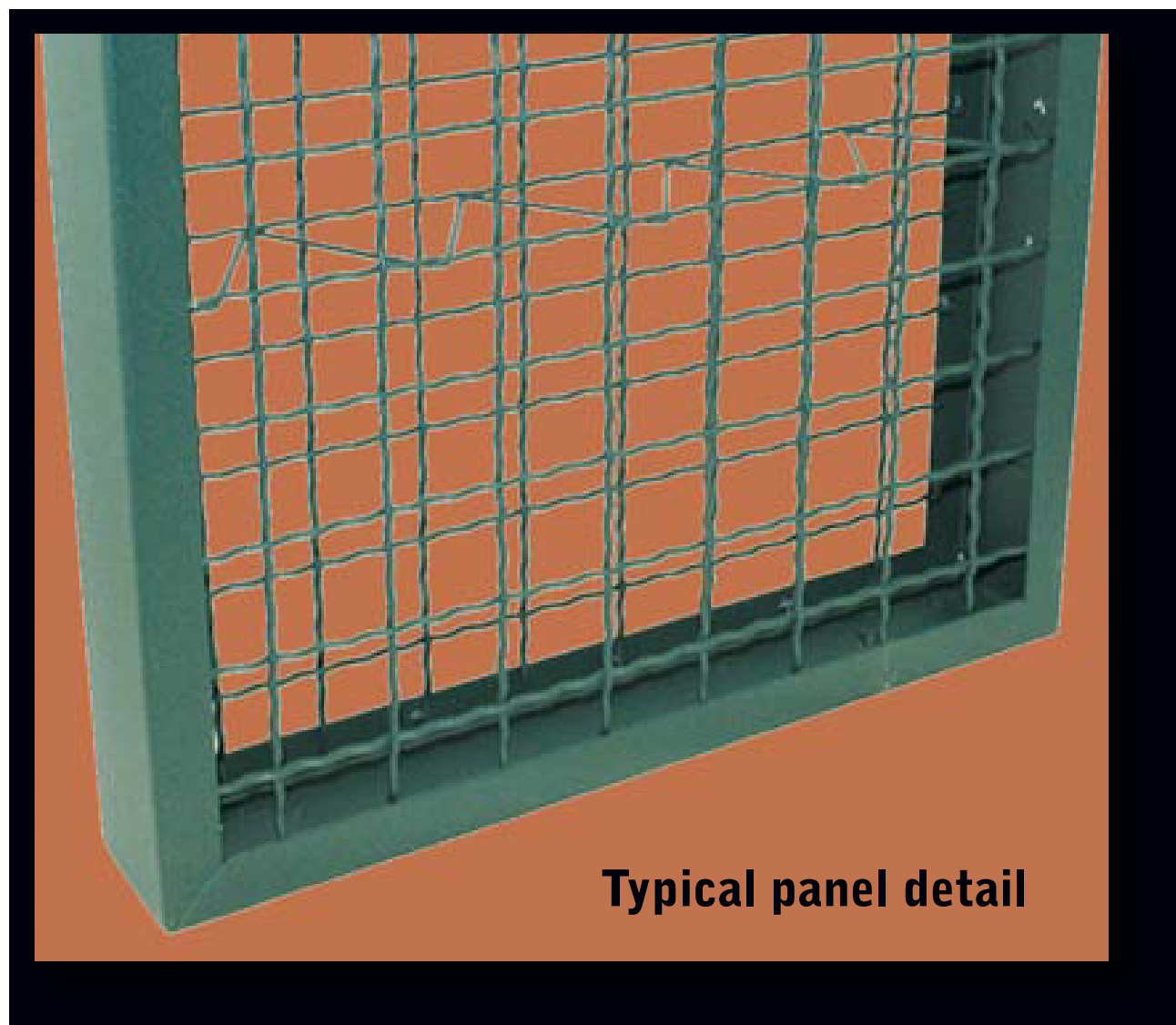
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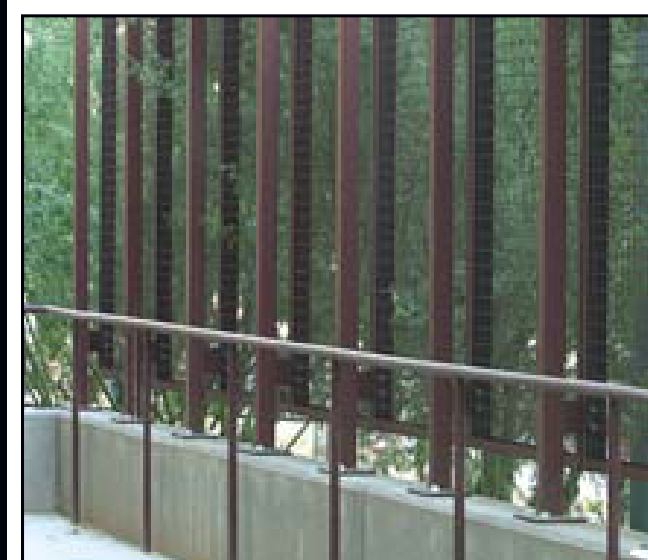
303 S. PATERSON
SUITE 200
MADISON, WI 53705
Phone: 608 951-3600
Fax: 608 951-2550
www.ksd-la.com

ECOMESH

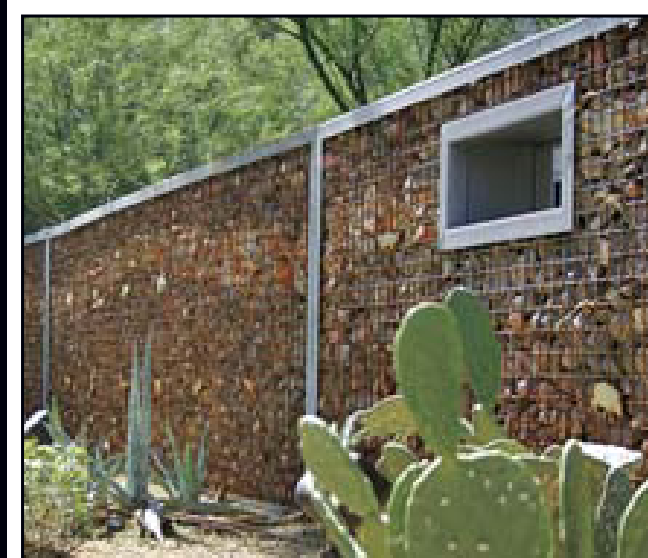

McNICHOLS® Plant Screens add aesthetic appeal to this exterior wall.



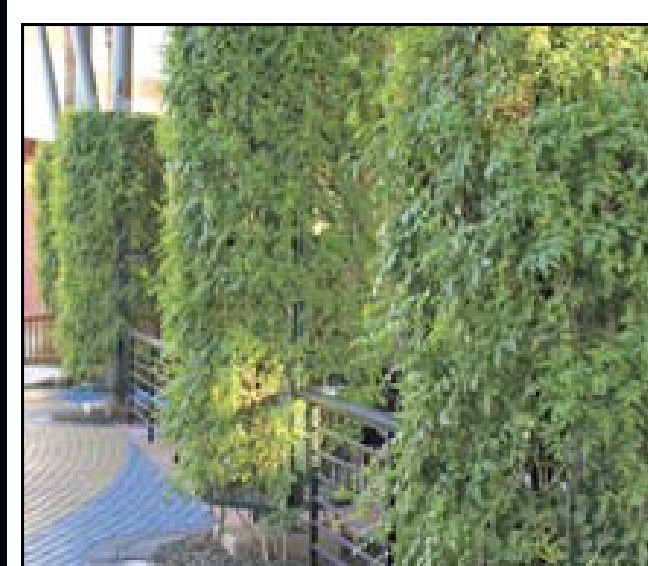
Typical panel detail

**The
Hole
Story**


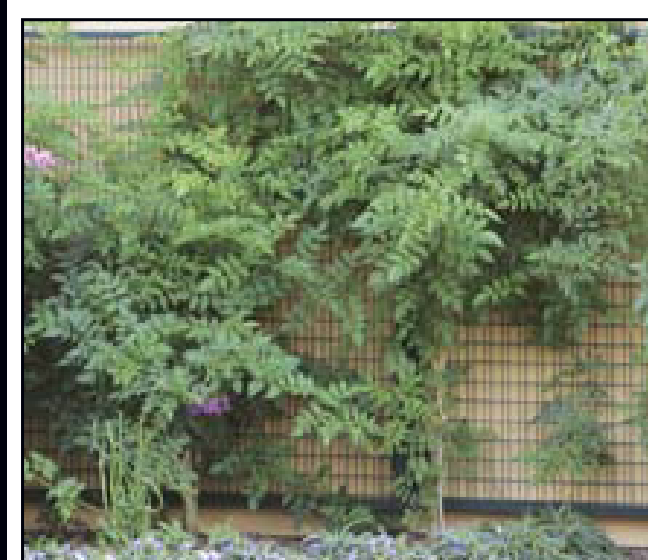
Mounted Trellis



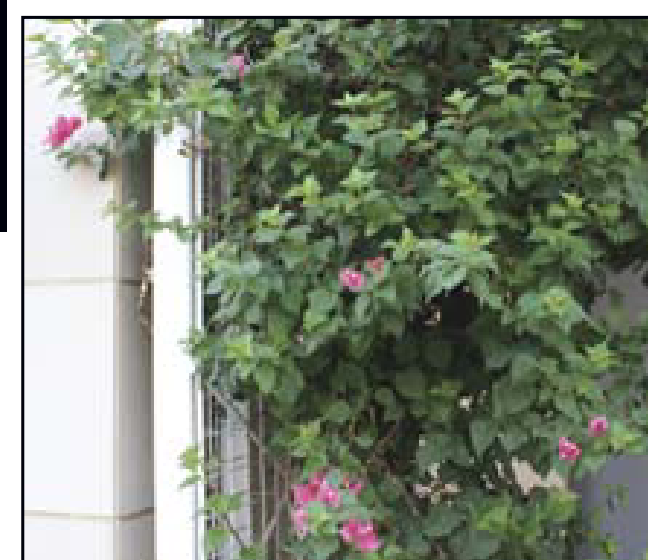
Rock Wall Fencing



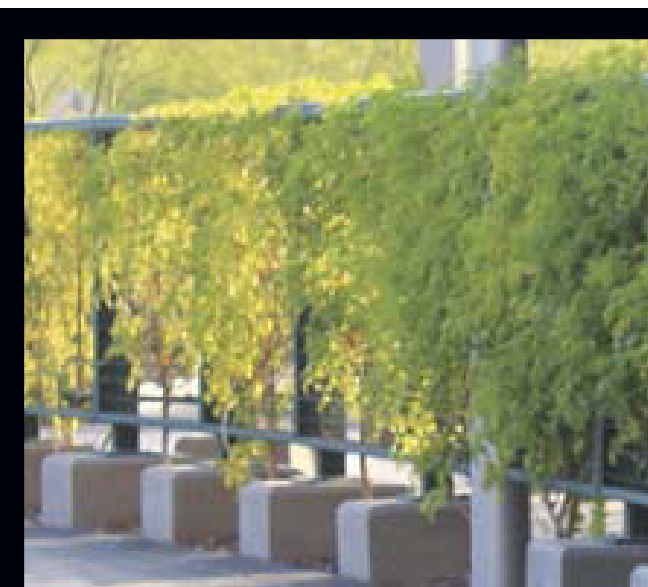
Columns



Trellis



Plant Wall



Plant Panels



WOOD TILES



BEAUTY, LONGEVITY AND EXCEPTIONAL VALUE

BISON WOOD TILES

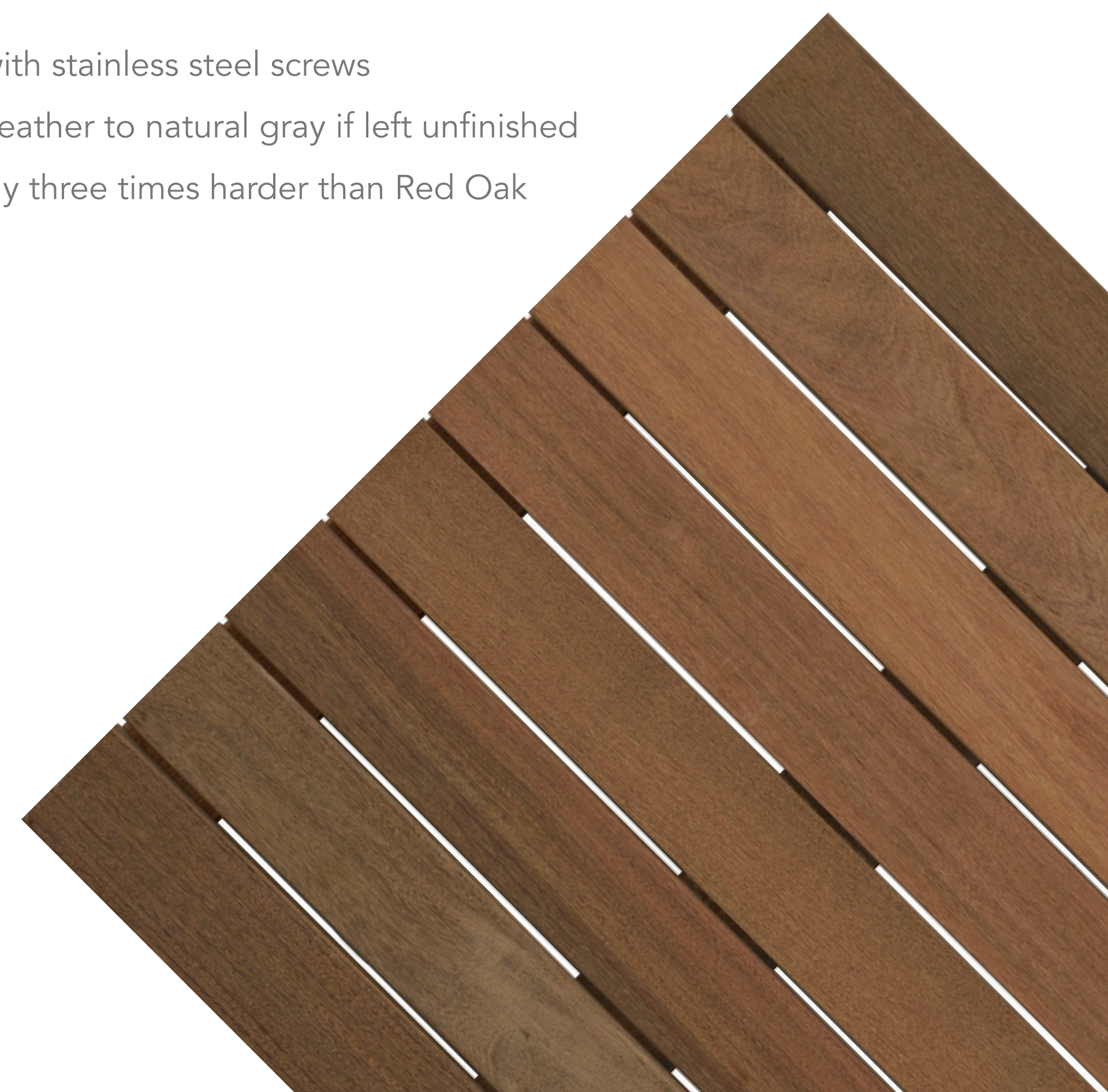
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Constructed from select Brazilian Hardwoods, Bison Wood Tiles are harvested in an environmentally responsible method designed to preserve and enhance the economic viability of rain forest hardwoods.

- Hardwood species include Ipê and Massaranduba
- FSC® Certified options available
- Commercial grade and constructed with stainless steel screws
- Bison Wood Tiles are beautiful and weather to natural gray if left unfinished
- 100% natural wood and approximately three times harder than Red Oak
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The mark of
responsible forestry



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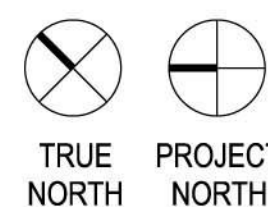


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ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION APPROVAL SET

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PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

SHEET INFORMATION

DATE:

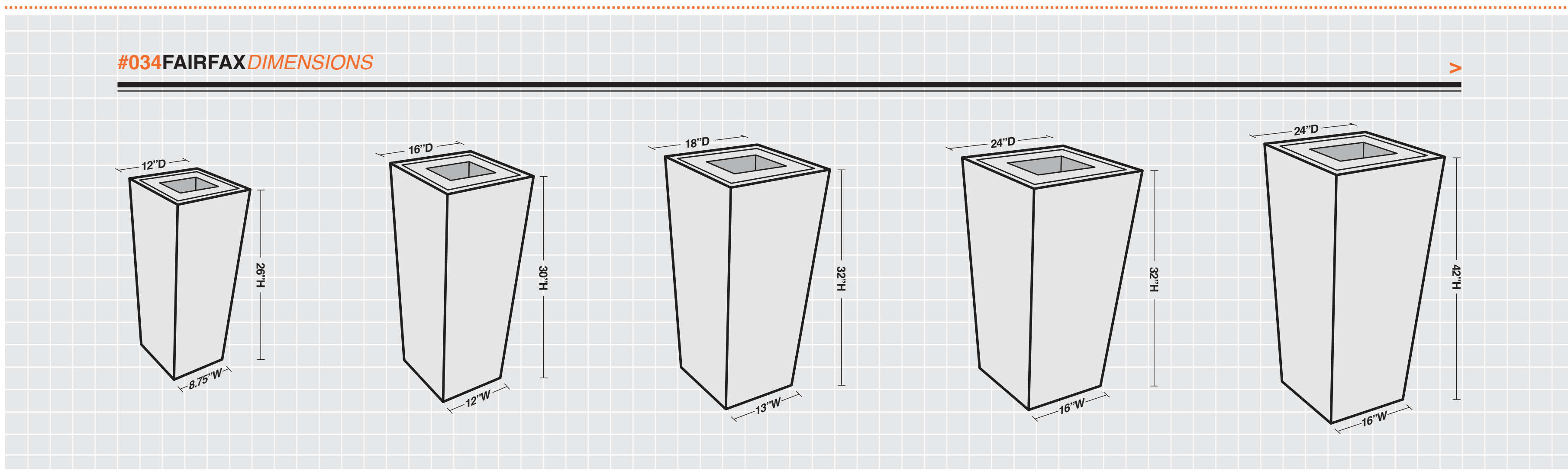
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Metro Collection

Clean, elegant, and distinctively modern

The Metro Collection was born out of a desire to do something that would work with current architecture, but wouldn't feel cold and featureless. We gave each size a seductive curve, then a simple reveal to emphasize the shape. Whether in FRP fiberglass, metal infused, or GFRC Concrete, you'll find that Metro works in most urban settings.



