

City of Madison

Projocisco Rezonine

Location

1430-1440 Monroe St & 1525 Engineering Dr

Applicant

Board of Regents of the UW System/ Gary Brown, UW-Madison

From: R6, PUD-SIP, PUD-SIP

To:Amended PUD-GDP-SIP

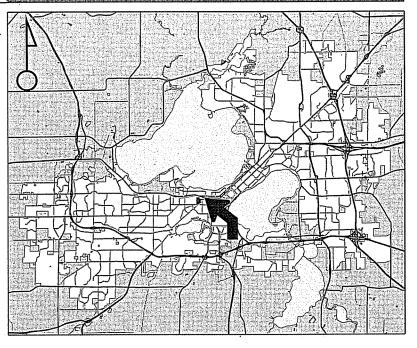
Existing Use

Camp Randall Stadium, McClain Center, Field House, Athletic Field, & Parking Ramp

Proposed Use

Construct addition to Camp Randall Stadium and access/landscaping improvements north of stadium, remodel McClain Center, and approve Badgerville event area

Public Hearing Date Plan Commission 09 April 2012 Common Council 17 April 2012



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale: 1" = 400'

City of Madison, Planning Division: RPJ: Date: 27 March 2012





Date of Aerial Photography: Spring 2010



LAND USE PLICATION **Madison Plan Commission**

215 Martin Luther King Jr. Blvd; Room LL-100 PO Box 2985; Madison, Wisconsin 53701-2985 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the LOBBYING ORDINANCE on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE	USE ONLY:
Amt. Paid	Receipt No.
Date Received 2/8/	12
Received By PDA	
Parcel No. 0709 -	221-0501-4
Aldermanic District <u>£</u>	
GO CANDMARIC,	C.U.
Zoning District ANSI	P
For Complet	te Submittal
Application	Letter of
	Intent
IDUP	Legal Descript.
Plan Sets	Zoning Text
Alder Notification	Waiver
Ngbrhd. Assn Not.	Waiver
Date Sign Issued	
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of the columns below)	
ng to or Amendment of	a PUD or PCD District:
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	to PUD/PCD-SIP
Zoning:	
nended Gen. Dev.	Amended Spec. Imp. Plan
her Requests (Specify):	
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npany: University of Wisco	
Madison, WI	Zip: 53726
Email: gbrown@fpm.wis	c.edu
npany: University of Wisco	nsin-Madison
Madison, WI	Zip: 53726
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Email: gbrown@ipin.wis	J. J
Madison, WI	Zip: 53706

5. Required Submittals: Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details: • 7 copies of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded) • 7 copies of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded) • 1 copy of the plan set reduced to fit onto 8 ½ inch by 11 inch paper Letter of Intent (12 copies): describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc. Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted. ☐ Filing Fee: \$ N/A See the fee schedule on the application cover page. Make checks payable to: City Treasurer. ☑ Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance. In Addition, The Following Items May Also Be Required With Your Application: For any applications proposing demolition or removal of existing buildings, the following items are required: Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City 30 or 60 days prior to filing their application using the online notification tool found at: https://www.cityofmadison.com/developmentCenter/demolitionNotification/ A photo array (6-12 photos) of the interior and exterior of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended. Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction. ▼ Zoning Text (12 copies): must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals. 6. Applicant Declarations: Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans: 2005 Campus Master Plan → The site is located within the limits of Plan, which recommends: for this property. Pre-application Notification: Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than 30 days prior to filing this request: → List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices: Alder Shiva Bidar-Sielaff - 12-23-11; Joint West 08-25-10; 10-27-10; 01-26-11; etc. NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form. Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date. Date: 01-19-12 Zoning Staff: Matt Tucker Planning Staff: Tim Parks Check here if this project will be receiving a public subsidy. If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Signature

Printed Name

Relation to Property Owner OWN

10-/00//

Authorizing Signature of Property Owner

Date 02/08/12

Effective May 1, 2009



February 8, 2012

Mr. Matthew Tucker City of Madison Zoning Administrator 215 Martin Luther King Jr. Blvd Rm. LL-100, Municipal Bldg Madison, WI 53710

RE:

PLANNED URBAN DEVELOPMENT AMENDMENT – Letter of Intent STUDENT ATHLETE PERFORMANCE CENTER 1430, 1436 and 1440 Monroe Street and 1525 Engineering Drive University of Wisconsin-Madison

Dear Mr. Tucker,

This is an application for a Planned Urban Development amendment request for a proposed 3-story 32,088 gross square foot expansion of the Fetzer Academic Center, remodeling of the McClain Center, upgrades to Engineering Drive, creation of a multi-purpose outdoor plaza between Lot 17 Parking Ramp and Engineering Hall and landscape upgrades along the new Badger Way pedestrian/bicycle path. Construction of the improvements is scheduled to begin July 2012 and be completed in January 2014. All land is owned by the Board of Regents of the University of Wisconsin System.

This application will amend the Camp Randall PUD to provide a unified zoning plan for Camp Randall Stadium area. The amended Camp Randall PUD will include all of Camp Randall Stadium, the Fieldhouse, McClain Center, the practice field west of Lot 17 Parking Ramp, Lot 17 Parking Ramp, and open space adjacent to Lot 17. Except as noted in the project summary below, no new construction to the rest of the complex is proposed. The stadium, Lot 17 Parking Ramp, Fieldhouse and arch will not be changed. Incorporation of these related facilities into one comprehensive PUD was recommended by Planning staff.

Application Materials

Zoning Application
Plans (7full size copies, 7 reduced size 11" x 17" copies, 1 letter size copy)
Letter of Intent (12 copies)
Legal Description

Facilities Planning & Management

9th Floor WARF Building (608) 263-3000 610 Walnut Street FAX (608) 265-3139

Madison, Wisconsin 53726-2397 TTY (608) 265-5147

Project Participants

Owner:

State of Wisconsin

Agency: University of Wisconsin System

Board of Regents

Room 1860 Van Hise Hall

1220 Linden Drive

Madison, Wisconsin 53706

Owner's Contact:

University of Wisconsin - Madison

Facilities Planning and Management

919 WARF Building 610 Walnut Street

Madison, Wisconsin 53726.
Phone: 608-263-3023
Fax: 608-265-3139

Attn: Gary Brown

E-Mail: gbrown@fpm.wisc.edu

Architect:

Berners-Schober

310 Pine Street Green Bay, WI

Phone: 920-432-4865

Attn: Ian W. Griffiths, RIBA, LEED AP

E-Mail: igriffiths@bsagb.com

Architect:

VOA Associates, Inc.

224 S. Michigan Avenue, Suite 1400

Chicago, IL 60604 Phone: 312-453-7538

Attn: William F. Ketcham, AIA, LEED AP

E-Mail: wketcham@voa.com

Structural Consultant:

Arnold & O'Sheridan, Inc.

4125 N. 124th Street Brookfield, WI 53005 Phone: 262-790-5304

Attn: Steve Roloff, PE, LEED AP E-Mail: sroloff@arnoldandosheridan.com

Electrical Consultant:

Arnold & O'Sheridan, Inc.

4125 N. 124th Street Brookfield, WI 53005 Phone: 262-790-5326 Attn: Mark Stifter

E-Mail: MStifter@arnoldandosheridan.com

Landscape Architect:

JJR, Inc.

625 Williamson Street

Madison, Wisconsin 53703-3543

Phone: 608-251-1177

Attn: Bill Patek, ASLA, LEED AP

E-Mail: bill.patek@jjr-us.com

Building Use, Area, and Occupancy

Introduction: In 2007, the Division of Intercollegiate Athletics undertook a facilities master plan to assess programmatic facility needs for a number of sports. A concept of an "Athletic Village" with its hub at the Camp Randall site was developed. Nine projects were identified to address the needs of the Athletic Division's programs, including the proposed Student Athlete Performance Center facility at the Camp Randall site.

Project Description: This multi-faceted, three major phase proposal will accommodate programs for the Division of Intercollegiate Athletics including football, strength and conditioning, and a new student athlete academic center. Major components will consist of the following: (1) renovations to Camp Randall Stadium to provide swing space for McClain lower level occupants; creation of a new lower level football team stadium access tunnel, and replacement of the turf within Camp Randall Stadium; (2) replacement of the McClain Center roof and renovations to the lower level of the McClain Center; (3) construction of the Fetzer Center addition on the north end of Camp Randall stadium and a new building link back to the McClain Center; a new north end zone stadium scoreboard; remodeling in Camp Randall Stadium, site development related to Badger Way and a new plaza/gathering area east of the Lot 17 parking ramp, and upgrades to the north practice field west of the Lot 17 parking ramp.

Design of the new Student Athlete Performance Center projects will incorporate sustainable features, including energy efficiency and cost-effectiveness, with the goal of seeking LEEDTM Silver certification. Phase 1, currently in construction, includes renovation of existing space in the Camp Randall Stadium, an extended tunnel connection from the McClain Center to Camp Randall stadium and replacement of the artificial turn system in Camp Randall. None of this works requires approval from the City of Madison. A brief description of Phases 2 and 3 follows:

Phase 2: The second phase of the project will replace the existing roof on the McClain Center and rebuild the north wall to provide protection for pedestrians from ice, snow and water coming off the roof. The lower level of the McClain Center will house new Badger Football locker rooms, including 125 lockers; a multimedia instructional space; recovery, steam and shower rooms; locker rooms for the football coaches; and an equipment/issue area.

Phase 3: The third phase component provides for the creation of a 32,088 gross square foot, 3-story addition to the north end of Camp Randall Stadium to be developed as an upgraded and expanded Fetzer Center. Expansion of the Fetzer Academic Center will provide offices, study rooms, an auditorium, open seating/lounge/study spaces, workroom, quiet room, computer lab, library, and restrooms. The addition will include a new Strength and Conditioning Center, including offices and spaces for counseling/conferences, a recovery/supplement station, weight training, cardio training, storage/equipment maintenance space, restrooms, and a speed training facility.

The final portion of the project, as part of Phase 3, involves upgrades to the west end of Engineering Drive near Mechanical Engineering and the new multi-purpose outdoor plaza/green lawn between the Lot 17 Parking Ramp and Engineering Hall. Landscape upgrades include upgraded paving and landscaping along the new Badger Way pedestrian and bicycle path from Breese Terrace to the Camp Randall Arch on North Randall Avenue, as well as completion of Engineering Drive from the Engineering Centers Building to Engineering Hall. New paving materials and campus standard site lighting will provide an improved and consistent identity for both areas.

The overall design for the addition includes elements that create a more collegiate athletic feel to the north end of the Camp Randall Stadium (brick and stone with arches, the university's iconic W-crest logo, etc.). The site landscape has been designed to unify the overall pedestrian experience with simple paving patterns, more trees and improved areas for bike and moped parking.

Currently, many of the proposed Fetzer Center expansion uses are provided in the basement of the McClain Center. Traffic and parking impacts are expected to be minimal because the users of the Fetzer Center expansion are currently using the McClain Center and the space freed up in the McClain Center will become locker space.

Badgerville

Badgerville, the official tailgate of Wisconsin Athletics, provides a pregame attraction for the entire family. It is currently located on the north practice field west of the Lot 17 Parking Ramp and includes a variety of entertainment, food and activities. Typically, gates to Badgerville open 2 hours before home-game kickoffs in September and October. Approximately 1 hour before game time a short program is presented featuring Coach Alvarez, visiting celebrities, guests from the visiting team, former student-athletes, etc. Alcohol sales end 30 minutes before game time and Badgerville closes 15 minutes before kickoff. Food, beer and non-alcoholic beverages are available. Negotiations with the city of Madison and Regent Neighborhood Association are on-going related to the future of this event. It is expected that during the zoning review process, an agreed upon action related to the future of this event will result.

Badger Way

The pedestrian and bicycle path connecting Breese Terrace with N. Randall Avenue, north of the Camp Randall Stadium and the McClain Center, is being named "Badger Way". As part of the overall project, this pathway will be upgraded with new paving, new landscape plantings and signage to direct pedestrians and bicycles safely through the space. Additional sharp-cutoff, campus standard light fixtures will be installed to assure the space is adequately lit for safety and yet not impact nearby residents along Breese Terrace. Badger Way is also being widened on the west end to provide additional room for event patrons on game days and assure adequate room for emergency vehicles. No regular vehicular traffic will be provided during normal use periods. The gate at Breese Terrace will be reconfigured to allow for this expansion. On the east end, near the Camp Randall Memorial Arch, and in Camp Randall Memorial Park (a registered historic landscape on the National Register of Historic Places), upgrades will include new paving, landscaping and emergency/fire access lanes for servicing the east side of the McClain Center. Access to the south loading dock and yard areas associated with Engineering Hall will also be maintained. A mountable curb will be installed along N. Randall Avenue to facilitate infrequent use of the service drive immediately adjacent to Engineering Hall.