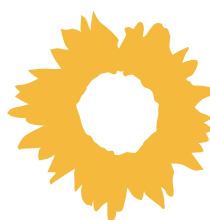
- Lightweight FRP fiberglass and GFRC are designed to be durable despite low weight - even for heavy-traffic locations
- Coordinates with our self-watering container irrigation products
- Metallic FRP finishes will naturally weather over time, like metal containers
- Round, square and rectangular sizes from 18" to 60", with customization available
- Matching ash, trash available



Materials & Finishes - Metal Infused finishes (Aluminum, Bronze, Copper and Iron) combine the light weight and durability of FRP with the natural patina of real metal. The metal will oxidize naturally, depending on the location and condition of the installation. For those that love the look of the metal but want to keep the color the way it starts, we offer a Metal Matched Paint that simulates the color. Our economical standard paint finishes use a high-quality industrial grade acrylic enamel in a variety of architectural colors.



For more information about the Metro Collection, visit tournesolsiteworks.com/product-metro-collection.html



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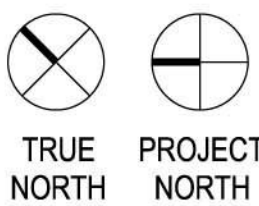


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- Great for sidewalk placement
- One unit parks two bikes

The Dero Bike Hitch is an attractive and space efficient bike rack. The Dero Bike Hitch was specifically designed for sidewalks and other narrow space applications. The rack's design restricts bikes to parking parallel with the rack so bikes won't protrude out into the sidewalk or street.



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BENCHES



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MLB1050W

MATERIALS: Bench frame is made from solid steel angle. The seat is constructed using lpe.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

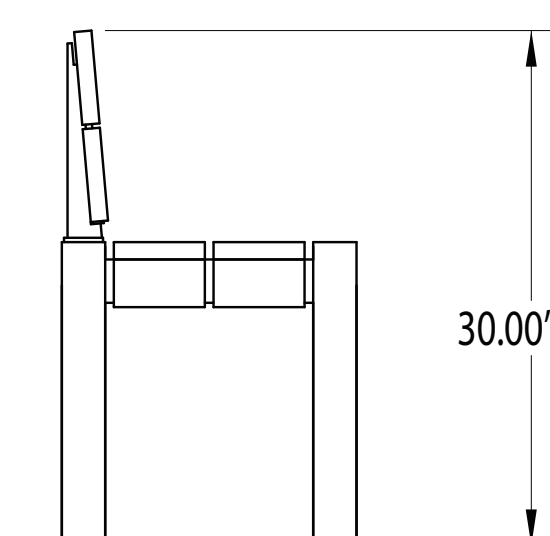
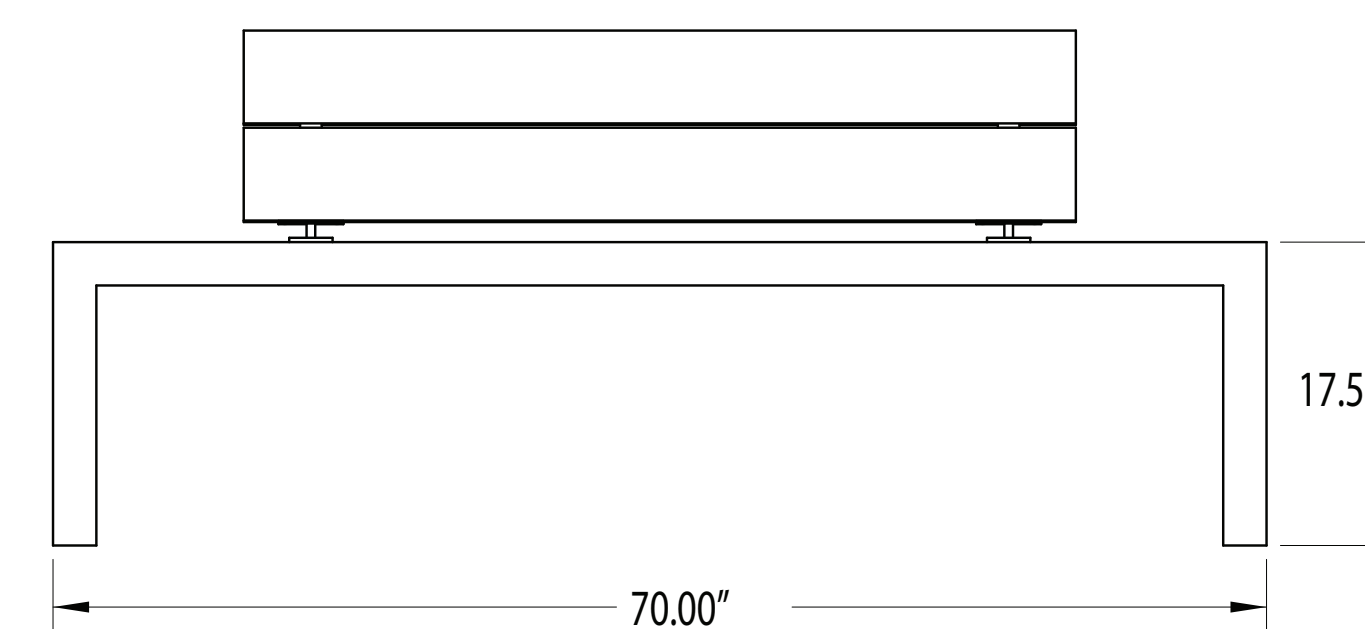
INSTALLATION: The bench is delivered pre-assembled. Holes (0.5") are provided in each foot for securing to base.

TO SPECIFY: Select MLB1050W
Choose:
- Powdercoat Color

OPTIONS: - Recycled Plastic Seat and Back (MLB1050R)

COMPLEMENTARY PRODUCTS:
- MLB1050BW
- MLPT1050W

DIMENSIONS: Height: 30.00" (76.2 cm)
Length: 70.00" (177.8 cm)
Depth: 17.00" (43.2 cm)
Weight: 131lbs (59.4 kg)



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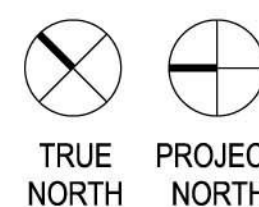


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KEY PLAN



ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION APPROVAL SET

#	DATE	DESCRIPTION
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PROGRESS DOCUMENTS

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PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
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SHEET INFORMATION

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View From Johnson Street



View From Johnson Street



View From State Street



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PROJECT NUMBER: 11418
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SHEET INFORMATION

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SITE CONTEXT
WITH DESIGN
G004

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LOOKING SOUTH ON JOHNSON



LOOKING EAST ON JOHNSON



LOOKING NORTH ON DAYTON



LOOKING WEST ON DAYTON



AERIAL LOOKING SOUTH



AERIAL LOOKING EAST



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AERIAL LOOKING
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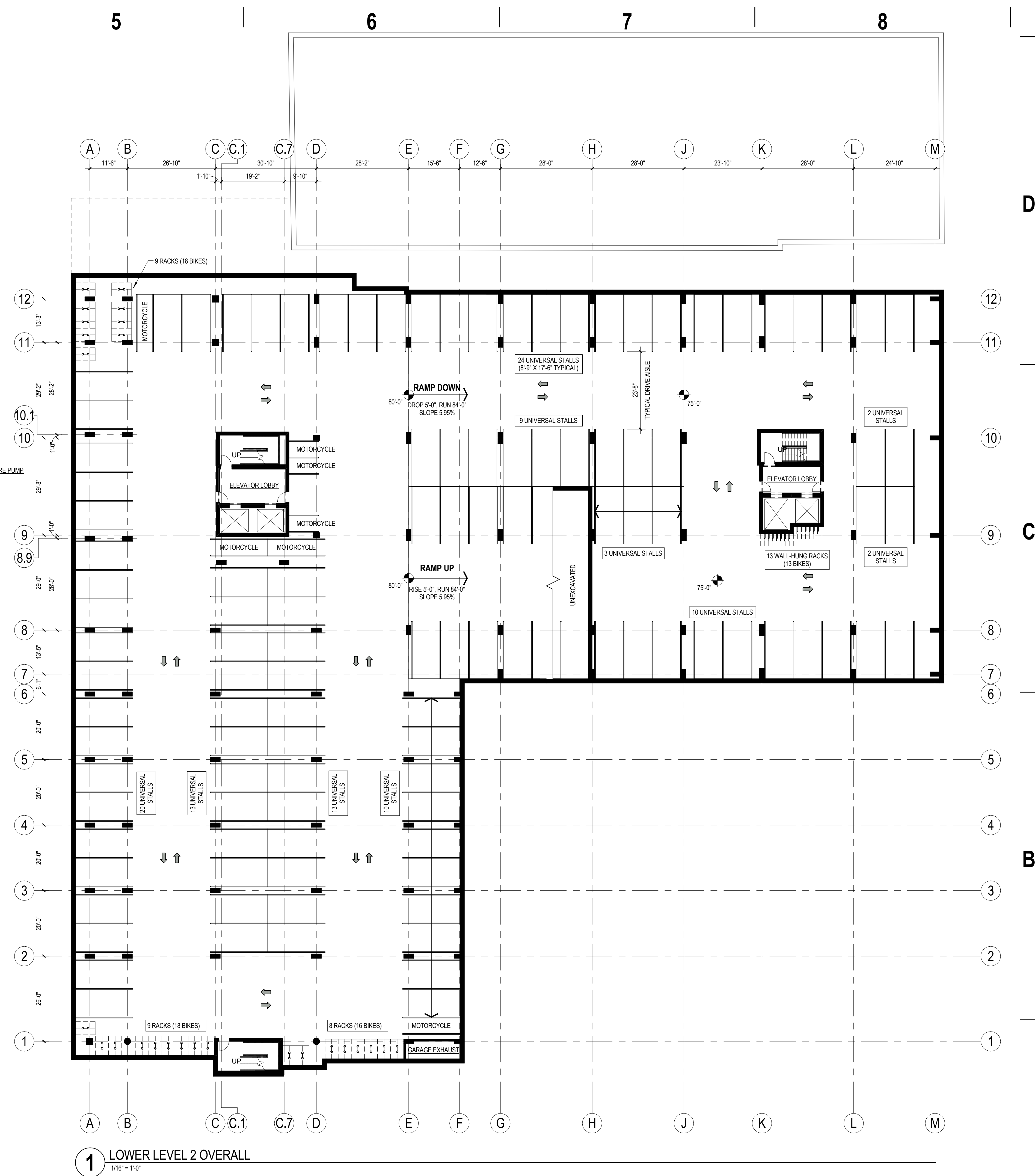
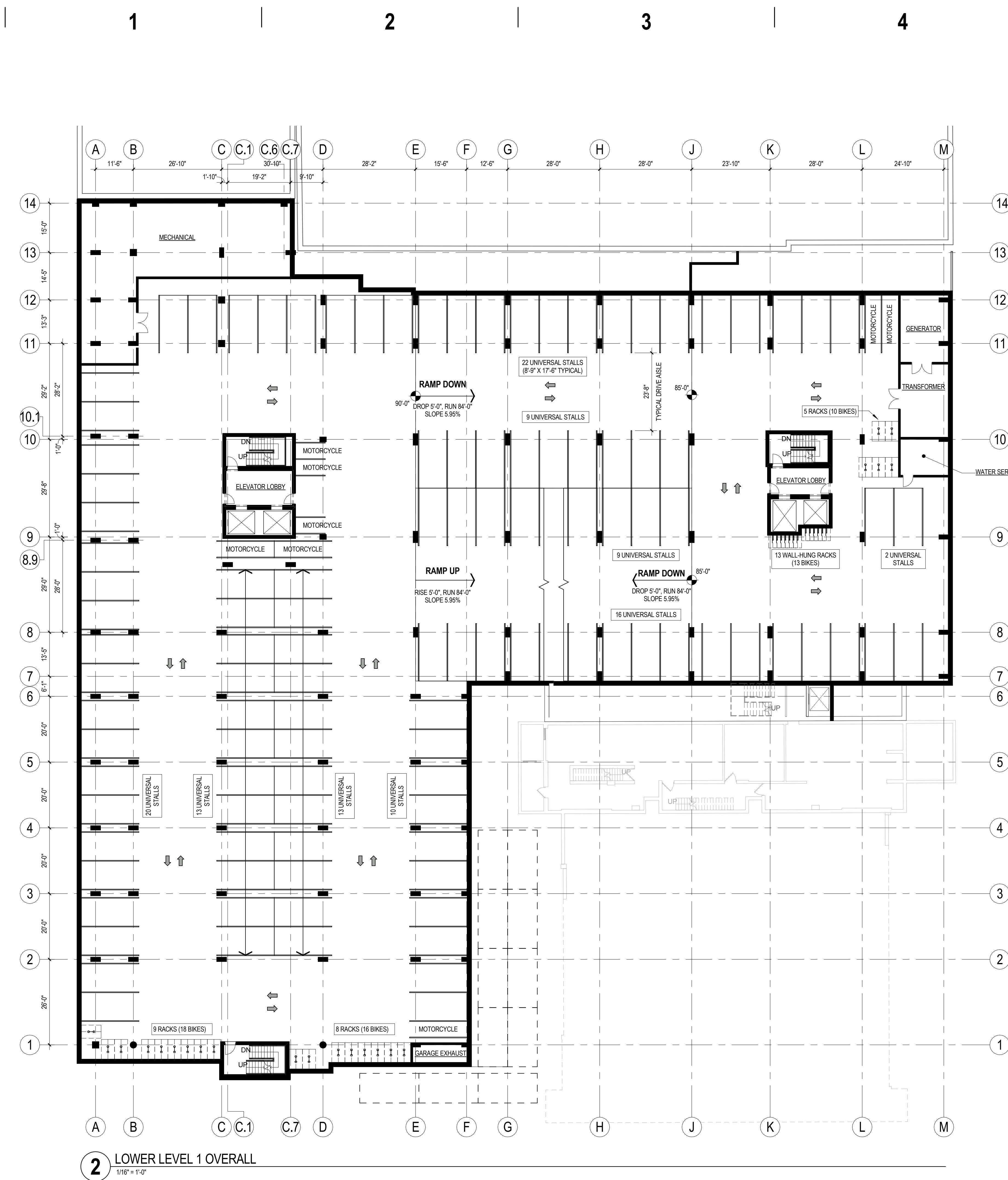
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DATE: 9/19/2012

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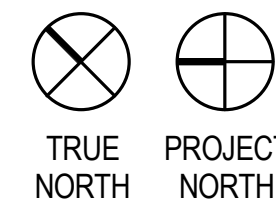
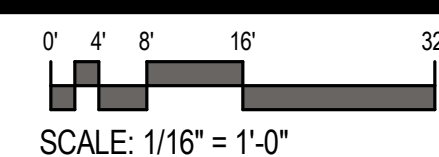


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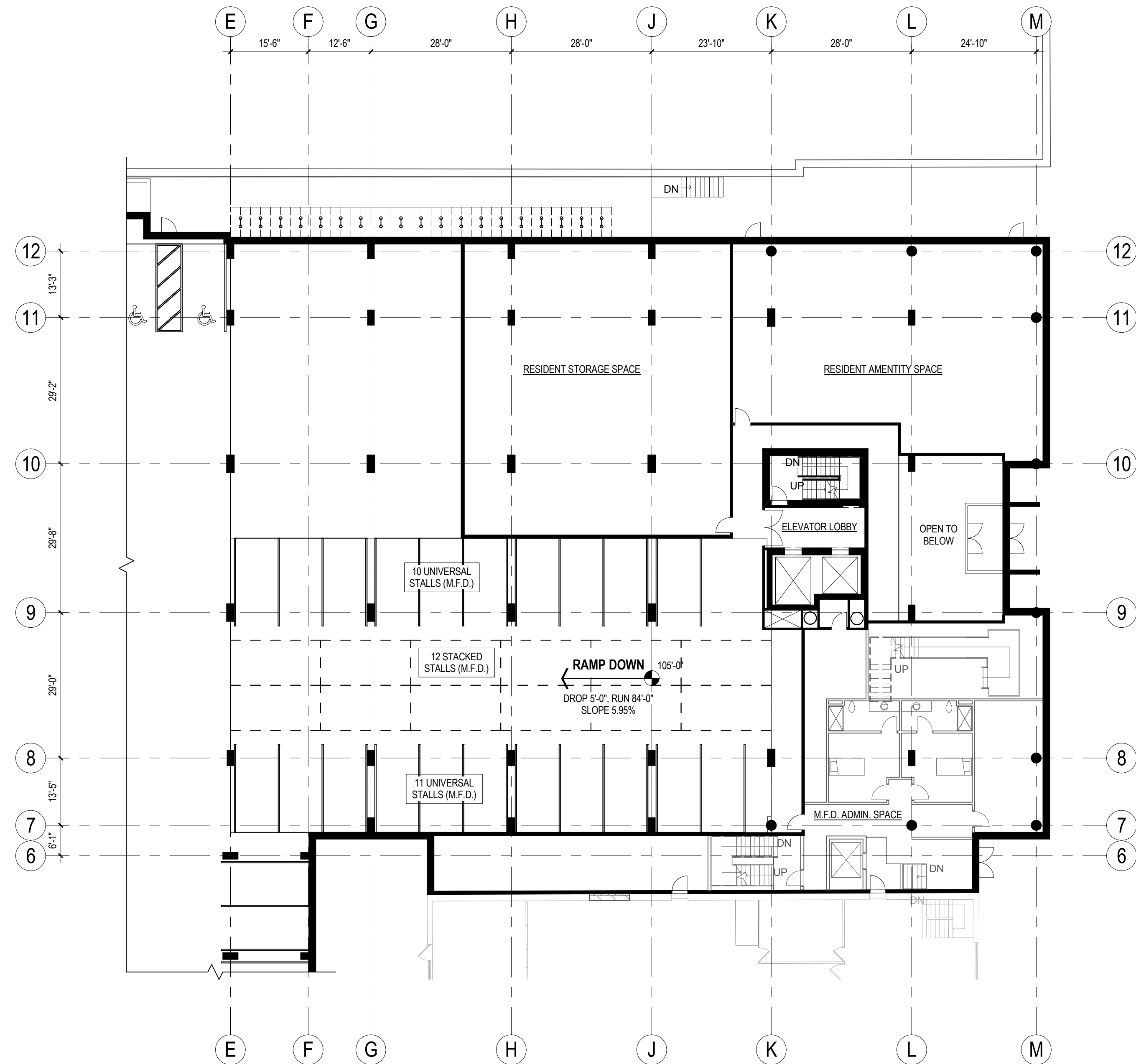
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SHEET NUMBER:

FLOOR PLANS
A101.1

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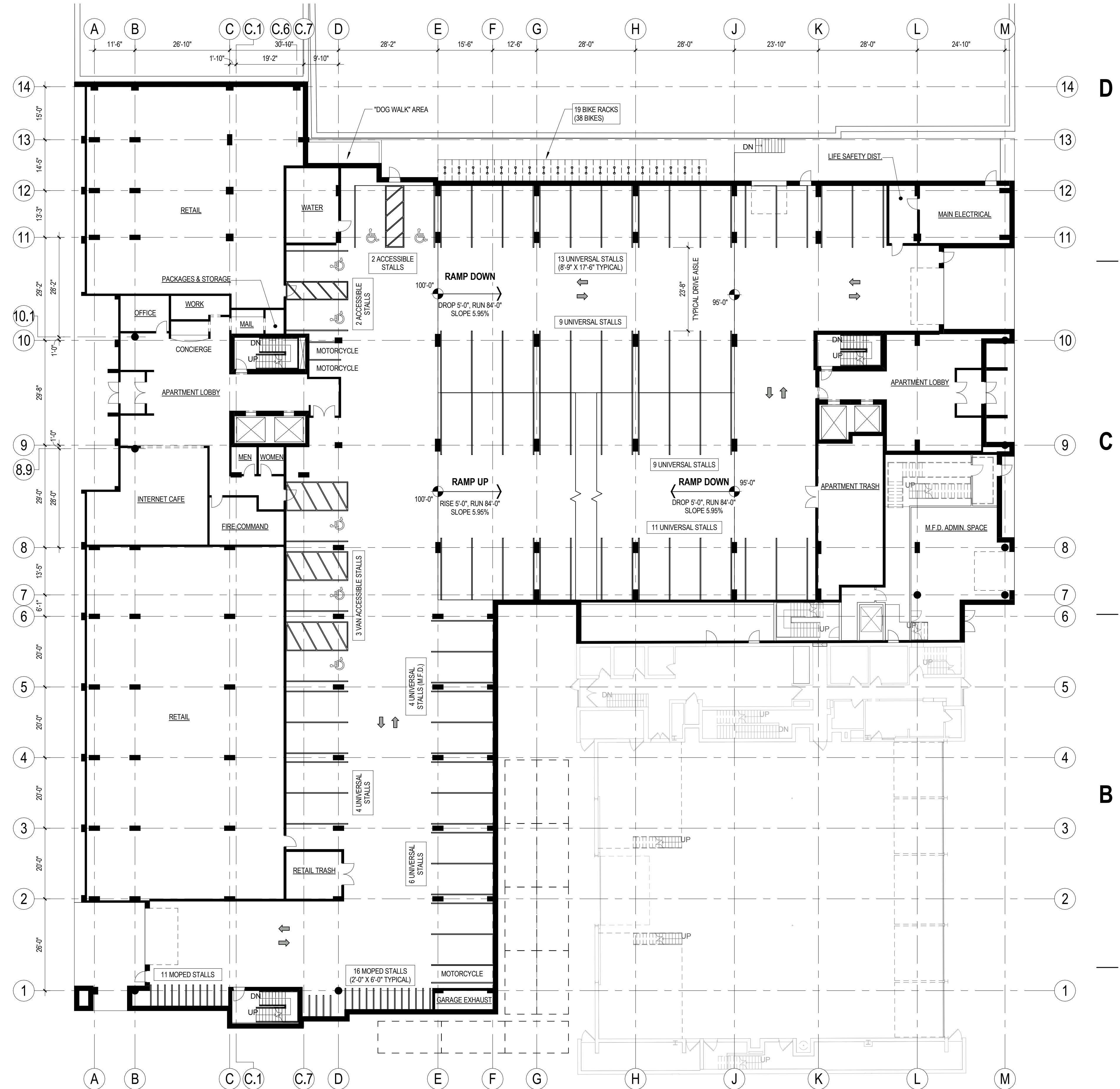
2 MEZZANINE LEVEL PLAN
1/16" = 1'-0"

PARKING - NON-MFD VEHICLES			
Level	Stall Type	Count	Comments
LOWER LEVEL 2	UNIVERSAL	121	
LOWER LEVEL 1	UNIVERSAL	113	
GROUND FLOOR	ACCESSIBLE	4	
GROUND FLOOR	ACCESSIBLE - VAN	3	
GROUND FLOOR	UNIVERSAL	30	
GROUND FLOOR	UNIVERSAL	4	
Grand total		275	

PARKING - MFD VEHICLES			
Level	Stall Type	Count	Comments
GROUND FLOOR	STACKED	11	BEHIND STATION #1
GROUND FLOOR	UNIVERSAL	4	
MEZZANINE LEVEL	STACKED	12	
MEZZANINE LEVEL	UNIVERSAL	21	
Grand total		48	

PARKING - MOPEDS & MOTORCYCLES			
LEVEL	STALL TYPE	COUNT	Comments
LOWER LEVEL 2	MOTORCYCLE	7	
LOWER LEVEL 1	MOTORCYCLE	8	
GROUND FLOOR	MOPED	27	
GROUND FLOOR	MOTORCYCLE	3	
Grand total		45	

PARKING - BICYCLES			
LEVEL	RACK TYPE	NUMBER OF RACKS	TOTAL BIKES
LOWER LEVEL 2	DOUBLE BIKE - FLOOR MOUNT	26	52
LOWER LEVEL 2	SINGLE BIKE - WALL MOUNT	13	13
LOWER LEVEL 1	DOUBLE BIKE - FLOOR MOUNT	22	44
LOWER LEVEL 1	SINGLE BIKE - WALL MOUNT	13	13
GROUND FLOOR	DOUBLE BIKE - FLOOR MOUNT	19	38
Grand total		93	160



1 GROUND FLOOR PLAN
1/16" = 1'-0"

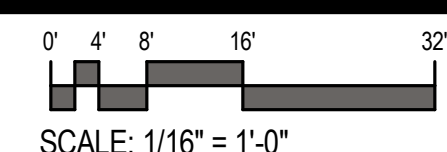


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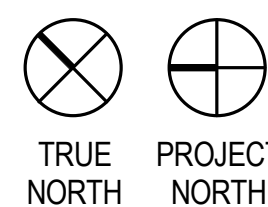
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SCALE: 1/16" = 1'-0"



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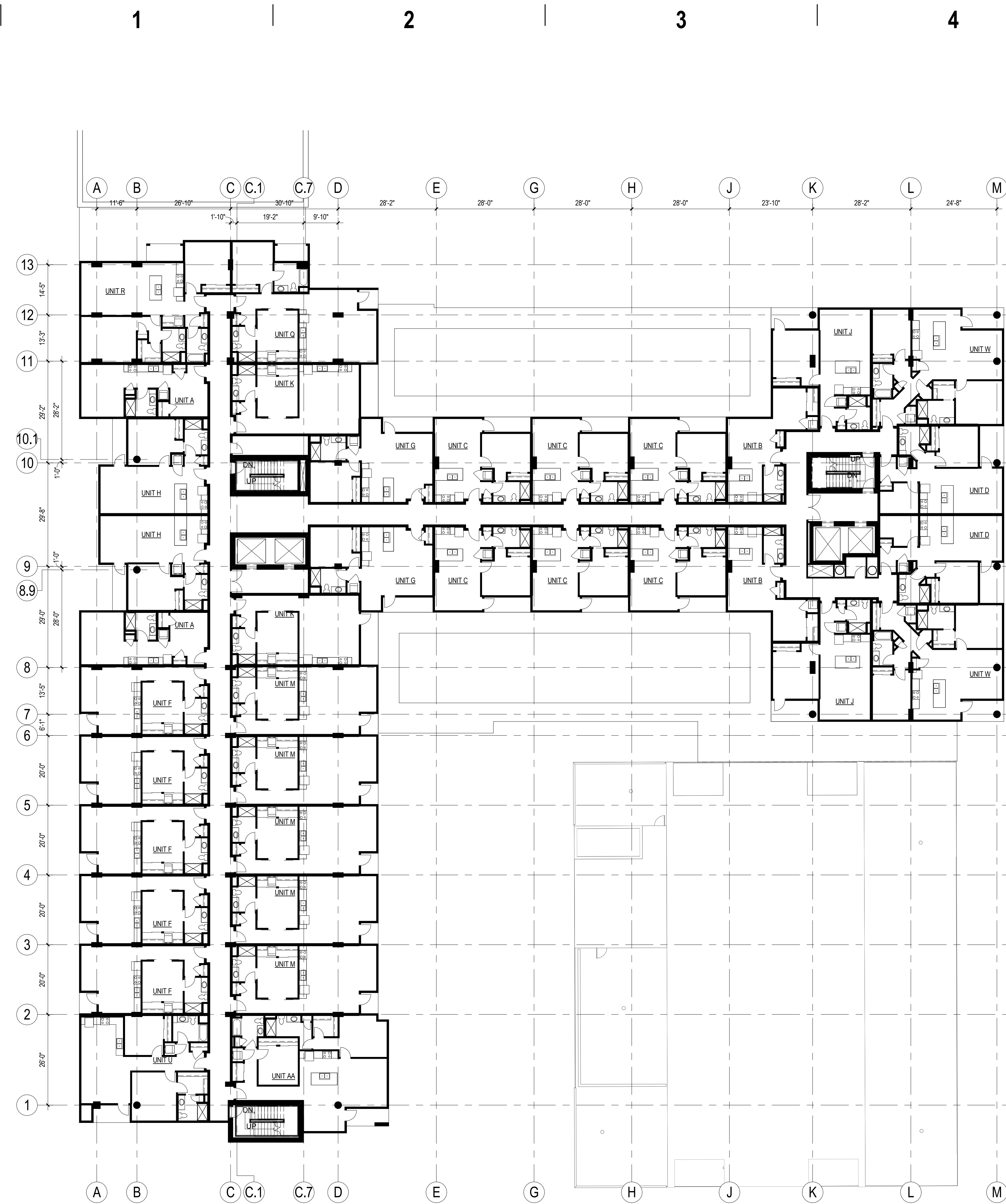
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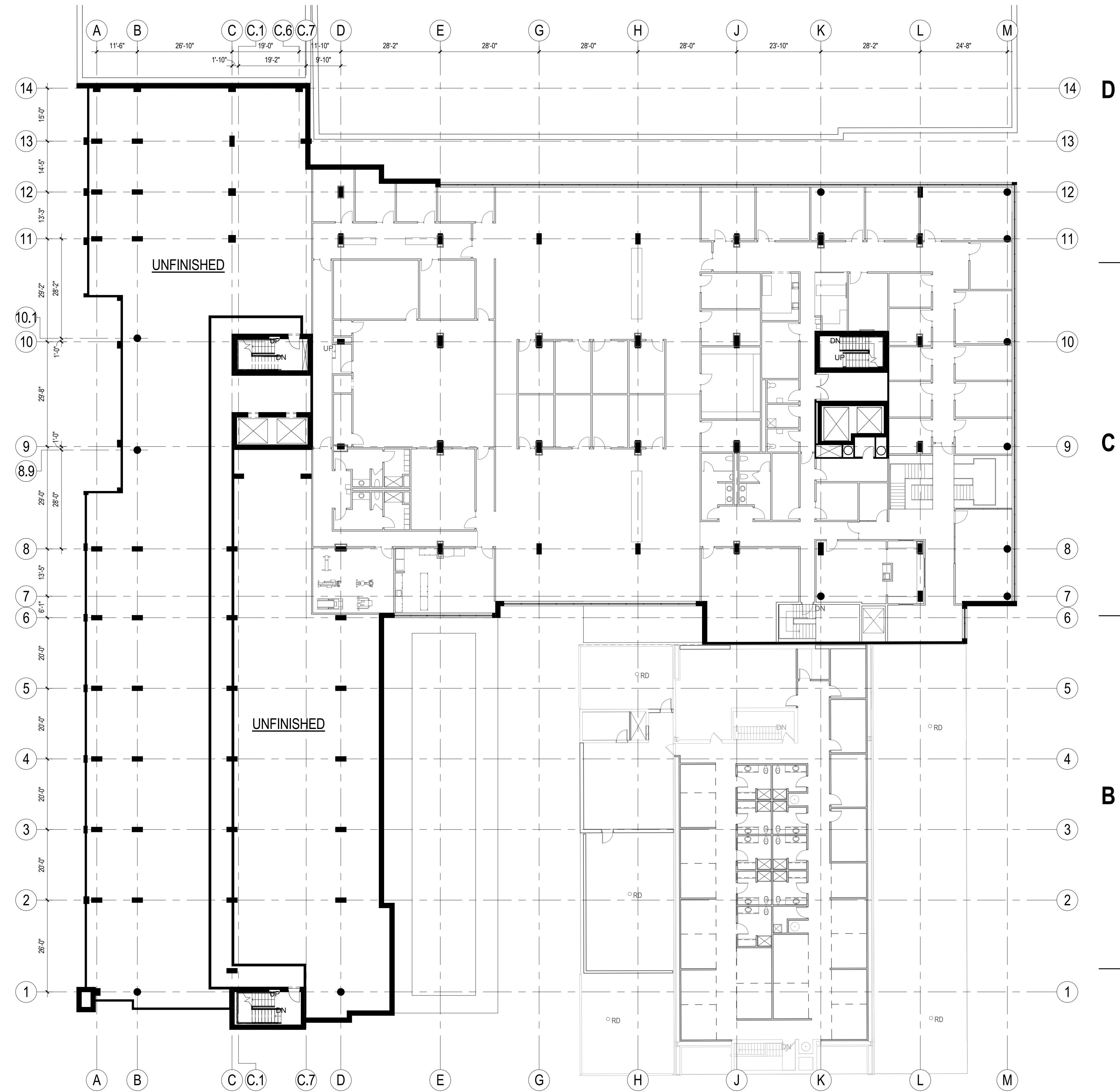
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FLOOR PLANS
A102.1

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2 THIRD FLOOR PLAN (FIFTH FLOOR SIMILAR)
1/16" = 1'-0"



1 SECOND FLOOR PLAN
1/16" = 1'-0"

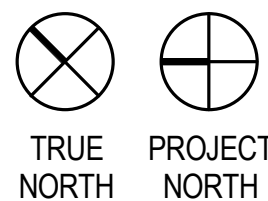
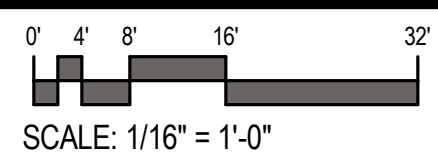