Fetzer Center Hours of Operation

The Fetzer Center hours of operation will not change. The hours are:

Fall and Winter Semesters:

Monday through Thursday:

8 AM - 10 PM

Friday:

8 AM - 4:30 PM

Sunday:

10 AM - 10 AM

Closed Saturday

Summer and Break Hours:

Monday through Friday:

8 AM - 4:30 PM

Closed weekends

Project Schedule:

Implementation of this project will be staged, with renovations to the existing Camp Randall Stadium and McClain Center occurring first, followed by further renovations in Camp Randall and the addition to the north end of Camp Randall Stadium. Interior remodeling of Phase 1 is anticipated to start in February 2012 to achieve targeted final project completion of Phases 2 and 3 in early 2014. The additional phased work schedule is outlined below.

Construction Start:

February 2012 Phase 1

July 2012 Phase 2

July 2012 Phase 3

Construction Completion:

June 2012 Phase 1

December 2012 Phase 2

Phase 3 January 2014 The project was presented to the City of Madison Development Assistance Team on January 19, 2012 and to the Joint West Campus Area Committee for informational purposes on Oct. 26, 2011. It was also presented to the Urban Design Commission on February 1 as an informational item.

Legal Description of Site - See attached.

Please contact me at 608-263-3023 if you have any questions or need further information.

Thank you,

Jany & Johnn Gary A. Brown, FASLA

Director, Campus Planning & Landscape Architecture

Facilities Planning & Management, University of Wisconsin-Madison

cc:

Ann Hayes, UW-Madison FP&M Project Manager

Tim Luttrell, DOA/DSF Project Manager

Alder Shiva Bidar-Sielaff, District 5 Tim Wise, UW Athletics

ZONING TEXT

Planned Unit Development (PUD)
University of Wisconsin–Madison
Camp Randall Stadium
University Fieldhouse | McClain Center
Student Athlete Performance Center
1430, 1436 and 1440 Monroe Street and 1525 Engineering Drive

A. Statement of Purpose: This Planned Unit Development zoning district is intended to provide a unified zoning plan for Camp Randall Stadium, the University Fieldhouse, the McClain Center and Fetzer Center, and accessory uses related to the University of Wisconsin Athletic Department.

Current projects include the construction of an addition to the north side of Camp Randall Stadium, significant renovations to the McClain and Fetzer centers, upgrades to Engineering Drive, creation of a multi-purpose plaza between the Lot 17 Parking Ramp and Engineering Hall, and landscape updates along the new Badger Way bicycle/ pedestrian path.

- B. Permitted Uses: The permitted uses in this Planned Unit Development shall include:
 - 1. Athletic events occurring at Camp Randall Stadium and the Fieldhouse, including events hosted by the University of Wisconsin Madison.
 - 2. Training and educational facilities for University athletes and students.
 - 3. Outdoor athletic practice fields.
 - 4. Non-accessory uses associated with events taking place within Camp Randall Stadium limited to the sale of merchandise, food and beverages to the public, and including the offering of live or amplified music.
 - 5. Parking structures owned and operated by the University.
 - 6. Park and open space uses, including Badger Way and Camp Randall Memorial Park.
 - 7. Accessory uses related to the permitted uses as denoted herein.
- C. Lot Area: 28.642 Acres
- D. Floor area ratio: As shown on the approved specific implementation plans.
- E. Yard requirements: Yard areas will be provided as shown on approved specific implementation plans.
- F. Landscaping: Site landscaping will be provided as shown on approval specific implementation plans.
- G. Accessory Off-Street Parking & Loading: Accessory off-street parking and loading shall be provided as shown on approved specific implementation plans.
- H. Lighting: Site lighting will be provided as shown on the approved specific implementation plans.
- I. **Signage:** Signage will be allowed as per Chapter 31 of the Madison general ordinances, as approved on the recorded specific implementation plans.
- J. Family Definition: Does not apply.
- K. Alterations and Revisions: No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development, and the district Alderperson, and are compatible with the concept stated in the underlying General Development Plan approved by the City Plan Commission.

LEGEND



GOVERNMENT CORNER
PARCEL BOUNDARY

RIGHT-OF-WAY LINE

CENTERLINE

SECTION LINE EDGE OF PAVEMENT

CONCRETE CURB & GUTTER

//////// BUILDING

NOTES

- 1. BEARINGS FOR THIS EXHIBIT ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE WEST LINE OF THE NORTHEAST QUARTER BEARS N 00°00'24" W.
- 2. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC., JANUARY 2011.

	LINE TABLE	E
LINE	BEARING	DISTANCE
L-1	N 00'00'24" W	32.54
L-2	N 89*59'36" E	.30.00
L-3	N 00'00'24" W	1,588.06'
L-4	S 88°38'18" E	250.00'
L-5	N 00°00'24" W	55.00'
L-6	S 89°12'33" E	430.82'
L-7	5 00°21'21" W	369.52
L-8	S 89°07′54" E	573.09°
L-9	S 00'09'31" E	114.07
L-10	N 88°49'04" W	361.25
L-11	S 00°03'01" E	581.07
L-12	N 78'24'28" E	60.00
L-13	S 50°13'53" W	908.57
L-14	N 89'07'19" W	251.35'

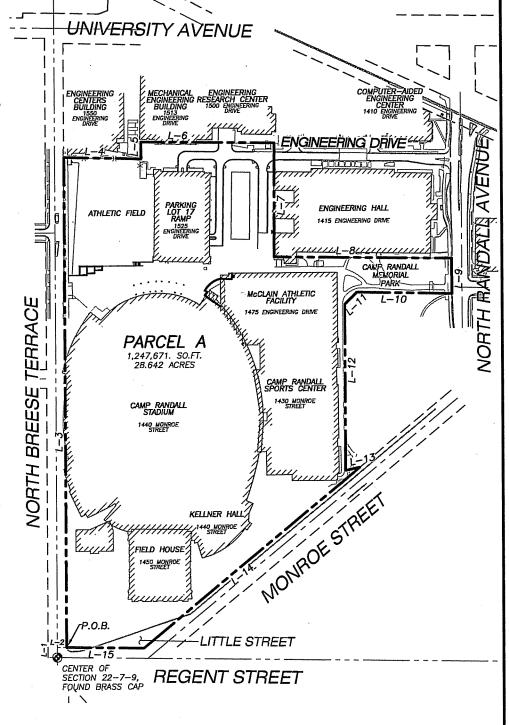


EXHIBIT-OVERALL CAMP RANDALL PUD

PART OF THE SOUTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

PREPARED BY:

Professional Services, Inc.
- Eaglacers • Serveyors • Planners

161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 PHONE: (608)848-5060 PREPARED FOR:

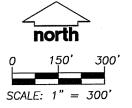
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 PROJECT NO:
 10-4509A

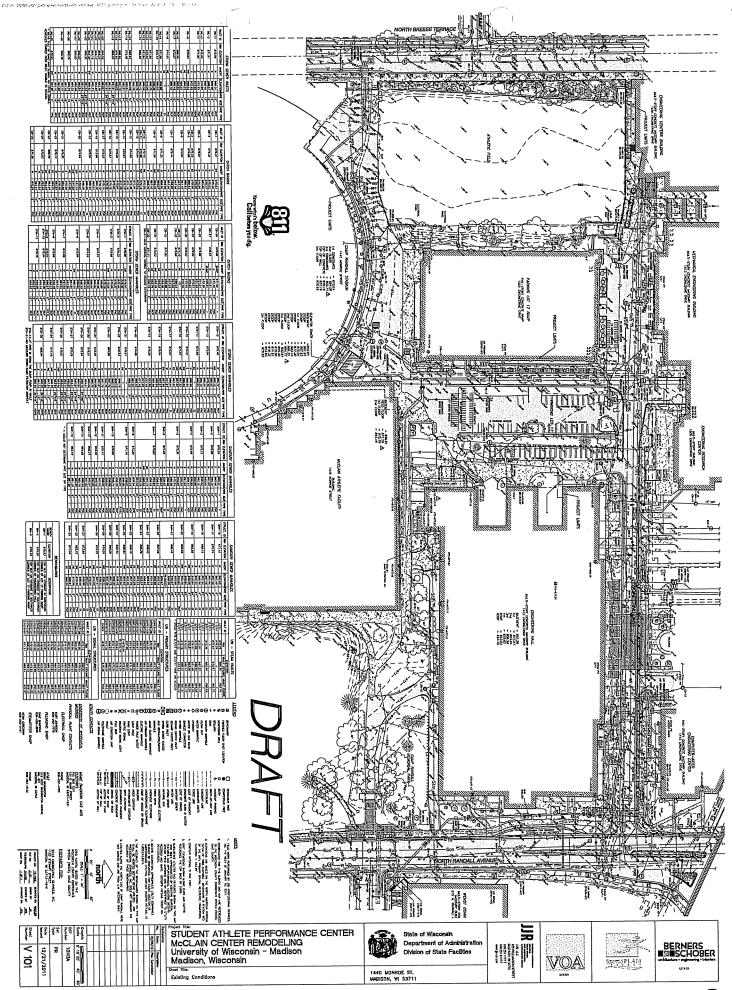
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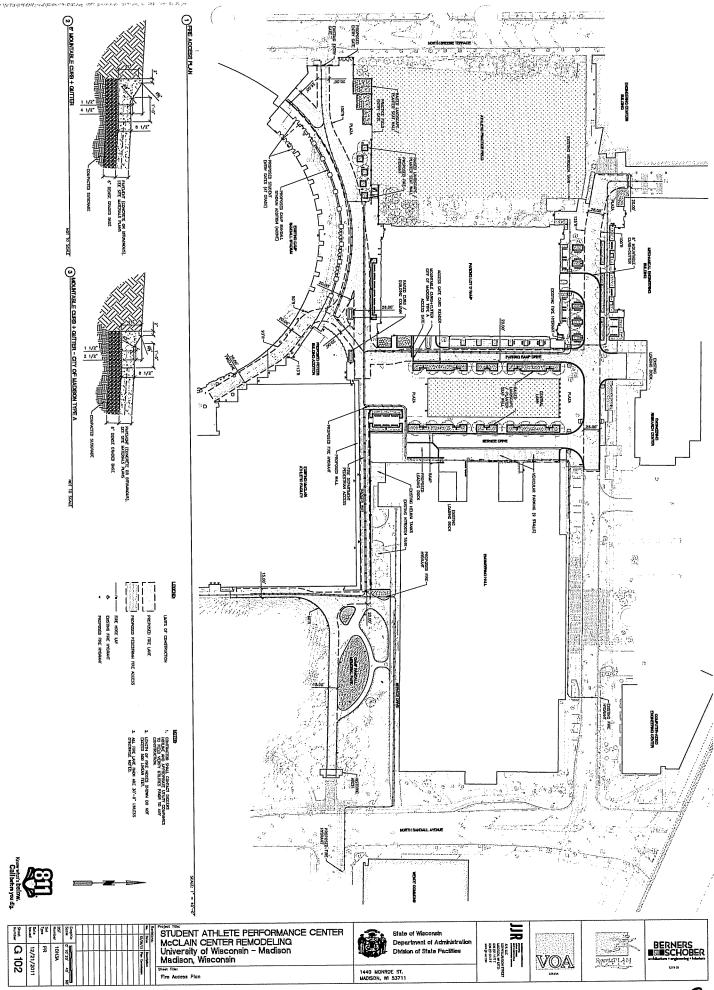
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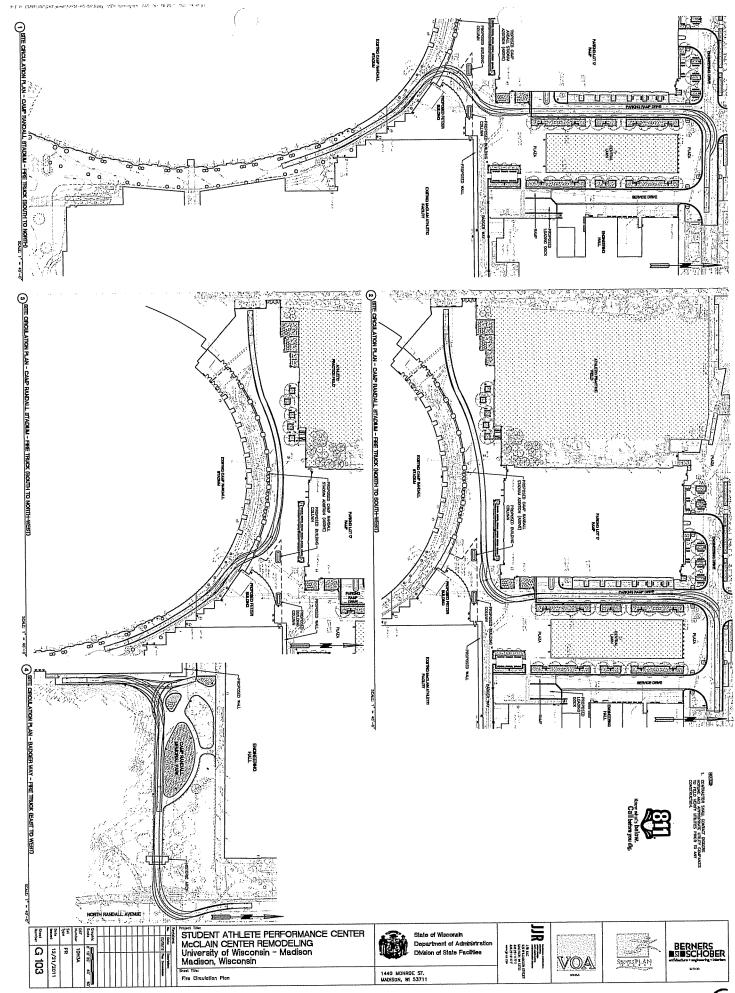
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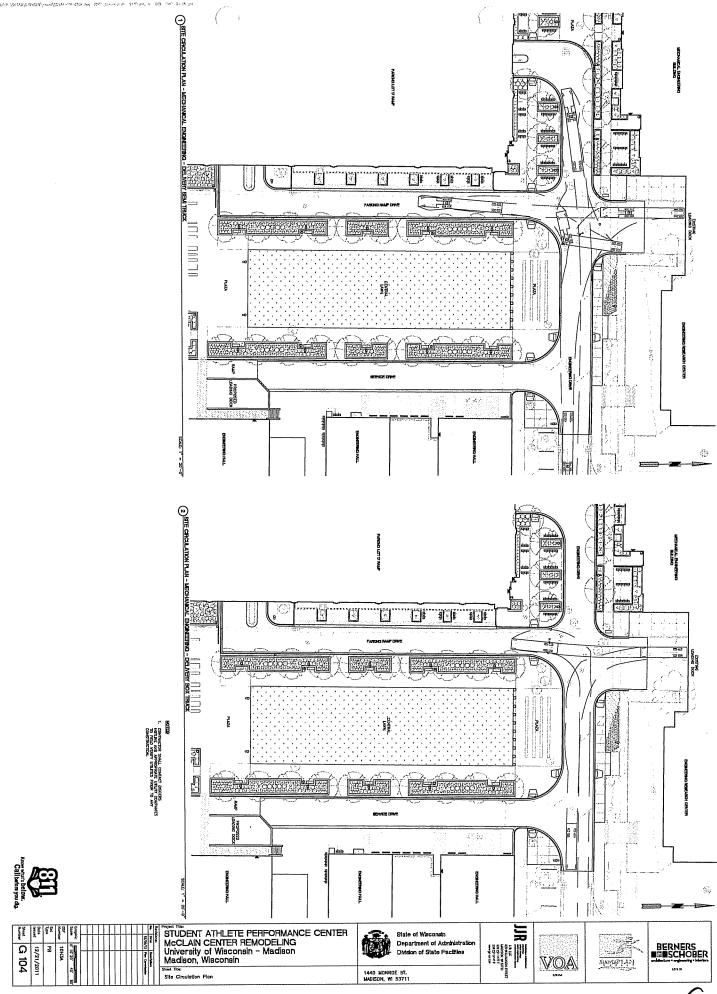
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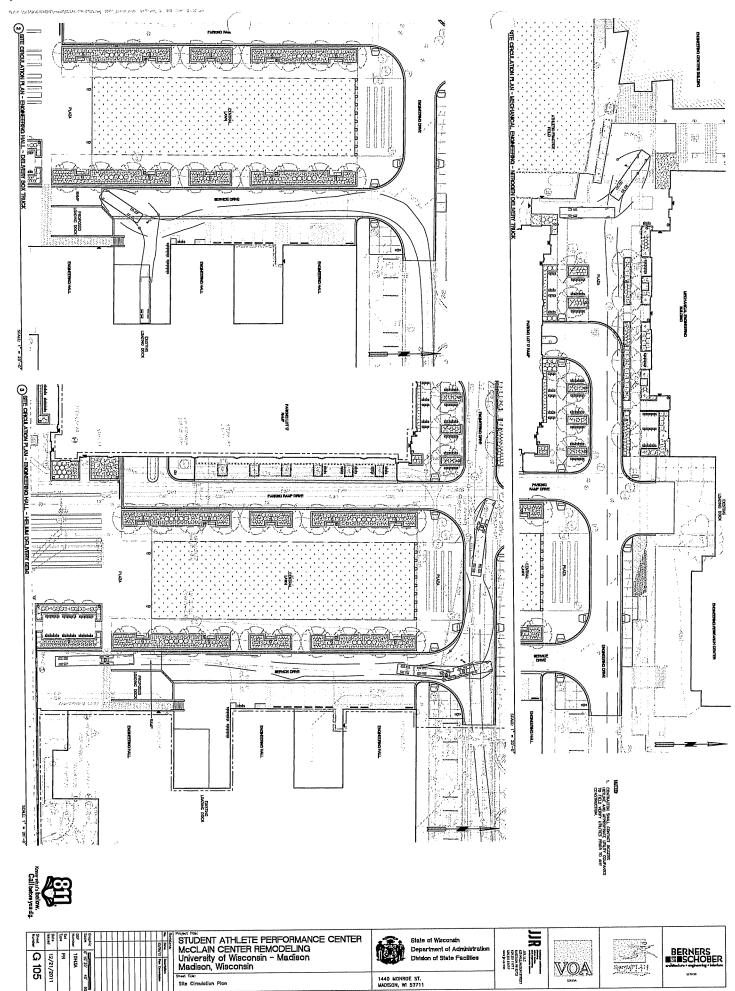