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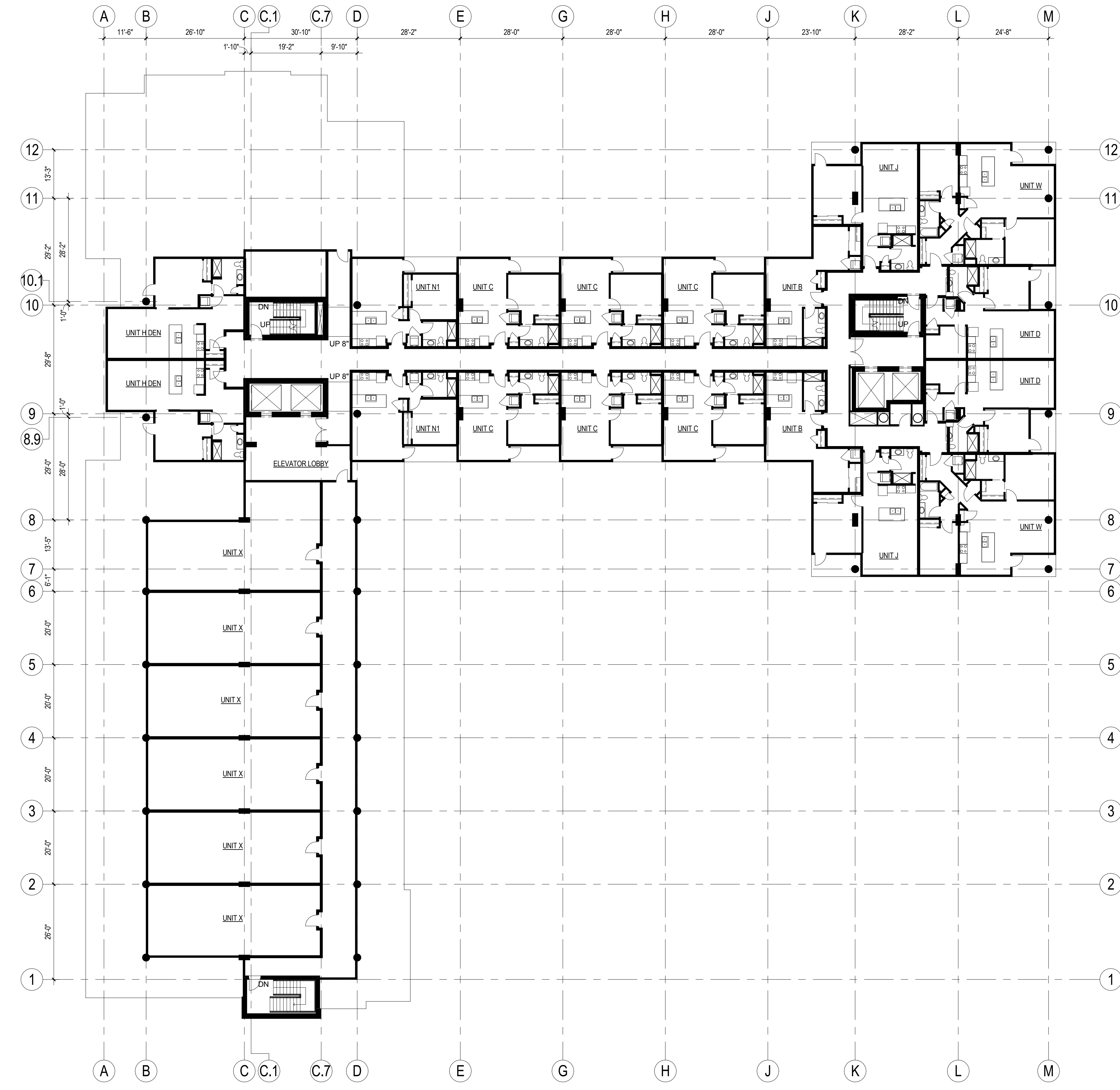
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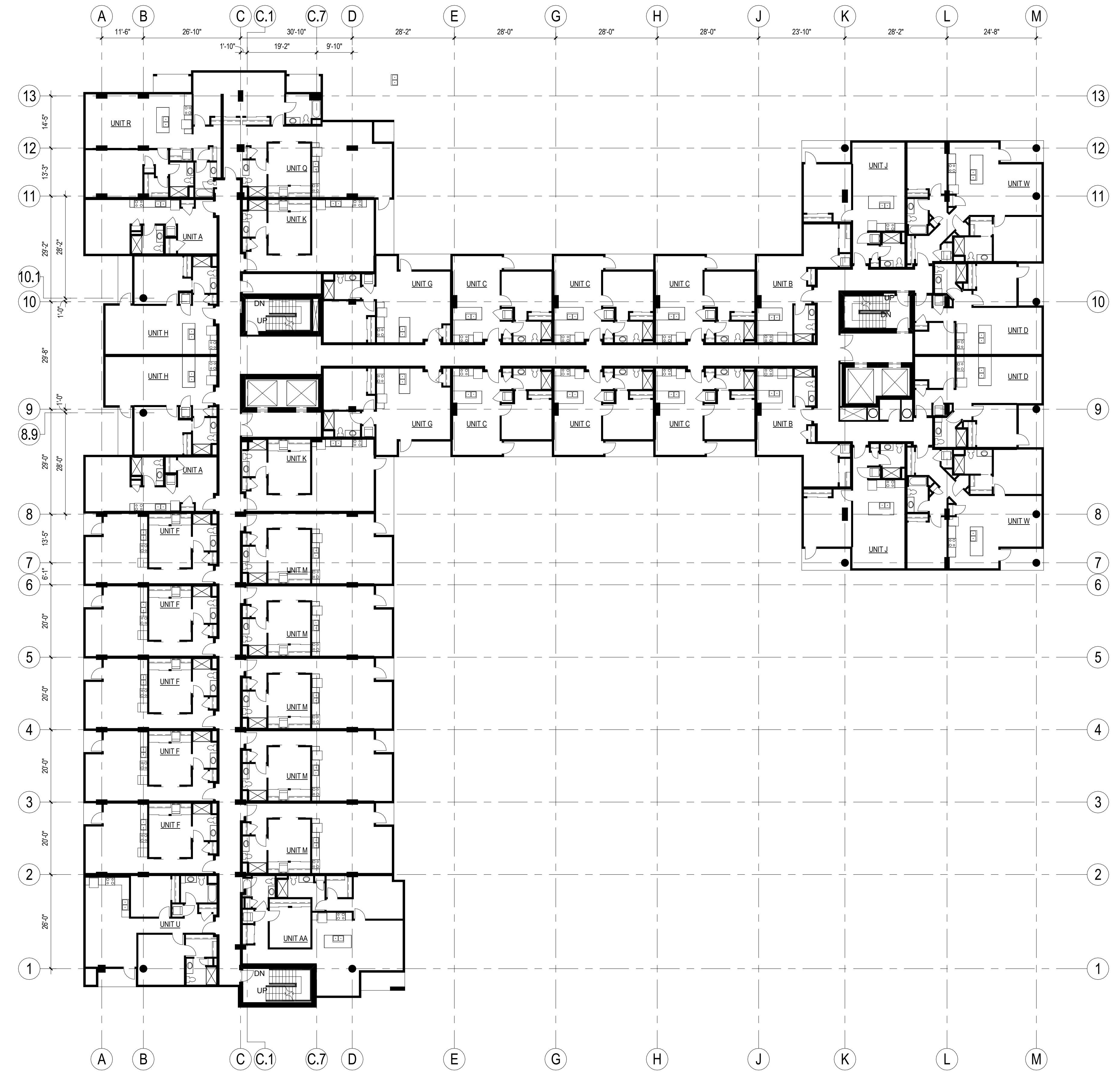
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2 SEVENTH FLOOR PLAN
1/16" = 1'-0"



1 FOURTH FLOOR PLAN (SIXTH FLOOR SIMILAR)
1/16" = 1'-0"



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SCALE: 1/16" = 1'-0"

TRUE NORTH PROJECT NORTH

ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

#	DATE	DESCRIPTION
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PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI

PROJECT NUMBER: 11418
PROJECT MANAGER: CG

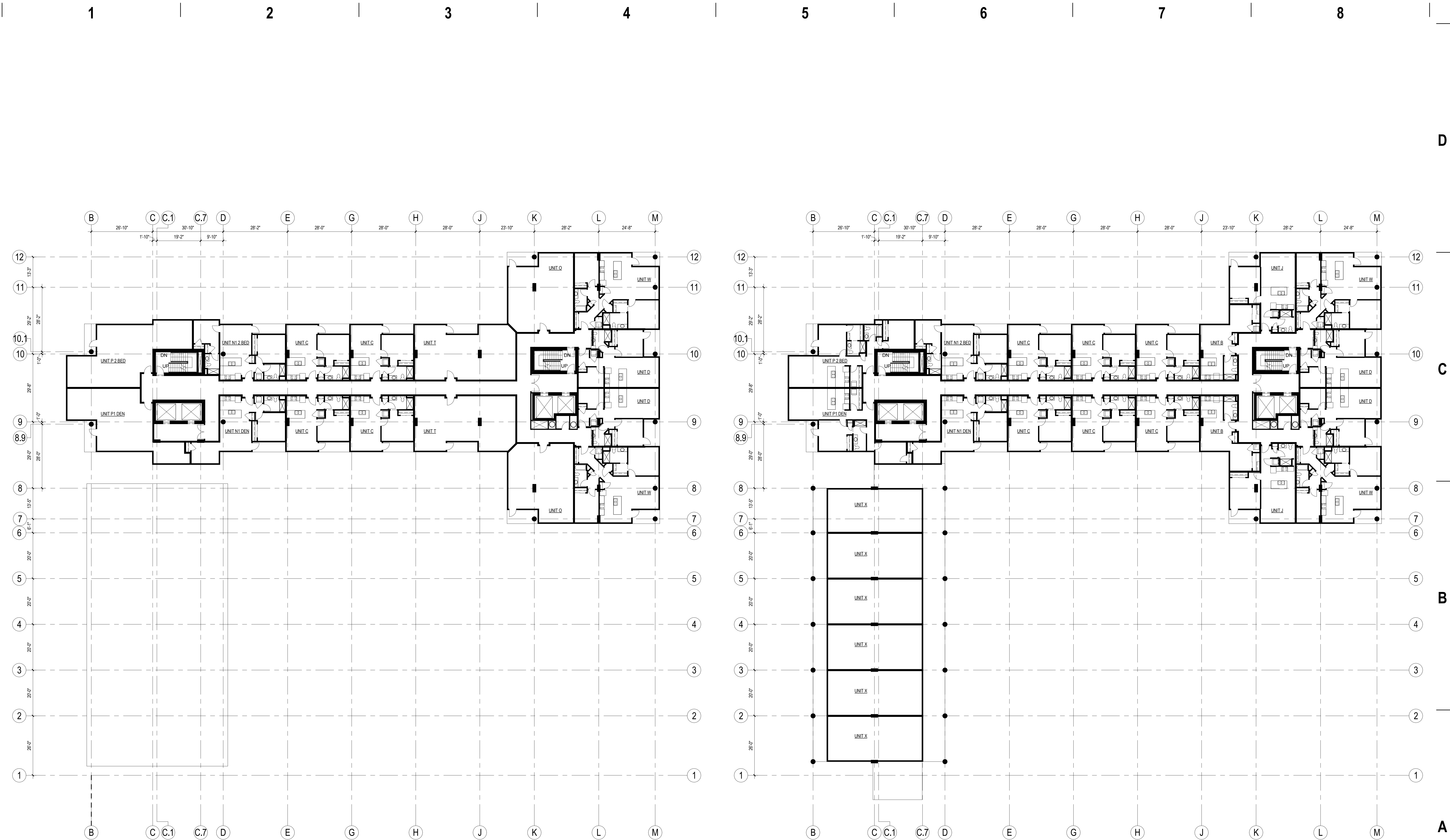
SHEET INFORMATION

DATE: 9/19/2012

SHEET NAME: FLOOR PLANS
A104.1

SHEET NUMBER:

© Eppstein Uhen Architects, Inc.



2 NINTH FLOOR PLAN (TENTH & ELEVENTH FLOORS SIMILAR)
1/16" = 1'-0"

1 EIGHTH FLOOR PLAN
1/16" = 1'-0"

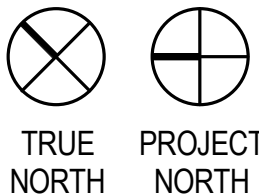
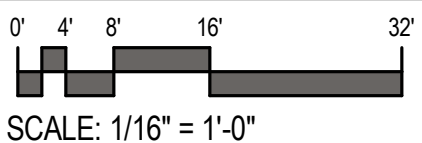


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Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6680

KEY PLAN



ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

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309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

SHEET INFORMATION

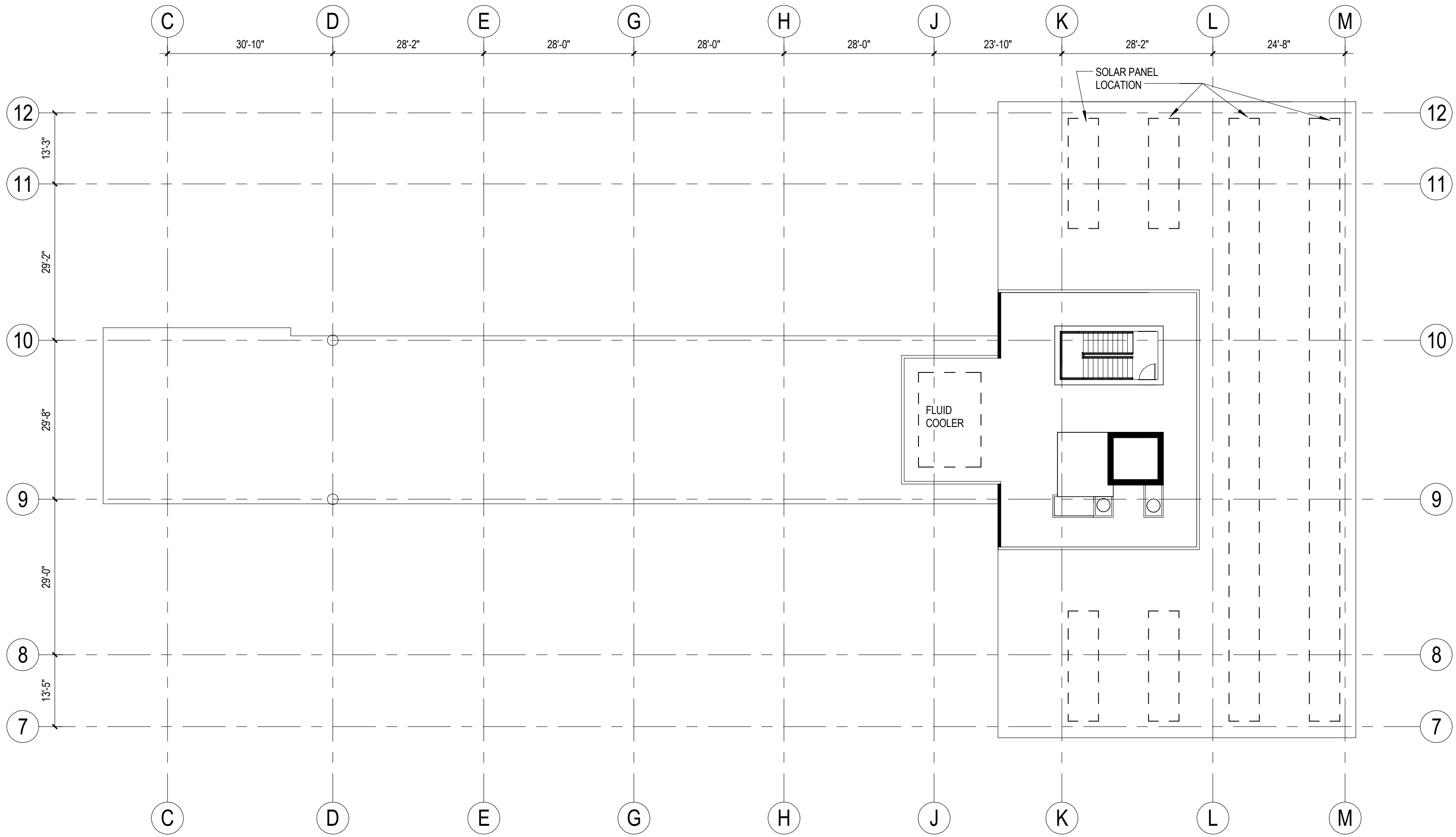
DATE: 9/19/2012

SHEET NAME:

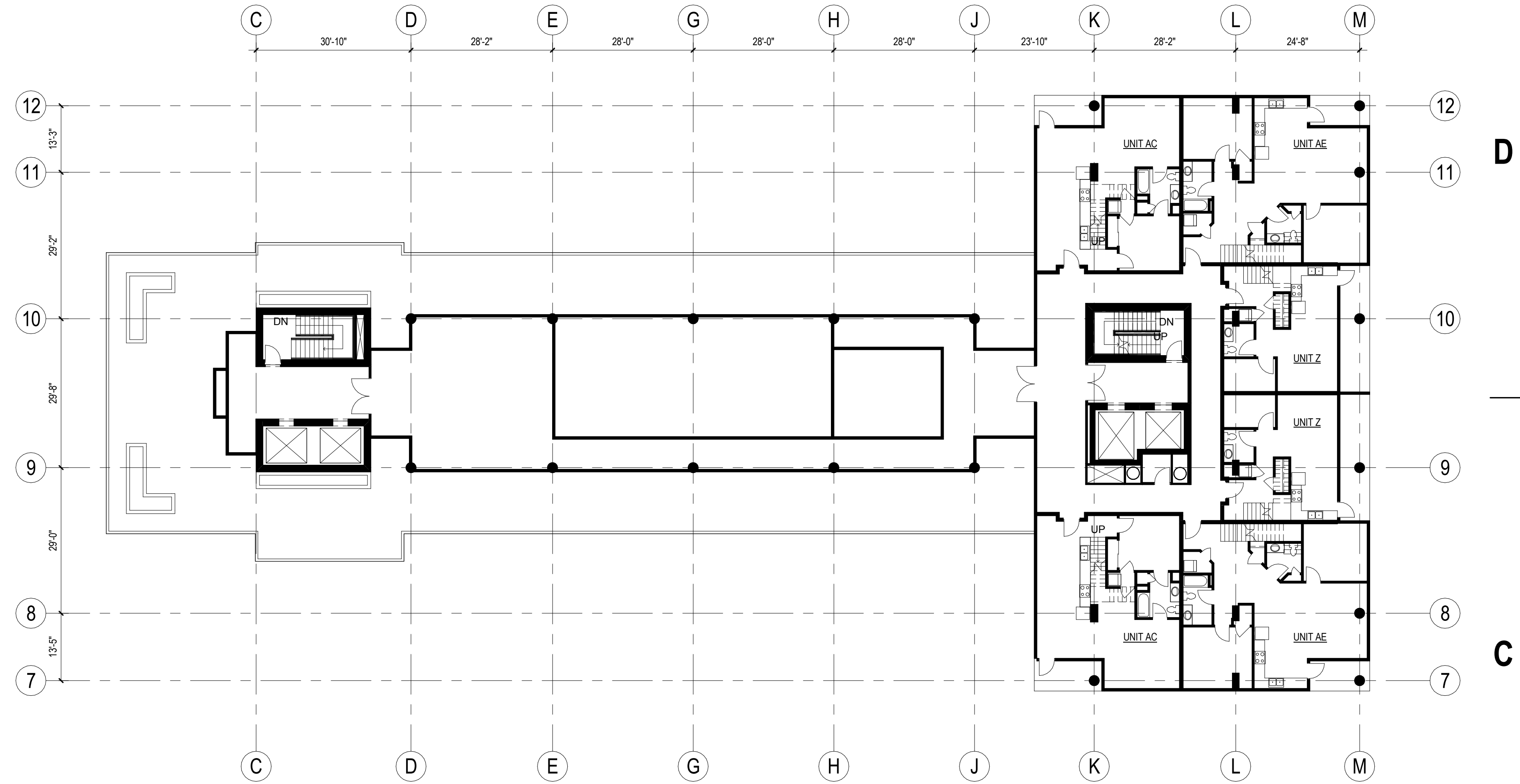
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FLOOR PLANS
A105.1

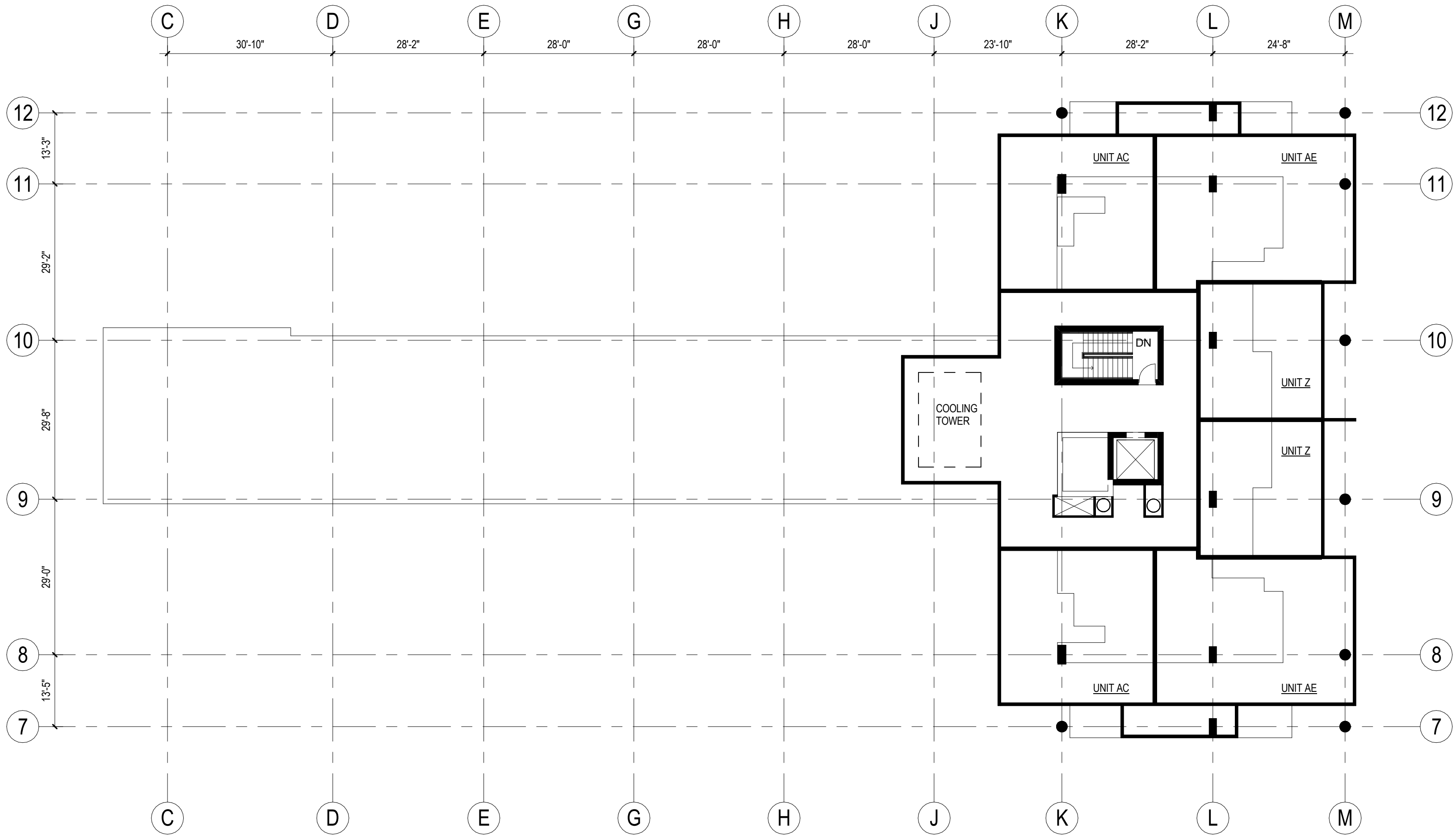
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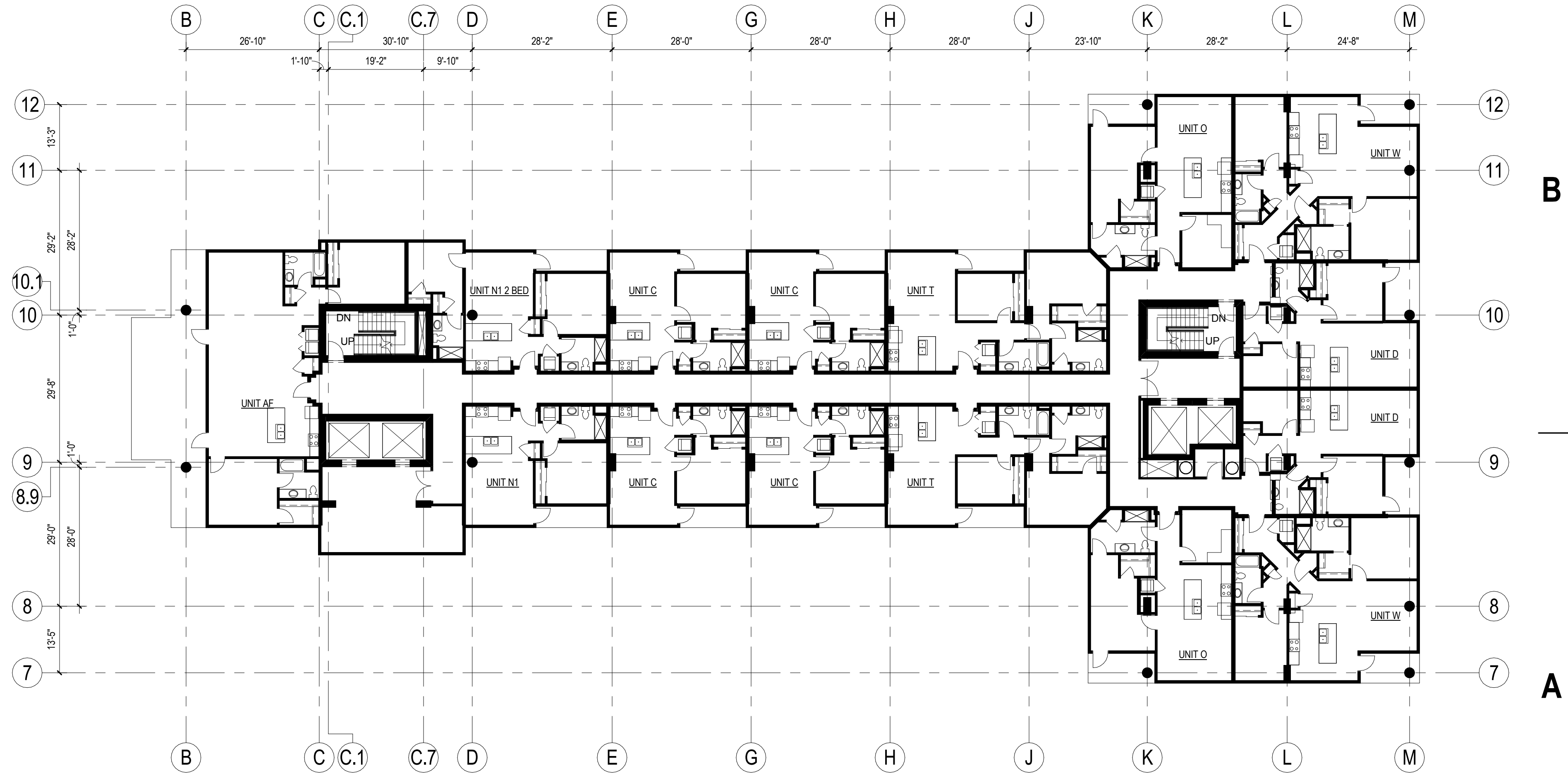
4 ROOF PLAN
1/16" = 1'-0"



2 THIRTEENTH FLOOR PLAN
1/16" = 1'-0"



3 FOURTEENTH FLOOR PLAN
1/16" = 1'-0"



1 TWELFTH FLOOR PLAN
1/16" = 1'-0"

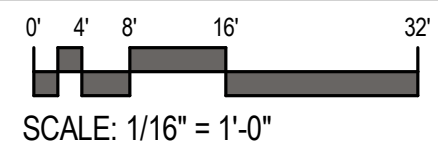


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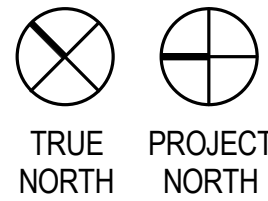
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KEY PLAN



SCALE: 1/16" = 1'-0"



ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

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PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

SHEET INFORMATION

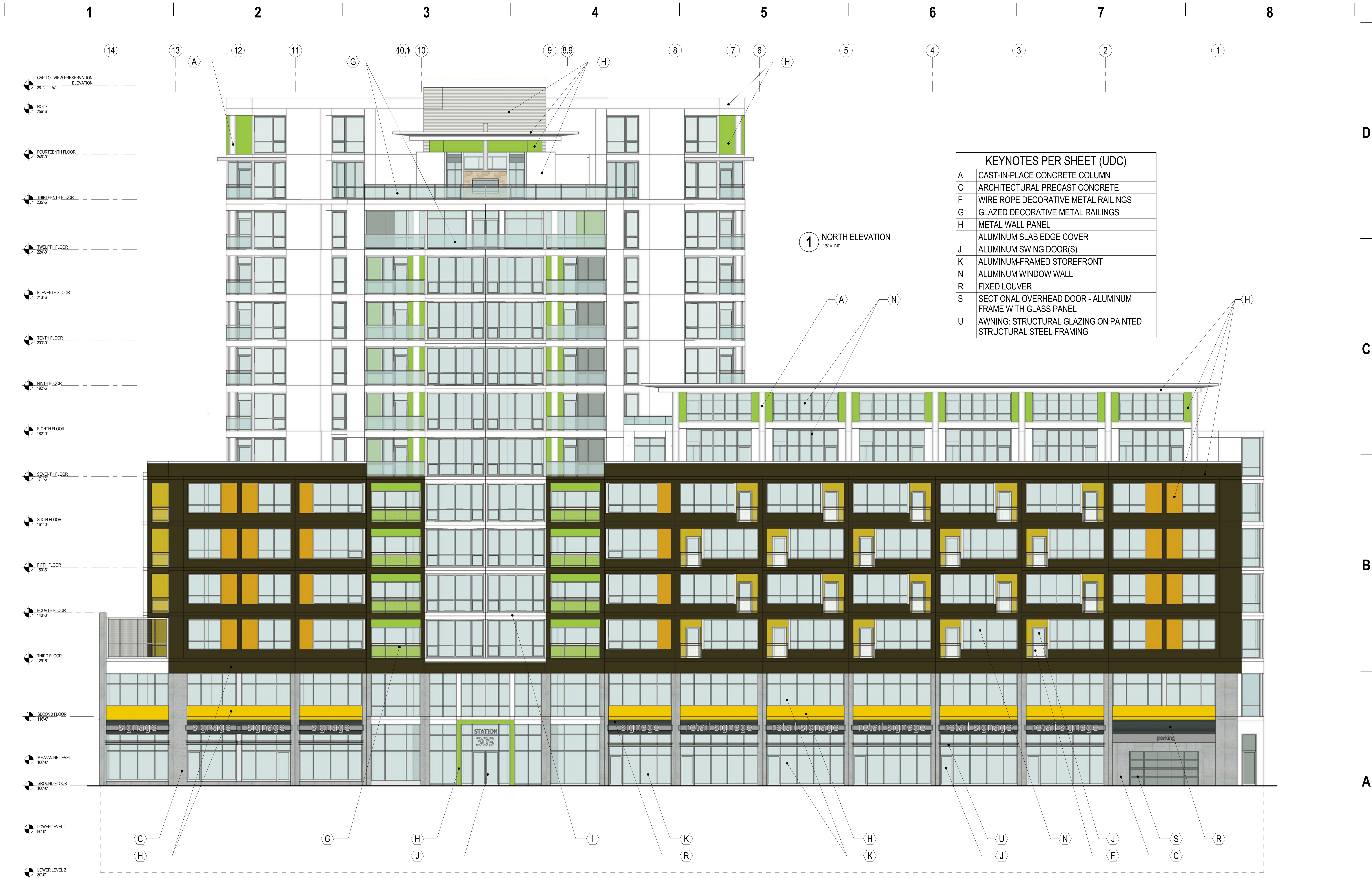
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SHEET NAME:

SHEET NUMBER:

FLOOR PLANS
A106.1

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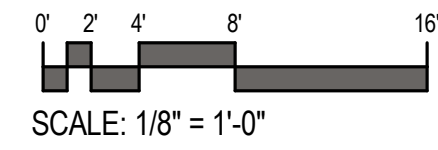


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KEY PLAN



ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

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PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

SHEET INFORMATION

DATE: 9/19/2012

SHEET NAME: NORTH ELEVATION

SHEET NUMBER: A201

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KEYNOTES PER SHEET (UDC)	
A	CAST-IN-PLACE CONCRETE COLUMN
B	CAST-IN-PLACE CONCRETE WALL
C	ARCHITECTURAL PRECAST CONCRETE
F	WIRE ROPE DECORATIVE METAL RAILINGS
G	GLAZED DECORATIVE METAL RAILINGS
H	METAL WALL PANEL
I	ALUMINUM SLAB EDGE COVER
J	ALUMINUM SWING DOOR(S)
K	ALUMINUM-FRAMED STOREFRONT
N	ALUMINUM WINDOW WALL
O	ALUMINUM WINDOW
Q	SPANDREL GLAZING
S	SECTIONAL OVERHEAD DOOR - ALUMINUM FRAME WITH GLASS PANEL

1 SOUTH ELEVATION
1/8" = 1'-0"

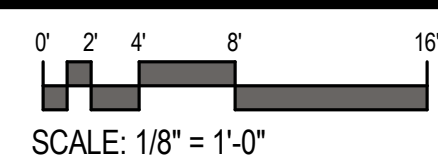


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KEY PLAN



ISSUANCE AND REVISIONS

**URBAN DESIGN COMMISSION
APPROVAL SET**

#	DATE	DESCRIPTION
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PROGRESS DOCUMENTS

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PROJECT INFORMATION

**309 W. JOHNSON STREET
MADISON, WI**



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

SHEET INFORMATION

DATE: 9/19/2012

SHEET NAME:

SHEET NUMBER:

**EAST ELEVATION
A204**

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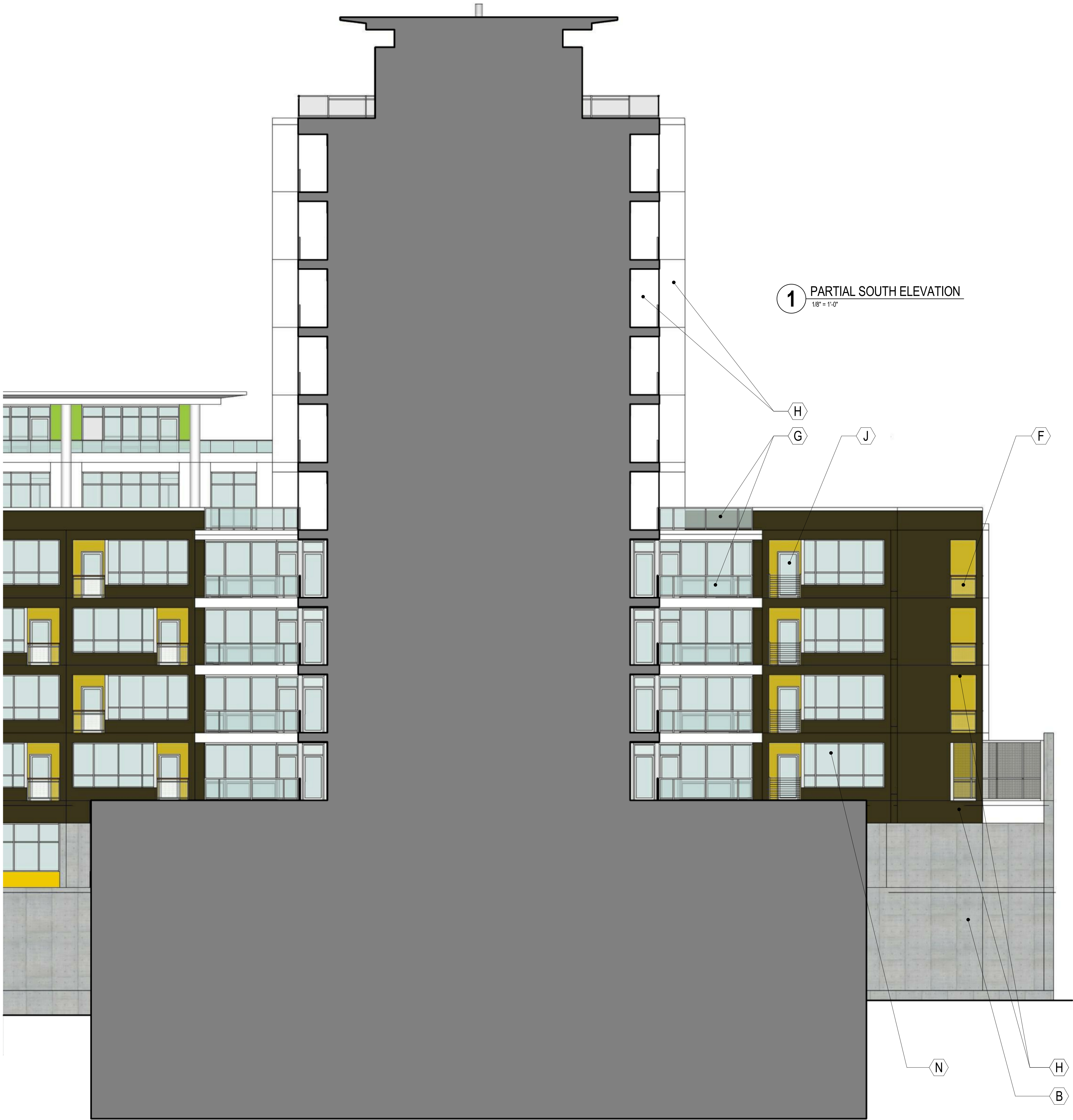