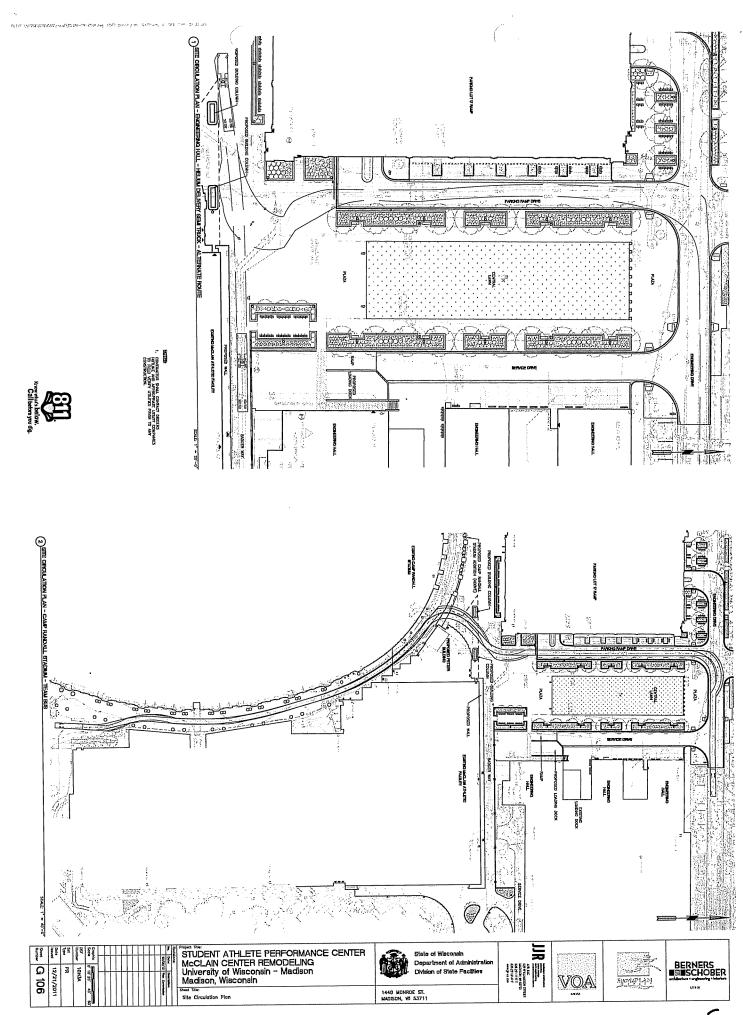


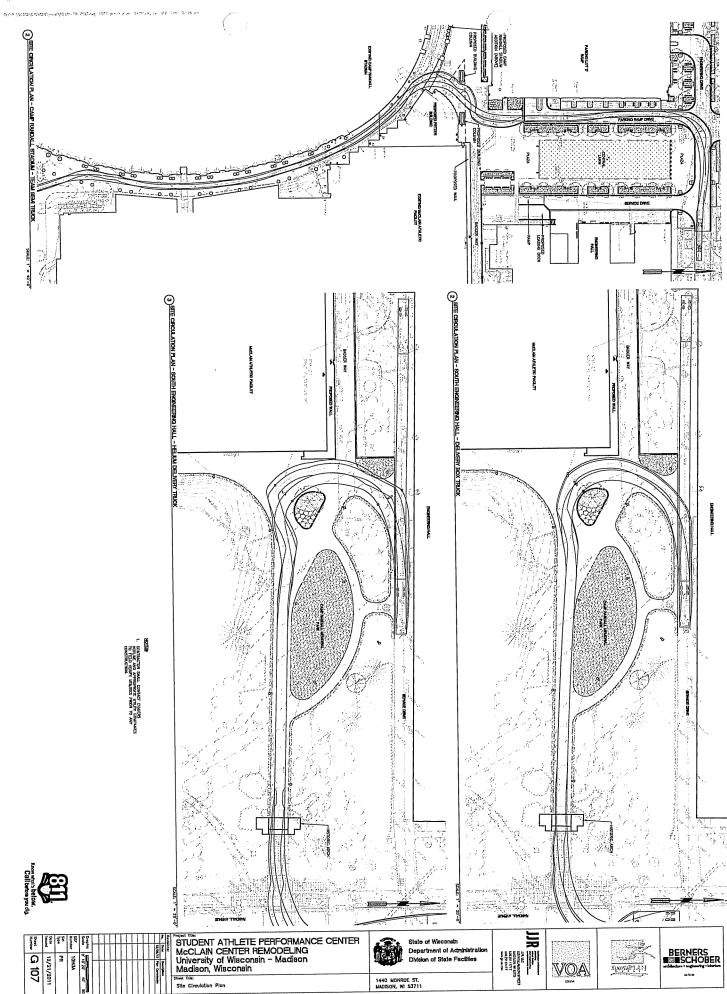


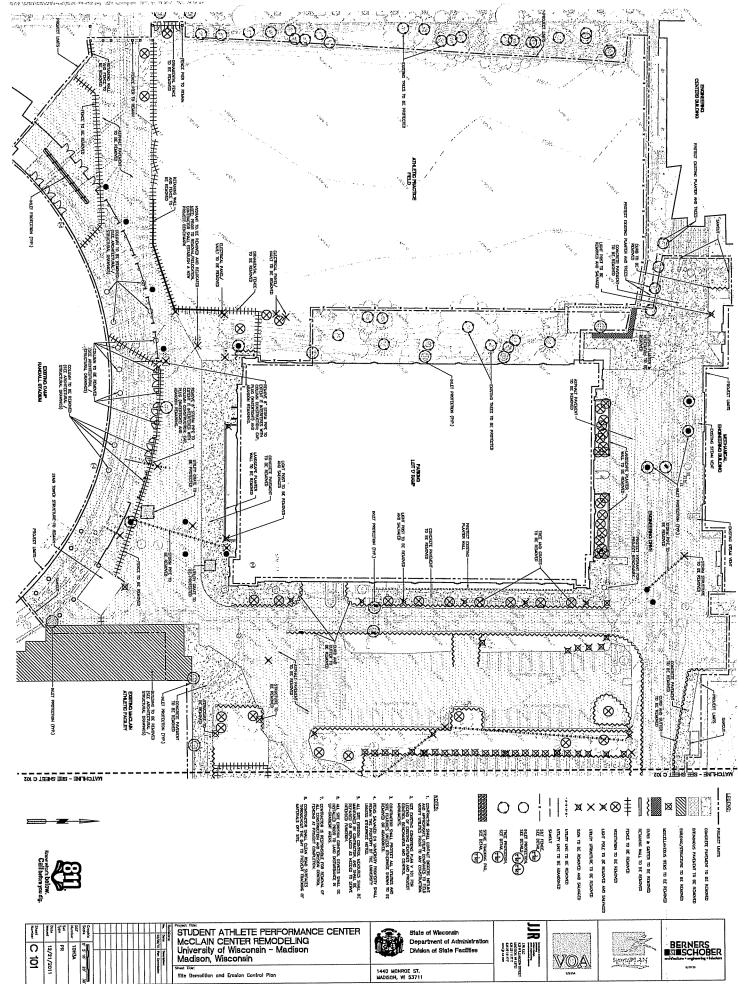


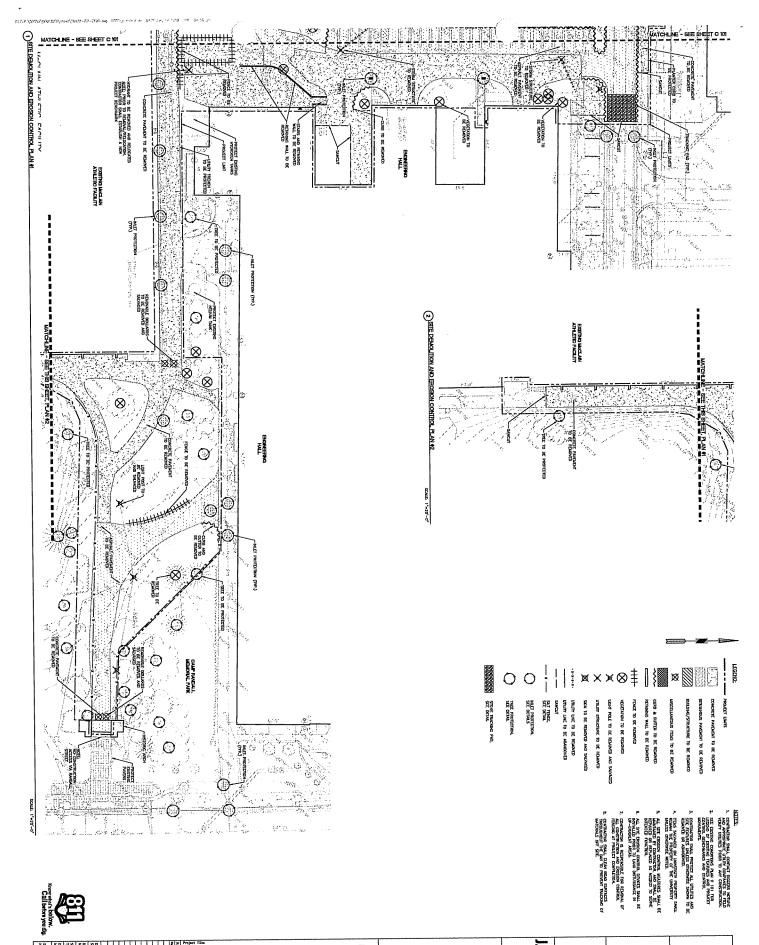




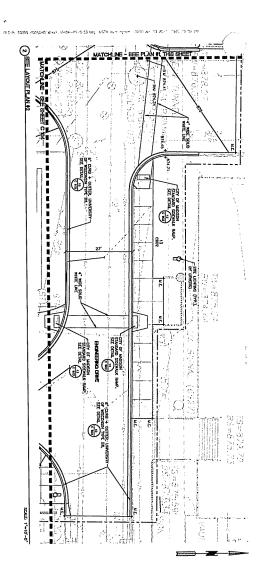


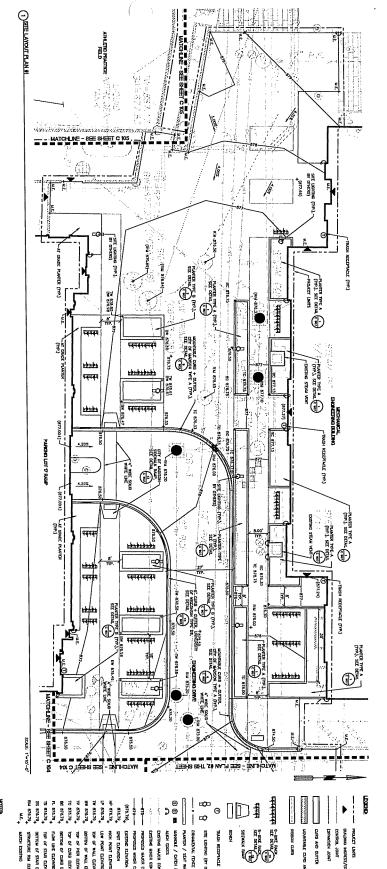






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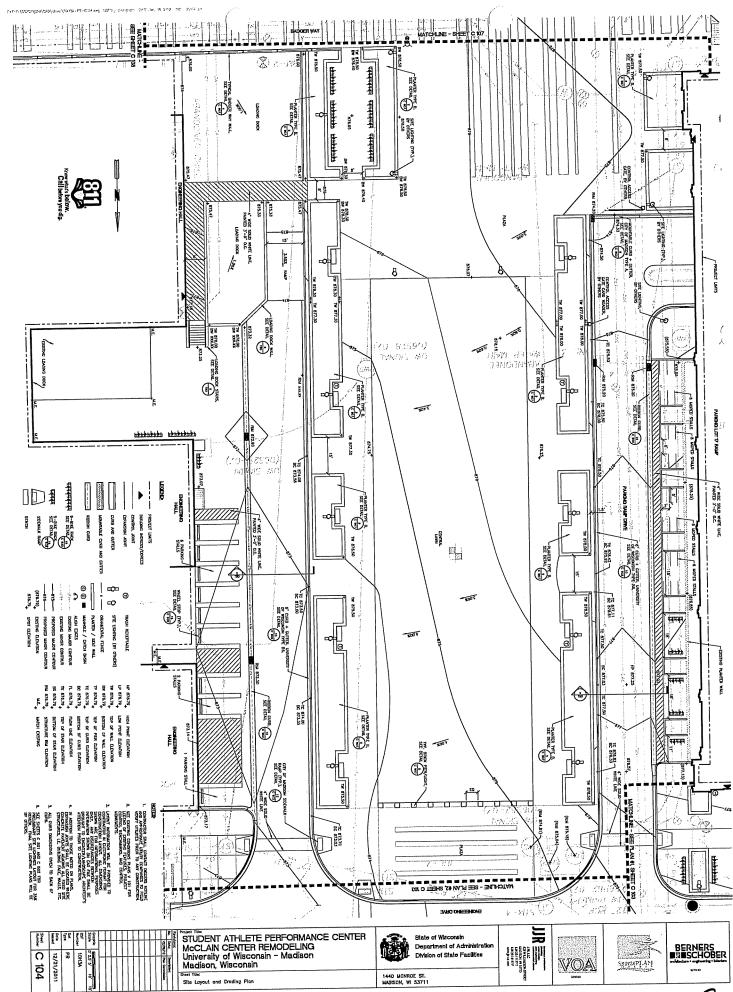
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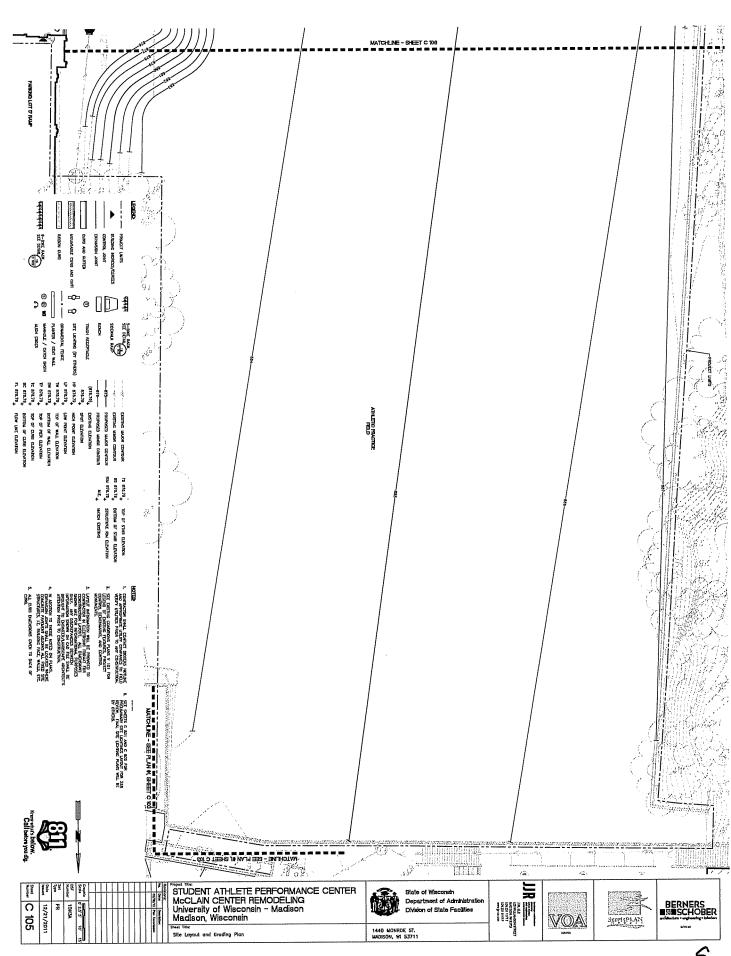
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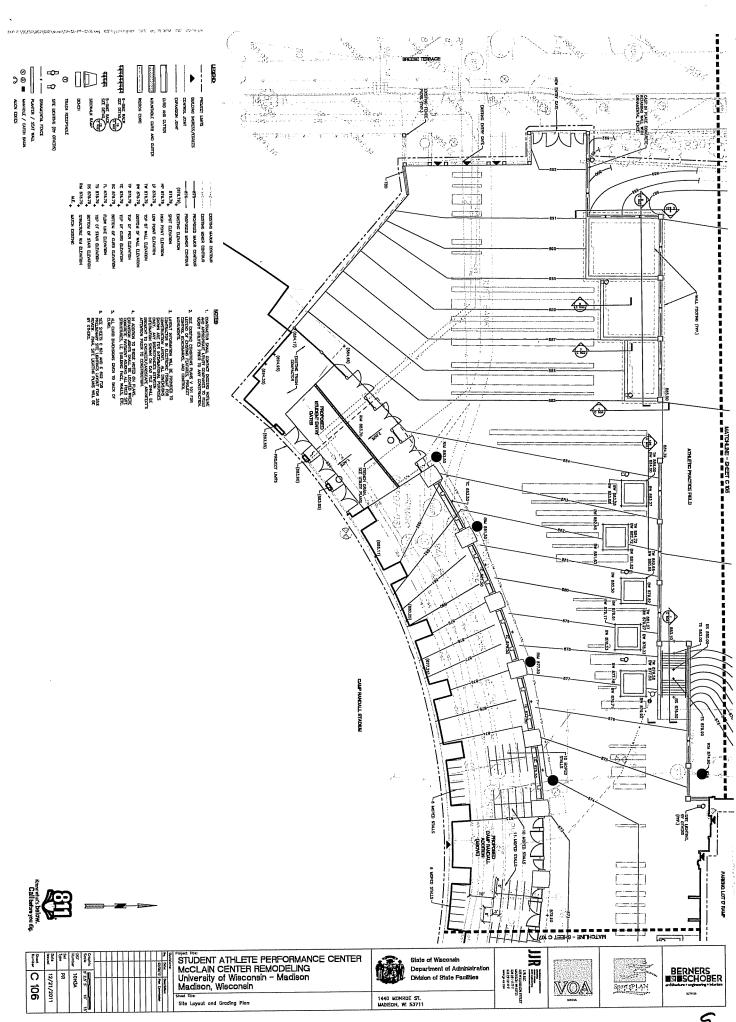
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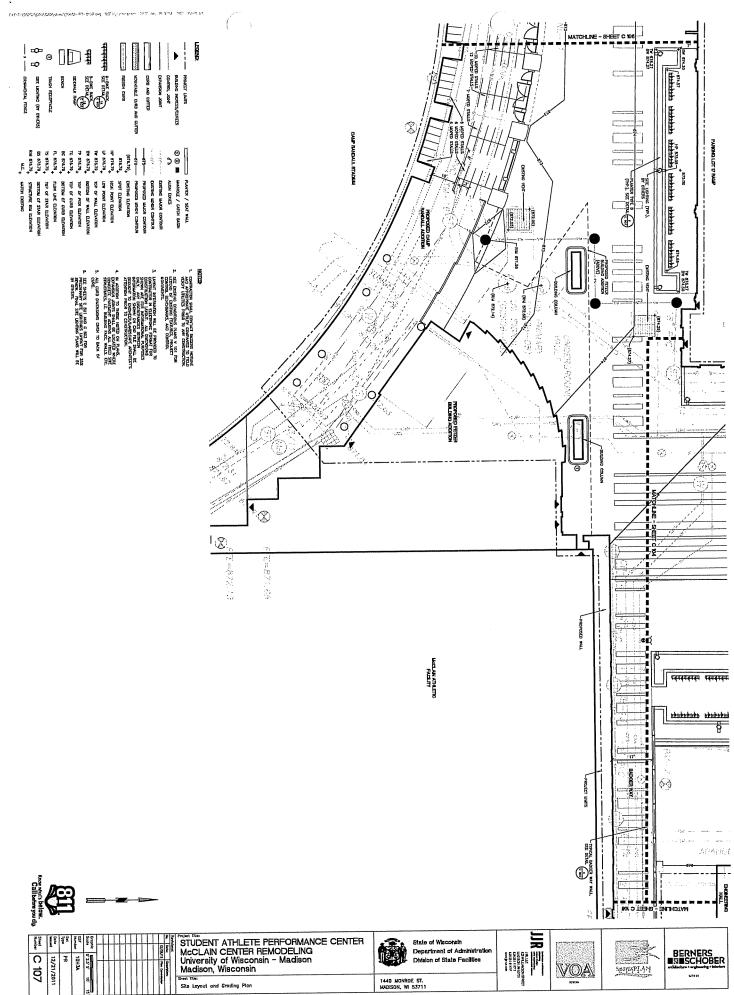
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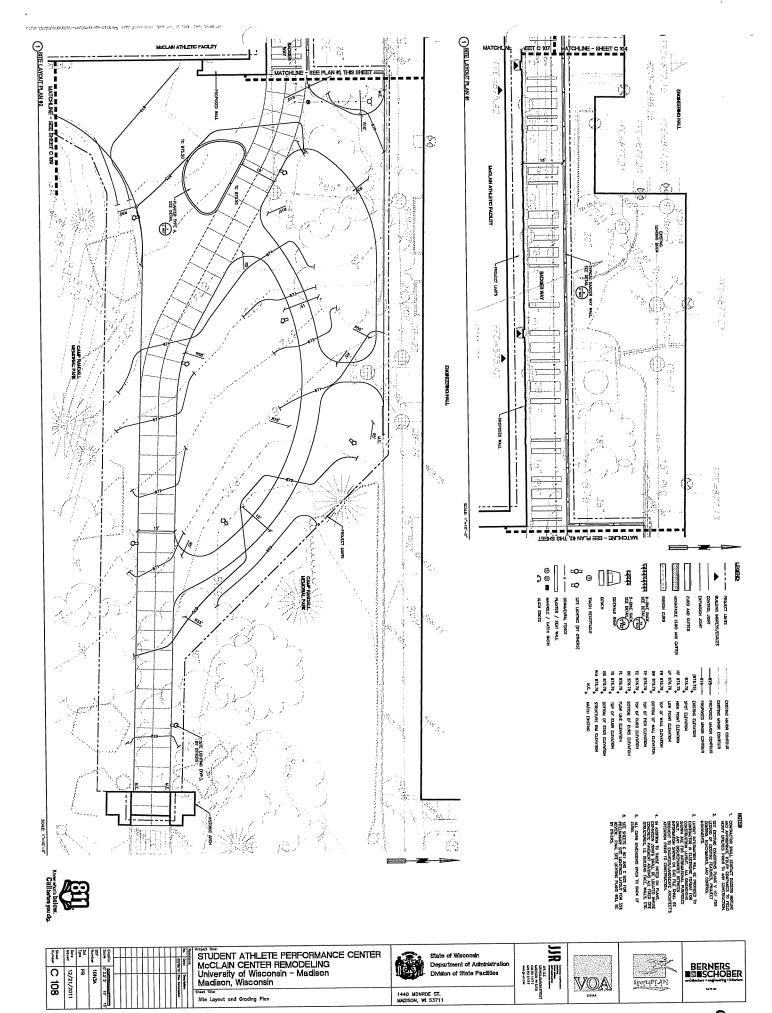
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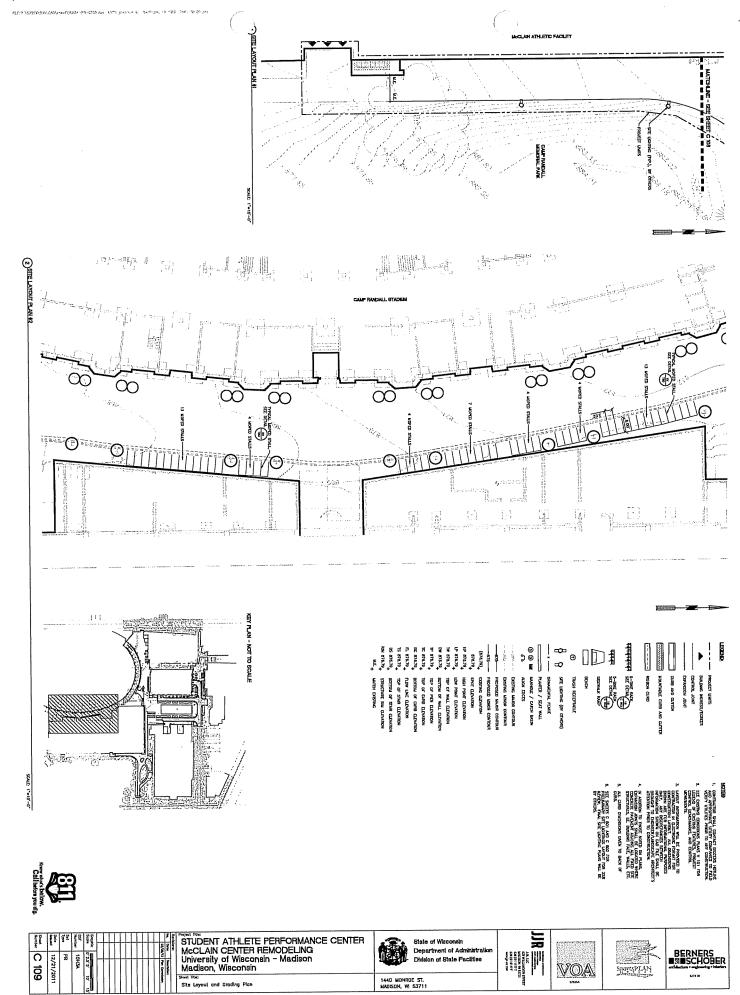