1 PARTIAL NORTH ELEVATION
1/8" = 1'-0"

KEYNOTES PER SHEET (UDC)	
B	CAST-IN-PLACE CONCRETE WALL
F	WIRE ROPE DECORATIVE METAL RAILINGS
G	GLAZED DECORATIVE METAL RAILINGS
H	METAL WALL PANEL
J	ALUMINUM SWING DOOR(S)
N	ALUMINUM WINDOW WALL

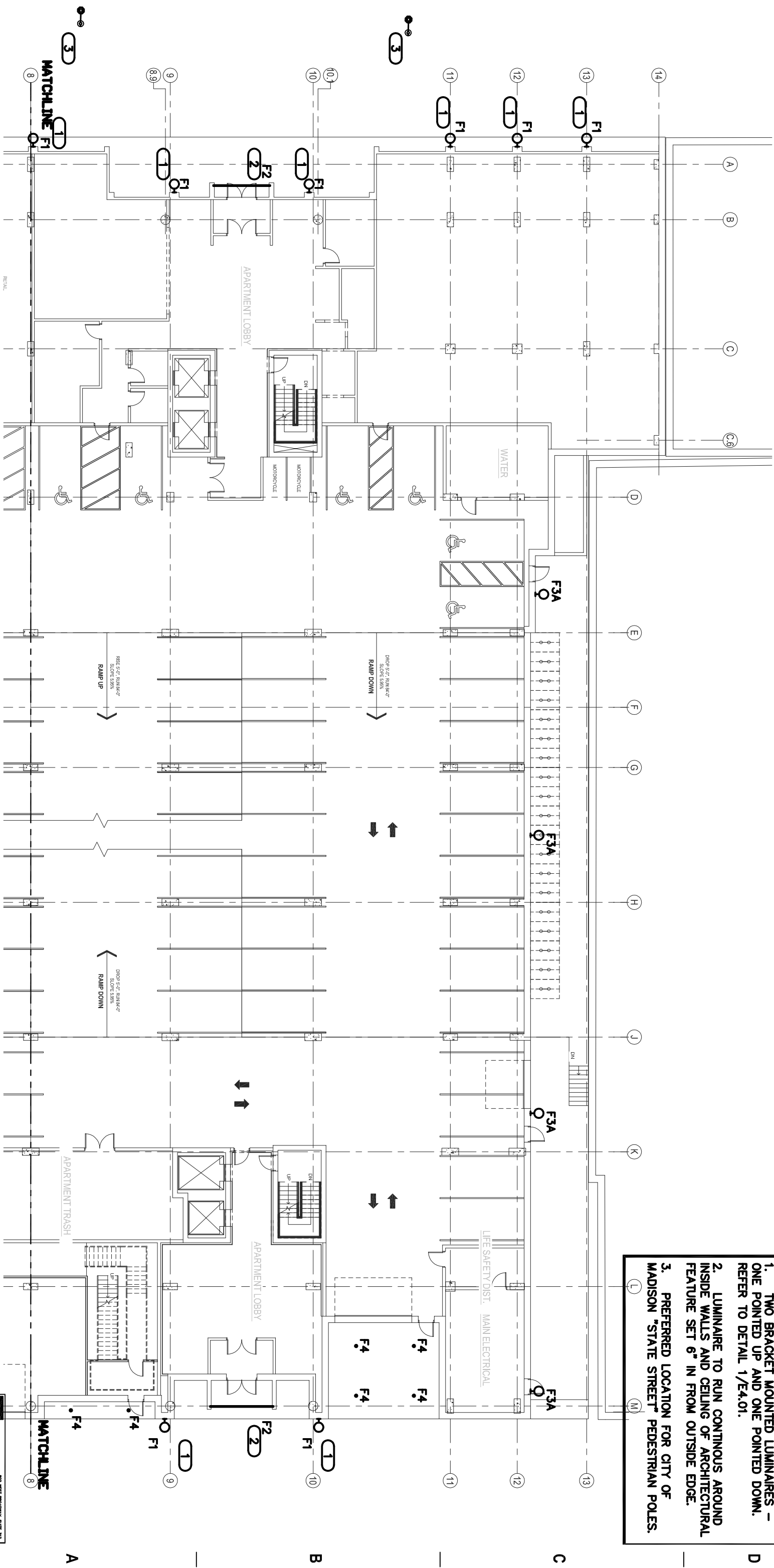
- CAPITOL VIEW PRESERVATION
ELEVATION
281'-11 1/4"
- ROOF
256'-6"
- FOURTEENTH FLOOR
246'-0"
- THIRTEENTH FLOOR
235'-6"
- TWELFTH FLOOR
224'-0"
- ELEVENTH FLOOR
213'-6"
- TENTH FLOOR
203'-0"
- NINTH FLOOR
192'-0"
- EIGHTH FLOOR
182'-0"
- SEVENTH FLOOR
171'-6"
- SIXTH FLOOR
161'-0"
- FIFTH FLOOR
150'-0"
- FOURTH FLOOR
140'-0"
- THIRD FLOOR
129'-0"
- SECOND FLOOR
118'-0"
- MEZZANINE LEVEL
106'-0"
- GROUND FLOOR
100'-0"
- LOWER LEVEL 1
90'-0"
- LOWER LEVEL 2
80'-0"

1 PARTIAL SOUTH ELEVATION
1/8" = 1'-0"



KEYNOTES

1. TWO BRACKET MOUNTED LUMINAIRES - ONE POINTED UP AND ONE POINTED DOWN. REFER TO DETAIL 1/E4.01.
2. LUMINAIRE TO RUN CONTINUOUS AROUND INSIDE WALLS AND CEILING OF ARCHITECTURAL FEATURE SET 6" IN FROM OUTSIDE EDGE.
3. PREFERRED LOCATION FOR CITY OF MADISON "STATE STREET" PEDESTRIAN POLES.



GROUND FLOOR PLAN - EXTERIOR LIGHTING - EAST

SCALE: 1"=20'-0"



KEY PLAN

ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

#	DATE	DESCRIPTION
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PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER:	11418
PROJECT MANAGER:	CG

SHEET INFORMATION

DATE: 9/19/2012

GROUND FLOOR PLAN -
EXTERIOR LIGHTING - EAST

SHEET NUMBER

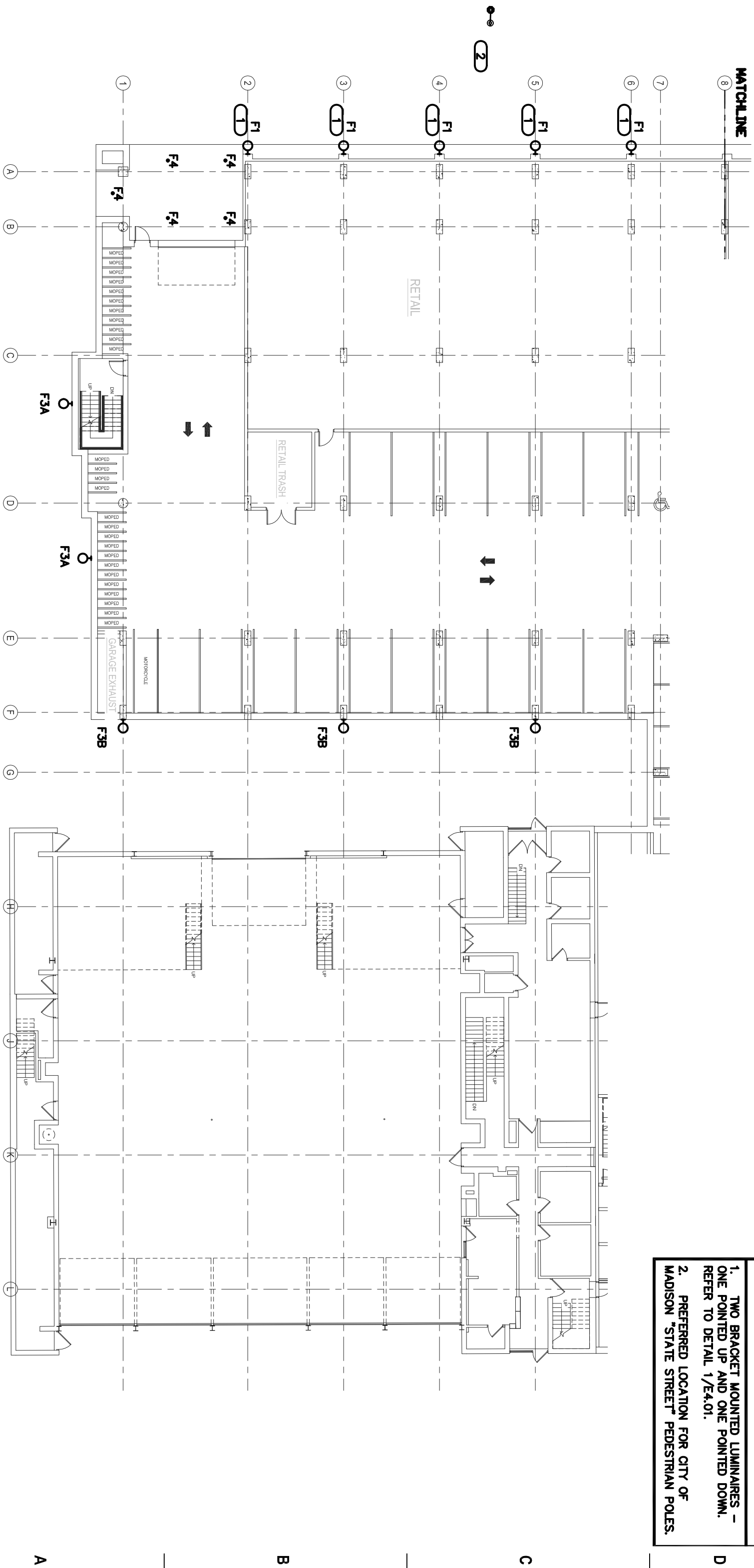


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TRUE PROJECT NORTH NORTH



GROUND FLOOR PLAN - EXTERIOR LIGHTING - WEST

SCALE: 1"=20'-0"



KEY PLAN

ISSUANCE AND REVISIONS	
URBAN DESIGN COMMISSION	
APPROVAL SET	
#	DATE DESCRIPTION

PROGRESS DOCUMENTS

PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



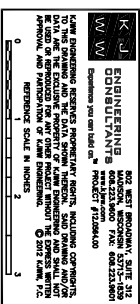
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PROJECT MANAGER: CG

SHEET INFORMATION

DATE: 9/19/2011

SHEET NAME: WES3

SHEET NUMBER: **E1.00B**



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2

3

4

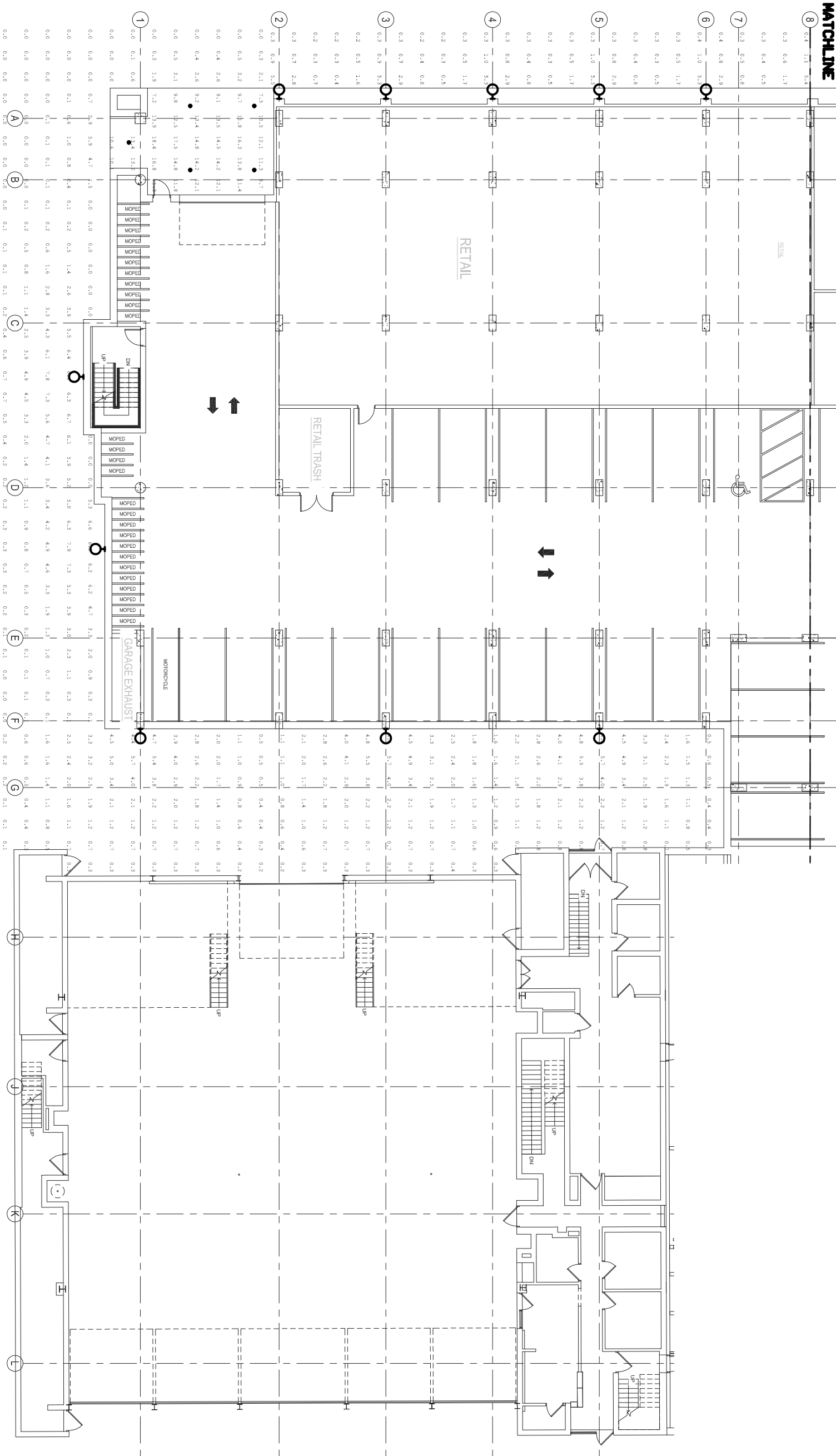
5

6

7

8

MATCHLINE



GROUND FLOOR PLAN - EXTERIOR PHOTOMETRICS - WEST

SCALE: 1"=20'-0"



KEY PLAN

ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

#	DATE	DESCRIPTION
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PROGRESS DOCUMENTS

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PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

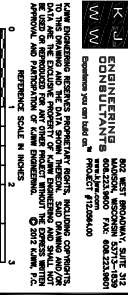
DATE:

9/19/2012

SHEET NAME:

GROUND FLOOR PLAN -
EXTERIOR PHOTOMETRICS
- WEST
E1.01B

SHEET NUMBER:

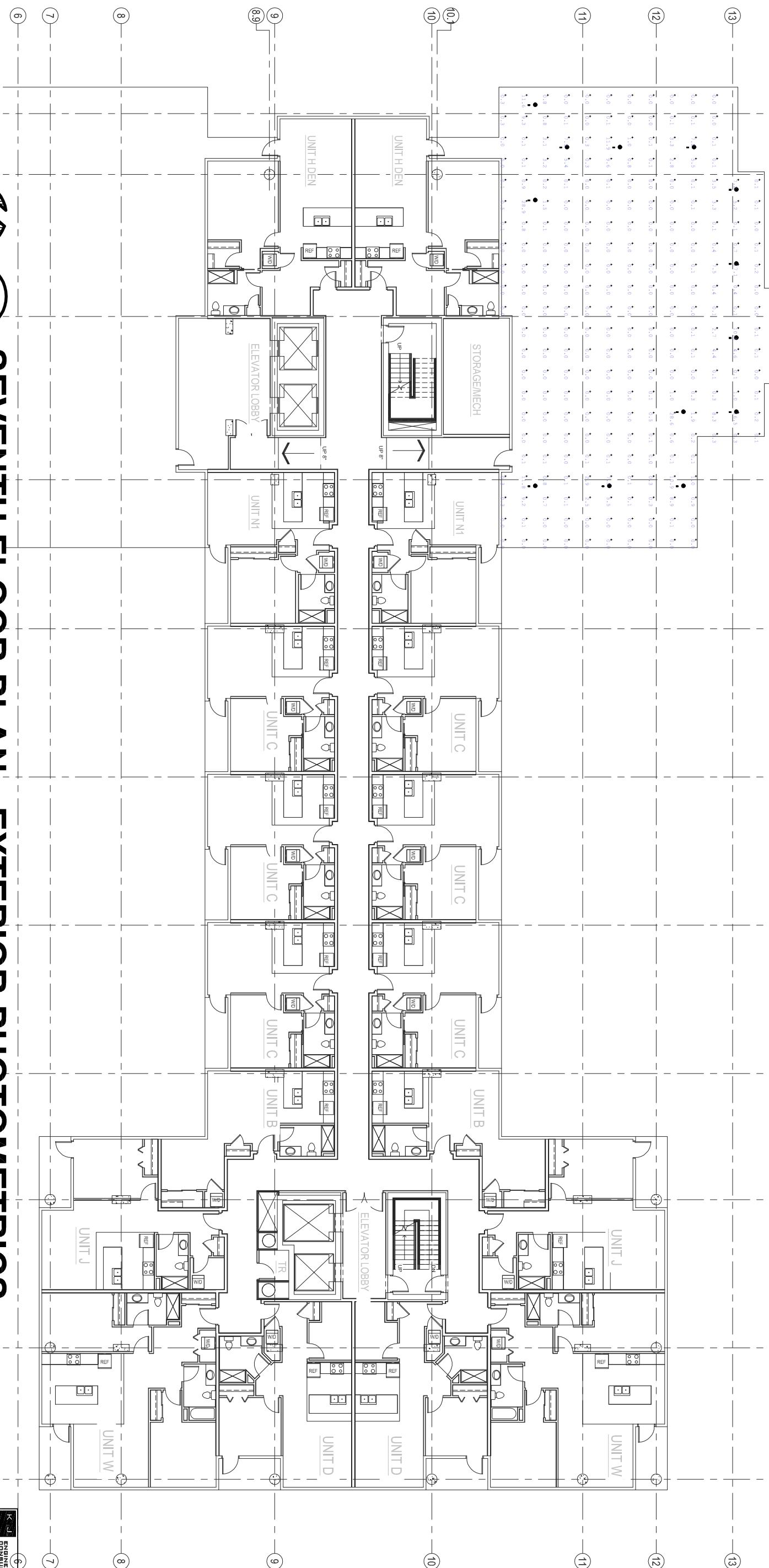


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Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6880