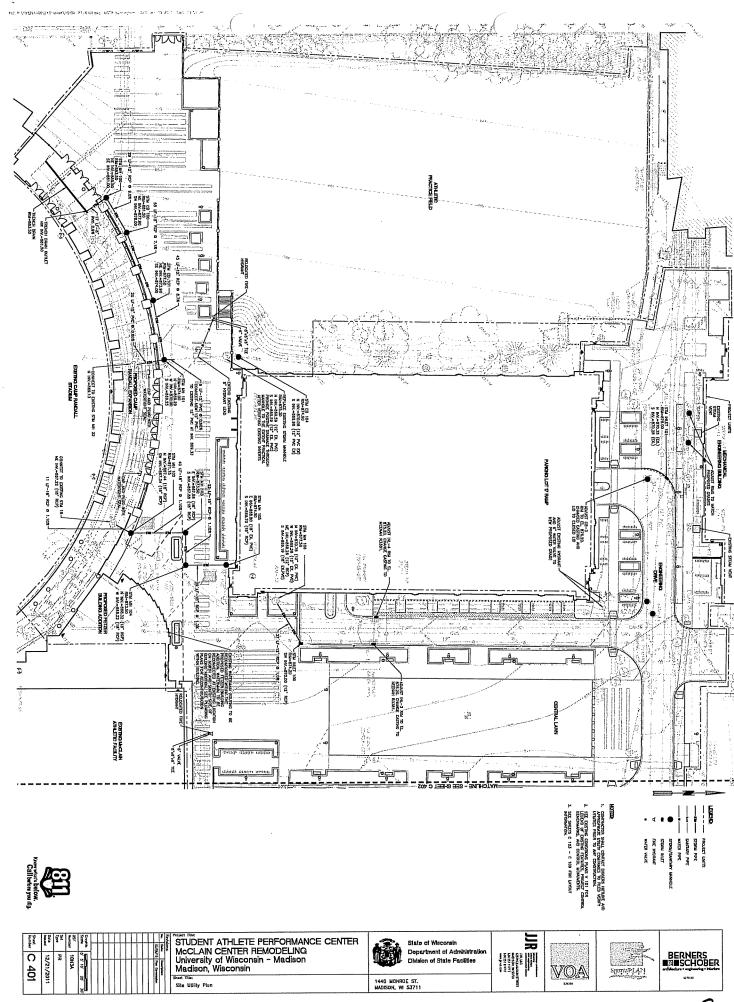


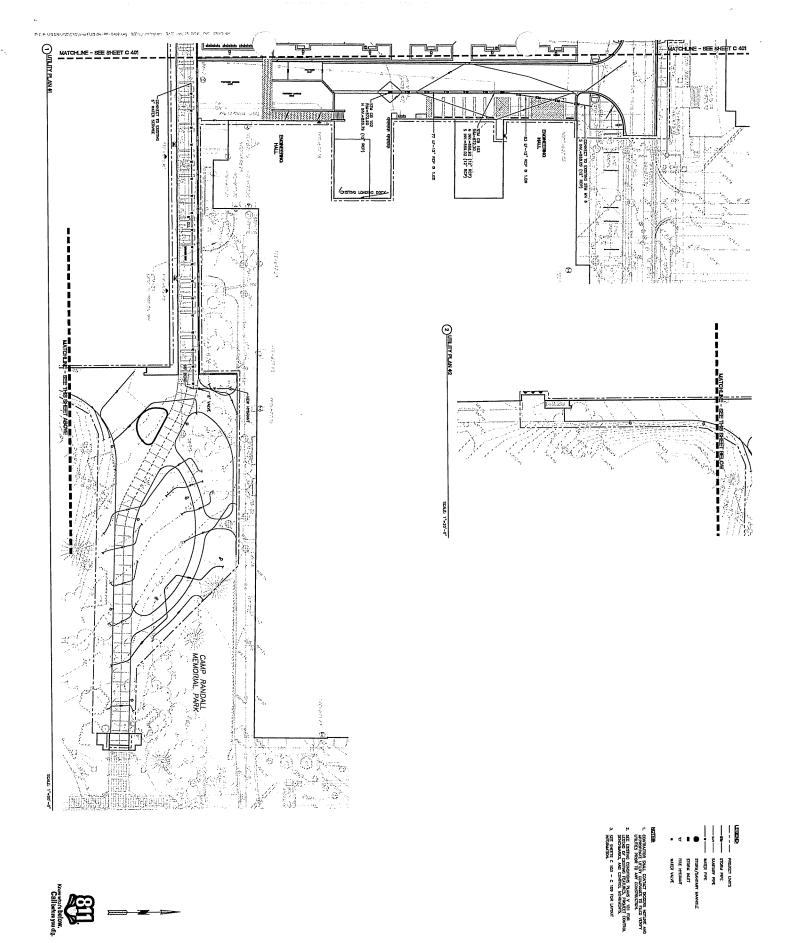








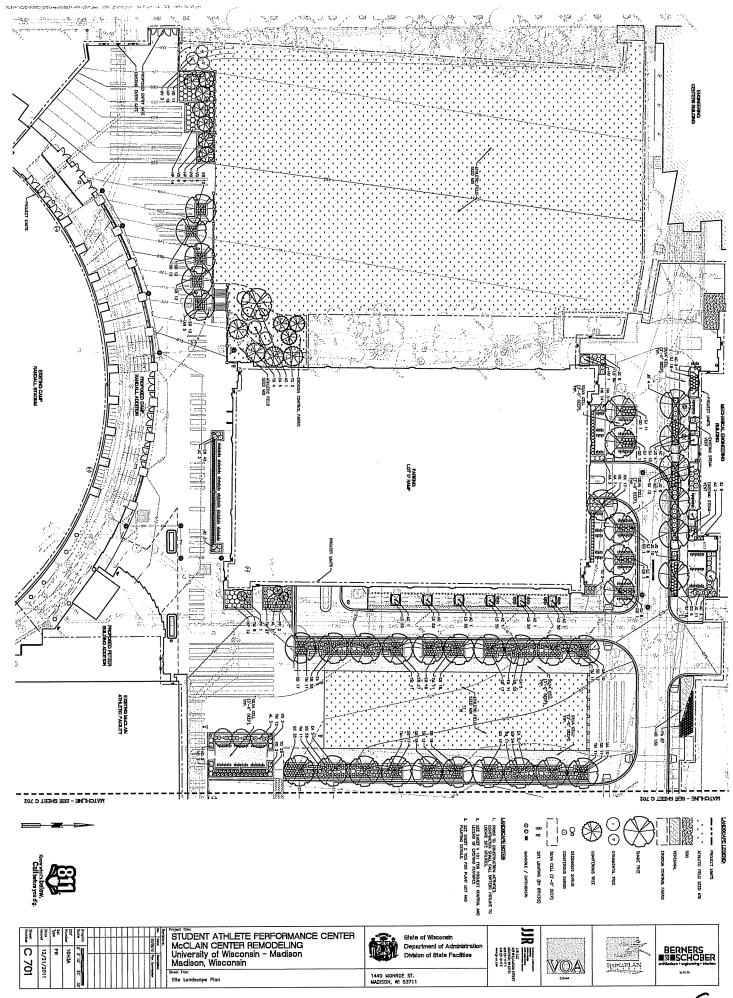


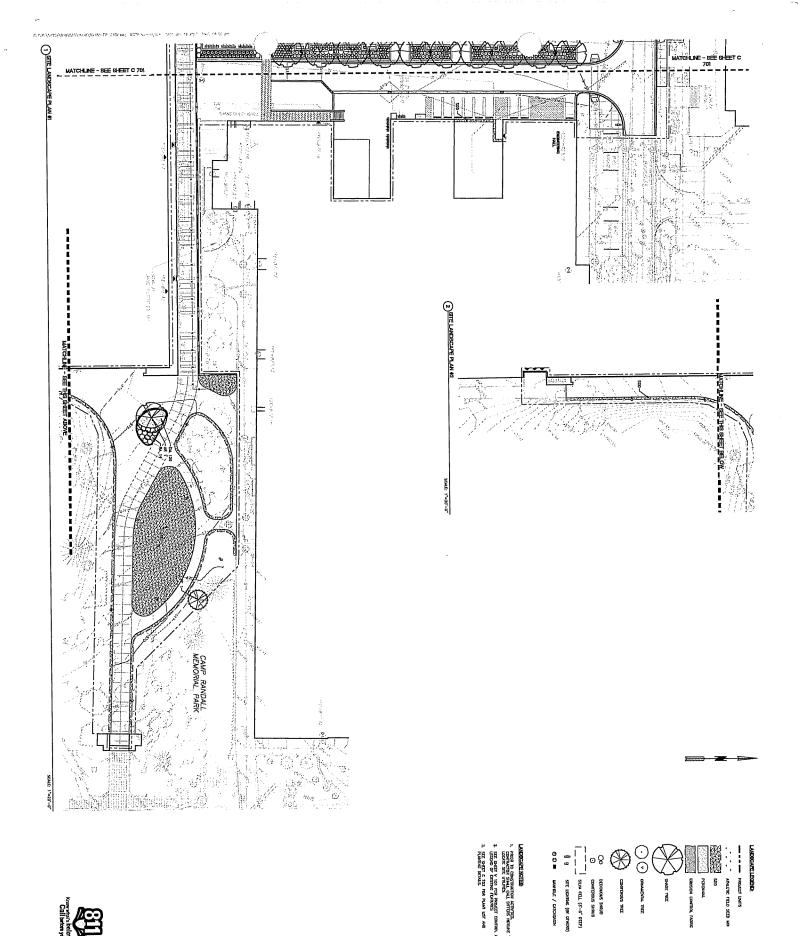




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Figure 100c STUDENT ATHLETE PERFORMANCE CENTER MCCLAIN CENTER REMODELING University of Wisconsin – Madison Madison, Wisconsin Madison Madison, Wisconsin	State of Wisconsin Department of Administration Division of State Facilities	Macoden and the state of the st	VOA		BERNERS ■3■SCHOBER
Sheet File: Site Utility Plan	1440 MONROE ST. MADISON WI 53711	Table 1	D CONT	**************************************	מחנו



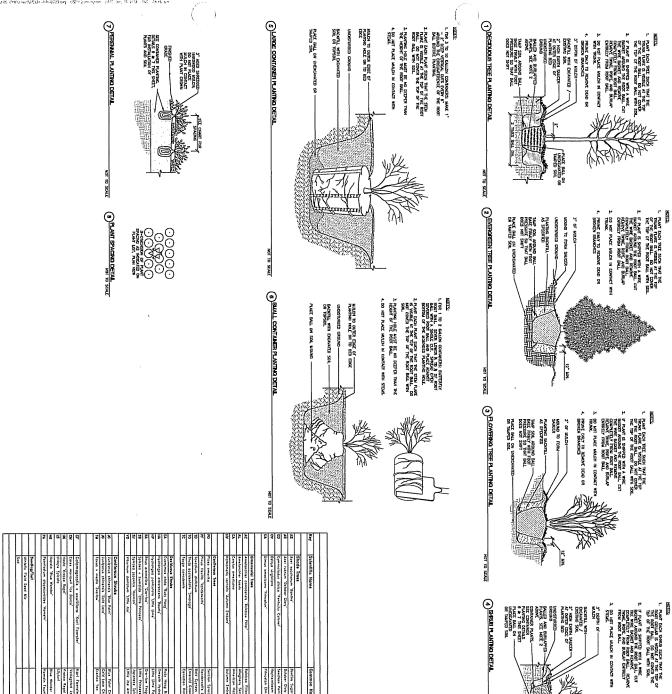




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Scientific Name	Common Name	Quantily Total	Condition	Size	Comments
			l		
Acet satcherum Bentits	Bactine Sugar Warte		1040	J. Cal.	Space on shear
	Calculate Land and August	5	9	r Col	State of them
Optica vintaliana	Hipphathy-are	5	948		Sport of them
Ulmus americana Princeton	Princeton (Im	8	848		Space on them
Omercenial frees			1		
Arrelanchier considerate Rainbow Pillar	Rainbam Piller Serviceberry	15	818	6. Ht.	Clump
Amelianthise literia	Alleghenr Serviceberry	+	916	9° H.	Clump
Conjus americana	American Hazzinut	5	946		Space on shoen
Hamamelia vernalia 'Autuma Embara'	Autumn (mbers Wilchhotel		ave	5' Hz.	
Centiferous Travel					
Ticas onorika	Streets Sprace	,	0.00	77.	12 0.4.
Plaus fiestifs Vanderacity	Vandersalls Umber Fine		040		8 0.0.
Condition districts	Dan Chron		0 0	6	1. 0 C
male economic services	Company desired	1	a co	13. H	12.05
Decidopus Shruks					
Eusmymus alala 'Rudy Hasg'	Rudy Hoog Burning Push	20	646	30" HI.	4, 0'C'
Hydrangeo arbarescens "Bounty"	Smooth lighterages)13	cont.	13	4' D.C.
Hydrangea panitulata 'Ulite Ume'	Little Dime Panicle Hedranges	151	cont.	15	4' D.C.
Rhus aramailea "Cro-la-"	Cre-law Fragiani Sumac	14	Earl.	15	J. 0.C.
Spiraco e bumaida "Little Frincess"	Little Princess Spiles	500	cont.	12	2" 0.C.
Spiraes Japonico "Harmon"	Japanese Spires	110	cant.	2	30° 0.C.
Viburnom denisiom "Little Jos"	this los Arrow-ood Vitumum	34	cont.	3	4' 0.C.
Conlieraus Shrubs					
Junitatus chinensis "Blue Point"	Blue Paint Chinese Junicer	6	848	6. H.	4. 0.5.
Junipetus chinensis "Geld Loce"	Cold tore Chinese Juniper	47	coni.	3	4. 0.5.
Tour a medio Terrios	Carbon Ten	157	test	24 195	3 0.0.
Calamagraphia + aculiflera 'Karl Foersler'	Kgri Foersier Read Grass	42	cont.	3	24" O.C.
	Variagoted Japanese Sedge	124	cont.	\$554	15" Q.C.
Hayla 'Krayya Bagai'	France Ragol Havila	31	cant.	13	30 0.0
thiere Spicate	12ptart	380	Egel.	145.6	12" O.C.
Napala 'Blue Wonder'	Blue Wander Calmini	130	Egant.	•	18" O.C.
Pannissium gispacumides Hameln	Hameln Fountain Grass	67	cent.	11	3. 0.C.
S++disg/Turi			-		
Albietic Field Seed Wie		59,639 SF	19ed	Б	1
Sed		6,692 ST	1444	6	-

System Number	bate based	2 X	Rumber Humber	Sea brightic	STUDENT ATHLETE PERFORMA STUDENT ATHLETE PERFORMA MCCLAIN CENTER REMODELING	
C 7(12/21/2	28	10H3A	0 25'.5'	University of Wisconsin - Madisor	
မြ	1			-	Short Title:	

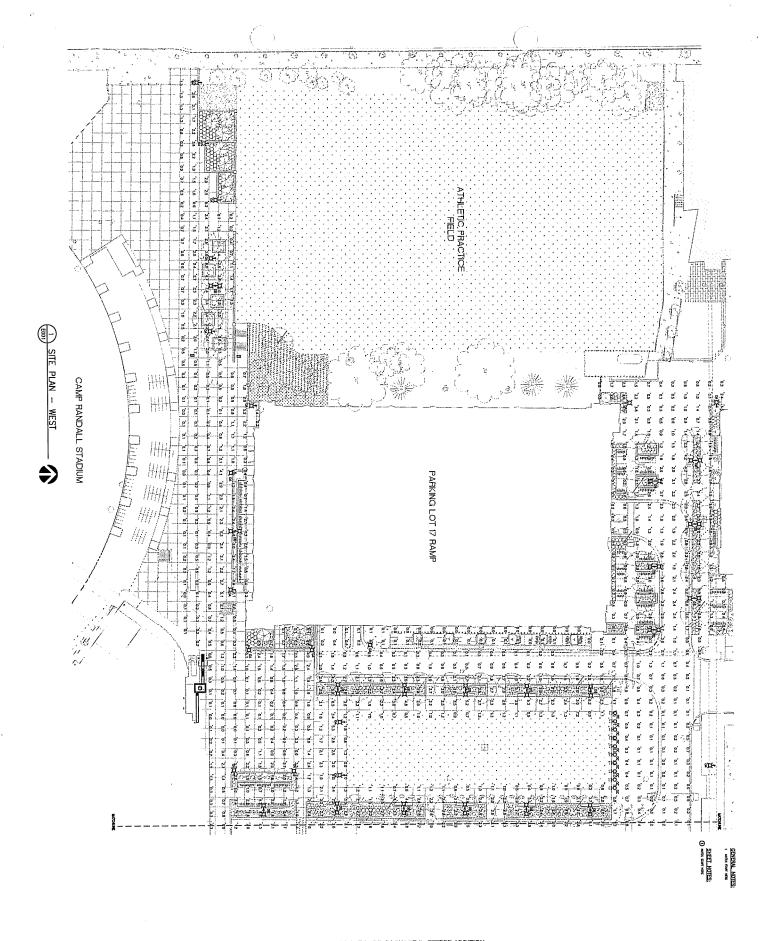
	State of Wiscondin Department of Administration Division of State Facilities



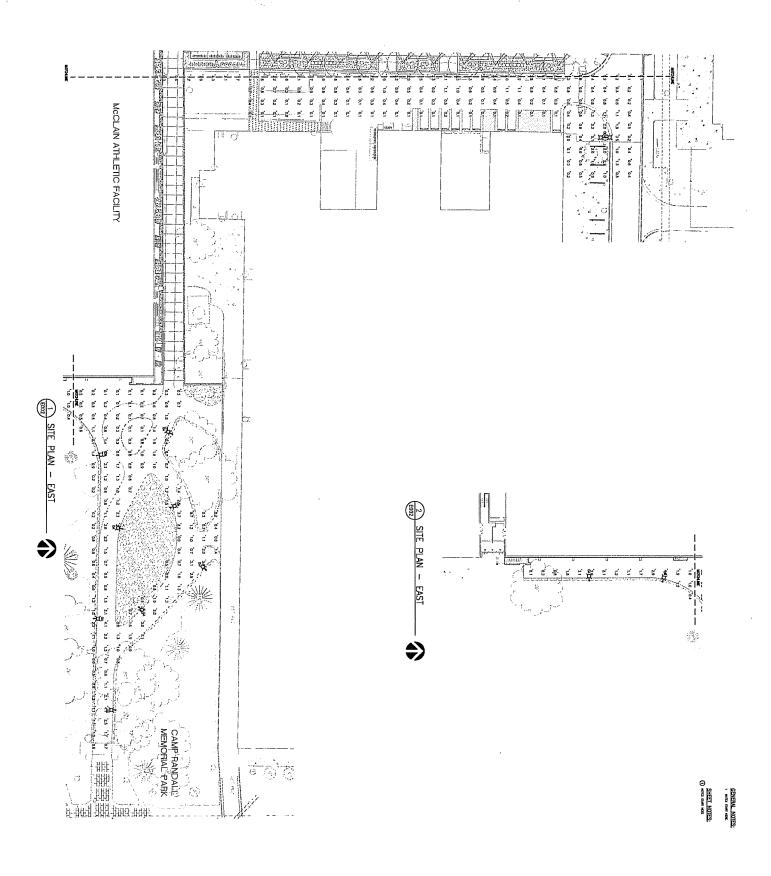




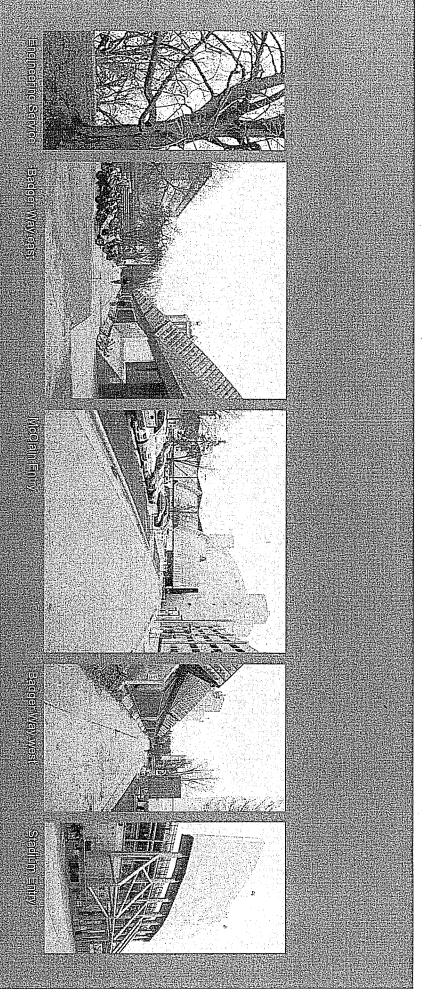




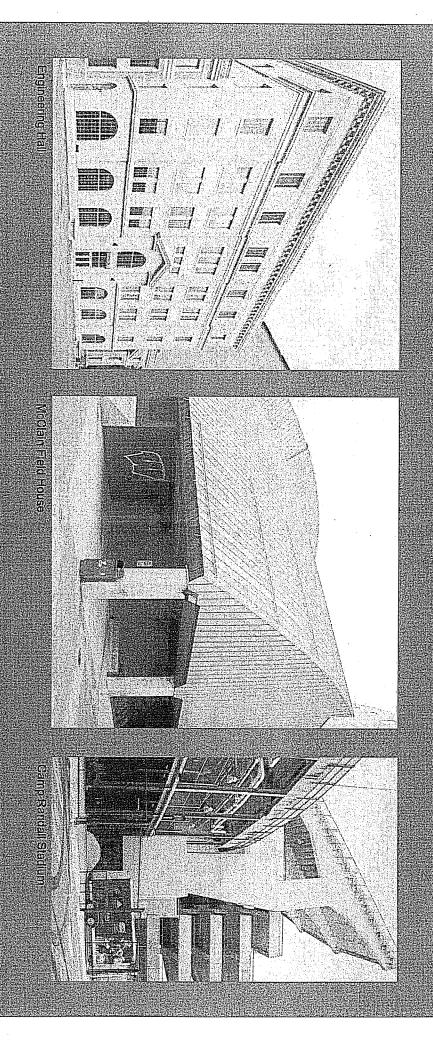
	PHASE 3 - BID PA	ACKAGE#-	FETZER ADDITION				,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
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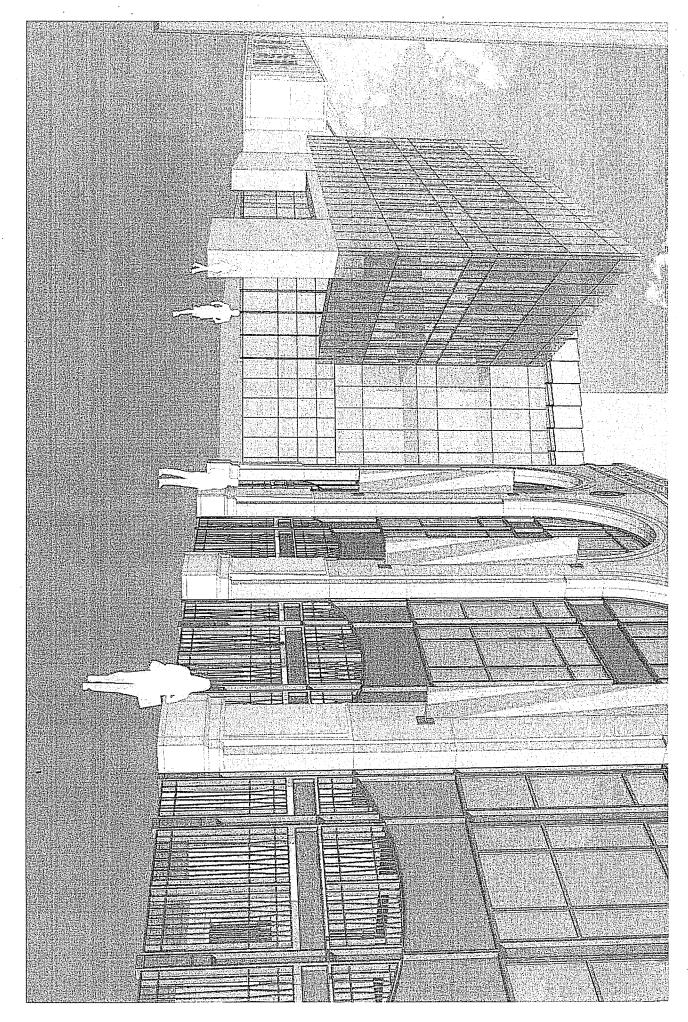