SEVENTH FLOOR PLAN - EXTERIOR PHOTOMETRICS

SCALE: 1"=20'-0"



KEY PLAN

ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

#	DATE	DESCRIPTION
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PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



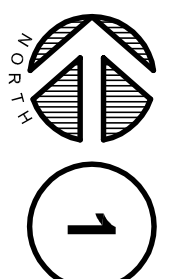
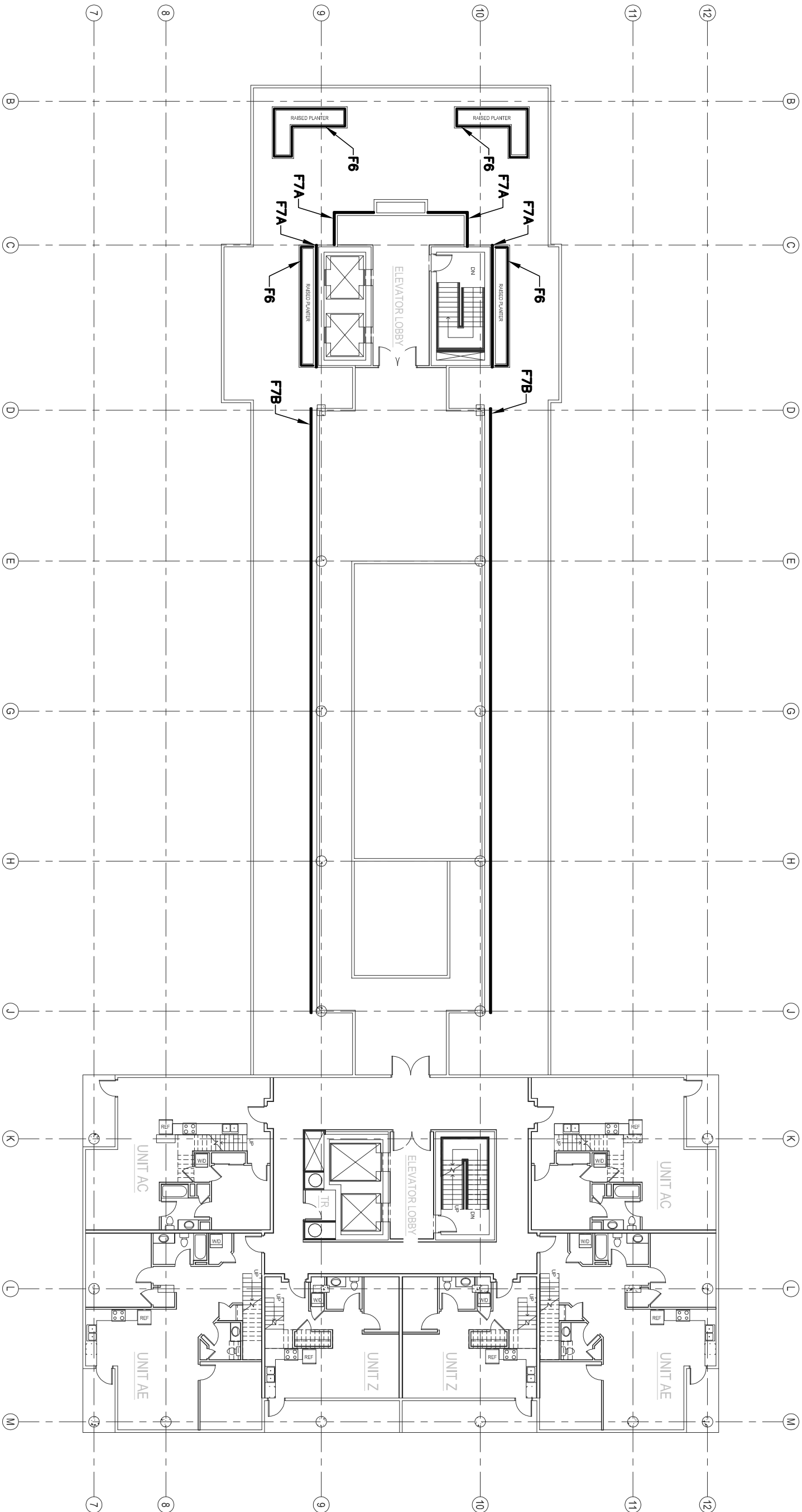
PROJECT NUMBER:	11418
PROJECT MANAGER:	CG

DATE: 9/19/2012

SEVENTH FLOOR PLAN -
EXTERIOR PHOTOMETRICS

SHEET NUMBER

E7.01



THIRTEENTH FLOOR PLAN - EXTERIOR LIGHTING

SCALE: 1"=20'-0"

KEY PLAN

ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION APPROVAL SET		
#	DATE	DESCRIPTION

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PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI

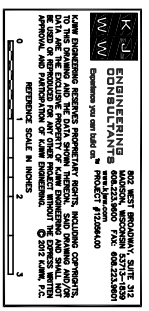


PROJECT NUMBER: 11418
PROJECT MANAGER: CG

DATE: 9/19/2012

SHEET NAME: THIRTEENTH FLOOR PLAN - EXTERIOR LIGHTING

SHEET NUMBER: E13.00

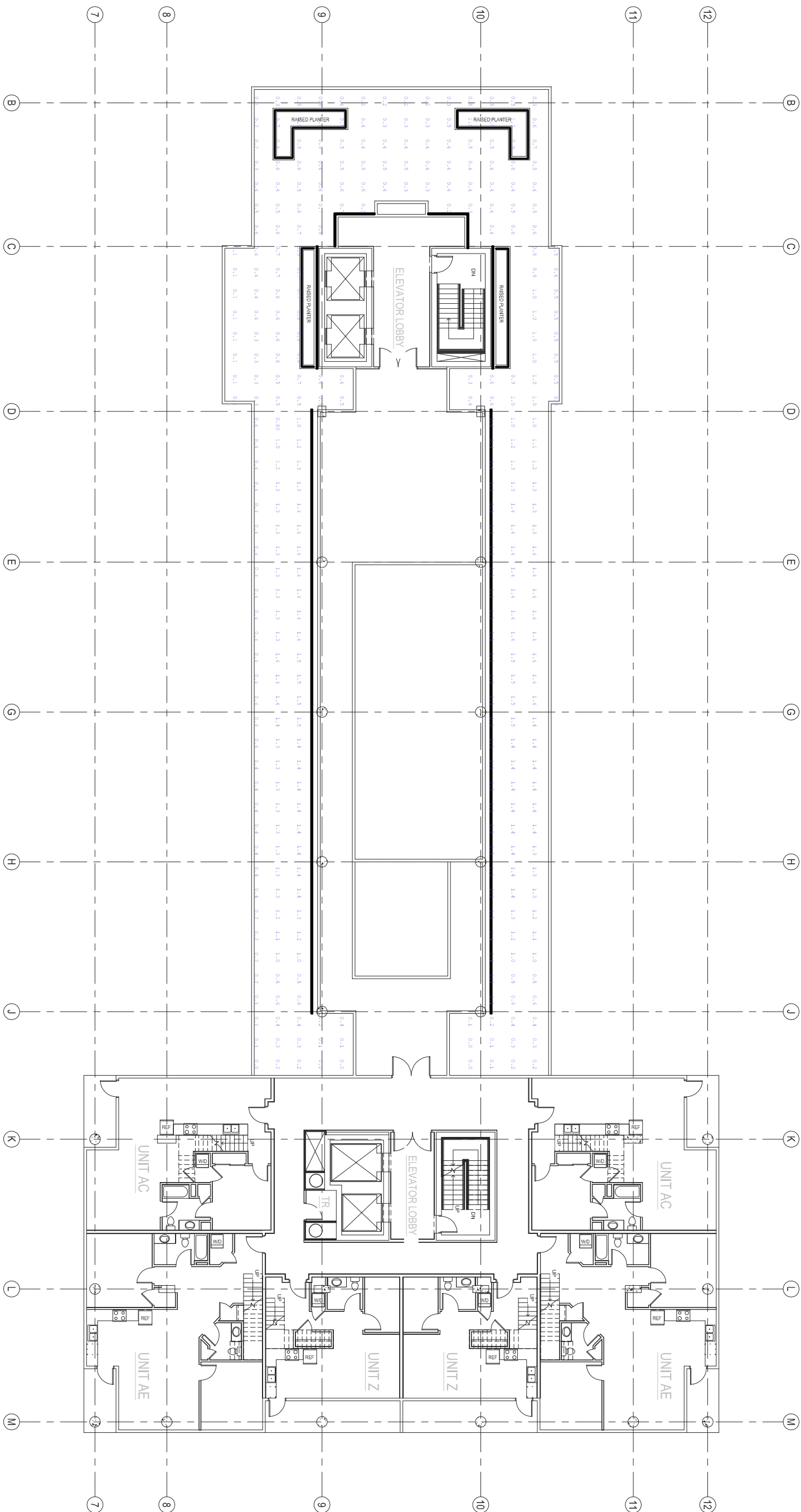


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THIRTEENTH FLOOR PLAN - EXTERIOR PHOTOMETRICS

SCALE: 1"=20'-0"



KEY PLAN

ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

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PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418

PROJECT MANAGER: CG

DATE: 9/19/2012

THIRTEENTH FLOOR PLAN -
EXTERIOR PHOTOMETRICS

SHEET NUMBER

**K&J
W W**

**ENGINEERING
&
CONSULTANTS**

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PROJECT #170806410

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MADISON, MISSISSIPPI 39201-1539
601.233.9600 FAX: 601.233.9601

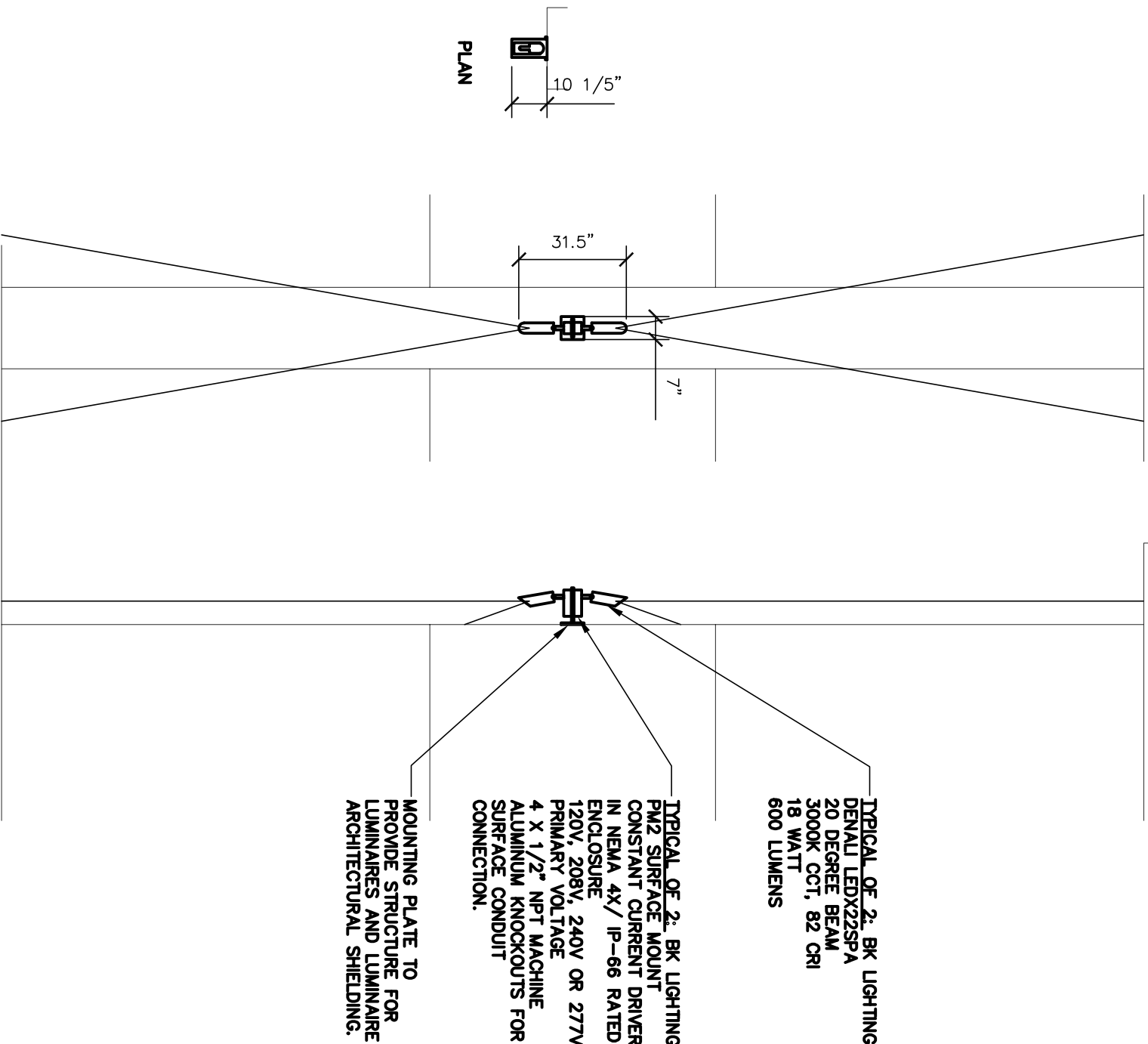
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1

'F1' CONFIGURATION

NO SCALE

euca

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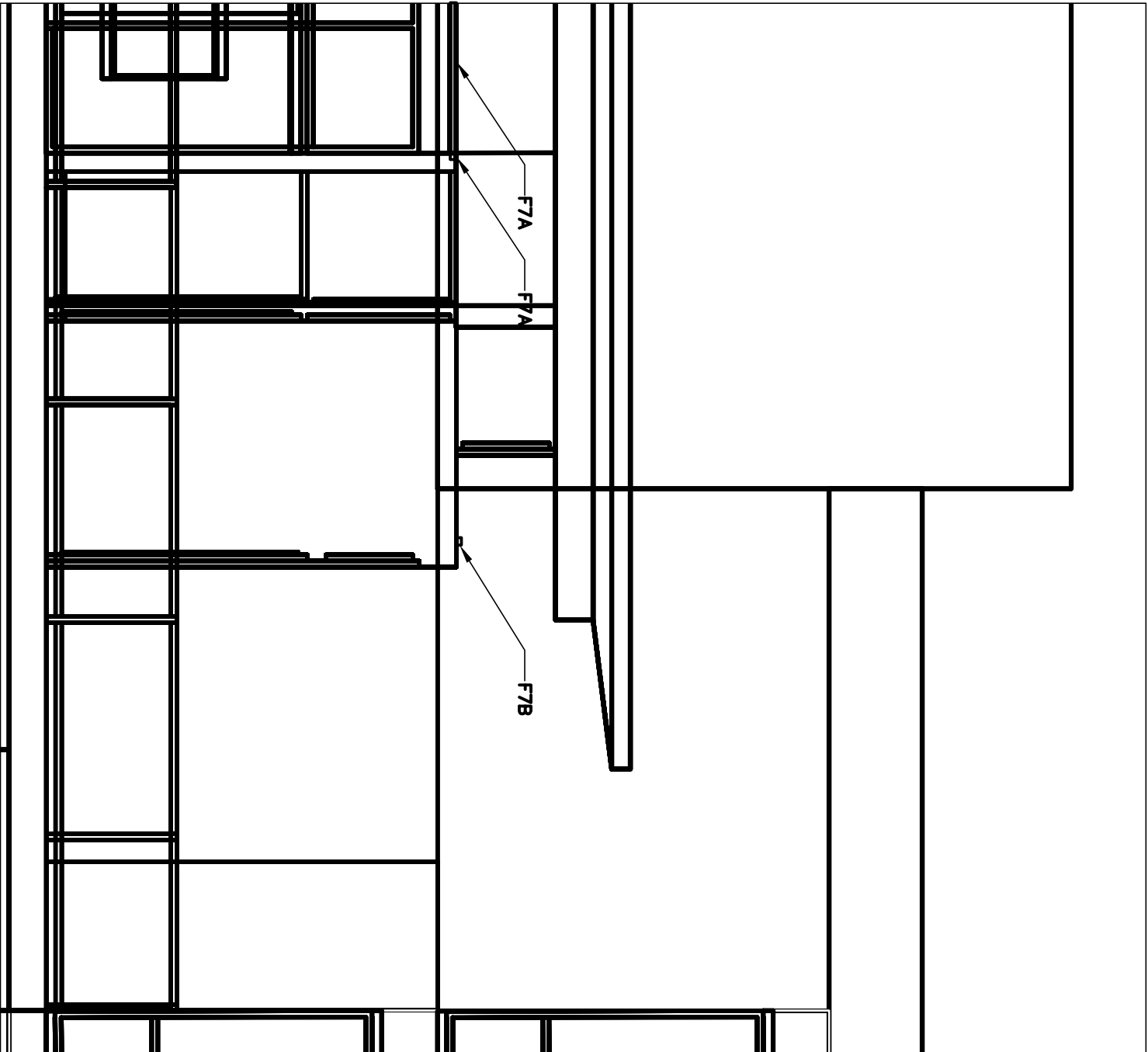
KEY PLAN

TRUE PROJECT NORTH

ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

#	DATE	DESCRIPTION
---	------	-------------



2

'F7' MOUNTING LOCATIONS

NO SCALE

PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI

HOVIDE PROPERTIES

PROJECT NUMBER: 11418
PROJECT MANAGER: CG

DATE: 9/19/2012

SHEET NAME: DETAILS - LIGHTING

E500

K+J ENGINEERING CONSULTANTS, INC. 802 WEST BROADWAY, SUITE 312 MILWAUKEE, WISCONSIN 53233-4028 PHONE 414.224.2200 FAX 414.224.2201

FOR THE DRAWING AND SEAL, I HAVE REVIEWED THE PROJECT AND I AM SURE THAT THE DESIGN AND CONSTRUCTION OF THE PROJECT WILL BE IN ACCORDANCE WITH THE CITY OF MADISON, WISCONSIN, AND THE STATE OF WISCONSIN, AND I HAVE REVIEWED THE PROJECT AND I AM SURE THAT THE DESIGN AND CONSTRUCTION OF THE PROJECT WILL BE IN ACCORDANCE WITH THE CITY OF MADISON, WISCONSIN, AND THE STATE OF WISCONSIN.