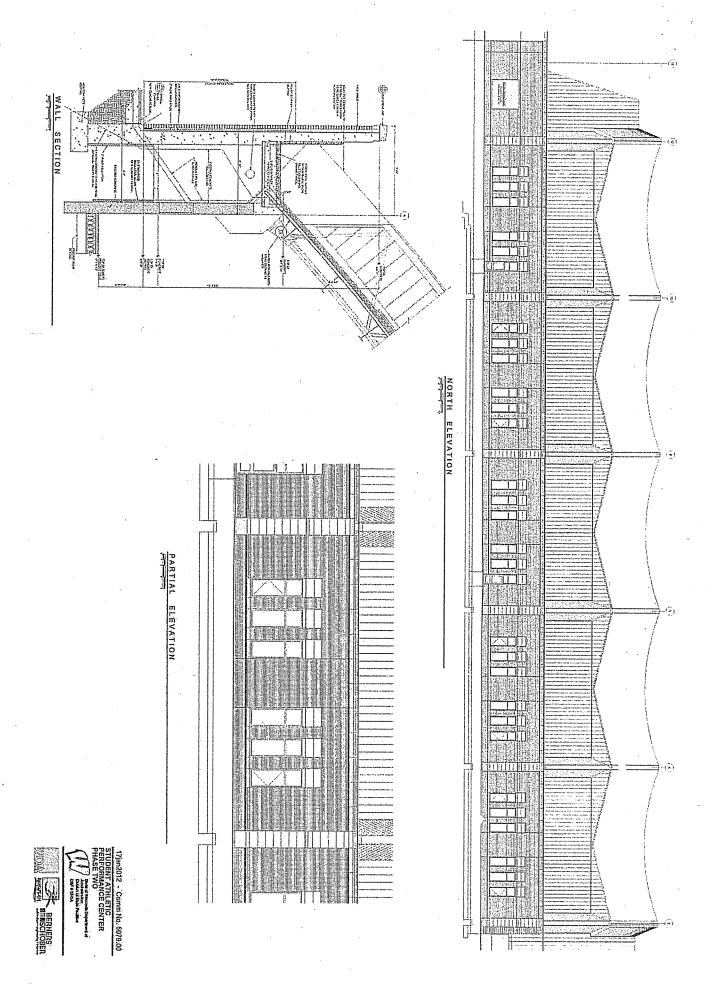
Context Photos

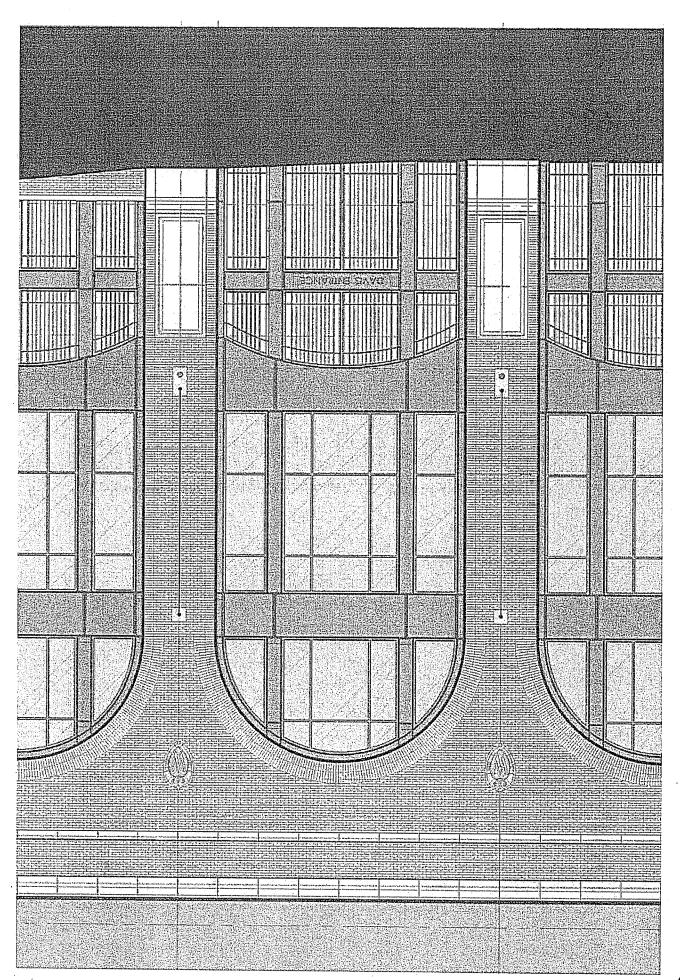


Chapter 4: Materials in Context & Photos

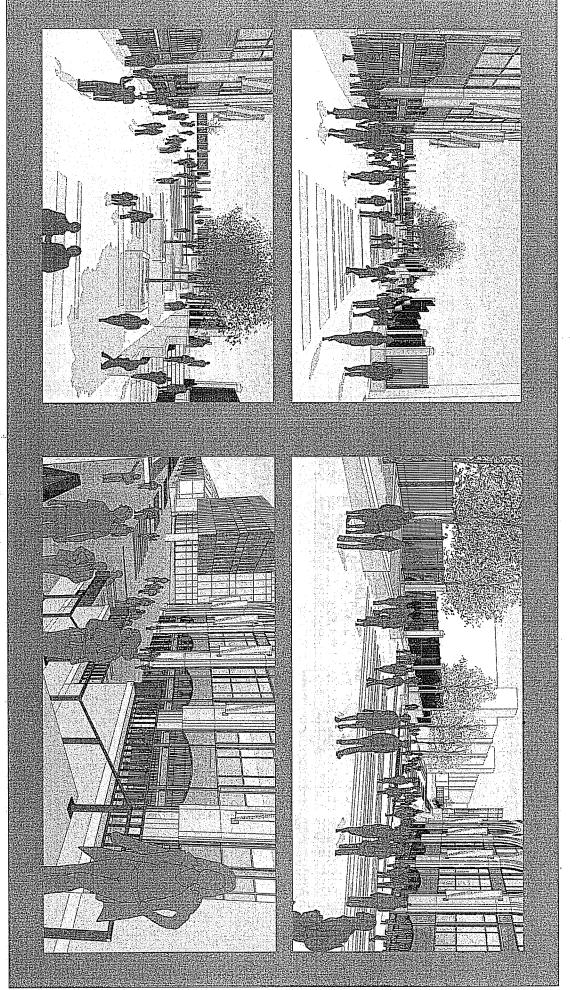




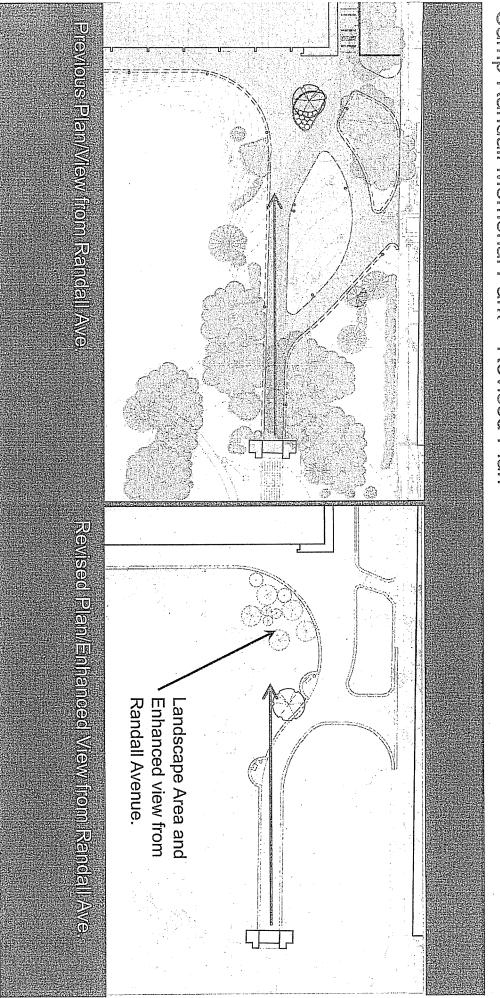




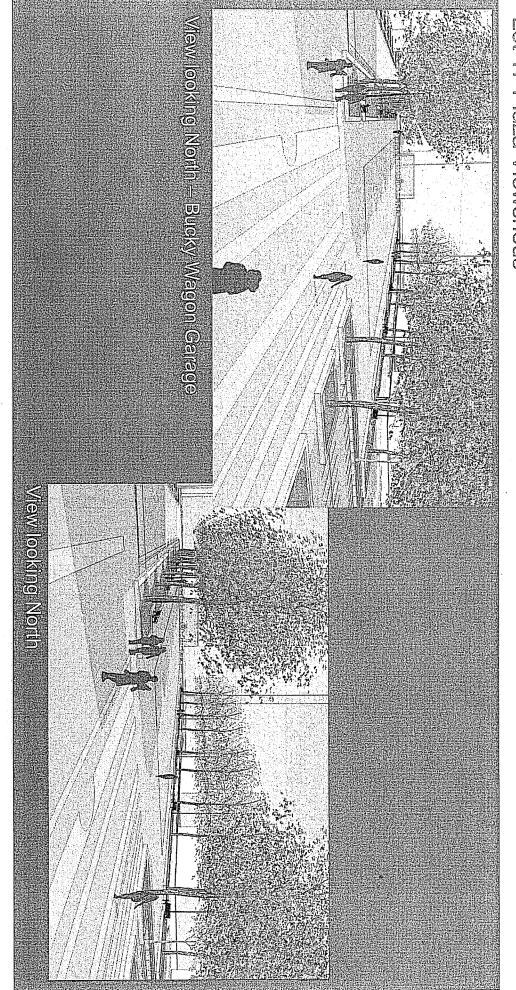
Badger Way West: Views



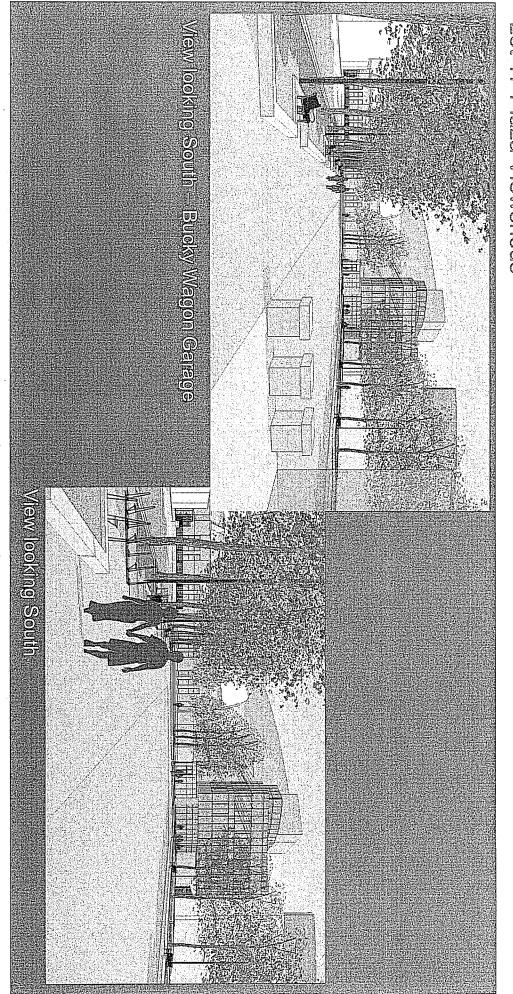
Camp Randall Memorial Park - Revised Plan



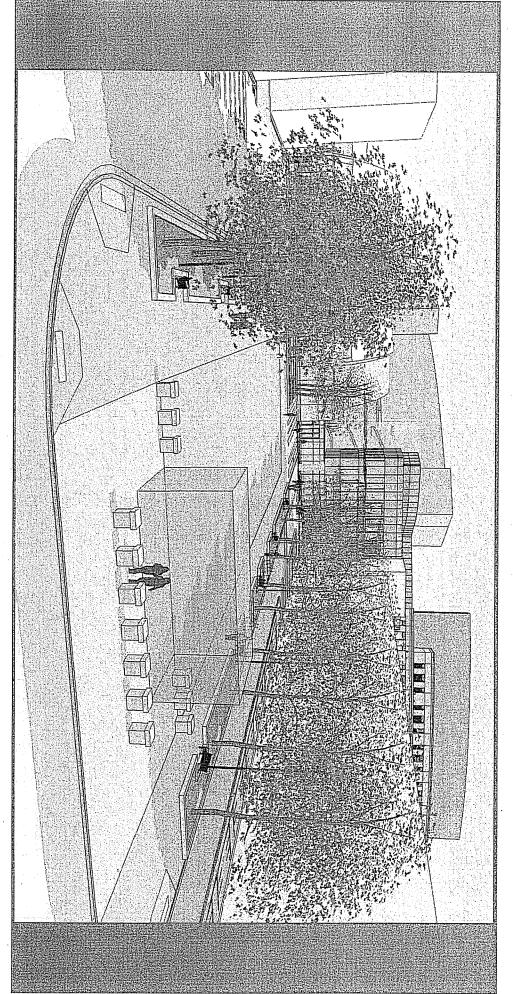
Lot 17 Plaza Viewsheds



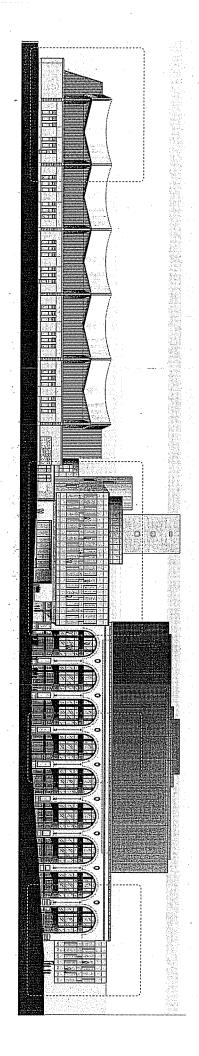
Lot 17 Plaza Viewsheds

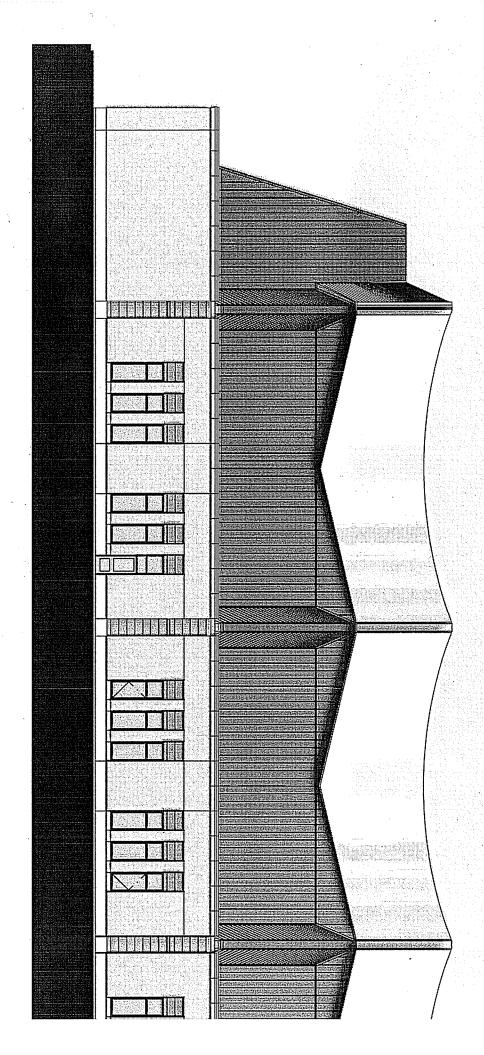


Lot 17 Plaza Viewsheds

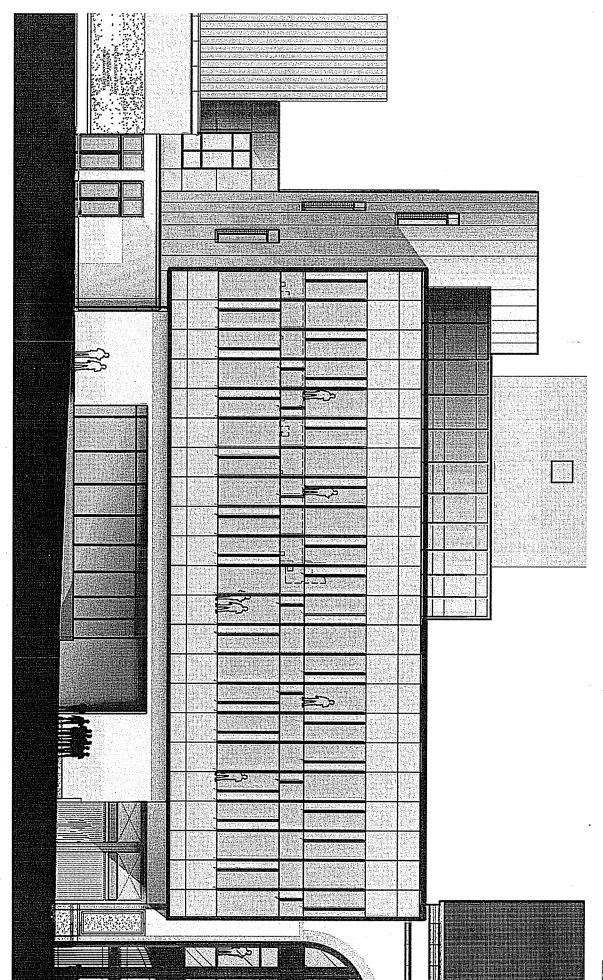


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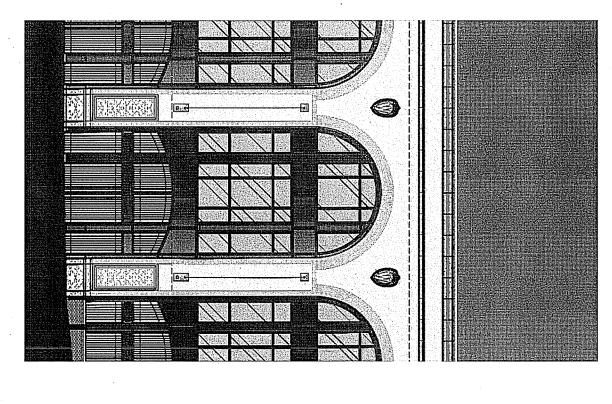






Link Elevation

Fetzer - Davis Entrance



Fetzer - West