DATE: 9/19/2012

PROJECT: 11418

PROJECT MANAGER: CG

Job:
Type:
Notes:

F3A AND F3B
WALL MOUNTED FULL CUTOFF
UTILITY LIGHT. MOUNTED 9' TO 13'
ABOVE FINISHED GRADE.

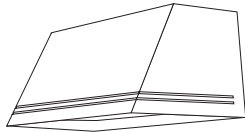


100 Line LED

Page 1 of 3

101 Performance Sconce LED

Philips Gardco 101 LED trapezoidal wedge high performance sconce luminaires are designed to integrate naturally to wall surfaces. 101 LED luminaires are available with three (3) different distribution patterns, providing full cutoff performance (in the normal downlight position) and featuring LED arrays. Luminaires provide performance excellence and advanced Philips Gardco LED thermal management technology. High performance Class 1 LED systems offer potential energy savings of 50 % or more compared to HID systems. 101 LED luminaires are also available with Automatic Profile Dimming, increasing savings by an additional 33%.



PREFIX	DISTRIBUTION	LED WATTAGE	LED SELECTION	VOLTAGE	FINISH	OPTIONS

Enter the order code into the appropriate box above. Note: Philips Gardco reserves the right to refuse a configuration. Not all combinations and configurations are valid. Refer to notes below for exclusions and limitations. For questions or concerns, please consult the factory.

PREFIX

101L Trapezoidal Wedge LED - Constant Wattage / Full Light Output
101L-DCC Trapezoidal Wedge LED - Dual Arrays with Dual Circuit Control
101L-DIM Trapezoidal Wedge LED - 0 - 10V Dimming (Control system by others.)
101L-APD Trapezoidal Wedge LED with Automatic Profile Dimming

DISTRIBUTION

2 Type II Wide Throw Optic, featuring Maximized Lateral Throw
3 Type III Preferred Wide Throw Optic, featuring Improved Forward Throw
4 Type IV Maximized Forward Throw Optic

See page 3 for more detailed luminaire configuration information.

LED WATTAGE AND LUMEN VALUES

Ordering Code	Average System Watts ¹	LED Current (mA)	LED Selection	Luminaire Initial Absolute Lumens ^{2,3}			Basis of Lumen Data Photometric tests performed in compliance with IESNA LM-79.
				TYPE 2	TYPE 3	TYPE 4	
35LA	35	350	NW	2,883	2,974	2,821	
55LA	55	530	NW	3,948	4,158	3,904	

1. Wattage may vary by +/- 8% due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Actual wattage may vary by an additional +/- 10% due to actual input voltage.
2. Tests are in process for luminaires with the DL option, CW and WW luminaires. CW values may be approximated by applying a 1.08 multiplier to NW values shown. Contact Gardco.applications@philips.com if any approximate estimates are required for design purposes.
3. LED arrays feature LEDs that provide from 100 to 130 lumens per watt when operated at 350 mA. Lumen values based on tests performed in compliance with IESNA LM-79.

LED SELECTION

CW Cool White - 5700°K - 75 CRI
NW Neutral White - 4000°K - 75 CRI
WW Warm White - 3000°K - 75 CRI

VOLTAGE

UNIV 120V through 277V, 50hz or 60hz

1611 Clovis Barker Road, San Marcos, TX 78666
(800) 227-0758 (512) 753-1000 FAX: (512) 753-7855 sitelighting.com
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Philips Gardco reserves the right to change materials or modify the design of its product without notification as part of the company's continuing product improvement program.
G200-028/0212

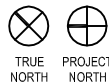
PHILIPS

GARDCO

KEY PLAN

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ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

#	DATE	DESCRIPTION
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Project Name: - Fixture Type: - Model No: - Lamp Info:

APPLICATION

Small aperture medium distribution downlight is suitable for commercial, retail and institutional applications that require an energy saving, long life LED lamp source, high lumen output and excellent color rendering characteristics.

PRODUCT DATA

REFLECTOR: The parabolic reflector redirects spill light from the lamp, and eliminates high angle glare. A one half-inch overlap flange is standard. Supplied standard with Specular Clear Alzak, other reflector finishes are available in order to provide maximum flexibility to the designer.

HOUSING: Heavy gauge galvanized steel housing provides a secure mounting platform for the electrical components and protects the optical assembly. Standard plaster flange allows one inch ceiling thickness with custom depth available. LED module is accessible from below.

MOUNTING: Universal Mounting brackets adjust vertically 5.5" and accepts C-channel or rigid bars (see optional accessories).

ELECTRICAL: 2000 lumen = 120 to 277 VAC, 50-60 Hz.; 2800 lumen = 120 or 277 VAC, 50-60 Hz.

JUNCTION BOX: Heavy gauge galvanized junction box pre-wired with grounding pigtail. Easy access covers. Multiple conduit knockouts listed for through branch circuit wiring.

LED MODULE & DRIVER: LED Module and Driver are manufactured by Philips Lighting. Remote phosphor technology insures color consistency from fixture to fixture.

HEAT MANAGEMENT: Engineered heat sink 1100 - 2000 models feature patented Synjet module that circulates air for optimum heat management of the LED engine.

DIMMING: Standard product is compatible with 0-10 volt dimming controls.

LIGHT OUTPUT (lm)	COLOR TEMP. (K)	SYSTEM WATTS
2000	2700	33.4
2000	3000	33.4
2000	3500	32.9
2000	4000	31.4
2800	2700	51.4
2800	3000	51.4
2800	3500	50.4
2800	4000	49.4

CRI = 80. Specifications based on GEN 3 Fortimo LED DLM2000 by Philips Lighting after 100 hours.

- Expected lamp life to be 50,000 hours with 70% lumen maintenance when ambient temperatures do not exceed 45°C. Lower ambient temperatures yield longer lamp life.



For Wet Location
Under Covered Ceiling

Manufactured and tested to UL#1598 and CSA standards.

Note: Suitable for damp location. Fixtures are not designed for direct contact with insulation.

Catalog #:

6VLED

Example: 6VLED20004K

Fixture Series	Lumens	Color	Input/Voltage	Options
6VLED	2000	4K (4000K) 35K (3500K) 3K (3000K) 27K (2700K)	120/277V Standard E1 120V E2 277V	See Options Below
	2800*			

* Input voltage must be specified.

Optional Accessories

Hanger Bars (set of 2)

- ☐ 101782 = #520 Caddy Bars ☐ 9152 = 52" C-Channel
☐ 9127 = 27" C-Channel ☐ 27BH = 27" Solid Bar

For Optional Reflector Finishes & Decorative elements, consult special section of catalog.

Fixture:	Type:
Project:	

PATHWAY®
the Lighting Source

Pathway Lighting Products, Inc., P.O. Box 591, Old Saybrook, CT 06475-0591
voice 800.342.0592 • fax 800.207.0090 • www.pathwaylighting.com • e-mail: sales@pathwaylighting.com

PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

F4
RECESSED DOWNLIGHTS AT
PARKING ENTRIES AND STAIRWELL
EGRESS

Architectural Series

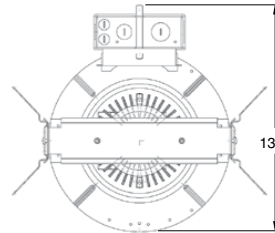
SERIES 6VLED2000/2800

Recessed Downlight, 2000/2800 Lumen LED Open Reflec.

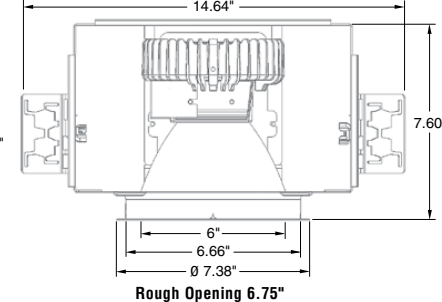
5 Year
Warranty



"Synjet" active cooling module for
optimum thermal management"



Available with
suspended
decorative
glass disc.



Rough Opening 6.75"

6VLED		6VLED	
Example: 6VLED20004K		Example: 6VLEDSCLPF	
Fixture Series	Lumens	Color	Options
6VLED	2000	4K (4000K) 35K (3500K) 3K (3000K) 27K (2700K)	120/277V Standard E1 120V E2 277V
	2800*		

* Input voltage must be specified.

Trim	Trim Finish w/polished flange
6VLEDSP - Spot 42° 6VLEDM - Medium 58°	Downlight Reflector Downlight Reflector
	SCLPF - Soft Specular Clear Alzak HAZPF - Haze Alzak ICE6 - Decorative Glass Accessory

For white painted flange, drop "PF" from Catalog #.
For other finishes, consult reflector section.

Options

- ☐ EM = Emergency Battery Pack w/remotely located Test Switch 2000 lumen only.
☐ EMITS = Emergency Battery Pack with Integral Test Switch installed in reflector

All Pathway® products meet or exceed requirements as established by the National Electrical Code. Specifications subject to change without notice. Alzak® is a registered trademark of Alcoa.

Series 6VLED2000/2800 - Recessed Downlight, 2000/2800 Lumen LED Open Reflector

LD6.0
CLMDUM

SHEET INFORMATION

DATE:

SHEET NAME:

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E701

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eppstein uhen : architects

lumière

DESCRIPTION

Eon 303-P1 is a compact, low profile, dimmable, fixed, ground mounted LED pathway luminaire. It provides downlight only via a fixed head. Eon mounts directly to a supplied, ingrade junction box and comes standard with a universal input LED driver (120 - 277V, 50/60 Hz). Dimming is achieved with a standard ELV, reverse phase dimming driver or an optional 0 - 10V dimming driver. Eon fixtures may be used indoors or outdoors and carry an IP66 rating.

SPECIFICATION FEATURES

A ... Material

Head and backplate are precision-machined from corrosion-resistant 6061-T6 aluminum, C360 brass, C932 bronze, C110 copper or 303/304 stainless steel.

B ... Finish

Fixtures constructed from aluminum are double protected by a RoHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available. Aluminum fixtures can also be brushed and clear coat painted.

Brass, Bronze, Copper or Stainless Steel

Fixtures constructed from brass, bronze, copper or stainless steel are left unpainted to reveal the natural beauty of the material. Brass, bronze and copper will patina over time.

C ... Gasket

The backplate is sealed with a high temperature silicone gasket to prevent water intrusion into the jbox.

D ... Lens

Clear, tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock. EDGE LIT option: when specified with the EDGE option, the glass will be slightly thicker, clear, tempered and sealed in the same manner referenced above. The added glass thickness will offer a brighter line of light around the edge of the glass that will accentuate the fixture's aesthetics and styling.

E ... Mounting

Eon 303 - P1 mounts directly to a supplied, ingrade junction box.

F ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

G ... Electrical

Eon 303 - P1 comes standard with a universal input LED driver (120-277, 50/60Hz). The standard driver is ELV reverse phase dimmable. An optional 0 - 10V dimming driver is also available.

H ... LED

LEDs are included and available in three color temperatures (2700K, 3000K & 4000K) and a variety of optics. Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic.

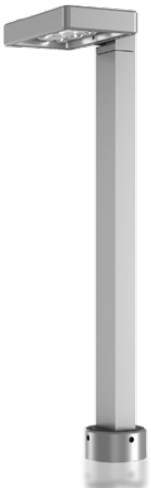
I ... Labels & Approvals

UL and cUL listed, standard wet label. IP66 rated.

J ... Warranty

Lumiere warrants it's fixtures against defects in materials & workmanship for five (5) years. Auxiliary equipment such as transformers, ballasts and LED drivers carry the original manufacturer's warranty.

Catalog	F5
Project	LOW LEVEL LIGHTING AT 7TH FLOOR ROOF DECK
Comments	
Prepared by	



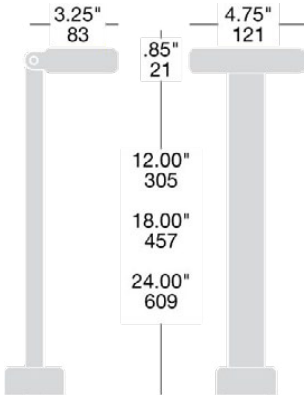
EON

303-P1

8.8 W LED

LED
PATHWAY

IP66



COOPER Lighting
www.cooperlighting.com

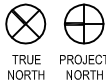
Specification and Dimensions subject to change without notice.
Consult your representative for additional options and finishes.



eppstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
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Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6680



TRUE NORTH PROJECT NORTH

ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
APPROVAL SET

#	DATE	DESCRIPTION
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PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change. Including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFORMATION

309 W. JOHNSON STREET
MADISON, WI



PROJECT NUMBER: 11418
PROJECT MANAGER: CG

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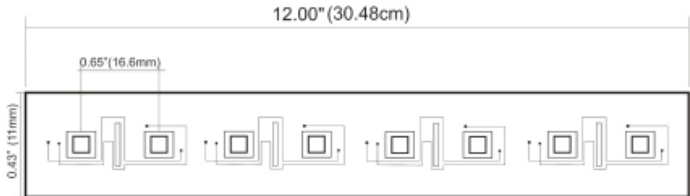
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E702

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F6
TOE-KICK LIGHTING AT 13TH FLOOR
ROOF DECK PLANTERS



Line LED 1.4 S

Submersible IP68 LED Strip Light

Product information

Line Led 1.4S is a flexible, small profile energy efficient, submersible IP68 led strip for indoor and outdoor use. It is sold in 1 foot increments and it can go up to 16 feet before re-feeding, Line Led 1.4S is easy to install with mounting clips (not included). Field cut table every 2 inches along the cut mark. 12 Volt DC power supply required. Dimmable with regular low voltage magnetic dimmer when used with PSD-1 (installed indoors) power supply. Comes standard with 1 foot lead wires included. Longer lead wires are available upon request. ETL listed.

Applications

Indoor/Outdoor and submersible use. Under/above cabinet, cove lighting, counter & architectural accents, banisters, decks, gazebos, grill stations, wet bars, ponds, pools, spas.

Operating voltage: 12 VDC
Lamp: 18 LED/ft – 120° beam angle
Power consumption: 1.4 watt/ft
Color temperature : 2900K
Light output: 90 lumens/ft
Average life: 50,000 hours
Dimensions: H: 3/16" L: 12" W: 7/16"

Ordering code/ft: LL-14S

Power supply
dimmable 60 watt: PSD-1
(consult web site for all power supplies)

Lighting for the future, today. | www.luminii.com | 1-888-586-4644



Lighting for the future, today.

Line LED Wet | Linear LED strip for wet locations - 12V



Line LED Wet is a small profile, energy efficient LED strip for wet locations. Available in the standard of 70 CRI as well as high of 80-85 CRI, the line LED has superior light output, a durable but flexible circuit board and it is very easy to install.

Due to the sealing bond needed to guarantee the wet-rating, exact lengths are required to order the line LED wet. Extending and turning corners in the field require custom production.

Avoid direct sunlight and UV ray exposure. UV protection required. If the line LED is enclosed in the Luminii provided extrusions (page 2) no extra UV protection is required other than the provided lense.

Applications: Indoor / outdoor use for under / above cabinet, cove lighting, counter accent, architectural accents, under banisters, display and book cases, decks, gazebos, barbeque stations and wet bars.

F7
INDIRECT LIGHTING
AT 13TH FLOOR
ROOF DECK



Technical specifications

Models	LL1.4W	LL2.3W	LL4.4W
LEDs/ft	18	30	18
Average power consumption	1.4 watt/ft	2.3 watt/ft	4.4 watt/ft
Light output for 2900K	102 lum/ft	179 lum/ft	315 lum/ft
Amperage load at maximum run	2.6 A	3.0 A	4.0 A
Ordering increment	2.00"	1.25"	2.00"
Maximum run length	35 ft	27 ft	20 ft
Dimensions	0.40" W 0.11" H	0.32" W 0.11" H	0.48" W 0.11" H

Operating voltage
12 VDC

Operating temperature
-40°F to 140°F (-40°C to 60°C)

Beam Angle
120°

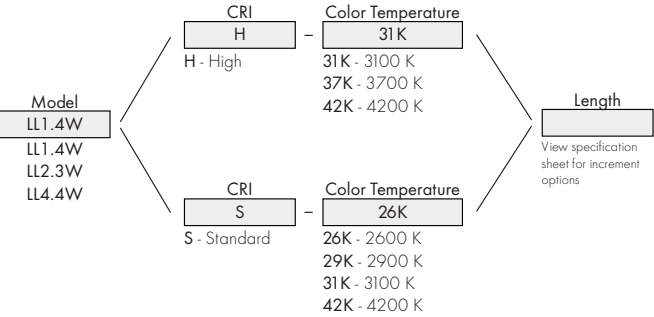
Average life
30,000 hours

Dimmable
Low voltage magnetic dimmers.
PSD series power supply required.

Mounting
3M self-adhesive tape. Mounting to an aluminum profile or the HST aluminum heat sink tape is required to reach the rated 30,000 hours average life. (LL1.4 excluded)

Approvals
ETL Class II wet listed

Ordering code

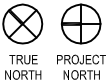


*Please note: LED color temperature availability dependent on CRI of choice

REV2.0

page 1 of 3

www.luminii.com tel: 224-333-6033



ISSUANCE AND REVISIONS

URBAN DESIGN COMMISSION
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E703